



# AGENDA

## Planning Commission November 15, 2021

### 7:00 PM Regular Session

Anna Pehoushek  
Assistant Community  
Development Director

Mary Binning  
Sr. Assistant City Attorney

Kim Kinsler  
Administrative Assistant

City Council Chamber  
300 E. Chapman Ave.  
Orange, CA 92866

DAVE SIMPSON  
Chair

DAVID VAZQUEZ  
Vice Chair

ERNEST GLASGOW  
Commissioner

RICK MARTINEZ  
Commissioner

JONATHAN TRAPESONIAN  
Commissioner

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Welcome to the Planning Commission meeting. Regular meetings of the City of Orange Planning Commission are held the first and third Monday of each month at 7:00 p.m.

#### Agenda Information

The agenda contains a brief general description of each item to be considered. Written materials relating to an item on the agenda that are provided to the Planning Commission after agenda packet distribution and within 72 hours before it is to consider the item will be made available for public inspection in the City Clerk's Office located at 300 E. Chapman Avenue, Orange, during normal business hours; at the Planning Commission meeting; and made available on the City's website.

#### Public Participation

Planning Commission meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at [www.cityoforange.org](http://www.cityoforange.org).

Pursuant to Government Code Section 54954.3, members of the public may address the Planning Commission on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

##### 1) In-person

To speak on an item on the agenda, complete a speaker card indicating your name and address, and identifying the agenda item number or subject matter you wish to address. The card should be given to City staff prior to the start of the meeting. General comments are made during the "Public Comments" section at the beginning of the meeting. Public Comments are limited to three (3) minutes per speaker unless a different time limit is announced. It is requested that you state your name for the record, then proceed to address the Commission. All speakers shall observe civility, decorum, and good behavior.

*(Continued on page 2)*



**2) Written Public Comments via e-mail or eComment**

Members of the public can submit their written comments electronically for the Planning Commission's consideration by emailing them to [PCpubliccomment@cityoforange.org](mailto:PCpubliccomment@cityoforange.org) with the subject line "Public Comment Item #(insert the corresponding item number)" or "Public Comment Non-agenda Item" for general public comments. The public can also submit written comments on the City's eComment page by visiting the City's website and clicking on the eComment link for this meeting. To ensure distribution to the Planning Commission prior to consideration of the agenda, we encourage the public to submit comments by 3:00 p.m. the day of the meeting. All public comments received for this agenda will be provided to the Commissioners, posted on the City's website, and compiled as part of the record.

**3) Public Comments via recorded voicemail message**

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Planning Commission and the caller's position will be summarized in the minutes.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

ADA Requirements: In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours in advance of meeting will enable the City to make arrangements to assure accessibility to this meeting.

***REMINDER: Please silence all electronic devices while Planning Commission is in session.***

**APPEAL PROCEDURE**

Any final determination by the Planning Commission may be appealed, and such appeal must be filed within 15 calendar days after the Planning Commission action. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of \$1,000.00.

The City Clerk, upon filing of said appeal, will set petition for public hearing before the City Council at the earliest date. All owners of property located within 300 feet of the project site will be notified by the City Clerk of said hearing. For additional information, please call (714) 744-7220.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

**1. OPENING/CALL TO ORDER****1.1 PLEDGE OF ALLEGIANCE****1.2 ROLL CALL****2. PUBLIC COMMENTS**

At this time, members of the public may address the Commission on matters not listed on the Agenda which are within the subject matter jurisdiction of the Commission, provided that NO action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker.

**3. CONSENT CALENDAR**

All matters listed under the Consent Calendar are considered to be routine by the Planning Commission and will be enacted by one motion. There will be no separate discussion of said items unless members of the Planning Commission, staff or the public request specific items removed from the Consent Calendar for separate action.

**3.1. Approval of meeting minutes of the Planning Commission of the City of Orange for the October 4, 2021 Regular Meeting.****Recommended Action:**

Approve minutes as presented.

**Attachments:**     [Staff Report](#)  
                          [October 4, 2021 Regular Meeting Minutes](#)

**4. ASSISTANT COMMUNITY DEVELOPMENT DIRECTOR REPORTS****5. COMMISSION BUSINESS****6. CONTINUED HEARINGS****7. NEW HEARINGS****7.1. Public Hearing: Conditional Use Permit No. 3143-21, Living Stone Methodist Church, 295 S. Flower Street****Recommended Action:**

Adopt Planning Commission Resolution No. PC 30-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Conditional Use Permit No. 3143-21 allowing Living Stone Methodist Church to operate a church with classes at 295 S. Flower Street.

**Attachments:**     [Staff Report](#)  
                          [Attachment 1 Planning Commission Resolution No. PC 30-21](#)  
                          [Attachment 2 Vicinity Map](#)  
                          [Attachment 3 Applicant Project Description](#)  
                          [Attachment 4 Site Photos](#)  
                          [Attachment 5 Project Plans](#)

- 7.2. **Public Hearing: Conditional Use Permit No. 3039-17 (State of California Department of Alcoholic Beverage Control Type 21 License), Conditional Use Permit No. 3054-17 (Drive-Through Automatic Car Wash), Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17, Shell Service Station Remodel and New Drive-Through Automatic Car Wash, 2640-2658 N. Santiago Boulevard.**

**Recommended Action:**

Adopt Planning Commission Resolution No. PC 28-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Conditional Use Permit No. 3039-17 (State of California Department of Alcoholic Beverage Control), Conditional Use Permit No. 3054-17 (Drive-through Automatic Car Wash), Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 to renovate an existing full service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, sale of alcoholic beverages under a State of California Department of Alcoholic Beverage Control (ABC) Type 21 (Off-Sale General) License, and making a finding of public convenience or necessity, located at 2640-2658 N. Santiago Boulevard.

**Attachments:**     [Staff Report](#)  
                          [Attachment 1 Planning Commission Resolution No. PC 28-21](#)  
                          [Attachment 2 Vicinity Map](#)  
                          [Attachment 3 Applicant's Letter of Explanation](#)  
                          [Attachment 4 Traffic Assessment Study of Parking and Queuing by Transtech Engineers, Inc., Dated June 6, 2017](#)  
                          [Attachment 5 September 15, 2021 Design Review Committee Meeting Staff Report](#)  
                          [Attachment 6 September 15, 2021 Design Review Committee Meeting Minutes](#)  
                          [Attachment 7 Orange Police Department Memoranda with Conditions, Dated September 20, 2021 and September 25, 2017](#)  
                          [Attachment 8 ABC Evaluation Map](#)  
                          [Attachment 9 Draft Letter to ABC for Finding of Public Convenience or Necessity](#)  
                          [Attachment 10 Project Plans, Site Photographs, Colors and Materials, Date Stamped October 22, 2021](#)

## 8. ADJOURNMENT

The next Regular Planning Commission Meeting will be held on Monday, December 6, 2021 at 7:00 p.m., in the Council Chamber.

I, Kim Kinsler, Administrative Assistant for the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Police facility at 1107 North Batavia, Orange Main Public Library at 407 E. Chapman Avenue, and uploaded to the City's website [www.cityoforange.org](http://www.cityoforange.org).

Date posted: November 10, 2021



# Agenda Item

## Planning Commission

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**Item #:** 3.1.

11/15/2021

**File #:** 21-0584

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**TO:** Chair and Members of the Planning Commission

**THRU:** Anna Pehoushek, Assistant Community Development Director

**FROM:** Kim Kinsler, Administrative Assistant

### 1. SUBJECT

Approval of meeting minutes of the Planning Commission of the City of Orange for the October 4, 2021 Regular Meeting.

### 2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

### 3. RECOMMENDED ACTION

Approve minutes as presented.

### 4. ATTACHMENTS

- October 4, 2021 Regular Meeting minutes.



# Agenda Item

## Planning Commission

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**Item #:** 3.1.

11/15/2021

**File #:** 21-0584

---

**TO:** Chair and Members of the Planning Commission

**THRU:** Anna Pehoushek, Assistant Community Development Director

**FROM:** Kim Kinsler, Administrative Assistant

### 1. SUBJECT

Approval of meeting minutes of the Planning Commission of the City of Orange for the October 4, 2021 Regular Meeting.

### 2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

### 3. RECOMMENDED ACTION

Approve minutes as presented.

### 4. ATTACHMENTS

- October 4, 2021 Regular Meeting minutes.

**MINUTES - DRAFT**

**City of Orange**

**Planning Commission**

October 04, 2021

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**1. OPENING**

The Planning Commission of the City of Orange, California convened on October 4, 2021 at 7:00 p.m. in a Regular Meeting in the Council Chamber, 300 E. Chapman Avenue, Orange, California.

**1.1 CALL TO ORDER**

Chair Simpson called the meeting to order at 7:00 p.m.

**1.2 PLEDGE OF ALLEGIANCE**

Chair Simpson led the flag salute.

**1.3 ROLL CALL**

**Present:** Simpson, Vazquez, Glasgow, Martinez, and Trapesonian

**Absent:** None

**2. PUBLIC COMMENTS**

None

**3. CONSENT CALENDAR**

All matters listed under the Consent Calendar are considered to be routine by the Planning Commission and will be enacted by one motion. There will be no separate discussion of said items unless members of the Planning Commission, staff or the public request specific items removed from the Consent Calendar for separate action.

**3.1. Approval of meeting minutes of the Planning Commission of the City of Orange for the September 20, 2021 Regular Meeting.**

**ACTION:** A Motion was made by Commissioner Glasgow, seconded by Commissioner Martinez to approve the minutes as presented.

The Motion carried by the following vote:

**Ayes:** Simpson, Vazquez, Glasgow, Martinez, and Trapesonian

**Noes:** None

**Absent:** None



**4. ASSISTANT COMMUNITY DEVELOPMENT DIRECTOR REPORTS**

None

**5. COMMISSION BUSINESS**

None

**6. CONTINUED HEARINGS**

None

**7. NEW HEARINGS**

**7.1. Public Hearing: Conditional Use Permit No. 3144-21, Aspire Inn & Suites, 428 E. Lincoln Avenue**

Chair Simpson opened the public hearing.

Alan Reay, President of Atlas Hospitality Group, spoke on behalf of the project.

The Commissioners had questions about the following:

- Management
- Usage
- Signage
- Prior owner's present affiliation with the hotel
- Intended future ownership

Chair Simpson closed the public hearing.

A Motion was made by Commissioner Glasgow, seconded by Vice-Chair Vazquez to adopt Planning Commission Resolution No. PC 24-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Conditional Use Permit No. 3144-21 to allow a 28-room transient-occupancy hotel in an existing 23,128 square foot, two-story with basement building located at 428 E. Lincoln Avenue.

The Motion carried by the following vote:

- Ayes:** Simpson, Vazquez, Glasgow, Martinez, and Trapesonian  
**Noes:** None  
**Absent:** None

**7.2. Public Hearing: An ordinance amending Title 17 of the Orange Municipal Code (Zoning) to update and establish new development standards for fences and walls throughout all zoning districts.**

Chair Simpson opened the public hearing.

The Commissioners had questions about the following:

- Height requirements
- Approval process
- Building permit requirements
- Landscape height restrictions
- Alignment with historic district design standards

Chair Simpson closed the public hearing.

A Motion was made by Commissioner Glasgow, seconded by Commissioner Martinez to adopt Planning Commission Resolution No. 25-21 entitled:

A Resolution of the Planning Commission of the City of Orange recommending that the City Council adopt an ordinance amending Title 17 of the Orange Municipal Code (Zoning) to update and establish new development standards for fences and walls.

The Motion carried by the following vote:

**Ayes:** Simpson, Vazquez, Glasgow, Martinez, and Trapesonian

**Noes:** None

**Absent:** None

## 8. ADJOURNMENT

There being so further business, the meeting adjourned at 7:38 p.m.

The next Regular Planning Commission meeting will be held on Monday, October 18, 2021 at 7:00 p.m. in the Council Chamber.



# Agenda Item

## Planning Commission

**Item #:** 7.1.

11/15/2021

**File #:** 21-0465

**TO:** Chair and Members of the Planning Commission  
**THRU:** Anna Pehoushek, Assistant Community Development Director  
**FROM:** Vidal F. Márquez, Assistant Planner

### 1. SUBJECT

**Public Hearing:** Conditional Use Permit No. 3143-21, Living Stone Methodist Church, 295 S. Flower Street

### 2. SUMMARY

The applicant proposes to operate a church within an existing 4,862-sq. ft. professional office building.

### 3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 30-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Conditional Use Permit No. 3143-21 allowing Living Stone Methodist Church to operate a church with classes at 295 S. Flower Street.

### 4. AUTHORIZING GUIDELINES

Orange Municipal Code (OMC) 17.10.030.C. and Table 17.13.030 authorizes the Planning Commission to review and take action on churches in commercial zones.

### 5. PROJECT BACKGROUND

<i>Applicant:</i>	Living Stone Methodist Church
<i>Property Owner</i>	Living Stone Methodist Church
<i>Property Location</i>	295 S. Flower Street
<i>Existing General Plan Land Use Element Designation</i>	Neighborhood Office Professional (NOP)
<i>Existing Zoning Classification</i>	Office Professional (OP)
<i>Old Towne</i>	N/A
<i>Specific Plan/PC</i>	N/A
<i>Site Size</i>	29,185-sq. ft. lot

<i>Circulation</i>	The project site is located on the east side of South Flower Street. The existing site access is by one two-way driveway at the south of the site. The City's Master Plan of Streets and Highways classifies Flower Street as a collector street with a right-of-way width of 68 feet.
<i>Existing Conditions</i>	The site is developed with a vacant 4,862-sq. ft. office building, surface parking, front yard and perimeter landscaping, and trash enclosure.
<i>Surrounding Land Uses and Zoning</i>	To the west of the project site is St. John Maron Church and Grand Catered events, zoned Single-Family Residential (R-1-6). To the north of the project site are one-story single-family residences, zoned R-1-6. To the east and south are two-story multi-family residences zoned Multiple-Family Residential (R-3).
<i>Previous Applications/Entitlements</i>	None

## 6. PROJECT DESCRIPTION

The applicant, Living Stone Methodist Church, is proposing to operate a church within an existing vacant building in the Office Professional zone district. The church is moving from its previous location in the City of Stanton and is proposing to remodel an existing 4,862-sq. ft. building to accommodate a new sanctuary. The existing building previously served as the professional office of the Orange County Dental Society. Proposed hours of operation for the church will be on Sunday between 9:00 a.m. to 2:00 p.m. Services will be held in the sanctuary on Sundays from 9:00 a.m. to 10:30 a.m. and 11:00 a.m. to 12:30 p.m. Youth bible studies will occur 11:00 a.m. to 12:30 p.m. and are only provided to the children of the adults attending the second main service. Fellowship service will be from 12:30 p.m. to 2:00 p.m. Seating capacity in the proposed sanctuary is limited to 80 fixed seats. Based on the applicant, the church expects 40-50 patrons per service. During services hymns and gospel music is played before and after the sermon, accompanied by piano and keyboard with amplifier. Musical accompaniment to services will be contained indoors. The applicant's description of services is included in Attachment 3. During the weekdays, the Pastor and staff will be using the offices from 9:00 a.m. to 6:00 p.m.

The church is proposing to remodel an existing 1,800-sq. ft. office area into the sanctuary, create a bible study room, ADA access, bathrooms and associated improvements. The remaining floor area will remain as offices. The proposed details of the improvement and the sanctuary are identified on the site plan and floor plans included as Attachment 4 of this report.

There are currently 46 parking spaces on-site. The site currently provides the required number of parking spaces for the proposed use. A more detailed discussion of parking is provided in the Analysis Section of this report.

A review of the development standards is not merited for this application, because no new square footage is being added to the building.

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

### Issue 1: Required Parking

OMC Table 17.34.060 requires 3 parking spaces/1,000 sq. ft. of gross floor area for office uses. The existing building gross floor area is 4,862-sq. ft., therefore, 15 parking stalls are required for the

current use. The proposed church operation requires 1 space per 3 fixed seats, or 33 spaces per 1,000 square feet of assembly gross floor area, whichever is greater. The proposed sanctuary area's floor plan identifies 80 total fixed seats within 1,270-sq. ft. assembly space. The total required parking spaces for assembly area is 42 spaces. During church services, the existing office spaces will not be in use. There is a 30-minute timeframe between the two services for patrons to leave the property and others to enter and park. Generally, families carpool to services together where it is expected there will be available parking and accessible on-site circulation to existing parking spaces. The proposed church use parking requirement will be accommodated with the existing 46 on-site parking spaces.

Parking Table

	Type of Use	Building/Assembly Gross SF	Parking Ratio	Parking Stalls
Existing	Office	4,862	3/1000	15
Proposed	Church	1,270	33/1000	42
Existing On-site				46

### Issue 2: Service Timeframes

Due to the 30-minute window between services, there may be an overlap of patrons leaving the site and entering to park. According to the applicant, church attendance ranges from 40-50 people per service during Sunday morning services. Church patrons are a mix of adults and families who generally carpool to church services. Should the period between services cause any impact to on-site circulation or interfere with vehicular spill-over on the street, Condition 18 will allow the applicant to adjust their service schedule for additional time between services if necessary.

## 8. PUBLIC NOTICE

On November 5, 2021, the City sent a Public Hearing Notice to 153 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site has been posted in one location with the notification on that same date.

## 9. ENVIRONMENTAL REVIEW

**Categorical Exemption:** The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15301 (Class 1 - Existing Facilities) because the project consists of permitting a church use within an existing commercial building, consistent with the property's zoning and General Plan designation. There is no public environmental review required.

## 10. ADVISORY BOARD ACTION

No review advisory reviews are applicable for this application.

## 11. ATTACHMENTS

- Attachment 1 Draft Planning Commission Resolution No. 30-21

- Attachment 2 Vicinity Map
- Attachment 3 Applicant Project Description
- Attachment 4 Site Photos
- Attachment 5 Project Plans



# Agenda Item

## Planning Commission

Item #: 7.1.

11/15/2021

File #: 21-0465

**TO:** Chair and Members of the Planning Commission

**THRU:** Anna Pehoushek, Assistant Community Development Director

**FROM:** Vidal F. Márquez, Assistant Planner

### 1. SUBJECT

**Public Hearing:** Conditional Use Permit No. 3143-21, Living Stone Methodist Church, 295 S. Flower Street

### 2. SUMMARY

The applicant proposes to operate a church within an existing 4,862-sq. ft. professional office building.

### 3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 30-21 entitled:

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<i>Property Location</i>	295 S. Flower Street
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<i>Old Towne</i>	N/A
<i>Specific Plan/PC</i>	N/A
<i>Site Size</i>	29,185-sq. ft. lot



<i>Circulation</i>	The project site is located on the east side of South Flower Street. The existing site access is by one two-way driveway at the south of the site. The City's Master Plan of Streets and Highways classifies Flower Street as a collector street with a right-of-way width of 68 feet.
<i>Existing Conditions</i>	The site is developed with a vacant 4,862-sq. ft. office building, surface parking, front yard and perimeter landscaping, and trash enclosure.
<i>Surrounding Land Uses and Zoning</i>	To the west of the project site is St. John Maron Church and Grand Catered events, zoned Single-Family Residential (R-1-6). To the north of the project site are one-story single-family residences, zoned R-1-6. To the east and south are two-story multi-family residences zoned Multiple-Family Residential (R-3).
<i>Previous Applications/Entitlements</i>	None

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current use. The proposed church operation requires 1 space per 3 fixed seats, or 33 spaces per 1,000 square feet of assembly gross floor area, whichever is greater. The proposed sanctuary area's floor plan identifies 80 total fixed seats within 1,270-sq. ft. assembly space. The total required parking spaces for assembly area is 42 spaces. During church services, the existing office spaces will not be in use. There is a 30-minute timeframe between the two services for patrons to leave the property and others to enter and park. Generally, families carpool to services together where it is expected there will be available parking and accessible on-site circulation to existing parking spaces. The proposed church use parking requirement will be accommodated with the existing 46 on-site parking spaces.

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On November 5, 2021, the City sent a Public Hearing Notice to 153 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site has been posted in one location with the notification on that same date.

## 9. ENVIRONMENTAL REVIEW

**Categorical Exemption:** The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15301 (Class 1 - Existing Facilities) because the project consists of permitting a church use within an existing commercial building, consistent with the property's zoning and General Plan designation. There is no public environmental review required.

## 10. ADVISORY BOARD ACTION

No review advisory reviews are applicable for this application.

## 11. ATTACHMENTS

- Attachment 1 Draft Planning Commission Resolution No. 30-21

- Attachment 2 Vicinity Map
- Attachment 3 Applicant Project Description
- Attachment 4 Site Photos
- Attachment 5 Project Plans

**CONDITIONAL USE PERMIT NO. 3143-21**

**RESOLUTION NO. PC 30-21**

**A RESOLUTION OF THE PLANNING COMMISSION OF  
THE CITY OF ORANGE APPROVING CONDITIONAL USE  
PERMIT NO. 3143-21 ALLOWING LIVING STONE  
METHODIST CHURCH TO OPERATE A CHURCH WITH  
CLASSES AT 295 SOUTH FLOWER STREET**

**APPLICANT: LIVING STONE METHODIST CHURCH**

Moved by Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_ that the following resolution be adopted:

WHEREAS, the Planning Commission has authority per Orange Municipal Code (OMC) Table 17.08.020, and Sections 17.10.030.C and 17.13.030 to take action to grant or deny Conditional Use Permit No. 3143-21, to allow the operation of a church with classes within an existing professional office building located at 295 South Flower Street; and

WHEREAS, Conditional Use Permit No. 3143-21 was filed by Living Stone Methodist Church in accordance with the provisions of the OMC; and

WHEREAS, Conditional Use Permit No. 3143-21 was processed in the time and manner prescribed by state and local law; and

WHEREAS, the church occupies 4,862 sq. ft. building at 295 South Flower Street, of which 1,270 sq. ft. is utilized for religious services; and

WHEREAS, the church has access to 46 parking spaces on-site at 295 South Flower Street and the required number of parking spaces for the church use would be met; and

WHEREAS, Conditional Use Permit No. 3143-21 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15301 (Class 1 – Existing Facilities) because the project consists of permitting a church use within an existing commercial building, consistent with the property’s zoning and General Plan designation. There is no environmental public review or notice required for a categorical exemption; and

WHEREAS, the Planning Commission conducted one duly advertised public hearing on November 15, 2021, at which time interested persons had an opportunity to testify either in support of or opposition to Conditional Use Permit No. 3143-21 upon property described below:

THAT PORTION OF LOT 6 OF THE LOCKHART TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP THEREOF, RECORDED IN BOOK 4, PAGES 512 AND 513, MISCELLANEOUS RECORDS OF LOS ANGELES COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT AN OLD IRON ROD IN THE WEST LINE OF SAID LOT 6 MARKING THE MOST SOUTHERLY SOUTHWEST CORNER OF THE LAND DESCRIBED IN THE DEED TO W.I. WILKIE LUMBER CO., INC. RECORDED DECEMBER 20, 1954, IN BOOK 2900, PAGE 268, OFFICIAL RECORDS OF SAID ORANGE COUNTY, CALIFORNIA THE LOCATION OF SAID IRON ROD BEING SHOWN AS NORTH 0° 19' 30" EAST 383.24 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 6 AS SHOWN ON A MAP OF SURVEY, RECORDED IN BOOK 58, PAGE 11, RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, AND RUNNING THENCE EASTERLY ALONG THE SOUTH LINE OF THE LAND DESCRIBED IN THE ABOVE MENTIONED DEED, 208.00 FEET; THENCE SOUTH 0° 19' 30" WEST 660.29 FEET TO THE SOUTHWEST CORNER OF SAID TRACT NO. 3322, THENCE SOUTH 0° 24' 26" WEST, PARALLEL WITH THE WEST LINE OF SAID LOT 6, 180 FEET; THENCE WESTERLY PARALLEL WITH THE SOUTH LINE OF THE LAND DESCRIBED IN THE ABOVE MENTIONED DEED, 208.00 FEET TO THE POINT OF BEGINNING.

ASSESSOR'S PARCEL NUMBER: 390-222-21

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission approves Conditional Use Permit No. 3143-21 to allow the operation of a church with classes within an existing professional office building located at 295 South Flower Street, based on the following findings:

## **SECTION 1 – FINDINGS**

### General Plan Finding:

1. *The project must be consistent with the goals and policies stated within the City's General Plan.*

The project is consistent with the goals and policies stated in the City's General Plan Land Use Element which encourages "a well-balanced community" as "one which provides a broad range of housing and business opportunities as well as recreational, institutional and cultural activities that enhance the overall living environment." The project is consistent with the City's General Plan in that the operation of the church with classes helps to provide a service that contributes to a diversified mix of land uses in the surrounding community.

### Conditional Use Permit Findings:

1. *A Conditional Use Permit shall be granted upon sound principles of land use and in response to services required by the community (OMC 17.10.030.F.1).*

The granting of this Conditional Use Permit is based upon sound principles of land use and in response to services required by the community in that consideration has been given to whether the proposed use will detrimentally affect adjacent land uses. The subject property is presently vacant. The site is developed with a professional office building on a neighborhood residential street with other similar religious and intuitional uses. The church

use is the primary use on the property and will not conflict with other uses or services. There is adequate parking on-site to accommodate the schedule of services and seating capacity of the church and ancillary classroom and office space.

2. *A Conditional Use Permit shall not be granted if it will cause deterioration of bordering land uses or create special problems for the area in which it is located (OMC 17.10.030.F.2).*

The project is not expected to detrimentally affect adjacent land uses or create special problems in the area. The site is surrounded by residential development to the north, east, south and west by single-family and multiple-family residences. The proposed site layout will not be altered and the required number of parking spaces for the use would be met on-site. The church services will be conducted within the building and will not impact bordering properties.

3. *A Conditional Use Permit must be considered in relationship to its effect on the community or neighborhood plan for the area in which it is located (OMC 17.10.030.F.3).*

The church use will replace an existing vacant professional office and will better serve the community. The proposed remodel will occur within the existing building and not create construction impacts to adjacent properties. The building will remain in the existing location and will not change the existing character of the street frontage. Surrounding land uses are residential in nature with some religious institutions in the vicinity. The proposal is not anticipated to have adverse impacts on neighboring land uses within the area because the church use is compatible with the mixed uses that occupy the property and the surrounding neighborhood. The parking needs of the church can be met on-site. Music will be played inside the church sanctuary only. The staggered time of services distributes parking demand throughout the day on Sundays.

4. *A Conditional Use Permit, if granted, shall be made subject to those conditions necessary to preserve the general welfare, not the individual welfare of any particular applicant (OMC 17.10.030.F.4).*

All project conditions preserve the general welfare of the City and community. Conditions specifically serve to manage project construction impacts, provide for site maintenance, and accommodate disabled person site access. Condition No. 15 addresses noise control. With these conditions in place, the operation of the church will not negatively impact the general welfare of the surrounding neighborhood.

## **SECTION 2 – ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the provisions of CEQA per State CEQA Guideline 15301 (Class 1 – Existing Facilities) because the project consists of permitting a church use within an existing commercial building, consistent with the property's zoning and General

Plan designation. There is no environmental public review or notice required for a categorical exemption.

### **SECTION 3– CONDITIONS OF APPROVAL**

BE IT FURTHER RESOLVED that the following conditions are imposed:

1. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence. The City shall promptly notify the applicant of any such claim, action, or proceedings and shall cooperate fully in the defense.
2. The applicant shall comply with all conditions of approval contained within Planning Commission Resolution No. PC 30-21 associated with Conditional Use Permit No. 3143-21.
3. All construction shall conform in substance and be maintained in general conformance with plans and exhibits labeled as Attachment 5 in the staff report (date stamped received June 6, 2021), including modifications required by the conditions of approval, and as recommended for approval by the Planning Commission.
4. Except as otherwise provided herein, this project is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plot plan, the Community Development Director may approve the changed plan administratively.
5. Any future expansion in area or in the nature and operation of the approved use by Conditional Use Permit No. 3143-21 shall require new or amended applications.
6. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use will be cause for revocation of this permit.
7. If not utilized, project approval expires twenty-four months from the approval date. Extensions of time may be granted, if requested in writing in accordance with OMC Section 17.08.060. The planning entitlements expire unless building permits are pulled within two years of the original approval.
8. Prior to the operation of the business, the applicant shall file for, or if applicable, amend a business license with the Business License Division of the City of Orange Finance Department. Failure to maintain the required business license during operation of the use will be cause for revocation of this approval.



9. Building permits shall be obtained for all site and tenant improvements, as required by the City of Orange, Public Works Department's Building Division. Failure to obtain the required building permits may be cause for revocation of this permit.
10. All structures shall comply with the requirements of OMC Chapter 15.52 (Building Security Standards), which relates to hardware, doors, windows, lighting, etc. Approved structural drawings shall include sections of the security code that apply. Specifications, details, or security notes may be used to convey the compliance.
11. These conditions shall be reprinted on the second page of the construction documents when submitted to the Building Division for the plan check process.
12. Prior to building permit issuance, the applicant shall pay any outstanding monies due to the City for Planning Division entitlement activities related to this project.
13. In conjunction with the operation of the church, the property owner shall be responsible to maintain the property to a level deemed adequate by the Community Development Director. This includes, but is not limited to, the buildings, on-site landscaping, trash areas, signage, utilities, property walls, and gates (if applicable).
14. Any graffiti shall be removed within 72 hours from the time the City of Orange Notice of Violation is received by the applicant/property owner.
15. The use shall comply with OMC Chapter 8.24 Noise Control at all times. Any noise/music shall not be audible at the exterior of the building, whether the doors/windows are open or closed.
16. The hours of operation of the church shall be Sunday, 9:00 a.m. to 2:00 p.m. and Monday to Friday, 9:00 a.m. to 6:00 p.m. These hours do not restrict employees from being on the premises before opening for preparations and deliveries or after closing for clean-up. Any modification to these operational hour limits shall be subject to review and approval by the Community Development Director and/or may be referred to the Planning Commission at his/her discretion.
17. In conjunction with the operation of the business, all loading and trash enclosure areas shall be maintained and kept clean and free of debris.
18. Should the staggering period between services cause impact to on-site circulation or interfere with vehicles entering the site, the applicant shall adjust their service schedule to allow additional time between services subject to review and approval by the Community Development Director and/or may be referred to the Planning Commission at his/her discretion.

I hereby certify that the foregoing Resolution was adopted on November 15, 2021 by the Planning Commission of the City of Orange by the following vote:

AYES:

NOES:

RECUSED:

ABSENT:

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Dave Simpson, Planning Commission Chair

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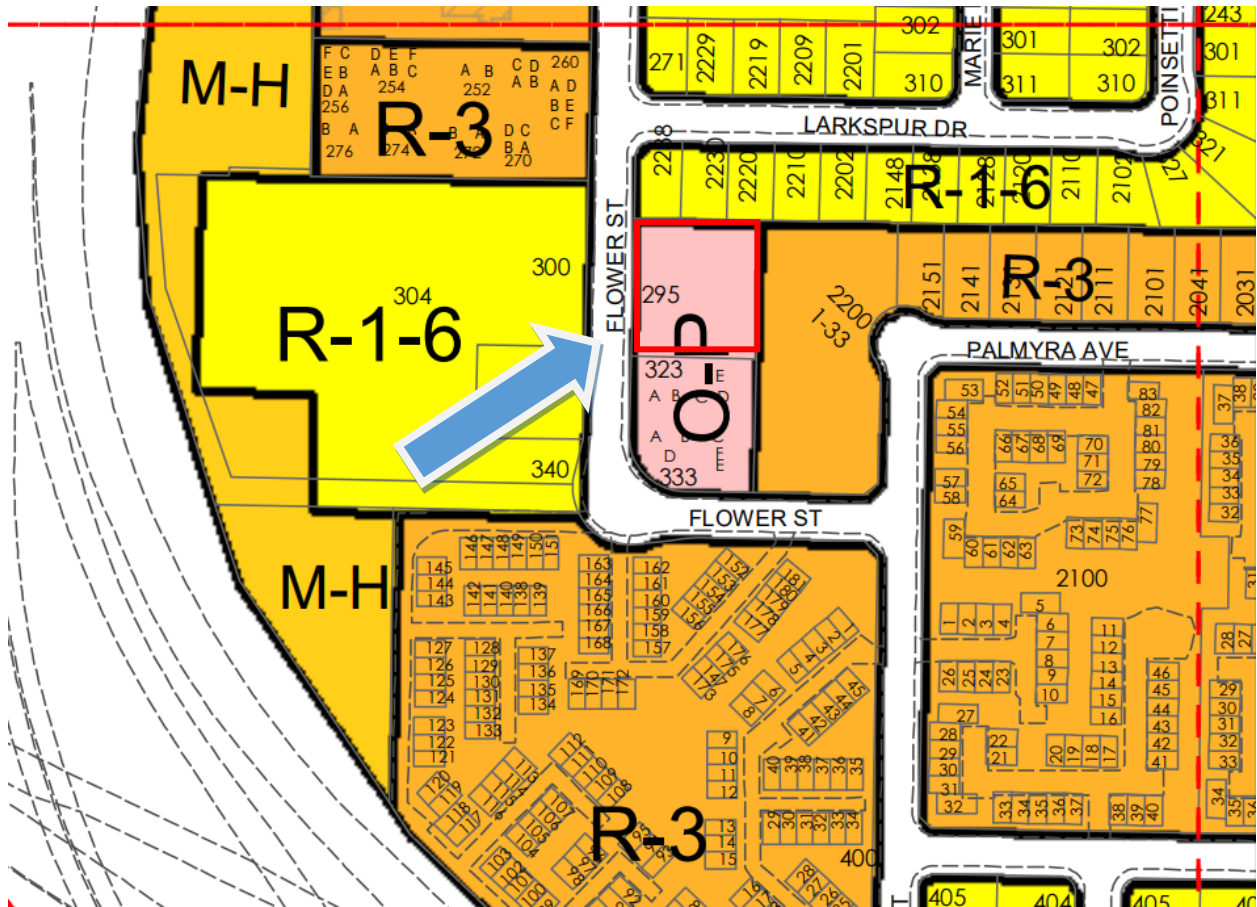
Date

# Vicinity Map

CUP No. 3143-21

Living Stone Methodist Church

295 S. Flower Street



CITY OF ORANGE  
COMMUNITY DEVELOPMENT DEPARTMENT

**CMC Architects and Engineers**

**783 Phillips Dr.**

**City of Industry, CA 91748**

**T: 626-569-1810**

**C: 818-468-2505**

**[cmcarcheng@gmail.com](mailto:cmcarcheng@gmail.com)**

**LETTER OF EXPLANATION/JUSTIFICATION FOR PROPOSED  
LIVINGSTONE CHURCH**

June 8, 2021

City of Orange

Planning Division

300 E. Chapman Ave.

Orange, CA 92866

Re: Proposed Livingstone Church located at 295 S Flower Street, Orange, CA 92868.

To whom it may concern:

1. Proposed project is a change of use from existing 4,862 sf. office building to a church with 80 seats sanctuary.

Operation hours for the church is mainly on Sunday between 9:00 AM to 2:00 PM.

There are Two Services:

First Service at 9:00 AM – 10:30 AM.

Second Service at 11:00 AM – 12:30 PM.

Fellowship at 12:30 PM – 2:00 PM.

During the weekdays, Pastor and 1 staff will be using the office between 9:00 AM to 6:00 PM.

The number of existing parking spaces are 46.

The ratio of the number of seats per Parking is  $80/46=1.74$ .

Since the main operation is on Sunday only, no traffic impact is anticipated.

The size of the lot is 29,185 sf. So the FAR is  $4,862/29185=17\%$

2. Existing building is a 1 story wood structure with stucco finish.

There is a 3,633 sf. of landscape area(12.4% of the lot) with trees, shrubs, and ground covers.

Site is on flat ground with gentle slope towards the street for site drainage.

3. Proposed project site is surrounded with 1 story single families on the north, 2 story apartments on the east and south, and a 1 story church on the west across the Street and the building is well separated with Parking lot, Street, and the Setback.

4. Proposed Livingstone Church project will not be detrimental to the public health, safety or welfare, nor be materially injurious to the property or improvements in the vicinity and will be compatible with existing and future uses to the extent those are known, and will comply with each of the applicable provision of the Zoning and Building Code without any variance. Since all the utilities, access roads, drainage and other necessary facilities are provided with existing development, there will not be any problem with proposed church project in providing such facilities. And the proposed Livingstone Church will be beneficial to the community by providing much needed spiritual comfort and the peace of mind to those who are going through difficult time with many issues which are surrounding us in everyday of our lives.

5. Existing church was established in 1996 and had rented school classrooms until 2007 and has rented commercial building in the city of Stanton since 2007 for church operation until now.  
Once the CUP/ Building permit is approved and TI is completed, this church will move to the new location.
6. Kid's Service and Bible Study (Elementary and Youth combined) is provided only in second service (11:00 AM – 12:30 PM).  
There are only 7 kids at this time.
7. Typical Hymns and Gospel music is played before and after the sermon for each Service. Music is accompanied with piano and keyboard with amplifier.  
However, since the location of the sanctuary is well separated from the Surrounding neighbor with parking and other floor spaces, there will not be any issue associated with the noise.
8. As far as special events or activities, there is no special event planned at this time.

If you have any question, please feel free to give me a call at 818-468-2505.

Sincerely,

Myung Chung, AIA  
Project Architect

































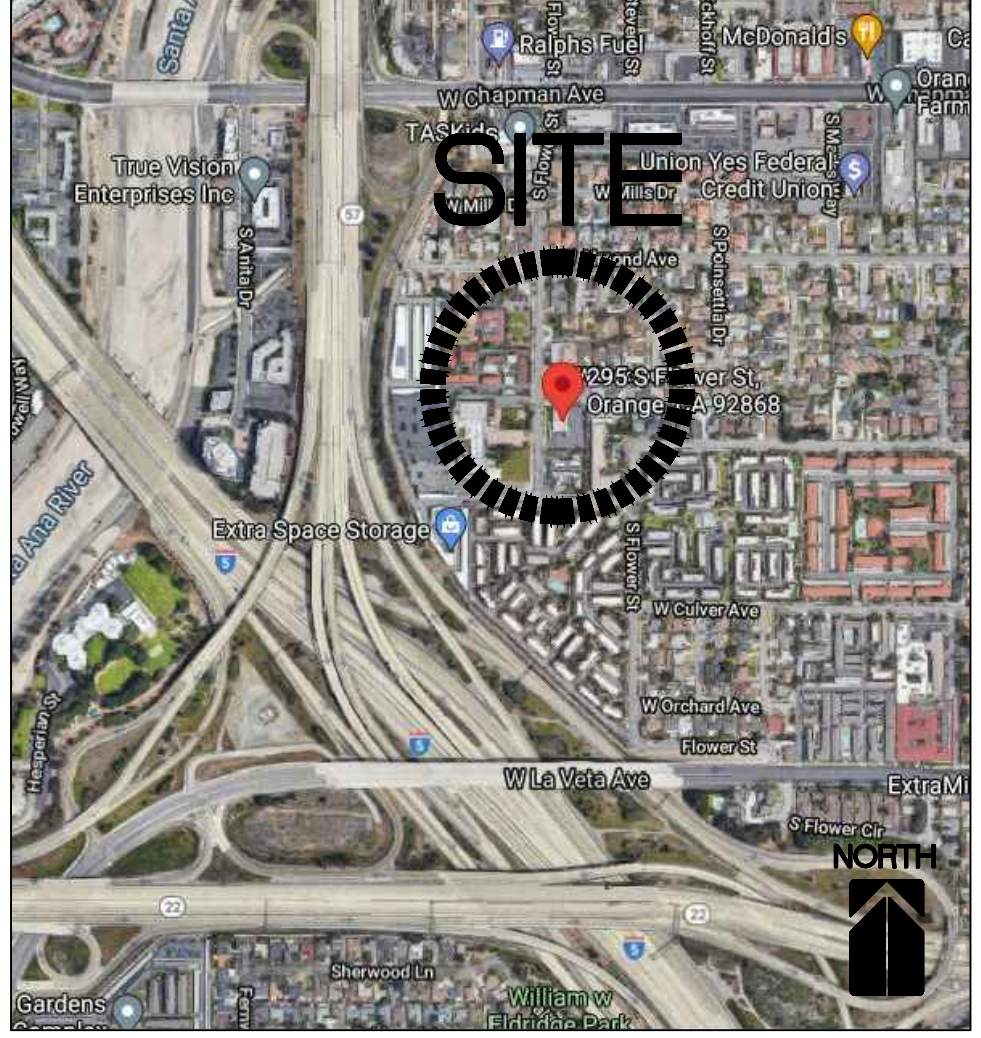
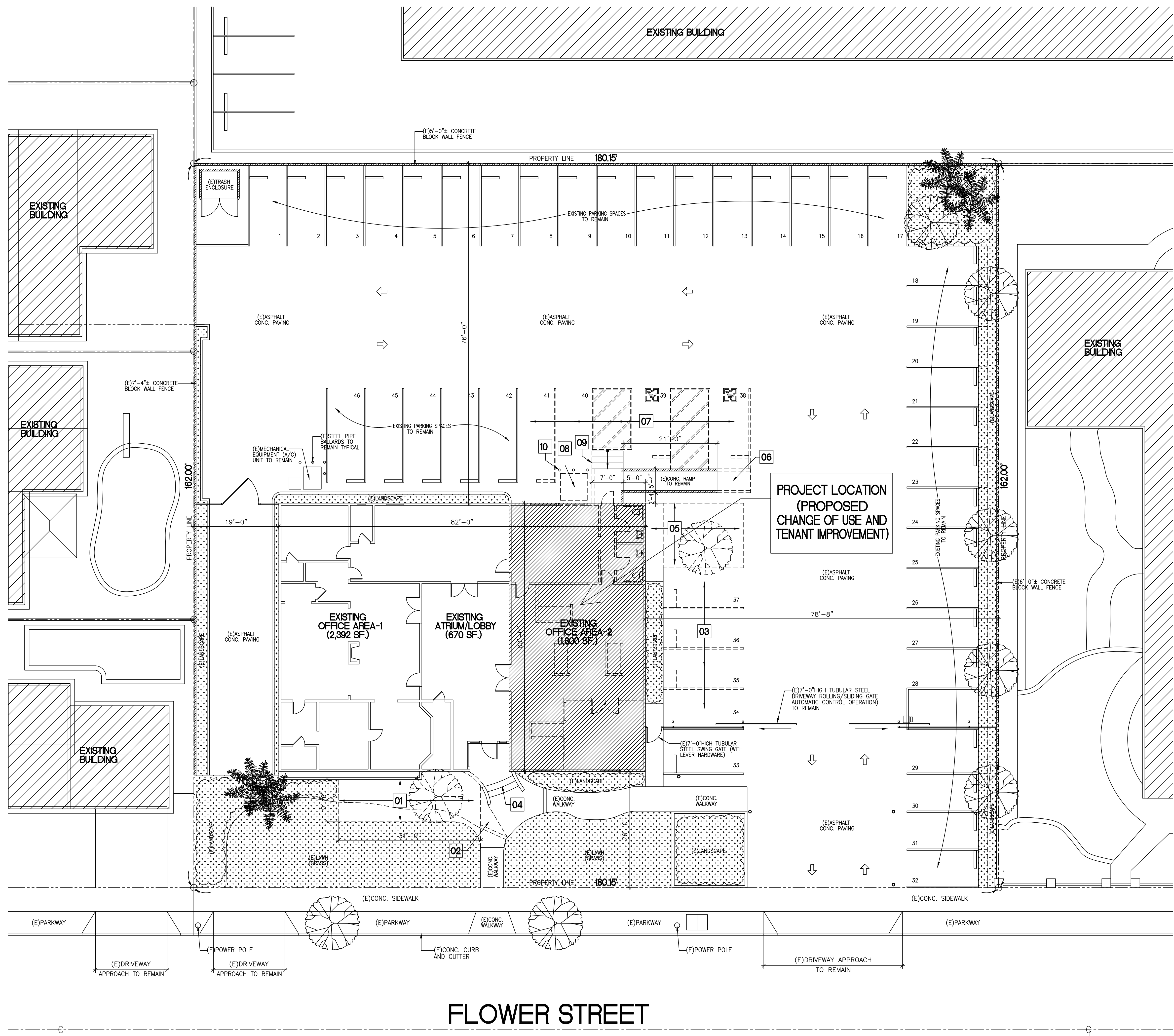












VICINITY MAP N.T.S.

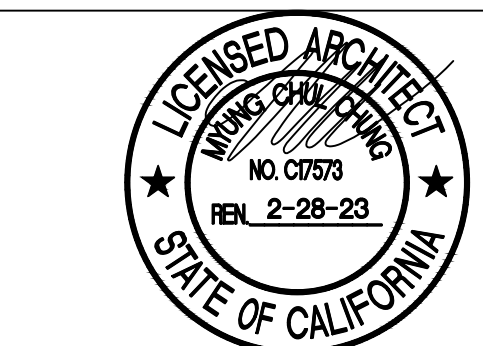
**SITE DEMOLITION KEY NOTES :**

- 01** EXISTING TREE AND PARTIAL LANDSCAPE AREA TO BE REMOVED (FOR THE PROPOSED ACCESSIBLE CONCRETE RAMP/CONCRETE WALKWAY ADDITION ACCESS TO THE MAIN ENTRANCE OF THE BUILDING).
- 02** EXISTING CONCRETE PAVING AREA TO BE REMOVED AND REPAVED.
- 03** EXISTING PARKING SPACES STRIPING TO BE ADJUSTED AND RESTRIPIED.
- 04** EXISTING CONCRETE STAIRWAY/LANDING TO REMAIN.
- 05** EXISTING TREE AND PARTIAL LANDSCAPE AREA TO BE REMOVED (FOR THE PROPOSED ACCESSIBLE PARKING SPACES RELOCATION WITH NEW ASPHALT CONCRETE PAVING).
- 06** EXISTING CONCRETE RAMP TO BE CUT/DEMOLISHED AND MODIFIED TO COMPLY WITH THE ADA REQUIREMENTS.
- 07** EXISTING ACCESSIBLE PARKING SPACES TO BE RELOCATED AND EXISTING PARKING STRIPING TO ADJUSTED/RESTRIPIED.
- 08** EXISTING MECHANICAL EQUIPMENT (A/C) UNIT TO BE RELOCATED.
- 09** EXISTING CONCRETE STAIRWAY/LANDING TO BE WIDEN (OR TO BE EXTENDED).
- 10** EXISTING STEEL PIPE BALLARDS TO BE RELOCATED (TOGETHER WITH THE EXISTING MECHANICAL EQUIPMENT (A/C) UNIT).

783 PHILLIPS DRIVE  
CITY OF INDUSTRY, CA 91748  
PHONE : (626) 569-1810

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REVISIONS		
No.	NOTE	DATE



**PROPOSED CHANGE OF USE AND TENANT IMPROVEMENT FOR LIVINGSTONE CHURCH**

295 S FLOWER STREET  
ORANGE, CA 92868

DRN	ECLR	
DES	ECLR	
CHK	M.CHUNG	DRAWING NAME
APP.	M.CHUNG	EXISTING SITE PLAN (WITH PROPOSED DEMOLITION)
P.M.		
CLIENT APP.	SIGN	DATE
	SCALE	DRAWING NO.
		DB NAME

EXISTING SITE PLAN (WITH PROPOSED DEMOLITION)

3/32"=1'-0" SCALE

1



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REVISIONS	
No.	DATE

**PROJECT INFORMATION :**

- PROJECT ADDRESS :  
295 S FLOWER STREET  
ORANGE, CA 92868
- LOT AREA : = 29,185 SF.
- ASSESSOR'S ID No. : = 390-222-21
- LEGAL DESCRIPTION :  
A TR LOCKHART TR BLK LOT6 LOCKHART  
TR LOT6 W 208FT N 180FT S 383.24FT
- OWNER AND ADDRESS :  
LIVINGSTONE CHURCH  
295 S FLOWER STREET  
ORANGE, CA 92868
- EXISTING BUILDING FLOOR AREA :  
OFFICE AREA-1 : = 2,392 SF.  
OFFICE AREA-2 : = 1,800 SF.  
ATRIUM/LOBBY AREA : = 670 SF.  
TOTAL : = 4,862 SF.

- PROPOSED TENANT IMPROVEMENT ON OFFICE AREA-2 (TO BE CONVERTED INTO CHURCH USE) : = 1,800 SF.
- TYPE OF OCCUPANCY :  
EXISTING : = B  
PROPOSED : = A-3
- BUILDING USE :  
EXISTING : = OFFICE  
PROPOSED : = CHURCH
- TYPE OF CONSTRUCTION : = TYPE V-B
- NUMBER OF STORIES : = 1-STORY
- FIRE SPRINKLER : = NO
- FIRE ALARM : = NO
- NUMBER OF SEATS : = 80
- PARKING REQUIRED :  
1 SPACE/3 SEATS @80 SEATS = 27 SPACES
- PARKING PROVIDED :  
STANDARD = 44 SPACES  
ACCESSIBLE = 2 SPACES  
TOTAL = 46 SPACES
- LANDSCAPE AREA : = 3,633 SF.

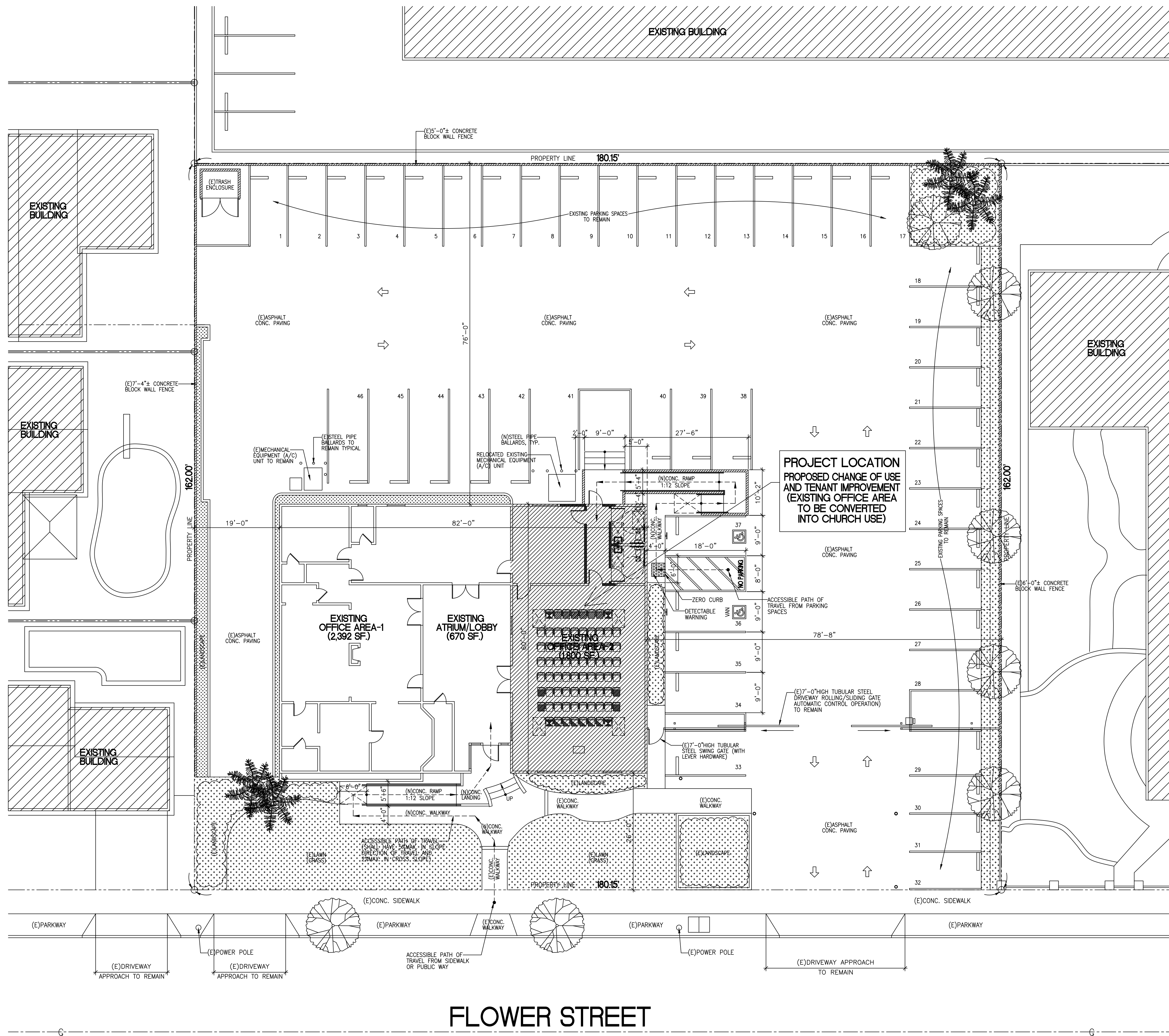
- ARCHITECT :  
CMC ARCHITECTS AND ENGINEERS  
783 PHILLIPS DRIVE  
CITY OF INDUSTRY, CA 91748  
TEL. (626) 569-1810  
CONTACT: MYUNG CHUNG
- GOVERNING CODES APPLIES :  
2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA FIRE CODE (CFC)  
2019 CALIFORNIA ENERGY EFFICIENCY  
2019 CALIFORNIA GREEN BUILDING  
STANDARD CODE (CGBC)

- SCOPE OF WORK :  
1. CHANGE OF USE OF THE BUILDING FROM (E)OFFICE TO CHURCH USE.  
2. MINOR INTERIOR TENANT IMPROVEMENT.



PROPOSED CHANGE OF USE AND TENANT IMPROVEMENT FOR  
**LIVINGSTONE CHURCH**  
295 S FLOWER STREET  
ORANGE, CA 92868

DRN	ECLIR	DRAWING NAME
DES	ECLIR	
CHK	M.CHUNG	SITE PLAN
APP.	M.CHUNG	
P.M.		DB NAME
CLIENT APP.		
DATE	SCALE	DRAWING NO.
		A-2.0



**PROJECT LOCATION  
PROPOSED CHANGE OF USE AND TENANT IMPROVEMENT  
(EXISTING OFFICE AREA TO BE CONVERTED INTO CHURCH USE)**

**FLOWER STREET**

**SITE PLAN**

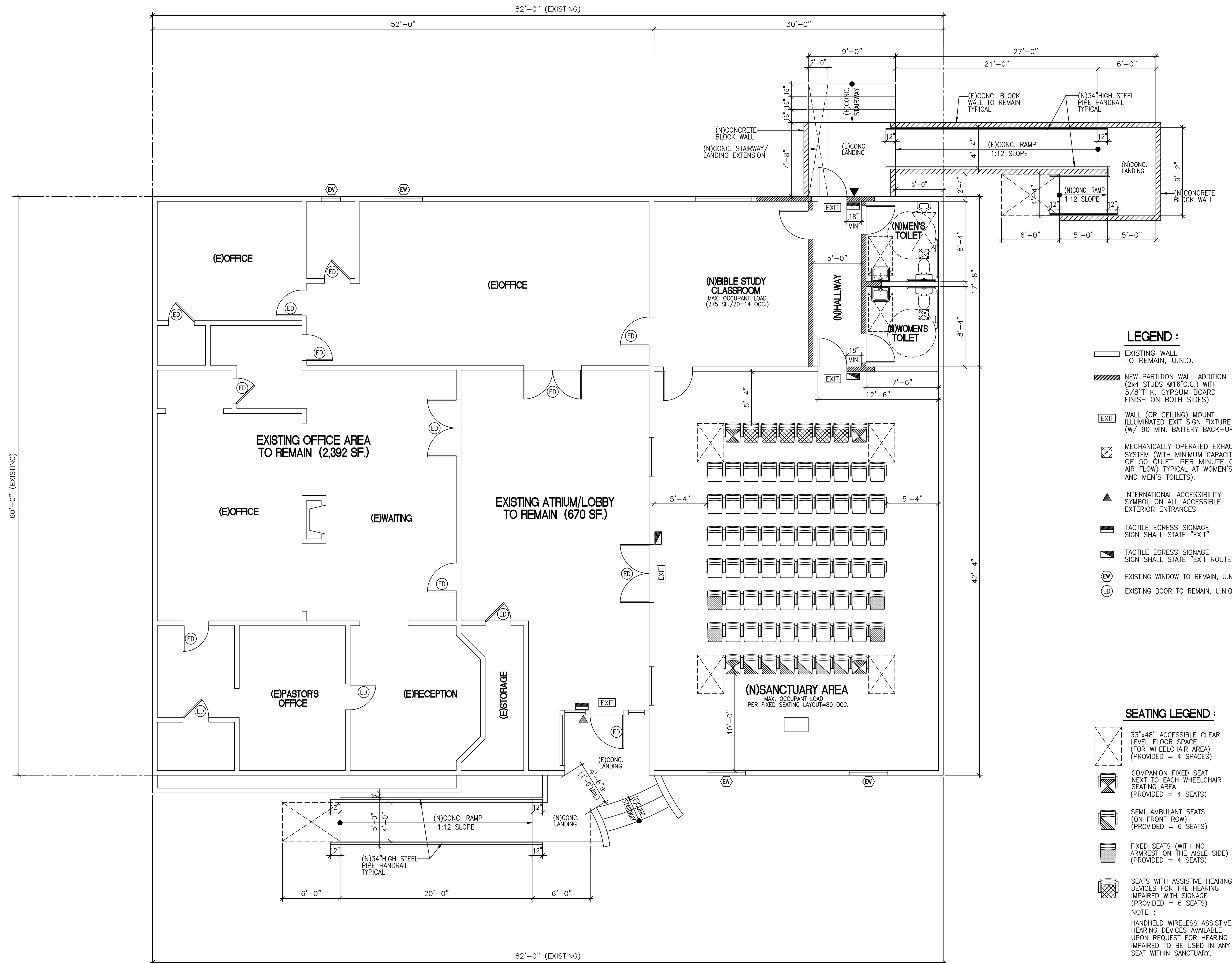
3/32"=1'-0"  
SCALE

1



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REVISIONS		
No.	NOTE	DATE

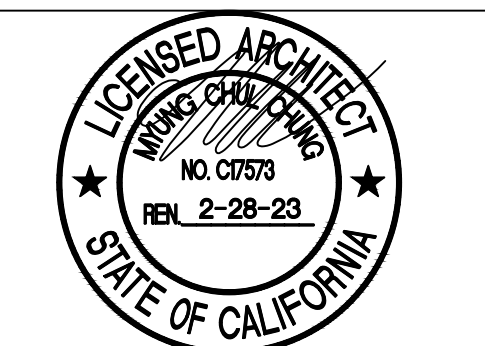


**LEGEND :**

- EXISTING WALL TO REMAIN, U.N.O.
- NEW PARTITION WALL ADDITION (2x4 STUDS @16"O.C.) WITH 5/8"THK. GYPSUM BOARD FINISH ON BOTH SIDES
- EXIT WALL (OR CEILING) MOUNT ILLUMINATED EXIT SIGN FIXTURE (W/ 90 MIN. BATTERY BACK-UP)
- MECHANICALLY OPERATED EXHAUST SYSTEM (WITH MINIMUM CAPACITY OF 50 CU.FT. PER MINUTE OF AIR FLOW) TYPICAL AT WOMEN'S AND MEN'S TOILETS).
- INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE EXTERIOR ENTRANCES
- TACTILE EGRESS SIGNAGE SIGN SHALL STATE "EXIT"
- TACTILE EGRESS SIGNAGE SIGN SHALL STATE "EXIT ROUTE"
- EXISTING WINDOW TO REMAIN, U.N.O.
- EXISTING DOOR TO REMAIN, U.N.O.

**SEATING LEGEND :**

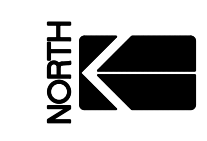
- 33"x48" ACCESSIBLE CLEAR LEVEL FLOOR SPACE (FOR WHEELCHAIR AREA) (PROVIDED = 4 SPACES)
  - COMPANION FIXED SEAT NEXT TO EACH WHEELCHAIR SEATING AREA (PROVIDED = 4 SEATS)
  - SEMI-AMBULANT SEATS (ON FRONT ROW) (PROVIDED = 6 SEATS)
  - FIXED SEATS (WITH NO ARMREST ON THE AISLE SIDE) (PROVIDED = 4 SEATS)
  - SEATS WITH ASSISTIVE HEARING DEVICES FOR THE HEARING IMPAIRED WITH SIGNAGE (PROVIDED = 6 SEATS)
- NOTE :  
HANDHELD WIRELESS ASSISTIVE HEARING DEVICES AVAILABLE UPON REQUEST FOR HEARING IMPAIRED TO BE USED IN ANY SEAT WITHIN SANCTUARY.



PROJECT NAME  
**PROPOSED CHANGE OF USE AND TENANT IMPROVEMENT FOR LIVINGSTONE CHURCH**  
295 S FLOWER STREET  
ORANGE, CA 92868

DRN	ECLR	
DES	ECLR	
CHK	M.CHUNG	DRAWING NAME
APP.	M.CHUNG	<b>EXISTING FLOOR PLAN (WITH PROPOSED RENOVATION)</b>
P.M.		
CLIENT APP.	SIGN DATE	SCALE DRAWING NO. DB NAME
		1 A-4.0

**EXISTING FLOOR PLAN (WITH PROPOSED RENOVATION)**



3/16"=1'-0"  
SCALE



# Agenda Item

## Planning Commission

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**Item #:** 7.2.

11/15/2021

**File #:** 21-0567

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**TO:** Chair and Members of the Planning Commission

**THRU:** Anna Pehoushek, Assistant Community Development Director

**FROM:** Monique Schwartz, Associate Planner

### 1. SUBJECT

**Public Hearing:** Conditional Use Permit No. 3039-17 (State of California Department of Alcoholic Beverage Control Type 21 License), Conditional Use Permit No. 3054-17 (Drive-Through Automatic Car Wash), Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17, Shell Service Station Remodel and New Drive-Through Automatic Car Wash, 2640-2658 N. Santiago Boulevard.

### 2. SUMMARY

The applicant proposes to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, and the sale of alcoholic beverages for off-site consumption.

### 3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 28-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Conditional Use Permit No. 3039-17 (State of California Department of Alcoholic Beverage Control), Conditional Use Permit No. 3054-17 (Drive-through Automatic Car Wash), Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 to renovate an existing full service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, sale of alcoholic beverages under a State of California Department of Alcoholic Beverage Control (ABC) Type 21 (Off-Sale General) License, and making a finding of public convenience or necessity, located at 2640-2658 N. Santiago Boulevard.

### 4. AUTHORIZING GUIDELINES

Orange Municipal Code (OMC) Sections 17.08.020, 17.10.030.C, and 17.13.030 authorize the Planning Commission (PC) to review and take action on the subject applications. OMC Table 17.08.020 - Reviewing Bodies states that when more than one type of application is filed for a single project, the application requiring the highest level of approval shall dictate the review process for the entire group of applications. Therefore, the PC is acting as the final approving body on all of the applications for the project.

## 5. PROJECT BACKGROUND

<i>Applicant:</i>	Design Concepts: Shiv Talwar
<i>Property Owner</i>	Surinder Multani
<i>Property Location</i>	2640-2658 N. Santiago Boulevard
<i>Existing General Plan Land Use Element Designation</i>	General Commercial (GC)
<i>Existing Zoning Classification</i>	Limited Business Tustin Redevelopment Project Area (C-TR)
<i>Old Towne</i>	No
<i>Specific Plan/PC</i>	No
<i>Site Size</i>	71,683 square feet (1.65 acres)
<i>Circulation</i>	The project site is located on the west side of North Santiago Boulevard, between Nohl Ranch Road to the north and Robinhood Place to the south. The City's Master Plan of Streets and Highways classifies North Santiago Boulevard as a Secondary Arterial with an ultimate right of way width of 86 feet. Three two-way driveways are provided along the east property line. On-site circulation is provided by a single drive-through lane starting at the northwest corner that wraps around the perimeter of the multi-tenant retail building leading to the car wash entrance. Two-way drive aisles are also provided within the project interior for access to the fuel pumps, convenience store, and multi-tenant retail building.
<i>Existing Conditions</i>	Shell service station with a 1,942 square foot building containing a convenience store and three service bays, an attached fuel canopy with associated fuel pumps, a 6,144 square foot multi-tenant retail building, surface parking, and related site improvements.
<i>Surrounding Land Uses and Zoning</i>	To the north of the project site is a one-story, free-standing multi-tenant commercial building, zoned C-TR. To the south is a one-story office complex (The Orchard), zoned Office Professional (O-P). To the east is Santiago Boulevard. Also to the east across Santiago Boulevard is a single family residential neighborhood on an upward sloping topography, zoned Single Family Residential 6,000 square feet (R-1-6) and Single Family Residential 10,000 square feet (R-1-10). To the west is the State Route (SR) 55 interchange with Lincoln Avenue and Nohl Ranch Road.

<p><i>Previous Applications/Entitlements</i></p>	<p>On March 3, 1977, the City Council approved Conditional Use Permit No. 0805, a request to sell beer and wine in conjunction with the operation of a restaurant, located at 2658 N. Santiago Boulevard. On August 6, 1987, the Zoning Administrator approved Conditional Use Permit 1612, a request to re-open an existing service station that had been closed for over two years, located at 2640 N. Santiago Boulevard. On November 4, 1987, the Design Review Committee approved DRC No. 2017 for a sign program, located at 2650-2660 N. Santiago Boulevard. On August 24, 1989, the City approved Conditional Use Permit No. 1788-89, a request for an ABC Type 41 (On-Sale Beer and Wine) License within an existing restaurant, located at 2658 N. Santiago Boulevard. On May 8, 1996, the Zoning Administrator approved Design Review No. 3146-96 for the construction of a freeway sign at an existing service station, located at 2640 N. Santiago Boulevard. On May 14, 1996, the City Council approved Conditional Use Permit No. 2133-95, a request to upgrade an existing ABC Type 20 (Off-Sale Beer and Wine) License to a Type 21 (Off-Sale General) License for a Circle K Mini Market, located at 2650 N. Santiago Boulevard. On June 20, 1996, the Zoning Administrator approved Variance 2018-96 to allow the placement of a freestanding sign which exceeds the maximum height and the number of signs allowed by code, located at 2640 N. Santiago Boulevard. On April 21, 2016, the Community Development Director approved Temporary Use Permit No. 0189-16 for the operation of a fruit stand, located at 2650 N. Santiago Boulevard.</p>
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**6. PROJECT DESCRIPTION**

The applicant proposes to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, and the sale of alcoholic beverages for off-site consumption. Access to the single drive-through lane begins at the northeast driveway entrance where cars form a queue around the northern perimeter of the multi-tenant retail building leading to the automatic pay booth at the entrance of the car wash tunnel. The project has been provided with 39 parking spaces and drive-through queuing capacity for 10 vehicles.

The existing convenience store/service bay building, fuel canopies, fuel pumps, and multi-tenant retail building will remain in the same locations as part of this proposal. Access to the site also remains the same, with three driveway approaches along North Santiago Boulevard.

Convenience Store

The existing 1,942 square foot convenience store/service bay building will be expanded by 333 square feet on the east side, under the existing roof canopy and remodeled on the interior to eliminate the two service bays in order to enlarge the convenience store floor area. The interior of the convenience store will be configured with a restroom, storage room, walk-in cooler, self-service food counters, merchandise shelving for food products and dry goods, and cashier counter. The main entrance/exit is located on the east side of the building, with a separate exterior entrance to the



restroom facility. The gabled roof edge on the north side of the building will be modified to a hipped roof design to better match the roofline of the fuel canopy and south side of the building. The exterior façade will maintain the existing building design and utilize similar materials and finishes in the area of the addition, including new matching windows, painted stucco finish, and vertical wood trim details.

The project also includes a request to sell alcoholic beverages under an ABC Type 21 (Off-Sale General) License within the newly remodeled convenience store in order to provide a one-stop shopping experience to new and existing customers. Three to four refrigerated coolers will be designated for alcoholic beverages, approximately 43 feet from the store's main entrance/exit. The proposed hours for alcohol sales will be 6:00 a.m. to 2:00 a.m. The cooler doors designated for alcohol sales will be locked during non-alcohol selling hours. There will be approximately 10 employees that will operate the gas station, convenience store, and car wash. The proposed hours of operation are:

Gas Station Fueling/Convenience Store:           Open 24 hours/day

#### Car Wash

The new 2,340 square foot drive-through automatic carwash building will be located to the rear of the convenience store and multi-tenant buildings, at the top of an existing landscape slope, and adjacent to the west property line and the SR 55 freeway. Access to the car wash tunnel will be provided by a designated drive-through lane, located at the northeast corner of the property. The interior of the building will be configured with a car wash tunnel, mechanical equipment room, and office area. The exterior design of the building will incorporate similar architectural features and materials as the adjacent convenience store and multi-tenant building, including a terra cotta hip style roof with exposed rafter details, large windows along the west elevation, painted stucco finish, vertical wood trim, metal wall light fixtures, and painted metal utility doors. The proposed hours of operation for the car wash are:

Car Wash:   Monday through Sunday: 7:00 a.m. to 9:00 p.m.

#### Accessory Structure

A new concrete masonry trash enclosure will be located within a landscape planter adjacent to the southwest corner of the site. The enclosure exterior design will utilize matching colors and materials as the other buildings on the site, including painted stucco finish, painted metal doors, and painted overhead wooden trellis.

#### Multi-tenant Retail Building and Overall Site

The gabled end roofline on the south side of the existing multi-tenant building will be modified to a hipped roof end in order to match the roof design on the north end of the building, and coordinate with the rooflines of the convenience store, fuel canopy, and new carwash building. No other modifications are proposed, except that the exterior of the building will be re-painted to match the newly expanded convenience store and new car wash building.

