

PROPERTY INFORMATION:		
ADDRESS:	150 S PARKER ST. ORANGE, CALIFORNIA 92868	
OWNER:	ALAN S. ROSEN	(714)376-8620
APN :		390-672-17
TRACT :		398
BLOCK :		-
LOT :		12
ZONING :		R-1-6
CONSTRUCTION TYPE:		V-B
OCCUPANCY:		U-1
A-TRACT: KORDES TR BLOCK: C LOT: 12 TR 398		

(E) S.F.D. LIVING AREA:	866 SQ. FT
(E) FRONT PORCH:	39 SQ. FT
(N) DETACHED GARAGE:	490 SQ. FT
TOTAL LIVING AREA (NO CHANGE)	866 SQ. FT
NEW LOT COVERAGE:	1300 SQ. FT
NEW LOT COVERAGE %:	19%
PROPOSED FAR	0.19

BLOCK FLOOR AREA RATIO FAR
FAR RANGE 0.20± - 0.48±
AVERAGE FAR 0.34±

- NEW DETACHED 2-CAR GARAGE WITH LAUNDRY (434 S.F.)

SITE PLAN	C-1
FLOOR PLAN / ELEVATIONS	G-1
SECTIONS / ROOF PLAN	G-2
COLOR AND MATERIALS BOARD	CB

ALL WORK SHALL CONFORM TO THE REQUIREMENTS
OF THE FOLLOWING CODES AND LOCAL ORDINANCES:

- * 2022 CALIFORNIA RESIDENTIAL CODE
- * 2022 CALIFORNIA BUILDING CODE
- * 2022 CALIFORNIA MECHANICAL CODE
- * 2022 CALIFORNIA PLUMBING CODE
- * 2022 CALIFORNIA ELECTRICAL CODE
- * 2022 CALIFORNIA TITLE 24 ENERGY CODE

AB.	ANCHOR BOLT	EN.	EAGE NAILING	PL.	PLATE
ADJ.	ADJUSTABLE	ELEV.	ELEVATION	PENNY(6)	NAILS
ABV.	ABOVE	ENGR.	ENGINEER	PLYWD.	PLYWOOD
ACV.	AMERICAN	EQ.	EQUA.	PBSF.	POUNDS PER
	CONCRETE	ENGR.	EQU.		SQUARE FOOT
	INSTITUTE	EXIST (E)	EXISTING	P.S.I.	POUNDS PER
AJ.S.C.	AMERICAN	EXP.	EXPANSION		SQUARE INCH
	INSTITUTE OF	FINISH	FINISH	PRESS.	PRESSURE
	STEEL CONSTR.	F.N.	FIELD NAILING	R	RADIUS
A.S.T.M.	AMERICAN SOCIETY	F.R.	FLOOR	REINF.	REINFORCING
	FOR TESTING	FTG.	FOOTING	RECD.	REQUIRED
	& MATERIALS	F.M.	FOUNDATION	ROOM	ROOM
ARCH.	ARCHITECTURAL)	FRMG.	FRAMING	SCHED.	SCHEDULE
BM.	BEAM	GA.	GAUGE	SHTG.	SHEATHING
BD.	BOARD	GALV.	GALVANIZED	SH.	SHEET
BLK.	BLACK	GLUE	GLUE LAM BEAM	SIM.	SIMILAR
BLKG.	BLOCKING	GRD.	GRADE	SPEC.	SPECIFICATION
BOT.	BOTTOM	H.D.	HOLDDOWN	STOR.	STAGGER
BLDG.	BUILDING	HGR.	HANGER	STD.	STANDARD
CLG.	CEILING	HOR.	HEADER	STL.	STEEL
CLR.	CLERK	HT.	HEIGHT	STIFFEN.	STIFFENER
COL.	COLUMN	HORIZ.	HORIZONTAL	STRUCT.	STRUCTURAL
C.M.U.	CONCRETE	IN.	INCH	SQ.	SQUARE
	MASONRY	ID.	INSIDE DIAMETER	THK.	SYMMETRICAL
	UNIT	INT.	INTERIOR	THY.	THICK
C.J.	CONSTRUCTION	JST.	JOIST	UNIF.	UNIFORM
	JOINT	LAM.	LAMINATED	UBC.	BUILDING
CONC.	CONCRETE	L.T. WT.	LIGHT WEIGHT		CODE
CONN.	CONNECTION	MB.	MACHINE BOLT		UNLESS
CONSTR.	CONSTRUCTION	MAX.	MAXIMUM	NOTED	NOTED
CONT.	CONTINUOUS	MAX.	MAXIMUM		OTHERWISE
DEMO.	DEMOLISH	MTL.	METAL	VERT.	VERTICAL
DET.	DETAIL	MIN.	MINIMUM	WT.	WEIGHT
DIAG.	DIAGONAL	MT.	NOT TO SCALE	W.W.F.	WELDED WIRE
DIA. (s)	DIAMETER	N.	NUMBER		FABRIC
DIM.	DIMENSION	O.C.	ON CENTER	W.W.M.	WELDED WIRE
DL.	DOUBLE	OPNG.	OPENING		MESH
DWG.	DRAWING	OPR.	OPENING	W.F.	WIDE FLANGE
EACH.	EACH	OSP.	OUTSIDE DIA.	W/	WITH