The proposed exterior color scheme for the entire project will incorporate an earth tone color palette of light beige and dark brown. All existing permanent signage on the property, including ground and wall signs will remain unchanged, except for one ground sign along the east property line that will be removed and replaced. All signs are not included in this proposal.

Landscaping

The project proposes water efficient landscaping along the property frontage, site interior, and perimeter boundaries to include existing Canary Island Pine and Eucalyptus trees, Samuel Sommer Magnolia (standard), Fern Pine (standard), and Chinese Elm (standard) trees, as well as a mix of shrubs and ground cover including Rosenka Bougainvillea, orange Daylily, gold Lantana, and Cape Honeysuckle. The proposed landscape palette will accentuate the design of the buildings along the project's street frontage, provide screening of the new car wash building and back of the existing multi-tenant commercial building along the freeway's edge, and complement the existing landscaping along the North Santiago Boulevard Corridor.

Lighting

New LED wall mounted light fixtures, with the light projecting in a downward direction, are proposed on the north and south sides of the multi-tenant and convenience store buildings, as well as on the east side of the car wash building and south side of the trash enclosure. The project perimeter will include new 25-foot tall, pole mounted LED light fixtures located in landscape planters adjacent to the car wash tunnel entrance and exit, at the northwest corner of the site, along the south property line, and property frontage. All lighting will be shielded and oriented to prevent glare or light spillage onto neighboring properties.

Additional design and landscape details are included in the attached DRC staff report (Attachment 5).

Parking

Orange Municipal Code Table 17.34.060 provides the minimum off-street parking requirements for non-residential uses in the City. Code requires 39 parking spaces for the gas station, car wash, and multi-tenant retail building. The project has provided 39 parking spaces with two surplus stalls for air/water usage for the gas station and vacuum stall for the car wash. In addition, the Traffic Assessment Study of Parking and Queuing conducted by the applicant's consultant (Attachment 4) concludes that 39 parking spaces are sufficient to accommodate the needs of the project.

Development Standards

	Required	Proposed	Code Section
<i>Building Height</i>	Maximum of 32 feet-2 Stories	Convenience Store: 19 feet-3 inches and one story Car Wash: 16 feet-7inches and one story Multi- tenant Building: 18 feet-9 inches and one story	Table 17.18.120
<i>Fence height</i>	6-foot tall	6 foot tall	17.18.140
<i>Floor Area Ratio (FAR)</i>	Maximum 1.0	.15	General Plan

<i>Landscaping (non-residential)</i>	Front: 10 feet minimum Interior Sides and Rear: 4 feet minimum. If perpendicular parking is provided at property lines, than 6 feet minimum Parking Areas - screened with shrubs - 5 gallon minimum size Trash Enclosure: 4-foot wide landscape planter on at least two sides 62 trees	10 feet North Side: 4 feet-3 inches South Side: 10 feet-2 inches Rear: 4 feet-11 inches 5 gallon shrubs 10 feet on two sides 56 trees	17.18.160.A.1.a 17.18.160.A.1.b 17.18.160.A.2 17.18.160.A.3 17.18.160.B.1.a
<i>Lot frontage</i>	None	324 feet	17.18.100
<i>Lot depth</i>	None	169-218 feet	17.18.100
<i>Setback, Front (Santiago Boulevard)</i>	10 feet minimum	86 feet	Table 17.18.130
<i>Setback, Rear</i>	0 feet	8.5 feet	Table 17.18.130
<i>Setback, Interior North Side</i>	0 feet	25 feet	Table 17.18.130
<i>Setback, Interior South Side</i>	0 feet	52 feet	Table 17.18.130
<i>Parking (non-residential)</i>	39 total spaces required: 2 spaces for gas station with convenience store 3 spaces for convenience store 2.5 spaces for car wash 31 spaces for multi-tenant building	39 spaces 1 space for air/water service 1 vacuum space	Table 17.34.060.B
<i>Special Regulations for Drive-through Uses</i>	<ul style="list-style-type: none"> <li>• No obstruction of on-site circulation</li> <li>• Enriched paving for pedestrian walkways</li> <li>• 12 feet minimum width for drive through lane</li> <li>• Queuing Study (7 car stacking distance)</li> </ul>	Drive-through lane wraps around the perimeter of the multi-tenant building and behind the shopping center. On-site circulation is not obstructed. There are no pedestrian walkways proposed adjacent to the drive-through lane. 12 feet wide 10 car stacking distance	17.13.050.S

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

### Issue 1: Drive-through Queuing

OMC Section 17.13.050.S requires that drive-through uses submit a queuing study that is based upon similar operations, addressing the anticipated traffic volumes and vehicular stacking needs of the proposed operation. The applicant submitted a Traffic Assessment Study of Parking and Queuing

(Attachment 4) concluding that a seven car stacking distance (145 feet) before the car wash entrance would be sufficient, based on the comparison to another similar drive-through automatic car wash located in the City of Tustin. The applicant however, has provided a total queue capacity of ten vehicles. Staff and the City's Traffic Engineer have found that the proposed stacking lane will provide enough room for vehicles to wait in the queue and not extend into or block any vehicular paths of travel for the retail uses, gas station, or extend into the public right of way along Santiago Boulevard. In addition, staff has included conditions of approval No. 29 and 30 that provide additional assurance that if queuing/parking issues arise on the site or surrounding neighborhood, the applicant would be required to work with the Community Development Department to resolve any issues. If the queuing/parking issues cannot be resolved to the City's satisfaction, the land use applications would return to the Planning Commission for its consideration of further conditions and/or modifications.

#### Issue 2: Tustin Street Design Standards

The 1986 Tustin Street Design Standards were created in response to the City's goal of encouraging redevelopment and reinvestment in the Tustin Street Redevelopment Project Area and related Limited Business Tustin Redevelopment Project Area (C-TR) zoning district. Although the Redevelopment Agency no longer exists, the Tustin Street Design Standards are still applicable to all changes proposed to existing buildings and to all new construction within the Tustin Street Project Area. The proposed project is located within Thematic District #1 of the Tustin Street Design Standards. This area is isolated from Tustin Street by the SR 55 freeway. The property is visible from the freeway, and the uses generally serve residential developments to the east and freeway motorists. The design guidelines of the document indicate that "building scale, materials and plant materials shall relate to residential uses".

Modifications to the convenience store/service bay building, multi-tenant building, new car wash building and trash enclosure, associated landscaping, and site improvements are generally in conformance with the Tustin Street Design Standards for Thematic District #1 and complement the existing commercial site. The simple one-story architectural design with hip style terra cotta roofing, painted stucco finish and wood trim details, as well as project landscaping blends with the adjacent residential neighborhoods to the east. The project provides an updated and refreshed, internally consistent, integrated design theme which upholds community aesthetics.

#### Issue 3: Landscaping - Number of Trees

While the Landscape Guidelines recommend a total of 62 trees to be planted on the site, the project has provided 56 (13 existing and 43 new). In considering the proposed site layout and the limitations of pre-existing buildings and landscape planter locations and sizes, and in response to recommendations by the City's Senior Landscape Coordinator for adequate spacing to prevent overcrowding and tree sustainability, Staff has determined that the proposed conceptual landscape plan, including tree count is adequate for the project.

#### Issue 4: Existing Licenses within 600 feet of the Site

For information purposes, staff identified the following facilities selling alcoholic beverages that are located within a 600-foot proximity to the retail establishment's entrance (see Attachment 8, ABC Evaluation Map).

**Existing Licenses**

<b>Establishment Name</b>	<b>License Type</b>	<b>Address</b>
KC Liquor	Type 21 Off-Sale General	2650 N. Santiago Boulevard
Marris Pizza Italian Restaurant	Type 41 On-Sale Beer and Wine	2658 N. Santiago Boulevard
Valero Gas Station	Type 20 Off-Sale Beer and Wine	2700 N. Santiago Boulevard

**Issue 5: Sensitive Receptors**

The OMC requires a CUP for the sale of alcoholic beverages to ensure there will be no adverse impact on surrounding land uses or allow the availability of alcoholic beverages to minors. When reviewing alcohol permits, the Zoning Ordinance details specific land uses that are sensitive to alcohol activities, but does not establish any specific distances for these uses. The State (ABC) Board investigation requires applicants to identify the sensitive land uses within 600 feet of the site. Below are sensitive receptors in the vicinity of the subject property:

**Sensitive Receptors**

<b>Establishment Name</b>	<b>Address</b>	<b>Distance To Project Site</b>
Vista Royale Residential Tract: Single Family Residences	N. Vista Glen Road	72 - 600 ft.
	E. Orangeview Lane	79 - 600 ft.
	E. Vista Mesa Way	287 - 600 ft.
	E. Vista Canyon Road	308 - 600 ft.
	E. Hilman Circle	437 - 600 ft.
	N. Vista Court	544 - 600 ft.

While there are no churches, schools, public playgrounds, or other similar uses within 600 feet of the site, the single family residences located within the Vista Royale Residential Tract are located across the street, but do not have direct access to the project site and the sale of alcohol would be accessory to the sale of fuel and convenience store merchandise.

**Issue 6: Census Tract Alcohol and Crime Statistics Information**

The Orange Police Department's (OPD) Vice Unit reviewed the proposal in September 2017; however, because the project experienced an extended preliminary review period of nearly four years, the OPD reviewed the proposal a second time in September 2021 in order to provide updated statistics. The OPD reports that the existing business is located within Census Tract 758.13 that is considered over-concentrated with off-sale alcohol licenses as follows:

**Alcohol Licenses**

	Existing	Allowed
On-Sale Licenses	4	6
Off-Sale Licenses	3	2

Census tracts are defined as small geographical areas established by local committees and approved by the Census Bureau, which contain a population segment with relatively uniform economic and social characteristics and clearly identifiable boundaries averaging approximately 1,200 households.

The ABC establishes an over-concentration of alcohol licenses based on the average number of alcohol licenses versus the population in a given census tract. However, the ABC and the City recognize that licenses should be reviewed on a case-by-case basis to ensure that such sales will not adversely affect surrounding residents, businesses, and institutions and to ensure that any such use operates in a manner compatible with existing and future adjacent uses. This site is located within a commercial corridor in the City of Orange, where it is common to have an over-concentration of alcohol licenses.

**Crime Statistics**

The Applicant is applying for an ABC license in a census tract that is considered a low crime area as follows:

Census Tract Reported Crimes	Citywide Average Reported Crimes	Percent Difference
11	74	65% below the average

Crime statistics were relatively similar in 2017 and in 2020; however, the most current memo from OPD dated September 13, 2021 (Attachment 7) indicates that current crime figures in Reporting District (RD) 117w show 11 crimes reported, with the city-wide average being 74. RD 117w is ranked 68 out of 92 districts in the City of Orange, and is 65% below the average reported crimes. High crime is considered 20% above the average of reported crime within all reporting districts in the City per Business and Professions Code Section 23958.4.

In reviewing the police activity in RD 117w, it was reported that there were 15 arrests in 2020. Out of the 15 arrests, four were related to alcohol use. These offenses included two arrests for driving under the influence, one arrest for public consumption of alcohol, and one arrest for public intoxication. The public intoxication arrest occurred at the subject property (2640 N. Santiago Boulevard), where a call for service was made by a Shell Station employee regarding an assault and battery that occurred outside the business.

The OPD's Vice Unit does not oppose the issuance of CUP No. 3039-17 for an ABC Type 21 (Off-Sale General) License despite the overconcentration of off-sale alcohol permits within Census Tract 758.13. RD 117w is considered a low crime area, which is 65 percent below the average reported crimes. Strong consideration was given to the manner in which the existing establishment operates,

the manner in which it conducts its security, and the fact that the existing business has not created a nuisance to the community or a burden on police services in its previous years of operation. In addition, the total area dedicated to the display of alcoholic beverages will not exceed 10 percent of the store's total sales floor area and the refrigerated coolers containing the alcohol for sale will be located approximately 43 feet from the store's main entrance/exit.

The sale of alcohol is not expected to contribute to the crime statistics in the area or create an undue burden on public safety resources. Staff supports the proposal and does not anticipate that the use will create an impact on neighboring land uses within the area since a convenience store that sells alcoholic beverages is compatible with the mixed commercial uses within the area. Should the Planning Commission approve the proposal, the OPD recommends conditions based on the City's Security Standards (see Attachment 7).

It is important to note that the applicant has reviewed the proposed conditions of approval and is in agreement with all conditions.

#### Issue 7: Findings of Convenience or Necessity

The PC is also being asked by the ABC to make a finding of public convenience or necessity. The ABC establishes an over concentration of alcohol licenses based on the average number of alcohol licenses versus the population in a given census tract. However, the ABC and the City recognize that licenses should be reviewed on a case-by-case basis to ensure that such sales will not adversely affect surrounding residents, businesses, and institutions and to ensure that any such use operates in a manner compatible with existing and future adjacent uses.

The PC may find that the sale of alcoholic beverages within a gas station convenience store is an appropriate accessory use and is a service typically expected by the public. Should the project be approved, a draft letter to the ABC finding that the project merits favor based on public convenience or necessity is provided for the Commission Chair's signature (Attachment 9).

## **8. PUBLIC NOTICE**

On November 5, 2021, the City sent a Public Hearing Notice to a total of 67 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site has been posted in two locations with the notification on that same date.

## **9. ENVIRONMENTAL REVIEW**

**Categorical Exemption:** The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) because it consists of the conversion of service bays into convenience store area, expansion of the convenience store, and construction of a car wash structure (< 10,000 SF in urbanized area) zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available and where the area is not environmentally sensitive. There is no environmental public review required for a Categorical Exemption.

## **10. ADVISORY BOARD ACTION**

### **Staff Review Committee:**

The City's inter-departmental staff review committee (SMART) conducted reviews of the project on September 27, 2017, April 25, 2018, and September 12, 2018. On April 10, 2019, SMART

recommended that the project proceed to the DRC with conditions.

**Design Review Committee:**

The DRC conducted reviews of the project on May 15, 2019, November 6, 2019, June 3, 2020, and August 5, 2020 wherein the project was continued at each meeting in order for the applicant to adequately address the Committee's comments and concerns. On September 15, 2021, the DRC unanimously (5-0 vote) recommended project approval to the Planning Commission with the following conditions:

- Replace the Chinese Elm that are located on the lower slope with Arbutus Marina.
- A landscape maintenance plan shall be provided prior to issuance building permit.
- The landscape maintenance shall be performed in such a manner as to allow all trees to attain and retain their full canopy height for screening purposes and canopy breath for shade purposes.

The Staff Report and Minutes for the September 15, 2021 meeting are provided as Attachments 5 and 6 to this report. The DRC conditions of approval are included within Planning Commission Resolution No. PC 28-21 (Attachment 1).

## 11. ATTACHMENTS

- Attachment 1 Planning Commission Resolution No. PC 28-21
- Attachment 2 Vicinity Map
- Attachment 3 Applicant's Letter of Explanation
- Attachment 4 Traffic Assessment Study of Parking and Queuing by Transtech Engineers, Inc., Dated June 6, 2017
- Attachment 5 September 15, 2021 Design Review Committee Staff Report
- Attachment 6 September 15, 2021 Design Review Committee Meeting Minutes
- Attachment 7 Orange Police Department Memoranda with Conditions, Dated September 20, 2021 and September 25, 2017
- Attachment 8 ABC Evaluation Map
- Attachment 9 Draft Letter to ABC for Finding of Public Convenience or Necessity
- Attachment 10 Project Plans, Site Photographs, Colors and Materials, Date Stamped October 22, 2021





# Agenda Item

## Planning Commission

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**Item #:** 7.2.

11/15/2021

**File #:** 21-0567

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**TO:** Chair and Members of the Planning Commission

**THRU:** Anna Pehoushek, Assistant Community Development Director

**FROM:** Monique Schwartz, Associate Planner

### 1. SUBJECT

**Public Hearing:** Conditional Use Permit No. 3039-17 (State of California Department of Alcoholic Beverage Control Type 21 License), Conditional Use Permit No. 3054-17 (Drive-Through Automatic Car Wash), Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17, Shell Service Station Remodel and New Drive-Through Automatic Car Wash, 2640-2658 N. Santiago Boulevard.

### 2. SUMMARY

The applicant proposes to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, and the sale of alcoholic beverages for off-site consumption.

### 3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 28-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Conditional Use Permit No. 3039-17 (State of California Department of Alcoholic Beverage Control), Conditional Use Permit No. 3054-17 (Drive-through Automatic Car Wash), Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 to renovate an existing full service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, sale of alcoholic beverages under a State of California Department of Alcoholic Beverage Control (ABC) Type 21 (Off-Sale General) License, and making a finding of public convenience or necessity, located at 2640-2658 N. Santiago Boulevard.

### 4. AUTHORIZING GUIDELINES

Orange Municipal Code (OMC) Sections 17.08.020, 17.10.030.C, and 17.13.030 authorize the Planning Commission (PC) to review and take action on the subject applications. OMC Table 17.08.020 - Reviewing Bodies states that when more than one type of application is filed for a single project, the application requiring the highest level of approval shall dictate the review process for the entire group of applications. Therefore, the PC is acting as the final approving body on all of the applications for the project.

## 5. PROJECT BACKGROUND

<i>Applicant:</i>	Design Concepts: Shiv Talwar
<i>Property Owner</i>	Surinder Multani
<i>Property Location</i>	2640-2658 N. Santiago Boulevard
<i>Existing General Plan Land Use Element Designation</i>	General Commercial (GC)
<i>Existing Zoning Classification</i>	Limited Business Tustin Redevelopment Project Area (C-TR)
<i>Old Towne</i>	No
<i>Specific Plan/PC</i>	No
<i>Site Size</i>	71,683 square feet (1.65 acres)
<i>Circulation</i>	The project site is located on the west side of North Santiago Boulevard, between Nohl Ranch Road to the north and Robinhood Place to the south. The City's Master Plan of Streets and Highways classifies North Santiago Boulevard as a Secondary Arterial with an ultimate right of way width of 86 feet. Three two-way driveways are provided along the east property line. On-site circulation is provided by a single drive-through lane starting at the northwest corner that wraps around the perimeter of the multi-tenant retail building leading to the car wash entrance. Two-way drive aisles are also provided within the project interior for access to the fuel pumps, convenience store, and multi-tenant retail building.
<i>Existing Conditions</i>	Shell service station with a 1,942 square foot building containing a convenience store and three service bays, an attached fuel canopy with associated fuel pumps, a 6,144 square foot multi-tenant retail building, surface parking, and related site improvements.
<i>Surrounding Land Uses and Zoning</i>	To the north of the project site is a one-story, free-standing multi-tenant commercial building, zoned C-TR. To the south is a one-story office complex (The Orchard), zoned Office Professional (O-P). To the east is Santiago Boulevard. Also to the east across Santiago Boulevard is a single family residential neighborhood on an upward sloping topography, zoned Single Family Residential 6,000 square feet (R-1-6) and Single Family Residential 10,000 square feet (R-1-10). To the west is the State Route (SR) 55 interchange with Lincoln Avenue and Nohl Ranch Road.

<p><i>Previous Applications/Entitlements</i></p>	<p>On March 3, 1977, the City Council approved Conditional Use Permit No. 0805, a request to sell beer and wine in conjunction with the operation of a restaurant, located at 2658 N. Santiago Boulevard. On August 6, 1987, the Zoning Administrator approved Conditional Use Permit 1612, a request to re-open an existing service station that had been closed for over two years, located at 2640 N. Santiago Boulevard. On November 4, 1987, the Design Review Committee approved DRC No. 2017 for a sign program, located at 2650-2660 N. Santiago Boulevard. On August 24, 1989, the City approved Conditional Use Permit No. 1788-89, a request for an ABC Type 41 (On-Sale Beer and Wine) License within an existing restaurant, located at 2658 N. Santiago Boulevard. On May 8, 1996, the Zoning Administrator approved Design Review No. 3146-96 for the construction of a freeway sign at an existing service station, located at 2640 N. Santiago Boulevard. On May 14, 1996, the City Council approved Conditional Use Permit No. 2133-95, a request to upgrade an existing ABC Type 20 (Off-Sale Beer and Wine) License to a Type 21 (Off-Sale General) License for a Circle K Mini Market, located at 2650 N. Santiago Boulevard. On June 20, 1996, the Zoning Administrator approved Variance 2018-96 to allow the placement of a freestanding sign which exceeds the maximum height and the number of signs allowed by code, located at 2640 N. Santiago Boulevard. On April 21, 2016, the Community Development Director approved Temporary Use Permit No. 0189-16 for the operation of a fruit stand, located at 2650 N. Santiago Boulevard.</p>
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## 6. PROJECT DESCRIPTION

The applicant proposes to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, and the sale of alcoholic beverages for off-site consumption. Access to the single drive-through lane begins at the northeast driveway entrance where cars form a queue around the northern perimeter of the multi-tenant retail building leading to the automatic pay booth at the entrance of the car wash tunnel. The project has been provided with 39 parking spaces and drive-through queuing capacity for 10 vehicles.

The existing convenience store/service bay building, fuel canopies, fuel pumps, and multi-tenant retail building will remain in the same locations as part of this proposal. Access to the site also remains the same, with three driveway approaches along North Santiago Boulevard.

### Convenience Store

The existing 1,942 square foot convenience store/service bay building will be expanded by 333 square feet on the east side, under the existing roof canopy and remodeled on the interior to eliminate the two service bays in order to enlarge the convenience store floor area. The interior of the convenience store will be configured with a restroom, storage room, walk-in cooler, self-service food counters, merchandise shelving for food products and dry goods, and cashier counter. The main entrance/exit is located on the east side of the building, with a separate exterior entrance to the

restroom facility. The gabled roof edge on the north side of the building will be modified to a hipped roof design to better match the roofline of the fuel canopy and south side of the building. The exterior façade will maintain the existing building design and utilize similar materials and finishes in the area of the addition, including new matching windows, painted stucco finish, and vertical wood trim details.

The project also includes a request to sell alcoholic beverages under an ABC Type 21 (Off-Sale General) License within the newly remodeled convenience store in order to provide a one-stop shopping experience to new and existing customers. Three to four refrigerated coolers will be designated for alcoholic beverages, approximately 43 feet from the store's main entrance/exit. The proposed hours for alcohol sales will be 6:00 a.m. to 2:00 a.m. The cooler doors designated for alcohol sales will be locked during non-alcohol selling hours. There will be approximately 10 employees that will operate the gas station, convenience store, and car wash. The proposed hours of operation are:

Gas Station Fueling/Convenience Store:           Open 24 hours/day

#### Car Wash

The new 2,340 square foot drive-through automatic carwash building will be located to the rear of the convenience store and multi-tenant buildings, at the top of an existing landscape slope, and adjacent to the west property line and the SR 55 freeway. Access to the car wash tunnel will be provided by a designated drive-through lane, located at the northeast corner of the property. The interior of the building will be configured with a car wash tunnel, mechanical equipment room, and office area. The exterior design of the building will incorporate similar architectural features and materials as the adjacent convenience store and multi-tenant building, including a terra cotta hip style roof with exposed rafter details, large windows along the west elevation, painted stucco finish, vertical wood trim, metal wall light fixtures, and painted metal utility doors. The proposed hours of operation for the car wash are:

Car Wash:   Monday through Sunday: 7:00 a.m. to 9:00 p.m.

#### Accessory Structure

A new concrete masonry trash enclosure will be located within a landscape planter adjacent to the southwest corner of the site. The enclosure exterior design will utilize matching colors and materials as the other buildings on the site, including painted stucco finish, painted metal doors, and painted overhead wooden trellis.

#### Multi-tenant Retail Building and Overall Site

The gabled end roofline on the south side of the existing multi-tenant building will be modified to a hipped roof end in order to match the roof design on the north end of the building, and coordinate with the rooflines of the convenience store, fuel canopy, and new carwash building. No other modifications are proposed, except that the exterior of the building will be re-painted to match the newly expanded convenience store and new car wash building.

The proposed exterior color scheme for the entire project will incorporate an earth tone color palette of light beige and dark brown. All existing permanent signage on the property, including ground and wall signs will remain unchanged, except for one ground sign along the east property line that will be removed and replaced. All signs are not included in this proposal.

Landscaping

The project proposes water efficient landscaping along the property frontage, site interior, and perimeter boundaries to include existing Canary Island Pine and Eucalyptus trees, Samuel Sommer Magnolia (standard), Fern Pine (standard), and Chinese Elm (standard) trees, as well as a mix of shrubs and ground cover including Rosenka Bougainvillea, orange Daylily, gold Lantana, and Cape Honeysuckle. The proposed landscape palette will accentuate the design of the buildings along the project's street frontage, provide screening of the new car wash building and back of the existing multi-tenant commercial building along the freeway's edge, and complement the existing landscaping along the North Santiago Boulevard Corridor.

Lighting

New LED wall mounted light fixtures, with the light projecting in a downward direction, are proposed on the north and south sides of the multi-tenant and convenience store buildings, as well as on the east side of the car wash building and south side of the trash enclosure. The project perimeter will include new 25-foot tall, pole mounted LED light fixtures located in landscape planters adjacent to the car wash tunnel entrance and exit, at the northwest corner of the site, along the south property line, and property frontage. All lighting will be shielded and oriented to prevent glare or light spillage onto neighboring properties.

Additional design and landscape details are included in the attached DRC staff report (Attachment 5).

Parking

Orange Municipal Code Table 17.34.060 provides the minimum off-street parking requirements for non-residential uses in the City. Code requires 39 parking spaces for the gas station, car wash, and multi-tenant retail building. The project has provided 39 parking spaces with two surplus stalls for air/water usage for the gas station and vacuum stall for the car wash. In addition, the Traffic Assessment Study of Parking and Queuing conducted by the applicant's consultant (Attachment 4) concludes that 39 parking spaces are sufficient to accommodate the needs of the project.

Development Standards

	Required	Proposed	Code Section
<i>Building Height</i>	Maximum of 32 feet-2 Stories	Convenience Store: 19 feet-3 inches and one story Car Wash: 16 feet-7inches and one story Multi- tenant Building: 18 feet-9 inches and one story	Table 17.18.120
<i>Fence height</i>	6-foot tall	6 foot tall	17.18.140
<i>Floor Area Ratio (FAR)</i>	Maximum 1.0	.15	General Plan

<i>Landscaping (non-residential)</i>	Front: 10 feet minimum Interior Sides and Rear: 4 feet minimum. If perpendicular parking is provided at property lines, than 6 feet minimum Parking Areas - screened with shrubs - 5 gallon minimum size Trash Enclosure: 4-foot wide landscape planter on at least two sides 62 trees	10 feet North Side: 4 feet-3 inches South Side: 10 feet-2 inches Rear: 4 feet-11 inches 5 gallon shrubs 10 feet on two sides 56 trees	17.18.160.A.1.a 17.18.160.A.1.b 17.18.160.A.2 17.18.160.A.3 17.18.160.B.1.a
<i>Lot frontage</i>	None	324 feet	17.18.100
<i>Lot depth</i>	None	169-218 feet	17.18.100
<i>Setback, Front (Santiago Boulevard)</i>	10 feet minimum	86 feet	Table 17.18.130
<i>Setback, Rear</i>	0 feet	8.5 feet	Table 17.18.130
<i>Setback, Interior North Side</i>	0 feet	25 feet	Table 17.18.130
<i>Setback, Interior South Side</i>	0 feet	52 feet	Table 17.18.130
<i>Parking (non-residential)</i>	39 total spaces required: 2 spaces for gas station with convenience store 3 spaces for convenience store 2.5 spaces for car wash 31 spaces for multi-tenant building	39 spaces 1 space for air/water service 1 vacuum space	Table 17.34.060.B
<i>Special Regulations for Drive-through Uses</i>	<ul style="list-style-type: none"> <li>• No obstruction of on-site circulation</li> <li>• Enriched paving for pedestrian walkways</li> <li>• 12 feet minimum width for drive through lane</li> <li>• Queuing Study (7 car stacking distance)</li> </ul>	Drive-through lane wraps around the perimeter of the multi-tenant building and behind the shopping center. On-site circulation is not obstructed. There are no pedestrian walkways proposed adjacent to the drive-through lane. 12 feet wide 10 car stacking distance	17.13.050.S

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

### Issue 1: Drive-through Queuing

OMC Section 17.13.050.S requires that drive-through uses submit a queuing study that is based upon similar operations, addressing the anticipated traffic volumes and vehicular stacking needs of the proposed operation. The applicant submitted a Traffic Assessment Study of Parking and Queuing

(Attachment 4) concluding that a seven car stacking distance (145 feet) before the car wash entrance would be sufficient, based on the comparison to another similar drive-through automatic car wash located in the City of Tustin. The applicant however, has provided a total queue capacity of ten vehicles. Staff and the City's Traffic Engineer have found that the proposed stacking lane will provide enough room for vehicles to wait in the queue and not extend into or block any vehicular paths of travel for the retail uses, gas station, or extend into the public right of way along Santiago Boulevard. In addition, staff has included conditions of approval No. 29 and 30 that provide additional assurance that if queuing/parking issues arise on the site or surrounding neighborhood, the applicant would be required to work with the Community Development Department to resolve any issues. If the queuing/parking issues cannot be resolved to the City's satisfaction, the land use applications would return to the Planning Commission for its consideration of further conditions and/or modifications.

### Issue 2: Tustin Street Design Standards

The 1986 Tustin Street Design Standards were created in response to the City's goal of encouraging redevelopment and reinvestment in the Tustin Street Redevelopment Project Area and related Limited Business Tustin Redevelopment Project Area (C-TR) zoning district. Although the Redevelopment Agency no longer exists, the Tustin Street Design Standards are still applicable to all changes proposed to existing buildings and to all new construction within the Tustin Street Project Area. The proposed project is located within Thematic District #1 of the Tustin Street Design Standards. This area is isolated from Tustin Street by the SR 55 freeway. The property is visible from the freeway, and the uses generally serve residential developments to the east and freeway motorists. The design guidelines of the document indicate that "building scale, materials and plant materials shall relate to residential uses".

Modifications to the convenience store/service bay building, multi-tenant building, new car wash building and trash enclosure, associated landscaping, and site improvements are generally in conformance with the Tustin Street Design Standards for Thematic District #1 and complement the existing commercial site. The simple one-story architectural design with hip style terra cotta roofing, painted stucco finish and wood trim details, as well as project landscaping blends with the adjacent residential neighborhoods to the east. The project provides an updated and refreshed, internally consistent, integrated design theme which upholds community aesthetics.

### Issue 3: Landscaping - Number of Trees

While the Landscape Guidelines recommend a total of 62 trees to be planted on the site, the project has provided 56 (13 existing and 43 new). In considering the proposed site layout and the limitations of pre-existing buildings and landscape planter locations and sizes, and in response to recommendations by the City's Senior Landscape Coordinator for adequate spacing to prevent overcrowding and tree sustainability, Staff has determined that the proposed conceptual landscape plan, including tree count is adequate for the project.

### Issue 4: Existing Licenses within 600 feet of the Site

For information purposes, staff identified the following facilities selling alcoholic beverages that are located within a 600-foot proximity to the retail establishment's entrance (see Attachment 8, ABC Evaluation Map).

**Existing Licenses**

<b>Establishment Name</b>	<b>License Type</b>	<b>Address</b>
KC Liquor	Type 21 Off-Sale General	2650 N. Santiago Boulevard
Marris Pizza Italian Restaurant	Type 41 On-Sale Beer and Wine	2658 N. Santiago Boulevard
Valero Gas Station	Type 20 Off-Sale Beer and Wine	2700 N. Santiago Boulevard

**Issue 5: Sensitive Receptors**

The OMC requires a CUP for the sale of alcoholic beverages to ensure there will be no adverse impact on surrounding land uses or allow the availability of alcoholic beverages to minors. When reviewing alcohol permits, the Zoning Ordinance details specific land uses that are sensitive to alcohol activities, but does not establish any specific distances for these uses. The State (ABC) Board investigation requires applicants to identify the sensitive land uses within 600 feet of the site. Below are sensitive receptors in the vicinity of the subject property:

**Sensitive Receptors**

<b>Establishment Name</b>	<b>Address</b>	<b>Distance To Project Site</b>
Vista Royale Residential Tract: Single Family Residences	N. Vista Glen Road	72 - 600 ft.
	E. Orangeview Lane	79 - 600 ft.
	E. Vista Mesa Way	287 - 600 ft.
	E. Vista Canyon Road	308 - 600 ft.
	E. Hilman Circle	437 - 600 ft.
	N. Vista Court	544 - 600 ft.

While there are no churches, schools, public playgrounds, or other similar uses within 600 feet of the site, the single family residences located within the Vista Royale Residential Tract are located across the street, but do not have direct access to the project site and the sale of alcohol would be accessory to the sale of fuel and convenience store merchandise.

**Issue 6: Census Tract Alcohol and Crime Statistics Information**

The Orange Police Department's (OPD) Vice Unit reviewed the proposal in September 2017; however, because the project experienced an extended preliminary review period of nearly four years, the OPD reviewed the proposal a second time in September 2021 in order to provide updated statistics. The OPD reports that the existing business is located within Census Tract 758.13 that is considered over-concentrated with off-sale alcohol licenses as follows:



**Alcohol Licenses**

	Existing	Allowed
On-Sale Licenses	4	6
Off-Sale Licenses	3	2

Census tracts are defined as small geographical areas established by local committees and approved by the Census Bureau, which contain a population segment with relatively uniform economic and social characteristics and clearly identifiable boundaries averaging approximately 1,200 households.

The ABC establishes an over-concentration of alcohol licenses based on the average number of alcohol licenses versus the population in a given census tract. However, the ABC and the City recognize that licenses should be reviewed on a case-by-case basis to ensure that such sales will not adversely affect surrounding residents, businesses, and institutions and to ensure that any such use operates in a manner compatible with existing and future adjacent uses. This site is located within a commercial corridor in the City of Orange, where it is common to have an over-concentration of alcohol licenses.

**Crime Statistics**

The Applicant is applying for an ABC license in a census tract that is considered a low crime area as follows:

Census Tract Reported Crimes	Citywide Average Reported Crimes	Percent Difference
11	74	65% below the average

Crime statistics were relatively similar in 2017 and in 2020; however, the most current memo from OPD dated September 13, 2021 (Attachment 7) indicates that current crime figures in Reporting District (RD) 117w show 11 crimes reported, with the city-wide average being 74. RD 117w is ranked 68 out of 92 districts in the City of Orange, and is 65% below the average reported crimes. High crime is considered 20% above the average of reported crime within all reporting districts in the City per Business and Professions Code Section 23958.4.

In reviewing the police activity in RD 117w, it was reported that there were 15 arrests in 2020. Out of the 15 arrests, four were related to alcohol use. These offenses included two arrests for driving under the influence, one arrest for public consumption of alcohol, and one arrest for public intoxication. The public intoxication arrest occurred at the subject property (2640 N. Santiago Boulevard), where a call for service was made by a Shell Station employee regarding an assault and battery that occurred outside the business.

The OPD's Vice Unit does not oppose the issuance of CUP No. 3039-17 for an ABC Type 21 (Off-Sale General) License despite the overconcentration of off-sale alcohol permits within Census Tract 758.13. RD 117w is considered a low crime area, which is 65 percent below the average reported crimes. Strong consideration was given to the manner in which the existing establishment operates,

the manner in which it conducts its security, and the fact that the existing business has not created a nuisance to the community or a burden on police services in its previous years of operation. In addition, the total area dedicated to the display of alcoholic beverages will not exceed 10 percent of the store's total sales floor area and the refrigerated coolers containing the alcohol for sale will be located approximately 43 feet from the store's main entrance/exit.

The sale of alcohol is not expected to contribute to the crime statistics in the area or create an undue burden on public safety resources. Staff supports the proposal and does not anticipate that the use will create an impact on neighboring land uses within the area since a convenience store that sells alcoholic beverages is compatible with the mixed commercial uses within the area. Should the Planning Commission approve the proposal, the OPD recommends conditions based on the City's Security Standards (see Attachment 7).

It is important to note that the applicant has reviewed the proposed conditions of approval and is in agreement with all conditions.

#### Issue 7: Findings of Convenience or Necessity

The PC is also being asked by the ABC to make a finding of public convenience or necessity. The ABC establishes an over concentration of alcohol licenses based on the average number of alcohol licenses versus the population in a given census tract. However, the ABC and the City recognize that licenses should be reviewed on a case-by-case basis to ensure that such sales will not adversely affect surrounding residents, businesses, and institutions and to ensure that any such use operates in a manner compatible with existing and future adjacent uses.

The PC may find that the sale of alcoholic beverages within a gas station convenience store is an appropriate accessory use and is a service typically expected by the public. Should the project be approved, a draft letter to the ABC finding that the project merits favor based on public convenience or necessity is provided for the Commission Chair's signature (Attachment 9).

## **8. PUBLIC NOTICE**

On November 5, 2021, the City sent a Public Hearing Notice to a total of 67 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site has been posted in two locations with the notification on that same date.

## **9. ENVIRONMENTAL REVIEW**

**Categorical Exemption:** The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) because it consists of the conversion of service bays into convenience store area, expansion of the convenience store, and construction of a car wash structure (< 10,000 SF in urbanized area) zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available and where the area is not environmentally sensitive. There is no environmental public review required for a Categorical Exemption.

## **10. ADVISORY BOARD ACTION**

### **Staff Review Committee:**

The City's inter-departmental staff review committee (SMART) conducted reviews of the project on September 27, 2017, April 25, 2018, and September 12, 2018. On April 10, 2019, SMART

recommended that the project proceed to the DRC with conditions.

**Design Review Committee:**

The DRC conducted reviews of the project on May 15, 2019, November 6, 2019, June 3, 2020, and August 5, 2020 wherein the project was continued at each meeting in order for the applicant to adequately address the Committee's comments and concerns. On September 15, 2021, the DRC unanimously (5-0 vote) recommended project approval to the Planning Commission with the following conditions:

- Replace the Chinese Elm that are located on the lower slope with Arbutus Marina.
- A landscape maintenance plan shall be provided prior to issuance building permit.
- The landscape maintenance shall be performed in such a manner as to allow all trees to attain and retain their full canopy height for screening purposes and canopy breath for shade purposes.

The Staff Report and Minutes for the September 15, 2021 meeting are provided as Attachments 5 and 6 to this report. The DRC conditions of approval are included within Planning Commission Resolution No. PC 28-21 (Attachment 1).

## 11. ATTACHMENTS

- Attachment 1 Planning Commission Resolution No. PC 28-21
- Attachment 2 Vicinity Map
- Attachment 3 Applicant's Letter of Explanation
- Attachment 4 Traffic Assessment Study of Parking and Queuing by Transtech Engineers, Inc., Dated June 6, 2017
- Attachment 5 September 15, 2021 Design Review Committee Staff Report
- Attachment 6 September 15, 2021 Design Review Committee Meeting Minutes
- Attachment 7 Orange Police Department Memoranda with Conditions, Dated September 20, 2021 and September 25, 2017
- Attachment 8 ABC Evaluation Map
- Attachment 9 Draft Letter to ABC for Finding of Public Convenience or Necessity
- Attachment 10 Project Plans, Site Photographs, Colors and Materials, Date Stamped October 22, 2021

**CONDITIONAL USE PERMIT NO. 3039-17  
CONDITIONAL USE PERMIT NO. 3054-17  
DESIGN REVIEW NO. 4898-17  
MINOR SITE PLAN REVIEW NO. 0896-17**

**RESOLUTION NO. PC 28-21**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ORANGE APPROVING CONDITIONAL USE PERMIT NO. 3039-17 (STATE OF CALIFORNIA DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL TYPE 21 LICENCE), CONDITIONAL USE PERMIT NO. 3054-17 (DRIVE-THROUGH AUTOMATIC CAR WASH), DESIGN REVIEW NO. 4898-17, AND MINOR SITE PLAN REVIEW NO. 0896-17 TO RENOVATE AN EXISTING FULL-SERVICE GAS STATION TO INCLUDE THE CONVERSION OF EXISTING SERVICE BAYS TO CONVENIENCE STORE AREA, EXPANSION OF THE CONVENIENCE STORE BUILDING, CONSTRUCTION AND OPERATION OF A NEW DRIVE-THROUGH AUTOMATIC CAR WASH, RELATED SITE IMPROVEMENTS, SALE OF ALCOHOLIC BEVERAGES UNDER A STATE OF CALIFORNIA DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL (ABC) TYPE 21 (OFF-SALE GENERAL) LICENSE, AND MAKING A FINDING OF PUBLIC CONVENIENCE OR NECESSITY, LOCATED AT 2640-2658 N. SANTIAGO BOULEVARD**

**APPLICANT: DESIGN CONCEPTS: SHIV TALWAR**

Moved by Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_ that the following Resolution be adopted:

WHEREAS, the Planning Commission has authority per Orange Municipal Code (OMC) Table 17.08.020, Section 17.08.020B.2a, Section 17.10.030.C, Section 17.10.060.D, and Section 17.10.070.B to take action, to grant or deny Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17, to renovate an existing full-service gas station, to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, the sale of alcoholic beverages for off-site consumption, and making a finding of public convenience or necessity, located at 2640-2658 N. Santiago Boulevard; and

WHEREAS, Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 was filed by Shiv Talwar of Design Concepts in accordance with the provisions of the OMC; and

WHEREAS, the Planning Commission has authority per OMC Section 17.30.030 to take action on Conditional Use Permit No. 3039-17 for a State of California Department of Alcoholic Beverage Control (ABC) Type 21 (Off-Sale General) License within the newly remodeled convenience store and to make a finding of Public Convenience or Necessity; and

WHEREAS, Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 were processed in the time and manner prescribed by state and local law; and

WHEREAS, Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 are categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of the conversion of service bays into convenience store area, expansion of the convenience store, and construction of a car wash structure (< 10,000 SF in urbanized area) zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available and where the area is not environmentally sensitive. There is no environmental public review required for a Categorical Exemption.

WHEREAS, the Planning Commission conducted one duly advertised public hearing on November 15, 2021, at which time interested persons had an opportunity to testify either in support of or opposition to Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 upon property described in Exhibit A.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission approves Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, construction and operation of a new drive-through automatic car wash, related site improvements, the sale of alcoholic beverages for off-site consumption, and making a finding of public convenience or necessity based on the following findings:

## **SECTION 1 – FINDINGS**

### General Plan Finding:

1. *The project must be consistent with the goals and policies stated within the City's General Plan.*

The project is consistent with the goals and policies stated within the City's General Plan Land Use and Economic Development Elements in that the sale of alcoholic beverages

for off-site consumption within the renovated convenience store and new drive-through automatic car wash promotes an existing commercial enterprise and supports a revenue generating business. Allowing the renovation of the existing gas station, construction of a new car wash facility, and sale of alcoholic beverages in conjunction with sale of fuel and convenience store merchandise allows the business to remain competitive with gas stations in the area. This in turn will help to retain the business within the commercial corridor and contribute to the economic vitality in the area. Police Department review of the ABC license and its recommendation of conditions are in support of the General Plan Public Safety Element Goals that require the City to maintain an adequately manned and equipped police force, maintain crime prevention programs designed to protect residents and property from crime, and involve the Police Department in the development review process.

Conditional Use Permit Required Findings:

1. *A Conditional Use Permit shall be granted upon sound principles of land use and in response to services required by the community (OMC 17.10.030.F.1).*

The granting of this Conditional Use Permit is based upon sound principles of land use and in response to services required by the community in that consideration has been given to whether the proposed use will detrimentally affect adjacent land uses. The subject property is currently a gas station with a small convenience store, located on the west side of Santiago Boulevard between Nohl Ranch Road to the north and Robinhood Place to the south, a heavily traveled commercial corridor which serves City residents and persons traveling to the area. The proposed car wash facility expands the types of services offered at this location by providing a fast, convenient, drive-through service. The sale of alcoholic beverages within the expanded convenience store is considered an accessory use and is a service typically expected by the public, particularly in conjunction with the sale of gas and convenience store merchandise. Strong consideration was given to the manner in which the business operates, the manner in which it conducts its security, and the fact that the existing business has not created a nuisance to the community or a burden on police services in its previous years of operation. The Police Department and Staff support the request because it is anticipated through the analysis and review that the operation of the business as proposed, will not increase or contribute to the crime rate in the reporting district or to the City overall.

2. *A Conditional Use Permit shall not be granted if it will cause deterioration of bordering land uses or create special problems for the area in which it is located (OMC 17.10.030.F.2).*

The proposed project is not expected to detrimentally affect adjacent land uses or create special problems for the area. The new drive-through car wash will be located on a portion of the site that is currently underutilized. All required on-site parking, and queuing for the drive-through car wash has been analyzed by a Traffic Engineer in a study submitted and deemed acceptable by the Traffic Engineer.

The proposal to sell alcohol within the gas station convenience store is not anticipated to have any adverse impacts on surrounding land uses or create a special problem because the site is located in an area with predominantly commercial uses. The Conditions of Approval should minimize the impact of the sale of alcohol in conjunction with the operation of the gas station/convenience store/car wash establishment. There are residential properties within 600 feet of the subject parcel; however, the properties do not have direct access to the project site and the sale of alcohol would be an accessory use to the sale of non-alcoholic retail products. Alcoholic beverage sales are only offered as a convenience for customers.

3. *A Conditional Use Permit must be considered in relationship to its effect on the community or neighborhood plan for the area in which it is located (OMC 17.10.030.F.3).*

The exterior modifications to the existing convenience store/service bay building, new car wash building and associated site and landscape improvements generally satisfy the development standards for this area. The new car wash building complements the architectural design of the existing gas station and multi-tenant retail building and all right-of-way improvements and accessibility requirements have been satisfied. Therefore, the effects on the community within this area of the City have been considered and appropriately addressed and any specific requirements are included as conditions to be satisfied prior to permit issuance.

The selling of alcoholic beverages from the project site is not anticipated to have an adverse impact on neighboring land uses. There are residential land uses within 600 feet of the site; however, they do not have direct access to the project site and the sale of alcohol would be an accessory use to the sale of non-alcoholic retail products. Strong consideration was given to the manner in which the business has operated, the manner in which it conducts its security, and that it has not created a nuisance to the community or a burden on police services in its previous years of operation.

4. *A Conditional Use Permit, if granted, shall be made subject to those conditions necessary to preserve the general welfare, not the individual welfare of any particular applicant (OMC 17.10.030.F.4).*

All project conditions maintain a purpose of preserving the general welfare of the City and community. Conditions specifically serve to manage project construction, prevent glare, allow for fee collection to offset use, provide for site maintenance, address water quality, accommodate disabled person site access, protect or improve the public right of way, protect or improve utilities and accommodate aesthetics.

The Police Department has reviewed the proposal to sell alcoholic beverages within the gas station convenience store and did not express any concerns with the hours of operation, floor plans, and building entry. Strong consideration was given to the manner in which the business has operated, the manner in which it conducts its security, and that

it has not created a nuisance to the community or a burden on police services in its previous years of operation.

The Police Department conditions include a review of the operation and police records for excessive calls one year after the beginning of the sale of alcoholic beverages (Condition No. 42). If the Police Department finds that the retail store is not operating as required, or there is a history of criminal or nuisance behavior, the Department will recommend that the Planning Commission consider modifying this application.

Design Review Required Findings:

1. *The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).*

The project is not located within a specific plan; however, it is located within Thematic District #1 of the Tustin Street Design Standards. This area is isolated from Tustin Street by the State Route (SR) 55 freeway. The property is visible from the freeway, and the uses generally serve residential developments to the east and freeway motorists. The design guidelines of the document indicate that “building scale, materials and plant materials shall relate to residential uses.”

Modifications to the existing convenience store/service bay building, multi-tenant building, new car wash building, and associated landscaping and site improvements are generally in conformance with the Tustin Street Design Standards for Thematic District #1 and complement the existing commercial site. The simple one-story architectural design with hip style terra cotta roofing, painted stucco finish and wood trim details, as well as project landscaping, blends with the adjacent residential neighborhoods to the east. The project provides an updated, internally consistent, and integrated design theme which upholds community aesthetics.

Minor Site Plan Review Required Findings:

1. *The project design is compatible with surrounding development and neighborhoods (OMC 17.10.060.H.1).*

The surrounding development and neighborhood consists of commercial uses to the north and south, single-family residential uses to the east and the SR 55 freeway to the west. The project will provide a revitalized architectural and landscaped appearance to the Santiago Boulevard corridor, consistent with surrounding development in its massing, scale, design and function.

2. *Minor Site Plan approval shall be granted if the project conforms to City development standards and any applicable special design guidelines or specific plan requirements (OMC 17.10.060.H.2).*



The project as proposed will conform to City development standards for the Limited Business Tustin Redevelopment Project Area (C-TR) zoning district. The project is not located within a specific plan; however, it is located within Thematic District #1 of the Tustin Street Design Standards. The design guidelines of the document indicate that “building scale, materials and plant materials shall relate to residential uses.” Modifications to the existing convenience store/service bay building, multi-tenant building, new car wash building, and associated landscaping and site improvements are generally in conformance with the Tustin Street Design Standards for Thematic District #1 and complement the existing commercial site.

3. *Minor Site Plan approval shall be granted if the project provides for safe and adequate vehicular and pedestrian circulation, both on- and off-site (OMC 17.10.060.H.3).*

The project has safe and adequate access and circulation for vehicles and pedestrians from Santiago Boulevard. The on-site circulation has been designed to accommodate all access needs to parking spaces and for emergency vehicles. Disabled parking and access has been designed to accommodate building code requirements.

4. *Minor Site Plan approval shall be granted if City services are available and adequate to serve the project (OMC 17.10.060.H.4).*

A review of the project with all City Departments concludes that City services will be available and adequate to serve this site, including water, sewer, police and fire services.

5. *Minor Site Plan approval shall be granted if the project has been designed to fully mitigate or substantially minimize adverse environmental effects (OMC 17.10.060.H.5).*

No environmental effects have been identified for the project. The OMC will adequately manage construction and use regulation needs of the project.

## **SECTION 2 – FINDING OF CONVENIENCE OR NECESSITY**

The ABC establishes an over concentration of alcohol licenses based on the average number of alcohol licenses versus the population in a given census tract. However, the ABC and the City recognize that licenses should be reviewed on a case-by-case basis to ensure that such sales will not adversely affect surrounding residents, businesses, and institutions and to ensure that any such use operates in a manner compatible with existing and future adjacent uses. This site is located within an area in the City, where it is expected to have an over-concentration of alcohol licenses. The Planning Commission finds that the sale of alcoholic beverages for off-site consumption within a gas station convenience store setting is an appropriate accessory use and is a service typically expected by the public.

## **SECTION 3 – ENVIRONMENTAL REVIEW**

The proposed project is categorically exempt from the provisions CEQA per State CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures)

because it consists of the conversion of service bays into convenience store area, expansion of the convenience store, and construction of a new car wash structure (< 10,000 SF in urbanized area) zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available and where the area is not environmentally sensitive. There is no environmental public review required for a Categorical Exemption.

#### **SECTION 4– CONDITIONS OF APPROVAL**

BE IT FURTHER RESOLVED that the following conditions are imposed with approval:

*General:*

1. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence. The City shall promptly notify the applicant of any such claim, action, or proceedings and shall cooperate fully in the defense.
2. All construction shall conform in substance and be maintained in general conformance with plans and exhibits labeled as Attachment 10 in the staff report (date stamped October 22, 2021), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee and Planning Commission.
3. Except as otherwise provided herein, this project is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plot plan, the Director may approve the changed plan administratively.
4. Subsequent modifications to the approved architecture and color scheme shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the Director may refer the review to the Design Review Committee.
5. Any modifications to the plans including, but not limited to, the landscaping and parking as a result of other Department requirements such as Building Codes, Water Quality, Fire, or Police shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the modifications shall be reviewed and approved by the Planning Commission.
6. Any future expansion in area or in the nature and operation of the approved use by Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, Design Review No. 4898-17, and Minor Site Plan Review No. 0896-17 shall require new or amended applications.

7. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use will be cause for revocation of this permit.
8. Building permits shall be obtained for all future construction work, as required by the Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
9. All signage shall comply with OMC Chapter 17.36 - Sign Regulations.
10. If not utilized, project approval expires twenty-four months from the approval date. Extensions of time may be granted, if requested in writing in accordance with OMC Section 17.08.060. The Planning entitlements expire unless Building Permits are pulled within two years of the original approval.
11. Grading operations shall be restricted to Monday through Friday between the hours of 7:30 a.m. and 5:00 p.m., with limited grading as necessary permitted on Saturdays between the hours of 8:00 a.m. and 4:30 p.m. Mechanics may service the equipment up to two hours after each shift.
12. All other construction activities shall conform to the City's Noise Ordinance, OMC Chapter 8.24, and shall be limited to the hours between 7:00 a.m. and 8:00 p.m. Monday through Saturday. No construction activity will be permitted on Sundays and Federal holidays.
13. These conditions shall be reprinted on the second page of the construction documents when submitted to the Building Division for the plan check process.
14. Prior to the operation of the business, the applicant shall file for, or if applicable, amend a business license with the Business License Division. Failure to obtain the required business license will be cause for revocation of this approval.
15. Any new lighting on the premise shall be installed in such a way to direct, control, and screen the lighting to prevent off site light spillage onto adjoining properties and shall not be a nuisance to any point beyond the exterior boundaries of the property.
16. Prior to building permit issuance, the applicant shall demonstrate to the satisfaction of the Community Development Director that all mechanical and air conditioning equipment shall be shielded and screened from view from adjacent streets and properties. The screening shall be integrated architecturally with the building and painted to match the walls of the building.
17. Prior to building permit issuance, all required parking spaces shall be shown on construction documents as doubled striped to City standards.
18. The project approval includes certain fees and/or other exactions. Pursuant to Government Code Section 66020, these conditions or requirements constitute written

notice of the fees and/or exactions. The applicant is hereby notified that the ninety (90) day protest period commencing from the date of approval of the project has begun. If the applicant fails to file a protest regarding these conditions or requirements, the applicant is legally barred from later challenging such exactions per Government Code Section 66020.

19. Prior to issuance of building permits, the applicant shall pay all applicable development fees, including but not limited to: City sewer connection, Orange County Sanitation District Connection Fee, Transportation System Improvement Program, Fire Facility, Police Facility, Park Acquisition, Sanitation District, and School District, as required.
20. Prior to building permit issuance, the applicant shall pay any outstanding monies due to the City for Planning Division entitlement activities related to this project.
21. In conjunction with the operation of the business, the property owner shall be responsible to maintain the property to a level deemed adequate by the Community Development Director. This includes, but is not limited to, the buildings, on-site landscaping, trash areas, signage, utilities, property walls, and gates (if applicable).
22. Any graffiti shall be removed within 72 hours from the time the City of Orange Notice of Violation is received by the applicant/property owner.
23. Prior to building permit issuance, the applicant shall demonstrate that the trash enclosure and accessory structure utilize similar materials, colors, and finishes as the restaurant building, including any roofing.
24. Prior to building permit issuance, the applicant shall demonstrate that the trash enclosure shall conform to City Standard Plan 409.
25. Prior to building permit issuance, the applicant shall identify the precise location of existing walls proposed for demolition, if applicable. If the location of the existing wall slated for demolition is wholly or partially upon an adjacent property, the applicant shall secure the property owner(s) approval to demolish and replace the wall. The applicant will be responsible for any site repairs to walls damaged through demolition activity.
26. In conjunction with the operation of the business, all noise levels generated shall conform to the levels allowed by the OMC.
27. The hours of operation of the gas station/convenience store and car wash facility shall be as follows:

Gas Station/Convenience store: 24 hours/day

Car Wash: Monday through Sunday: 7:00 a.m. to 9:00 p.m.

These hours do not restrict employees from being on the premises before opening for preparations and deliveries or after closing for clean-up. Any modification to these operational hour limits shall be subject to review and approval by the Community

Development Director and/or may be referred to the Planning Commission at his/her discretion.

28. In conjunction with the operation of the business, all loading and trash enclosure areas shall be maintained and kept clean and free of debris.
29. The project shall operate its vehicle parking, queuing, and on-site circulation in the manner as described in the Traffic Assessment Study of Parking and Queuing by Transtech Engineers, Inc., dated June 6, 2017, included as Attachment 4 to the Planning Commission Staff Report. At no time shall the operator allow vehicles of patrons to straddle the public right-of-way (sidewalk, driveway, street) and shall employ measures to direct customers from causing any such conflict with keeping the public right-of-way clear.
30. In conjunction with the operation of the business, should parking or queuing issues arise on the site or the surrounding neighborhood, the applicant shall work with the Community Development Department to resolve any issues. If such issues are not resolved to the City's satisfaction, the Conditional Use Permit shall be presented to the Planning Commission for its consideration of further conditions and modifications.
31. Vehicles not associated with approved business uses on the subject property shall be removed, to include limousine and transport vehicles.

*Design Review Committee:*

32. Prior to building permit issuance, the applicant shall replace the Chinese Elm Trees that are located on the lower slope with Arbutus Marina Trees.
33. Prior to building permit issuance, a landscape maintenance plan shall be provided.
34. Landscape maintenance shall be performed in such a manner as to allow all trees to retain their full canopy height for screening and full canopy breadth for shade at point of maturity, except as required for public safety purposes.

*Fire:*

35. Plans submitted for Building Plan Check shall comply with the California Fire Code as amended by the City and as frequently amended and in effect at the time of application for Building Permit. On-site Fire Department access will require easement recording prior to issuance of building permits and shall be reviewed by the Fire Department prior to approval.

*Police General:*

36. Prior to building permit issuance, the project shall comply with the requirements of OMC Chapter 15.52 (Building Security Standards), which relates to hardware, doors, windows,

lighting, etc. Approved structural drawings, if any, shall include sections of the security code that apply. Specifications, details, or security notes may be used to convey the compliance.

37. Security and design measures that employ Defensible Space concepts shall be utilized in development and construction plans. These measures incorporate the concepts of Crime Prevention through Environmental Design (CPTED), which involves consideration such as placement and orientation of structures, access and visibility of common areas, placement of doors, windows, addressing and landscaping.
38. Prior to building permit issuance, a photometric study shall be reviewed and approved by the Police Department. A minimum of one foot candle shall be maintained on all surfaces of the parking lot, from dusk until the termination of business every operating day. The applicant shall ensure that lighting on the site shall be directed, controlled, and screened in such a manner so as to refrain from shining directly on surrounding properties, such as adjacent residences.
39. Prior to issuance of certificate of occupancy, the applicant shall schedule a light reading inspection with the Crime Prevention Bureau. The lighting shall be tested and confirmed to determine if the lighting meets or exceeds the exterior boundary standards. The applicant shall use shielding so as to ensure that the light standards meet the requirements of OMC Section 17.12.030 for the areas beyond the property's exterior boundaries; light spillage or pollution to surrounding residential areas shall not exceed a maintained minimum of 0.5 foot-candle.

*Police: Conditional Use Permit No. 3039-17 – ABC Type 21 License:*

40. In conjunction with the ongoing operation of the business, the premises shall comply with all requirements placed upon it by the State Alcoholic Beverage Control (ABC) Board.
41. The activity level of the business shall be monitored by the Police Department to establish the level of police services used for the business. Should the level of police services demonstrate that the permittee has not controlled excessive, or unnecessary activity resulting in high use of police services, then this Conditional Use Permit may be reviewed for consideration of further conditions, modifications or revocation.
42. This Conditional Use Permit shall be reviewed one year from the date of approval and may be reviewed each year thereafter. The review shall be conducted jointly by the Community Development Director and Police Chief or designees. The purpose of this review shall be to identify uniquely adverse issues such as curfew, loitering, vandalism, criminal activity, noise, or nuisance resulting from approval of the Conditional Use Permit. If such issues are identified, the Conditional Use Permit may be presented to the Planning Commission for their consideration of conditions, modifications or revocation.
43. The subject alcoholic beverage license shall not be exchanged for a public premises type license nor operated as a public premises.

44. No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the license.
45. No sale of alcoholic beverages shall be made from a drive-up window.
46. The hours of operation of the gas station/convenience store shall be 24 hours, 7 days a week. The hours of operation for alcohol services shall be 7 days a week, 6:00 a.m. until 2:00 a.m.
47. Employees and/or contract security personnel shall not consume any alcoholic beverages prior to or during their work shift. Any and all security officers provided shall comply with all state and local ordinances regulating their services, including without limitation, Chapter 11.5 of Division 3 of the California Business and Professions Code.
48. The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of merchant items that include food within the convenience store during the same time period. Fuel purchases are excluded from the gross sales of merchant related items. The permittee shall at all times maintain records which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. Said records shall be kept on a quarterly basis and shall be made available upon request.
49. The sale of beer, malt beverages, and wine coolers in quantities of 22 ounces, 32 ounces, 40 ounces, or similar size containers is prohibited. Beer, malt beverages, and wine coolers in containers of 16 ounces or less cannot be sold by single containers, but must be sold in manufacturer pre-packaged multi-unit quantities.
50. The sale of alcoholic beverages for off-site consumption shall be incidental to the operation of the store. No more than 15 percent of the gross floor area shall be dedicated to the sale of alcoholic beverages.
51. No wine shall be sold with an alcoholic content greater than 15% by volume.
52. No wine coolers shall be sold in less than a four-pack quantity.
53. No alcoholic beverages shall be sold from any temporary locations on the premises such as ice tubs, barrels, or any other containers.
54. All containers of alcoholic beverages that are displayed for sale shall be secured against public access between the hours of 2:00 a.m. to 6:00 a.m.
55. There shall be no special promotional events held on the property, unless a written request for such is received and approved by the Community Development Director and the Police Department's Vice Unit at least one month in advance of the event.
56. There shall be no coin operated games maintained upon the premises at any time.

57. The business may utilize a token coin system to reduce the likelihood of theft and burglaries for U.S. currency in coin operated machines. Should the token system be implemented, the requirements for a burglary alarm system may be waived.
58. All coin change machines, dollar bill change machines, or token machines that accept and retain U.S. Currency shall meet the following:
  - A. The machine is to be designed and constructed to be resistant to unauthorized forced entry attempts from any accessible side of the machine.
  - B. The machine is to be installed and secured to prevent its removal from the point of installation within the business.
59. The parking lot of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance and conduct of all persons on or about the parking lot.
60. The permittee shall install and maintain a closed circuit television system capable of readily identifying facial features, and stature of all patrons entering the establishment during hours of operation and monitoring the rear of the premises. The camera system shall keep a minimum 30 day library of events, which shall be available for downloading and inspection by the Police Department.
61. The use of any amplifying systems, outdoor sound system and paging system or any other such device is prohibited on the licensed premises.
62. The permittee shall be responsible for maintaining free of litter the area adjacent to the premises over which he/she has control.
63. There shall be no exterior advertising of any kind or type, including on motor fuel islands, advertising directed to the exterior from within, promoting or indicating the availability of a specific brand of alcohol or alcoholic beverages. Interior displays of alcoholic beverages that are clearly visible to the exterior shall constitute a violation of this condition.
64. Exterior doors and windows, as well as the interior of the business, shall be protected by an approved alarm system, which shall detect an attempted entry or presence of people within the business during closing hours.
65. Provide an interior night light to illuminate the interior, and maintain the unobstructed view through storefront windows to provide police patrol officers the ability to observe unlawful activity within the business.



66. The business shall prohibit the admission of, or allow any person under the age of 18 years to remain upon the premises after the hour of 10:00 p.m., unless accompanied by an adult.

*Community Services:*

67. Prior to building permit issuance, the applicant shall prepare a final landscaping and irrigation plan consistent with the grading plans, site plans, and the conceptual landscaping plan as proposed for the project for the review and approval of the Community Development Director and Community Services Director.
68. Prior to building permit issuance, the final landscape plan shall be reviewed and approved by the Public Works Director when landscaping is proposed within the public right-of-way and/or the project is constructing Storm Water Quality Best Management Practices (BMPs) in landscaped areas.
69. Prior to building permit issuance, final landscaping plans for the project shall be designed to comply with the City's Water Efficient Landscape Guidelines as described in Section IX of the City of Orange Landscape Standards and Specifications.
70. Prior to building permit issuance, all landscaping located within public areas shall be shown on the landscape plans and shall include the installation of root barriers acceptable to the Public Works Department on the sidewalk side of the tree, or where conditions warrant, the installation of a Deep Root box as directed by the Public Works Director.
71. Prior to building permit issuance, the final landscape plan shall include a note that a fully automated irrigation system will be provided.
72. Prior to building permit issuance, City required irrigation and landscape inspection notes shall be placed on the final landscape plan, to the satisfaction of the Community Services Director.
73. All landscape areas shall be maintained in a neat and healthy condition. Should the plant material die, the property owner/operator shall replace it with new plant material.
74. Prior to building permit issuance, landscape plans shall include landscape area calculations needed for State landscape water use reporting.
75. Prior to issuance of certificate of occupancy, all parking lot and landscaping improvements shall be completed according to the approved plans and to the satisfaction of the Community Development Director.

*Subdivision:*

79. Prior to grading and building plan check submittal, a Lot Line Adjustment to combine the two lots shall be recorded.

80. Prior to grading permit issuance, the grading plan shall include details of grading on the back slope, surface drainage patterns for the entire site with flow arrows, and all drainage devices. A grading plan sheet shall be included in the building plan set for building permit review.
81. Prior to encroachment permit issuance, all work within the public right-of-way and public utility easements will require encroachment permits, including sidewalk and driveway construction and utility main and lateral construction.
82. Prior to encroachment permit issuance, all public infrastructures, including street sections, sidewalk, driveway apron, and utilities shall comply with City of Orange Standard Plans and Specifications.
83. Prior to encroachment permit issuance, utilities serving the development, such as electric, cable television, street lighting and communication shall be installed underground, completed and approved by the appropriate utility provider.
84. Prior to encroachment permit issuance, driveway aprons shall conform to Public Works Standard Plan 115 for commercial driveways with ADA accessibility.
85. Prior to encroachment permit issuance, all driveway approaches shall conform to ADA standards for wheelchair access conforming to Public Works Standard Plans 115 and 116.
86. Prior to encroachment permit issuance, an unobstructed pedestrian access way of 5 feet wide shall be maintained at all times for the sidewalk. The unobstructed access shall increase to 6 feet when there is no planting strip between the sidewalk and the street curb.
87. Prior to certificate of occupancy, the applicant shall repair any cracked, uneven, or damaged public sidewalk, curb and gutter along property frontage.
88. Prior to certificate of occupancy, the sanitary sewer system connecting from the buildings to the public mainline shall be private and maintained by the property owner.
89. The applicant shall submit a grading plan (24" x 36" plan size) in compliance with City standards for review and approval by the Public Works Director. The grading plan shall show the site drainage pattern leading to water quality BMP's and existing to public streets or approved outlet points. All grading and improvements on the subject property shall be made in accordance with the Manual of Grading and Standard Plans and Specifications to the satisfaction of the Public Works Director.
90. The contractor shall obtain a grading permit from the Public Works Department prior to start of any site demolition, clearing and grubbing, and grading.
91. Prior to grading permit issuance, any soil imported or exported shall require a Transportation Permit from the Public Works Traffic Division.

92. Prior to grading permit issuance, and upon submittal for plan check, the applicant shall pay a deposit to cover plan check and inspection services related to the project activities.
93. Prior to grading permit issuance, the grading plan shall detail all of the locations where retaining walls will be constructed. Geometric details of retaining walls shall be shown on the grading plan, including material type, dimensions, backfill, and sub drains. A building permit is also required for retaining walls over 4-feet in height, as measured from the bottom of the footing to the top of the wall, prior to construction. Structural details and design calculations shall be submitted as separate documents and will be reviewed and permitted by the Building Division, prior to issuance of a grading permit.
94. Prior to grading permit issuance, any grading outside of the owner's property boundaries shall require the applicant to either obtain a temporary construction easement or permission by adjacent property owners in a form suitable to the Public Works Director.
95. Prior to grading permit issuance, trash receptacle locations and details shall be included on the grading plan. The trash storage area shall be constructed per Public Works Standard Plan 409.
96. Prior to grading permit issuance, all sewer and storm drain lines shall be shown on the Grading Plan. Other utility lines, such as water lines, may also be shown on the grading plan for reference.
97. Prior to grading permit issuance, all structural BMP's for water quality purposes shall be shown on the grading plan. Water quality features shown on the grading plan must match the Water Quality Management Plan (WQMP).
98. Prior to certificate of occupancy, the property owner shall maintain in good condition, all on-site driveways where heavy-duty trucks would travel.
99. Prior to building permit issuance and prior to building foundation construction, a Certificate Letter of Line and Grade shall be submitted to the Public Works Construction Inspector demonstrative that the site grading and pad elevation are completed according to the grading plan.

*Traffic Division:*

100. Prior to building permit issuance, Transportation System Improvement Program (TSIP) fees are required for the car wash facility.

*Water Quality:*

101. Prior to issuance of any building or grading permits, the applicant shall submit a Non-priority Project WQMP for review and approval to the Public Works Department that:

- Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or “zero discharge” areas, and conserving natural areas;
  - Incorporates the applicable routine structural and non-structural source control BMPs, as defined in the Drainage Area Management Plan (DAMP);
  - Identifies the location of the grease control device for the communal kitchen area and provides evidence to the Building Official that the design meets and is consistent with the City’s latest adopted building codes;
  - Generally describes the long-term operation and maintenance requirements for structural control BMPs;
  - Identifies the entity responsible for long-term operation, maintenance, repair and or replacement of the BMPs;
  - Includes copies of the forms to be used in conducting maintenance and inspection activities;
  - Adheres to record keeping requirements (forms to be kept for 5 years).
102. Prior to issuance of certificate of occupancy, the applicant shall demonstrate the following to the Public Works Department:
- a. That all structural and treatment control BMPs described in the Project WQMP have been constructed and installed in conformance with the approved plans and specifications,
  - b. That the applicant is prepared to implement all non-structural BMPs described in the Project WQMP,
  - c. That an adequate number of copies of the project’s approved final Project WQMP are available for the future occupiers.
103. Prior to the issuance of certificate of occupancy or final signoff by the Public Works Department, the applicant shall demonstrate to the satisfaction of Public Works, that the preparer of the WQMP has reviewed the BMP maintenance requirements in Section V of the WQMP with the responsible person and that a copy of the WQMP has been provided to that person. A certification letter from the WQMP preparer may be used to satisfy this condition.
104. Prior to building permit issuance, the applicant shall review the approved WQMP and grading plan to ensure the structure’s downspouts or drainage outlet locations are consistent with those documents. Copies of the building or architectural plans specifically

showing the downspouts and drainage outlets shall be submitted to the Public Works Department for review.

105. The project applicant shall maintain all structural, treatment and low impact development BMPs at the frequency specified in the approved WQMP. Upon transfer of ownership or management responsibilities for the project site, the applicant shall notify the Public Works Department of the new person(s) or entity responsible for maintenance of the BMPs.

*Water Division:*

106. All unused services shall be abandoned per Water Division standards. If existing service will be reused, a lead-free, Water Division-approved backflow prevention device is required.
107. All proposed/existing meters and services will be required to have a lead-free Water Division-approved backflow prevention device installed directly behind the meter within the nearest soft-scape on private property, behind the property line per Water Division Standards. Maintain a minimum clearance of 3 feet around all backflow prevention device(s) for access and testing.
108. Prior to building permit issuance, the applicant shall submit improvement plans to the Water Division for review and approval for any new fire hydrants, domestic water services, fire services, landscape services, and any other proposed improvements or relocations affecting the public water system facilities.
109. Prior to issuance of certificate of occupancy, the applicant shall be responsible for the installation of necessary fire hydrants and fire services as approved by the Fire Department and Water Division.
110. Prior to building permit issuance, the Water Division shall approve the type and location of landscaping and fire service (backflow prevention) device for proposed City services.
111. Prior to building permit issuance, construction documents shall show that a six-foot minimum horizontal clearance and a one-foot minimum vertical clearance would be maintained between City water mains, laterals, services, meters, fire hydrants and all other utilities except sewer. The Water Division shall review and approve the construction documents.
112. Prior to building permit issuance, construction documents shall show that an eight-foot minimum clearance is provided between City water mains, laterals, services, meters, fire hydrants, signs, or trees or other substantial shrubs and plants as required by the Water Division. The Water Division shall review and approve the construction documents.
113. Prior to building permit issuance, construction documents shall show that permanent signs, awning, surface water quality management features or other structures are not built

- over water mains, laterals, services, meters, or fire hydrants as required by the Water Division.
114. Prior to building permit issuance for the first phase of work, the applicant shall be responsible for obtaining approval all of the necessary encroachment permits from affected agencies for all public water construction work.
  115. Prior to approval of a water improvement plan, the applicant shall satisfy all water main connection, plan check, and inspections charges as determined by the Water Division.
  116. Prior to the issuance of any grading permit, the applicant shall construct all public and/or private improvements to the satisfaction of the Water Division. The applicant may be required to enter into an agreement with the City, and post security in a form and amount acceptable to the City Engineer and/or Water Division to ensure construction of said improvements.
  117. Plans submitted during plan check shall show that the water improvement plans are consistent with the fire suppression plans and or fire master plan. The applicant's consultant preparing the water improvement plans shall coordinate its plans with the consultant preparing the fire suppression plans and/or fire master plan so that their designs concur.
  118. Plans submitted during plan check shall show that the minimum separation requirements are met and that each of the various designer's plan sets match. The applicant's consultant preparing the improvement and utility plans shall coordinate its plans with the consultants preparing the landscape, architectural, surface water quality management, fire master and/or fire suppression plans so that their designs are consistent.
  119. At least fourteen calendar days prior to commencing construction, the applicant's civil engineer shall prepare and provide product material submittals consistent with the water improvement plans for all proposed public water system facilities to the Water Division per the City of Orange General Water Construction Notes for review and approval.
  120. Prior to issuance of certificate of occupancy, the applicant shall furnish and install individual pressure regulators on new services where the incoming pressure exceeds eighty-pounds per square inch.

I hereby certify that the foregoing Resolution was adopted on November 15, 2021 by the Planning Commission of the City of Orange by the following vote:

AYES:

NOES:

RECUSED:

ABSENT:

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Dave Simpson, Planning Commission Chair

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Date

**Exhibit A**

APN: 361-401-23 AND 361-401-25

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, CITY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 2, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 40, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THOSE PORTIONS OF SAID LAND DESCRIBED AS PARCELS 101579-1 AND 101579-2 IN THE FINAL ORDER OF CONDEMNATION, A CERTIFIED COPY THEREOF BEING RECORDED OCTOBER 18, 1999 AS INSTRUMENT NO. 19990730949, OFFICIAL RECORDS.

ALSO EXCEPT FROM THE NORTHEASTERLY PORTION OF SAID LAND, AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE SUBSURFACE OF SAID LAND, LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, AS GRANTED TO ELIZABETH HILLMAN MCNAMARA, BY DEED RECORDED JANUARY 24, 1952 IN BOOK 2278, PAGE 356, OFFICIAL RECORDS, BUT WITHOUT THE RIGHT TO ENTER UPON THE SURFACE THEREOF, AS PROVIDED BY DEED RECORDED JULY 27, 1964 IN BOOK 7151, PAGE 576, OFFICIAL RECORDS.

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 1, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 40, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID PARCEL; THENCE SOUTH 89° 26' 47" WEST ALONG THE NORTH LINE THEREOF, 50.00 FEET; THENCE SOUTH 68° 35' 13" EAST 53.45 FEET TO THE EAST LINE OF SAID PARCEL 1 (ONE); THENCE NORTH 00° 40' 09" EAST ALONG SAID EAST LINE, 20.00 FEET TO THE POINT OF BEGINNING.

APN'S: 361-401-23 AND 361-401-25

THE ABOVE DESCRIBED PARCEL OF LAND IS THE SAME AS THE PROPERTY DESCRIBED IN THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT CRDR NO.: 2676017568-48 DATED AS OF JUNE 29, 2020

APN: 361-401-27

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, CITY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 1, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 40 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND DESCRIBED AS PARCEL 101578-1 IN THE FINAL ORDER OF CONDEMNATION, A CERTIFIED COPY THEREOF BEING RECORDED JANUARY 26, 2000 AS INSTRUMENT NO. 20000045629, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS, AND OTHER MINERALS (INCLUDING, WITHOUT LIMITATION, HELIUM, LIGNITE, SULPHUR, PHOSPHATE AND OTHER SOLID, LIQUID AND GASEOUS SUBSTANCES), REGARDLESS OF THE NATURE THEREOF AND WHETHER SIMILAR OR DISSIMILAR BUT ONLY TO THE EXTENT ANY OF THE FOREGOING IS IN ITS NATURAL STATE AND NATURAL LOCATION AND NOT SUBJECT TO THE DOMINION AND CONTROL OF ANY PERSON, AND THE RIGHT TO EXPLORE FOR, DEVELOP AND PRODUCE SAME, AS WELL AS THE RIGHT TO LEASE SUCH PORTION OF THE PROPERTY HEREBY RESERVED FOR SUCH PURPOSES, AND ALL MINERAL AND ROYALTY RIGHTS WHATSOEVER IN, ON, UNDER AND PERTAINING TO THE PROPERTY; BUT THE GRANTOR, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO USE, OR RIGHT OF INGRESS TO OR EGRESS FROM ANY PART OF THE SURFACE OF THE PROPERTY FOR EXPLORATION AND PRODUCING PURPOSES; AND ANY OIL AND GAS DRILLING OPERATIONS SHALL BE CONDUCTED BY MEANS OF WELLS, THE SURFACE LOCATIONS OF WHICH ARE ON OTHER LANDS AND WHICH MAY BE DRILLED INTO AND BOTTOMED IN OR UNDER THE PROPERTY. THE GRANTOR SHALL EXERCISE ITS RIGHTS UNDER THE FOREGOING MINERAL, OIL AND GAS RESERVATION SO AS NOT TO DISTURB ANY IMPROVEMENTS, INSTALLATIONS, PETROLEUM OR OTHER PRODUCTS CONTAINED IN SUCH IMPROVEMENTS OR INSTALLATIONS OR SURFACE ACTIVITIES ON THE PROPERTY. THE GRANTOR IS TO RECEIVE AND RETAIN ALL BONUSES, RENTALS AND ROYALTIES PAYABLE UNDER ANY SUCH MINERAL, OIL AND GAS LEASE OR LEASES, AS RESERVED IN THE DEED FROM TEXACO REFINING AND MARKETING INC., A DELAWARE CORPORATION RECORDED JULY 30, 1998 AS INSTRUMENT NO. 19980491383, OFFICIAL RECORDS.

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 2, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 40 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTH 150 FEET OF THE LAND DESCRIBED AS PARCEL 1 IN THE DEED TO TEXACO, INC., A DELAWARE CORPORATION, RECORDED JULY 13, 1971 IN BOOK 9716 PAGE 821 OF OFFICIAL RECORDS, AND RUNNING THENCE SOUTH 89° 26' 47" WEST, ALONG THE NORTH LINE THEREOF 50 FEET; THENCE NORTH 67° 49' 01" EAST 54.25 FEET TO THE EAST LINE OF PARCEL 1 IN SAID DEED TO TEXACO, INC.; THENCE SOUTH 0° 40' 09" WEST, ALONG SAID EAST LINE, 20 FEET TO THE POINT OF BEGINNING.

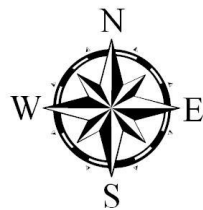
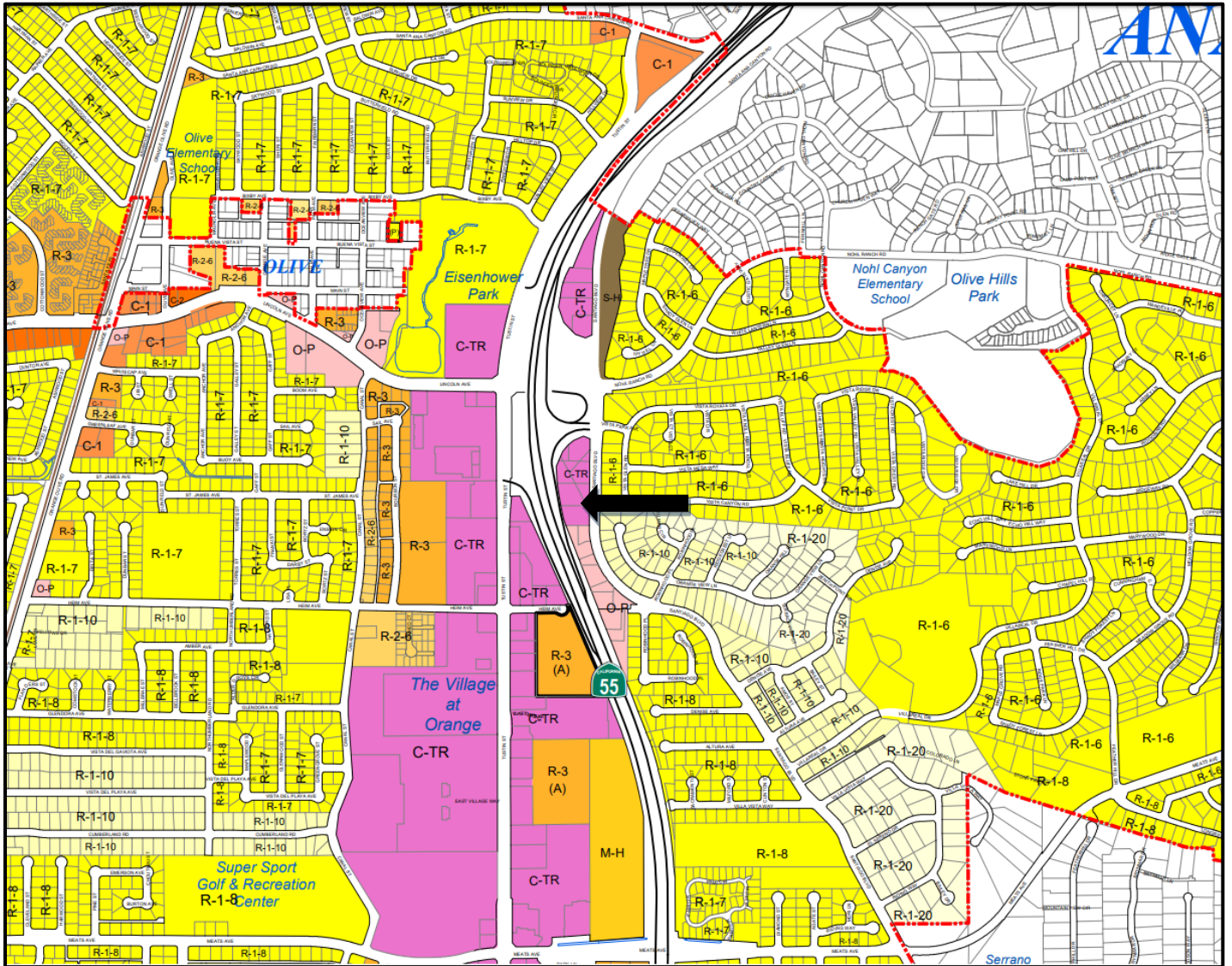
361-401-27

THE ABOVE DESCRIBED PARCEL OF LAND IS THE SAME AS THE PROPERTY DESCRIBED IN THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO.: 2676017569-48 DATED AS OF JULY 17, 2020



# Vicinity Map

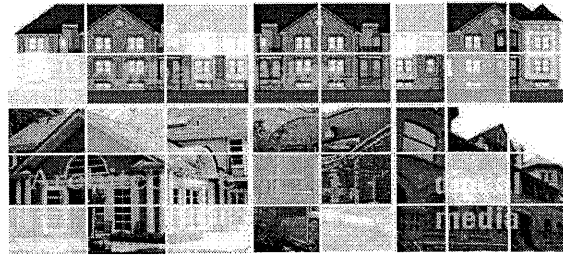
2640-2658 N. Santiago Boulevard  
CUP No. 3039-17, CUP No. 3054-17,  
DRC No. 4898-17, and MNSP No. 0896-17



**CITY OF ORANGE**  
**COMMUNITY DEVELOPMENT DEPARTMENT**

**DATE:** February 7, 2017

**From:** Shiv Talwar AIA  
Principal Architect  
Design Concepts  
3340 Riverside Dr. Suite M  
Chino, CA 91710



**To:** City of Orange Community Development Department  
Planning Division  
300 East Chapman Avenue  
Orange, CA 92866  
714-744-7220

**Project:** Santiago Center  
2640 N. Santiago Blvd.  
Orange, CA 92867

**Subject:** Addition & Remodel / Tenant Improvement

**LETTER OF EXPLANATION / JUSTIFICATION**

**Planning Dept.:**

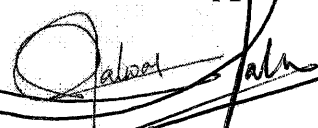
The proposed Addition / Remodel Tenant Improvement project is for an existing Shell Service Station & Retail Store, name and location as follows:  
Santiago Center, 2640 N. Santiago Blvd. in the City of Orange, CA 92867

The project consist of the following Scope of our Professional Architectural & Engineering Services:

Design of an Addition & Remodel / Tenant Improvement for an existing Shell Service Station & Retail Center. The proposed project will include an Addition of 333 sq ft. to the existing Service Station & Retail Center as well as a New Carwash of 2,600 sq. ft. to be placed at rear of Retail Center on Lot B.

Please review and approve the attached Plans. Contact me for any questions you may have.

Thanks for the opportunity to work with you.



Shiv D. Talwar, AIA  
Principal Architect, Design Concepts  
Office: 909-591-3939 Cell: 909-510-0512  
[dsignconcepts@yahoo.com](mailto:dsignconcepts@yahoo.com)



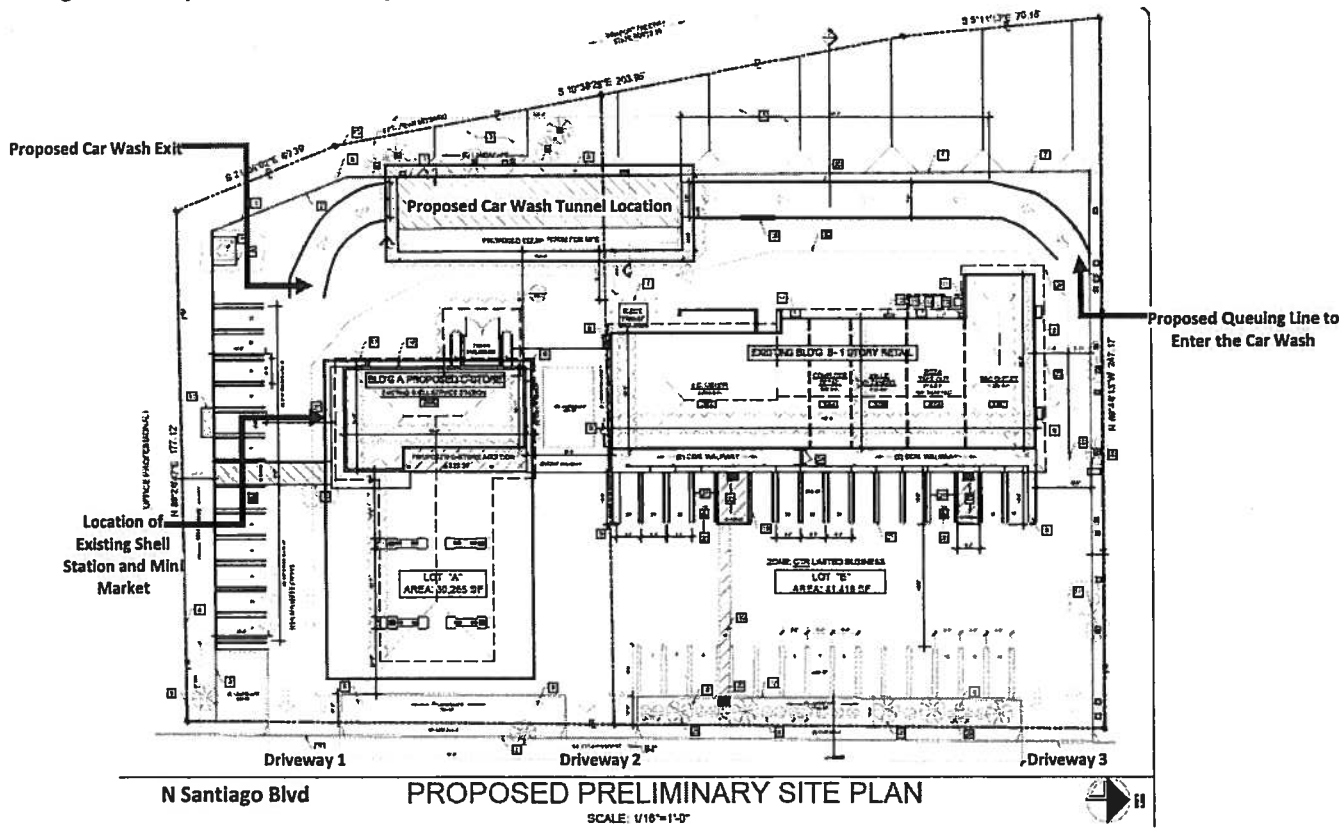


**TO:** Surinder Multani ([S\\_multani@hotmail.com](mailto:S_multani@hotmail.com))  
**FROM:** Transtech Engineers, Inc.  
**DATE:** June 6, 2017  
**SUBJECT:** TRAFFIC ASSESSMENT STUDY OF PARKING AND QUEUING CONDITIONS FOR SHELL SERVICE STATION EXPANSION AND PROPOSED CAR WASH IN THE CITY OF ORANGE

**INTRODUCTION:**

Transtech has completed a traffic assessment for a proposed self-serve car wash at an existing Shell Gas Station located at 2640 North Santiago Boulevard in the City of Orange. The traffic assessment study analyzes the parking demand at the existing gas station site as well as queuing projections based on a similar site which has a comparable operational car wash tunnel. The purpose of the study is to determine if the proposed site configuration with a new car wash tunnel will provide sufficient parking as well as stacking for vehicles entering and exiting the car wash tunnel. *Figure 1* below shows the proposed preliminary site plan.

**Figure 1: Proposed Preliminary Site Plan**



**TRAFFIC ASSESSMENT STUDY OF PARKING AND QUEUING CONDITIONS FOR SHELL SERVICE STATION EXPANSION AND PROPOSED CAR WASH IN THE CITY OF ORANGE**

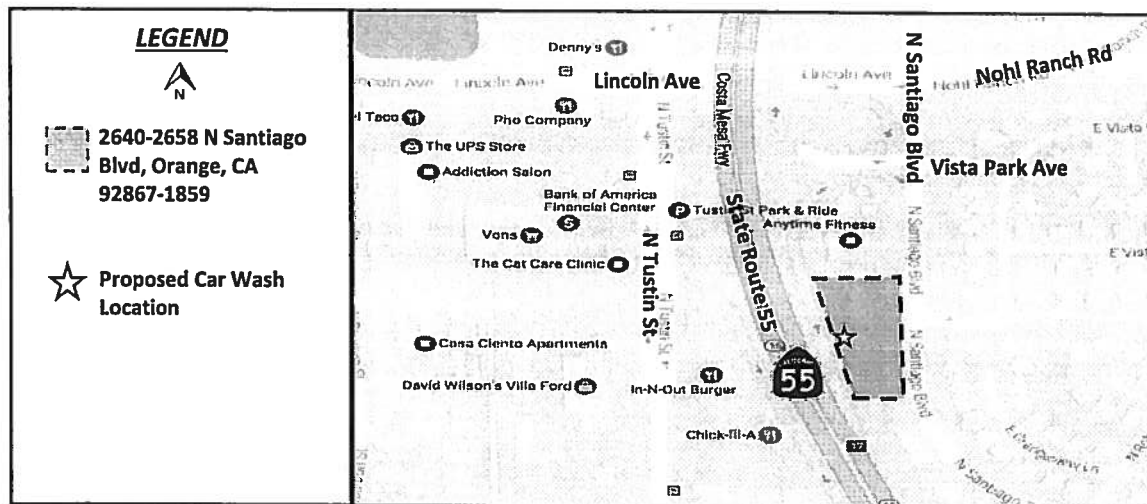
## BACKGROUND:

In order to predict the traffic queueing at the proposed car wash site, it is traffic industry practice to assess similar sites that have comparable operations. The comparable site is located at 3017 E. Edinger, Tustin, CA which includes a major gas station with outlying retail shops and a self-serve car wash tunnel, like the proposed project. The City of Orange Planning Department requested a queuing and stacking analysis at a site with a similar car wash configuration to determine if during the peak hours for car washing services the queue or stacking could potentially block or extend into the regular parking areas and affect the functions of the existing commercial use and service station.

Transtech conducted a 10-hour parking count at the existing site as well as performed a 10-hour queuing study on a Friday and Saturday at the similar site with an express car wash in operation located in the City of Tustin. Based on the queuing study conducted at the comparable site, it was determined that the reconfiguration and addition of a self-serve car wash tunnel at the existing Shell Gas Station will not impact parking or have vehicles block on-site circulation by queuing at the car wash tunnel. The proposed site as designed meets the City of Orange Municipal Code Section 17.34.110F.5, 17.34.110F.6 and Section 17.18.070.N standards for businesses providing drive through services.

Please refer to **Figure 2: Vicinity Map** below to see the proposed project location.

**Figure 2: Vicinity Map**

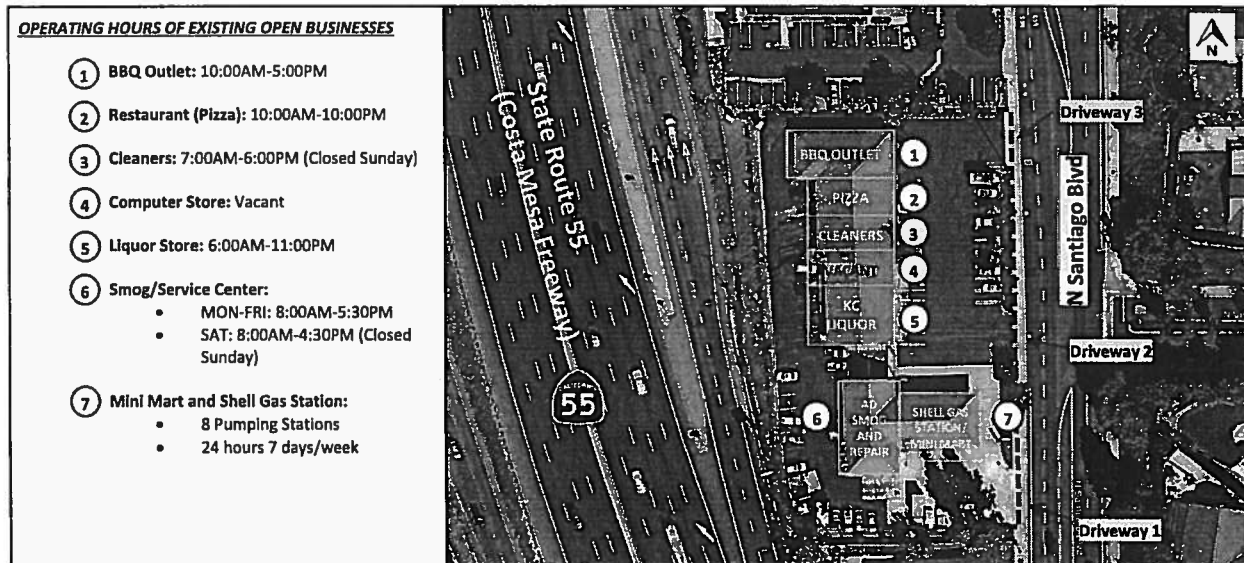


## EXISTING CONDITIONS:

**Santiago Boulevard:** Santiago Boulevard is considered a secondary arterial in the City of Orange's Mobility Element. The roadway carries 2 lanes in each direction with a two-way left turn pocket. The roadway has a posted speed limit of 35 mph with no on-street parking and a NB striped bike lane. Santiago Boulevard Driveway 2 as shown in **Figure 3: Existing Conditions Site Aerial Map** is shared between the Shell station and commercial center. Santiago Boulevard at Vista Park Avenue just north of the site provides the NB

SR-55 Costa Mesa Freeway off-ramp. Land use surrounding the site is strip commercial to the north (C-TR), offices to the south (Office Professional), SR-55 freeway to the west and to the east of Santiago Boulevard the back yards of residential uses (R-1-10). At the southwest corner of the intersection of Nohl Ranch Road and Santiago Boulevard just north of the site is a Valero gas station with mini mart and hand car wash with detailing stations. This use is different since it depends on labor to detail and wash/dry vehicles.

**Figure 3: Existing Conditions Site Aerial Map**



### Hours of Operations

1. **BBQ Outlet: 10:00AM-5:00PM**
2. **Restaurant (Pizza): 10:00AM-10:00PM**
3. **Cleaners: 7:00AM-6:00PM (Closed Sunday)**
4. **Computer Store: Vacant**
5. **Liquor Store: 6:00AM-11:00PM**
6. **Smog/Service Center:**
  - MON-FRI: 8:00AM-5:30PM
  - SAT: 8:00AM-4:30PM (Closed Sunday)
7. **Mini Mart and Shell Gas Station:**
  - 8 Pumping Stations
  - 24 hours 7 days/week

**Figure 4: Photo of Existing Site – Illustrates the existing Shell Station and Mini Mart**

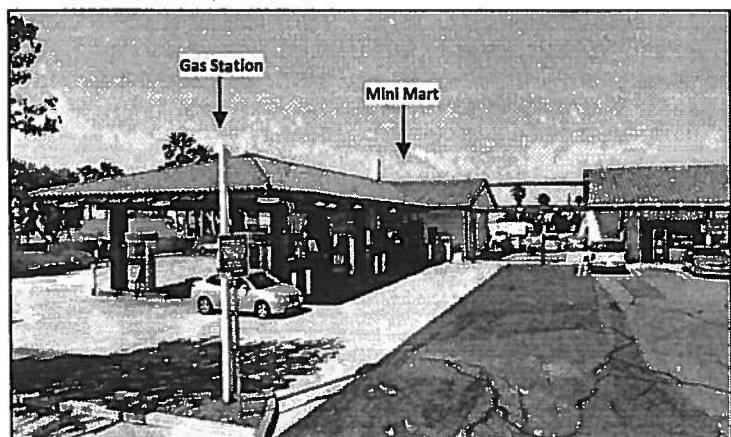
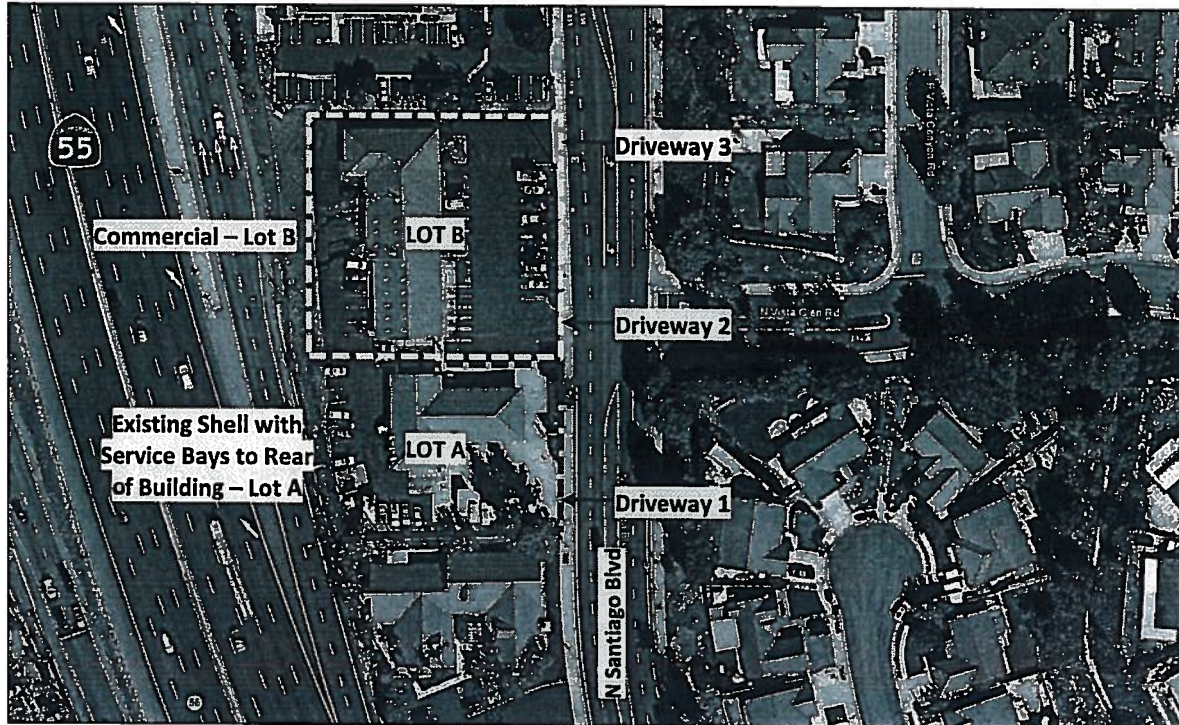




Figure 5: Existing Site – Lots A and B



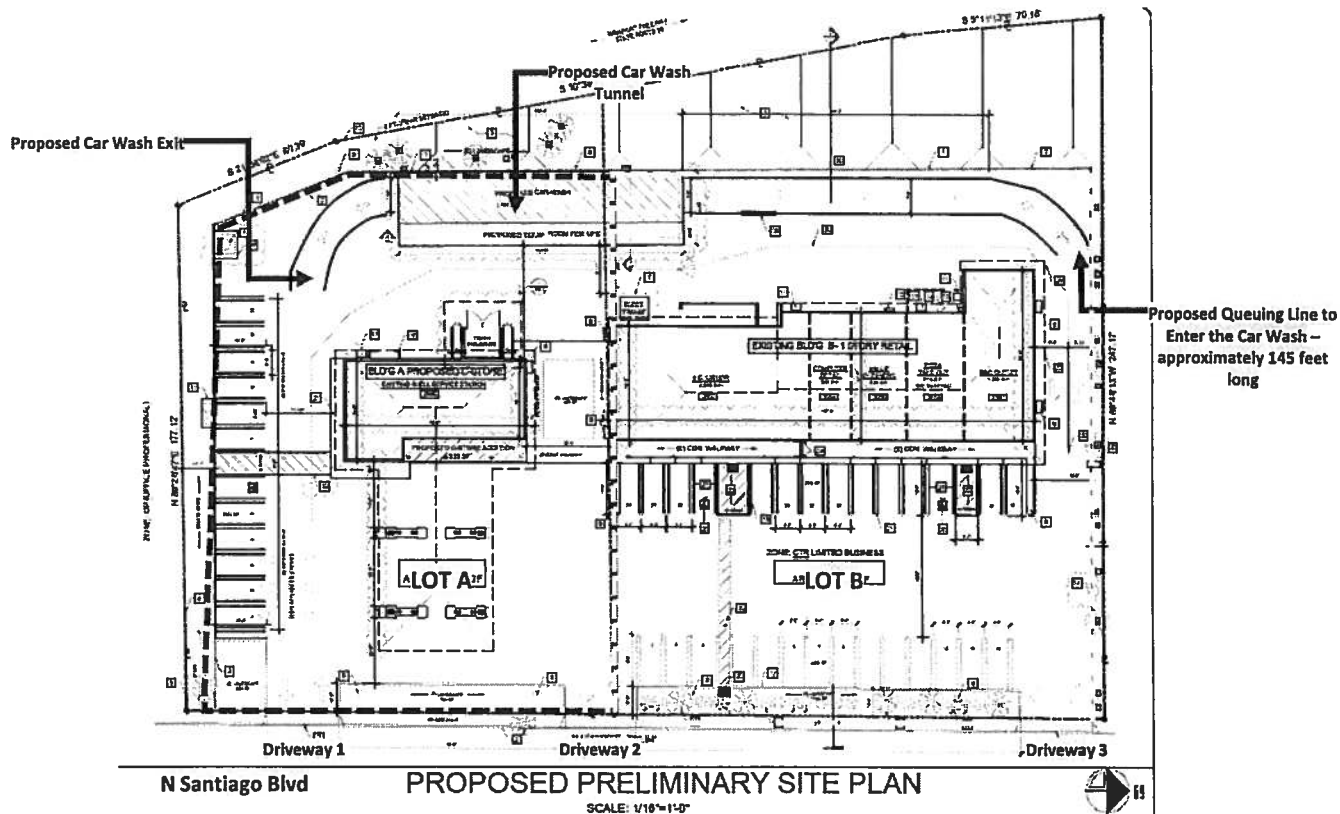
#### PROPOSED DEVELOPMENT:

The proposed project consists of the expansion and reconfiguration of an existing Shell gas station with mini mart and smog service center by constructing a 100-foot drive-through automatic car wash and expanded mini mart. Street access to the existing site is via 3 driveways fronting Santiago Boulevard. The gas station shares two of the driveways with the commercial center labeled as Lot B on the site plan. Both Lot A and Lot B will be combined as one parcel with the new car wash located behind the center and gas station. Operating hours of the car wash tunnel are going to be from 7:00AM to 9:00PM.

The car wash will be parallel to the SR-55 Freeway. As seen on the site plan, the entrance to the car wash tunnel will be located to the north and behind the commercial center with the exit and vacuum station to the south. The service station will be reconfigured to eliminate the existing smog and service center located behind the mini mart and will remodel and add to the existing building to provide for a 2,640-sq. ft. convenience market (C-Store). The site is located at 2640-2658 N. Santiago Boulevard, Orange, CA.

The Lot B retail use building will remain, however parking for both Lots A and B will be provided to the front of the buildings and lining the south side of the gas station. The new site will provide a total of 39 parking spaces. South of the gas station where parking is provided, there will be one vacuum station for use. Per the Cities preliminary comments the project (lots A and B) will provide the total required (39) on-site parking spaces. Please refer to *Figure 6: Proposed Preliminary Site Plan* for details.

Figure 6: Proposed Preliminary Site Plan



**Parking Occupancy Count:** In order to determine the amount of parking that is currently needed at the existing site a parking occupancy count was conducted on a Friday and Saturday between the hours of 10:00am to 8:00pm (10 hours) on May 12<sup>th</sup> and 13<sup>th</sup> 2017. The count included parking for Lots A and B. It was identified that there are currently 59 marked parking spaces on-site in the front and behind the businesses. The hours given were chosen to look at peak service hours of the existing gas station as well as times that would also include the retail use peaks.

The Friday parking counts showed that the peak parking time for on-site parking was 28 vehicles at 1:00pm to 2:00pm for an occupancy rate of 48%. This included vehicles using parking spaces while waiting for service at the smog station.

On Saturday, the peak parking period was between 2:00pm to 3:00pm with 31 parked vehicles for a parking occupancy rate of 53%. Most of the parking spaces occupied longer term were associated with the Smog/Service station behind the gas station. With the reconfiguration of the project this use will be removed. The parking count showed that even with the reconfiguration of the site, the 39 on-site parking spaces provided will sufficiently accommodate project traffic. The parking count is provided in *Table 1: Friday/Saturday Parking Occupancy Count* on the following page.

**Table 1: Friday/Saturday Parking Occupancy Count for Lots A and B:***Friday Count Conducted: May 12, 2017**Saturday Count Conducted: May 13, 2017*

Time by Hour	Total Spaces Available	FRIDAY		SATURDAY	
		Spaces Occ.	OCC. (%)	Spaces Occ.	OCC. (%)
10:00-11:00AM	59	20	34%	23	39%
11:00-12:00PM	59	17	29%	21	36%
12:00-1:00PM	59	22	37%	24	41%
1:00-2:00PM	59	28	48%	28	48%
2:00-3:00PM	59	25	42%	31	53%
3:00-4:00PM	59	17	29%	30	51%
4:00-5:00PM	59	20	34%	26	44%
5:00-6:00PM	59	14	24%	26	44%
6:00-7:00PM	59	13	22%	24	41%
7:00-8:00PM	59	9	15%	16	27%

**Proposed Car Wash:** The proposed automated express exterior car wash will provide a 12-foot-wide by 145-foot-long entry lane with stacking for 7 vehicles to queue. Customers can purchase a car wash from the gas pump, inside the mini mart or can purchase directly from the automated teller located at the entrance to the tunnel. When the car wash is first opened, an attendant will be there to guide the customers as they maneuver the front wheel onto a conveyor belt and to direct customers to put their cars into neutral where the conveyor will pull the car through the car wash. At the end of the tunnel the car is dried. It takes approximately 3 minutes depending on the type of wash chosen to fully move through the car wash. This type of car wash requires no manual prepping, but produces a clean, shiny and completely dry car. The customer has the option of self-vacuuming the vehicle before or after the car wash. There is projected to be one vacuum stall located along the south end of the gas station. Typically, a discount is given for each gallon of gas if a car wash is selected while pumping.

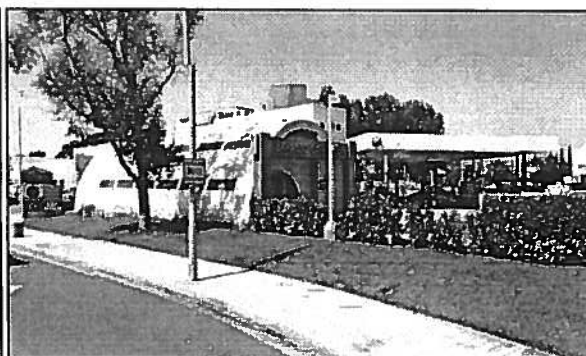
In order to predict the traffic queueing at the proposed car wash site, it is traffic industry practice to assess similar sites that have comparable operations. To determine what type of queue that can be expected for this type of car wash, a queuing count was conducted on Friday, June 2, 2017 and Saturday, June 3, 2017 during the hours of 10:00am to 8:00pm (10 hours). The counts were taken on a regular weekend and weekday on a sunny day. The site that was selected was chosen because it most represented what the proposed site would be. The "similar site" was at a 76 Gas Station with a C-store (Circle K) with a Subway deli, surrounded by commercial use with a conveyor type car wash tunnel. The site is located in the City of Tustin at 3017 Edinger Avenue, Tustin, please refer to **Figure 7** on the following page.



**Figure 7: Aerial View of Similar Site (3017 Edinger Avenue, Tustin)**



**Figure 8: Car Wash Entrance at Similar Size**



**Figure 9: Car Wash Exit at Similar Size**

As seen in the following tables the queue counts for the similar site showed that the busiest time for the car wash on a Friday was between 2pm to 3pm with a total of 19 vehicles going through the car wash with the longest queue waiting to enter 4 vehicles. Average time in the tunnel was a little over 3 minutes. The time depends on the type of wash (basic to deluxe) that the customer chose. A queue of 4 vehicles would need 80 feet of stacking in the entrance lane. At this car wash there was never a queue exiting the tunnel. Most vehicles vacuumed their cars before the car wash and then just drove away.

On Saturday the busiest time for the use of the car wash was at 11-12 noon with 23 vehicles entering the car wash in a one hour period with the longest queue at 3 vehicles. The use for the car wash was spread over the one hour period with continual movement through the tunnel.

**Table 2: Friday Count - Back of Queue Count at Similar Site (3017 Edinger Avenue, Tustin)**

*Count Conducted: Friday, June 2, 2017*

Time by Hour	Tally of Vehicles Entering Car Wash	Longest Back of Queue in 1 hour	Avg. Time in Tunnel	Queue at Exit
10am to 11am	13	1	3:08 min	0
11am to 12noon	17	2	"	0
12pm to 1pm	18	3	"	0
1pm to 2pm	17	3	"	0
2pm to 3pm	19	4	"	0
3pm to 4pm	11	3	"	0
4pm to 5pm	16	1	"	0
5pm to 6pm	12	2	"	0
6pm to 7pm	10	2	"	0
7pm to 8pm	8	1	"	0

**Table 2: Saturday Count - Back of Queue Count at Similar Site (3017 Edinger Avenue, Tustin)**

*Count Conducted: Saturday, June 3, 2017*

Time by Hour	Tally of Vehicles Entering Car Wash	Longest Back of Queue in 1 hour	Avg. Time in Tunnel	Queue at Exit
10am to 11am	13	1	3:08 min	0
11am to 12 noon	23	3	3:06	0
12pm to 1pm	19	4	3:08	0
1pm to 2pm	14	2	"	0
2pm to 3pm	21	4	"	0
3pm to 4pm	17	4	"	0
4pm to 5pm	6	1	"	0
5pm to 6pm	11	1	"	0
6pm to 7pm	13	2	"	0
7pm to 8pm	8	1	"	0

The City of Orange Planning Department asked for a queuing and stacking analysis of a site with a similar car wash configuration to determine if during the peak hours for car washing services the queue or stacking could potentially block or extend into the regular parking areas and affect the functions of the existing commercial use and service station.

Orange Municipal Code (OMC) Section 17.18.070.N provides standards for businesses providing drive-through service:

- Drive through lanes shall not obstruct the circulation routes necessary for access to the property, parking areas (including backup area of parking spaces) and pedestrian walkways.
- Pedestrian walkways shall be emphasized by enriched paving or striping.
- Drive through lanes shall be a minimum of 12 ft. in width.

**TRAFFIC ASSESSMENT STUDY OF PARKING AND QUEUING CONDITIONS FOR SHELL SERVICE STATION EXPANSION AND PROPOSED CAR WASH IN THE CITY OF ORANGE**

- A parking or queuing study is required that is based on similar operations, addressing the anticipated traffic volumes and vehicular stacking needs for the proposed car wash.

**Project Options:**

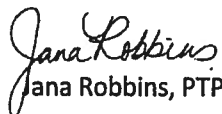
- Assessment of the peak parking demand times for each use, proximity to the mass transit, and the impact of on-site market support.
- Calculate the peak parking demand for each use, including peak hours of a weekday or evening, and/or weekend.
- Sum hourly parking demands to arrive at a total peak hour parking demand volume.

**SUMMARY**

Based on the weekday and weekend parking occupancy counts at the existing site, it is estimated that the 39 proposed parking spaces will accommodate the needs of the reconfigured gas station/mini mart with car wash and the adjacent retail center labeled as Lot B. The queuing count at a similar site shows that during peak hours the maximum queue of vehicles waiting to enter the car wash tunnel is 4 cars. The proposed stacking lane will provide for 7 vehicles to queue prior to entering the tunnel (based on 20 feet per car). The 145 feet of stacking lane will provide enough room for vehicles to wait in the queue and not extend into or block any vehicular paths of travel for the retail use or gas station. This report as concluded that the project would not have an adverse impact on parking or on-site traffic circulation.

We appreciate the opportunity to assist you in preparing this report. If you have any questions or comments please do not hesitate to call me at (909)595-8599 Ext. 133 or via email at [Jana.robbs@transtech.org](mailto:Jana.robbs@transtech.org)

Prepared by:

  
Jana Robbins, PTP

*Professional Transportation Planner*

Transtech Engineers, Inc

Under the Direct Supervision of:

Ali Cayir, PE

*Licensed Professional Engineer: #47128*

Transtech Engineers, Inc



# Agenda Item

## Design Review Committee

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**Item #:** 4.1.

9/15/2021

**File #:** 21-0492

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**TO:** Chair and Members of the Design Review Committee

**THRU:** Anna Pehoushek, Assistant Community Development Director

**FROM:** Monique Schwartz, Associate Planner

### 1. SUBJECT

Design Review No. 4898-17, Shell Service Station Remodel and New Drive-Through Automatic Car Wash, 2640-2658 N. Santiago Boulevard.

### 2. SUMMARY

Staff recommends that the Design Review Committee (DRC) recommend project approval to the Planning Commission, subject to the required findings for Design Review and conditions of approval contained in the staff report.

The applicant proposes to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, sale of beer and wine for off-site consumption, construction and operation of a new drive-through automatic car wash, and related site improvements.

### 3. BACKGROUND INFORMATION

Applicant: Design Concepts: Shiv Talwar

Owner: Surinder Multani

Property Location: 2640-2658 N. Santiago Boulevard

General Plan Designation: General Commercial (GC)

Zoning Classification: Limited Business Tustin Redevelopment Project Area (C-TR)

Existing Development: Shell service station with a 1,942 square foot building containing a convenience store and three service bays, an attached fuel canopy with associated fuel pumps, a 6,144 square foot multi-tenant retail building, surface parking, and related site improvements.

Associated Applications: Conditional Use Permit No. 3039-17, Conditional Use Permit No. 3054-17, and Minor Site Plan No. 0896-17.

Previous DRC Project Reviews: The project was reviewed by the DRC on May 15, 2019, November 6, 2019, and June 3, 2020 whereby the project was continued at each meeting. On August 5, 2020, the DRC conducted a fourth review and continued the project by a 5-0 vote. Final Minutes from the August 5, 2020 meeting are provided as Attachment 2 to this staff report.

## 4. PROJECT DESCRIPTION

The applicant proposes to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, sale of beer and wine for off-site consumption, construction and operation of a new drive-through automatic car wash, and related site improvements. Access to the single drive-through lane begins at the northeast driveway entrance where the cars form a queue around the northern perimeter of the multi-tenant retail building leading to the automatic pay booth at the entrance of the car wash tunnel. The project has been provided with 39 parking spaces and drive-through queuing capacity for 10 vehicles.

The existing convenience store/service bay building, fuel canopies, fuel pumps, and multi-tenant retail building will remain in the same locations as part of this proposal. Access to the site also remains the same, with three driveway approaches along North Santiago Boulevard.

### Convenience Store:

The convenience store/service bay building will be expanded on the east side, under the existing roof canopy and remodeled on the interior to eliminate the two service bays in order to enlarge the convenience store floor area. The interior of the building will be configured with a restroom, storage room, walk-in cooler, self-service food counters, open merchandise shelving, and cashier counter.

The gabled roof edge on the north side of the building will be modified to a hipped roof design to better match the roofline of the fuel canopy and south side of the building. The exterior façade will maintain the existing building design and utilize similar materials and finishes in the area of the addition, including new matching windows, painted stucco finish, and vertical wood trim details.

### Car Wash:

The new 2,340 square foot drive-through automatic carwash building will be located to the rear of the convenience store and multi-tenant buildings, at the top of an existing landscape slope, and adjacent to the west property line and the State Route 55 freeway (SR 55). Access to the car wash tunnel will be provided by a designated drive-through lane, located at the northeast corner of the property. The interior of the building will be configured with a car wash tunnel, mechanical equipment room, and office area. The exterior design of the building will incorporate similar architectural features and materials as the adjacent convenience store and multi-tenant building, including a terra cotta hip style roof with exposed rafter details, large windows along the west elevation, painted stucco finish, vertical wood trim, metal wall light fixtures, and painted metal utility doors.

### Accessory Structure:

A new concrete masonry trash enclosure will be located within a landscape planter adjacent to the southwest corner of the site. The enclosure exterior design will utilize matching colors and materials as the other buildings on the site, including painted stucco finish, painted metal doors, and painted overhead wooden trellis.

### Multi-tenant Retail Building and Overall Site:

The gabled end roofline on the south side of the existing multi-tenant building will be modified to a hipped roof end in order to match the roof design on the north end of the building, and coordinate with the rooflines of the convenience store, fuel canopy, and new carwash building. No other modifications are proposed, except that the exterior of the building will be re-painted to match the

newly expanded convenience store and new car wash building.

The proposed exterior color scheme for the entire project will incorporate an earth tone color palette of gold, dark brown and light beige. All existing permanent signage on the property, including ground and wall signs will remain unchanged, except for one ground sign along the east property line that will be removed and replaced. All signs are not included in this proposal.

### **Landscaping:**

The project proposes to maintain thirteen existing on-site trees (Eucalyptus, Queen Palm, and Canary Island Pine), and one Bradford Pear street tree. Landscape planters adjacent to the three driveway entry points along Santiago Boulevard will be modified and extended. Street frontage landscaping will include existing Queen Palms, Samuel Sommer Magnolia (standard) trees, and a variety of shrubs and ground cover.

New landscape planters are proposed at the northeast and southeast corners, adjacent to parking space #27, at the northwest corner and along the west side of the drive-through lane, and adjacent to the car wash drive-through exit lane. An existing landscape planter located between the convenience store and multi-tenant retail building will be replaced with hardscaping, one circular tree planter, two succulent fountains, bench seating, and potted plants. The project perimeter and interior landscaping will include existing Canary Island Pine and Eucalyptus trees, Samuel Sommer Magnolia (standard), Fern Pine (standard), and Chinese Elm (standard) trees, as well as a mix of shrubs and ground cover including Rosenka Bougainvillea, orange Daylily, gold Lantana, Cape Honeysuckle, and Blue Star Creeper.

While City Code requires approximately 62 trees on the site, a total of 56 (13 existing and 43 new) trees are proposed. In considering the proposed site layout and the limitations of pre-existing buildings and landscape planter locations and sizes, the Community Services Senior Landscape Coordinator has determined that the proposed conceptual landscape plan is adequate for the project.

### **Lighting:**

New LED wall mounted light fixtures, with the light projecting in a downward direction, are proposed on the north and south sides of the multi-tenant and convenience store buildings, as well as on the east side of the car wash building and south side of the trash enclosure. The project perimeter will include new 25-foot tall, pole mounted LED light fixtures located in landscape planters adjacent to the car wash tunnel entrance and exit, at the northwest corner of the site, along the south property line, and property frontage. Sheet LT-1 (Photometric Site Plan) illustrates how the proposed fixtures will illuminate the parking areas and drive-through lane, but will be shielded and oriented to prevent glare or light spillage onto neighboring properties.

## **5. EXISTING SITE**

The site is presently developed with a Shell service station that includes a 1,942 square foot one-story building containing a convenience store and three service bays, an attached fuel canopy and associated fuel pumps, a 6,144 square foot, detached, one-story multi-tenant retail building, trash enclosure, three ground signs along the property frontage and one freeway pylon sign at the rear of the property along the State Route (SR) 55, surface parking, minimal interior and perimeter landscaping, and related on-site improvements.

## **6. EXISTING AREA CONTEXT**

To the north of the project site is a one-story, freestanding multi-tenant commercial building. To the south is a one-story commercial office complex (The Orchard). To the east is Santiago Boulevard.



Also to the east across Santiago Boulevard is a single-family residential neighborhood on an upward sloping topography. To the west is the SR 55 interchange with Lincoln Avenue and Nohl Ranch Road. The architecture of the surrounding development is eclectic and typical of strip commercial development dating from the 1960's through the 1980's.

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

On May 15, 2019, November 6, 2019, and June 3, 2020, the DRC conducted reviews of the proposed project and provided comments to the Applicant regarding the inconsistency and inaccuracy of the project plans, building architecture, landscaping, height of the retaining wall adjacent to the trash enclosure, topography of the site, on-site circulation, tree count, location of the west property line and existing chain link fencing along the Caltrans right-of-way as it relates to landscaping on the rear slope, lighting, and maintaining existing trees. On August 5, 2020, the DRC conducted a fourth review and provided comments relating to continued plan inconsistencies, location of the west property line and Caltrans right of way, landscaping on the rear slope adjacent to the freeway, retaining wall details and screening, size/location of the new car wash building, wrought iron fencing, trash enclosure roof attachment details, landscape curbing and pole lights, tree count, and the balance of hardscaping versus landscaping for the project. Final Minutes from the August 5, 2020 meeting are included as Attachment 2, and the Applicant's responses to comments concerning the August 5, 2020 meeting are included as Attachment 3 to this report.

### August 5, 2020 DRC Review:

There were a number of comments and concerns expressed by the DRC at the August 5, 2020 meeting including:

- Continued plan inaccuracies and discrepancies between trades.
- Clarification regarding the location of the west property line, existing chain link fencing, and Caltrans right-of-way along the freeway edge. Requested an ALTA survey.
- The car wash building is too large and being pushed out over the narrow slope.
- Suggested shifting the car wash building to the north to alleviate pinch point issues.
- The combination retaining wall/wrought iron fence should tie into the southwest corner of the carwash building and the lower wrought iron fence should be eliminated.
- The placement of the wrought iron fence, suggesting that it should be parallel to the T-wall, rather than at an angle.
- Suggested combining retaining walls into a single retaining wall to open options for site design.
- Requested the distance between the car wash retaining wall and the retaining wall that separates the Caltrans easement.
- The height of the retaining wall adjacent to the trash enclosure and adequate screening due to lack of space.
- The retaining wall footing configuration in section CC does not appear buildable.
- Suggested removing one or two parking spaces and moving the trash enclosure nine feet to the east.
- Requested details on how the wood structure over the trash enclosure is attached to the masonry structure.
- Requested clarification on placement of trees and tree count.
- The survivability of plants and delivery of irrigation on the 2:1 slope.
- Suggested fence access points along the top of the slope for landscape maintenance

purposes.

- Suggested the elimination of Iceberg roses on the slope due to the high frequency of maintenance required and difficult access on the slope.
- The viability of trees proposed close to the car wash building given a 36-inch roof overhang.
- The amount of landscape and hardscape is grossly out of balance.
- The lack of landscaping west of the chain link fence.
- The lack of protection of the light poles in the landscape planters in the queueing lane because there are no curbs.
- The project does not reflect a clear understanding of the slope and does not address concerns that the Committee has had from the beginning.
- The overall feasibility of the project and inability to make findings if the Site Plan does not match the site conditions and if the mitigation that is being proposed is not achievable.

### **Applicant's Responses to DRC Comments:**

In response to the DRC's comments, the applicant has modified the submittal plans to create greater consistency between the Architectural Site Plan, Elevations, Civil Plans, and Conceptual Landscape Plan (Sheets T-1.2, A-1 - A-3, C-1, and LI). The Applicant has also provided an ALTA survey within the plan set that clearly delineates the project boundaries, chain link fencing along the rear landscape slope, and the Caltrans right-of-way location.

The Applicant has reduced the length of the new car wash building by 10 feet on the south side (from 100 feet to 90 feet), which in turn has created a larger landscape buffer between the southwest corner of the building and the west property line. This would allow for the sustainability of the proposed Fern Pine trees that will provide screening along the western boundary. In addition, the Applicant has shifted the trash enclosure approximately 9 feet to the east, eliminating one surplus parking space, and reducing the height of the tall retaining wall condition adjacent to the trash enclosure (Sheets T-1.2, C-1, A-2.0, and L1). These revisions have been reviewed by SMART committee members for compliance with City standards.

The combination retaining wall/wrought iron fence has been revised to tie into the southwest corner of the car wash building, while the wrought iron fencing between the retaining wall and existing chain link fence has been eliminated. In addition, access gates and stairs have been added adjacent to the west side of the trash enclosure and at the top of the slope at the northwest corner of the site for slope maintenance purposes. The retaining wall footing detail has also been revised to provide additional clarity, and detail #16 has been added on Sheet AD-1 to show how the wood structure over the trash enclosure is attached to the masonry wall (Sheets T-1.2, A-2.0, AD-1, and C-1).

The Conceptual Landscape Plan (Sheet L1) has been adjusted to show the correct number of existing trees to remain, street tree, and proposed trees for the project. The plan has been modified to accurately show the proposed landscaping between the Caltrans easement chain link fencing and the retaining wall at the top of the rear slope. A dense grouping of Chinese Elm and Fern Pine trees are provided along the slope to address the mass of the new car wash building and rear view of the multi-tenant building, and between the convenience store and multi-tenant building. The Applicant has indicated that the plant material selected for the slope are varieties that can withstand harsh weather conditions. The proposed irrigation will be a drip system with emitters built into the tubing, spaced every 18-inches. The drip tubing will be pinned into the slope with metal stakes manufactured for this purpose and the tubing will be covered with 3 inches of mulch. The mulch will have fibrous bark that will cling to the slope. In addition, the applicant has adjusted the location of trees along the

slope so as to not impede on the car wash building roof overhang. Lastly, a six-inch curb has been added to the landscape planter along the queue lane for protection of the proposed pole light fixtures.

The proposed project has been designed to coordinate with the simple one-story architectural design of the existing buildings. The expanded convenience store, new car wash building, and trash enclosure incorporate similar design features, colors, and materials that contribute to the distinctive architectural character. The new landscape palette within existing and new planters will complement the overall project design by providing additional landscaping adjacent to the reconfigured parking stalls, adjacent to the carwash tunnel entrance and exit, and around the perimeter of the site. With the overall coordinated architectural style, use of matching colors and materials for all structures, as well as modifications to the site plan and landscaping, the development presents an integrated design theme. All site modifications and the implementation of additional landscaping provides an updated and refreshed appearance to the existing commercial property.

## 8. ADVISORY BOARD RECOMMENDATION

The Streamlined Multidisciplinary Accelerated Review Team (SMART) conducted reviews of the project on September 27, 2017, April 25, 2018, and September 12, 2018. On April 10, 2019, SMART recommended that the project proceed to the DRC.

The project was reviewed by the DRC on May 15, 2019, November 6, 2019, and June 3, 2020 whereby the project was continued at each meeting. On August 5, 2020, the DRC conducted a fourth review and continued the project by a 5-0 vote in order for the Applicant to adequately address the Committee's comments and concerns.

## 9. PUBLIC NOTICE

No Public Notice was required for DRC review of the project.

## 10. ENVIRONMENTAL REVIEW

**Categorical Exemption:** The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because it consists of the construction of a new, small (< 10,000 SF in urbanized area) structure zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available, and where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption.

## 11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Findings for DRC applications come from four sources:

- The Orange Municipal Code
- The Infill Residential Design Guidelines
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)
- The Orange Eichler Design Standards

The Findings are applied as appropriate to each project. Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

The project is not located within a specific plan; however, it is located within Thematic District #1 of the Tustin Street Design Standards. This area is isolated from Tustin Street by the SR 55 freeway. The property is visible from the freeway, and the uses generally serve residential developments to the east and freeway motorists. The design guidelines of the document indicate that “building scale, materials and plant materials shall relate to residential uses”.

Modifications to the existing convenience store/service bay building, multi-tenant building, new car wash building, and associated landscaping and site improvements are generally in conformance with the Tustin Street Design Standards for Thematic District #1 and complement the existing commercial site. The simple one-story architectural design with hip style terra cotta roofing, painted stucco finish and wood trim details, as well as project landscaping blends with the adjacent residential neighborhoods to the east. The project provides an updated, internally consistent, and integrated design theme which upholds community aesthetics.

## 12. CONDITIONS

The approval of this project is subject to the following conditions:

1. All construction shall conform in substance and be maintained in general conformance with plans and exhibits labeled as Attachment 4 in the staff report (date stamped received July 14, 2020), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee.
2. Except as otherwise provided herein, this project is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plot plan, the Community Development Director may approve the changed plan administratively.
3. Subsequent modifications to the approved architecture and color scheme shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the modifications shall be reviewed by the Design Review Committee.
4. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permits, save and except that caused by the City’s active negligence. The City shall promptly notify the applicant of any such claim, action, or proceedings and shall cooperate fully in the defense.
5. The applicant shall comply with all federal, state, and local laws, including all City regulations.

Violation of any of those laws in connection with the use will be cause for revocation of this permit.

6. Building permits shall be obtained for all future construction work, as required by the City of Orange Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
7. Prior to building permit issuance, the applicant shall demonstrate that the trash enclosure shall conform to City Standard Plan 409.
8. Prior to building permit issuance, the applicant shall demonstrate that the trash enclosure shall utilize similar materials, colors, and finishes as the associated buildings, including any roofing.
9. In conjunction with construction, all activity will be limited to the hours between 7:00 a.m. and 8:00 p.m. Monday through Saturday. No construction activity will be permitted on Sundays and federal holidays.
10. These conditions shall be reprinted on the second page of the construction documents when submitted to the Building Division for the plan check process.
11. Any graffiti shall be removed within 72 hours from the time the City of Orange Notice of Violation is received by the applicant/property owner.
12. Any new lighting on the premise shall be installed in such a way to direct, control, and screen the lighting to prevent off site light spillage onto adjoining properties and shall not be a nuisance to any point beyond the exterior boundaries of the property.
13. Prior to building permit issuance, the applicant shall demonstrate to the satisfaction of the Community Development Director that all mechanical and air conditioning equipment shall be shielded and screened from view from adjacent streets and properties. The screening shall be integrated architecturally with the building and painted to match the walls of the building.
14. Prior to building permit issuance, the applicant shall obtain approval from the Planning Division for any and all signage associated with the proposed project and/or business.
15. Plans submitted for Building Plan Check shall comply with the California Fire Code as amended by the City and as frequently amended and in effect at the time of application for Building Permit.
16. Prior to building permit issuance, the applicant shall prepare a final landscaping and irrigation plan consistent with the grading plans, site plans, and the conceptual landscaping plan as proposed for the project for the review and approval of the Director of Community Development and Community Services Director.
17. If not utilized, project approval expires 24 months from the approval date. Extensions of time

may be granted, if requested in writing in accordance with OMC Section 17.08.060. The Planning entitlements expire unless Building Permits are pulled within two years of the original approval.

### **13. ATTACHMENTS**

- Attachment 1 - Vicinity Map
- Attachment 2 - Final Minutes from the August 5, 2020 DRC Meeting
- Attachment 3 - Applicant's Responses to Comments from the August 5, 2020 DRC Meeting
- Project Plans, including Site Photographs and Color and Material Board, Date Stamped August 23, 2021



# APPROVED BY THE DESIGN REVIEW COMMITTEE OCTOBER 6, 2021

## MINUTES - FINAL

### City of Orange

#### Design Review Committee

September 15, 2021

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## 1. OPENING

The Design Review Committee of the City of Orange, California convened on September 15, 2021, at 5:30 p.m. in a Regular Meeting in the Council Chamber, 300 E. Chapman Avenue, Orange, California.

### 1.1 CALL TO ORDER

Chair Fox called the meeting to order at 5:30 p.m.

### 1.2 PLEDGE OF ALLEGIANCE

Committee Member Skorpanich let the flag salute.

### 1.3 ROLL CALL

**Present:** Fox, Imboden, McDermott, Skorpanich, and Farfan

**Absent:** None

## 2. PUBLIC COMMENTS

The following spoke in opposition to the proposed Kornerstone Cemetery project:

- Peter Truong
- John Nguyen

## 3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

### 3.1. Approval of meeting minutes of the Design Review Committee of the City of Orange for the September 1, 2021 Regular Meeting.

**ACTION:** A motion was made by Committee Member Imboden, seconded by Committee Member McDermott, to approve the September 1, 2021 meeting minutes as presented.

The motion carried by the following vote:

**Ayes:** Fox, Imboden, McDermott, Skorpanich, and Farfan

**Noes:** None

**Absent:** None

**4. CONTINUED ITEMS**

**4.1. Design Review No. 4898-17, Shell Service Station Remodel and New Drive-Through Automatic Car Wash, 2640-2658 N. Santiago Boulevard (Continued from the August 5, 2020 Regular Design Review Committee Meeting)**

**A proposal to renovate an existing full-service gas station to include the conversion of existing service bays to convenience store area, expansion of the convenience store building, sale of beer and wine for off-site consumption, construction and operation of a new drive-through automatic car wash, and related site improvements.**

The following spoke on behalf of the project:

- Shiv Talwar, applicant
- Robert Taft, landscape architect

The Committee discussed the following:

- Tree count, height and canopy
- Irrigation system
- Long term tree maintenance plan

A motion was made by Committee Member Skorpanich, seconded by Committee Member McDermott, to approve Design Review No. 4898-17, Shell Service Station Remodel and New Drive-Through Automatic Car Wash subject to the Conditions and Findings in the staff report with additional Conditions as follows:

1. Replace the Chinese Elm that are located on the lower slope with Arbutus Marina.
2. A landscape maintenance plan shall be provided prior to issuance of building permits.
3. The landscape maintenance shall be performed in such a manner as to allow all trees to attain and retain their full canopy height for screening purposes and canopy breadth for shade purposes.

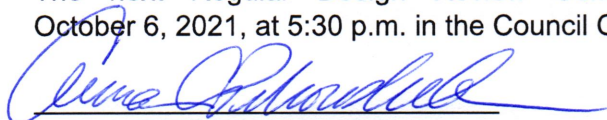
The motion carried by the following vote:

**Ayes:** Fox, Imboden, McDermott, Skorpanich, and Farfan  
**Noes:** None  
**Absent:** None

**5. ADJOURNMENT**

There being no further business, the meeting adjourned at 6:11 p.m.

The next Regular Design Review Committee meeting will be held on Wednesday, October 6, 2021, at 5:30 p.m. in the Council Chamber.



ANNA PEHOUSHEK  
 ASSISTANT COMMUNITY  
 DEVELOPMENT DIRECTOR  
 DRC STAFF LIAISON



# CITY OF ORANGE

OFFICE OF CHIEF OF POLICE

PHONE: (714) 744-7300

[www.cityoforange.org](http://www.cityoforange.org)

DATE: September 20, 2021

COMMUNITY DEVELOPMENT  
RECEIVED  
SEP 21 2021  
CITY OF ORANGE

Monique Schwartz  
Planning Department  
300 E Chapman  
Orange, CA 92867

Dear Monique Schwartz,

Attached please find the Police Department's report reference:

CUP: 3039-17

Villa Park Shell: 2640 N. Santiago Blvd. Orange, CA 92867

TYPE 21 Off-Sale General

The project located at 2640 N. Santiago Blvd (Villa Park Shell) requested a Type 21 Off-Sale General ABC License in conjunction with the expansion of an existing convenience store, and construction of a drive-through car wash. This project was reviewed and supported by Orange Police Department on September 25, 2017. The City's Design Committee Review approved the architectural plans for the project on September 15, 2021.

Attached are the requested crime statistics for 117w.

Sincerely,

Dan Adams,  
Chief of Police

# Villa Park Shell- 2640 N. Santiago Blvd.

## "21" Off-Sale General

**CUP: 3039-17**

---

Prepared by: Hank Echandi, Detective

Date: September 13, 2021

### Communication Log:

**Date Email Was Received:** September 1, 2021 Monique Schwartz, Associate Planner.

On September 1, I received an email from Monique Schwartz requesting current crime statistics for this Conditional Use Permit that was completed and approved by The Orange Police Department in September of 2017.

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### Crime Statistics and Activity

The 2020 crime statistics for Reporting District **117w** shows crimes at **11**. The average number of reported crimes per reporting district is **74**. Additionally, Reporting District **117w** is ranked **68** out of **92** districts in the City of Orange, and is **65% below** the average of reported crimes. (High-crime is considered 20% above the average reported crime within all reporting districts in the city per BP Code 23958.4).

In 2020, there were approximately **15** arrests in Reporting District **117w** and **four** of those arrests were alcohol related. The alcohol related offenses were **two** for CVC 23152-Driving under the Influence of alcohol/drugs, **one** for PC 647(f)-Drunk in Public, and **one** OMC 9.16.020-Drinking in public. The drunk in public occurred at 2640 N. Santiago Blvd. During that arrest, it was initially a call for service by a Villa Park Shell Employee of an assault and battery that occurred outside.

In comparison, the 2017 crime statistics for Reporting District **117w** were similar and showed crimes at **15**. The average number of reported crimes per reporting district is **68**. Additionally, Reporting District **117w** was ranked **65** out of **92** districts in the City of Orange, and is **66% below** the average of reported crimes. (High-crime is considered 20% above the average reported crime within all reporting districts in the city per BP Code 23958.4).

In 2017, there were approximately **9** arrests in Reporting District **117w** and **1** of those arrests was alcohol related. The alcohol related offense was CVC 23152(g)-Driving under the Influence of alcohol/drugs. During that arrest the driver admitted to drinking at his aunt's house at an unknown location.