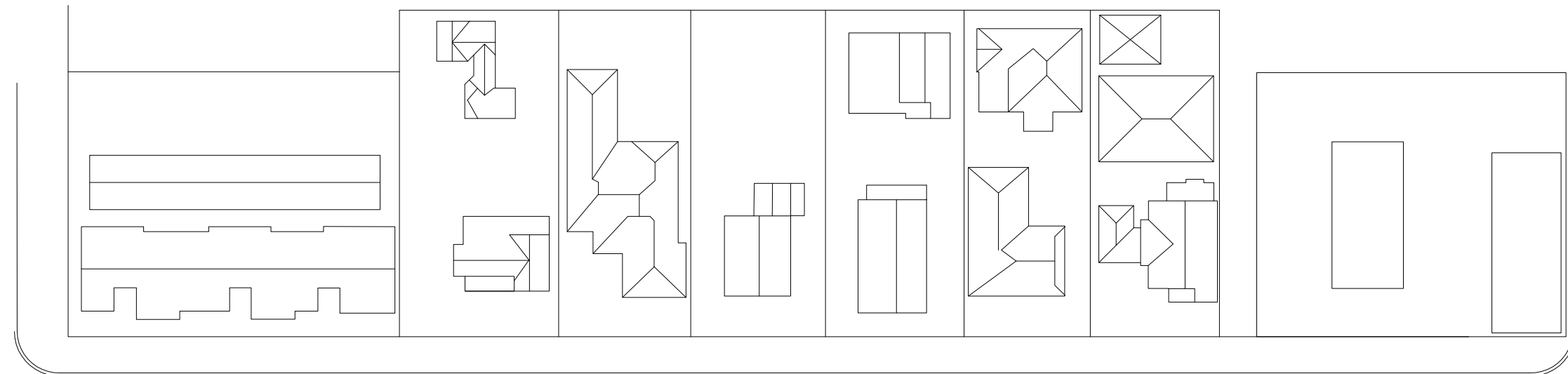
The map shows a grid of lots. The horizontal streets are CLARK and PARKER. The vertical street is ALICE. The lots are numbered as follows:

- Along CLARK Street (top):
 - Lot 11 (18' x 12')
 - Lot 12 (12' x 12')
 - Lot 13 (13' x 12')
 - Lot 14 (14' x 12')
 - Lot 15 (15' x 12')
 - Lot 16 (16' x 12')
 - Lot 17 (17' x 12')
 - Lot 18 (18' x 12')
- Along PARKER Street (bottom):
 - Lot 19 (19' x 12')
 - Lot 20 (20' x 12')
 - Lot 21 (21' x 12')
 - Lot 22 (22' x 12')
 - Lot 23 (23' x 12')
 - Lot 24 (24' x 12')
 - Lot 25 (25' x 12')
 - Lot 26 (26' x 12')
- Along ALICE Street (middle):
 - Lot 27 (27' x 12')
 - Lot 28 (28' x 12')
 - Lot 29 (29' x 12')
 - Lot 30 (30' x 12')
 - Lot 31 (31' x 12')
 - Lot 32 (32' x 12')
 - Lot 33 (33' x 12')
 - Lot 34 (34' x 12')

The 'THE KORDS' property is located in the center of the map, bounded by ALICE Street to the north and PARKER Street to the south. It contains lots 27, 28, 29, and 30. The lot numbers 27, 28, 29, and 30 are circled. The text 'THE KORDS' is written vertically across the center of the map.