# ORANGE POLICE DEPARTMENT

INVESTIGATIVE SERVICES DIVISION

COMMUNITY DEVELOPMENT  
RECEIVED

MAR 07 2018

CITY OF ORANGE

CUP: 3039-17

## MEMORANDUM

CONTROL #: 00012

**To:** Thomas C. Kisela, Chief of Police  
**Attn:** Dave Nichols, Captain *[Signature]*  
Dennis Gomez, Lieutenant *[Signature]*  
Aaron Towner, Sergeant  
**From:** Hank Echandi, Detective  
**Date:** September 25, 2017  
**Type:** "21" Off-Sale General  
**Location:** (Villa Park Shell) 2640 N Santiago Blvd., Orange, CA 92867

Figures supplied by the State Department of Alcohol Beverage Control (ABC) for the location in Census Tract #: 758.13 show:

The number of **ON-SALE** licenses allowed are: **6**

The number of **ON-SALE** licenses existing are: **4**

The number of **OFF-SALE** licenses allowed are: **2**

The number of **OFF-SALE** licenses existing are: **3**

The average number of reported crimes per district is **68** (crime stats from 2017). This location is in Reporting District **117w**. Current figures show crimes at **15**. This is **66%** below the average of reported crime.

### ➤ OFF-SALE IS OVER-CONCENTRATED

**Business & Professions Code 23958.4 (a) defines over-concentrated and high-crime area; a high-crime area is defined as a 20% greater number of reported crimes, than the average number of reported crimes as determined from all crime reporting districts within the jurisdiction of the local law enforcement agency.**

Location checked in in-house: **Yes** (Attached) / City Planner: Monique Schwartz

## Communication Log:

**Date Email Was Received:** September 25, 2017 – Received email from Monique Schwartz, Senior Planner.

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## Evaluation:

Villa Park Shell is located at 2640 N. Santiago Blvd. in the City of Orange. Villa Park Shell is currently a gas station and mini mart. The business is located on N. Santiago Blvd, south of the 55 Freeway. The business is located on the south end of the Santiago Center along with four other businesses. The businesses include KC Liquor, BBQ Outlet, Value Cleaners, and Marri's Italian Restaurant.

On October 25, I emailed property owner Surinder Multani and designer Shiv Talwar the Orange Police Department's Conditions for their pending ABC License.

Mr. Multani seeks to refurbish his existing service station by adding a drive-through automatic car wash, expand the convenience store, and the ability to sell alcohol per a pending Type 21 Off-Sale General License. Mr. Multani is requesting the Type 21 License due to customers frequently asking to purchase alcohol, and the business will be able to compete with other local gas stations that offer alcohol. Mr. Multani will be transferring a Type 21 ABC License from a prior business (License #433479, KC Liquor Aliso Viejo, Ca) he owned. Mr. Multani is aware there is a Liquor next store to his business, which he owns, but he wants the ability to offer customers a one stop shopping experience at Villa Park Shell rather than the customers having to go to two places to meet their shopping needs, such as purchasing gas, food, and or alcohol. KC Liquor (2650 N. Santiago Blvd.) and Marris Italian Restaurant (2658 N. Santiago Blvd.) are currently the only businesses in the shopping center that hold an ABC License. KC Liquor holds a Type 21 ABC License and Marris holds a Type 41 ABC License.

Mr. Multani advised after the renovation of the business is completed, there will be a large cooler for the chilled beverages along the north wall of the business. The northeast portion of the cooler will be designated for the chilled alcoholic beverages. The manned cash register will be located at the southeast portion of the building adjacent to the enter/exit door. The coolers will have locks to prevent sales during prohibited hours. The business will be open 24 hours a day, 7 days a week. The proposed hours for alcohol sales will be 6:00 am – 2:00 am.

## Concentration Levels

The census tract figures supplied by ABC show **2 allowed** with **3 existing** off-sale (over-concentrated), and **6 allowed** with **4 existing** on-sale. BP Code 23958.4 addresses concentration as the number of existing ABC licensed establishments within a given census tract, which is based upon population within each tract.

## Crime Statistics and Activity

The crime statistics for Reporting District **117w** shows crimes at **15**. The average number of reported crimes per reporting district is **68**. Additionally, Reporting District **117w** is ranked **65** out of **92** districts in the City of Orange, and is **66% below** the average of reported crimes. (High-crime is considered 20% above the average reported crime within all reporting districts in the city per BP Code 23958.4).



In 2017, there were approximately 9 arrests in Reporting District 117w and 1 of those arrests was alcohol related. The alcohol related offense was CVC 23152(g)-Driving under the Influence of alcohol/drugs. During that arrest the driver admitted to drinking at his aunt's house at an unknown location.

### Census Tract / Sensitive Sites

Villa Park shell is located in the northeast portion of Orange, Ca in The Santiago Center along with CK Liquor, which holds a Type 21 ABC License and Marri's Italian Restaurant, which holds a Type 41 ABC License. Villa Park Shell is north of The Orchard Business Complex and (2518-2592), and south of the Nohl Ranch Car Wash, Santiago Mini Mart, and Valero Gas Station (2700 N. Santiago Blvd), which holds a Type 20 ABC License. All businesses including Villa Park Shell back up to the 55 North Freeway and are across the street from the Vista Royale Residential Community that consist of single family dwellings.

There are no known sensitive sites (i.e. churches & schools) within 600 feet of the business location, but the 55 Freeway's North On-Ramp is approximately one tenth of a mile in distance.

### Recommendation:

The Orange Police Department **does not oppose** the applicant's efforts to obtain a Type 21 ABC Off-Sale General License based on the following: In 2017 Reporting District 117w is considered a low crime area. The reporting district is **66% below** the average of reported crimes. There were 9 arrests made in the reporting district and only 1 was alcohol related. The census tract is not over-concentrated for On-Sale ABC Licenses, and over concentrated by one for Off-Sale ABC Licenses, but one of the businesses is located in a different reporting district (77s) at 2493 N. Tustin St. (Arco Gas Station).

The Police Department requests the conditions identified in the attached memo be incorporated as part of the C.U.P.

# ORANGE POLICE DEPARTMENT CUP CONDITIONS

## OPERATIONAL CONDITIONS:

1.  In conjunction with the ongoing operation of the business, the premises shall comply with all requirements placed upon it by the State Alcoholic Beverage Control (ABC) Board.
2.  This Conditional Use Permit (CUP) shall be reviewed one year from the date of approval and may be reviewed each year thereafter. The review shall be conducted jointly by the Community Development Director and Police Chief or designees. The purpose of this review shall be to identify uniquely adverse issues such as curfew, loitering, vandalism, criminal activity, noise, or nuisance resulting from approval of the CUP. If such issues are identified, the CUP shall be presented to the Planning Commission for their consideration of conditions, modifications or revocation.
3.  The activity level of the business shall be monitored by the Police Department to establish the level of police services used for the business. Should the level of police services demonstrate that the applicant has not controlled excessive, or unnecessary activity resulting in high use of police services then this Conditional Use Permit shall be reviewed for consideration of further conditions, modifications or revocation.
4.  The quarterly gross sales of alcoholic beverages shall not exceed the gross sales of merchant items that include food within the convenience store during the same time period. Fuel purchases are excluded from the gross sales of merchant related items. The licensee shall at all times maintain records which reflect separately the gross sales of food and the gross sales of alcoholic beverages of the licensed business. Said records shall be kept no less frequently than on a quarterly basis and shall be made available upon request.
5.  The use of the building is considered a restaurant, and interior construction will remain consistent with plans submitted for review by the Planning Commission. No changes to the floor plans will occur unless a permit is issued by the Community Development Department. None of the floor area will be designated for dancing or live entertainment unless a subsequent Conditional Use Permit is approved by the Planning Commission.
6.  No person in the establishment shall appear in such a manner that the genitals, pubic hair, pubic hair region, buttocks, anus, natal cleft, anal region, nipple or areola is exposed to public view or is not covered by an opaque covering.

7.  The subject alcoholic beverage license shall not be exchanged for a public premises type license nor operated as a public premise.
8.  The sale of beer and/or wine for consumption off the premises shall be prohibited.
9.  No alcoholic beverages shall be consumed on any property adjacent to the licensed premises under the control of the license.
10.  All alcohol shall be consumed on the subject site, within the defined dining areas. Signs shall be posted on all exits of the premises, which prohibit alcoholic beverages from leaving the confines of the premises.
11.  The premises shall be maintained as a bona fide restaurant and shall provide a menu containing an assortment of foods normally offered in such restaurants.
12.  The hours of operation will be 24 hours, 7 days a week. The hours of operation for alcohol services shall be 7 days a week, 6 am until 2 am.
13.  At no time shall there be a fee for entrance/admittance into the premises.
14.  Employees and/or contract security personnel shall not consume any alcoholic beverages prior to or during their work shift. Any and all security officers provided shall comply with all state and local ordinances regulating their services, including, without limitation, Chapter 11.5 of Division 3 of the California Business and Profession Code.
15.  The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents, and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by City's active negligence.

**ALCOHOL & FOOD SERVICE CONDITIONS:**

16.  At all times when the premises are open for business, the sale and service of alcoholic beverages shall be made only in conjunction with the sale of food.
17.  Food service, with an available menu, shall be available until closing time on each day of operation.
18.  Alcoholic beverages served shall be served by a waiter/waitress only, and only to seated patrons at permitted tables.
19.  Alcoholic beverages shall be sold and served in containers, which are distinguishable from other non-alcoholic beverages sold at the premise or other establishment sharing the patio.

20.  There shall be no bar or lounge area upon the licensed premises maintained for the purpose of the sale, service, or consumption of alcoholic beverages directly to patrons for consumption.
21.  There shall be no "Happy Hours" when alcoholic beverages are offered at a reduced rate.
22.  There should be no time when alcoholic beverages are sold at a ratio of two for one; no "stacking" of beverages, which means the serving of two alcoholic beverages at one time to the same customer; and no sales to an "empty chair", which means that each customer must be physically present at the time of the order of any alcoholic beverage.
23.  There shall be no promotions encouraging intoxication or drinking contests.
24.  There shall be no requirement to purchase a minimum number of drinks.
25.  No alcoholic beverages shall be sold from any temporary locations on the premises such as ice tubs, barrels, or any other containers.
26.  The petitioner shall not employ or permit any persons to solicit or encourage others, directly or indirectly, to buy them drinks in the licensed premises under any commission percentage salary or other profit.
27.  The sale of beer or malt beverages in quantities of quarts, 22 ounces, 32 ounces, 40 ounces, or similar size containers is prohibited. Beer, malt beverages, and wine coolers in containers of 16 ounces or less cannot be sold by single containers, but must be sold in manufacturer pre-packaged multi-unit quantities.
28.  The sale of beer and wine for off-site consumption shall be incidental to the operation of the store. No more than 15% of the gross floor area shall be dedicated to the sale of beer and wine.
29.  No wine shall be sold with an alcoholic content greater than 15% by volume.
30.  No wine coolers shall be sold in less than a four-pack quantity.
31.  No sale of alcoholic beverage shall be made from a drive-up window.
32.  No beer or wine advertising shall be located on motor fuel islands and no advertising for beer or wine shall be visible from outside the building.



### PATIO CONDITIONS:

33.  The patio shall be enclosed and any gates located on the patio shall remain closed during business hours and used as an emergency exit only. Sign(s) shall be posted on all patio gate(s) indicating "Emergency Exit Only".
34.  The petitioner shall not employ or permit any persons to solicit or encourage others, directly or indirectly, to buy them drinks in the licensed premises under any commission percentage salary or other profit.
35.  Patrons on the patio shall be seated by a host/hostess only, with no self-seating permitted.
36.  An employee shall be stationed on the patio at all times to monitor alcohol.

### SPECIAL EVENTS:

37.  No portion of the premises shall be deemed to be "private" for the purposes of dispensing alcoholic beverages to selected patrons, where the licensee recognizes any form of membership cards, keys or passes which would entitle the holder entry or preferential admittance or exclusive use of any portion of the mentioned premises.
38.  The use of a promoter (such as a night-club operator) or sub-leasing the premises to be used in conjunction with dancing and/or live entertainment is prohibited.
39.  There shall be no live entertainment (including karaoke), disc jockey, amplified music, or dancing permitted on the premises at any time. Amplified music over a built-in system designed for background music shall be permitted so long as the music is not audible outside when doors are open.
40.  There shall be no special promotional events held on the property, unless a written request for such is received and approved by the City of Orange Community Development Director and the Police Department's Vice Unit at least one week in advance of the event.

### COIN OPERATED MACHINES:

41.  There shall be no pool tables or coin-operated games maintained upon the premises at any time.
42.  The business may utilize a token coin system to reduce the likelihood of theft and burglaries for U.S. currency in coin operated machines. Should the token system be implemented, the requirements for a burglary alarm system may be waived.



43. •  All coin change machines, dollar bill change machines, or token machines that accept and retain U.S. currency shall meet the following:

A.) The machine is to be designed and constructed to be resistant to unauthorized forced entry attempts from any accessible side of the machine.

B.) The machine is to be installed and secured to prevent its removal from the point of installation within the business.

#### **SECURITY & EXTERIOR:**

44. •  The parking lot of the premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance and conduct of all persons on or about the parking lot.

45.  Lighting in the parking area of the premises shall be directed, positioned and shielded in such a manner so as not to unreasonably illuminate the window area of nearby residences.

46. •  The owner shall install and maintain a closed circuit television system capable of readily identifying facial features, and stature of all patrons entering the establishment during hours of operation and monitoring the rear of the premises. The camera system shall keep a minimum 30 day library of events, which shall be available for downloading and inspection by the Orange Police Department.

47. •  The use of any amplifying systems, outdoor sound system and paging system or any other such device is prohibited on the licensed premises.

48. •  The petitioner(s) shall be responsible for maintaining free of litter the area adjacent to the premises over which he/she has control.

49. •  There shall be no exterior advertising of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages that are clearly visible to the exterior shall constitute a violation of this condition.

50. •  Exterior doors and windows, as well as the interior of the business, shall be protected by an approved alarm system, which shall detect an attempted entry or presence of people within the business during closing hours.

51.  Uniformed security will be provided by the applicant on days/nights when special event broadcast(s) are being promoted. One security guard per 100 customers shall be present during these broadcasts/events.

52.  Provide an interior night light to illuminate the interior, and maintain an unobstructed view through storefront windows to provide police patrol officers the ability to observe unlawful activity within the business.
53.  The owner or manager of the licensed premises shall maintain on the premises a written security policy and procedures manual addressing at a minimum the following items: Handling obviously intoxicated persons; establishing a reasonable ratio of employees to patrons, based upon activity level, in order to monitor beverage sales and patron behavior; handling patrons involved in fighting or arguing; handling loitering about the building and in the immediate adjacent area that is owned, leased, rented or used under agreement by the Licensee(s); verifying age/checking identification of patrons; warning patrons of reaching their drinking limit/potential intoxication and refusing to serve; calling the police regarding observed or reported criminal activity.
54.  The applicant shall comply with all federal, state, municipal laws and / or ordinances. Any violations of these laws in connection with this use may be a cause for revocation of this permit.

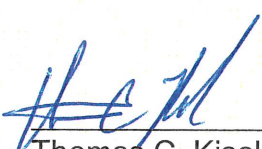
**TRAINING:**

55.  All employees of petitioner who sell or serve alcoholic beverage products shall be required to complete a training program in alcoholic beverage compliance, crime prevention techniques and the handling of violence. For new employees of petitioner, such training program must be completed within 30 days of the date of hire. The employees must provide the City of Orange Police Department a copy of completed Alcohol Management Program (AMP) certificate.

**MISCELLANEOUS:**

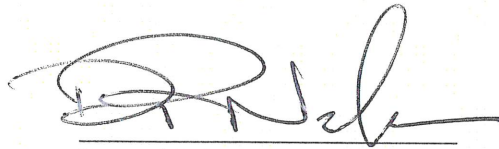
56.  The business shall prohibit the admission of, or allow any person under the age to 18 years to remain upon the premises after the hour of 10:00 PM, unless accompanied by an adult.
57.  Graffiti shall be removed from the exterior walls and windows of the premises within 72 hours of discovery

58.  The business shall prohibit the admission of, or allow any person under the age of 18 years to remain upon the premise between the hours of 8:00 a.m. and 3:00 p.m. Monday and Friday, when Orange Unified School District (OUSD) has school in session, unless that person is accompanied by a parent or legal guardian. This condition shall apply to all school students, including those who attend schools other than those in OUSD.



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Thomas C. Kisela  
Chief of Police



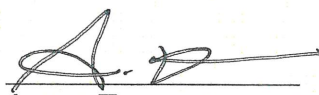
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Dave Nichols  
Captain, Investigative Services



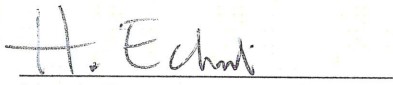
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Dennis Gomez  
Lieutenant,  
Invest. Services



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Aaron Towner  
Sergeant



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Hank Echandi  
Detective



# ORANGE POLICE DEPARTMENT

## INVESTIGATIVE SERVICES DIVISION

Please fill out and provide the following information reference your application for a modification / new license:

Business Name: Villa Park Sell

Business Location: 2640 N. Santiago Boulevard Orange, Ca 92867

Date: 07/19/17

1. Names & Dob of all principals / owners: Surinder S. Multani & Amarpreet K. Multani
2. Names of all managers: Surinder S. Multani
3. Name of building owner: Surinder S. Mutani
4. Length of lease: N/A, Surinder S. Multani owns the property
5. Proposed days & hours of operations: 7 days a week, 24 hours a day
6. Are you planning on having any live entrainment? No
7. Do you plan on using a DJ, live band or karaoke? No
8. Do you plan on having any dancing? No
9. Do you plan on having any coin operated games, if so how many? No
10. Are you planning on having "happy hour" (drink or food offered at reduced prices or free)? No

12. Do you plan on hosting any special events at this location, if so what type of events? No
13. Do you plan on renting out or leasing this business to any third party or agents? No
14. Are you planning on having any private or V.I.P. rooms? No
15. What other business that hold an ABC license are you involved with, if you are involved please provide all business names and addresses of these businesses. Mesa Foods and Liquor (28562 Oso Pkwy Suite G, Rancho Margarita, C 92868) and KC Liquor (2650 N. Rancho Santiago Blvd Orange, Ca 92867)
16. Do you plan on charging admission? No
17. Does the business have a patio area, if yes are you planning on serving any alcoholic beverage on this patio? No
18. List all businesses and their addresses you have been connected to in the last 5 years as well as co-owners and co-workers? Mesa Foods and Liquor (28562 Oso Pkwy Suite G, Rancho Santa Margarita, Ca 92868), KC Liquor (2650 N. Rancho Santiago Blvd. Orange, Ca 92867), and BBQ Outlet (2660 N. Santiago Blvd. Orange, Ca 92867)

Name of person interviewed:

Surinder Multani

Detective Assigned:

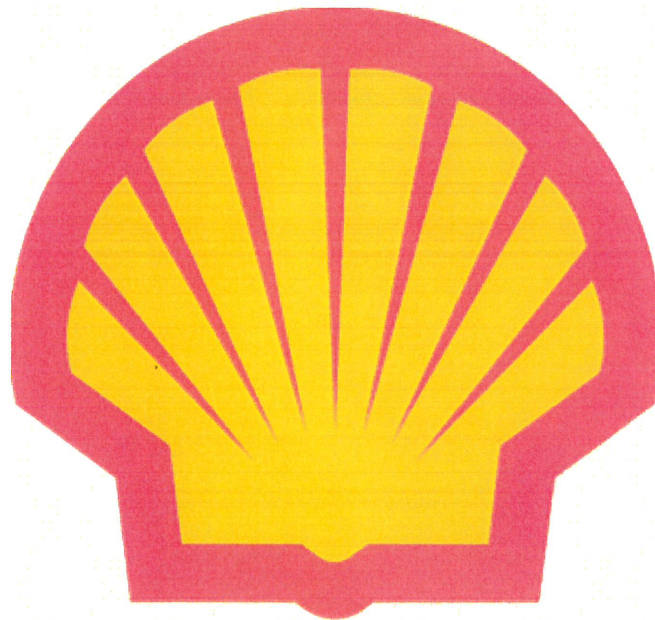
H. Echandi # 1270



SEP 11 2017

CITY OF ORANGE

# Alcohol Management Handbook



**Shell**  
**2640 North Santiago Boulevard, Orange,**  
**CA, 92867**

**September 6, 2017**

# **Contents**

**Management Alcohol Plan**

**Checking Identification Procedure**

**Refuse to Sell Procedure**

**Drug-Free Environment Procedure**

**Incident Log**

**Cashier Training Checklist**

**Clerk's Affidavit**

# Management Alcohol Plan

Date Revised: September 6, 2017

- 1.0 **Purpose:** To define policies, procedures, and activities specific to our mission to responsibly manage alcohol sales.
- 2.0 **Scope:** This document and its attachments are to be reviewed and understood by all employees.
- 3.0 **Policies:** The following policies support our mission and drive our procedures and actions.
  - 3.1 **Customer Safety** is our top priority. Every effort will be made to protect our customers. If a customer arrives obviously impaired we will deny selling them alcohol. We will also make every attempt to ensure that customer leaves in a safe manner. Do not give chase if a crime is committed, chasing puts you and the customer at risk of injury.
  - 3.2 **Excellent Customer Service** is always required. Refusing to make a sale to customer requires the greatest sensitivity, especially if the customer is impaired. Always treat the customer with respect and politeness. Always seek to de-escalate situations.
  - 3.3 **ABC License** to sell alcohol is a privilege and will be protected. We will guard this privilege by knowing what is expected of us, training to those expectations, and monitoring performance against the expectations. Special focus shall be given to:
    - Not selling alcohol to minors (under 21 years old)
    - Not selling to those Obviously Intoxicated
    - Not permitting premises to be used for illegal drug activity
    - Not permitting alcohol consumption on its premises
  - 3.4 **City Agreement** to operate is a privilege and will be protected. We will guard this privilege by knowing what is expected of us, training to this expectation, and monitoring performance against these expectations.
  - 3.5 **Tobacco Products Laws** will be complied with, to include, NO:
    - Tobacco products or paraphernalia sold to anyone under 18
    - Self-service display of tobacco products or paraphernalia
    - Sales of cigarette packs with less than 20 cigarettes & no singles
    - Tobacco samples in store



- Sales of “bidis” (imported hand-rolled cigarette containing tobacco wrapped in temburi or tendu leaf)

Our Tobacco Retail License to be posted in a location visible to customers.

3.6 **Trained Staff** is essential to protect our agreements and the public. Staff will complete the ABC LEAD training within six months of starting. Staff will be trained in the following practices before selling alcohol:

- Checking Identification procedure
- Refuse To Sell procedure
- Drug Free Environment
- Management Alcohol Plan
- Clerk’s Affidavit

3.7 **Impaired-Free Workplace** is essential for us to make sound and safe decisions. Staff cannot arrive to work impaired and cannot drink alcohol or consume drugs (legal or illegal) that impair on the job.

3.8 **Signs are Posted** as required by law. Signage includes:

- Notice to Customers (warning customers about laws and penalties)
- STAKE Act (to report unlawful tobacco sale)
- Warning Sign (on alcohol beverages and increased health risks)

3.9 **Additional Posting:** We shall post educational material for the public regarding drunk driving laws and the related penalties for breaking those laws. (This includes minimum age law, open container law and driving while intoxicated law.) This will be accomplished by either posting prominent signs, decals or brochures at the point of purchase and providing adequate training for employees.

3.10 **Our Neighbors - Our Community** is our concern. Staff will be observant and act to prevent our customers from interfering with our neighbors. If we see an unsafe situation, we will contact authorities as needed.

4.0 **ABC Laws:** Selling alcohol is a privilege granted by both city and state governmental agencies. Authorities have a responsibility to monitor businesses that sell alcohol and take firm action against those businesses that do not fulfill their legal commitments.

### *Enforcement of Agreements*

Cities and counties use police officers or sheriff's deputies and Code Enforcement to monitor businesses for compliance with the city or county agreement.

Violations of State and City laws, regulations, and ordinances can be classified into four types of liability. Each liability type carries a range of possible disciplinary actions and outcomes.

Criminal (Against Employee)	Administrative (Against Licensee)	Civil (Against Everyone)	Local Ordinance (Against Owner)
Fine	Fine	Lawsuit (negligence)	Stricter Conditions
Community Service	ABC License Suspension	Money Judgments, Settlements	Suspend or Revoke Permits
Jail (tragedy)	ABC License Revocation(*)		Immediate Closure in Some Cases

#### **Four Types of Liability**

(\*) The laws says revocation of license if 3 strikes within 3 years in cases involving minors

If the ABC files charges, the District Attorney where the business is located is given the case information to determine if the city would want to take action.

ABC uses field investigators to monitor businesses for compliance to their liquor license. Investigators are in the field daily. Many of their enforcement actions target businesses with complaints. Complaints commonly come from:

- Neighbors who don't like being disturbed by noise, experience trash on their property resulting from the operator's customers, or see things that make them uncomfortable.
- Customers who notice illegal or questionable actions.
- City officials in which the business operates. Typically this occurs due to too many police calls or the identification of an area of concern.

The most common problem ABC investigators find is the business not meeting a condition on its license. During routine inspections they check if:

- Exterior of building is kept clean and swept daily.
- Graffiti is removed within 72 hours.
- Only a maximum of 33% of windows are covered with advertising.
- Interior and exterior of the business is lit well enough to monitor activities inside and outside of the business.
- Operator is taking responsibility for what happens in their parking lot.

While the ABC can and will enforce all statutes the operator has agreed to, the agency focuses its activities in four areas:



- Does business sell alcohol to minors (under 21 years old)?
- Does business sell alcohol to the Obviously Intoxicated?
- Is there illegal drug activity on premises?
- Has business become a law enforcement problem?

### *Minor Decoy Program*

The ABC conducts its Minor Decoy Program year-round to ensure businesses to not sell to minors. Undercover law enforcement works with minors to test businesses.

While the most common operator violation is not meeting a condition on its license, the second most frequent ticket issued by the ABC is sales to minors (includes off-sale), and from a punitive point-of-view, it's also the most problematic for the licensee.

If a minor hands money to an adult and then the adult purchases alcohol, the seller is responsible under the "causes to be sold" criteria.

Here are the key points in this enforcement program.

- a. Decoy <20 (typically 16-18).
- b. Will appear <20, won't use clothing or make-up to look older.
- c. Carry a real ID, or no ID, never phony ID; 99% have ID.
- d. If asked for ID, decoy must show ID.
- e. Must answer questions honestly: are you 21 yet?
- f. After someone fails, the investigator will make a reasonable effort to have the decoy and employee come face-to-face for confirmation. Decoy must then identify the person who sold them the item.

The business is required to make a good faith effort in checking identification, a responsible effort, versus a lazy effort. Did the operator: compare photo for a match, confirm date demonstrates carrier is 21, check ID expiration date, is the height or weight way off, is license flimsy?

If the business is found to sell to a minor:

**Cashier:** May be arrested and charged with a misdemeanor. For a first offense, \$250 fine and/or 24-32 hours of community service. For a second or subsequent offense, the penalty is a maximum \$500 fine and/or 36-48 hours of community service. If the minor consumes the alcohol and thereafter causes great bodily injury or death to the minor or any other person, the person who purchases and furnishes to the minor faces a minimum 6 months and maximum 12 months county jail and/or a \$1,000 fine.

**Business:** For a first offense (“strike”), the penalty is a \$750-\$3,000 fine, license suspension (standard penalty is 15 days suspension), or probation. For a second strike within 3 years, the penalty is a license suspension (standard penalty is 25 days suspension) or \$1,500 to \$6,000 fine. In some cases the fine on a second strike may be \$2,500 to \$20,000. For a third strike, within 3 years, the license is revoked; ABC may also revoke prior to a third strike when the circumstances warrant that penalty. After ABC revokes any license for reasons pertaining to the premises, ABC cannot issue a license in that building for one year. For a sales-to-minor case involving great bodily injury or death, the ABC penalty against the business would depend upon the operator’s prior ABC record and the facts of the case.

The ABC may increase or decrease a standard penalty in any given case based upon aggravating or mitigation factors.

#### *Obviously Intoxicated Customers*

No person may sell or give alcohol to anyone who is obviously intoxicated. A person is obviously intoxicated when the average person can plainly see that the person is intoxicated. Some of the signs of intoxication are: being overly friendly, using foul language, argumentative, belligerent, slurred speech, slow, deliberate movements, swaying, drowsy, stumbling, red, watery eyes, or alcoholic breath. No person may sell or give alcohol to anyone who is a habitual drunkard (a person who has lost control over his or her drinking). A licensee or server who has been warned and still serves a habitual drunkard faces possible ABC disciplinary action and criminal prosecution. (Secs. 25602(a) and 23001 B&P; 397 PC)

Agents will work undercover to see if an operator sells alcohol to an obviously intoxicated person.

Target Responsibility for Alcohol Connected Emergencies (TRACE) is another method the ABC uses to track potential selling alcohol to a minor. Law enforcement will trace the last drink of a driver in an accident where someone was fatally hurt.

*If the business is found to have sold to an obviously intoxicated person:*

**Cashier:** May be arrested and charged with a misdemeanor. \$1,000 fine and/or 6 months in the county jail.

**Business:** Fine and/or suspension or revocation of liquor license. First offense, a fine and/or suspension (15 days is standard penalty) of liquor license; for a second offense within 3 years, there is a mandatory license suspension (25 days is standard penalty); third offense within 3 years is 45-day suspension (standard

penalty) to revocation. The ABC may increase or decrease a standard penalty in any given case, based upon aggravating or mitigating factors.

*If the business is found to have been responsible for having sold the last drink to someone fatally hurt in car accident:*

**Cashier:** Possible jail time.

**Business** Range from 15 to 60 days suspended license depending on circumstances. They tend to lean toward the maximum verses the minimum for this type of violation.

#### *Illegal Drug Usage*

ABC handles these violations different from other violations. Agents will work undercover to determine if a licensee knowingly permits illegal sales or negotiations of narcotics or dangerous drugs on its premises. On the very first violation, they seek the revocation of the license. No three strikes here.

#### *Law Enforcement Problems*

If ABC deems business to be a Disorderly House (lewd conduct, too many fights, excessive calls for service, neighbor complaints, or too many drunks), the ABC will take action. Penalty is decided on a case-by-case basis.

5.0 **Procedures:** It is important that each person understand their responsibilities. Duties and methods to ensure we are in compliance with our agreements are documented below and in the following attachments:

- Checking Identification procedure
- Refuse To Sell procedure
- Drug Free Environment procedure
- Clerk's Affidavit form
- Incident Report form
- Training Checklist form

#### *Cashiers*

5.1 **Check Identification** of all customers who look under 30 years old. In examining identifications, follow the Checking Identification procedure.

5.2 **Obviously Intoxicated** customers are not to be sold alcohol. Politely refuse alcohol sales to those Obviously Intoxicated customers per the Refuse To Sell procedure. Contact law enforcement as needed.

- 5.3 **Parking Area** is to be reasonably monitored to ensure illegal activities are not ongoing. Contact law enforcement as needed. Consider:
- Are customers disturbing the peace or property of our residential or commercial neighbors?
  - Are customers conducting illegal drug activity?
  - Are minors attempting to get adults to purchase them alcohol?
  - Are people drinking alcohol on our premises?
  - Is there violence or the risk on violence, or other inappropriate behavior?
- 5.4 **Document** all significant events using Incident Report shown in Addendum. Be sure Incident Reports read clear and professional—they may be read in court. Incidents to document:
- Refusal to sell alcohol to someone because they cannot prove their legal age is 21 or over
  - Refusal to sell alcohol to an Obviously Intoxicated person
  - Calling law enforcement, fire department, or 911
  - A fight on premises
  - Asking customer(s) to leave premises
  - Customer has an accident or is injured on premises
  - Witness statements (essential to get when possible)
- 5.5 **Professionalism** is required at all times. Treat customers with respect and politeness, seek to de-escalate situations. We have a strict No-Hit Policy.

#### *Management*

- 5.6 **Trains** staff against the following documents:
- Management Alcohol Action Plan and procedures
  - Clerk's Affidavit
  - Incident Report completion

Staff will complete ABC LEAD training or the GAPPOP training within six months of start date. Training record is kept in the employee's folder.

- 5.7 **Schedules** staff to ensure workers 17 or younger only sell alcohol when supervised by a person 21 or older.
- 5.8 **Posts** signage required by law. Signage includes:
- Notice to Customers
  - STAKE Act
  - Warning sign on alcohol beverages and increased health risks

- 5.9 **Examine** Incident Log for completeness and common problems.
- 5.10 **Monitors** premises to ensure:
- **Required** signage is posted
    - Stake Act sign to be posted near each register
  - **Exterior** is kept clean & graffiti is removed
  - **Exterior** and interior is well lit
  - **No** more than 33% of windows are covered with advertising or signs
  - **Retail** operating standards is available for public viewing
  - **Drug** Paraphernalia is not sold
- 5.11 **Evaluates** staff performance, providing positive feedback as appropriate and **corrective** action as needed.
- 5.12 **Considers** changes in law and updates policies and procedures as needed to **reflect** changes.

Staff Signature & Date: \_\_\_\_\_  
Trainer Signature & Date: \_\_\_\_\_



# Checking Identifications

Revised: September 6, 2017

**1.0 Purpose:** To define policies, procedures, and activities specific to examining identification to check a customer's age.

**2.0 Scope:** This document is to be reviewed and understood by all employees needing to check the age of a customer.

**3.0 Policy:** Only customers 21 and older are legally allowed to purchase or consume alcohol. Only customers 21 and older will be permitted to be in possession of alcohol. An operator has the legal right to refuse service to anyone who fails to provide adequate documented evidence of age. Authority: B&P Code Section 25659.

**4.0 Procedure: Checking an ID is a three-step process:**

1. Check to see if the ID indicates the person is 21 or older.
2. Check to see if the ID matches the person using it.
3. Check to see if the ID is currently valid (not expired) and authentic.

**4.1** The only bona fide identifications allowed to prove age in California:

- Driver's license
- U.S. government I.D. card (federal, state, county, or city)
- Foreign passport with photograph
- U.S. Military identification
- U.S. passport

**4.2** Two non-bona fide identifications cannot be combined to determine a customer's age. For example: a student identification card that either identifies or infers a certain age cannot be combined with a credit card to prove age.

**4.3** Bona fide identifications need to be issued by a government agency and be currently valid.

**4.4** Bona fide identifications need to include the following:

- Name
- Date of birth
- Photograph
- Description—with the following exceptions: both military identifications and passports will not contain a physical description

**4.5** Do the math—does the identification indicate the person is 21 or older?

**4.6** Is the identification still valid or has it expired?

4.7 Compare picture to person. Are they the same? Focus on the nose and chin. If the person in the picture is smiling, don't hesitate to ask person to smile. If still unsure, consider asking:

- Person their zodiac sign
- Person to sign name; then compare to the signature on the identification
- Person for personal information on identification: address, DOB, spelling of last name (if not common)
- Friend of identification bearer some questions, such as last name and address of identification bearer

4.8 Check to see if identification is phony or altered. Check for:

- Razor marks or use of white out
- Does it feel right? It should not feel flimsy

4.9 There are several other things to check for when examining California driver's licenses. It is important when checking licenses to use the most recent edition of the book that shows state driver's licenses and earlier versions of state licenses. This ensures you match the license against safeguards applicable to the date the license was generated. Among other things, the most recent California driver license should include the following:

- A laser perforated image of a California Black Bear on front, visible when a flashlight is pressed against the back of card
- The laser engraved signature on front is raised and can be felt by touch
- Color UV images visible with an ultraviolet light

4.10 If in doubt about identification—do not accept it—and immediately contact your manager to resolve the situation.

4.11 If identification is determined to be either phony or questionable, your manager will decide if identification will be returned to the bearer or confiscated. If confiscated, the identification must be turned over to law enforcement.

4.12 Examples of unacceptable IDs are attached.

New Team Member: \_\_\_\_\_  
Team Leader: \_\_\_\_\_ Date: \_\_\_\_\_



# Refuse to Sell

Revised: September 6, 2017

- 1.0 Purpose: To define policies, procedures, and activities specific to refusing to sell alcohol to an Obviously Intoxicated or Impaired customer.
- 2.0 Scope: This document is to be reviewed and understood by all employees charged with selling alcohol.
- 3.0 Policies: Customers identified as obviously intoxicated or significantly impaired are to be refused alcohol sales.
- 3.1 Staff should arrange safe transportation from the business for those customers at serious risk to self to others. Safe transportation might include calling law enforcement.
- 3.2 Staff will never argue, verbally attack, or lose your temper with the customer.

## 4.0 Procedure:

- 4.1 Evaluate customer's impairment. Signs of Obvious Impairment include:
- Relaxed inhibitions
  - Slowed reactions
  - Impaired judgment:
    - Argumentative
    - Irrational statements
    - Belligerent
    - Loses train of thought
  - Physical appearance that might include:
    - Red, watery eyes
    - Droopy eyelids & lack of eye focus
    - Smell of alcohol
    - Lack of coordination
      - Fumbles with money
      - Sways or stumbles
- 4.2 If customer is determined to be Obviously Intoxicated or Impaired:
- Politely inform customer that you're unable to sell them alcohol
  - Acknowledge your understanding they probably aren't happy with decision, but indicate:
    - It's against the law to sell alcohol when someone already appears intoxicated
      - Reference posted signage indicating law

- As a cashier, you could lose your job and be fined
- The business loses money by not selling, but it's the right thin to do to protect you. We don't want to risk anything bad happening to you.
- Be respectful, sympathetic, but firm.

4.3 The customer might disagree. Do not argue. Don't back down. Consider:

- Apologize if despite the training we are wrong but we're doing what we believe is right for you.
- Mention our liquor license is jeopardized if we sold you alcohol, and the ABC is in here undercover all the time.
- Again, apologize to customer, but state you cannot legally sell them alcohol, but can sell them other items.
- Focus your attention on other customers, or other duties, but do not turn your back to the customer.

4.4 If customer is driving, recommend to customer find another way to get home safely: a taxi, a friend. If customer insists on driving, call the police. Be prepared to provide: customer description, vehicle description, license plate (if possible), direction vehicle headed (if customer left).

4.5 Document details in the Incident Log.

Staff Signature & Date: \_\_\_\_\_

Trainer Signature & Date: \_\_\_\_\_



# Drug-Free Environment

Revised: September 6, 2017

- 1.0 Purpose: To define policies, procedures, and activities specific to guard against illegal drug activity on our premises.
- 2.0 Scope: This document is to be reviewed and understood by all staff.
- 3.0 Policy: Illegal drug use, solicitation, or sale is strictly prohibited on our premises as stated in the following ABC code:

## **Narcotics and Dangerous Drugs**

Licensees may not knowingly permit illegal sales, negotiations, or use of narcotics or dangerous drugs on the licensed premises. (Secs. 24200.5(a) and 24200(a) B&P; various H&S)

*Criminal*: Most drug offenses are felonies, punishable by imprisonment in prison.

ABC handles illegal drug violations different from other violations. Any licensee who knowingly permits illegal sales or negotiations of narcotics or dangerous drugs shall face revocation of his or her license. To repeat: **no three strikes, on first strike they seek revocation of license.**

- 4.0 Procedures: To protect our alcohol license it is critical we make every reasonable effort to prevent illegal drug use or transactions from occurring on our premises.
  - 4.1 If any employee, or anyone working with us, sees any illegal drug activity, immediately contact management.
  - 4.2 If anyone asks you where he or she can get/buy illegal drugs, immediately contact management.

New Team Member: \_\_\_\_\_  
Team Leader: \_\_\_\_\_ Date: \_\_\_\_\_



# Cashier Training Checklist

Revised: September 6, 2017

## Manager Initials Once Training is Completed & Understood by Employee

- \_\_\_\_\_ Read & understands information in MAP
- \_\_\_\_\_ Read & understands Checking Identification procedure
- \_\_\_\_\_ Read & understands Refuse to Sell procedure
- \_\_\_\_\_ Read & understands Drug-Free Environment
- \_\_\_\_\_ Understands when and how to complete an Incident Report
- \_\_\_\_\_ Read & understands Clerk's Affidavit

**CLERK'S AFFIDAVIT AND SIGN  
(Required by Section 25658.4 Business and Professions Code)**

State of California

**Instructions to the Licensee:**

Section 25658.4 requires every person who sells alcoholic beverages in your store to read, understand and sign a *Clerk's Affidavit*. You may photocopy this form or create your own. If you create your own, its content must match parts 1 through 4 of this form. You must keep the signed *Clerk's Affidavits* on your licensed premises at all times and make them available for inspection by the Department.

If you have more than one store, you may keep the signed *Clerk's Affidavits* at a location other than your licensed stores. However, you must notify the Department in advance and in writing. If you decide to keep the signed *Clerk's Affidavits* at a location other than your licensed stores, you must maintain at each store a notice of where the signed *Clerk's Affidavits* are kept. In addition, you must provide any signed *Clerk's Affidavits* to the Department, upon its written demand, within 10 days.

Section 25658.4 also requires you to post a sign like the one shown on page 6 in your store. You must post it at your entrance, point of sale or any other location visible to your customers and employees. The sign should be at least 8-1/2 x 11 inches.

Failure to comply with the above may result in the suspension or revocation of your ABC license.

**Part 1: REVIEW OF LAWS** (*Clerk must read and understand these laws*) **(1) Sales to Minors** (Section 25658 Business and Professions Code)

(a) Except as otherwise provided in subdivision (c), every person who sells, furnishes, gives, or causes to be sold, furnished, or given away, any alcoholic beverage to any person under the age of 21 years is guilty of a misdemeanor.

(b) Any person under the age of 21 years who purchases any alcoholic beverage, or any person under the age of 21 years who consumes any alcoholic beverage in any on-sale premises, is guilty of a misdemeanor.

(c) Any person who violates subdivision (a) by purchasing any alcoholic beverage for, or furnishing, giving, or giving away any alcoholic beverage to, a person under the age of 21 years, and the person under the age of 21 years thereafter consumes the alcohol and thereby proximately causes great bodily injury or death to himself, herself, or any other person, is guilty of a misdemeanor.

(e)(1) Except as otherwise provided in paragraph (2) or (3), any person who violates this section shall be punished by a fine of two hundred fifty dollars (\$250), no part of which shall be suspended, or the person shall be required to perform not less than 24 hours or more than 32 hours of community service during hours when the person is not employed and is not attending school, or a combination of a fine and community service as determined by the court. A second or subsequent violation of subdivision (b) shall be punished by a fine of not more than five hundred dollars (\$500), or the person shall be required to perform not less than 36 hours or more than 48 hours of community service during hours when the person is not employed and is not attending school, or a combination of a fine and community service as determined by the court. It is the

intent of the Legislature that the community service requirements prescribed in this section require service at an alcohol or drug treatment program or facility or at a county coroner's office, if available, in the area where the violation occurred or where the person resides. (2) Except as provided in paragraph (3), any person who violates subdivision (a) by furnishing an alcoholic beverage, or causing an alcoholic beverage to be furnished, to a minor shall be punished by a fine of one thousand dollars (\$1,000), no part of which shall be suspended, and the person shall be required to perform not less than 24 hours of community service during hours when the person is not employed and

ABC-299 (01-11) 1

is not attending school. (3) Any person who violates subdivision (c) shall be punished by imprisonment in a county jail for a minimum term of six months not to exceed one year, by a fine of one thousand dollars (\$1,000), or by both imprisonment and fine.

**(2) Attempt to Purchase by Minor (Section 25658.5 Business and Professions Code)**

(a) Any person under the age of 21 years who attempts to purchase any alcoholic beverage from a licensee, or the licensee's agent or employee, is guilty of an infraction and shall be punished by a fine of not more than two hundred fifty dollars (\$250), or the person shall be required to perform not less than 24 hours or more than 32 hours of community service during hours when the person is not employed or is not attending school, or a combination of fine and community service as determined by the court. A second or subsequent violation of this section shall be punished by a fine of not more than five hundred dollars (\$500), or the person shall be required to perform not less than 36 hours or more than 48 hours of community service during hours when the person is not employed or is not attending school, or a combination of fine and community service, as the court deems just. It is the intent of the Legislature that the community service requirements prescribed in this section require service at an alcohol or drug treatment program or facility or at a county coroner's office, if available, in the area where the violation occurred or where the person resides.

(b) The penalties imposed by this section do not preclude prosecution or the imposition of penalties under any other provision of law, including, but not limited to, Section 13202.5 of the Vehicle Code.

**(3) Documentary Evidence of Age and Identity (Section 25660 Business and Professions Code) a) Bona fide evidence of majority and identity of the person is any of the following:**

(1) A document issued by a federal, state, county, or municipal government, or subdivision or agency thereof, including, but not limited to, a valid motor vehicle operator's license, that contains the name, date of birth, description, and picture of the person.

(2) A valid passport issued by the United States or by a foreign government.

(3) A valid identification card issued to a member of the Armed Forces that includes a date of birth and a picture of the person.

(b) Proof that the defendant-licensee, or his or her employee or agent, demanded, was shown, and acted in reliance upon bona fide evidence in any transaction, employment, use, or permission



forbidden by Section 25658, 25663, or 25665 shall be a defense to any criminal prosecution therefor or to any proceedings for the suspension or revocation of any license based thereon.

*Note: The person accepting identification must make a reasonable inspection of the identification and act with due diligence to confirm that the identification presented is that of the person presenting it. The picture and physical description on the identification must match the customer. If the identification is altered or mutilated, it is not acceptable. It must be currently valid, in other words, not expired.*

**(4) Hours of Operation (Sections 25631, 25632 and 25633 Business and Professions Code)**

**25631.** Any on- or off-sale licensee, or agent or employee of that licensee, who sells, gives, or delivers to any persons any alcoholic beverage or any person who knowingly purchases any alcoholic beverage between the hours of 2 o'clock a.m. and 6 o'clock a.m. of the same day, is guilty of a misdemeanor.

For the purposes of this section, on the day that a time change occurs from Pacific standard time to Pacific daylight saving time, or back again to Pacific standard time, "2 o'clock a.m." means two

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hours after midnight of the day preceding the day such change occurs.

**25632.** Any retail licensee, or agent or employee of such licensee, who permits any alcoholic beverage to be consumed by any person on the licensee's licensed premises during any hours in which it is unlawful to sell, give, or deliver any alcoholic beverage for consumption on the premises is guilty of a misdemeanor.

**25633.** Except as otherwise provided in this section, no person licensed as a manufacturer, winegrower, distilled spirits manufacturer's agent, rectifier, or wholesaler of any alcoholic beverage shall deliver or cause to be delivered any alcoholic beverage to or for any person holding an on-sale or off-sale license on Sunday or except between the hours of 3 a.m. and 8 p.m. of any day other than Sunday. Any alcoholic beverage may be delivered at the platform of the manufacturing, producing, or distributing plant at any time. Nothing contained in this section prohibits the transportation or the carriage and delivery in transit at any time of any alcoholic beverage between the premises of a manufacturer, winegrower, wholesaler, distiller, importer, or any of them. Every person violating the provisions of this section is guilty of a misdemeanor.

*Note: Some stores must stop selling alcoholic beverages earlier than 2:00 a.m. because of local laws or special conditions (restrictions) on the ABC license.*

**(5) Sales to Obviously Intoxicated Persons (Section 25602(a) Business and Professions Code)**

(a) Every person who sells, furnishes, gives, or causes to be sold, furnished, or given away, any alcoholic beverage to any habitual or common drunkard or to any obviously intoxicated person is guilty of a misdemeanor.

(b) No person who sells, furnishes, gives, or causes to be sold, furnished, or given away, any alcoholic beverage pursuant to subdivision (a) of this section shall be civilly liable to any injured person or the estate of such person for injuries inflicted on that person as a result of intoxication by the consumer of such alcoholic beverage.

*Note: It is illegal to sell alcohol to a person who is displaying obvious symptoms of intoxication.*

**(6) Civil Liability (Section 25602.1 Business and Professions Code)**

Notwithstanding subdivision (b) of Section 25602, a cause of action may be brought by or on behalf of any person who has suffered injury or death against any person licensed, or required to be licensed, pursuant to Section 23300, or any person authorized by the federal government to sell alcoholic beverages on a military base or other federal enclave, who sells, furnishes, gives or causes to be sold, furnished or given away any alcoholic beverage, and any other person who sells, or causes to be sold, any alcoholic beverage, to any obviously intoxicated minor where the furnishing, sale or giving of that beverage to the minor is the proximate cause of the personal injury or death sustained by that person.

**(7) ABC Off-Sale License Privileges (Sections 23393 and 23394 Business and Professions Code)**

**23393.** A retail package off-sale beer and wine license authorizes the sale, to consumers only and not for resale, of beer in containers, and wine in packages and in quantities of 52 gallons or less per sale, for consumption off the premises where sold.

**23394.** An off-sale general license includes the privileges specified in Section 23393 and authorizes the sale, to consumers only and not for resale, except to holders of daily on-sale general licenses issued pursuant to Section 24045.1, of distilled spirits for consumption off the premises where sold. Standards of fill for distilled spirits authorized for sale pursuant to this section shall conform in all respects to the standards established pursuant to regulations issued under the Federal Alcohol Administration Act (27 U.S.C. Secs. 201 et seq.) and any amendments thereto.

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*Note: Alcoholic beverages may only be sold in sealed, unopened bottles, packages or containers. No person may drink alcoholic beverages in a store or in adjacent parking lots or other areas under the control of the store.*

**(8) Beer Keg Registration (Section 25659.5 Business and Professions Code)**

(a) Retail licensees selling keg beer for consumption off licensed premises shall place an identification tag on all kegs of beer at the time of sale and shall require the signing of a receipt for the keg of beer by the purchaser in order to allow kegs to be traced if the contents are used in violation of this article. The keg identification shall be in the form of a numbered label prescribed and supplied by the department that identifies the seller. The receipt shall be on a form prescribed and supplied by the department and shall include the name and address of the purchaser and the purchaser's driver's license number or equivalent form of identification number. A retailer shall not return any deposit upon the return of any keg that does not have the identification label required pursuant to subdivision (a).



(b) Any licensee selling keg beer for off premise consumption who fails to require the signing of a receipt at the time of sale and fails to place a numbered identification label on the keg shall be subject to disciplinary action pursuant to this division. The licensee shall retain a copy of the receipt, which shall be retained on the licensed premise for a period of six months. The receipt records shall be available for inspection and copying by the department or other authorized law enforcement agency.

(c) Possession of a keg containing beer with knowledge that the keg is not identified as required by subdivision (a) is a misdemeanor.

(d) Any purchaser of keg beer who knowingly provides false information as required by subdivision (a) is guilty of a misdemeanor.

(e) The identification label required pursuant to subdivision (a) shall be constructed of material and made attachable in such a manner as to make the label easily removable for the purpose of cleaning and reusing the keg by a beer manufacturer.

(f) The department is authorized to charge a fee not to exceed the actual cost of supplying receipt forms and identification labels required pursuant to subdivision (a). Fees collected pursuant to this subdivision shall be deposited in the Alcohol Beverage Control Fund.

(g) As used in this section, "keg" means any brewery-sealed, individual container of beer having a liquid capacity of six gallons or more.

*Note: Keg receipts must be fully completed at the time of sale and be maintained in the store with accurate, corresponding identification labels.*

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**Part 2: CLERK'S PRIOR VIOLATIONS** *(Clerk must check one)*

*I have never been* convicted of violating any law in the Alcoholic Beverage Control Act (such as

selling an alcoholic beverage to an underage or obviously intoxicated person).

*I have been* convicted of violating a law (or laws) in the California Alcoholic Beverage Control Act (such as selling an alcoholic beverage to an underage or obviously intoxicated person). [If you checked this box, please explain in full what happened. Use the space below or a separate sheet of paper, if necessary.]

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**Part 3: DECLARATION UNDER PENALTY OF PERJURY**

*(Clerk must complete this section)*

I have read and understand this affidavit. I swear that all statements I have made in this affidavit are true. I swear that I signed this affidavit, on the date stated, under "penalty of perjury." I understand that if I did not tell the truth in this affidavit, I may be found guilty of perjury.

Signature of Clerk Date \_\_\_\_\_  
Name of Clerk (printed) \_\_\_\_\_

Home Address Street City State Zip \_\_\_\_\_

Home Telephone Work Telephone

**Part 4: ACKNOWLEDGMENT OF LICENSEE**

*(Licensee must complete this section)*

I have reviewed the attached Clerk's Affidavit with the person who signed it. I will keep a signed copy of the Clerk's Affidavit at (address):

\_\_\_\_\_

I understand if I do not have a signed Clerk's Affidavit for every person who sells alcoholic beverages in my store, the ABC may discipline my license.

\_\_\_\_\_  
Signature  
of Licensee (or licensee's agent) Date \_\_\_\_\_  
ABC License Number

**Part 5: NOTICE TO LICENSEE**

*(Licensee must read this section, then post sign in store)*

Pursuant to Section 25658.4 of the Business and Professions Code, you must post a sign in your store that warns customers about certain laws and penalties relating to the sale of alcoholic beverages to, or the purchase of alcoholic beverages by, any person under the age of 21 years. The sign must be placed at an entrance or at a point of sale in your store, or in any other location in your store that is visible to your customers and employees. A sample sign that complies with Section 25658.4(b) and (c) is shown on the following page.

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**NOTICE TO CUSTOMERS** Pursuant to Section  
**25658.4 Business and Professions Code**

This store will not sell alcoholic beverages in violation of the California Alcoholic Beverage Control Act.

*We will refuse to sell an alcoholic beverage to any customer if we reasonably suspect that:* (1) The customer is under the age of 21 years; (2) The customer looks or acts intoxicated; (3) The request to buy an alcoholic beverage is made between the hours of 2:00 a.m. and 6:00 a.m. on any day or in violation of legally required shorter hours of sale; (4) The customer intends to drink the alcoholic beverage in this store or on adjacent

property immediately outside this store; or (5) Any other violation of the California Alcoholic Beverage Control Act will occur as a result of the sale.

## **FINES AND PENALTIES**

### **for the Sale or Furnishing of Alcoholic Beverages to, or the Purchase of Alcoholic Beverages by, Persons Under Age 21**

#### **For the Person Under Age 21 Who Tries to Purchase Alcohol**

Up to \$100 fine and/or 24-32 hours of community service; second offense, up to a \$250 fine and/or 36-48 hours of community service (and a one-year suspension or delay of the person's driver's license).

#### **For the Person Under Age 21 Who Purchases Alcohol**

A \$250 fine and/or 24-32 hours of community service; second offense, up to a \$500 fine and/or 36-48 hours of community service (and a one-year suspension or delay of the purchaser's driver's license).

#### **For the Person Who Furnishes Alcohol or Causes Alcohol to be Furnished to a Person Under Age 21**

A \$1,000 fine and at least 24 hours of community service (and a one-year suspension or delay of the furnisher's driver's license if the furnisher is under age 21). If great bodily injury or death occurs, the penalty is 6-12 months county jail and/or a \$1,000 fine.

#### **For the Person Who Sells Alcohol to a Person Under Age 21**

A \$250 fine and/or 24-32 hours of community service; second offense, up to a \$500 fine and/or 36-48 hours of community service (and a one-year suspension or delay of the seller's driver's license if the seller is under age 21).

***In addition, the Department of Alcoholic Beverage Control (ABC) will file charges to suspend or revoke this store's license to sell alcoholic beverages.***

*--The Management*

ABC-299 (01/11) 6



Please Monique Schwartz  
 CUP # 3039-17  
 Contact: 728-17  
 ROS 17W  
 2017



# Land Use Project Application

**City of Orange**  
 Community Development Department  
 Planning Division  
 300 East Chapman Avenue  
 Orange, CA 92866-1591  
 (714)744-7220 (714)744-7222  
 www.cityoforange.org

**PLANNING DIVISION**  
**RECEIVED**  
**FEB 09 2017**  
**CITY OF ORANGE**

This section to be completed by Staff

APP. TYPE	NUMBER	FEE/DEPOSIT
CUP	3039-17	1000-
DRC	4398-17	500-
MNSP	0896-17	500-
CUP	7054-17	2,600
TOTAL:		2000-

Old Towne/Other Contrib. Bldg: Yes  No   
 Redevelopment Area: Yes  No   
 Orange Park Acres Yes  No   
 General Plan: GC Zoning: CTR  
 Billing No: 17CUP3039 Check No. 151  
 Date Filed: 2/9/17 Received By: VPM

## SECTION 1 – Site Information

Project Title/Name: Addition & Remodel (Cup Application) Santiago Center  
 Project Address/Location: 2640 N. Santiago Blvd. Orange, CA 92867 2640-2650  
 Assessor Parcel Number: 361-401-27 Tract/Lot Number: L  
**REQUIRED:** Briefly describe your proposed project: \_\_\_\_\_  
 Lot "A" : Service Station W/Car Wash & C-Store  
 Lot "B" : Addition to Retail Center

## SECTION 2 – Applicant Information

Name of Company and Person Responsible: Design Concepts Shiv Talwar AIA  
 Mailing Address: 3340 Riverside Dr. #110 M Chino CA 91710  
 Phone Number: (909)591-3939 Cell: (909) 510-0512 E-mail: dsignconcepts@yahoo.com  
 (optional)

## SECTION 3.– Contact Information (main contact person for project)

Name of Company and Person Responsible: Design Concepts Shiv Talwar AIA  
 Mailing Address: 3340 Riverside Dr. #110 M Chino CA 91710  
 Phone Number: (909)591-3939 Cell: (909) 510-0512 E-mail: dsignconcepts@yahoo.com  
 (optional)

## SECTION 4 – Property Owner Information (land owner information, not tenant)

Name of Company and Person Responsible: Mr. Surinder Multani  
 Mailing Address: 2640 N. Santiago Blvd. Orange CA 92867  
 Phone Number: 714-856-8579 Cell: \_\_\_\_\_ E-mail: s\_multani@hotmail.com  
 (optional)

## SECTION 5 – Billing Information (Person below is responsible for paying invoices & receiving refunds; must be filled in.)

Name of Company and Person Responsible: Mr. Surinder Multani  
 Mailing Address: 2640 N. Santiago Blvd. Orange CA 92867  
 Phone Number: 714-856-8579 Fax: \_\_\_\_\_ E-mail: s\_multani@hotmail.com

CITY OF ORANGE  
PLANNING DEPARTMENT

RECEIPT

Date: 8/18/2017

Receipt # P001248

Project Number: CUP-3054

Site Address: 2640 N SANTIAGO BLVD

Payee: MYKC PETRO INC

Check # 7614

	Amount
PLAN COMM - COND USE & VAR	\$1,000.00
Police Review	\$1,600.00

MYKC PETRO INC  
DBA VILLA PARK SHELL  
2640 N. SANTIAGO BLVD  
ORANGE, CA 92867  
714-279-0380

7614  
16-24/1220

DATE 8/18/17

PAY TO THE ORDER OF City of Orange \$ 2600.00

Twenty Six Hundred DOLLARS

WELLS FARGO BANK, N.A.  
CA

Void After Ninety Days

FOR CUP fee # 3039-17

MP

⑈007614⑈ ⑆122000247⑆ 3469100642⑈

Receipt Total

\$2,600.00

### *Reasons for adding a drive-through automatic car wash?*

Adding a car wash is expected to improve the financial health of the current business and better satisfy the needs of its customers. This expectation is based on:

1. The car wash would replace the current Auto Repair Shop. With the increased reliability of modern cars, the Auto Repair Shop has suffered and is no longer profitable.
2. With a car wash service, the business would be better able to compete with other local gas stations that currently offer gas and car wash service. These competitors include:
  - a. Shell Station at 1815 N Tustin, Orange
  - b. Orange Car Was (that sells gas) at 1405 W Chapman Ave, Orange
  - c. Shell Station at 4035 E Chapman, Orange

### *Reasons for expanding it current convenience store?*

Expanding the convenience store is expected to improve the financial health of the current business and better serve its customer's needs. This expectation is based on:

1. Customers frequently ask for products the current limited space is unable to stock. By expanding the convenience store and adding a walk in cooler and display shelves the business can offer commonly requested products/groceries.
2. With more floor space the business can provide a broader range of products/groceries and better compete with other local gas stations that have significant convenient store floor space. These competitors include:
  - a. Arco AM/PM station at 100 N Tustin Ave, Orange
  - b. 7-Eleven Store and Gas Station at 2245 W Chapman, Orange
  - c. Big E-Kwik E Mart and Gas Station at 890 N Batavia, Orange

### *Reasons for adding alcohol to its convenience store product mix?*

The addition of alcohol would improve the financial health of the current business. This expectation is based on:

1. Customers frequently ask for alcohol
2. With the addition of an ABC License Type 21 Off-Sale General, the business will be able to compete with the numerous other local stations that currently offer alcohol. A review of the ABC's web site suggests there are at least 9 businesses that sell gas in Orange with an active ABC license.
  - a. The Type 21 Off-Sale General is license number 433479 that would be a transfer from a prior business owned by Mr. Multani.

Note: While there is a liquor store at adjacent commercial property, requiring gas station customers to make two transactions (one at the gas station for gas and groceries and one at the liquor store for alcohol) is inconvenient to the customer and reduces sales for the gas station.

## GOOD ALCOHOL PRACTICES

17595 Harvard Avenue, Suite C-3900, Irvine, CA 92614-8516

PLANNING DIVISION  
RECEIVED

September 9, 2017

SEP 11 2017

CITY OF ORANGE

Ms. Monique Schwartz  
City of Orange  
Planning Department  
300 E. Chapman Ave.  
Orange, California 92866

RE: Letter of Explanation/Justification  
Conditional Use Permit No. 3039-17  
Shell Service Station and Carwash  
2640-2658 N. Santiago Blvd, Orange, CA

Dear Ms. Schwartz

I am writing this Letter of Explanation/Justification for my client, Surinder Multani.

I will address Comment #8 in your July 31<sup>st</sup> letter to Design Concepts, while also providing information requested for ABC applications as shown in the City of Orange Land Use Project Application Information Packet (specifically D-6).

### Background

Applicant (Surinder Multani) seeks to refurbish his existing service station located at 2640 N. Santiago Blvd to:

- Add a drive-through automatic car wash (replacing an Auto Repair Shop)
- Expand his convenience store
- Sell alcohol (**ABC License Type 21 Off-Sale General**)

The hours of operation: open 24 hours, 7 days a week.

The Shell Gas Station currently employs 5 people. The refurbishing of business is expected to **double staffing to a total staff of 10 people.**

### Response to Questions

*Will property owner be making improvements to existing retail center?*

Yes, in several ways. The landlord is beautifying the property with more landscaping to improve its curb appeal. In addition, the current gas pumps will be upgraded to new Gilbarco 700E pumps. Replacing the Auto Repair Shop removes hazardous waste (Lube Oils, Filters, etc.).

The gas station business owner, Mr. Multani, is a successful business owner who has **more than 20 years experience in selling alcohol**. His alcohol selling experience includes business operations in Orange and Rancho Santa Margarita. His experience with ABC licenses has taught him the **critical importance of training every staff member in ABC Laws and Best Practices**.

Toward the aim of being a community leader in the responsible selling of alcohol, he is committed to implement the attached **Alcohol Management Handbook**. The 25-page handbook includes the following:

- Management Alcohol Plan
- Refusing To Sell procedure
- Checking IDs procedure
- Drug-free environment procedure
- Incident log form
- Cashier Training checklist
- Clerk's Affidavit (ABC's seven-page document)

Mr. Multani understands the Alcohol Management Handbook will likely need to be modified to accommodate elements of the city's Alcohol Management Plan and possible Conditions of Approval.

#### In Summary

As time seems to shrink in our fast-paced culture, people prefer one stop shopping to save precious time by eliminating making multiple stops. By adding a car wash service and broadening its selection of frequently requested products (including alcohol), the refurbished space improves its business model and accomplishes many positive things:

- ✓ Customers are bettered served
- ✓ Business is stabilized
- ✓ Employees are added
- ✓ Sales tax dollars would be expected to grow
- ✓ Community benefits from improved curb appeal

Mr. Multani's experience has brought an understanding that selling alcohol responsibly is his highest priority. To accomplish that goal, he will ensure all staff members from day one understand their legal and ethical responsibility to sell alcohol responsibly.

Regards,

Gregg Hanour  
Good Alcohol Practices  
[hanourgregg@gmail.com](mailto:hanourgregg@gmail.com)  
949 300 0977

cc: Surinder Multani



Department of Alcoholic Beverage Control  
**APPLICATION FOR ALCOHOLIC BEVERAGE LICENSE(S)**  
 ABC 211 (6/99)

State of California

**TO:** Department of Alcoholic Beverage Control  
 605 W. SANTA ANA BLVD.  
 BLDG 28, STE 369  
 SANTA ANA, CA 92701  
 (714) 558-4101

File Number: **585214**  
 Receipt Number: **2452178**  
 Geographical Code: **3014**  
 Copies Mailed Date: **September 12, 2017** *TH*  
 Issued Date:

DISTRICT SERVING LOCATION: SANTA ANA  
 First Owner: **MYKC PETRO INC.**  
 Name of Business: **VILLA PARK SHELL**  
 Location of Business: **2640 N SANTIAGO BLVD**  
**ORANGE, CA 92867-1859**  
 County: **ORANGE**  
 Is Premise inside city limits? **Yes**

Census Tract **0758.13**

Mailing Address:  
 (If different from  
 premises address)

Type of license(s): **21**

Transferor's license/name: **433479 / MYKC ASSOCIATES INC**

Dropping Partner: Yes  No

License Type	Transaction Type	Fee Type	Master	Dup	Date	Fee
21 - Off-Sale General	FIDUCIARY TRANSFER	NA	Y	0	09/12/17	\$50.00
21 - Off-Sale General	PREMISE TO PREMISE TRANSFER	NA	Y	0	09/12/17	\$100.00
Total						\$150.00

Have you ever been convicted of a felony? **No**

Have you ever violated any provisions of the Alcoholic Beverage Control Act, or regulations of the Department pertaining to the Act? **No**

Explain any "Yes" answer to the above questions on an attachment which shall be deemed part of this application.

Applicant agrees (a) that any manager employed in an on-sale licensed premises will have all the qualifications of a licensee, and (b) that he will not violate or cause or permit to be violated any of the provisions of the Alcoholic Beverage Control Act.

STATE OF CALIFORNIA County of **ORANGE**

Date: **September 12, 2017**

Under penalty of perjury, each person whose signature appears below, certifies and says: (1) He is an applicant, or one of the applicants, or an executive officer of the applicant corporation, named in the foregoing application, duly authorized to make this application on its behalf; (2) that he has read the foregoing and knows the contents thereof and that each of the above statements therein made are true; (3) that no person other than the applicant or applicants has any direct or indirect interest in the applicant or applicant's business to be conducted under the license(s) for which this application is made; (4) that the transfer application or proposed transfer is not made to satisfy the payment of a loan or to fulfill an agreement entered into more than ninety (90) days preceding the day on which the transfer application is filed with the Department or to gain or establish a preference to or for any creditor or transferor or to defraud or injure any creditor of transferor; (5) that the transfer application may be withdrawn by either the applicant or the licensee with no resulting liability to the Department.

Effective July 1, 2012, Revenue and Taxation Code Section 7057, authorizes the State Board of Equalization and the Franchise Tax Board to share taxpayer information with Department of Alcoholic Beverage Control. The Department may suspend, revoke, and refuse to issue a license if the licensee's name appears in the 500 largest tax delinquencies list. (Business and Professions Code Section 494.5.)

Applicant Name(s)

Applicant Signature(s)

See 211 Signature Page

MYKC PETRO INC.

**APPLICATION SIGNATURE SHEET ("SIGN ON")**

<ul style="list-style-type: none"> <li>• This form is to be used as the signature page for applications not signed in the District Office.</li> <li>• <b>Read instructions on reverse before completing.</b></li> <li>• <b>All signatures must be notarized in accordance with laws of the State where signed.</b></li> </ul>		<p>1. OWNERSHIP TYPE (Check one)</p> <table style="width:100%;"> <tr> <td><input type="checkbox"/> Sole Owner</td> <td><input type="checkbox"/> Partnership-Ltd</td> </tr> <tr> <td><input type="checkbox"/> Partnership</td> <td><input checked="" type="checkbox"/> Corporation</td> </tr> <tr> <td><input type="checkbox"/> Married Couple</td> <td><input type="checkbox"/> Limited Liability Company</td> </tr> <tr> <td><input type="checkbox"/> Domestic Partner</td> <td><input type="checkbox"/> Other _____</td> </tr> </table>		<input type="checkbox"/> Sole Owner	<input type="checkbox"/> Partnership-Ltd	<input type="checkbox"/> Partnership	<input checked="" type="checkbox"/> Corporation	<input type="checkbox"/> Married Couple	<input type="checkbox"/> Limited Liability Company	<input type="checkbox"/> Domestic Partner	<input type="checkbox"/> Other _____
<input type="checkbox"/> Sole Owner	<input type="checkbox"/> Partnership-Ltd										
<input type="checkbox"/> Partnership	<input checked="" type="checkbox"/> Corporation										
<input type="checkbox"/> Married Couple	<input type="checkbox"/> Limited Liability Company										
<input type="checkbox"/> Domestic Partner	<input type="checkbox"/> Other _____										
2. FILE NUMBER (if any)	3. LICENSE TYPE	4. TRANSACTION TYPE									
585214	21	<input type="checkbox"/> Original <span style="margin-left: 100px;"><input checked="" type="checkbox"/> Person to Person Transfer</span> <input type="checkbox"/> Exchange <span style="margin-left: 100px;"><input type="checkbox"/> Premise to Premise Transfer</span> <input checked="" type="checkbox"/> Other Trf 24071									
5. APPLICANT(S) NAME (Last, first, middle)											
MYKC PETRO INC.											
6. APPLICANT'S MAILING ADDRESS (Street address/P.O. box, city, state, zip code)											
2640 N. Santiago Blvd., Orange, CA 92867											
7. PREMISES ADDRESS (Street address, city, zip code)											
2640 N. Santiago Blvd., Orange 92867											

**APPLICANT'S CERTIFICATION**

Under penalty of perjury, each person whose signature appears below, certifies and says: (1) He/She is an applicant, or one of the applicants, or an executive officer of the applicant corporation, named in the foregoing application, duly authorized to make this application on its behalf; (2) that he/she has read the foregoing and knows the contents thereof and that each of the above statements therein made are true; (3) that no person other than the applicant or applicants has any direct or indirect interest in the applicant or applicant's business to be conducted under the license(s) for which this application is made; (4) that the transfer

payment of a loan or to fulfill an agreement entered into more than ninety (90) days preceding the day on which the transfer application is filed with the Department, (b) to gain or establish a preference to or for any creditor or transferor, or (c) to defraud or injure any creditor or transferor; (5) that the transfer application may be withdrawn by either the applicant or the licensee with no resulting liability to the Department.

I understand that if I fail to qualify for the license or withdraw this application there will be a service charge of one-fourth of the license fee paid, up to \$100.

**SOLE OWNER**

8. PRINTED NAME (Last, first, middle)	SIGNATURE	DATE SIGNED
	X	

**PARTNERSHIP/LIMITED PARTNERSHIP (Signatures of general partners only)**

9. PARTNER'S PRINTED NAME (Last, first, middle)	SIGNATURE	DATE SIGNED
	X	
PARTNER'S PRINTED NAME (Last, first, middle)	X	
PARTNER'S PRINTED NAME (Last, first, middle)	X	

**CORPORATION**

10. PRINTED NAME (Last, first, middle)	SIGNATURE	DATE SIGNED
MULTANI, Surinder Singh	X	8/11/17
TITLE	<input checked="" type="checkbox"/> President <input type="checkbox"/> Vice President <input type="checkbox"/> Chairman of the Board	
PRINTED NAME (Last, first, middle)	X	8/11/17
TITLE	<input checked="" type="checkbox"/> Secretary <input type="checkbox"/> Asst. Secretary <input type="checkbox"/> Chief Financial Officer <input type="checkbox"/> Asst. Treasurer	

**LIMITED LIABILITY COMPANY**

11. The limited liability company is member-run <input type="checkbox"/> Yes <input type="checkbox"/> No (If no, complete Item #12 below)		
12. NAME OF DESIGNATED MANAGER, MANAGING MEMBER OR DESIGNATED OFFICER (Last, first, middle)		
13. MEMBER'S PRINTED NAME (Last, first, middle)	SIGNATURE	DATE SIGNED
	X	
MEMBER'S PRINTED NAME (Last, first, middle)	X	

RECEIVED  
 AUG 14 2017  
 Dept of Alcoholic Beverage Control  
 Santa Ana



SANTIAGO CENTER

KC  
LIQUOR

CIGARS & WINE

BBQ OUTLET

VALUE CLEANERS

MARRIS  
Italian Restaurant  
PIZZA PASTA SUBS





# Food Mart

2640

OPEN

7640 N. Santiago

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7640 N. Santiago

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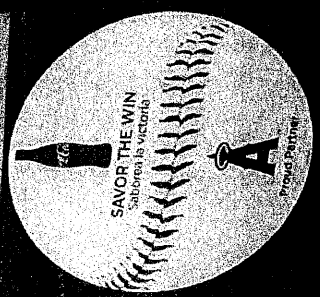
7640 N. Santiago  
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7640 N. Santiago  
7640 N. Santiago  
7640 N. Santiago

PROANE

FRESH COFFEE

Marlboro  
Special Price  
\$ 8.29



Welcome to Smart

111

# Food Mart

7640 N. Santiago

52 MILLION

52 MILLION

73 121

PROANE

FRESH COFFEE

OPEN

WELCOME TO SHELL

SAVOR THE WIN  
Cabezas la victoria  
Proud Partner

ALL INDIES \$ 2 for

1-800-5-ASK-4-110





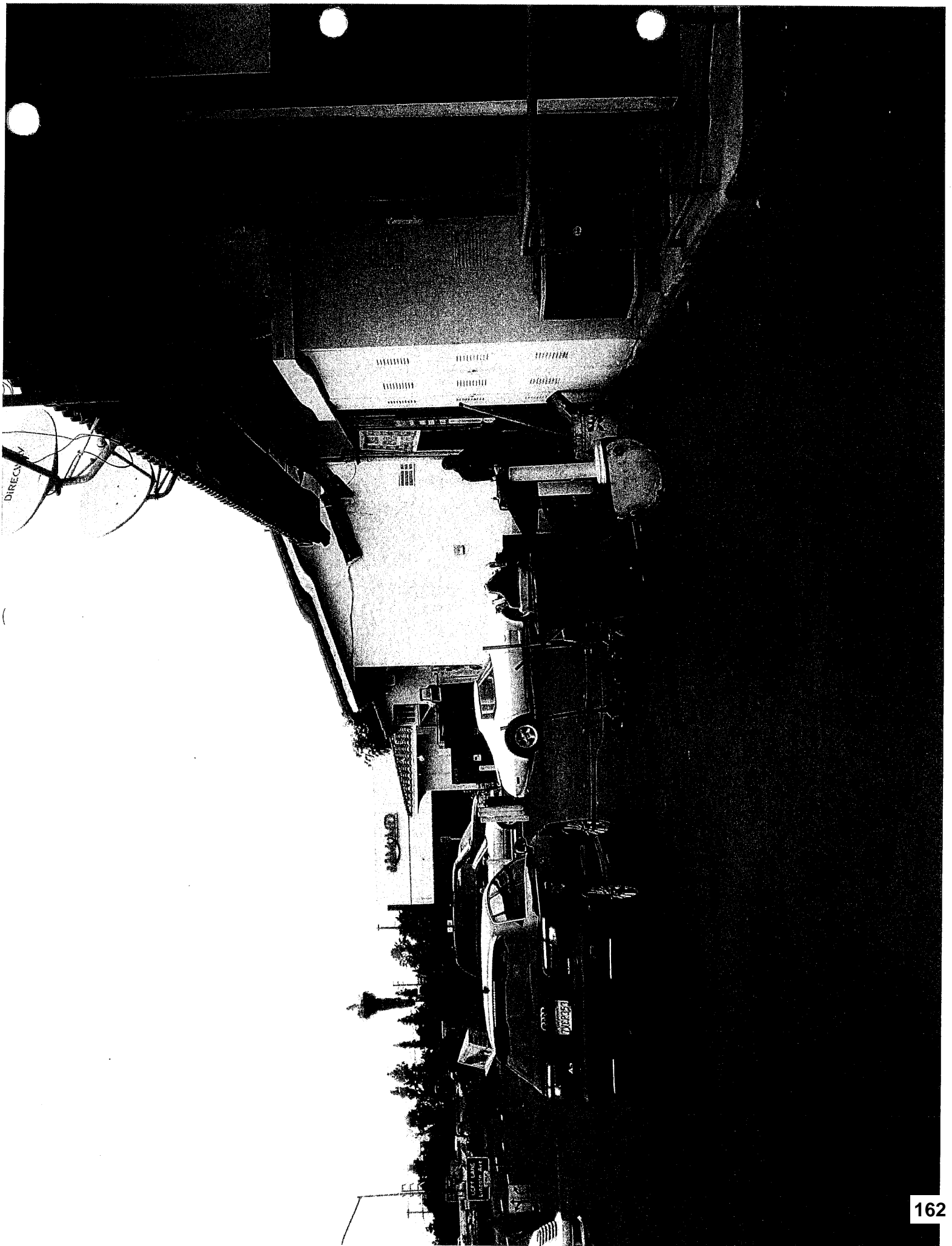


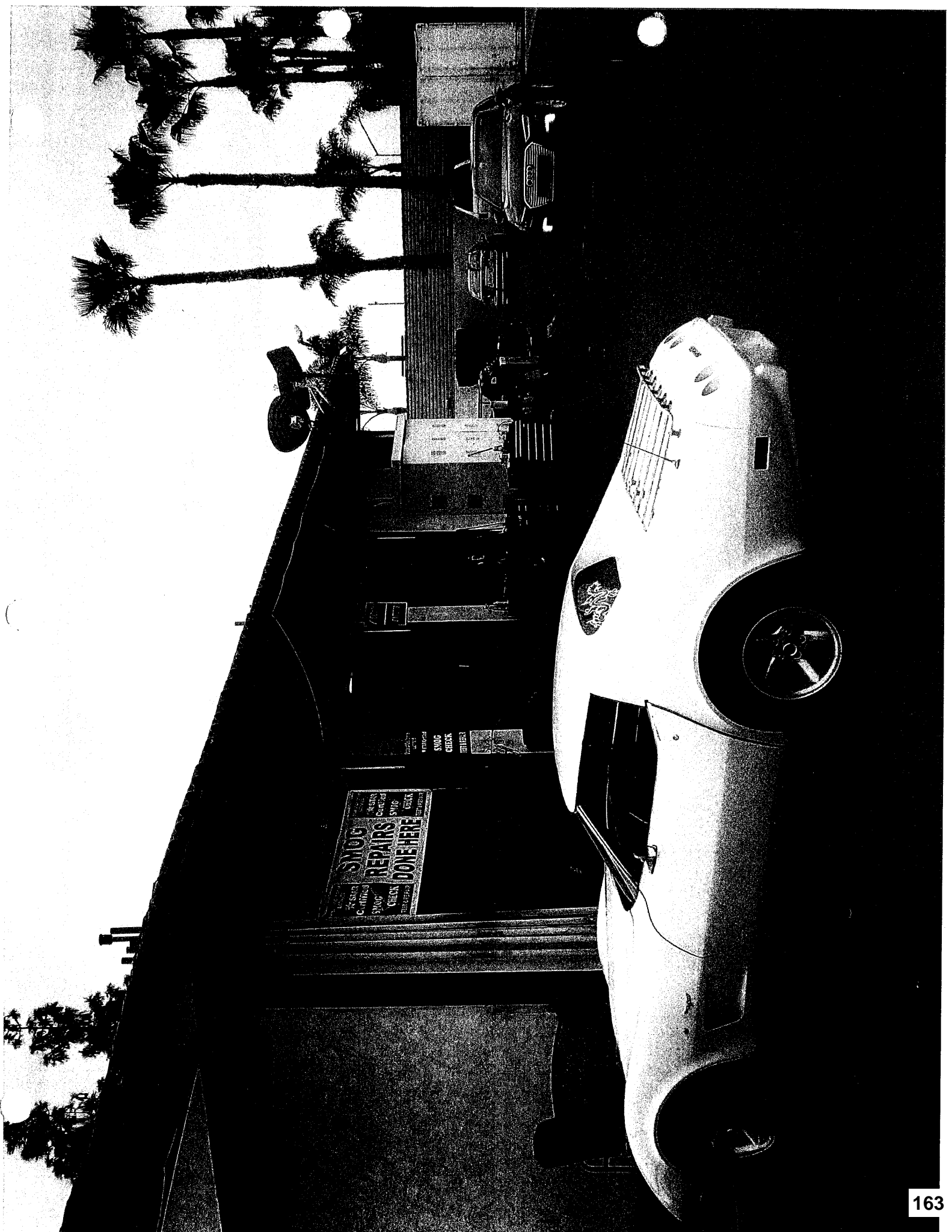
AM 87000 & 247728  
COMPLETE AUTO SERVICES  
WARRANTY SERVICE CENTER  
Tel: 714-289-2572

Food Mart











ATM  
INSIDE

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OFFER

OFFER

ICE

ICE









VISTA ROYAL

W  
KEEP  
RIGHT

DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL  
NUMBER OF LICENSES AUTHORIZED  
BY CENSUS TRACT

County Name	County Population	County Ratio On Sale	County Ratio Off Sale	Census Tract #	Census Tract Population	On Sale	Off Sale
ORANGE	3,183,011	807	1,704	753.03	3,412	4	2
ORANGE	3,183,011	807	1,704	754.01	3,895	4	2
ORANGE	3,183,011	807	1,704	754.03	7,081	8	4
ORANGE	3,183,011	807	1,704	754.04	6,347	7	3
ORANGE	3,183,011	807	1,704	754.05	2,980	3	1
ORANGE	3,183,011	807	1,704	755.04	4,041	5	2
ORANGE	3,183,011	807	1,704	755.05	3,599	4	2
ORANGE	3,183,011	807	1,704	755.06	3,437	4	2
ORANGE	3,183,011	807	1,704	755.07	5,187	6	3
ORANGE	3,183,011	807	1,704	755.12	3,548	4	2
ORANGE	3,183,011	807	1,704	755.13	5,074	6	2
ORANGE	3,183,011	807	1,704	755.14	3,703	4	2
ORANGE	3,183,011	807	1,704	755.15	15,295	18	8
ORANGE	3,183,011	807	1,704	756.03	3,790	4	2
ORANGE	3,183,011	807	1,704	756.04	7,487	9	4
ORANGE	3,183,011	807	1,704	756.05	5,776	7	3
ORANGE	3,183,011	807	1,704	756.06	6,941	8	4
ORANGE	3,183,011	807	1,704	756.07	6,065	7	3
ORANGE	3,183,011	807	1,704	757.01	6,879	8	4
ORANGE	3,183,011	807	1,704	757.02	3,343	4	1
ORANGE	3,183,011	807	1,704	757.03	4,069	5	2
ORANGE	3,183,011	807	1,704	758.05	4,213	5	2
ORANGE	3,183,011	807	1,704	758.06	6,121	7	3
ORANGE	3,183,011	807	1,704	758.07	4,324	5	2
ORANGE	3,183,011	807	1,704	758.08	3,404	4	1
ORANGE	3,183,011	807	1,704	758.09	3,023	3	1
ORANGE	3,183,011	807	1,704	758.10	3,046	3	1
ORANGE	3,183,011	807	1,704	758.11	3,332	4	1
ORANGE	3,183,011	807	1,704	758.12	6,573	8	3
ORANGE	3,183,011	807	1,704	758.13	5,069	6	2
ORANGE	3,183,011	807	1,704	758.14	3,327	4	1
ORANGE	3,183,011	807	1,704	758.15	5,176	6	3
ORANGE	3,183,011	807	1,704	758.16	3,709	4	2
ORANGE	3,183,011	807	1,704	759.01	4,126	5	2
ORANGE	3,183,011	807	1,704	759.02	6,548	8	3
ORANGE	3,183,011	807	1,704	760.00	8,371	10	4
ORANGE	3,183,011	807	1,704	761.01	8,933	11	5
ORANGE	3,183,011	807	1,704	761.02	7,487	9	4
ORANGE	3,183,011	807	1,704	761.03	9,137	11	5
ORANGE	3,183,011	807	1,704	762.01	6,772	8	3
ORANGE	3,183,011	807	1,704	762.02	5,812	7	3
ORANGE	3,183,011	807	1,704	762.04	4,492	5	2
ORANGE	3,183,011	807	1,704	762.05	6,847	8	4
ORANGE	3,183,011	807	1,704	762.06	4,517	5	2
ORANGE	3,183,011	807	1,704	762.08	4,999	6	2
ORANGE	3,183,011	807	1,704	863.01	7,474	9	4
ORANGE	3,183,011	807	1,704	863.03	6,212	7	3
ORANGE	3,183,011	807	1,704	863.04	4,847	6	2
ORANGE	3,183,011	807	1,704	863.05	4,006	4	2
ORANGE	3,183,011	807	1,704	863.06	3,658	4	2
ORANGE	3,183,011	807	1,704	864.02	5,651	7	3
ORANGE	3,183,011	807	1,704	864.04	6,546	8	3

ON and OFF-Sale Allowed and Existing for Census Tract 0758.13, per the Department of Alcoholic Beverage Control Website as of 02/14/2018:

	<u>EXISTING</u>	<u>ALLOWED</u>
<u>ON-SALE</u>	4	6
<u>OFF-SALE</u>	3	2



**California Department of Alcoholic Beverage Control**

Save As CSV

**Active Off-Sale Retail Licenses**

For the Census Tract of 758.13

Report as of: 02/14/2018

Rows Per Page:

Total Licenses: 3  
Page 1 of 1

Click on column header to sort

	License Number	Status	License Type	Orig. Iss. Date	Expir. Date	Primary Owner	Business Name	Premises Addr.	Mailing Address	Geo Code
1	<a href="#">402042</a>	ACTIVE	21	08/01/2003	08/30/2018	MYKC ASSOCIATES INC	KC LIQUOR	2650 N SANTIAGO BLVD ORANGE, CA 92867  Census Tract: 0758.13		3014
2	<a href="#">522737</a>	ACTIVE	20	09/04/2012	08/31/2018	R & M PACIFIC RIM INC	TESORO USA GAS 63366	2493 N TUSTIN ST ORANGE, CA 92865-3707  Census Tract: 0758.13	14251 FIRESTONE BLVD, STE 210 LA MIRADA, CA 90638-5525	3014
3	<a href="#">563752</a>	ACTIVE	20	02/17/2016	01/31/2019	SHIRALI INVESTMENTS CORP	VALERO SANTIAGO BOYETT RMS #705	2700 N SANTIAGO BLVD ORANGE, CA 92867-1723  Census Tract: 0758.13	601 MCHENRY AVE MODESTO, CA 95350-5411	3014



**California Department of Alcoholic Beverage Control**

Save As CSV

**Active On-Sale Retail Licenses**

For the Census Tract of 758.13

Report as of: 02/14/2018

Rows Per Page: 25 Reload

Total Licenses: 4  
Page 1 of 1

Click on column header to sort

	License Number	Status	License Type	Orig. Iss. Date	Expir. Date	Primary Owner	Business Name	Premises Addr.	Mailing Address	Geo Code
1	<a href="#">558300</a>	ACTIVE	41	02/19/2016	01/31/2018	MADAIN, INAS ISAM	MARRIS PIZZA ITALIAN RESTAURANT	2658 N SANTIAGO BLVD ORANGE, CA 92867-1859  Census Tract: 0758.13		3014
2	<a href="#">573956</a>	ACTIVE	47	03/15/2017	02/28/2018	COLLEARY ENTERPRISES, INC.	COLLEARYS BISTRO & BAKERY	2143 N TUSTIN ST, STE 6 & 7 ORANGE, CA 92865-3709  Census Tract: 0758.13	1046 E CHALYNN AVE ORANGE, CA 92866-2804	3014
3	<a href="#">578894</a>	ACTIVE	41	04/14/2017	03/31/2018	TAVERNA, JORGE DANIEL	PATAGONIA EMPANADAS	2279 N TUSTIN ST ORANGE, CA 92865-3703  Census Tract: 0758.13		3014
4	<a href="#">581714</a>	ACTIVE	41	11/14/2017	10/31/2018	TEAM BLAZE	BLAZE PIZZA	2139 N TUSTIN ST, STE 3 ORANGE, CA 92865-3700  Census Tract: 0758.13	3210 E ABBEY LN ORANGE, CA 92867-2009	3014





**California Department of Alcoholic Beverage  
Control**  
*License Query System Summary*  
*as of 9/24/2017*

<b>License Information</b>
<b>License Number:</b> 585214
<b>Primary Owner:</b> MYKC PETRO INC.
<b>ABC Office of Application:</b> 11 - SANTA ANA
<b>Business Name</b>
<b>Doing Business As:</b> VILLA PARK SHELL
<b>Business Address</b>
<b>Address:</b> 2640 N SANTIAGO BLVD <b>Census Tract:</b> 0758.13
<b>City:</b> ORANGE <b>County:</b> ORANGE
<b>State:</b> CA <b>Zip Code:</b> 92867
<b>Licensee Information</b>
<b>Licensee:</b> MYKC PETRO INC.
<b><i>Company Information</i></b>
STOCKHOLDER: MULTANI, SURINDER SINGH
OFFICER: MULTANI, SURINDER SINGH (DIRECTOR)
OFFICER: MULTANI, SURINDER SINGH (PRESIDENT/SECRETARY)
STOCKHOLDER: MULTANI, SURINDER SINGH
OFFICER: MULTANI, SURINDER SINGH (SECRETARY TREASURER)
STOCKHOLDER: MULTANI, SURINDER SINGH
STOCKHOLDER: MULTANI, SURINDER SINGH
OFFICER: MULTANI, SURINDER SINGH (TREASURER)

STOCKHOLDER: MULTANI, AMARPREET KAUR	
<b>License Types</b>	
1) <b>License Type:</b> 21 - OFF-SALE GENERAL	
<b>License Type Status:</b> PENDING	
<b>Status Date:</b> 12-SEP-2017	<b>Term:</b> 12 Month(s)
<b>Original Issue Date:</b>	<b>Expiration Date:</b>
<b>Master:</b> Y	<b>Duplicate:</b> 0 <b>Fee Code:</b> P40
<b>License Type was Transferred On:</b> FROM: <u>21-433479</u>	
<b>Operating Restrictions</b>	
... <i>No Operating Restrictions found</i> ...	
<b>Current Disciplinary Action</b>	
... <i>No Active Disciplinary Action found</i> ...	
<b>Disciplinary History</b>	
... <i>No Disciplinary History found</i> ...	
<b>Hold Information</b>	
<b>Hold Date:</b> 18-NOV-2014	<b>Type:</b> FRANCHISE TAX HOLD
<b>Hold Date:</b> 12-SEP-2017	<b>Type:</b> FORM 220
<b>Escrow</b>	
... <i>No Escrow found</i> ...	

--- End of Report ---

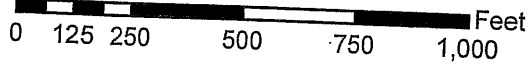
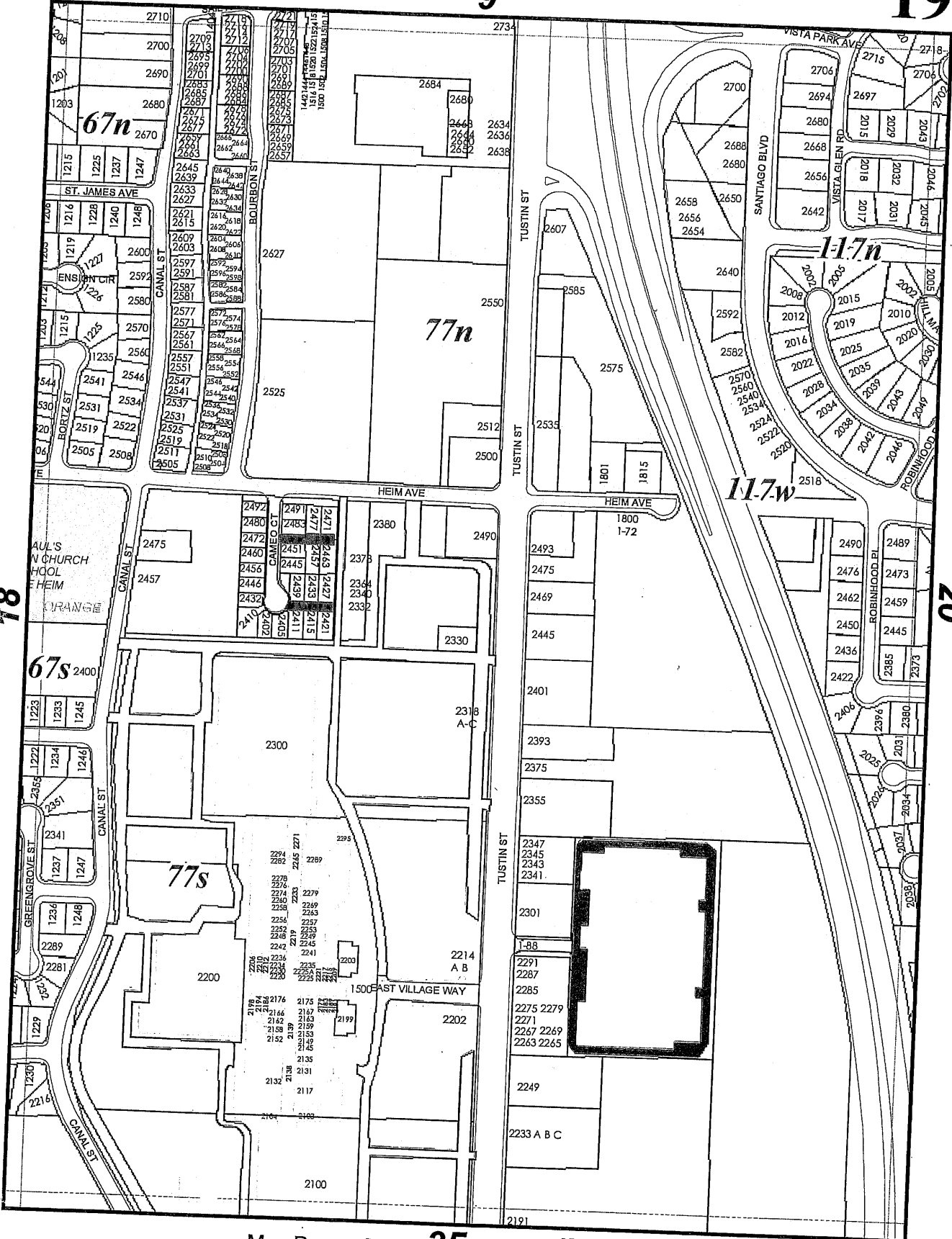
For a definition of codes, view our [glossary](#).

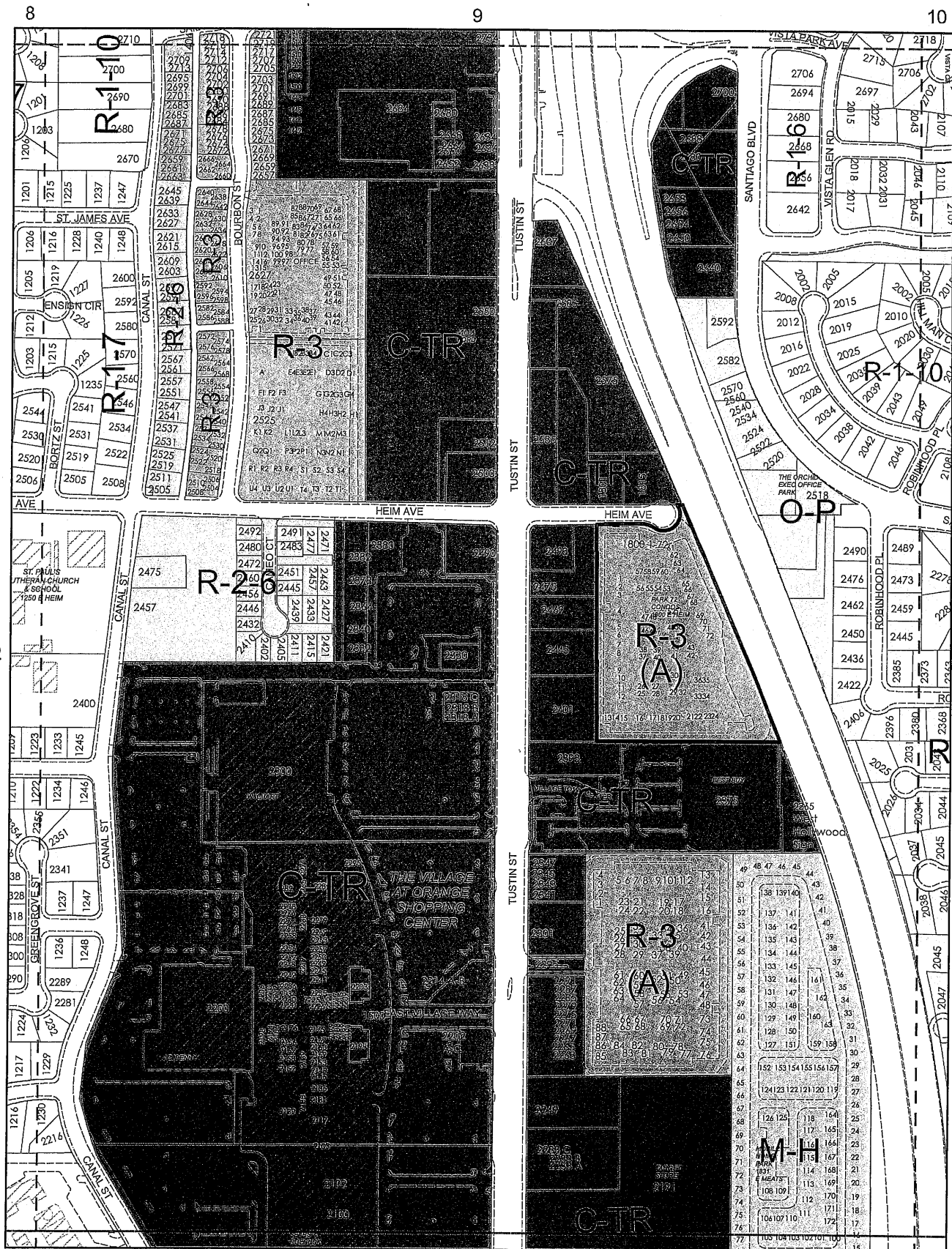
Map F - West

78

Map Page - East

20





18

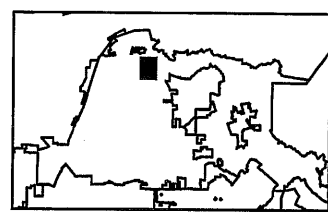
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34 35 36

19

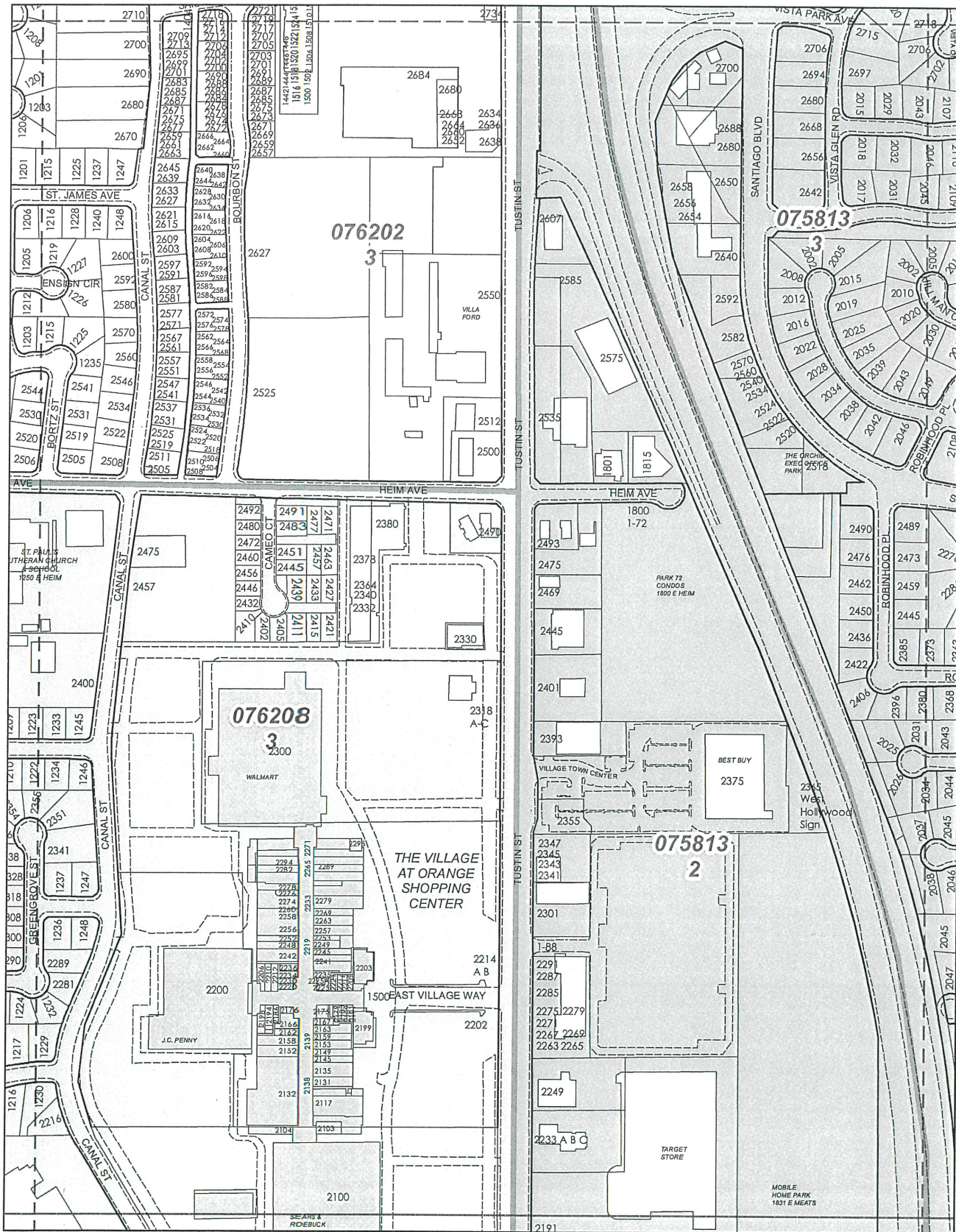
  
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**ZONING MAP**



19



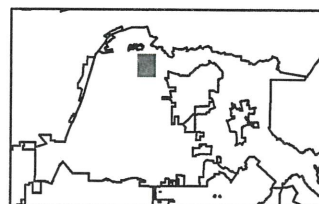


18

20


  
 1 INCH = 400 FEET
   
 Date Saved: 6/30/2011

# 2000 CENSUS TRACT & BLOCK GROUP MAP





**City of Orange**  
**2017 Part I Crime & Part II Arrest**  
**Average # for all RD's - 71**

RD	PART 1 Crime	PART 2 Arrests	TOTAL	% of Avg
61	165	319	484	579%
041E	88	292	380	433%
51	103	268	371	420%
71	188	75	263	269%
032E	103	118	221	210%
045W	42	151	193	171%
077S	132	51	183	157%
15	47	128	175	145%
12	89	71	160	124%
035E	55	96	151	112%
013S	23	120	143	101%
021W	75	64	139	95%
43	53	84	137	92%
022W	51	68	119	67%
24	45	72	117	64%
31	45	71	116	63%
065E	54	61	115	61%
022E	56	51	107	50%
023W	78	28	106	49%
11	52	52	104	46%
016W	71	31	102	43%
017E	55	44	99	39%
87	57	38	95	33%
76	39	49	88	23%
055E	49	34	83	16%
013N	40	42	82	15%
025E	58	24	82	15%
055W	53	27	80	12%
045E	43	34	77	8%
077N	44	29	73	2%
036S	52	19	71	0%
032W	24	46	70	-2%
054W	45	25	70	-2%
33	44	25	69	-3%
023E	33	34	67	-6%
041W	43	23	66	-7%
065W	31	34	65	-9%
034N	39	24	63	-12%
021E	3	59	62	-13%
047E	39	23	62	-13%

46	43	18	61	-14%
057S	24	36	60	-16%
56	37	20	57	-20%
016E	25	31	56	-21%
037E	37	16	53	-26%
026S	33	19	52	-27%
027E	32	20	52	-27%
047W	37	14	51	-28%
044N	30	20	50	-30%
017W	35	13	48	-33%
117N	36	12	48	-33%
026N	15	32	47	-34%
66	8	36	44	-38%
025W	35	8	43	-40%
164	28	14	42	-41%
067S	31	10	41	-42%
035W	17	17	34	-52%
027W	18	13	31	-57%
084S	25	6	31	-57%
14	22	8	30	-58%
036N	17	11	28	-61%
137	20	7	27	-62%
97	21	4	25	-65%
067N	15	9	24	-66%
117W	15	9	24	-66%
037W	12	11	23	-68%
057N	14	9	23	-68%
064S	12	10	22	-69%
134	14	5	19	-73%
127S	14	5	19	-73%
117E	17	1	18	-75%
054E	11	6	17	-76%
084N	11	5	16	-78%
147	7	7	14	-80%
044S	8	4	12	-83%
064N	9	2	11	-85%
144	7	3	10	-86%
074S	4	6	10	-86%
074N	7	1	8	-89%
184	3	4	7	-90%
114	3	2	5	-93%
174	5	0	5	-93%
034S	5	0	5	-93%
127N	4	1	5	-93%
94	3	1	4	-94%
124	4	0	4	-94%
018	0	2	2	-97%

<b>154</b>	1	0	1	-99%
<b>016S</b>	1	0	1	-99%
<b>028</b>	0	0	0	-100%
<b>038</b>	0	0	0	-100%
<b>048</b>	0	0	0	-100%
<b>157</b>	0	0	0	-100%

PART 1 CRIME  
RD 117w

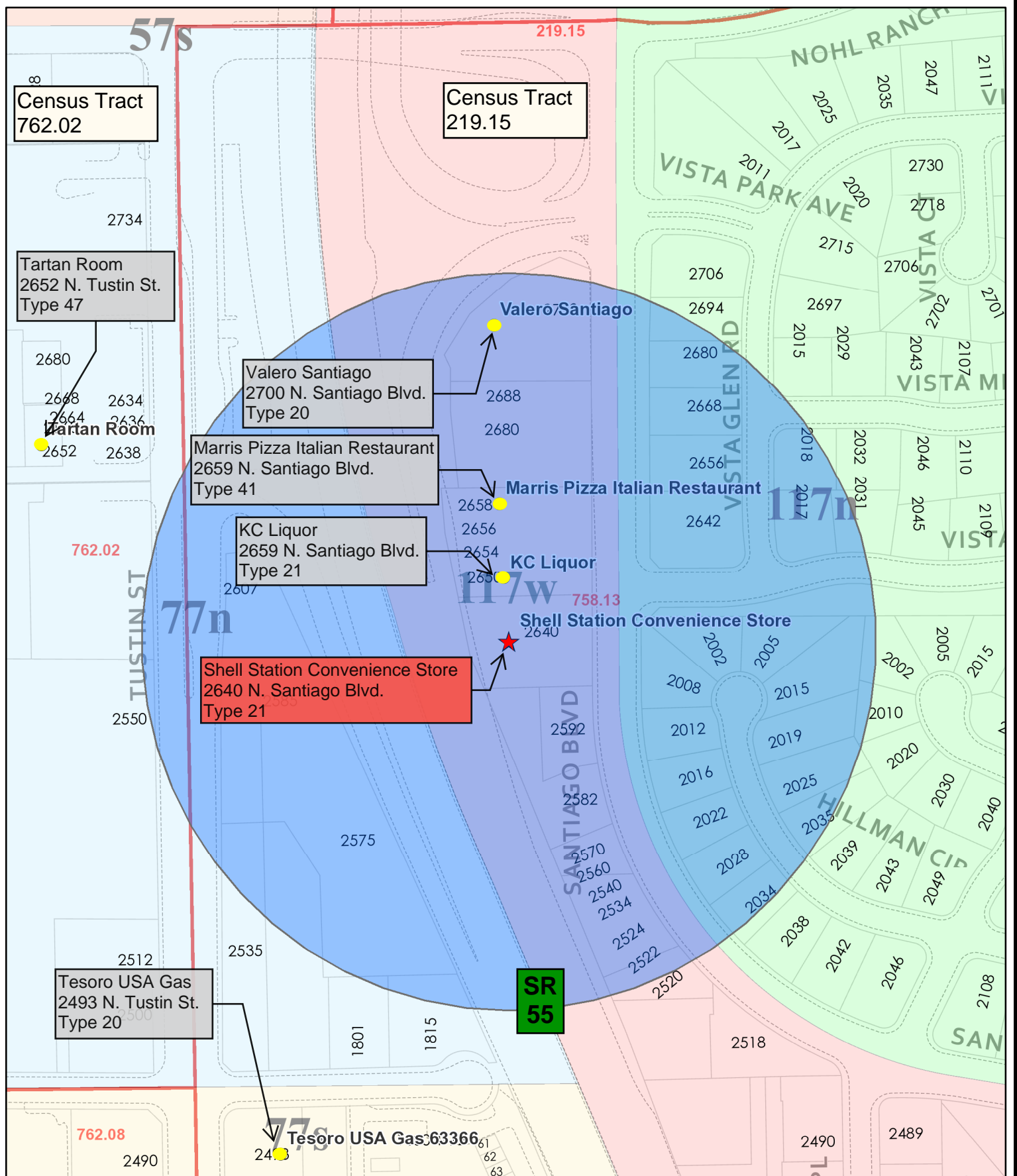
DR#	DATE	ADDRESS			
17-03-0529	3/15/2017	2658 N SANTIAGO BL	06d.	ACT	PC 487 - GRAND THEFT FROM VEHICLE
17-03-0652	3/17/2017	2160 N PAMI CIR	04b.	CDR	PC 851.6(D)-DETENTION ONLY; NOT AN ARREST // PC 273.5(A) - DOMESTIC VIOLENCE // PC 148(A)(1) - RESIST ARREST
17-04-0661	4/19/2017	2201 E DENISE AV	06i.	ACT	VEHICLE STOLEN LOCAL / RECOVERED LOCAL // PC 487 - GRAND THEFT
17-06-0152	6/5/2017	2844 N SANTIAGO BL	07a.	ACT	VEHICLE STOLEN LOCAL / RECOVERED OTHER JURISDICTION
17-07-0319	7/10/2017	2406 N ROBINHOOD PL	06d.	ACT	PC 488 - PETTY THEFT FROM VEHICLE
17-07-0329	7/10/2017	2317 N ROBINHOOD PL	06d.	ACT	PC 488 - PETTY THEFT FROM VEHICLE
17-07-0402	7/12/2017	2160 N PAMI CIR	04e.	CDR	PC 851.6(D) - DETENTION ONLY NOT AN ARREST - PC 243(E)(1) - BATTERY ON COHABITANT
17-07-1002	7/28/2017	2450 N ROBINHOOD PL	06d.	ACT	PC 459 - AUTO BURGLARY
17-08-0086	8/2/2017	2910 N SANTIAGO BLVD	06i.	ACT	PC 487 - GRAND THEFT
17-08-0111	8/3/2017	2160 N PAMI CIR	04e.	ARR	PC 273.5(A) - DOMESTIC BATTERY // PC 148(A)(1) - RESIST/DELAY A PEACE OFFICER
17-08-0171	8/5/2017	2844 N SANTIAGO BL	06c.	ACT	PC 488 - PETTY THEFT(SHOPLIFTING)
17-08-0483	8/12/2017	2160 N PAMI CIR	04e.	ARR	PC 244 - ASSAULT W/CAUSTIC CHEMICAL, PC 594(A)(2) - VANDALISM
17-09-0956	9/26/2017	2223 E VILLA VISTA WY	06d.	ACT	PC 488 - PETTY THEFT FROM VEHICLE
17-10-0383	10/10/2017	2222 N SANTIAGO BL	06e.	ACT	PC 459 - AUTO BURGLARY
17-12-0931	12/25/2017	2160 N PAMI CIR	04e.	ARR	PC 273.5 - DOMESTIC VIOLENCE, PC 594(B)(2) - VANDALISM

**PART 2 ARRESTS**

**RD 117W**

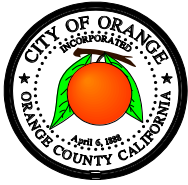
DATE	DR#			CHARGE
2/20/17	17-02-0731	2848 N SANTIAGO BLVD	11364 (A)	POSSESS UNLAWFUL PARAPHERNALIA
2/20/17	17-02-0731	2848 N SANTIAGO BLVD	11377 (A)	POSSESS CONTROLLED SUBSTANCE
2/20/17	17-02-0731	2848 N SANTIAGO BLVD	11350 (A)	POSSESS NARCOTIC CONTROLLED SUBSTANCE
6/3/17	17-06-0121	AGATE / RIDING	23152 (G)	DUI ALCOHOL AND DRUG
6/7/17	17-06-0218	2844 N SANTIAGO BLVD	11550 (A)	USE/UNDER INFLUENCE OF CONTROLLED SUBSTANCE
6/7/17	17-06-0218	2844 N SANTIAGO BLVD	11377 (A)	POSSESS CONTROLLED SUBSTANCE
6/13/17	17-06-0476	2700 N SANTIAGO BLVD	11364 (A)	POSSESS UNLAWFUL PARAPHERNALIA
6/13/17	17-06-0476	2700 N SANTIAGO BLVD	11350 (A)	POSSESS NARCOTIC CONTROLLED SUBSTANCE
6/13/17	17-06-0476	2700 N SANTIAGO BLVD	11377 (A)	POSSESS CONTROLLED SUBSTANCE
6/13/17	17-06-0476	2700 N SANTIAGO BLVD	11379 (A)	TRANSPORT/SELL CONTROLLED SUBSTANCE
6/13/17	17-06-0476	2700 N SANTIAGO BLVD	11378	POSSESS CONTROLLED SUBSTANCE FOR SALE
8/3/17	17-08-0111	2162 N PAMI CIR	148 (A) (1)	RESIST/DELAY/OBSTRUCT POLICE/PUBLIC OFFICER/EMERGENCY TEC
8/3/17	17-08-0111	2162 N PAMI CIR	273.5(A)	INFLECT CORPORAL INJURY ON SPOUSE/COHABITANT
9/26/17	17-09-0955	55 FREEWAY/N SANTIAGO BLVD	148.9(A)	FALSE IDENTIFICATION TO SPECIFIC PEACE OFFICER
9/26/17	17-09-0955	55 FREEWAY/N SANTIAGO BLVD	11364 (A)	POSSESS UNLAWFUL PARAPHERNALIA
9/27/17	17-09-1000	SANTIAGO / 55FWY	555	ENTER/REMAIN ON POSTED PROPERTY
12/25/17	17-12-0931	2160 N PAMI CIR	594 (B)(2)(A)	VANDALISM LESS THAN \$400
12/25/17	17-12-0931	2160 N PAMI CIR	273.5(A)	INFLECT CORPORAL INJURY ON SPOUSE/COHABITANT





## ABC Licenses 600ft Radius Map

- Legend**
- Active
  - ▲ Pending
  - ★ Proposed



# CITY OF ORANGE

DEPARTMENT OF COMMUNITY DEVELOPMENT

[www.cityoforange.org](http://www.cityoforange.org)

ADMINISTRATION  
(714) 744-7240  
Fax: (714) 744-7222

PLANNING DIVISION  
(714) 744-7220  
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BUILDING DIVISION  
(714) 744-7200  
Fax: (714) 744-7245

CODE ENFORCEMENT DIVISION  
(714) 744-7244  
Fax: (714) 744-7245

November 15, 2021

Department of Alcoholic Beverage Control  
2 MacArthur Place, Suite 200  
Santa Ana, California 92707-7703

SUBJECT: FINDING OF PUBLIC CONVENIENCE OR NECESSITY FOR CONDITIONAL  
USE PERMIT NO. 3039-17 – SHELL GAS STATION/CONVENIENCE STORE,  
2640 N. SANTIAGO BOULEVARD

Dear ABC representative,

This letter serves to acknowledge that the City of Orange Planning Commission held a public hearing on November 15, 2021, to consider making a finding of “public convenience or necessity” for the issuance of a Department of Alcoholic Beverage Control Type 21 (Off-Sale General) License for a renovated gas station convenience store, located at 2640 N. Santiago Boulevard, Orange, CA 92867. The project proponent is Design Concepts: Shiv Talwar.

After considering the matter, the City of Orange Planning Commission found that “public convenience or necessity” would be served by the issuance of an ABC Type 21 License for the renovated convenience store.

Sincerely,

Dave Simpson  
Planning Commission Chair

Enclosed: Planning Commission Resolution No. PC 28-21 approving  
Conditional Use Permit No. 3054-17



# ADDITION & REMODEL (CUP APPLICATION): SANTIAGO CENTER 2640 N.SANTIAGO BLVD. ORANGE, CA 92867

## PROJECT PHOTOS



### GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL HAVE WORKMAN'S COMPENSATION FOR ALL PERSONS WORKING ON THE JOB.
2. THE GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS.
3. THE GENERAL CONTRACTOR SHALL PROVIDE LIEN RELEASES FOR ALL LABOR AND MATERIALS PAID FOR PRIOR TO RECEIVING THE NEXT INSTALLATION PAYMENT.
4. ALL WORK SHALL CONFORM TO THE CODES, REGULATION AND STANDARDS OF THE GOVERNING CITY, COUNTY AND STATE AGENCIES.
5. ALL MATERIALS SHALL BE PREMIUM GRADE QUALITY THROUGHOUT. NO SUBSTITUTION OF SPECIFIED MATERIALS ALLOWED WITHOUT CONSENT FROM THE ARCHITECT.
6. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE SANITARY RESTROOM FACILITY WHICH SHALL BE MAINTAINED ON A REGULAR BASIS.
7. THE GENERAL CONTRACTOR SHALL PROVIDE A JOB SHACK WITH A TELEPHONE, CHAIN LINK FENCING AROUND THE SITE AND A TEMPORARY POWER POLE. THE CONTRACTOR SHALL PAY FOR ELECTRICAL POWER, WATER AND TELEPHONE CHARGES DURING CONSTRUCTION.
8. INSTALLATION OF ELECTRIC, TELEPHONE AND CABLE T.V. TO THE FACILITY SHALL BE BY CONTRACTOR.
9. NOT USED.
10. THE GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF CONSTRUCTION BY HIS EMPLOYEES OR SUBCONTRACTORS.
11. NOT USED.
12. GENERAL CONTRACTOR SHALL HAVE THE ENTIRE FACILITY PROFESSIONALLY CLEANED, INCLUDING WINDOWS INSIDE AND OUTSIDE, PRIOR TO DELIVERING IT TO THE OWNER.
13. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS. WHERE CONFLICTING MATERIALS AND CONDITIONS ARE CALLED OUT, ASSUME THE MORE EXPENSIVE CONDITION. NOTIFY THE OWNER AND ARCHITECT PRIOR TO WORK BEING STARTED.
14. NOT USED.
15. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER FOR EACH CHANGE ORDER PRIOR TO COMMENCING WITH THE WORK IN QUESTION. EACH CHANGE ORDER MUST BE INVOICED WITH THE NEXT PAYMENT REQUEST AFTER THE CHANGE ORDER WORK IS COMPLETED. EXTRA WORK DONE WITHOUT AN APPROVED CHANGE IS NOT REIMBURSABLE.
16. THE ACTUAL LOCATION OF THE ELECTRICAL METER SHALL BE DETERMINED BY THE ELECTRIC COMPANY AND SHALL HAVE THE OWNER'S APPROVAL PRIOR TO SETTING (SEE ELECTRICAL PLANS).
17. DIAGRAMMATICAL DRAWINGS. DO NOT SCALE PRINTS. "NOT TO SCALE" (INDICATED AS N.T.S.), AND THE LISTED DIMENSION SHALL GOVERN.
18. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS PRIOR TO PROCEEDING.
19. CONTRACTOR TO VERIFY WITH THE OWNER ALL MATERIALS AND FINISHES NOTED ON THESE PLANS PRIOR TO ORDERING, INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, PLUMBING FIXTURES, APPLIANCES, FLOOR FINISHES, MILL WORK, ELECTRICAL LIGHT FIXTURES, ETC.
20. PLANS AND SUPPORTING DOCUMENTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. WHERE SUCH PLANS ARE NOT PREPARED BY THE ARCHITECT OR ENGINEER OF RECORD, THEY SHALL BE REVIEWED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.

### SCOPE OF WORK

THE SCOPE OF WORK IS AS FOLLOWS:  
1. CONVERT EXISTING AUTO REPAIR SERVICE TO C-STORE.  
2. ADDITION OF DRIVE-THROUGH AUTOMATIC AND FULL SERVICE CAR-WASH.

### PROJECT SUMMARY

**PROJECT ADDRESS:**  
LOT "A": 2640 N. SANTIAGO BLVD. ORANGE CA 92867.  
LOT "B": 2650-2660 N. SANTIAGO BLVD. ORANGE CA 92867.

**APN #:** 361-401-27 & 361-401-25  
**TRACT #:** 658  
**LOT #:** L  
**ZONING:** C-TR (LIMITED BUSINESS- TUSTIN REDEVELOPMENT)

**DESCRIPTION OF USE:**  
LOT "A" CURRENT: SERVICE STATION W/AUTO SERVICE REPAIR.  
PROPOSED: SERVICE STATION W/CAR WASH & C-STORE.  
LOT "B" CURRENT: RETAIL CENTER.

LOT SIZE "A" AREA:	30,265 SQ. FT.
LOT SIZE "B" AREA:	41,418 SQ. FT.
EXISTING LOT COVERAGE:	
LOT "A" COVERAGE:	3,610 SQ.FT.
F.A.R. (FLOOR AREA RATIO):	.12
LOT "B" COVERAGE:	6,144 SQ.FT.
F.A.R. (FLOOR AREA RATIO):	.15
<b>LOT "A" BUILDING AREA:</b>	
1. EXISTING: SHELL GAS STATION:	1,942 SQ. FT.
2. PROPOSED: C-STORE TENANT IMPROVEMENT	SQ.FT.
ADDITION: AT FRONT (C-STORE)	333 SQ.FT.
PROPOSED: CAR-WASH ADDITION:	2,340 SQ. FT.
TOTAL PROPOSED:	2,673 SQ. FT.
TOTAL LOT "A":	4,615 SQ.FT.
<b>LOT "B" BUILDING AREA:</b>	
EXISTING: K.C. LIQUOR STORE:	2,586 SQ.FT.
PATIO FIREPLACE:	588 SQ.FT.
VALUE CLEANERS:	810 SQ.FT.
MARRIS PIZZA:	810 SQ.FT.
BBQ OUTLET-PATIO FIREPLACE:	1,350 SQ.FT.
TOTAL LOT "B":	6,144 SQ.FT.

### CODE ANALYSIS

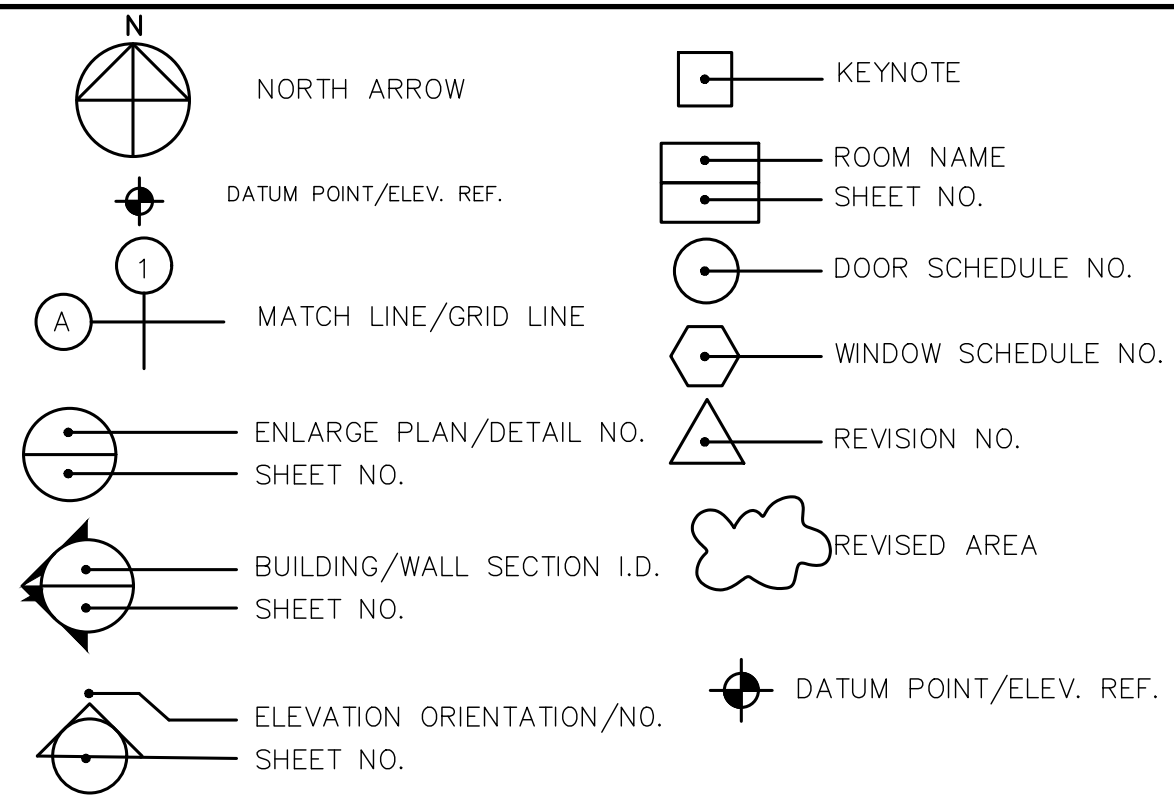
**APPLICABLE CODES**  
2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 TITLE 24 ENERGY REGULATIONS  
2019 CALIFORNIA FIRE CODE (CFC) & NFPA - 13  
COUNTY OF SAN BERNARDINO ENVIRONMENTAL HEALTH  
CITY OF ORANGE MUNICIPAL CODES  
**TYPE OF CONSTRUCTION:** VB (NON SPRINKLERED) SEC. 602.5

**OCCUPANCY:** M (RETAIL SALES) SEC. 303.1  
**NUMBER OF STORY:** 1  
**ALLOWABLE AREA:** 9,000 SF PER TABLE 503 (M-OCC)

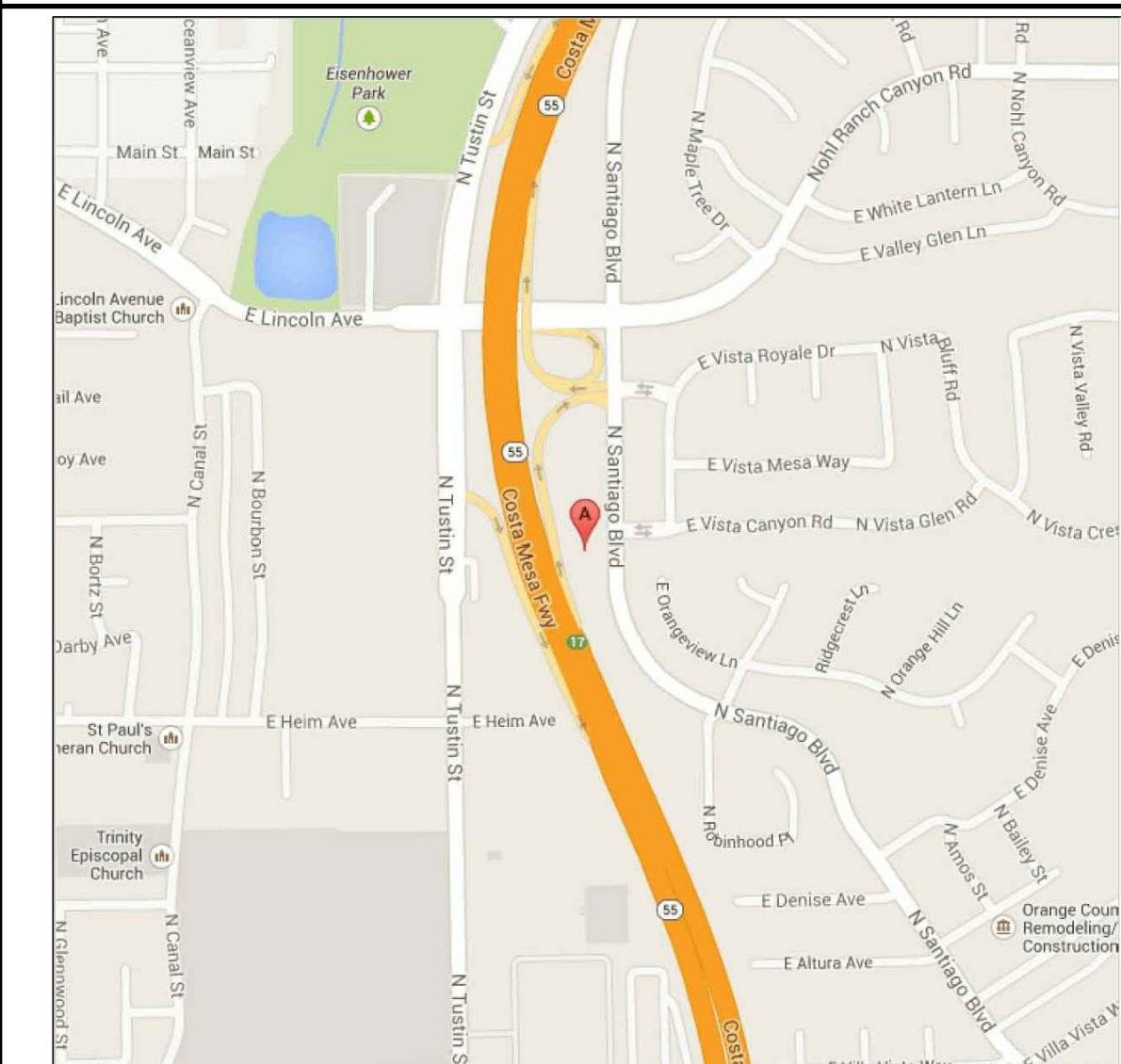
### DRAWING INDEX

- |                                     |  |
|-------------------------------------|--|
| T-1 TITLE SHEET AND SITE ANALYSIS.  | AD-1 TRASH ENCLOSURE DETAILS             |
| T-1.1 EXISTING SITE PLAN.           | MB-1 MATERIAL BOARD/SITE LIGHTING PLAN   |
| T-1.2 PROPOSED SITE PLAN.           | LT-1 LIGHTING PLAN                       |
| T-1.3 PICTURES OF SITE              | LT-2 LIGHTING DETAIL PHOTOMETRIC RENDERS |
| T-1.4 SITE PHOTOS                   | LT-3 SPECS SHEET                         |
| TO-1 ALTA SURVEY-1                  | F-1.0 FIRE MASTER PLAN                   |
| TO-2 ALTA SURVEY-2                  | F-1.1 EXISTING SITE PLAN                 |
| C-1 PRELIMINARY GRADING PLAN        | F-1.2 PROPOSED FIRE MASTER PLAN          |
| A-1 C-STORE FLOOR PLAN & ELEVATIONS | L-1 CONCEPTUAL LANDSCAPE PLAN            |
| A-1.1 CARWASH FLOOR & ELEVATIONS    |  |
| A-2.0 ELEVATIONS                    |  |
| A-2.1 PAINT SCHEDULE                |  |
| A-3 SECTIONS                        |  |
| A-4 ROOF PLAN                       |  |

### SYMBOLS



### VICINITY MAP



### CODE ANALYSIS

**TYPE OF CONSTRUCTION (BLDG. A & BLDG. B)** VB  
**OCCUPANCY (BLDG. A & BLDG. B) AS PER TABLE 506.2** M  
**TOTAL COMBINED 8429 SQ.FT < ALLOWABLE OF 9000 SQ. FT.**

**ALLOWABLE AS PER TABLE 506.2** 36,000 SQ.FT.  
**PROPOSED (EXISTING AND ADDITION) ARE LESS THAN 36,000 SQ.FT.**

### REGIONAL SEPARATION

**BUILDING 'A' OCCUPANCY** M  
**BUILDING 'B' OCCUPANCY** M  
NO OCCUPANCY REQUIRED AS PER CBC TABLE 508.4

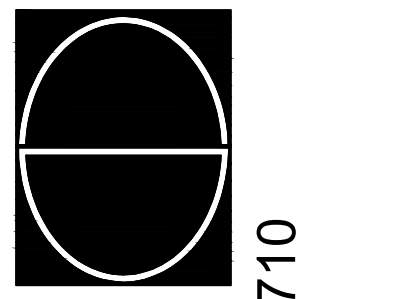
### PARKING ANALYSIS

BUILDING	LOT	TENANT	USE	AREA	FORMULA	REQUIRED	PROVIDED
	"A"	C-STORE GAS STATION CAR WASH SERVICE(HAND DRY) VACUUM	RETAIL	2,275 S.F.	1/800 SQ. FT.	3 SPACES	
				2,340 S.F.		2 SPACES	
						1 SPACE	
<b>TOTALS</b>						<b>8 SPACES</b>	
	"B"	EXISTING K.C. LIQUOR COMPUTER RETAIL VALUE CLEANERS PIZZA TAKE-OUT BBQ OUTLET	RETAIL	6,144 S.F.	5/1000 SQ. FT.	31 SPACES	
<b>TOTALS</b>						<b>31 SPACES</b>	
						39 SPACES	39 SPACES
		ACCESSIBLE PARKING			1 CAR/25 SPACES	2 SPACES	3 SPACES

### DESIGN TEAM

<b>ARCHITECT</b> DESIGN CONCEPTS SHIV TALWAR AIA 3340 RIVERSIDE DR. CHINO, CA-91710. TEL: (909) 510-0512 CONTACT: SHIV TALWAR dsignconcepts@yahoo.com	<b>OWNER</b> MR. SURINDER MULTANI 2620 N. SANTIAGO BLVD. ORANGE CA 92867 TEL: 714-856-8579 EMAIL: s_multani@hotmail.com
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3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710  
TEL: 909-591-3939 dsignconcepts@yahoo.com

NO.	DATE	ISSUED
	10/02/19	DRC
	02/04/21	REVISION ON 08/05 DRC
	06/22/21	REVISION ON 08/05 DRC
	06/06/21	REVISION ON 08/05 DRC

**DRAWING TITLE**  
TITLE SHEET & SITE ANALYSIS

**JOB TITLE**  
ADDITION & REMODEL (CUP APPLICATION)  
SANTIAGO CENTER

**JOB ADDRESS**  
2640 N. SANTIAGO BLVD.  
ORANGE, CA. 92867

**JOB NO.** 2019-36

**DWG. NO.** T-1 **REVISION NO.** 1

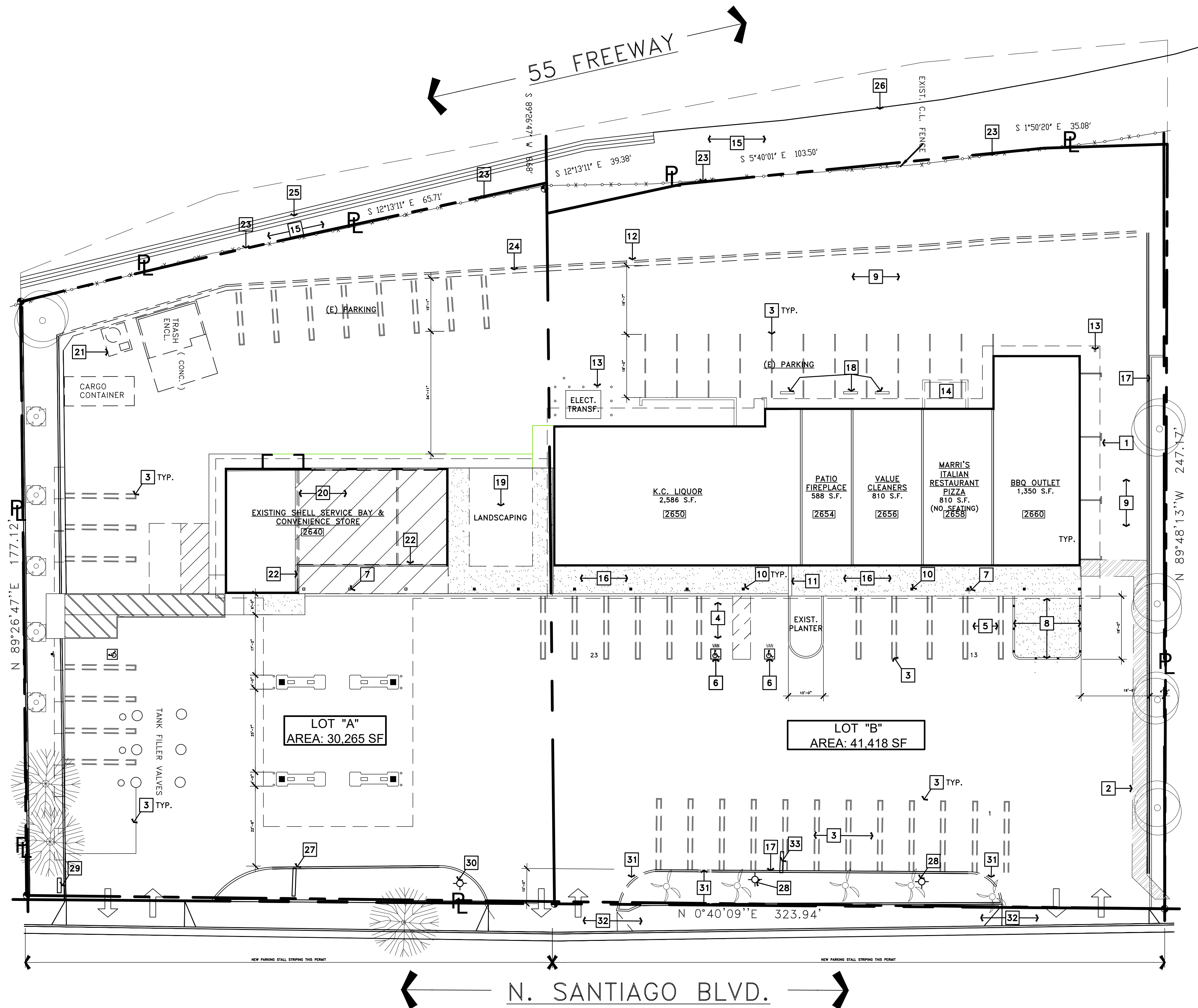


# SITE PLAN KEYNOTES

- 1 EXISTING PARKING STALLS ADJACENT TO BUILDING T BE REMOVED
- 2 EXISTING ACCESSIBLE ROUTE ADJACENT TO DRIVEWAY AND ALONG PLANTER TO BE REPLACED
- 3 EXISTING PARKING STALLS TO BE STRIPPED
- 4 EXISTING ACCESSIBLE PARKING TO BE RELOCATED AND CONVERTED TO LOADING/UNLOADING
- 5 EXISTING PARKING BAY TO BE CONVERTED TO H.C. PARKING
- 6 EXISTING ACCESSIBLE SYMBOLS TO BE RELOCATED
- 7 EXISTING TIMBER POST BE REMOVED.
- 8 EXISTING PLANTER TO BE RETAINED.
- 9 EXISTING A.C. PAVING
- 10 EXISTING POSTS TO BE REPAINTED
- 11 EXISTING CONCRETE STEPS TO BE MODIFIED FOR ADA
- 12 EXISTING CURB AND GUTTER TO BE REPLACED
- 13 EXISTING STEEL BOLLARD TO BE REMOVED
- 14 EXISTING UTILITY ENCLOSURE TO BE REMOVED
- 15 EXISTING UNIMPROVED PORTION OF THE SITE ( CALTRANS R/W) SLOPING DOWN TO 55 FREEWAY TO BE LANDSCAPED- SEE LANDSCAPE PLAN
- 16 EXISTING CONCRETE SIDEWALK. TO BE SLOPED MAX 2% SLOPE IN ANY DIRECTION
- 17 EXISTING PLANTER CURB TO BE EXTENDED.
- 18 EXISTING 6"x 6"x 4'-0" CONCRETE WHEEL STOP
- 19 EXISTING LANDSCAPE TO BE REMOVED AND REPLACED WITH HARDSCAPE SEATING AND FOUNTAIN.
- 20 (E) AUTO SERVICE STATION W/ CONVENIENCE STORE TO BE REMODELLED
- 21 EXISTING PROPANE TANK TO BE REMOVED
- 22 EXISTING WALL TO BE RELOCATED FOR EXPANDED CONVENIENCE STORE
- 23 EXISTING CHAIN LINK FENCE TO BE REMOVED
- 24 EXISTING RETAINING WALL TO BE REMOVED FOR EXPANDED CONSTRUCTION AREA
- 25 EXISTING CALTRANS T-WALL TO BE REMAINED
- 26 EXISTING CALTRANS EDGE OF OFF-RAMP PAVEMENT
- 27 EXISTING SIGN TO BE REMAINED
- 28 EXISTING LIGHT POLE TO BE REMOVED AND REPLACED IN NEW LOCATIONS
- 29 EXISTING COMMERCIAL POLE TO BE REMAINED
- 30 EXISTING LIGHT POLE TO BE REMAINED
- 31 EXISTING PORTION OF CURB TO BE REMOVED
- 32 EXISTING PORTION OF DRIVEWAY AND SIDEWALK TO BE RECONSTRUCTED
- 33 EXISTING SIGN TO BE REMOVED AND REPLACED

## LEGEND

- (N) WALL TO BE CONSTRUCTED
- WALLS TO BE REMOVED
- (E) WALL TO REMAIN
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVED
- SCOPE OF BUILDING AREA TO BE REMODELED

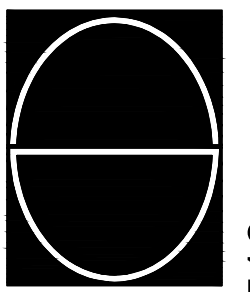


# EXISTING & DEMOLITION SITE PLAN

SCALE: 1:20

1

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 TEL: 909-591-3939 [dsignconcepts@yahoo.com](mailto:dsignconcepts@yahoo.com)

NO.	DATE	ISSUED	DRC
	10/02/19		REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	07/13/21		REVISION ON 08/05 DRC

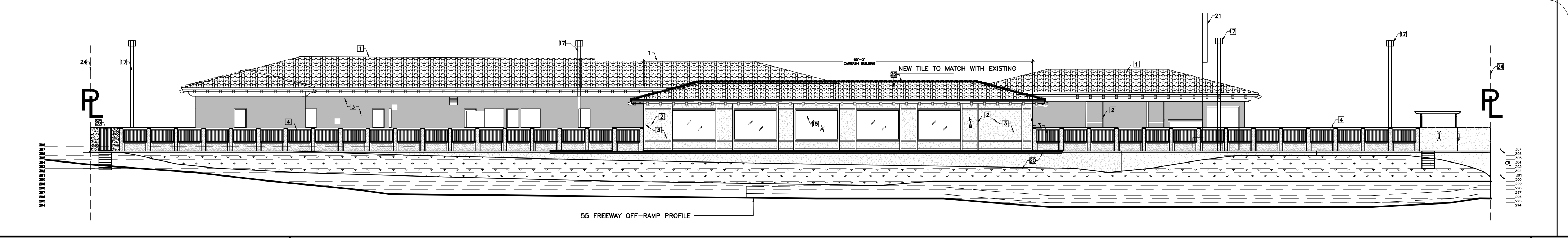
DRAWING TITLE	JOB TITLE	JOB ADDRESS
EXISTING SITE PLAN	ADDITION & REMODEL (CUP APPLICATION)	2840 N. SANTIAGO BLVD. ORANGE, CA 92667

JOB NO.	2019-36
DWG. NO.	T-1.1
REVISION NO.	