A north arrow is located in the top right corner, pointing towards the top right. A line from the 'SITE LOCATION' label points to the intersection of CLARK Street and PARKER Street.

N.T.S.

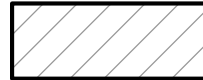


S Parker St

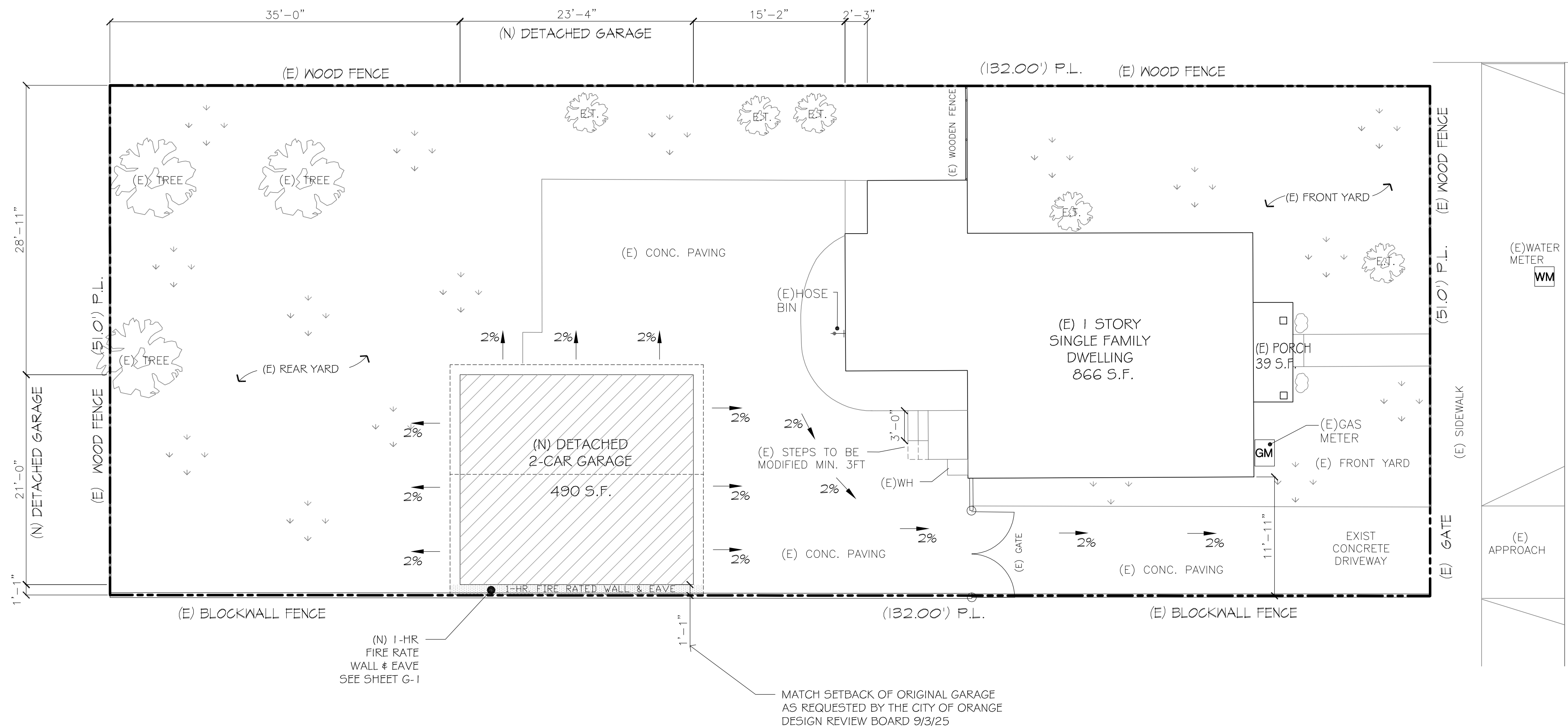
	NUMBER OF STORIES		2	2	2	2	2	1	1	1	1	1	1	1
TOTAL FAR: INCLUDING GARAGES & ACCESSORY STRUCTURES 1ST & 2ND FLOOR WITHOUT OPEN PORCHES)	0.77±	0.77±	0.77±	0.77±	0.77±	0.20±	0.40±	0.12±	0.34±	0.47±	0.48±			N/A
FAR RANGE	0.20± - 0.77±													
AVERAGE FAR	0.485±													

N.T.S.