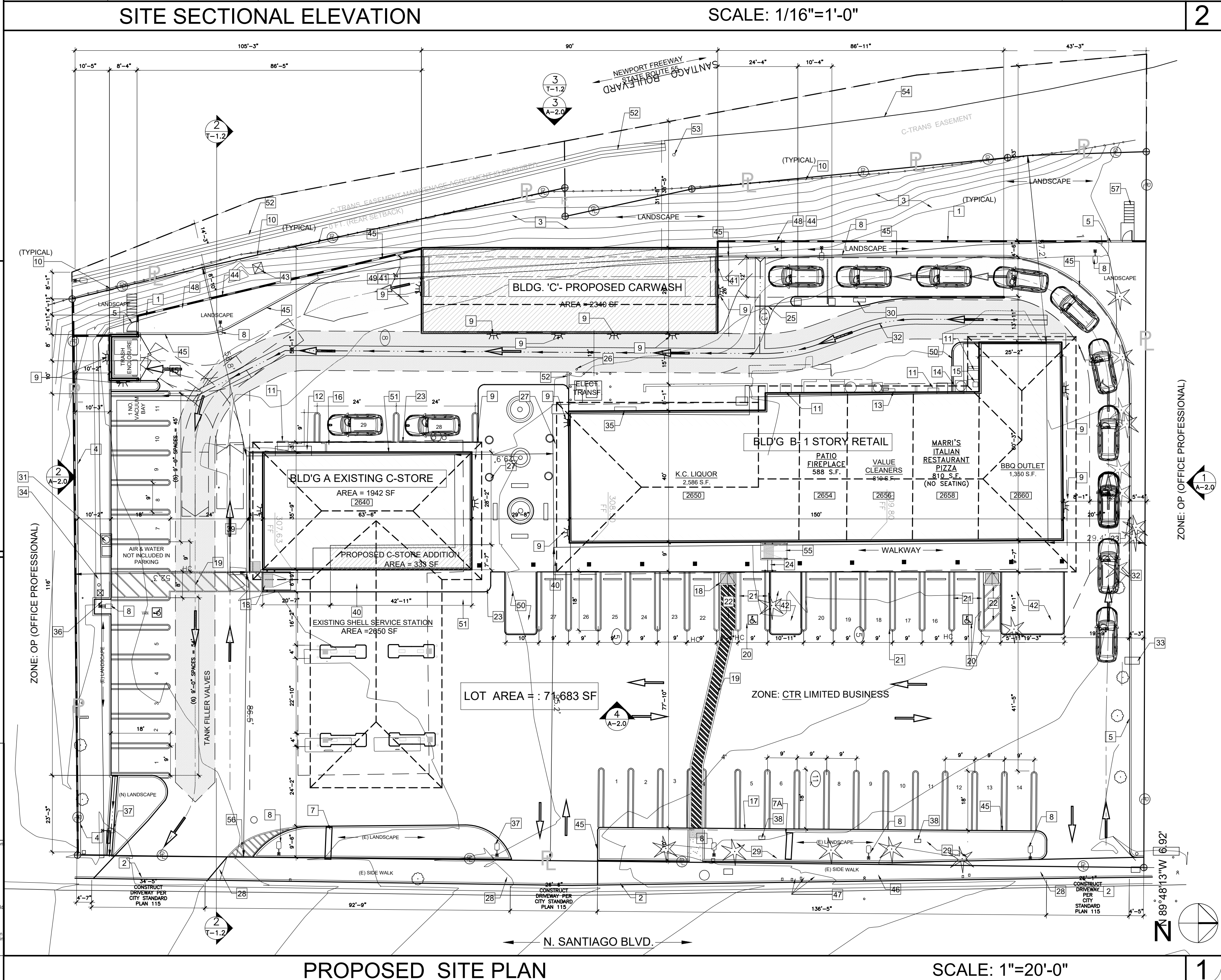
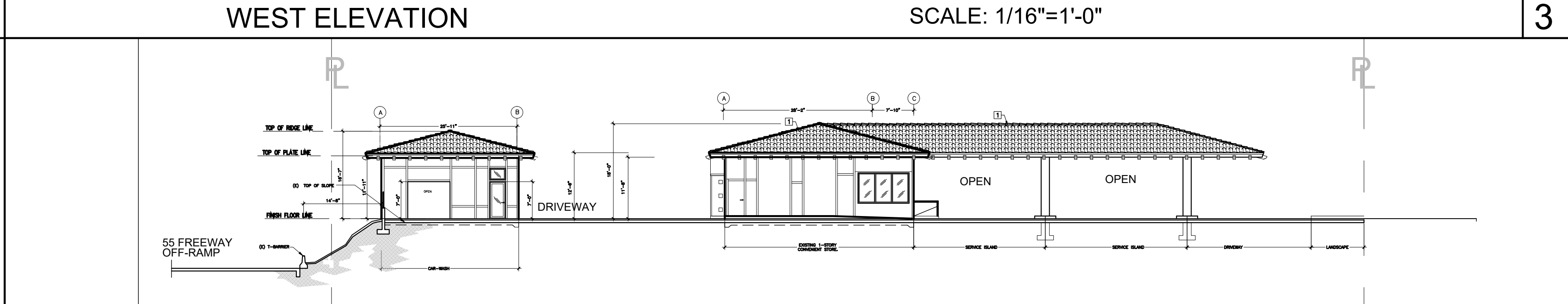
**PROPOSED SITE PLAN KEYNOTES**

- PROPOSED 24" HIGH DECORATIVE CMU WALL WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (SEE GRADING PLAN)
- EXISTING CURBS RECONFIGURED TO SUIT MODIFICATIONS IN DRIVEWAYS.
- EXISTING SLOPE MODIFIED FOR LANDSCAPE.
- EXISTING 6 FT CMU FENCE TO REMAIN.
- EXTENDED EXISTING CURB
- NOT USED
- GROUND SIGN TO BE RE-FACED
- (E) SIGN TO BE REMOVED, REPLACED IN LANDSCAPED AREA
- PROPOSED LIGHT POLE
- PROPOSED WALL-PACK LIGHT FIXTURE.
- EXISTING CHAIN LINK FENCE TO BE REMOVED
- EXISTING A/C EQUIPMENT.
- EXISTING ELECTRICAL PANEL.
- EXISTING GAS METER.
- EXISTING WIH.
- EXISTING SINK.
- EXISTING ELECTRIC S/W GEAR.
- EXISTING PLANTER CURB IS WITHIN PROPERTY
- 4'-0" WIDE X 3'-0" DEEP "YELLOW" TRUNCATED DOME WARNING PADS AT EACH END OF DRIVEWAY AT PATH-OF-TRAVEL.
- PATH-OF-TRAVEL WITH 45 d "BLUE" STRIPES AT 36" O.C. MAX. SLOPE 5% IN DIRECTION OF TRAVEL AND MAX. 2% CROSS-SLOPE.
- 36"x36" INTERNATIONAL ACCESSIBILITY LOGO "WHITE" SYMBOL ON "BLUE" BACKGROUND.
- PAINT 4" STALL STRIPES AND BORDERS "BLUE".
- PAINT UNLOADING AREA WITH 45 d "BLUE" STRIPES AT 36" O.C. AND 12" LETTERS "NO PARKING".
- MAX. SLOPE 2% IN ANY DIRECTION.
- LINE OF CURB.
- EXISTING CONCRETE STEPS.
- (N) ESCAPE GATE FOR BEFORE CARWASH TUNNEL.
- REMOVE EXISTING BOLLARD
- EXISTING LINE OF ROOF
- DRIVEWAY LOCATION
- NEW 5-GALLON BERMS TO BE PLANTED TO SCREEN PARKING AREA (SEE LANDSCAPE PLAN)
- AUTOMATIC PAY BOOTH
- EXISTING AIR AND WATER
- ONE-WAY PATH OF TRAVEL
- INSTALL NEW ONE WAY SIGN
- (E) ADA SIGN
- EXISTING ELECTRICAL METERS
- (E) LIGHT POLE BASE ELECT. SUPPLY WITH (N) LIGHT POLE
- EXISTING LIGHT POLE
- EXISTING LIGHT POLE TO BE REMOVED AND REPLACED IN THE NEW LOCATIONS
- EXISTING ADA RAIL TO REMAIN.
- TRAVEL PATH TO CONVENIENCE STORE
- CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
- EXISTING PLANTER AREA TO REMAIN
- EXISTING SIGN POLE TO REMAIN
- (E) TOP OF SLOPE
- (N) CURB BY RE-CONFIGURING EXISTING
- (E) FIRE HYDRANT
- (E) UTILITIES METERS
- (N) RETAINING WALL PER CIVIL PLANS
- (N) TRENCH DRAIN AT CAR WASH
- (N) PROPOSED PLANTER
- EXTENTS OF DEMOLITION AND REMOVALS
- (E) CALTRANS CONCRETE "T-BARRIERS"
- (E) CALTRANS LIGHT POLE
- (E) CALTRANS EDGE OF OFF-RAMP PAVEMENT
- (N) ADA RAMP
- (N) STRIPE THIS AREA FOR DRIVEWAY MAINTENANCE
- (N) CONCRETE STEPS DOWN FOR MAINTENANCE



**ELEVATION KEYNOTES**

- EXISTING ROOF TILE TO REMAIN
- EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT WHITE SHADOW 37)
- PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
- (E) ELECTRICAL PANEL TO REMAIN
- (E) A/C CONDENSER TO REMAIN
- ACCESSOIR RAMP
- PUBLIC RESTROOM DOOR (ADA COMPLIANT)
- NOT USE
- EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- EXISTING STORE FRONT SIGNAGE
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- EXISTING LIGHT POST
- EXISTING LIGHT POST- 25' HIGH
- CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
- WALL PACK (MOUNTED PACK) LIGHT SYSTEM
- RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
- (E) SITE SIGNAGE - TO REMAIN
- (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
- NEW AUTOMATIC SLIDING DOOR
- PROPERTY LINE
- (N) MAINTENANCE GATE FOR LANDSCAPE AREA



**CODE ANALYSIS**

TABLE 506.2-1 - continued  
ALLOWABLE AREA FACTOR (A<sub>a</sub> = NS, S1, S1R, or SM, as applicable) IN SQUARE FEET

OCCUPANCY CLASSIFICATION	SEE FOOTNOTES	TYPE OF CONSTRUCTION				TYPE IV				
		A	B	A	B	A	B	A	B	
NS	UL	UL	UL	21,500	12,500	18,500	12,500	20,500	14,000	9,000
M	S1	UL	UL	86,000	50,000	74,000	50,000	82,000	56,000	58,000
	SM	UL	UL	64,500	37,500	55,500	37,500	61,500	42,000	27,000

(continued)

TYPE OF CONSTRUCTION (BLDG. A & BLDG. B) VB  
OCCUPANCY (BLDG. A + BLDG. B + ATRIUM STRUCTURE) AS PER TABLE 506.2 M  
TOTAL COMBINED 9,270 SQ.FT > ALLOWABLE OF 9000 SQ. FT. PER TABLE 506.2 M  
ALLOWABLE AREA INCREASE DUE TO FRONTAGE TO COMPLY CBC 506.2.1  
CALCULATION FORMULA:  
 $A_a = A_t + (NS \times I_f)$  ALLOWABLE AREA  
 $I_f = [F/P - 0.25] W/30$  INCREASE DUE TO FRONTAGE

CALCULATION:  
width of public way W = 16.201  
bdg. perimeter P = 622'  
bdg. front perimeter in public way F = 251'

$I_f = [251/622 - 0.25] 16.201/30 = [0.40 - 0.25] 2.14 = 0.32$

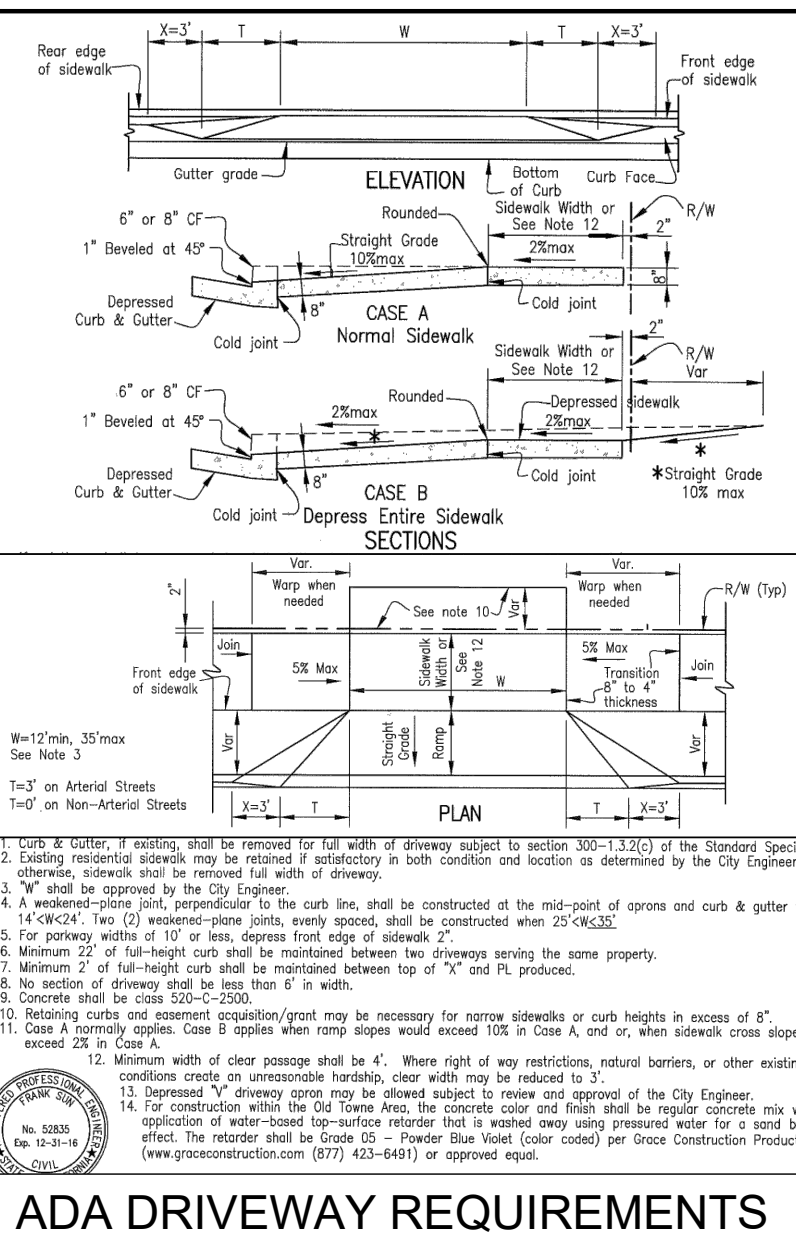
$A_a = 9,270 + (9,000 \times 0.32) = 9,270 + 2,880 = 12,150$

PROPOSED TOTAL AREA : 9,270 SQ. FT. < ALLOWABLE AREA ; 12,150 SQ. FT.

**WALL SEPARATION**

TABLE 508.4  
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

OCCUPANCY	REQUIRED SEPARATION OF OCCUPANCIES (HOURS)											
	A, E	R, R-1, R-2, R-3, R-4	R-5, R-6	S, S-1, S-2, S-3	S-4, S-5	U, U-1, U-2, U-3	U-4, U-5	M, M-1, M-2, M-3	M-4, M-5	M-6, M-7, M-8	M-9, M-10	M-11, M-12
A, E	N	N	N	N	N	N	N	N	N	N	N	N
R, R-1, R-2, R-3, R-4	2	2	2	2	2	2	2	2	2	2	2	2
R-5, R-6	2	2	2	2	2	2	2	2	2	2	2	2
S, S-1, S-2, S-3	2	2	2	2	2	2	2	2	2	2	2	2
S-4, S-5	2	2	2	2	2	2	2	2	2	2	2	2
U, U-1, U-2, U-3	2	2	2	2	2	2	2	2	2	2	2	2
U-4, U-5	2	2	2	2	2	2	2	2	2	2	2	2
M, M-1, M-2, M-3	2	2	2	2	2	2	2	2	2	2	2	2
M-4, M-5	2	2	2	2	2	2	2	2	2	2	2	2
M-6, M-7, M-8	2	2	2	2	2	2	2	2	2	2	2	2
M-9, M-10	2	2	2	2	2	2	2	2	2	2	2	2
M-11, M-12	2	2	2	2	2	2	2	2	2	2	2	2
M-13, M-14	2	2	2	2	2	2	2	2	2	2	2	2
M-15	2	2	2	2	2	2	2	2	2	2	2	2



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**DESIGN CONCEPTS**  
SHIV TALWAR, ARCHITECT AIA  
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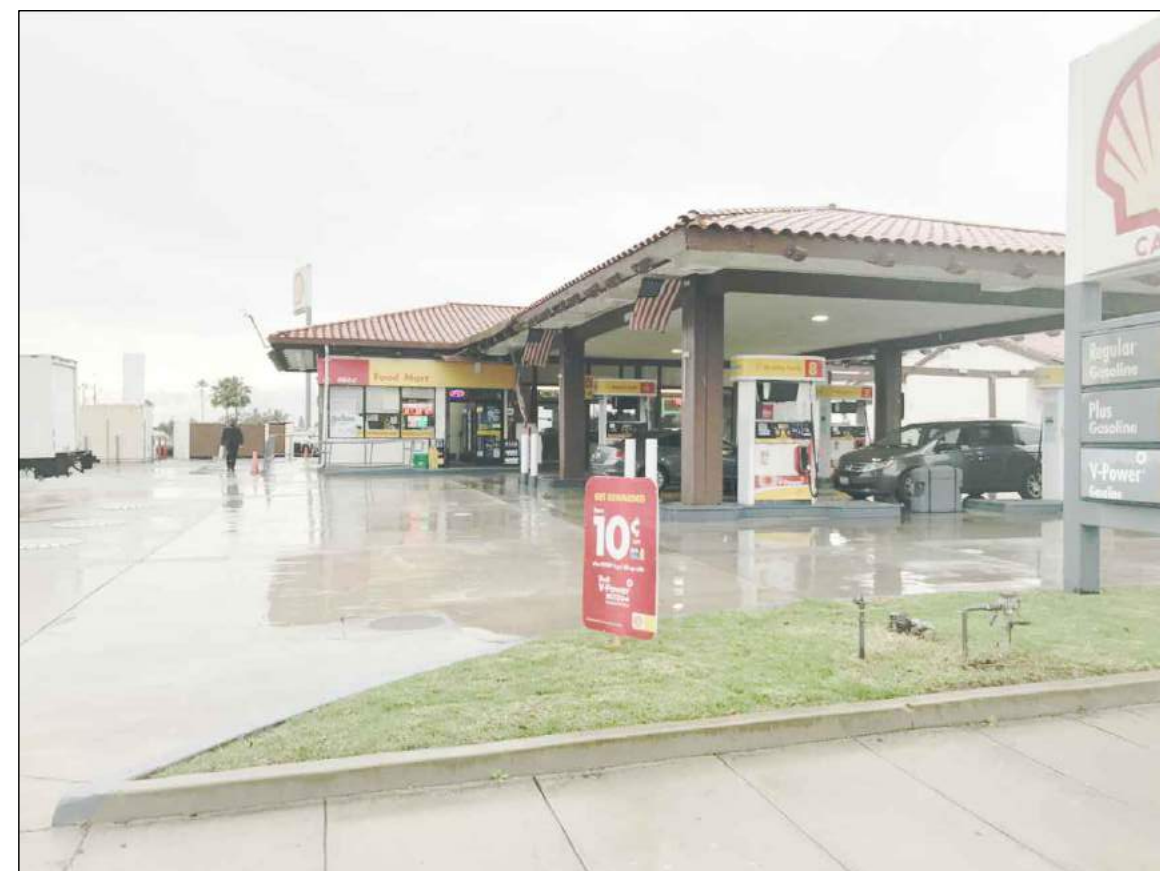
NO.	DATE	ISSUED	BY
	10/22/19	DRC	
	02/04/21	REVISION ON 08/05 DRC	
	06/22/21	REVISION ON 08/05 DRC	
	08/06/21	REVISION ON 08/05 DRC	

DRAWING TITLE: PROPOSED PRELIMINARY SITE PLAN  
JOB TITLE: ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER  
JOB ADDRESS: 2640 N. SANTIAGO BLVD. ORANGE, CA 92867  
JOB NO.: 2019-36  
DWG. NO.: T-1.2  
REVISION NO.: 8





RETAIL STORE (FRONT)



SERVICE STATION (FRONT)



SIDE OF SERVICE STATION



MEDICAL CENTER (SIDE)



SIDE OF STATION NEXT TO CONTAINER



PARKING LOT FACING RETAIL



FACING 55 FREEWAY



PARKING LOT FACING STATION



PICTURES OF EXISTING



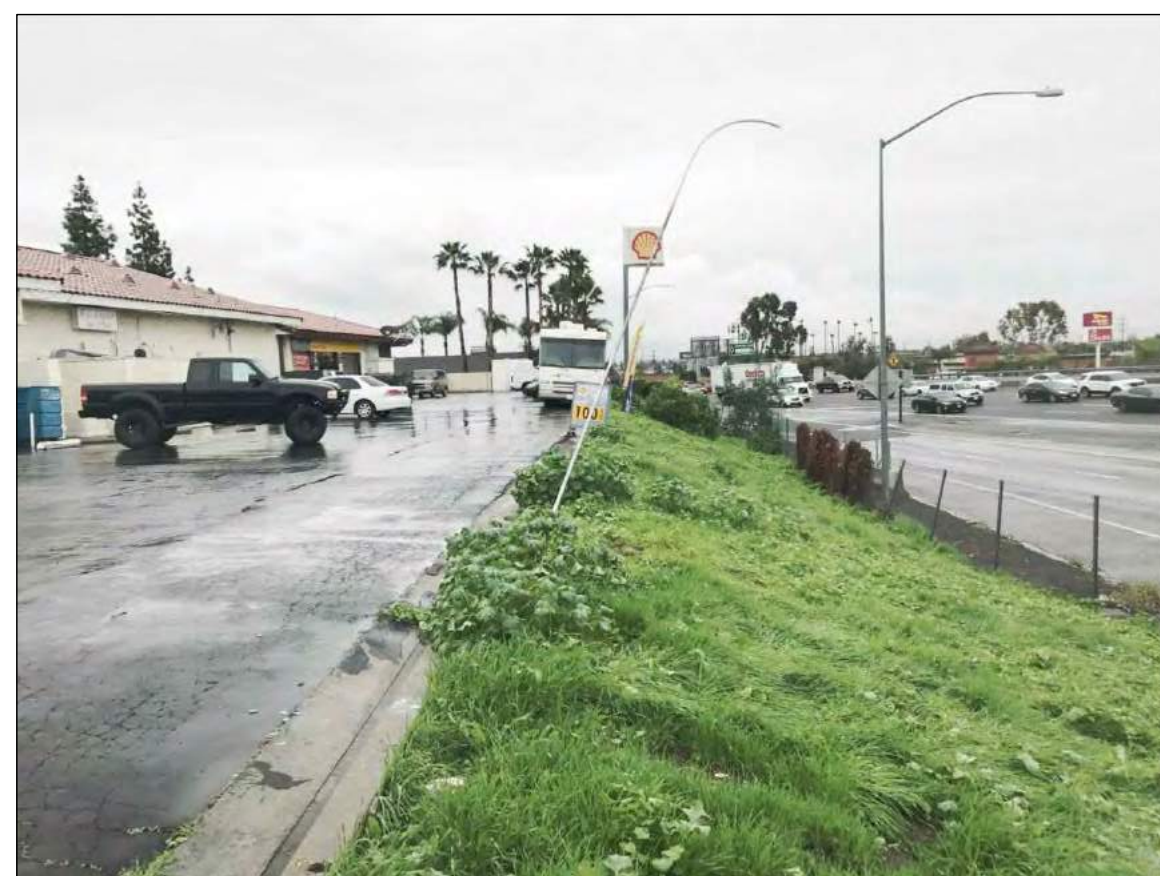
REAR OF STATION



REAR OF STATION



REAR OF RETAIL CENTER



REAR OF LOT W/ SLOPE



REAR OF RETAIL CENTER

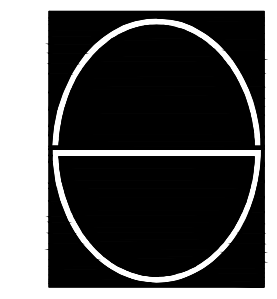


REAR OF RETAIL CENTER



SERVICE STATION (REAR)

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NO.	DATE	ISSUED	DRC
	10/02/19		

DRAWING TITLE	PICTURES OF EXISTING
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667
JOB NO.	2013-36
DWG. NO.	REVISION NO.
T-1.3	





EXISTING RETAIN BUILDING VIEW 1(NORTH)

EXISTING BUILDING VIEW 2(NORTH)

EXISTING BUILDING VIEW 3(NORTH)

EXISTING BUILDING VIEW 4(NORTH)



EXISTING OFFICE VIEW 1(SOUTH)

EXISTING OFFICE VIEW 2(SOUTH)

EXISTING OFFICE VIEW 3(SOUTH)

EXISTING OFFICE VIEW 4(SOUTH)



RESIDENTIAL HOUSE VIEW 1(EAST)

RESIDENTIAL HOUSE VIEW 2(EAST)

RESIDENTIAL HOUSE VIEW 3(EAST)

RESIDENTIAL HOUSE VIEW 4(EAST)



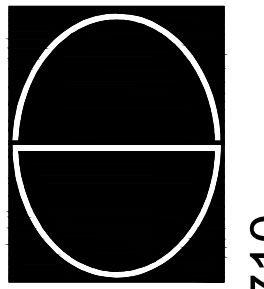
FREEWAY VIEW 1 (WEST)

EXIT 17 LANE(WEST)

2D VIEW(WEST)

FREEWAY VIEW 2(WEST)

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NO.	DATE	ISSUED	DRC
	10/02/19		

DRAWING TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB NO.	2013-36
DWG. NO.	T-1.4
REVISION NO.	
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667



**RECORD DESCRIPTION**

APN: 361-401-27

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, CITY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: PARCEL 1, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 40 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND DESCRIBED AS PARCEL 101578-1 IN THE FINAL ORDER OF CONDEMNATION, A CERTIFIED COPY THEREOF BEING RECORDED JANUARY 26, 2000 AS INSTRUMENT NO. 20000045629, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS, AND OTHER MINERALS (INCLUDING, WITHOUT LIMITATION, HELIUM, LIGNITE, SULPHUR, PHOSPHATE AND OTHER SOLID, LIQUID AND GASEOUS SUBSTANCES), REGARDLESS OF THE NATURE THEREOF AND WHETHER SIMILAR OR DISSIMILAR BUT ONLY TO THE EXTENT ANY OF THE FOREGOING IS IN ITS NATURAL STATE AND NATURAL LOCATION AND NOT SUBJECT TO THE DOMINION AND CONTROL OF ANY PERSON, AND THE RIGHT TO EXPLORE FOR, DEVELOP AND PRODUCE SAME, AS WELL AS THE RIGHT TO LEASE, SUCH PORTION OF THE PROPERTY HEREBY RESERVED FOR SUCH PURPOSES, AND ALL MINERAL AND ROYALTY RIGHTS WHATSOEVER IN, TO, UNDER AND PERTAINING TO THE PROPERTY, BUT THE GRANTOR, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO USE, OR RIGHT OF INGRESS TO OR EGRESS FROM ANY PART OF THE SURFACE OF THE PROPERTY FOR EXPLORATION AND PRODUCING PURPOSES, AND ANY OIL AND GAS DRILLING OPERATIONS SHALL BE CONDUCTED BY MEANS OF WELLS, THE SURFACE LOCATIONS OF WHICH ARE ON OTHER LANDS AND WHICH MAY BE DRILLED INTO AND BOTTOMED IN OR UNDER THE PROPERTY. THE GRANTOR SHALL EXERCISE ITS RIGHTS UNDER THE FOREGOING MINERAL, OIL AND GAS RESERVATION SO AS NOT TO DISTURB ANY IMPROVEMENTS, INSTALLATIONS, PETROLEUM OR OTHER PRODUCTS CONTAINED IN SUCH IMPROVEMENTS OR INSTALLATIONS OR SURFACE ACTIVITIES ON THE PROPERTY. THE GRANTOR IS TO RECEIVE AND RETAIN ALL BONUSES, RENTALS AND ROYALTIES PAYABLE UNDER ANY SUCH MINERAL, OIL AND GAS LEASE OR LEASES, AS RESERVED IN THE DEED FROM TEXACO REFINING AND MARKETING INC., A DELAWARE CORPORATION RECORDED JULY 30, 1998 AS INSTRUMENT NO. 19980491383, OFFICIAL RECORDS.

PARCEL B: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 2, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 40 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTH 150 FEET OF THE LAND DESCRIBED AS PARCEL 1 IN THE DEED TO TEXACO, INC., A DELAWARE CORPORATION, RECORDED JULY 13, 1971 IN BOOK 9716 PAGE 821 OF OFFICIAL RECORDS, AND RUNNING THENCE SOUTH 89° 26' 47" WEST, ALONG THE NORTH LINE THEREOF 50 FEET; THENCE NORTH 67° 48' 01" EAST 54.25 FEET TO THE EAST LINE OF PARCEL 1 IN SAID DEED TO TEXACO, INC.; THENCE SOUTH 0° 40' 09" WEST, ALONG SAID EAST LINE, 20 FEET TO THE POINT OF BEGINNING.

361-401-27

THE ABOVE DESCRIBED PARCEL OF LAND IS THE SAME AS THE PROPERTY DESCRIBED IN THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO.: 2676017569-48 DATED AS OF JULY 17, 2020

**SCHEDULE 'B' ITEMS**

ITEM #'S 1 THROUGH 3 ARE NON SURVEY RELATED - NOT PLOTTED.

ITEM # 4 EASEMENT GRANTED TO SANTA ANA VALLEY IRRIGATION COMPANY, A CORPORATION, FOR TO CONSTRUCT, MAINTAIN, REPLACE, REPAIR AND RENEW A CONDUIT AND PIPE LINE FOR THE CONVEYANCE OF WATER AND RIGHTS INCIDENTAL RECORDED JUNE 11, 1937 IN BOOK 896, PAGE 68 OF OFFICIAL RECORDS AND SHOWN ON RECORD OF SURVEY FILED IN BOOK 4, PAGES 44 THROUGH 50 OF RECORD OF SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY PLOTTED HEREON.

ITEM # 5 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM NEWPORT FREEWAY EXTENDING ALONG THE WESTERLY BOUNDARY OF SAID LAND AS GRANT DEED (INDIVIDUAL) TO THE STATE OF CALIFORNIA DATED NOVEMBER 02, 1960 RECORDED JANUARY 17, 1961 IN BOOK 5592, PAGE 84 AS INSTRUMENT NUMBER 8127 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 6 EASEMENT CONTAINED IN GRANT DEED RESERVED BY BARRY G. HON AND VALERIE HON, HUSBAND AND WIFE FOR INGRESS AND EGRESS AND RIGHTS INCIDENTAL RECORDED JULY 13, 1971 IN BOOK 9716, PAGE 821 OF OFFICIAL RECORDS - NOT PLOTTED - NO DOCUMENT AVAILABLE.

ITEM # 7 RIGHTS OF THE PUBLIC, COUNTY AND/OR CITY, IN AND TO THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF SANTIAGO BOULEVARD - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 8 EASEMENT PROVIDED IN INSTRUMENT ENTITLED "SPECIAL WARRANTY DEED" RESERVED BY TEXACO REFINING AND MARKETING INC., A DELAWARE CORPORATION FOR INGRESS AND EGRESS RECORDED JULY 30, 1998 AS INSTRUMENT NUMBER 19980491383 OF OFFICIAL RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 9 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM FREEWAY UPON WHICH PREMISES ABUTS AS INSTRUMENT ENTITLED "FINAL ORDER OF CONDEMNATION" TO THE PEOPLE OF THE STATE OF CALIFORNIA ACTING BY AND THROUGH THE DEPARTMENT OF TRANSPORTATION RECORDED JANUARY 26, 2000 AS INSTRUMENT NUMBER 20000045629 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 10 REDEVELOPMENT PLAN AS ENTITLED "ORANGE MERGED AND AMENDED REDEVELOPMENT PROJECT AREA" EXECUTED BY THE CITY CLERK OF THE CITY OF ORANGE DATED NOVEMBER 28, 2001 RECORDED DECEMBER 03, 2001 AS INSTRUMENT NUMBER 20010869583 OF OFFICIAL RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 11 MATTERS CONTAINED IN INSTRUMENT ENTITLED "ACCESS AGREEMENT" EXECUTED BY EQUILON ENTERPRISES, LLC, A DELAWARE LIMITED LIABILITY COMPANY DBA SHELL OIL PRODUCTS US ("SHELL") AND MYKC PETRO, INC. ("LICENSOR") A CALIFORNIA CORPORATION DATED SEPTEMBER 25, 2007 RECORDED OCTOBER 05, 2007 AS INSTRUMENT NUMBER 200700601774 OF OFFICIAL RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 12 THROUGH 18 ARE NON SURVEY RELATED - NOT PLOTTED.

ITEM # 19 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM #'S 20 AND 21 ARE NON SURVEY RELATED - NOT PLOTTED.

THE ABOVE LISTED SCHEDULE B-I ITEMS ARE TRANSCRIBED FROM THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO.: 2676017569-48 DATED AS OF JULY 17, 2020

**FLOOD INFORMATION**

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 06059C0154J, WITH A DATE OF IDENTIFICATION OF DECEMBER 03, 2009, FOR COMMUNITY NUMBER 060212, IN ORANGE COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

ZONE "X" DENOTES AREAS OF MINIMAL FLOOD HAZARD

**RECORD DESCRIPTION**

APN: 361-401-23 AND 361-401-25

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, CITY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: PARCEL 2, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 40, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THOSE PORTIONS OF SAID LAND DESCRIBED AS PARCELS 101579-1 AND 101579-2 IN THE FINAL ORDER OF CONDEMNATION, A CERTIFIED COPY THEREOF BEING RECORDED OCTOBER 18, 1999 AS INSTRUMENT NO. 19990730949, OFFICIAL RECORDS.

ALSO EXCEPT FROM THE NORTHEASTERLY PORTION OF SAID LAND, AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE SUBSURFACE OF SAID LAND, LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, AS GRANTED TO ELIZABETH HILLMAN MCNAMARA, BY DEED RECORDED JANUARY 24, 1952 IN BOOK 2278, PAGE 356, OFFICIAL RECORDS, BUT WITHOUT THE RIGHT TO ENTER UPON THE SURFACE THEREOF, AS PROVIDED BY DEED RECORDED JULY 27, 1964 IN BOOK 7151, PAGE 576, OFFICIAL RECORDS.

PARCEL B: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 1, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 40, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID PARCEL, THENCE SOUTH 89° 26' 47" WEST ALONG THE NORTH LINE THEREOF 50.00 FEET; THENCE SOUTH 89° 25' 13" EAST 53.45 FEET TO THE EAST LINE OF SAID PARCEL 1 (ONE); THENCE NORTH 00° 40' 09" EAST ALONG SAID EAST LINE, 20.00 FEET TO THE POINT OF BEGINNING.

APNS: 361-401-23 AND 361-401-25

THE ABOVE DESCRIBED PARCEL OF LAND IS THE SAME AS THE PROPERTY DESCRIBED IN THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO.: 2676017568-48 DATED AS OF JUNE 29, 2020

**SCHEDULE 'B' ITEMS**

ITEM #'S 1 THROUGH 4 ARE NON SURVEY RELATED - NOT PLOTTED.

ITEM # 5 EASEMENT GRANTED TO SANTA ANA VALLEY IRRIGATION COMPANY, A CORPORATION FOR TO CONSTRUCT, MAINTAIN, REPLACE, REPAIR AND RENEW A CONDUIT AND PIPELINE FOR THE CONVEYANCE OF WATER AND RIGHTS INCIDENTAL RECORDED IN BOOK 896, PAGE 68 OF OFFICIAL RECORDS PLOTTED HEREON.

ITEM # 6 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM THE STREET OR HIGHWAY IN GRANT DEED (INDIVIDUAL) TO THE STATE OF CALIFORNIA DATED NOVEMBER 02, 1960 RECORDED JANUARY 17, 1961 IN BOOK 5592, PAGE 84 AS INSTRUMENT NUMBER 8127 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 7 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM THE STREET OR HIGHWAY IN GRANT DEED (INDIVIDUAL) TO THE STATE OF CALIFORNIA DATED DECEMBER 01, 1960 RECORDED FEBRUARY 07, 1961 IN BOOK 5620, PAGE 420 AS INSTRUMENT NUMBER 3562 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 8 EASEMENT GRANTED TO TEXACO, INC., A DELAWARE CORPORATION FOR : INGRESS AND EGRESS RECORDED JULY 13, 1971 IN BOOK 9716, PAGE 821 AS INSTRUMENT NUMBER 10053 OF OFFICIAL RECORDS - NOT PLOTTED - NO DOCUMENT AVAILABLE.

ITEM # 9 EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES RECORDED AUGUST 27, 1971 IN BOOK 9716, PAGE 111 AS INSTRUMENT NUMBER 25910 - NOT PLOTTED - NO DOCUMENT AVAILABLE.

ITEM # 10 EASEMENT GRANTED TO THE CITY OF ORANGE, A MUNICIPAL CORPORATION FOR ALL EXISTING UNDERGROUND AND OVERHEAD EASEMENTS RECORDED FEBRUARY 03, 1972 IN BOOK 9990, PAGE 44 AS INSTRUMENT NUMBER 3552 - NOT PLOTTED - THE LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT.

ITEM # 11 MATTERS AS CONTAINED OR REFERRED TO IN INSTRUMENT ENTITLED "PAY TELEPHONE LOCATION AGREEMENT" EXECUTED BY L & K LEASING AND SANTIAGO PLAZA CO., A CALIFORNIA LIMITED PARTNERSHIP DATED JULY 01, 1998 RECORDED JULY 10, 1998 AS INSTRUMENT NUMBER 19980443785 OF OFFICIAL RECORDS - NOT PLOTTED - THE LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT.

ITEM # 12 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM FREEWAY IN "FINAL ORDER OF CONDEMNATION" TO THE PEOPLE OF THE STATE OF CALIFORNIA ACTING BY AND THROUGH THE DEPARTMENT OF TRANSPORTATION RECORDED OCTOBER 18, 1999 AS INSTRUMENT NUMBER 19990730949 OF OFFICIAL RECORDS - PLOTTED HEREON.

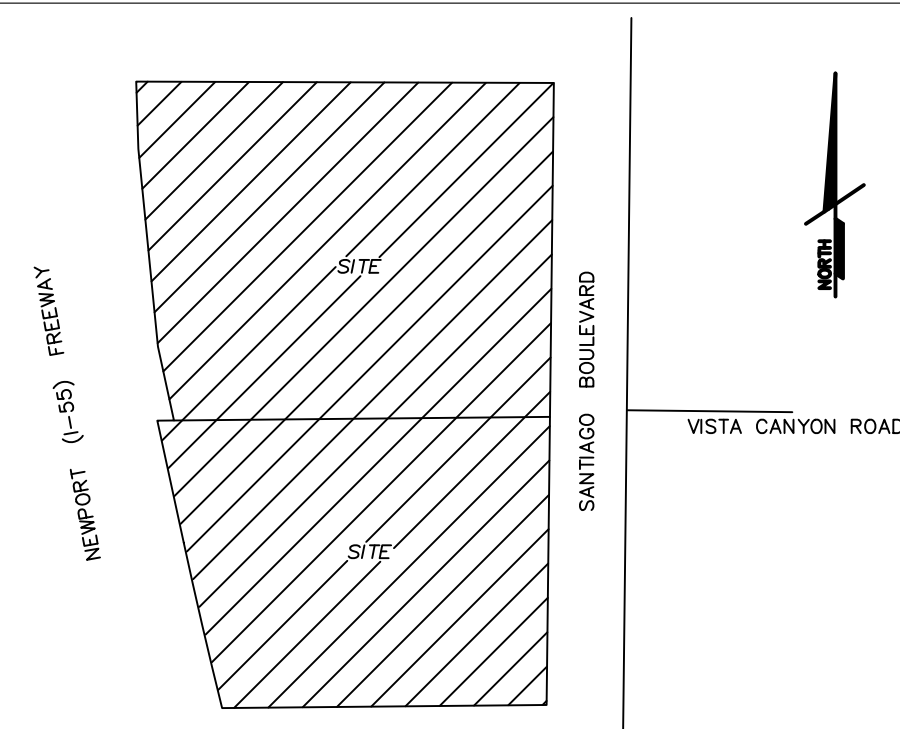
ITEM #'S 13 THROUGH 18 ARE NON SURVEY RELATED - NOT PLOTTED.

**BUILDING INFORMATION**

2640: 1,926.7 +/- SQ. FT. (FOOTPRINT)

2650: 6,882.3 +/- SQ. FT. (FOOTPRINT)

**VICINITY MAP**



**STATEMENT OF ENCROACHMENTS**

- A CURB ENCROACHES INTO RIGHT OF WAY BY 0.3'
- B CURB ENCROACHES INTO RIGHT OF WAY BY 2.0'
- C BUILDING ENCROACHES INTO EASEMENT ITEM # 5 BY 3.2'
- D FENCE ENCROACHES INTO SUBJECT PROPERTY BY 1.1'
- E FENCE ENCROACHES INTO SUBJECT PROPERTY BY 0.7'

**STATEMENT OF UTILITIES**

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE ONLY. WHILE THE INFORMATION IS ASSUMED TO BE ACCURATE, NO GUARANTEE IS MADE TO THE EXACT LOCATION OF THE UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION, THE SITE SHOULD BE POTHOLED TO DETERMINE THE EXACT LOCATION OF ANY OR ALL UTILITIES.

**BASIS OF BEARINGS**

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SANTIAGO BOULEVARD AS DEPICTED ON PARCEL MAP FILED IN BOOK 40, PAGE 7, ORANGE COUNTY RECORDS.

BEARING BEING NORTH 00° 40' 09" EAST.

**ZONING INFORMATION**

NO ZONING INFORMATION PROVIDED

**AREA OF PROPERTY**

PARCEL 1 (SOUTH): 28,075.47 SQUARE FEET OR 0.65 ACRE

PARCEL 2 (NORTH): 36,698.25 SQUARE FEET OR 0.84 ACRE

COMBINED TOTAL: 64,773.72 SQUARE FEET OR 1.49 ACRE

**BENCHMARK**

ORANGE COUNTY PUBLIC WORKS BENCHMARK NO. 2J-35-71

ELEVATION: (NAVD 88): 325.946

DESCRIPTION: DESCRIBED BY OCS 2002: FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2J-35-71" SET IN THE SOUTHWESTERLY CORNER OF A 10 FOOT BY 10 FOOT CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF THE INTERSECTION OF NOHL RANCH ROAD AND SANTIAGO BOULEVARD: 200 FEET EASTERLY OF THE CENTERLINE OF SANTIAGO BOULEVARD AND 33.4 FEET NORTHERLY OF THE CENTER OF THE MEDIAN ALONG NOHL RANCH ROAD

**PARKING INFORMATION**

REGULAR SPACES: 42  
HANDICAP SPACES: 4

TOTAL COMBINED PARKING SPACES: 46

Surveyor

SITETECH INC. logo and contact information: 8061 CHURCH STREET-PO BOX 592-HIGHLAND, CA 92346. PH: (909) 864-3180 FAX: (909) 864-0850 E-mail: jmayer@sitetechinc.com

**GENERAL NOTES**

- MN1 POSTED ADDRESS: 2640 N. SANTIAGO BOULEVARD.
- MN2 ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
- MN3 ASSESSOR'S PARCEL NO.'S.: 361-401-27 AND 361-401-23.
- MN4 THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- MN5 NO PROPOSED CHANGES IN ADJACENT STREET RIGHT OF WAY LINES.
- MN6 THERE WAS NO OBSERVABLE EVIDENCE OF SITE BEING USED FOR A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- MN7 ALL UTILITIES SHOWN HEREON ARE FROM ABOVE GROUND OBSERVATION.
- MN8 NO PROPERTY CORNERS WERE SET AT THE TIME OF SURVEY.
- MN9 THERE WAS NO OBSERVABLE EVIDENCE OF SITE BEING USED AS A CEMETERY.
- MN10 PHYSICAL STREET ACCESS IS FROM SANTIAGO BOULEVARD BEING A PUBLICLY DEDICATED STREET.
- MN11 NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- MN12 THE BOUNDARY OF THE PROPERTY CLOSES MATHEMATICALLY WITH NO GAPS, GORES OR OVERLAPS.
- MN13 THERE WAS NO FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST HIRED BY THE CLIENT. NO DELINEATION MARKERS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- MN14 PLOTTABLE OFFSITE (I.E. APPURTENANT) EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY PURSUANT TO SECTIONS 5 AND 6.

**ALTA/NSPS LAND TITLE SURVEY**

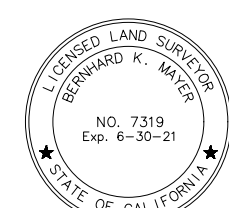
Surveyor's Certification

Orange

2640 N. Santiago Boulevard  
Orange, CA 92867  
County of Orange

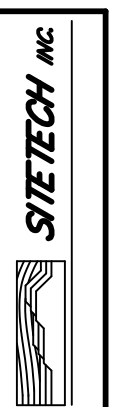
To: Old Republic Title Company; This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 8, 9, 10a, 13, 14, 16, 17, 18, and 20 of Table A thereof. The fieldwork was completed on April 25, 2021

Bernhard K. Mayer  
Registration No. P.L.S. 7319  
In the State of California  
Date of Plat or Map: 05/03/21  
Date of Revision: 05/06/21

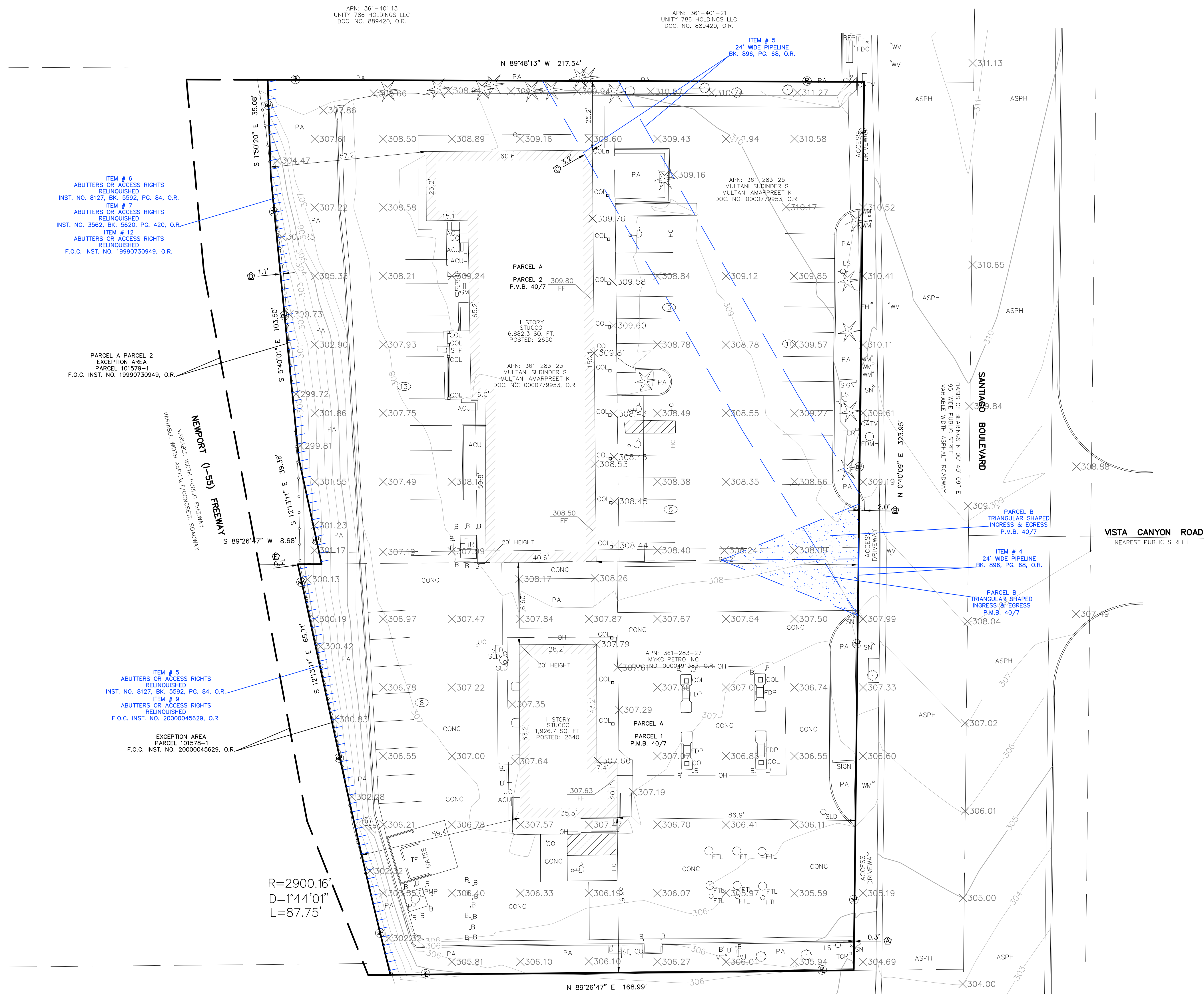


Survey Prepared By:  
SITETECH INC.  
8061 CHURCH STREET  
MAIL: PO BOX 592  
HIGHLAND, CA 92346  
(909) 864-3180

SITETECH, INC. logo and contact information: 8061 CHURCH STREET-PO BOX 592-HIGHLAND, CA 92346. Phone: (909) 864-3180 Fax: (909) 864-0850 Sheet 1 of 2







ITEM # 6  
ABUTTERS OR ACCESS RIGHTS  
RELINQUISHED  
INST. NO. 8127, BK. 5592, PG. 84, O.R.

ITEM # 7  
ABUTTERS OR ACCESS RIGHTS  
RELINQUISHED  
INST. NO. 3562, BK. 5620, PG. 420, O.R.

ITEM # 12  
ABUTTERS OR ACCESS RIGHTS  
RELINQUISHED  
F.O.C. INST. NO. 19990730949, O.R.

PARCEL A PARCEL 2  
EXCEPTION AREA  
PARCEL 101578-1  
F.O.C. INST. NO. 19990730949, O.R.

NEWPORT (1-55) FREEMAN  
VARIABLE WIDTH ASPHALT/CONCRETE ROADWAY

ITEM # 5  
ABUTTERS OR ACCESS RIGHTS  
RELINQUISHED  
INST. NO. 8127, BK. 5592, PG. 84, O.R.

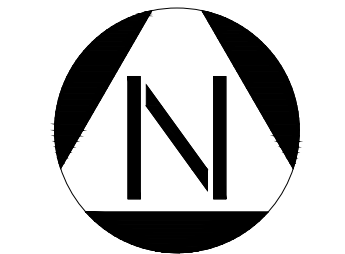
ITEM # 9  
ABUTTERS OR ACCESS RIGHTS  
RELINQUISHED  
F.O.C. INST. NO. 20000045629, O.R.

EXCEPTION AREA  
PARCEL 101578-1  
F.O.C. INST. NO. 20000045629, O.R.

R=2900.16'  
D=1°44'01"  
L=87.75'

### LEGEND

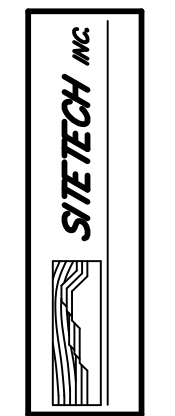
□	ACU	AIR COMPRESSOR UNIT
APN	ASSESSOR'S PARCEL NUMBER	
ASPH	ASPHALT	
○	B	BOLLARD
—	BFP	BACK FLOW PREVENTOR
BK.	BOOK	
□	CATV	CABLE TELEVISION VAULT
○	CO	CLEAN OUT
□	COL	COLUMN
	CONC	CONCRETE
DOC.	DOCUMENT	
○	EDMH	EDISON UTILITY MANHOLE
F.O.C.	FINAL ORDER OF CONDEMNATION	
•	FD	FOUND MONUMENT - AS NOTED
○	FDC	FIRE DEPARTMENT CHECK VALVE
○	FDP	FUEL DISPENSING PUMP
○	FFE	FINISHED FLOOR ELEVATION
○	FH	FIRE HYDRANT
○	FTL	FUEL TANK LID
□	GM	GAS METER
○	HC	HANDICAP
INST.	INSTRUMENT	
LS	LIGHT STANDARD	
NO.	NUMBER	
O.R.	OFFICIAL RECORDS	
OH	OVERHANG	
P.M.B.	PARCEL MAP BOOK	
PA	PLANTER AREA	
PG.	PAGE	
PL	PROPERTY LINE	
○	PMP	PUMP
○	PPT	PROPANE TANK
○	SLD	STEEL LID
SN	SIGN	
SP	SIGN POST	
SQ. FT.	SQUARE FEET	
TCR	TELE-COMMUNICATIONS RISER	
TE	TRASH ENCLOSURE	
TR	TRANSFORMER	
UC	UTILITY CABINET	
WM	WATER METER	
○	WV	WATER VALVE
—		BLOCK WALL - TYPICAL
—		PARKING SPACE COUNTER
—		HATCHED AREA - PAINTED
x 300.25		SPOT GRADES
—		CONTOUR LINES
—		FENCE CHAIN LINK - TYPICAL
---		EASEMENT LINES
★		TREE - PALM
○		TREE - DECIDUOUS



SCALE: 1"=20'



**SITE TECH, INC.**  
 8061 CHURCH STREET-PO BOX 592-HIGHLAND, CA 92346  
 PH: (909) 864-3180 FAX: (909) 864-0850





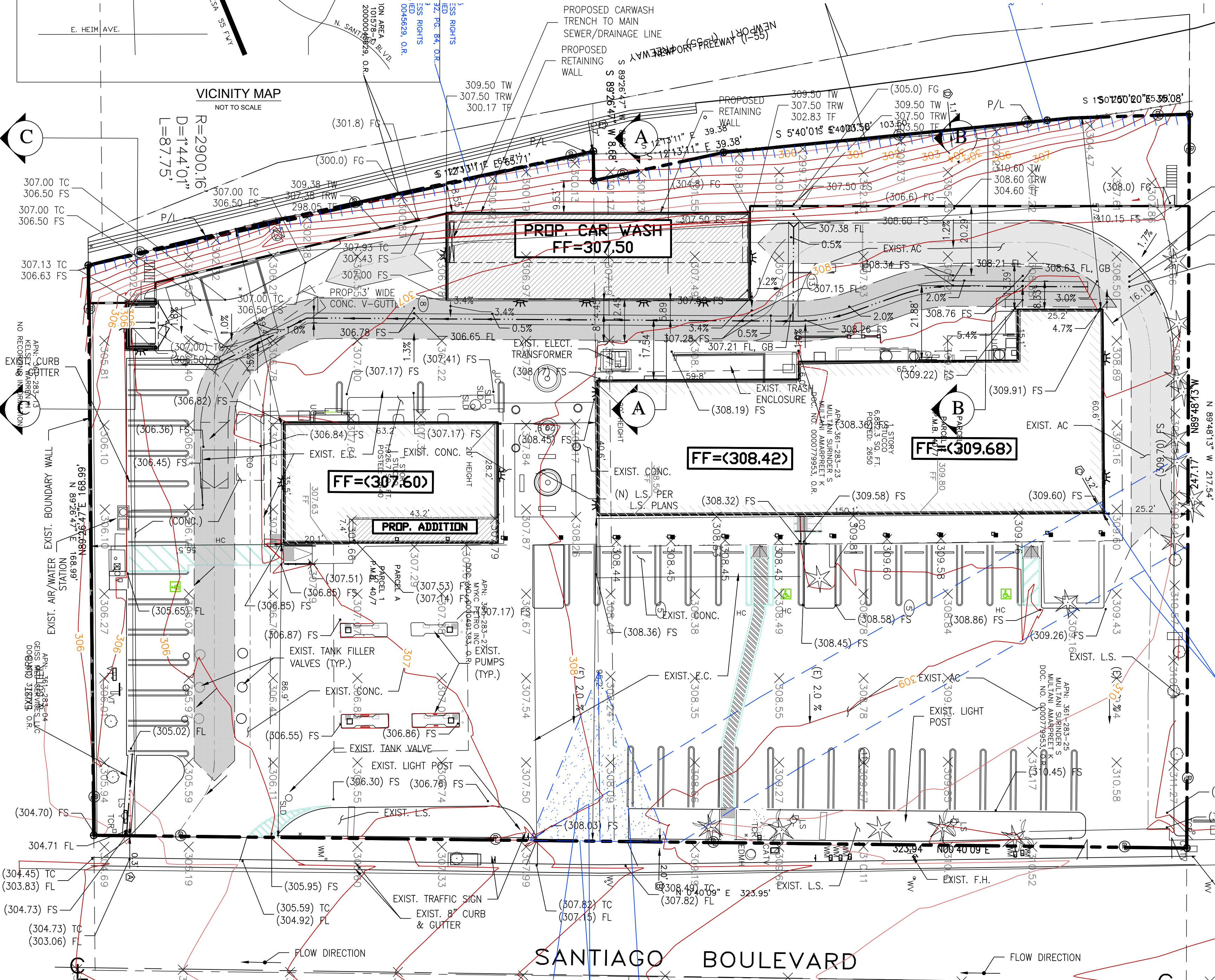
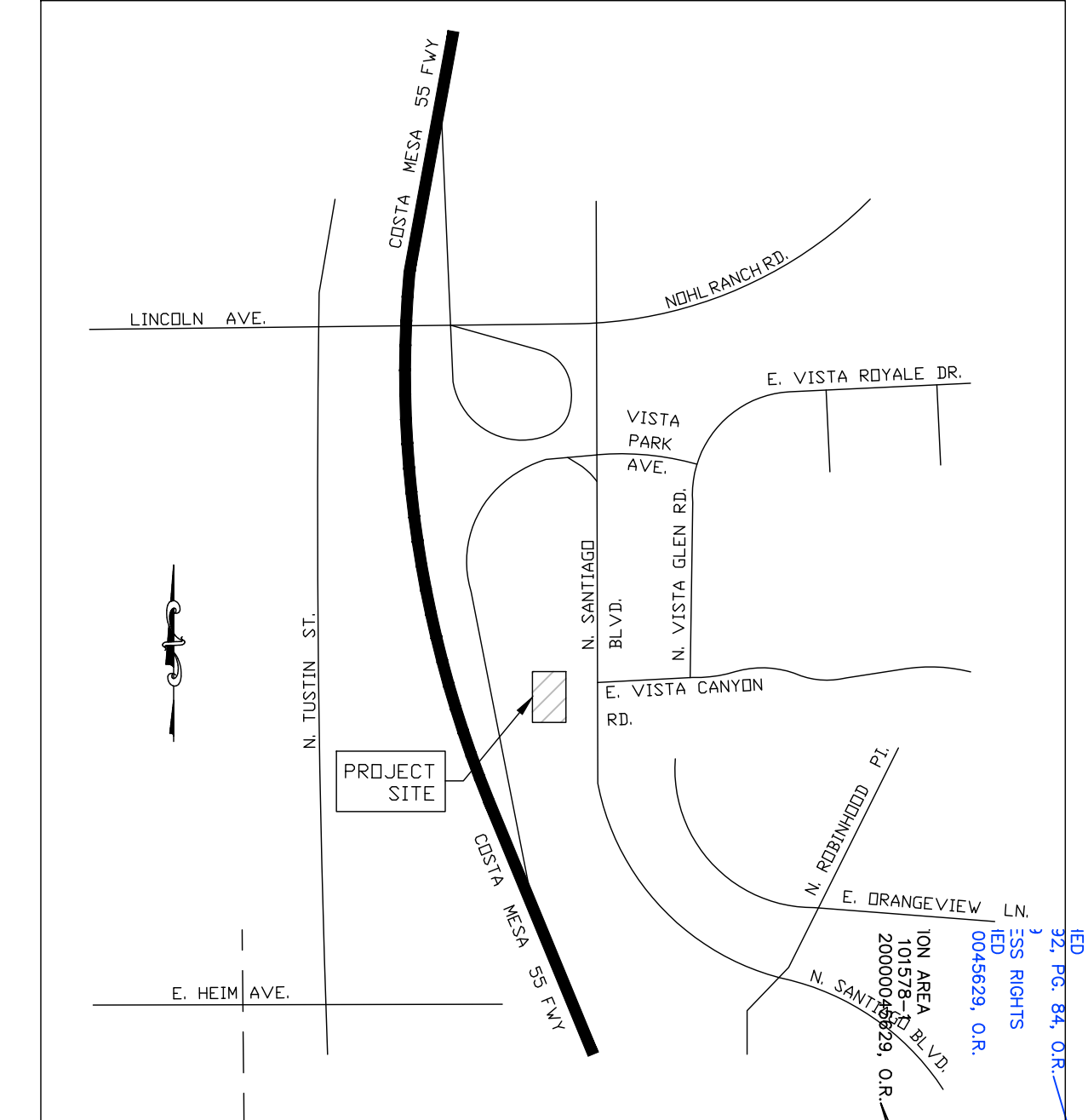
# CITY OF ORANGE

## CONCEPTUAL GRADING PLAN

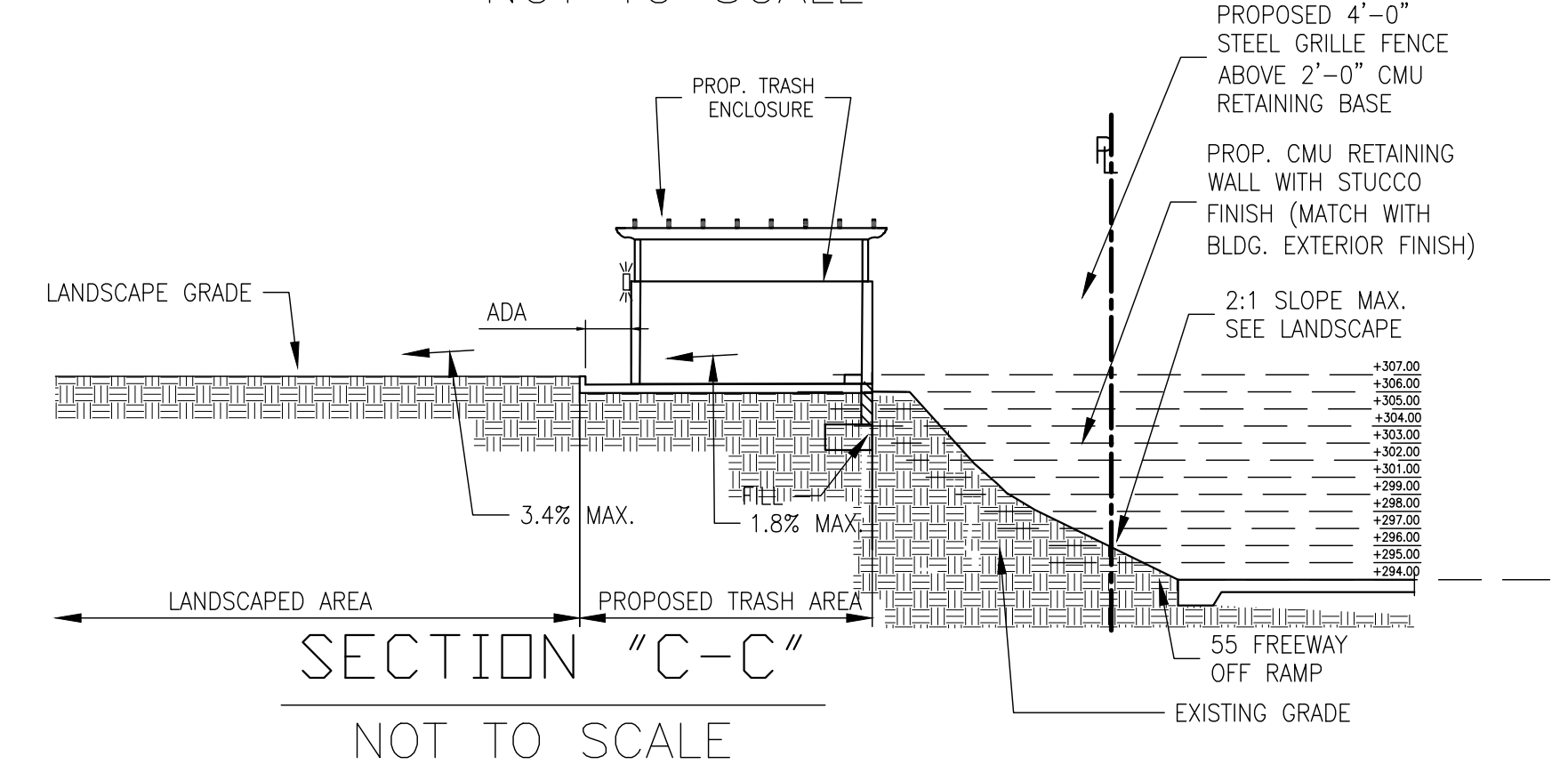
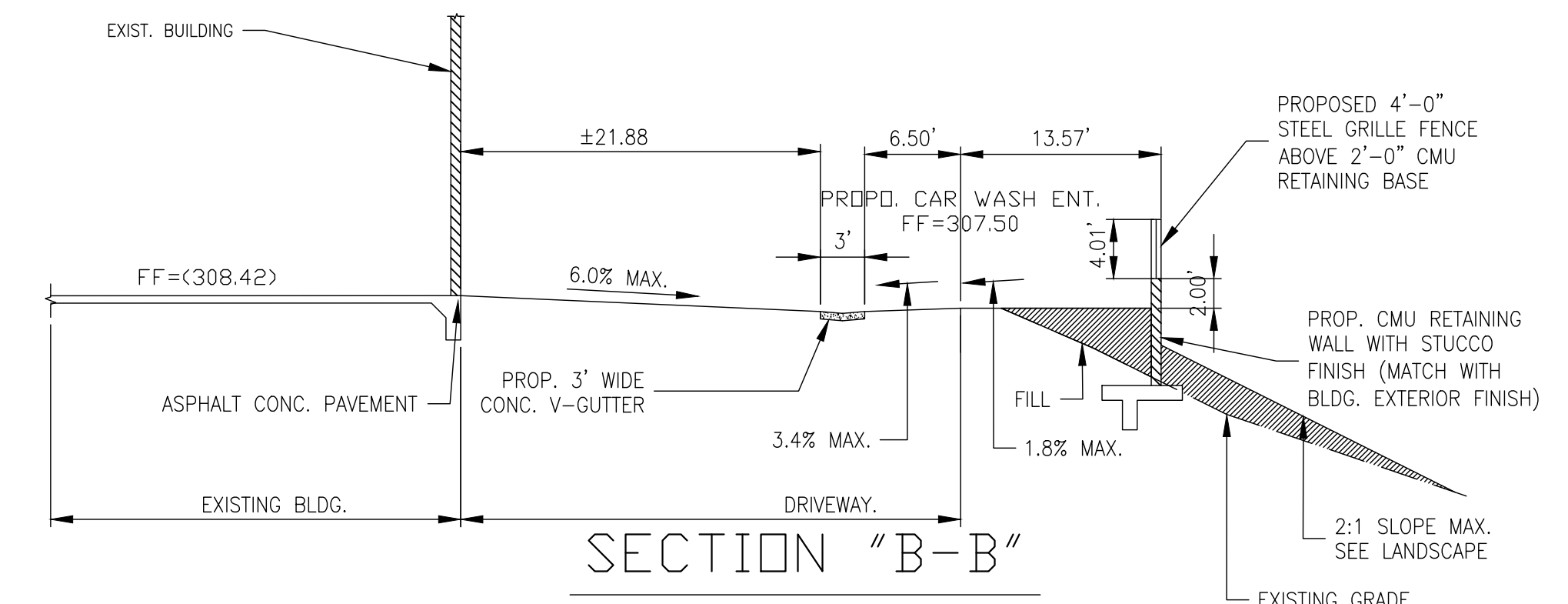
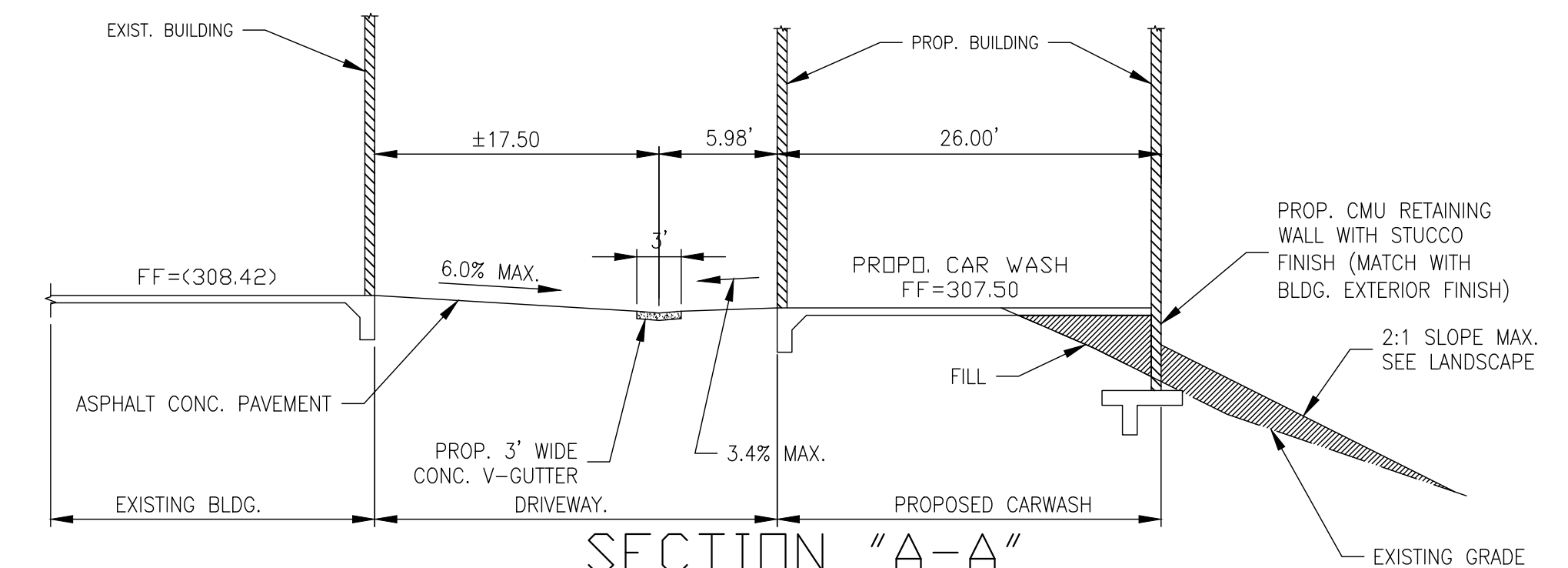
### PROPOSED ADDITION & REMODEL FOR EXISTING AUTO REPAIR SERVICE

#### 2640 N. SANTIAGO BLVD., ORANGE, CA 92867

- LEGEND:**
- PROPOSED RETAINING WALL
  - FLOW LINE
  - PROPERTY LINE
  - RIGHT-OF-WAY
  - CENTERLINE
  - EXISTING CONTOUR
  - SLOPE
- AC = ASPHALT PAVEMENT  
 LF = LINEAL FOOT  
 SF = SQUARE FOOT  
 EA = EACH  
 HP = HIGH POINT  
 FL = FLOW LINE  
 C/L = CENTERLINE  
 R/W = RIGHT-OF-WAY  
 P/L = PROPERTY LINE  
 (306.92) = EXISTING ELEVATION  
 306.99 = PROPOSED ELEVATION  
 BW = BACK OF EXISTING SIDE WALK  
 CONC. = CONCRETE SURFACE  
 E.C. = EDGE OF CONCRETE SURFACE  
 DF = DEEPENED FOOTING  
 FG = FINISH GRADE  
 FS = FINISH SURFACE  
 FF = FINISHED FLOOR  
 GB = GRADE BREAK  
 L.S. = LANDSCAPE AREA  
 TC = TOP OF CURB  
 TW = TOP OF WALL  
 TRW = TOP OF RETAINING WALL



**NOTE:**  
 A BUILDING PERMIT IS ALSO REQUIRED FOR RETAINING WALLS OVER 4 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL PRIOR TO CONSTRUCTION. STRUCTURAL DETAILS AND DESIGN CALCULATIONS SHALL BE SUBMITTED AS A SEPARATE DOCUMENT AND WILL BE REVIEWED AND PERMITTED BY THE CITY BUILDING DIVISION, PRIOR TO THE ISSUANCE OF A GRADING PERMIT.



Underground Service Alert

Call: TOLL FREE 1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:

**SHIV D. TALWAR** LICENSED ARCHITECT NO. C-23417 DATE 05/07/2021

**DESIGN CONCEPTS**  
 SHIV TALWAR, ARCHITECT AIA  
 3340 RIVERSIDE DRIVE #M. CHINO, CA. 91710  
 TEL: 909-591-3939 Email: dsignconcepts@yahoo.com

MARK	REVISIONS	BY	APPR.	DATE

BENCH MARK:

APPROVED \_\_\_\_\_ 2021

SENIOR CIVIL ENGINEER  
 REGISTERED CIVIL ENGINEER NO. \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

RECOMMENDED BY: \_\_\_\_\_

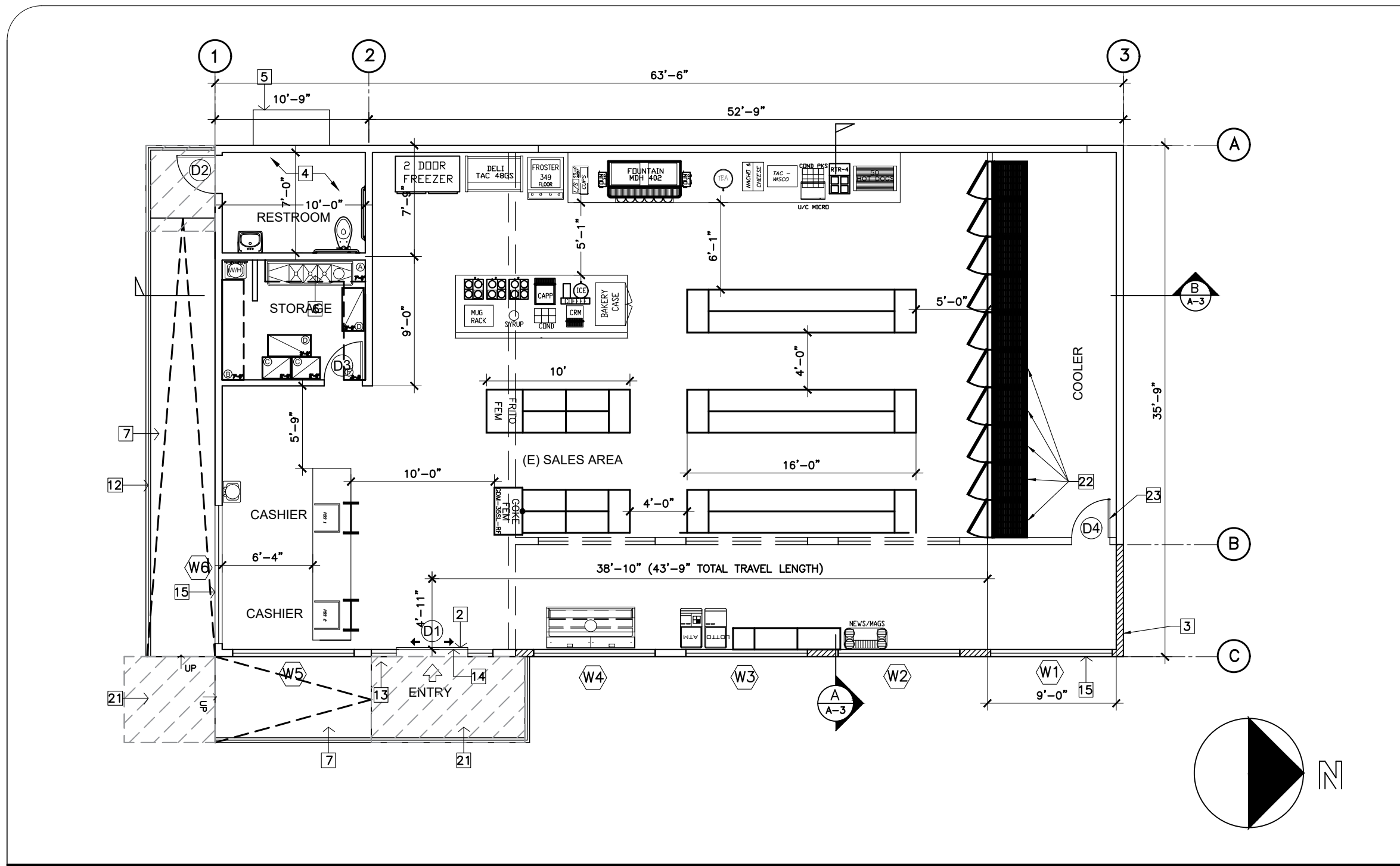
**CITY OF ORANGE**  
 DEPARTMENT OF PUBLIC WORKS  
**CONCEPTUAL GRADING PLAN**  
 2640 N. SANTIAGO BOULEVARD  
 ORANGE, CA 92867  
**GRADING PLAN**

DRAWING NO. C-1

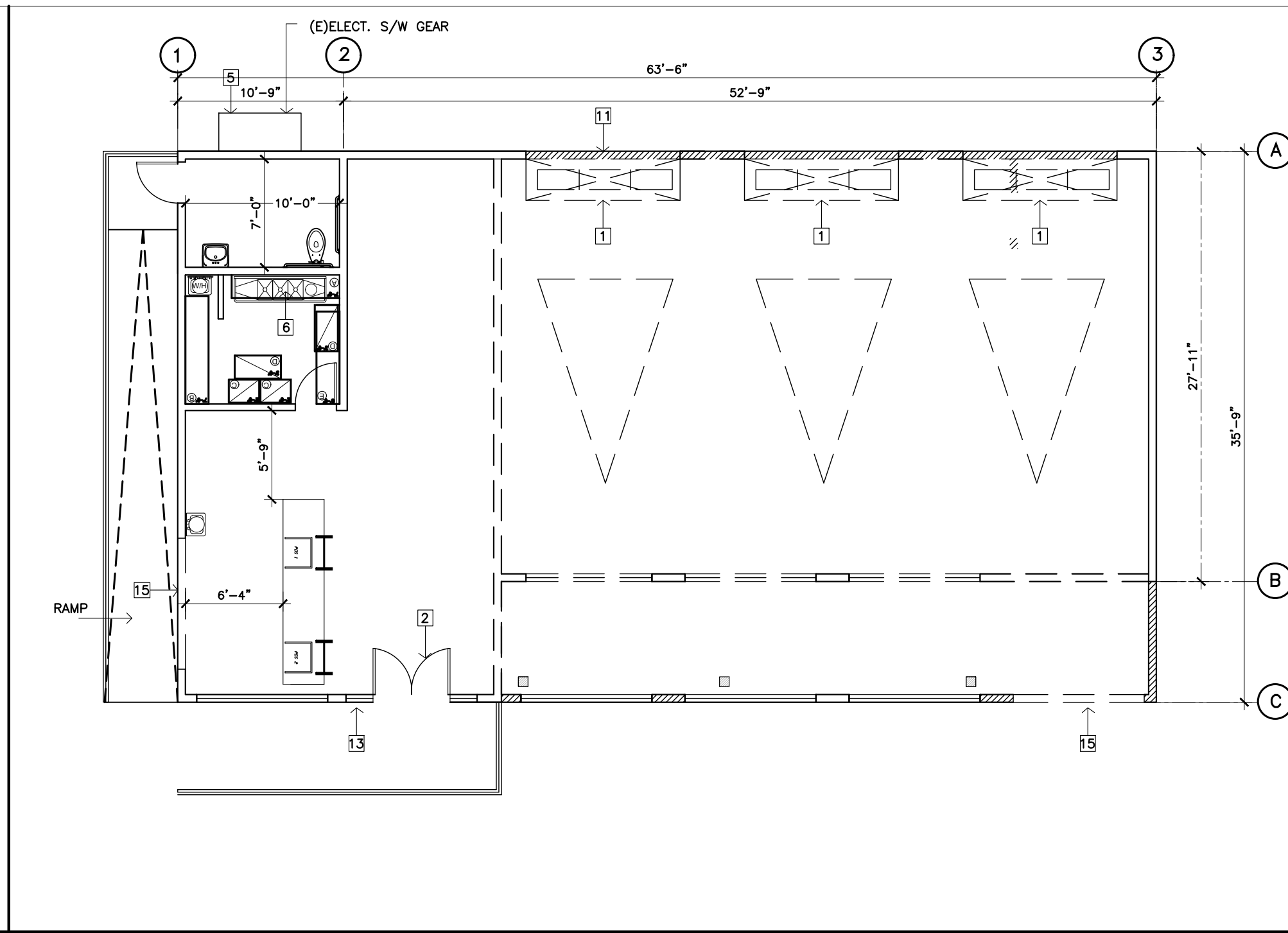
SHEET 1 OF 1 SHEETS

FOR CITY USE ONLY: FILE NO. \_\_\_\_\_ W.O. NO. \_\_\_\_\_





C-STORE PROPOSED PLAN SCALE: 1/8"=1'-0" 5

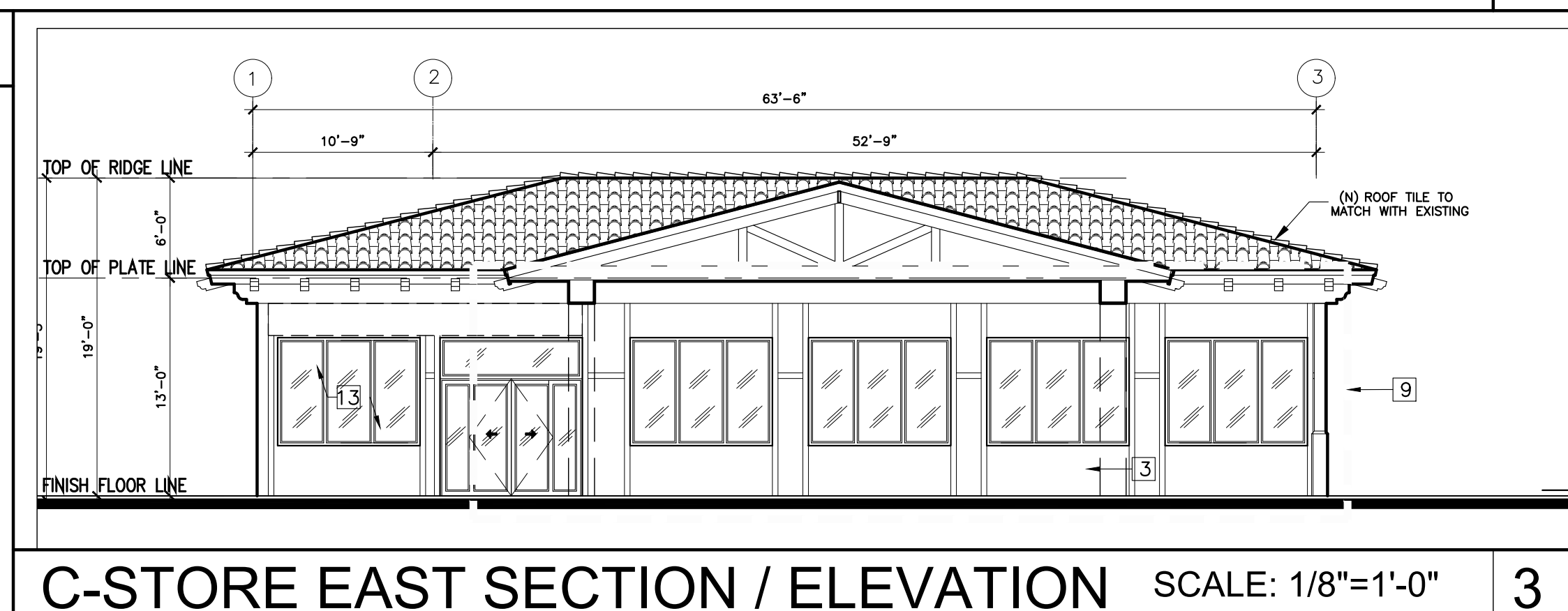


C-STORE DEMOLITION & PROPOSED WALL PLAN SCALE: 1/8"=1'-0" 4

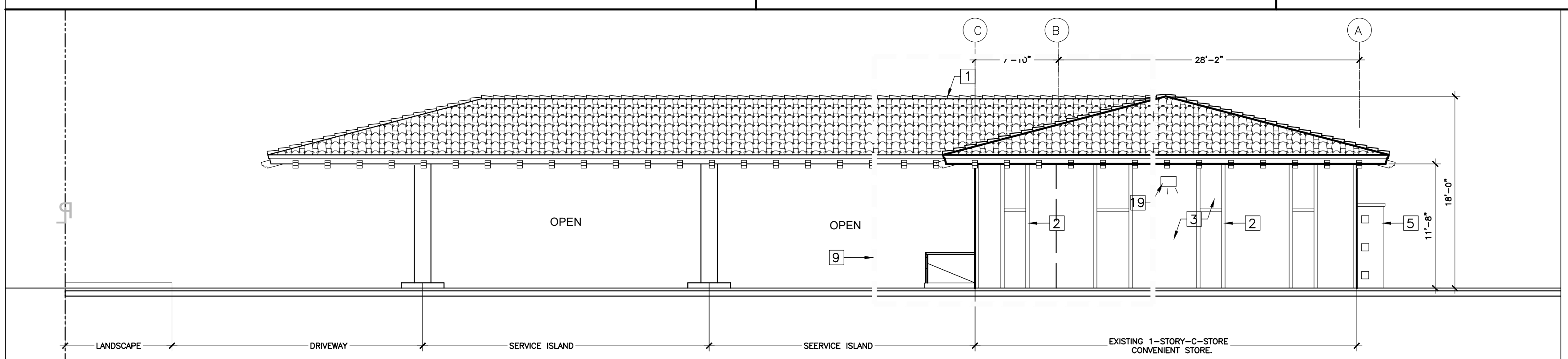
- PROPOSED C-STORE PLAN KEYNOTES**
- EXISTING ROLLING DOOR TO BE DEMOLISHED
  - EXISTING DOOR TO BE DEMOLISHED AND REPLACED WITH (N) SLIDING DOOR
  - EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT BAG OF GOLD: 0897)
  - (N) ACCESSIBLE RESTROOM
  - (E) ELECTRICAL PANEL TO REMAIN
  - (E) SINK TO REMAIN
  - HANDICAP RAMP
  - NOT IN USE
  - NOT IN USE
  - NOT IN USE
  - CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT WHITE SHADOW 37)
  - HANDRAIL FOR ADA
  - EXISTING STORE FRONT
  - EXISTING STORE FRONT SIGNAGE
  - INSTALL NEW WINDOWS TO PROPOSED ADDITION
  - NOT IN USE
  - NOT IN USE
  - NOT IN USE
  - NOT IN USE
  - NOT IN USE
  - LEVEL LENDING
  - WALK IN COOLER
  - (N) DOOR TO BE BUILT
- SEE SHEET F-1 FOR EQUIPMENT SCHEDULE.

- PROPOSED C-STORE ELEVATION KEYNOTES**
- EXISTING ROOF TILE TO REMAIN
  - EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
  - EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT WHITE SHADOW 37)
  - PROPOSED NEW 2" HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529). SEE SHEET A-1.1
  - (E) ELECTRICAL PANEL TO REMAIN
  - (E) A/C CONDENSER TO REMAIN
  - HANDICAP RAMP
  - SCOPE OF WORK FOR ADDITION AND CONVERSION TO COMPLETE CONVENIENCE STORE - ADDITION COLOR FINISH TO MATCH EXISTING
  - NOT IN USE
  - CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
  - HANDRAIL FOR ADA
  - EXISTING STORE FRONT
  - INSTALL NEW WINDOWS TO PROPOSED ADDITION
  - NOT IN USE
  - NOT IN USE
  - NOT IN USE
  - WALL PACK (WALL MOUNTED) LIGHT SYSTEM (SEE LIGHTING PLAN)

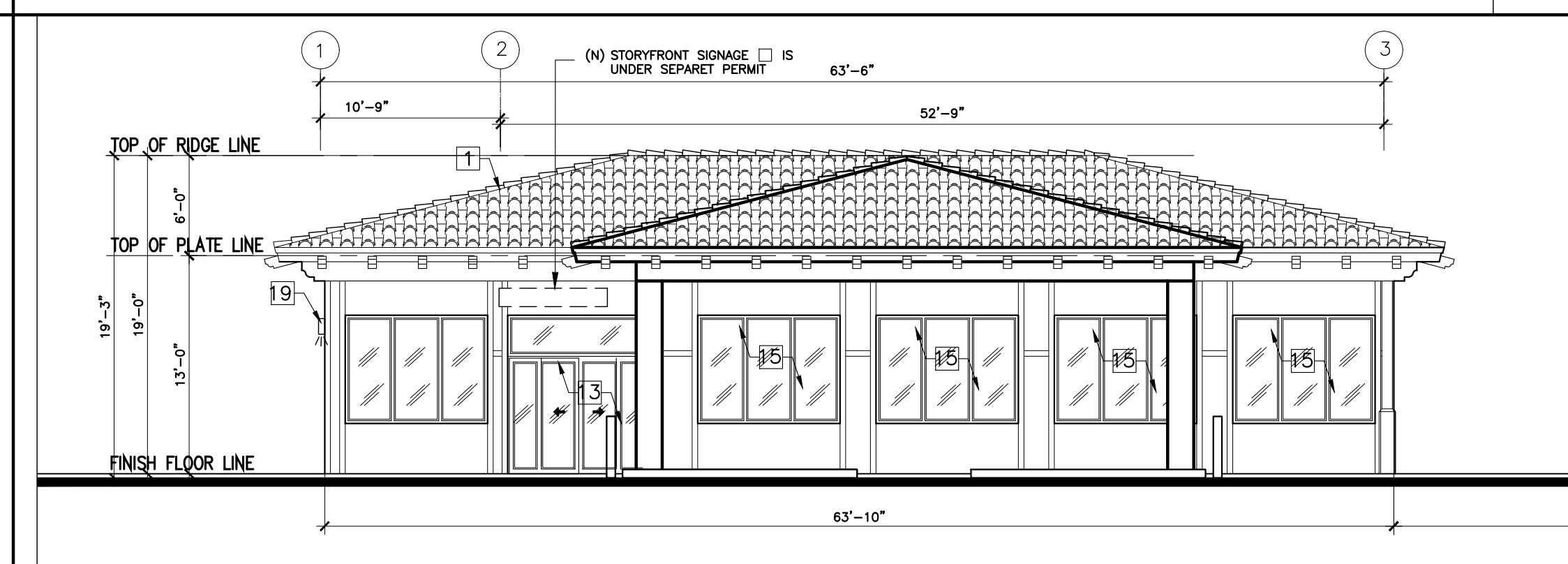
- DEMOLITION PLAN KEYNOTES**
- EXISTING CAR REPAIR EQUIPMENT SHOP TO BE DEMOLISHED
- FLOOR PLAN GENERAL NOTES**
- PROVIDE BACKING FOR WALL-HUNG FIXTURE UNITS.
  - ALL DOORS OPENING TO THE OUTSIDE ARE REQUIRED TO HAVE SELF-CLOSING DEVICES
  - DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- LEGEND**
- (N) WALL TO BE CONSTRUCTED
  - WALLS TO BE REMOVED
  - (E) WALL TO REMAIN
  - DOOR TO BE REMOVED
  - WINDOW TO BE REMOVED
  - (E) EXISTING
  - (N) NEW



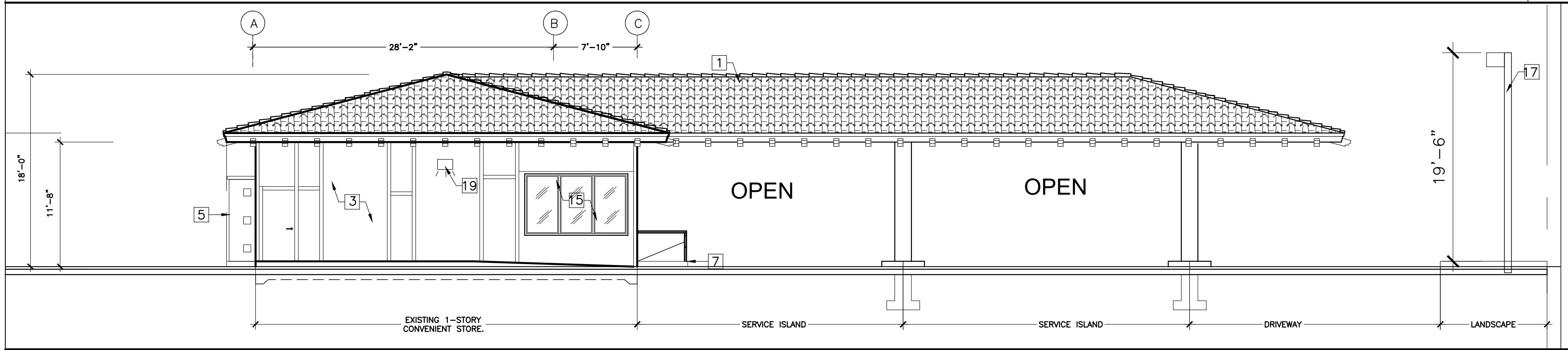
C-STORE EAST SECTION / ELEVATION SCALE: 1/8"=1'-0" 3



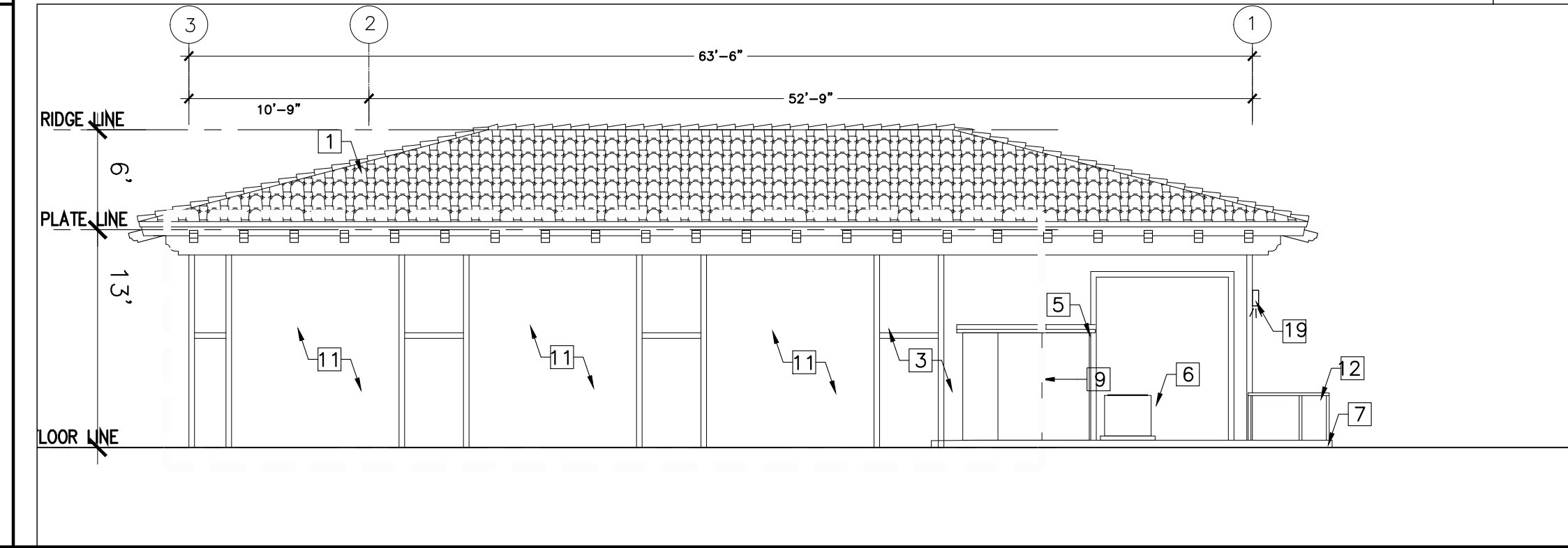
C-STORE NORTH ELEVATION SCALE: 1/8"=1'-0" 6



C-STORE EAST ELEVATION SCALE: 1/8"=1'-0" 2

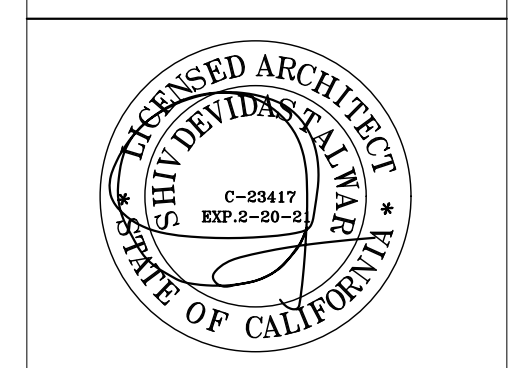


C-STORE SOUTH ELEVATION SCALE: 1/8" = 1'-0" 7



C-STORE WEST ELEVATION SCALE: 1/8" = 1'-0" 1

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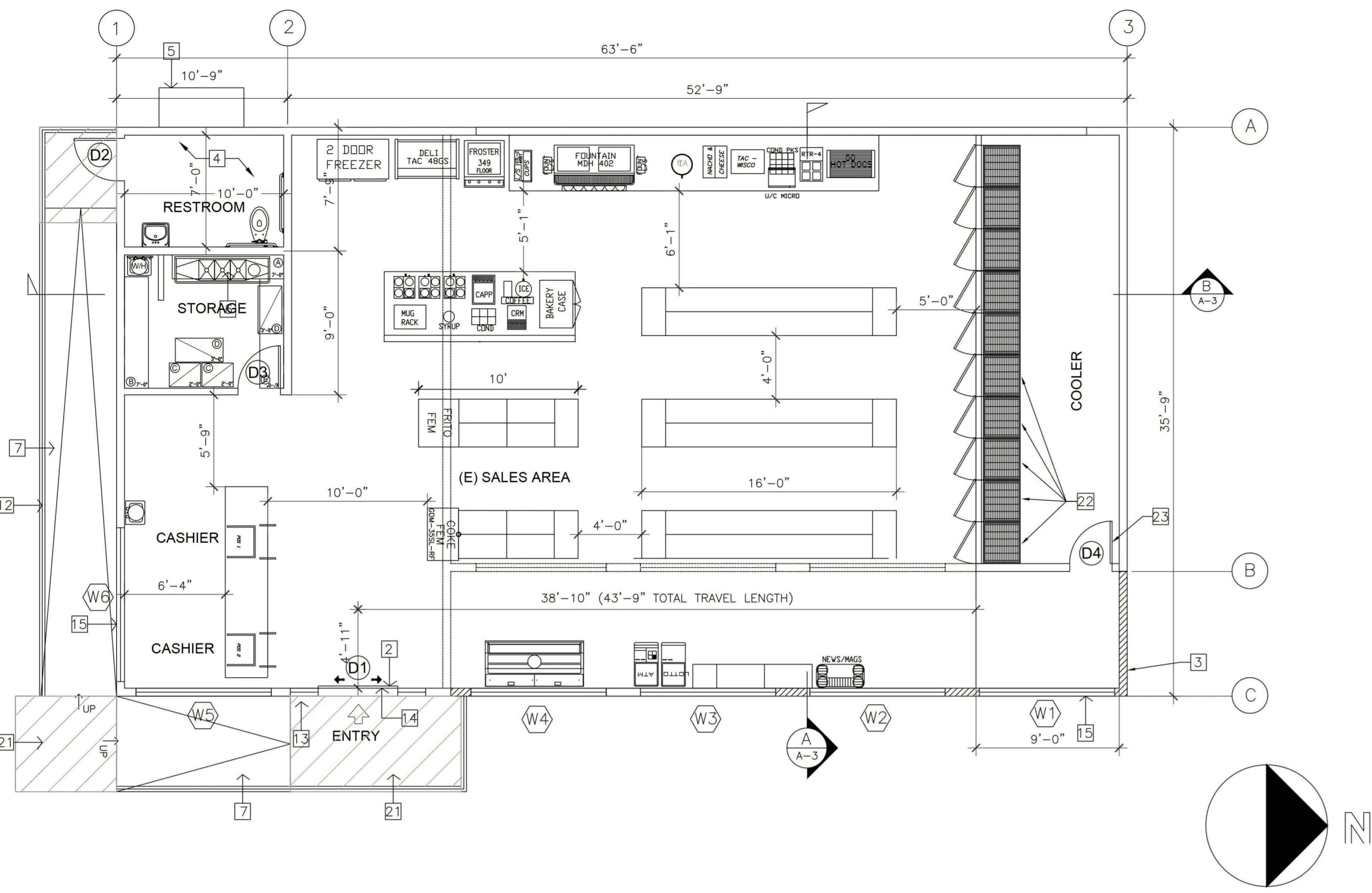
**DESIGN CONCEPTS**  
**SHIV TALWAR, ARCHITECT AIA**  
 3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710  
 TEL: 909-591-3939 designconcepts@yahoo.com

NO.	DATE	ISSUED	DRC
	10/02/19		DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	06/06/21		REVISION ON 08/05 DRC

DRAWING TITLE: PROPOSED PRELIMINARY FLOOR PLAN  
 JOB TITLE: ADDITION & REMODEL (CUP APPLICATION)  
 SANTIAGO CENTER  
 JOB ADDRESS: 2640 N. SANTIAGO BLVD. ORANGE, CA. 92667

JOB NO. 2019-36  
 DWG. NO. A-1 REVISION NO. 1

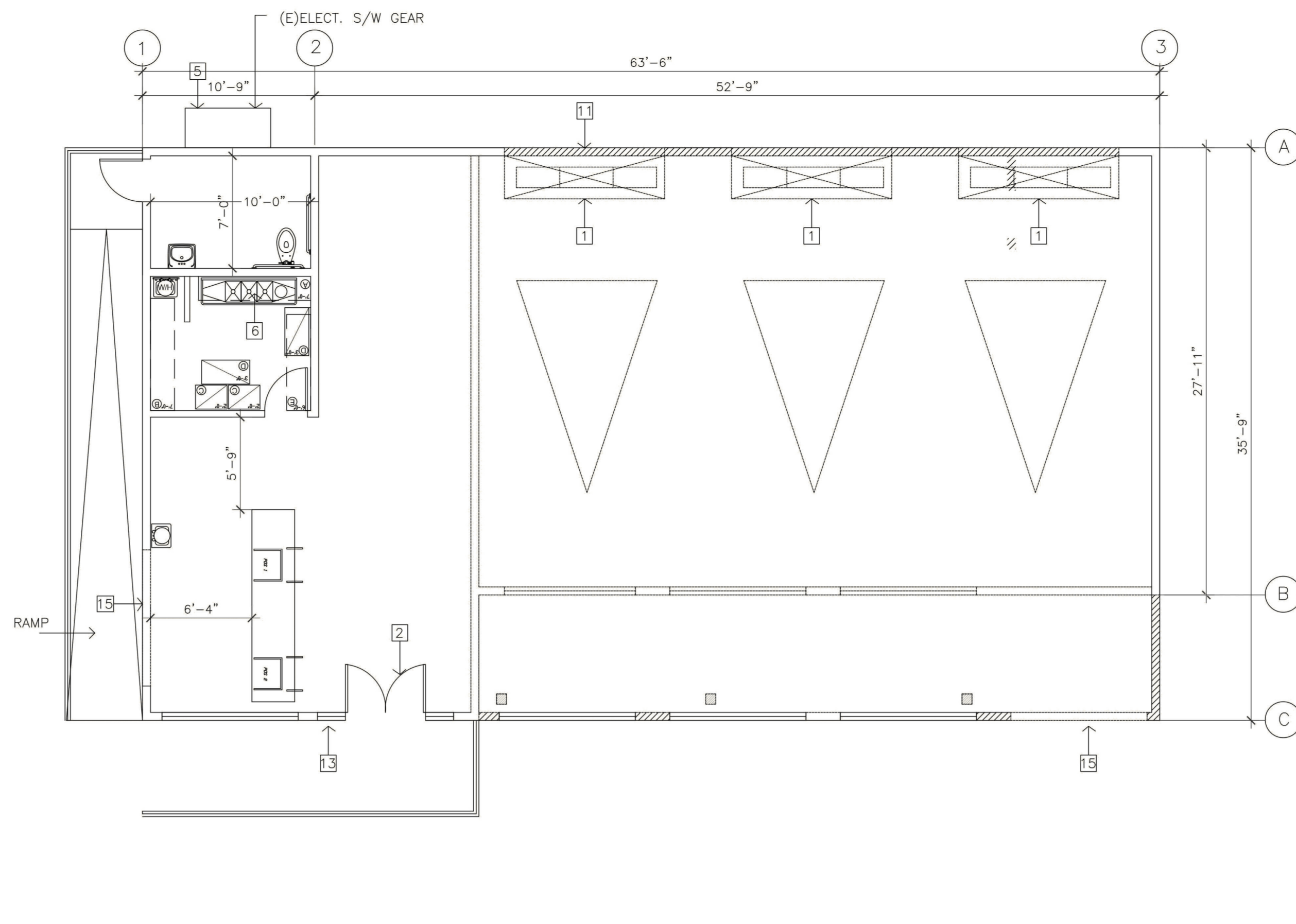




C-STORE PROPOSED PLAN

SCALE: 1/8"=1'-0"

5



C-STORE DEMOLITION & PROPOSED WALL PLAN

SCALE: 1/8"=1'-0"

4

PROPOSED C-STORE PLAN KEYNOTES

- EXISTING ROLLING DOOR TO BE DEMOLISH
- EXISTING DOOR TO BE DEMOLISH AND REPLACED WITH (N) SLIDING DOOR
- EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT BAG OF GOLD: 0897)
- (N) ACCESSIBLE RESTROOM
- (E) ELECTRICAL PANEL TO REMAIN
- (E) SINK TO REMAIN
- HANDICAP RAMP
- NOT IN USE
- NOT IN USE
- NOT IN USE
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- EXISTING STORE FRONT SIGNAGE
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- NOT IN USE
- NOT IN USE
- NOT IN USE
- NOT IN USE
- NOT IN USE
- LEVEL LENDING
- WALK IN COOLER
- (N) DOOR TO BE BUILD

SEE SHEET F-1 FOR EQUIPMENT SCHEDULE.

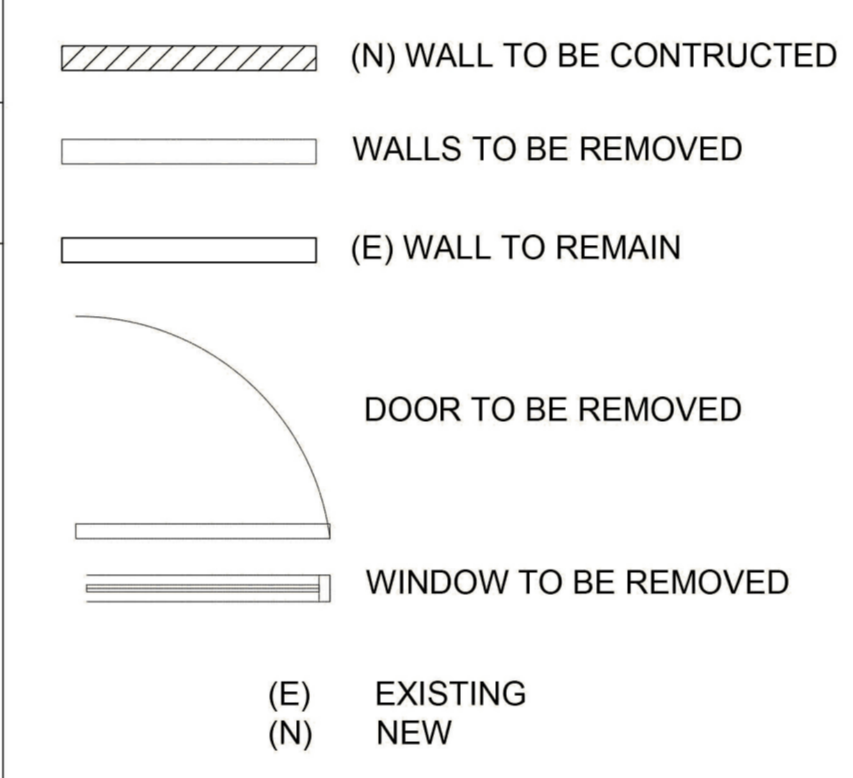
PROPOSED C-STORE ELEVATION KEYNOTES

- EXISTING ROOF TILE TO REMAIN
- EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- EXISTING AND NEW STUCCO TEXTURED PAINT VISTA PAINT 37 WHITE SHADOW
- PROPOSED NEW 2" HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529). SEE SHEET A-1.1
- (E) ELECTRICAL PANEL TO REMAIN
- (E) A/C CONDENSER TO REMAIN
- HANDICAP RAMP
- SCOPE OF WORK FOR ADDITION AND CONVERSION TO COMPLETE CONVENIENCE STORE - ADDITION COLOR FINISH TO MATCH EXISTING
- NOT IN USE
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED VISTA PAINT 37 WHITE SHADOW
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- NOT IN USE
- NOT IN USE
- NOT IN USE
- WALL MOUNTED LIGHT SYSTEM AROUND A TRASH ENCLOSURE

DEMOLITION PLAN KEYNOTES

- EXISTING CAR REPAIR EQUIPMENT SHOP TO BE DEMOLISHED
- FLOOR PLAN GENERAL NOTES**
- PROVIDE BACKING FOR WALL-HUNG FIXTURE UNITS.
  - ALL DOORS OPENING TO THE OUTSIDE ARE REQUIRED TO HAVE SELF-CLOSING DEVICES
  - DOORS SHALL BE OPERABLE FROM THE NSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.

LEGEND



C-STORE EAST SECTION / ELEVATION

SCALE: 1/8"=1'-0"

3



C-STORE NORTH ELEVATION

SCALE: 1/8"=1'-0"

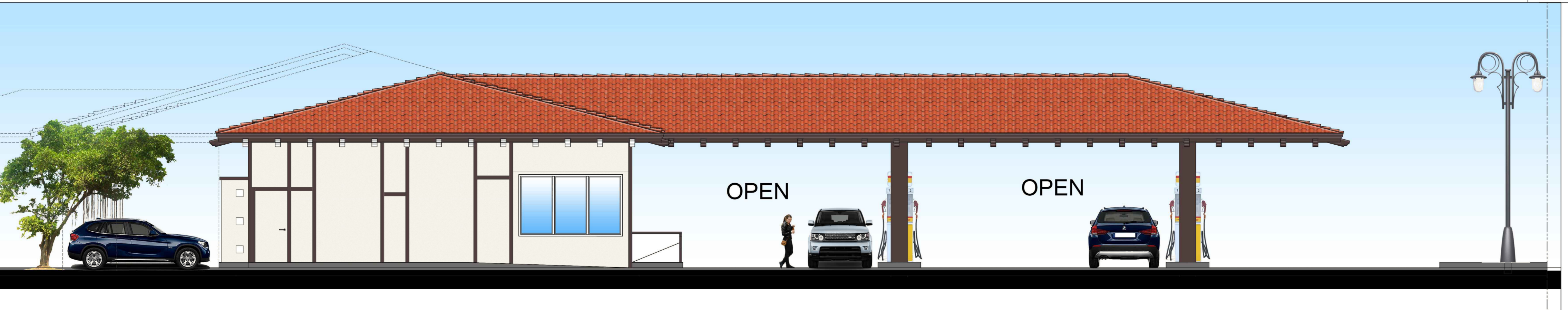
6



C-STORE EAST ELEVATION

SCALE: 1/8"=1'-0"

2



C-STORE SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

7

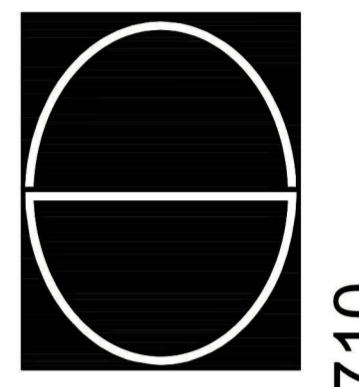


C-STORE WEST ELEVATION

SCALE: 1/8" = 1'-0"

1

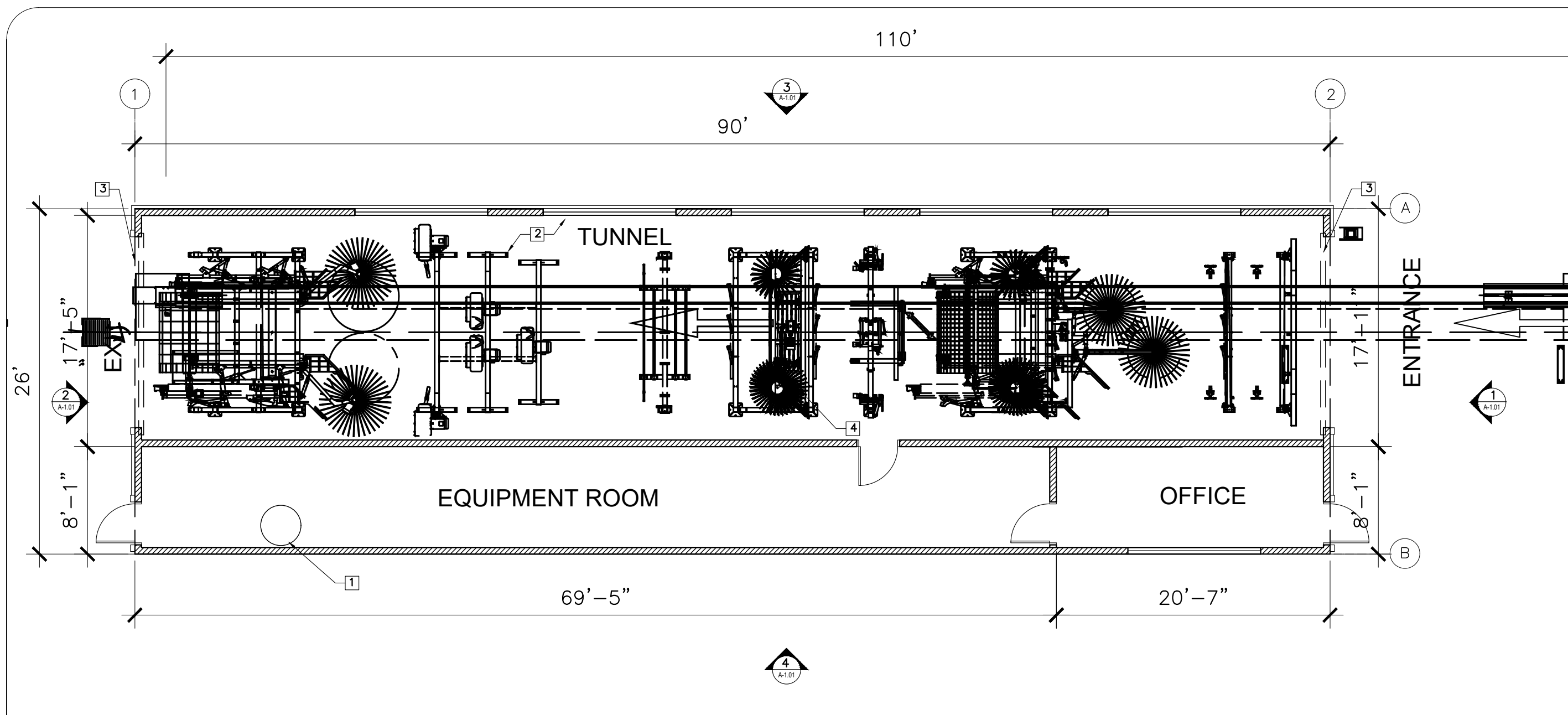
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**DESIGN CONCEPTS**  
**SHIV TALWAR, ARCHITECT AIA**  
 3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710  
 TEL: 909-591-3939 designconcepts@yahoo.com

DRAWING TITLE	PROPOSED PRELIMINARY FLOOR PLAN
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION)
JOB ADDRESS	SANTIAGO CENTER 2640 N. SANTIAGO BLVD. ORANGE, CA. 92667
JOB NO.	2013-36
DWG. NO.	A-1
REVISION NO.	1
NO.	
DATE	10/02/19
ISSUED	
DRC	





PROPOSED CAR WASH LAYOUT PLAN

SCALE : 1/8" = 1' - 0"

6

Equipment Schedule					
ITEM	QUANTITY	DESCRIPTION	MANUFACTURED BY:		
			BELANGER	OTHER:	
1	1	INGROUND COORELATOR	X		
2	1	145" DURATRANS CONVEYOR	X		
3	1	ROLLER UP TREADLE	X		
4	2	PREP JET WANDS	X		
5	1	ICS TUNNEL MASTER	X		
6	2	ENTRY PHOTO EYES	X		
7	1	CHAMELEON DUAL ARCH - PRESOAK #1	X		
8	2	CHEMICAL TIRE APPLICATORS	X		
9	1	DURASCRUBBER	X		
10	1	WHISPER TOPWHEEL #1	X		
11	2	DURABLASTERS	X		
12	1	CHAMELEON ARCH - PRESOAK #2	X		
13	2	LOW SIDE WASHERS	X		
14	2	GYRO WRAPS (SET #1)	X		
15	1	CHAMELEON ARCH - TRIPLE FOAM	X		
16	1	WHISPER TOPWHEEL #2	X		
17	2	SINGLE FOAM PODS	X		
18	2	GYRO WRAPS (SET #2)	X		
19	2	FULLSIDE WASHERS	X		
20	2	TWIST'N FLIP ARCH - HIGH PRESSURE	X		
21	1	CHAMELEON ARCH - DRYING AGENT/RINSE	X		
22	1	CHAMELEON ARCH - RAIN-X	X		
23	1	CHAMELEON ARCH - SPOT FREE	X		
24	1	RAIN MANIFOLD	X		
25	1	AIRBLADE DRYER - FLASH DRY	X		
26	1	CHAMELEON UTILITY ARCH	X		
27	1	DURASHINER CV	X		
28	2	ANTI COLLISION PHOTO EYES (BAY)	X		
29	7	AIRCANNON DRYERS	X		
30	2	ANTI COLLISION PHOTO EYES (EXIT)	X		

Equipment Schedule					
ITEM	QUANTITY	DESCRIPTION	MANUFACTURED BY:		
			BELANGER	OTHER:	
31	1	PREP JET PUMP STATION	X		
32	1	MIXSTIR - CTA	X		
33	1	MIXSTIR - DUAL PRESOAK	X		
34	5	MIXSTIR - FOAMING	X		
35	1	ENDURO SDM	X		
36	9	COMPONENT PNEUMATIC PANELS	X		
37	2	AIR COMPRESSORS	X		
38	1	DURAFLO10 PUMP STATION	X		
39	1	DURAFLO15 PUMP STATION	X		
40	1	CARWASH CONTROLLER		X	
41	1	SYSTEM MCC PANEL	X		
42	2	RO STORAGE TANKS		X	
43	1	RO UNIT		X	
44	1	DURASHINER CONTROL PANEL	X		
45	1	7.5HP HYDRAULIC UNIT	X		
46	1	DRYER MCC PANEL	X		

BELANGER, INC. STANDARD NOTE TO CONTRACTORS:  
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PROPOSED CARWASH PLAN KEYNOTES

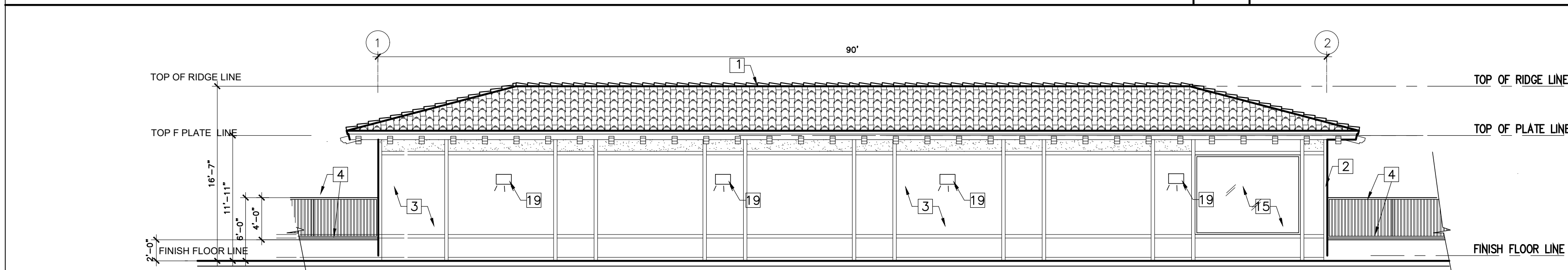
- VACUUM MACHINE
- CARWASH TUNNEL
- ROLL-UP SHUTTER
- TUNNEL EQUIPMENT (SEE EQUIPMENT SCHEDULE A-1.1)

PROPOSED CARWASH ELEVATION KEYNOTES

- (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
- (N) DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- NEW STUCCO TEXTURED PAINT (VISTA PAINT WHITE SHADOW 37)
- PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4' HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
- NOT IN USE
- NOT IN USE
- HANDRAIL FOR ADA
- NEW WINDOWS TO FOR CAR WASH
- NOT IN USE
- NOT IN USE
- CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
- WALL PACK (WALL MOUNTED) LIGHT SYSTEM WITH DOWNWARD DIRECTIONAL BEAMS (SEE LIGHTING DETAILS)
- RETAINING WALL ALONG CAR WASH STRUCTURE NEAR SLOPE

LEGEND

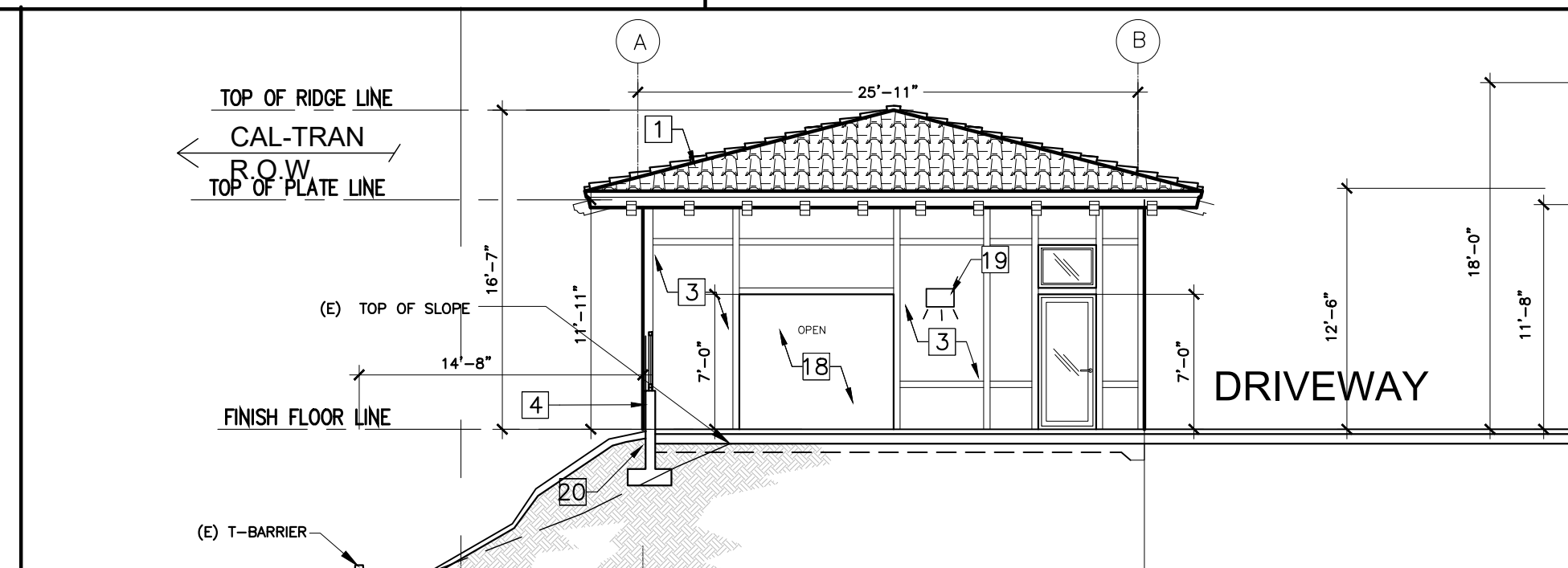
- (N) WALL TO BE CONSTRUCTED
- WALLS TO BE REMOVED
- (E) WALL TO REMAIN
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVED
- (E) EXISTING
- (N) NEW



CAR WASH EAST ELEVATION

SCALE : 1/8" = 1' - 0"

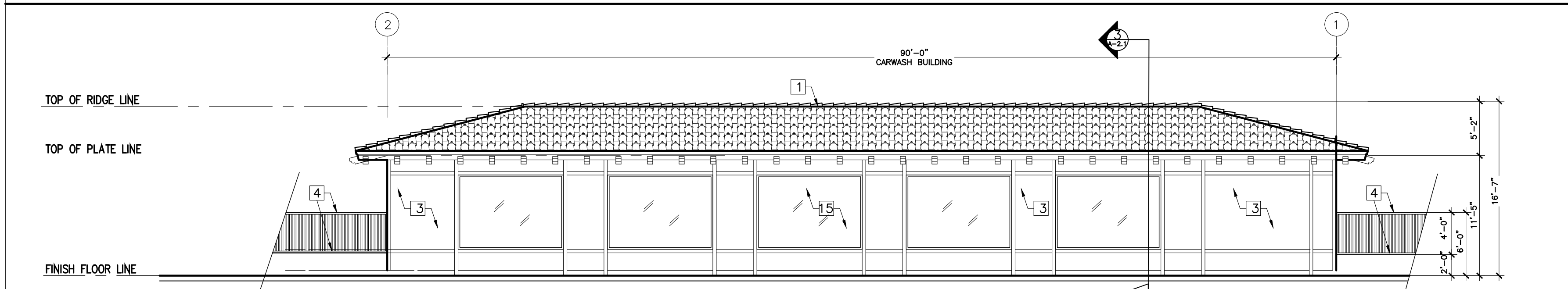
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CAR WASH SOUTH ELEVATION

SCALE : 1/8" = 1' - 0"

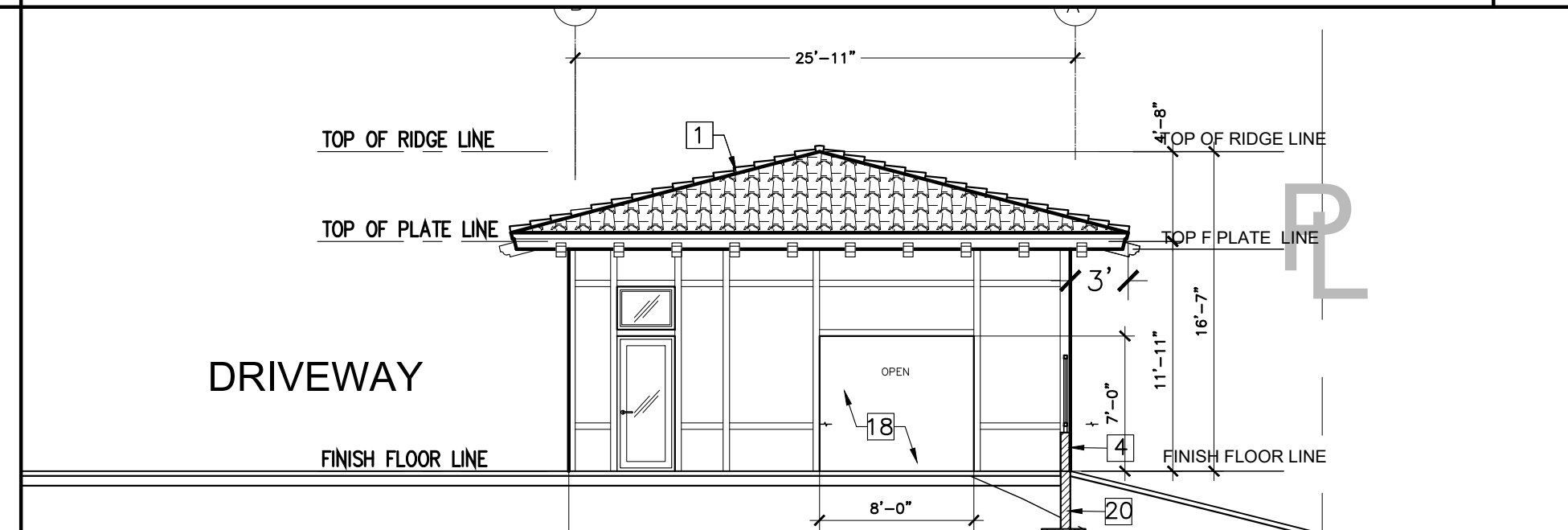
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CAR WASH WEST ELEVATION

SCALE : 1/8" = 1' - 0"

3

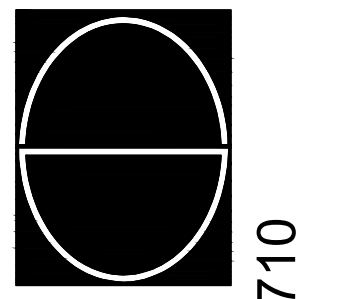


CAR WASH NORTH ELEVATION

SCALE : 1/8" = 1' - 0"

1

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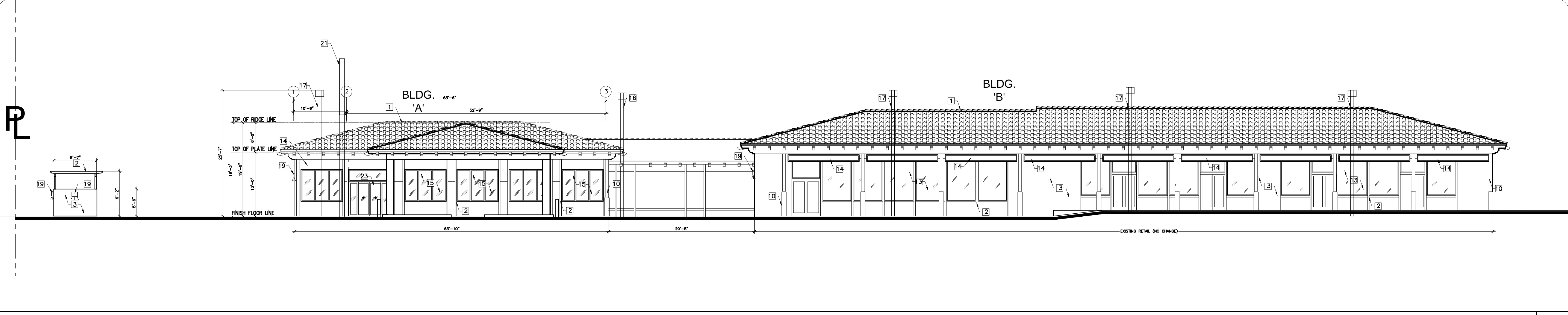
NO.	DATE	ISSUED	DESCRIPTION
	10/02/19	DRC	REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	06/06/21		REVISION ON 08/05 DRC

DRAWING TITLE	CARWASH EQUIPMENT SCHEDULE
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAIGO CENTER
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA. 92667
JOB NO.	2019-36
DWG. NO.	A-1.1
REVISION NO.	1

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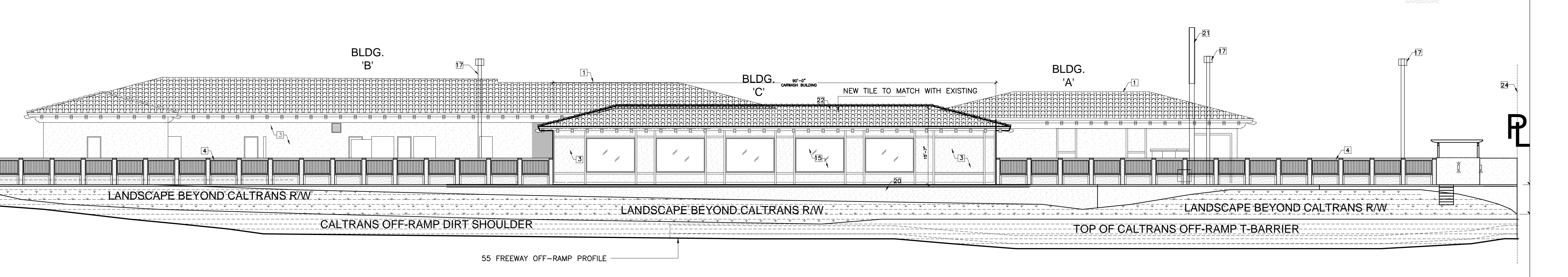


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EAST ELEVATION SCALE: 3/32"=1'-0"

4



WEST ELEVATION SCALE: 3/32"=1'-0"

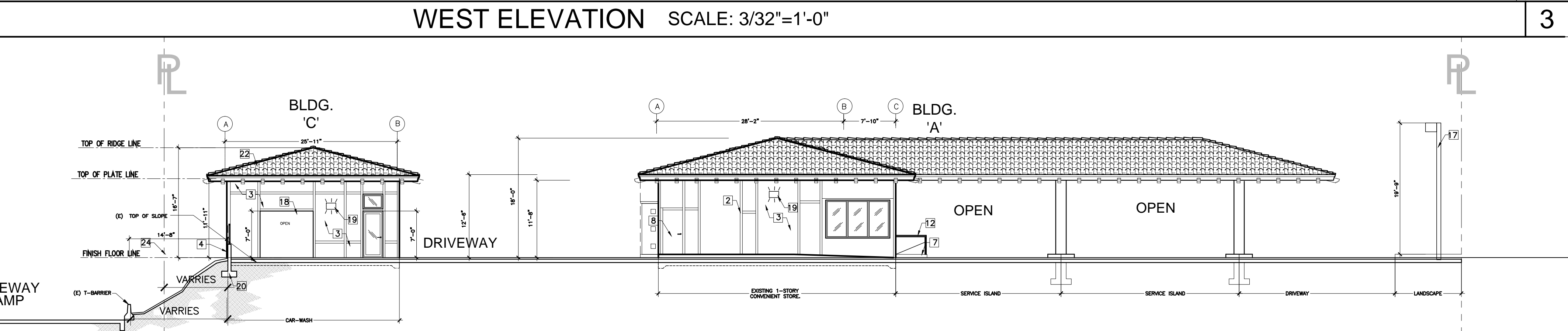
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ELEVATIONS GENERAL NOTES

1. STUCCO SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 25 OF THE CBC. WHEN STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF GRADE PAPER SHALL BE APPLIED. MINIMUM NO. 26 GAUGE CORROSION RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. SCREED SHALL BE PLACED MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS.
2. ALL EXISTING WALL FINISH WILL BE RE-PAINTED WITH MATCHING STUCCO COLOR ( VISTA PAINT BAG OF GOLD: 0897) AND TEXTURE.
3. OPENING PATCH UP SHALL BE WITH FRAME AND FINISH WITH MATCHING STUCCO COLOR ( VISTA PAINT BAG OF GOLD: 0897) AND TEXTURE TO MATCH EXISTING.