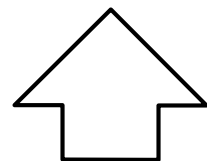
LEGEND:



NEW DETACHED GARAGE WITH LAUNDRY
490 SQ. FT.



SCALE: 1/8" = 1'-0"



NORTH

ALLSTAR

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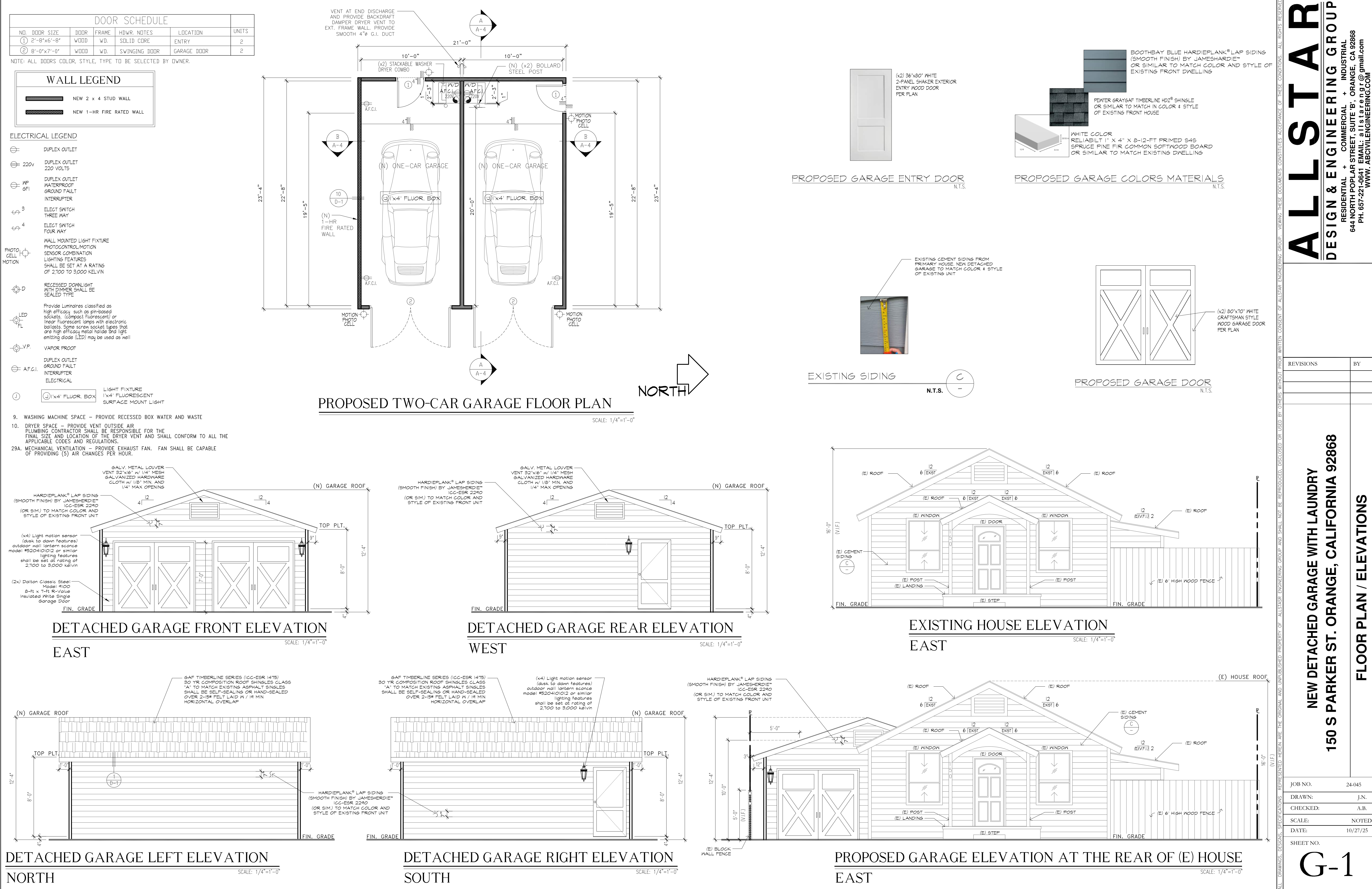
REVISIONS	BY

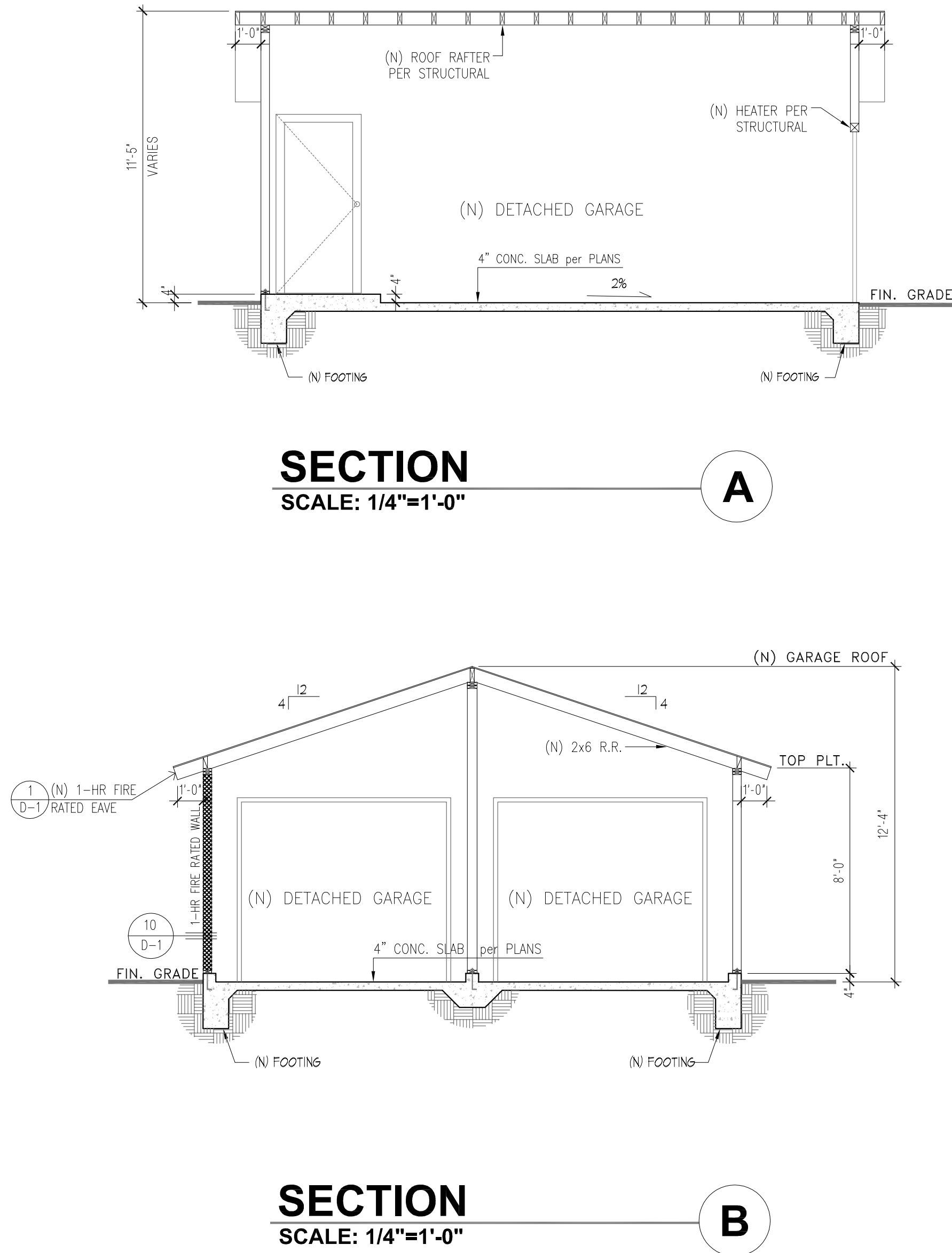
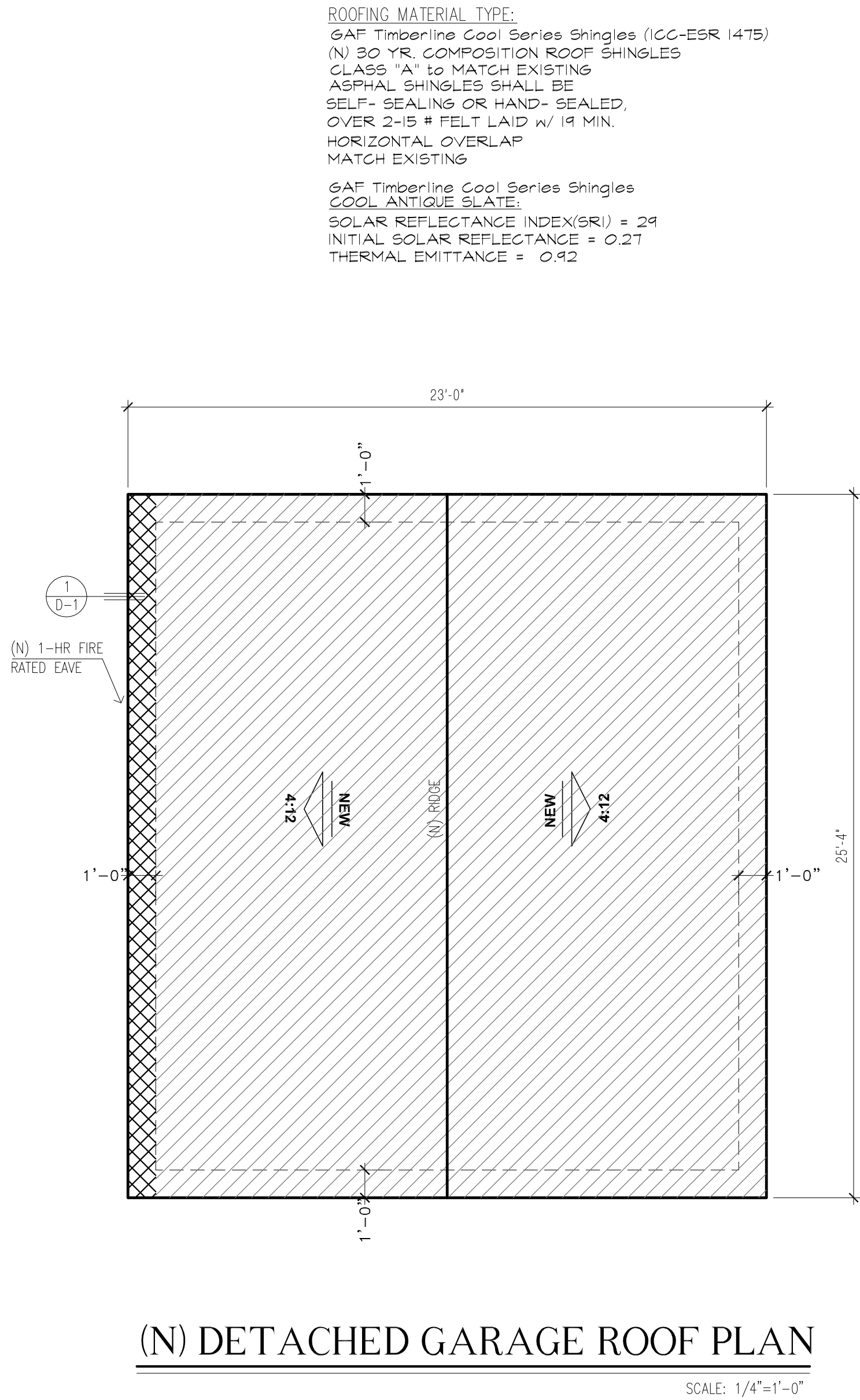
**NEW DETACHED GARAGE WITH LAUNDRY
150 S PARKER ST. ORANGE,CALIFORNIA 92868**

SITE PLAN

JOB NO.	24_045
DRAWN	J.N.
CHECKED	A.B.
SCALE	NOTED
DATE	10/27/25

C-1







GALV. METAL LOUVER VENT 32"x16" w/
1/4" MESH GALVANIZED HARDWARE CLOTH
w/ 1/8" MIN. AND 1/4" MAX OPENING



JAMES HARDIE
HARDIE®/ PLANK LAP SIDING
ICC-ESR 2290,(OR SIM.)
COLOR: BOOTHBAY BLUE
SMOOTH FINISH



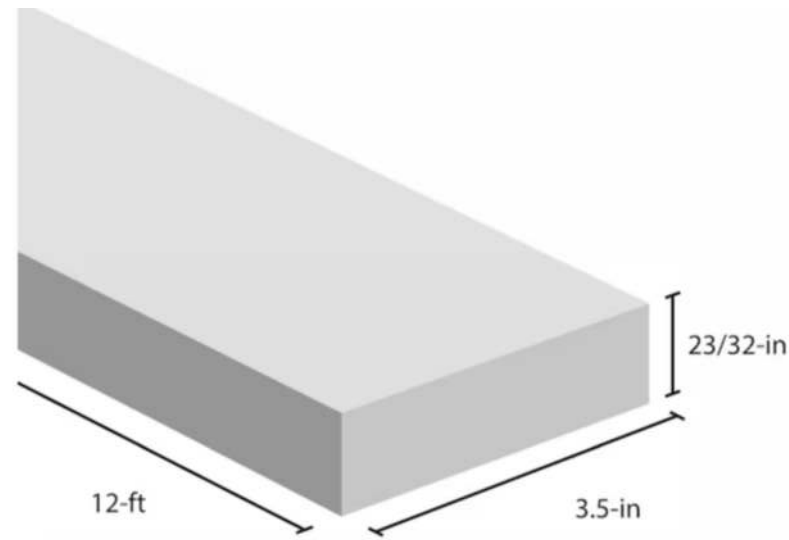
(x2) 80"x70" WHITE
CRAFTSMAN STYLE WOOD
GARAGE DOOR



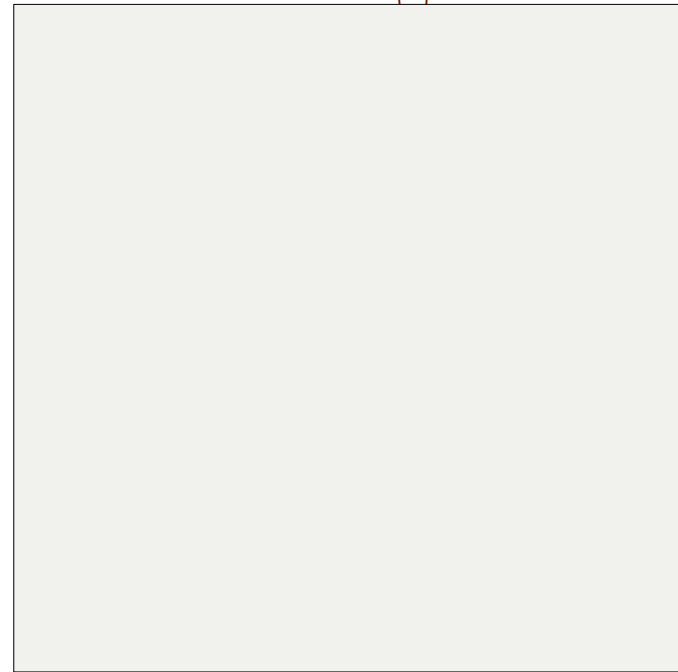
GAF
TIMBERLINE HDZ PEWTER GRAY ALGAE
RESISTANT LAMINATED HIGH DEFINITION
SHINGLES



MASONITE
36 IN. X 80 IN. UTILITY
6-PANEL PRIMED STEEL
PREHUNG FRONT DOOR
WITH NO BRICKMOLD



LOWE'S
RELIABLIT 1" X 4" X 8-12-FT PRIMED S4S
SPRUCE PINE FIR COMMON SOFTWOOD BOARD
COLOR WHITE



GLIDDEN
DELICATE WHITE
PPG1001-1

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NEW DETACHED GARAGE WITH LAUNDRY

150 S PARKER ST. ORANGE, CALIFORNIA 92868

COLOR AND MATERIALS BOARD

JOB NO.	24-045
DRAWN:	J.N.
CHECKED:	A.B.
SCALE:	NOTED
DATE:	11/03/25
SHEET NO.	

CB

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