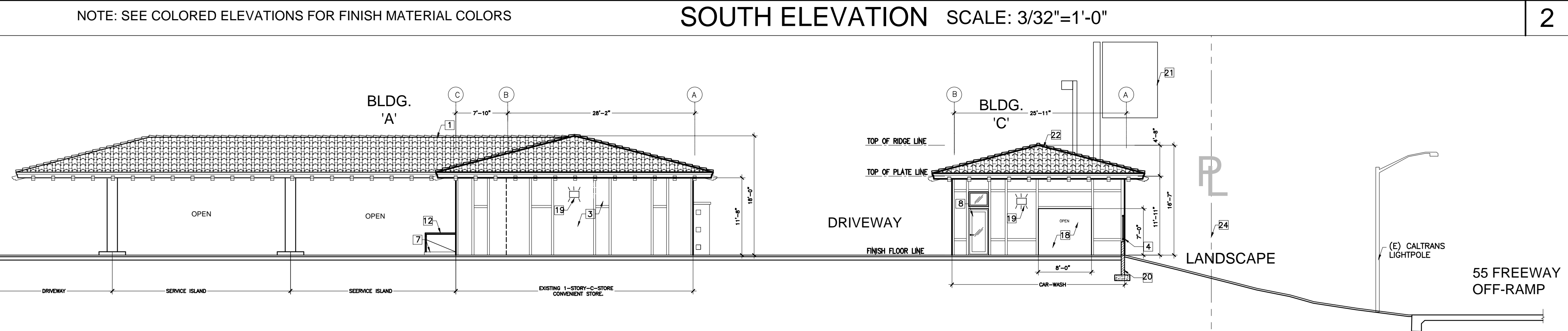
ELEVATION KEYNOTES

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3. EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT WHITE SHADOW 37)
4. PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4' HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
5. (E) ELECTRICAL PANEL TO REMAIN
6. (E) A/C CONDENSER TO REMAIN
7. ACCESSOR RAMP
8. PUBLIC RESTROOM DOOR (ADA COMPLIANT)
9. NOT USE
10. EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
11. CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT WHITE SHADOW 37)
12. HANDRAIL FOR ADA
13. EXISTING STORE FRONT
14. EXISTING STORE FRONT SIGNAGE
15. INSTALL NEW WINDOWS TO PROPOSED ADDITION
16. EXISTING LIGHT POST
17. PROPOSED LIGHT POST
18. CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
19. WALL PACK (MOUNTED PACK) LIGHT SYSTEM
20. RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
21. (E) SITE SIGNAGE - TO REMAIN
22. (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
23. NEW AUTOMATIC SLIDING DOOR
24. PROPERTY LINE ON EXISTING CHAIN LINK FENCE



SOUTH ELEVATION SCALE: 3/32"=1'-0"

2



NORTH ELEVATION SCALE: 3/32"=1'-0"

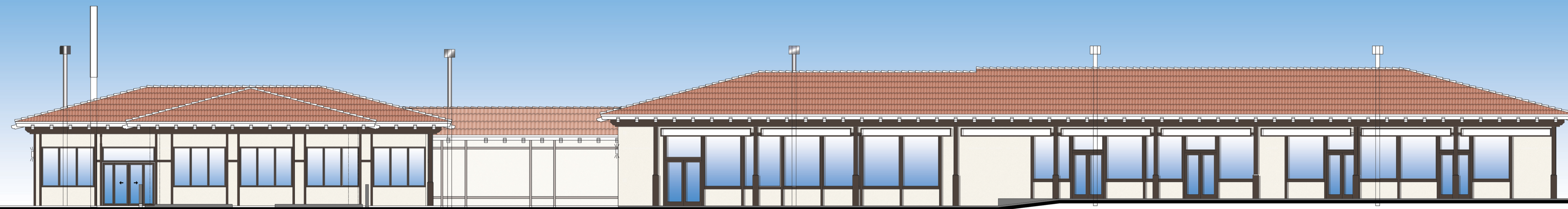
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NO.	DATE	ISSUED	DRC
	10/02/19		REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	08/06/21		REVISION ON 08/05 DRC

DRAWING TITLE	JOB NO.
ELEVATION	2019-36
JOB TITLE	DWG. NO.
ADDITION & REMODEL (CUP APPLICATION)	REVISION
SANTIAGO CENTER	A-2.0
JOB ADDRESS	3
2640 N. SANTIAGO BLVD.	
PANANCE PA 0897	



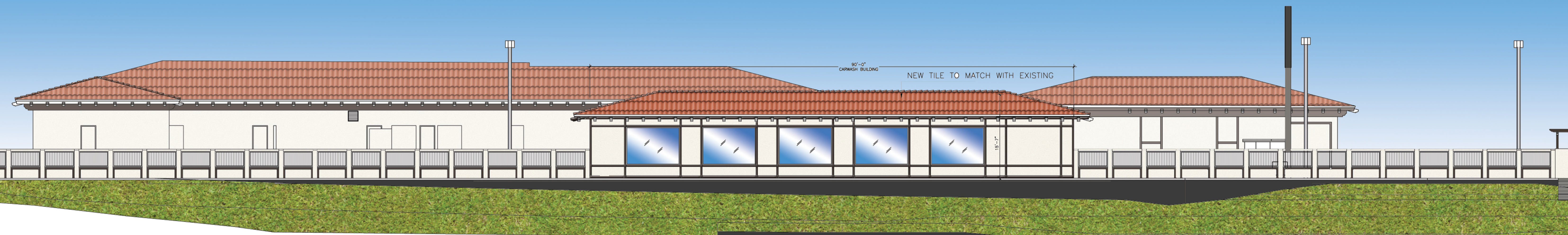
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EAST ELEVATION SCALE: 3/32"=1'-0"

4

PL



WEST ELEVATION SCALE: 3/32"=1'-0"

3

ELEVATIONS GENERAL NOTES

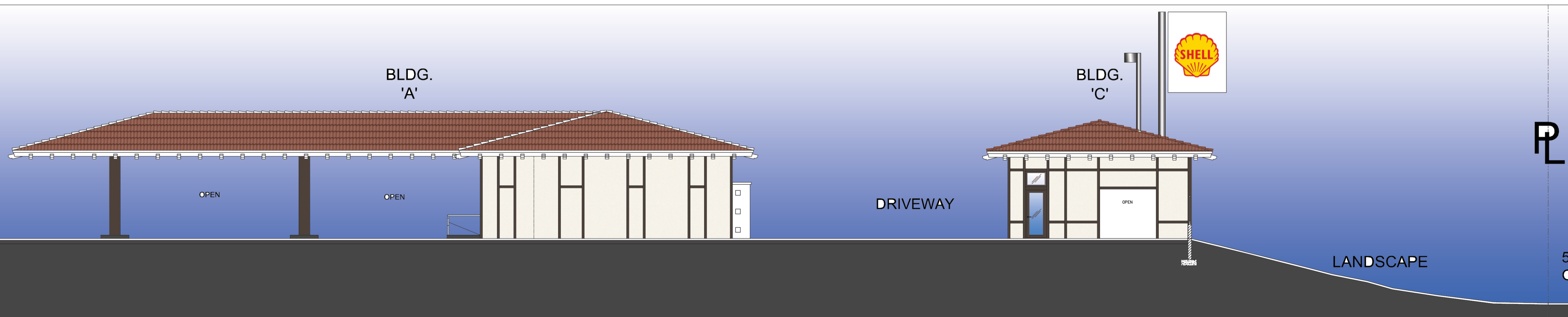
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2. ALL EXISTING WALL FINISH WILL BE RE-PAINTED WITH MATCHING STUCCO COLOR TEXTURE.
3. OPENING PATCH UP SHALL BE WITH FRAME AND FINISH WITH MATCHING STUCCO COLOR AND TEXTURE TO MATCH EXISTING.

ELEVATION KEYNOTES

1. EXISTING ROOF TILE TO REMAIN
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5. (E) ELECTRICAL PANEL TO REMAIN
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7. ACCESSOIR RAMP
8. PUBLIC RESTROOM (ADA COMPLIANT)
9. NOT USE
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11. CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
12. HANDRAIL FOR ADA
13. EXISTING STORE FRONT
14. EXISTING STORE FRONT SIGNAGE
15. INSTALL NEW WINDOWS TO PROPOSED ADDITION
16. EXISTING LIGHT POST
17. PROPOSED LIGHT POST
18. CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
19. WALL MOUNTED LIGHT SYSTEM AROUND TRASH ENCLOSURE
20. RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
21. (E) SITE SIGNAGE - TO REMAIN
22. (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
23. NEW AUTOMATIC SLIDING DOOR

SOUTH ELEVATION SCALE: 3/32"=1'-0"

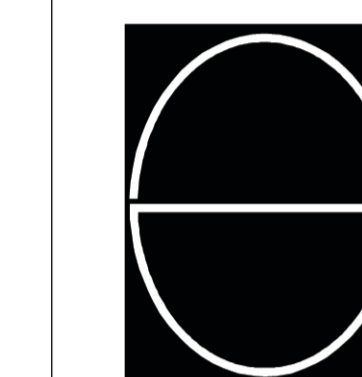
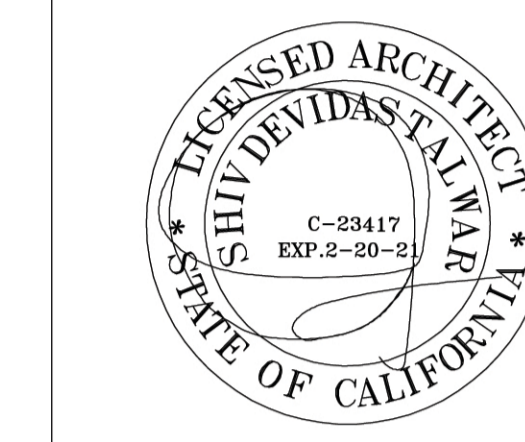
2



NORTH ELEVATION SCALE: 3/32"=1'-0"

1

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TEL: 909-591-3939 designconcepts@yahoo.com

DRAWING TITLE	ELEVATION	JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER	JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667
NO.	DATE	ISSUED	DRC		
	10/02/19				
JOB NO.		2013-36			
DWG. NO.		REVISION NO.			
A-2.0		3			

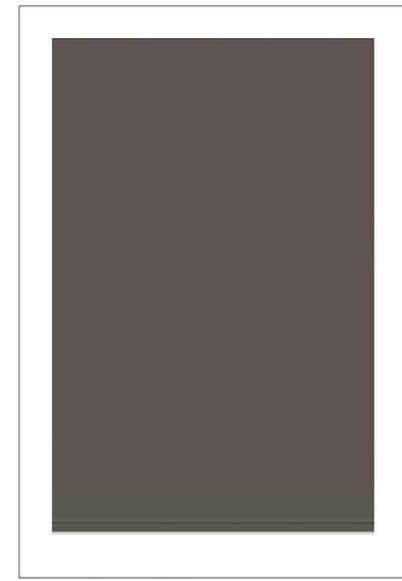




2660 N Santiago Blvd Orange  
View 1, Scheme 1  
Linda Klem  
November 22nd, 2017



Trim  
H0142 Chocolate



BODY  
37 White Shadow



Red  
1USDJ7025

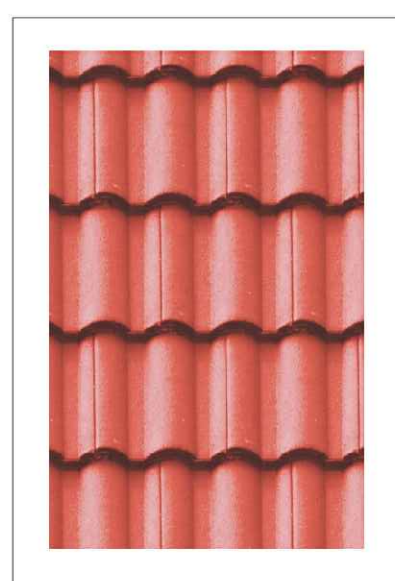
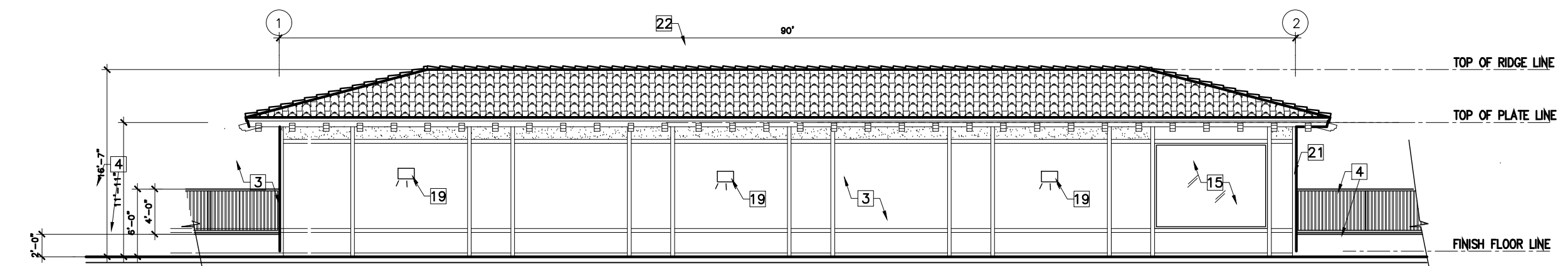


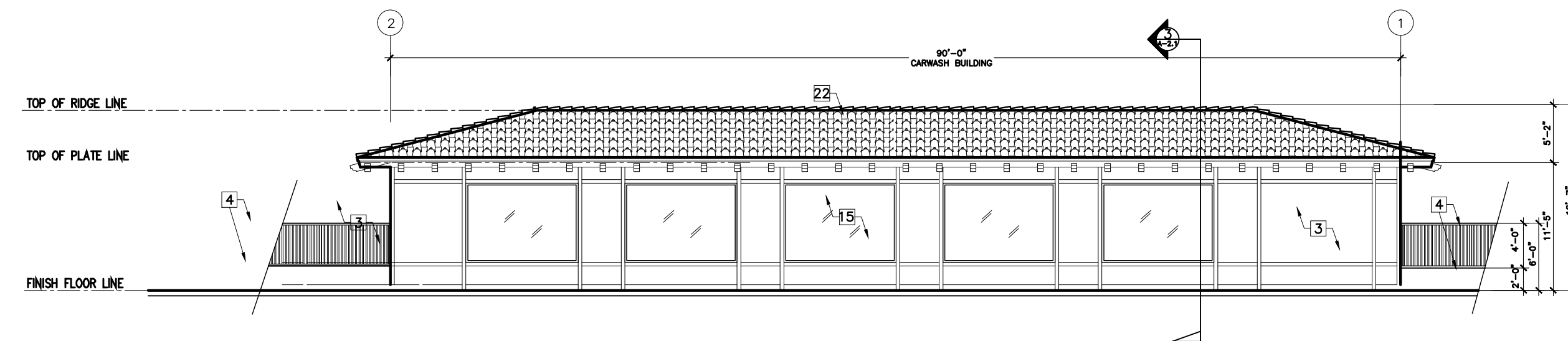
Photo colors are simulations and can vary depending upon the light, shadows and angle of the original photograph. For exact colors refer to the color chips attached or apply a wet sample.

PROPOSED ELEVATION COLORS



CARWASH ELEVATION ( EAST SIDE ) SCALE: 3/32" - 1'-0"

2



CARWASH ELEVATION ( WEST SIDE ) SCALE: 3/32" - 1'-0"

1

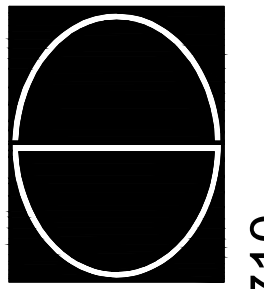
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7. HANDICAP RAMP
8. PUBLIC BATHROOM (ADA COMPLIANT)
9. SCOPE OF WORK FOR ADDITION AND CONVERSION TO COMPLETE CONVENIENCE STORE
10. EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
11. CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT WHITE SHADOW 37)
12. HANDRAIL FOR ADA
13. EXISTING STORE FRONT
14. EXISTING STORE FRONT SIGNAGE
15. NEW WINDOWS FOR CARWASH
16. EXISTING LIGHT POST
17. PROPOSED LIGHT POST
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19. WALL PACK (WALL MOUNTED) LIGHT SYSTEM
20. RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
21. ACCENT TRIM & LIDS (VISTA PAINT WHITE SHADOW:
22. ( N ) CERAMIC ROOF TILE TO MATCH WITH EXISTING BUILDINGS ROOFING

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NO.	DATE	ISSUED
	10/02/19	DRC
	02/04/21	REVISION ON 08/05 DRC
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	08/06/21	REVISION ON 08/05 DRC

DRAWING TITLE	JOB NO.
PAINT COLOR	2019-36
JOB TITLE	DWG. NO.
ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER	REVISION NO.
JOB ADDRESS	
2640 N. SANTIAGO BLVD. ORANGE, CA. 92667	

A-2.1	3
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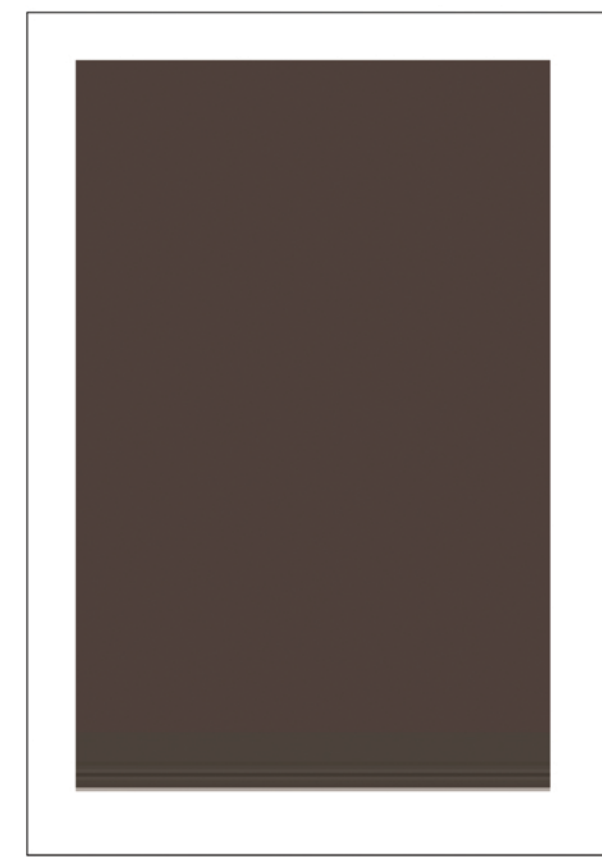




2660 N Santiago Blvd Orange  
View 1, Scheme 1  
Linda Klem  
November 22nd, 2017



Trim  
H0142 Chocolate



BODY  
37 White Shadow



Red  
1USDU7025

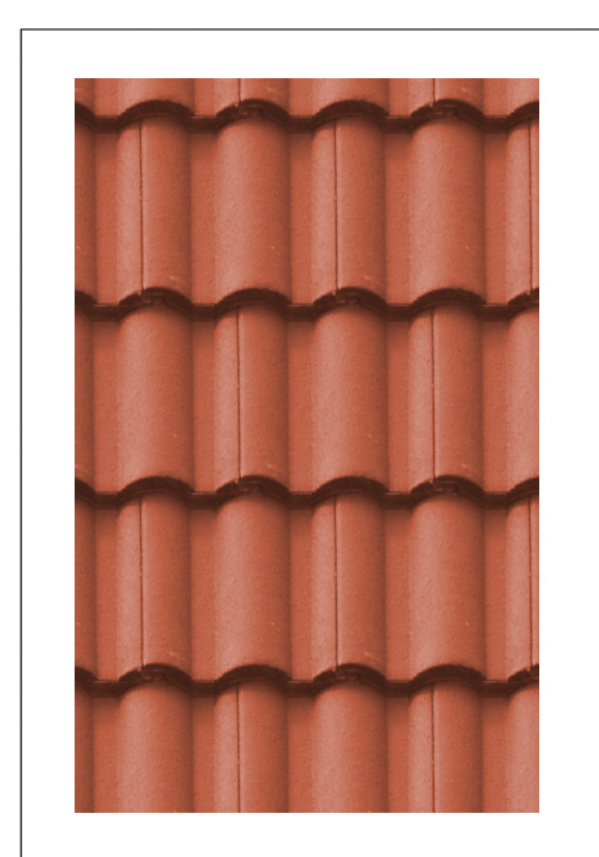
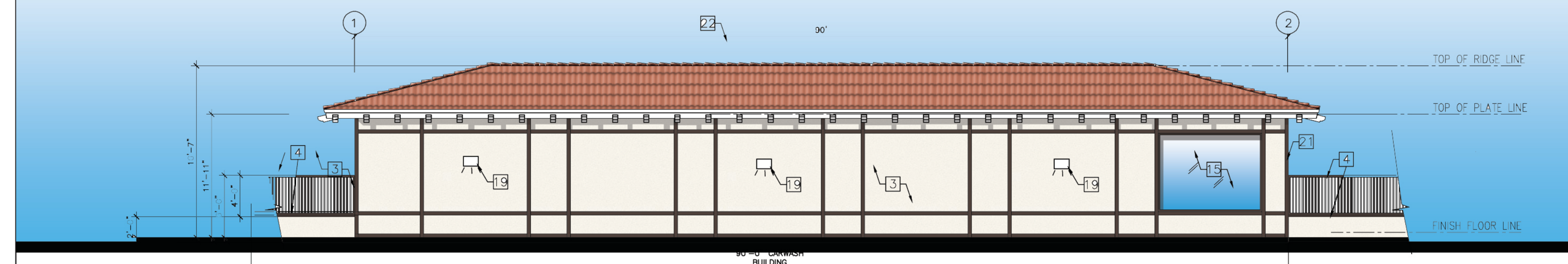
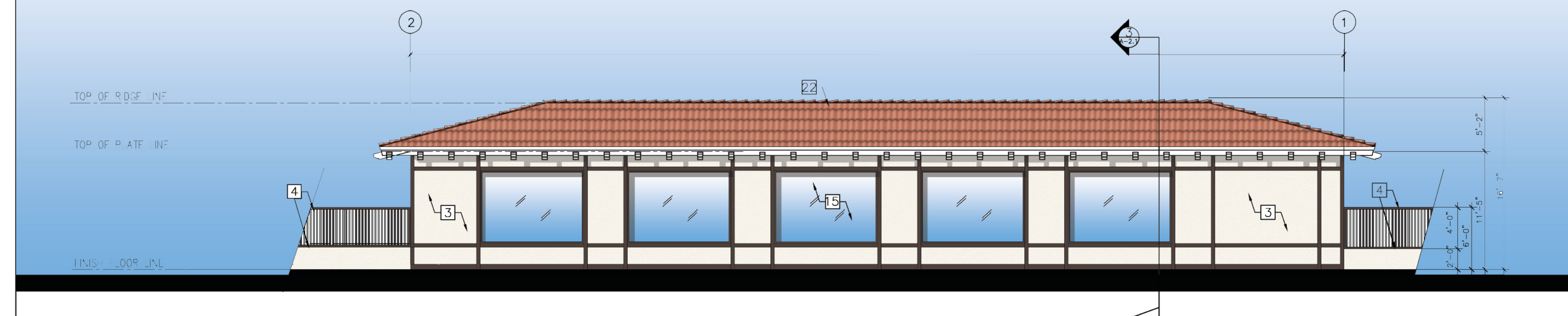


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### PROPOSED ELEVATION COLORS



CARWASH ELEVATION ( EAST SIDE ) SCALE: 3/32" - 1'-0" 2



CARWASH ELEVATION ( WEST SIDE ) SCALE: 3/32" - 1'-0" 1

### ELEVATION KEYNOTES

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12. HANDRAIL FOR ADA
13. EXISTING STORE FRONT
14. EXISTING STORE FRONT SIGNAGE
15. NEW WINDOWS FOR CARWASH
16. EXISTING LIGHT POST
17. PROPOSED LIGHT POST
18. CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
19. WALL PACK (WALL MOUNTED) LIGHT SYSTEM
20. RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
21. ACCENT TRIM & LIDS (VISTA PAINT WHITE SHADOW:
22. ( N ) CERAMIC ROOF TILE TO MATCH WITH EXISTING BUILDINGS ROOFING

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3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710  
TEL: 909-591-3939 dsignconcepts@yahoo.com

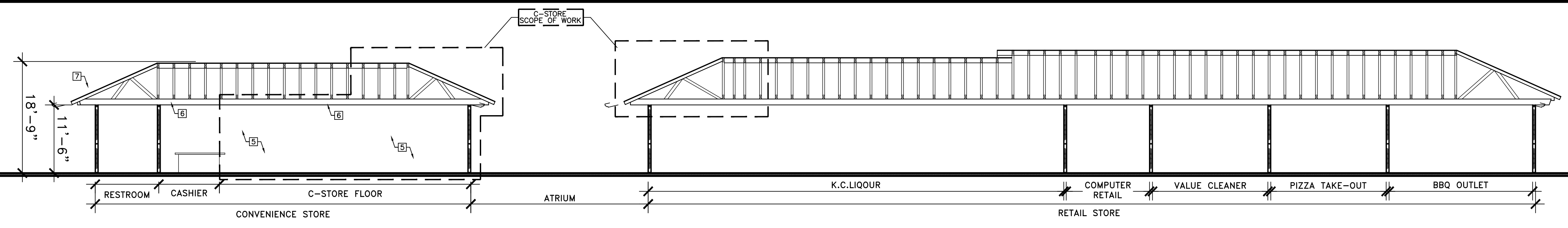
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10/02/19			REVISION ON 08/05 DRC
02/04/21			REVISION ON 08/05 DRC
06/22/21			REVISION ON 08/05 DRC
08/06/21			REVISION ON 08/05 DRC

DRAWING TITLE	JOB NO.
PAIN COLOR	2019-36

JOB TITLE	JOB ADDRESS
ADDITION & REMODEL (CLIP APPLICATION) SANTIAGO CENTER	2640 N. SANTIAGO BLVD. ORANGE, CA 92667

DWG. NO.	REVISION NO.
A-2.1	3

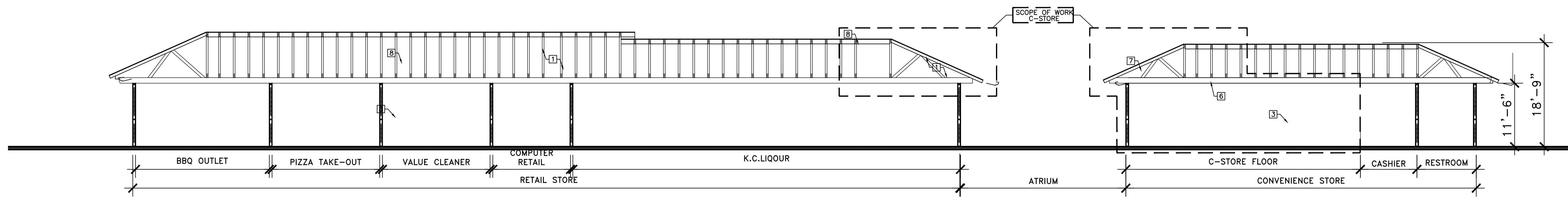




SECTION A-A ( CONVENIENCE STORE/RETAIL BLOCK)

SCALE: 3/32" - 1'-0"

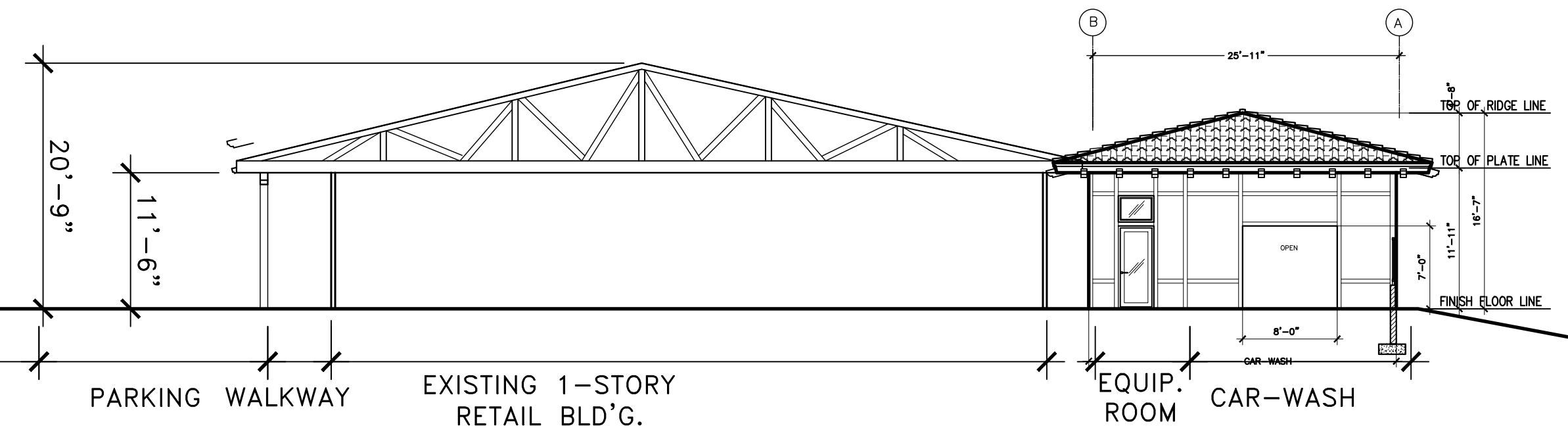
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SECTION B-B ( CONVENIENCE STORE/RETAIL BLOCK)

SCALE: 3/32" - 1'-0"

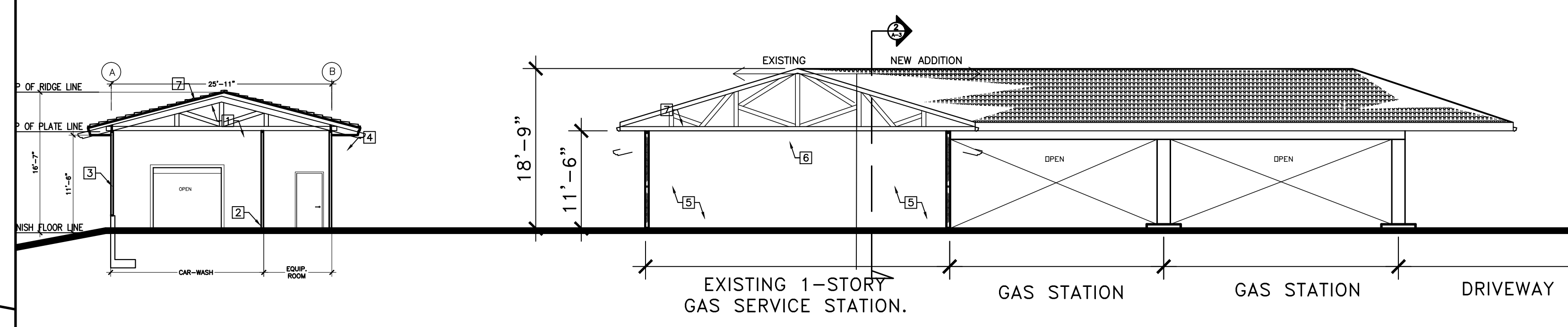
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SECTION D-D (RETAIL BLOCK)

SCALE: 3/32" - 1'-0"

4



SECTION C-C (CAR WASH & C-STORE)

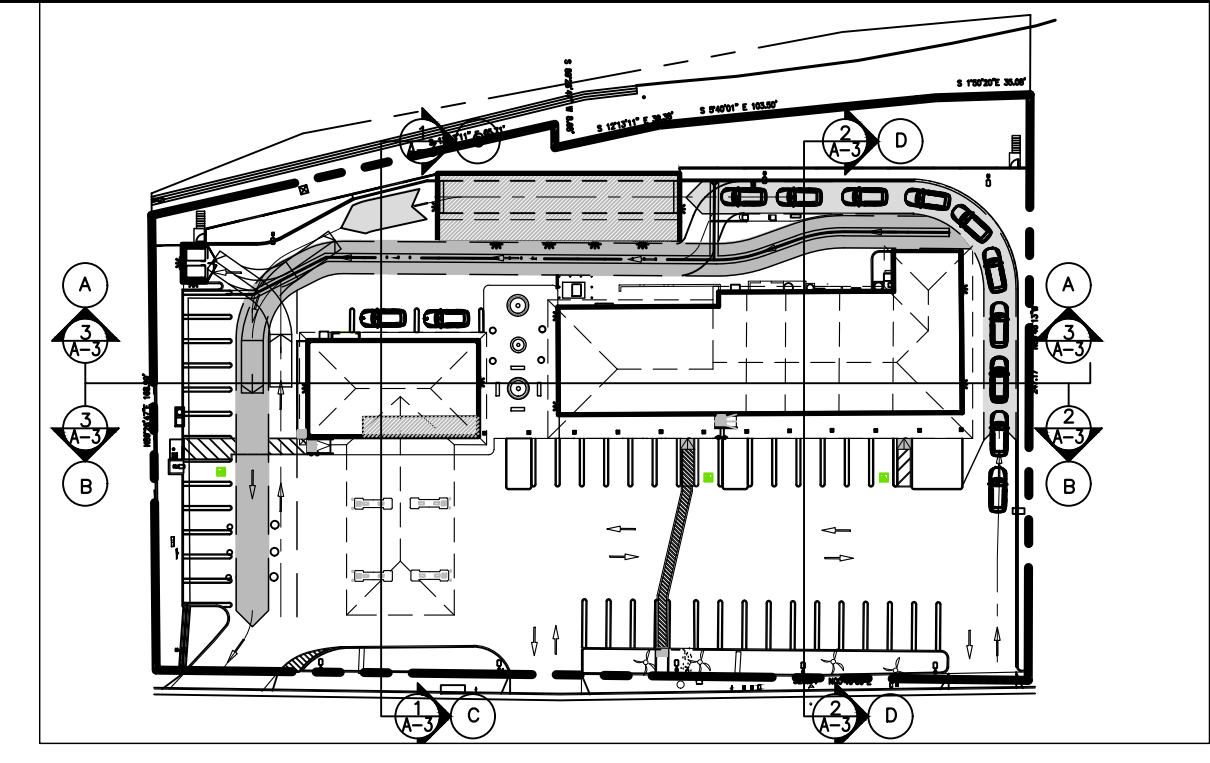
SCALE: 3/32" - 1'-0"

1

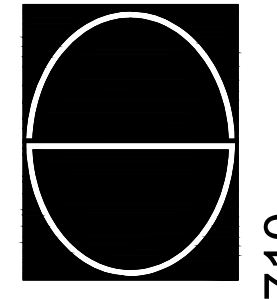
BUILDING SECTION KEYNOTES

- 1. (N) PRE-FABRICATED TRUSSES BY OTHERS FOR CAR WASH ONLY
- 2. (N) NON-BEARING INTERIOR WALL TO SEPERATE CAR WASH EQUIPMENT AND CAR WASH MACHINERY
- 3. (N) INTERIOR WALL TO MATCH WITH EXISTING BUILDINGS
- 4. (E) MAINTAIN DESIGN W/ EXISTING BUILDING DESIGN
- 5. (N) REMODELED CONVENIENCE STORE
- 6. (E) MAINTAIN EXISTING ROOF CONSTRUCTION
- 7. (E) CERAMIC ROOFING TO REMAIN
- 8. (E) ROOFING TO REMAIN

SECTIONS KEY PLAN



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NO.	DATE	ISSUED	DRC
	10/02/19		DRC
	02/04/21		REVISION ON 08/05 DRC
	09/22/21		REVISION ON 08/05 DRC

DRAWING TITLE  
 SECTION  
 JOB TITLE  
 ADDITION & REMODEL (CUP APPLICATION)  
 SANTIAGO CENTER  
 JOB ADDRESS  
 2840 N. SANTIAGO BLVD.  
 ORANGE, CA 92667

JOB NO. 2019-36

DWG. NO. REVISION NO.

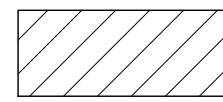
A-3



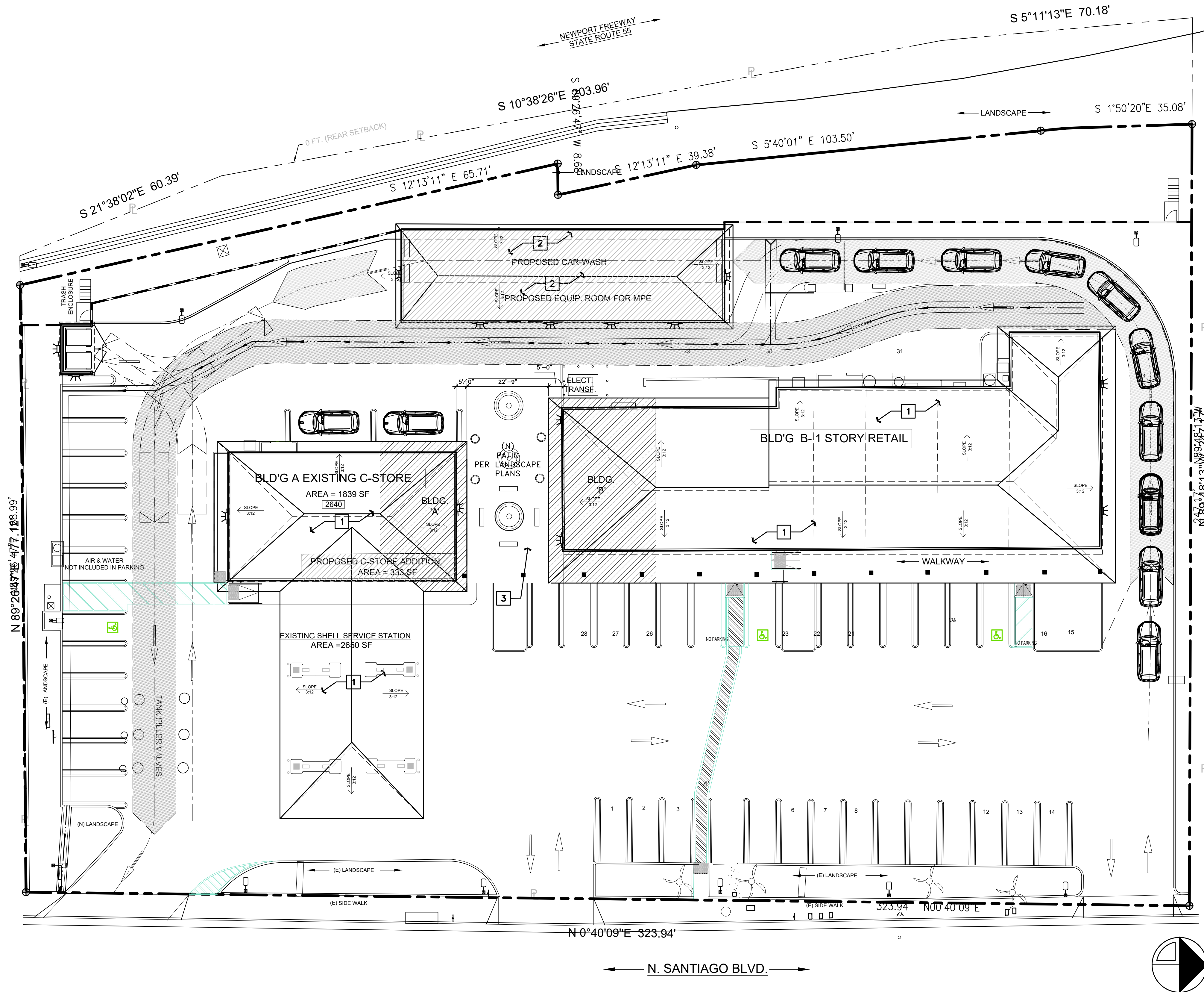
**ROOF PLAN KEYNOTES**

- 1. (E) ROOF TO REMAIN
- 2. (N) ROOF OF CAR WASH TO MATCH WITH EXISTING BUILDING ROOF MATERIALS
- 3. (E) OPEN AREA

**ROOF PLAN LEGEND:**

 NEW AND MODIFIED ROOF AREA

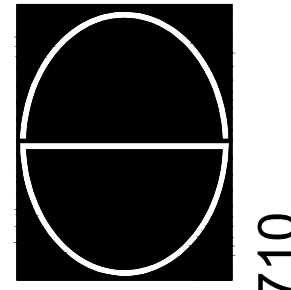
ZONE: OP (OFFICE PROFESSIONAL)



**EXISTING & PROPOSED ROOF PLAN**

SCALE: 1/16"=1'-0"

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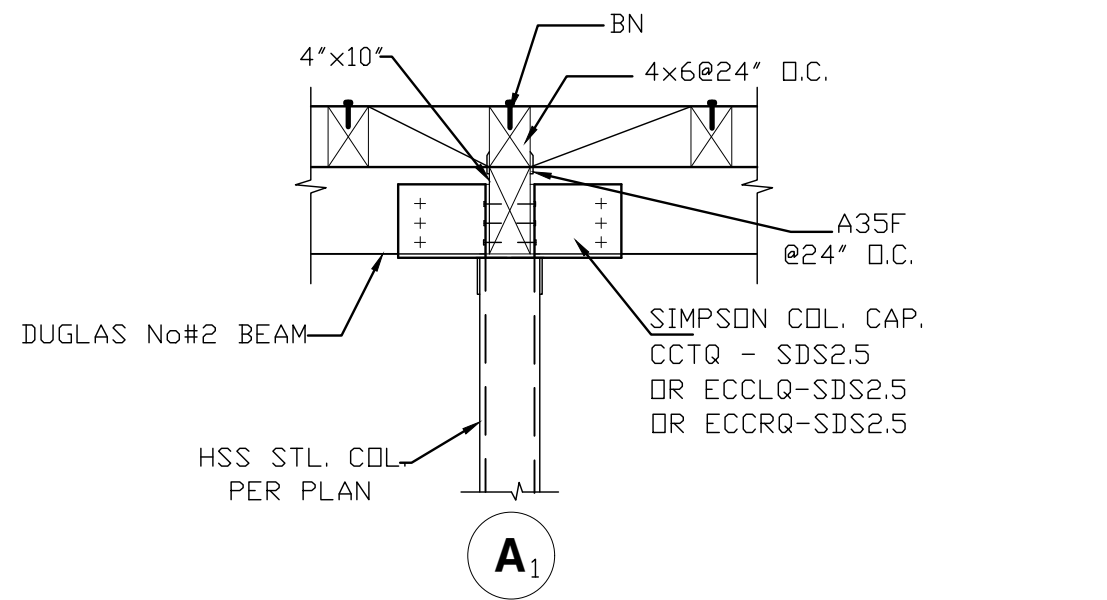
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	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC

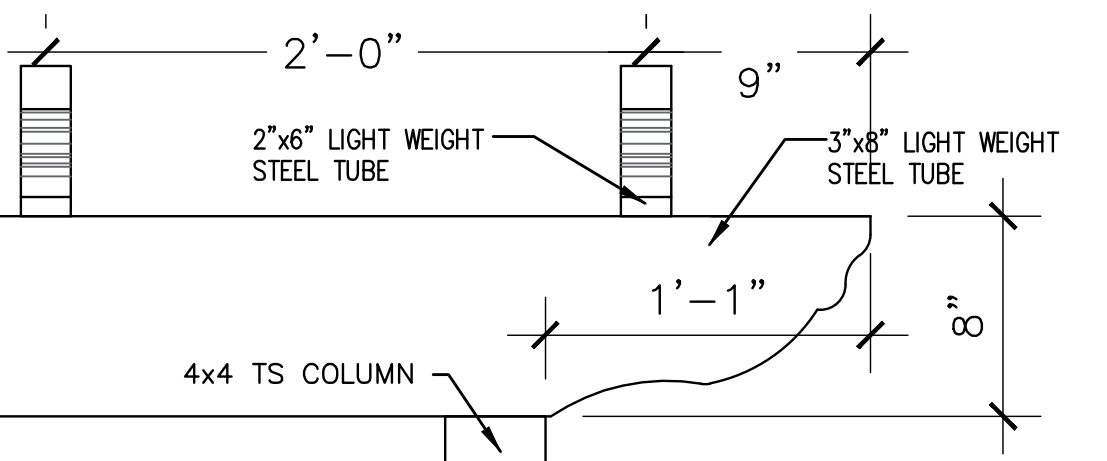
DRAWING TITLE	EXISTING & PROPOSED ROOF PLAN
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB ADDRESS	2840 N. SANTIAGO BLVD. ORANGE, CA 92667
JOB NO.	2019-36
DWG. NO.	REVISION NO.

**A-4**

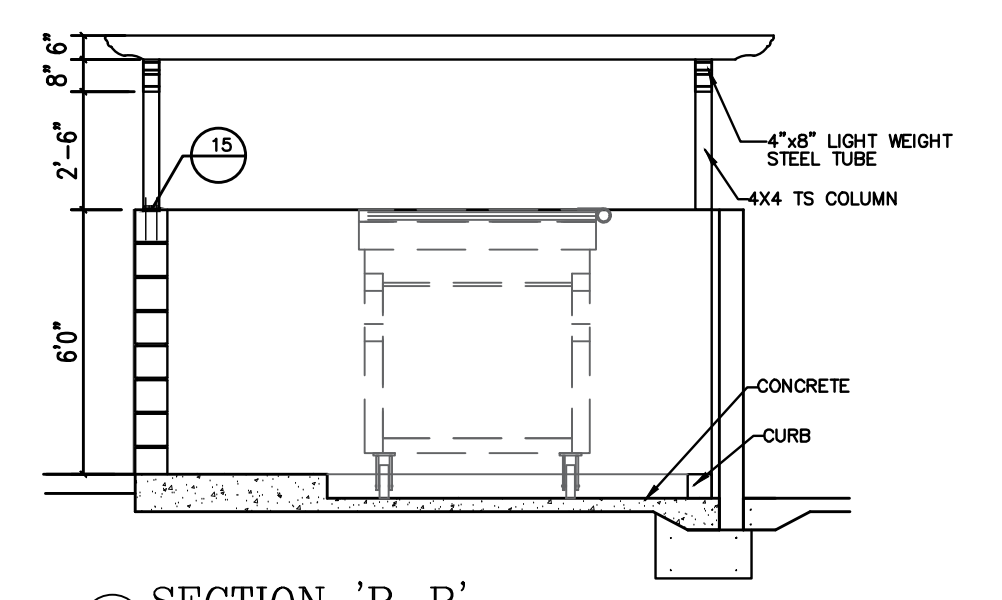




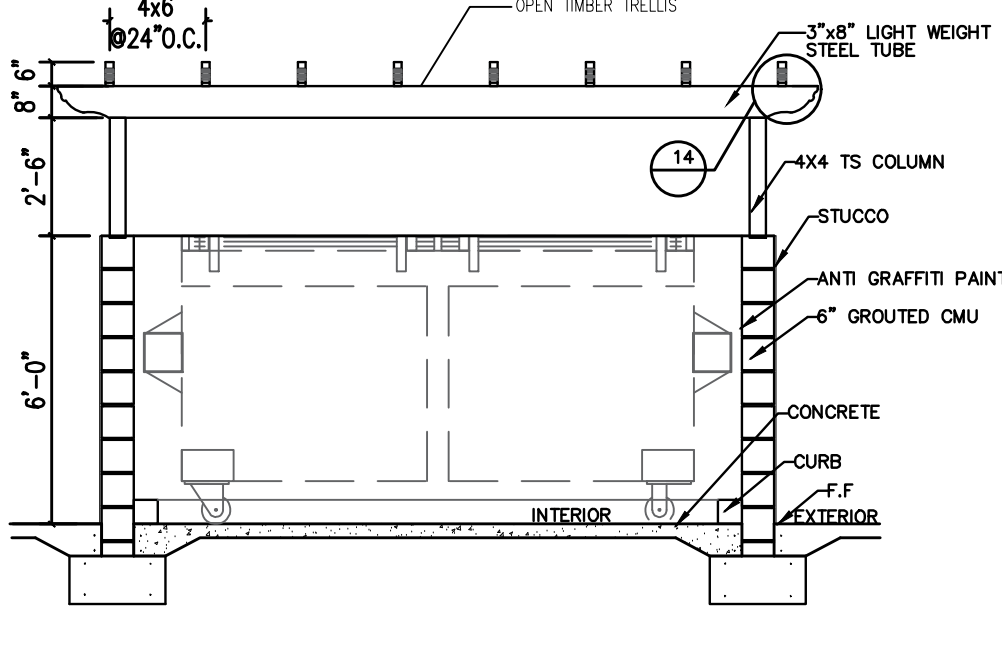
15 COLUMN TO BEAM CONNECTION



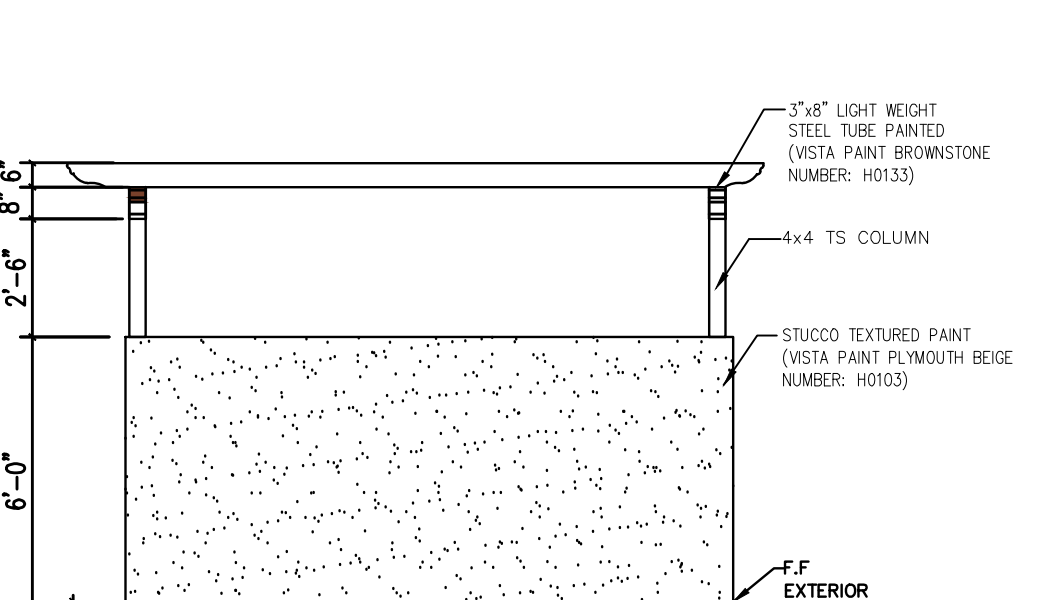
14 DETAIL 'A'



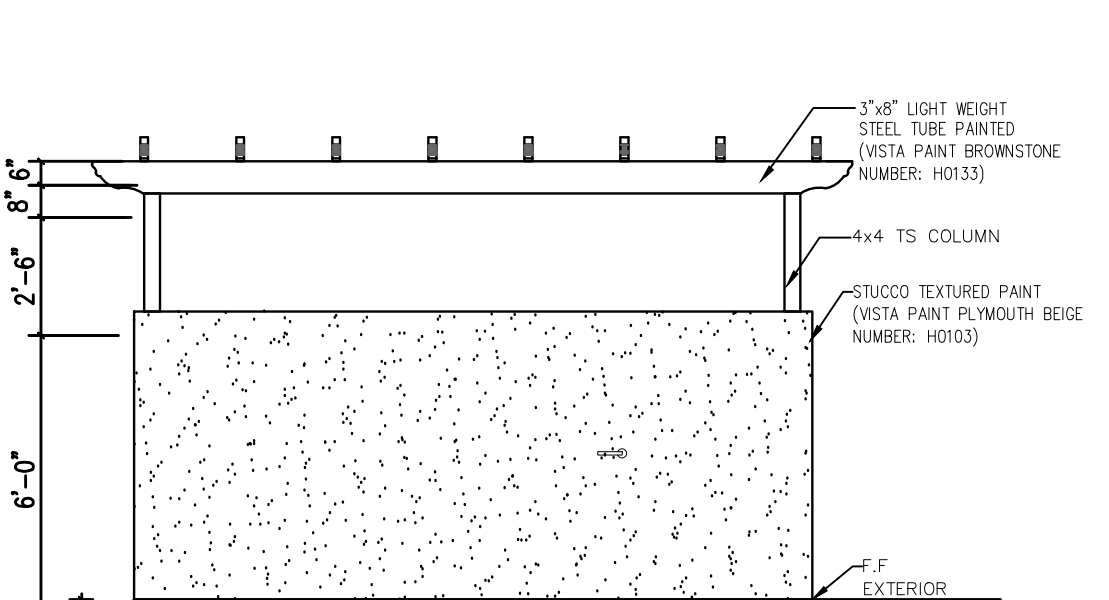
11 SECTION 'B-B'



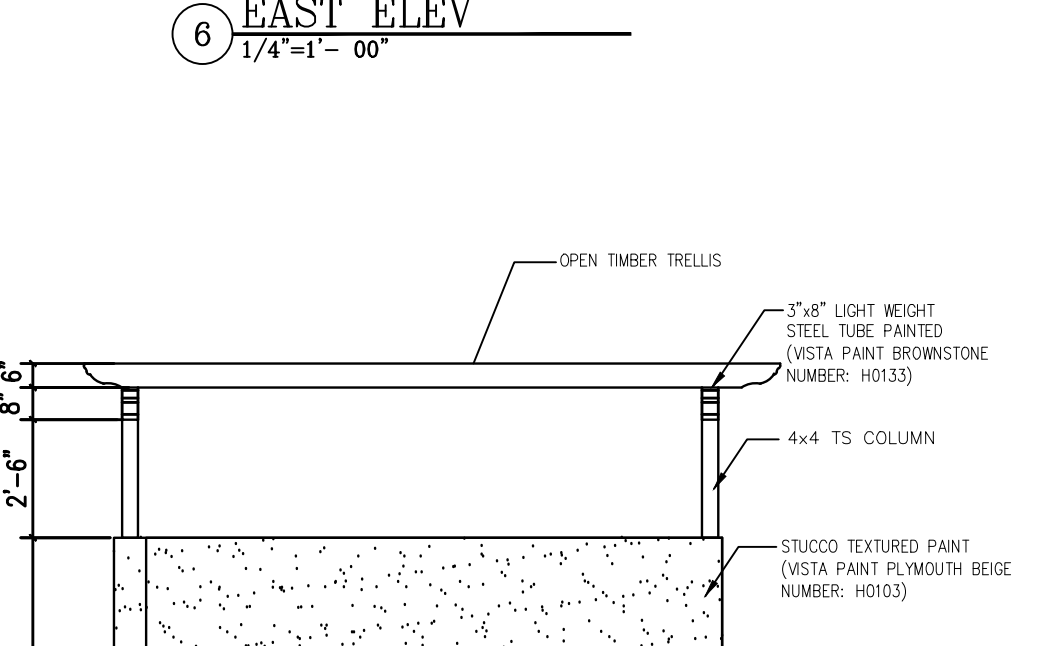
10 SECTION 'A-A'



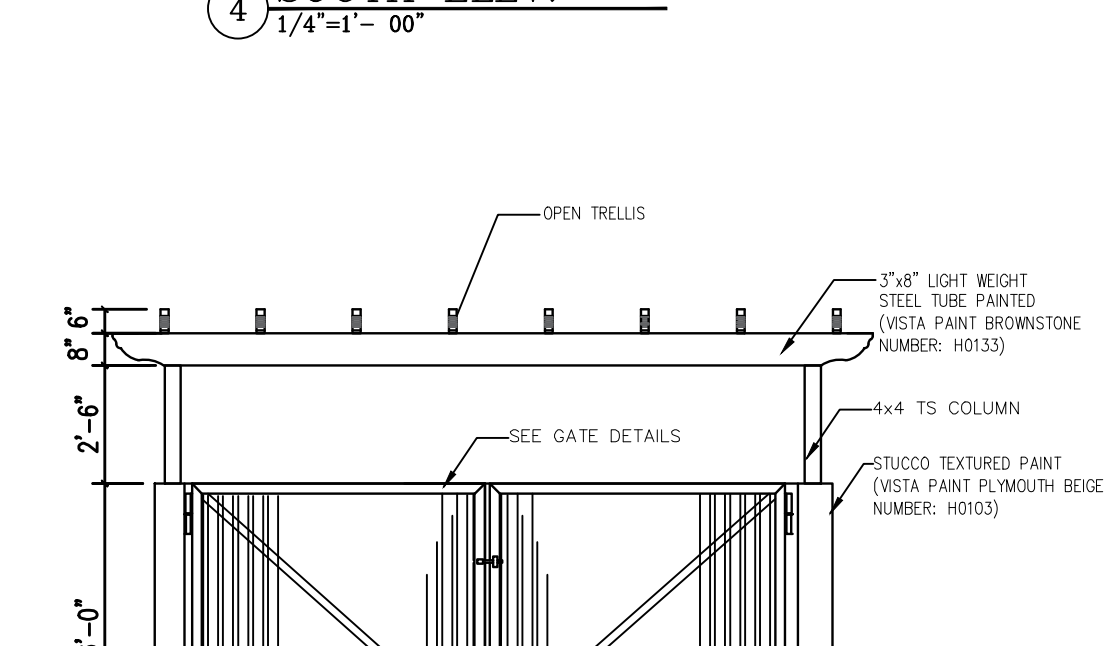
6 EAST ELEV



4 SOUTH ELEV.



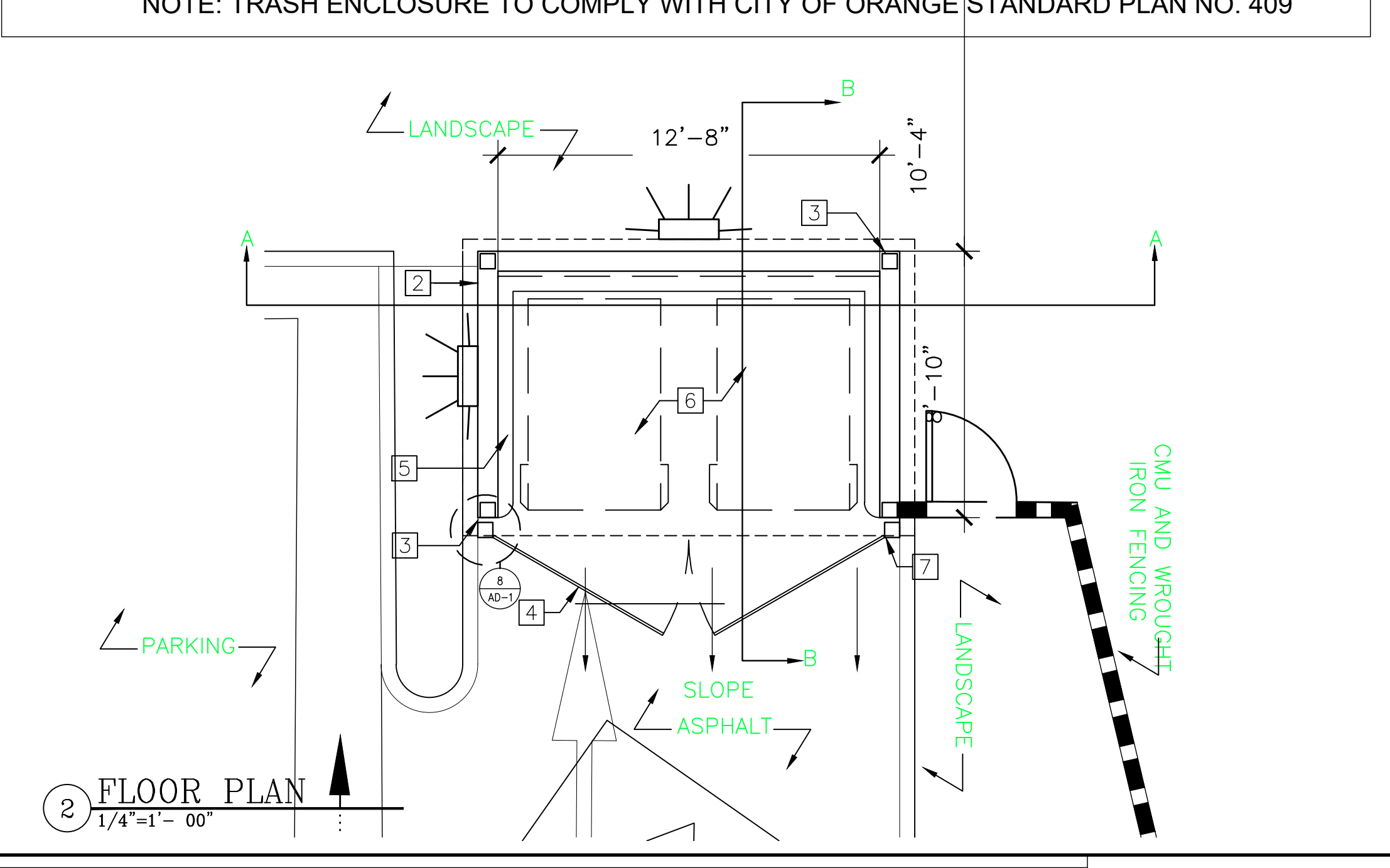
5 WEST ELEV.



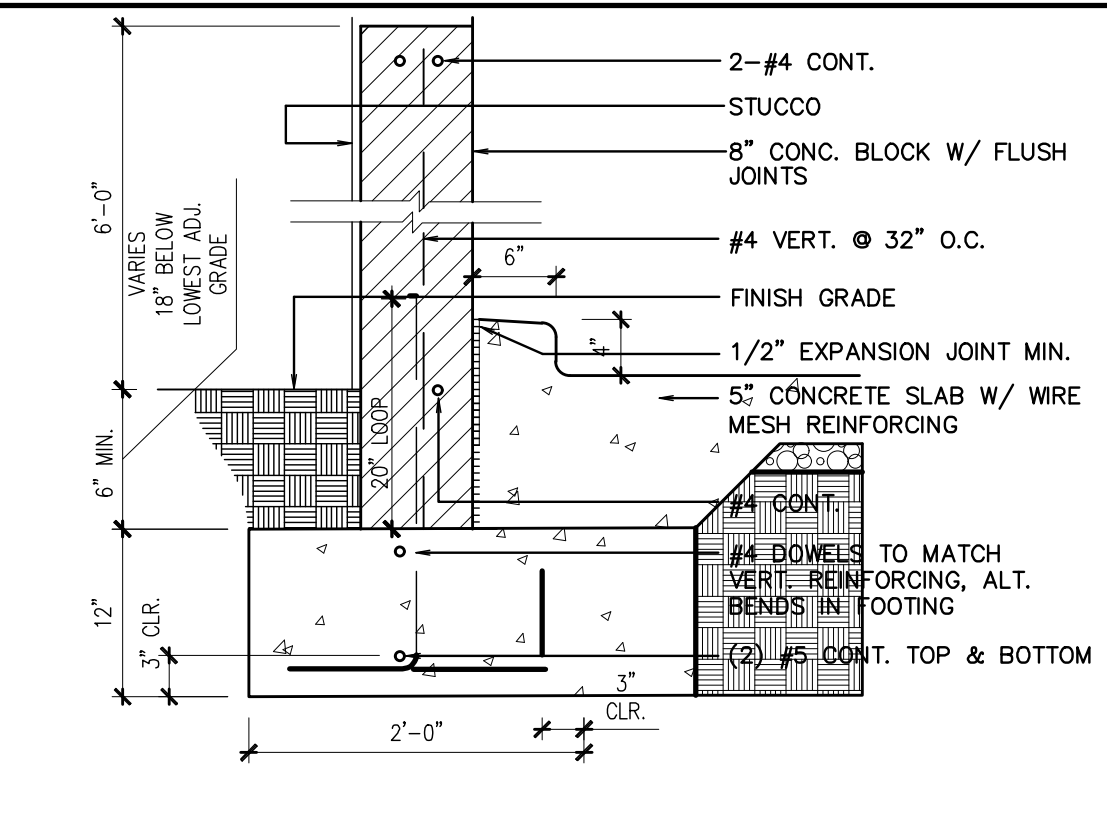
3 NORTH ELEV.



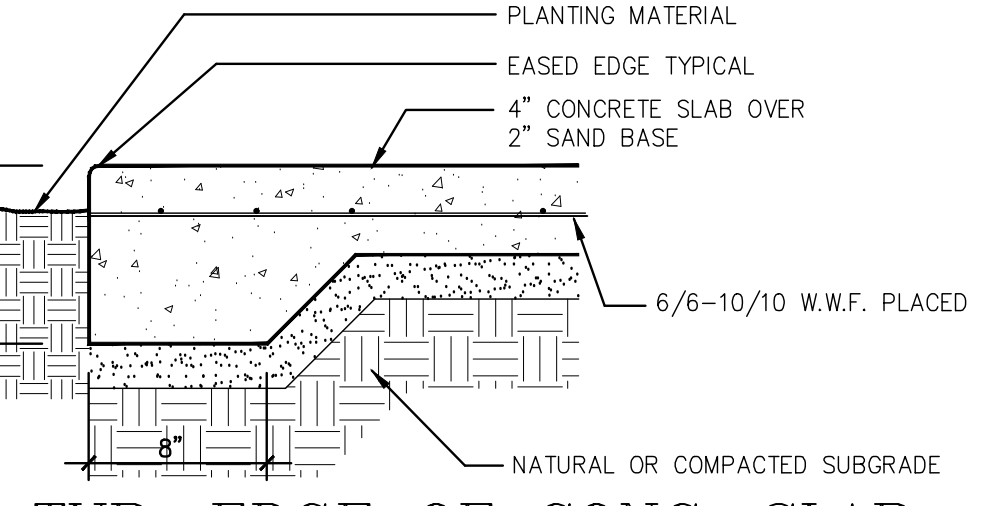
2 FLOOR PLAN



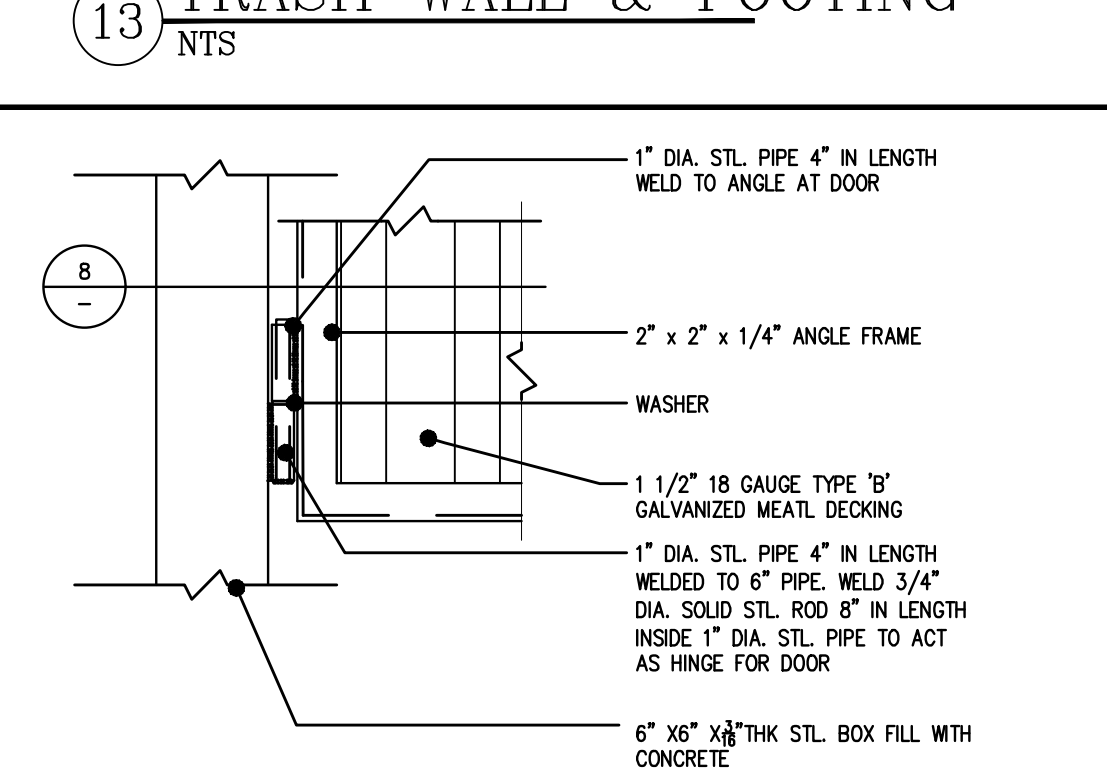
8 JAMB AT TRASH ENCLOSURE-PLAN



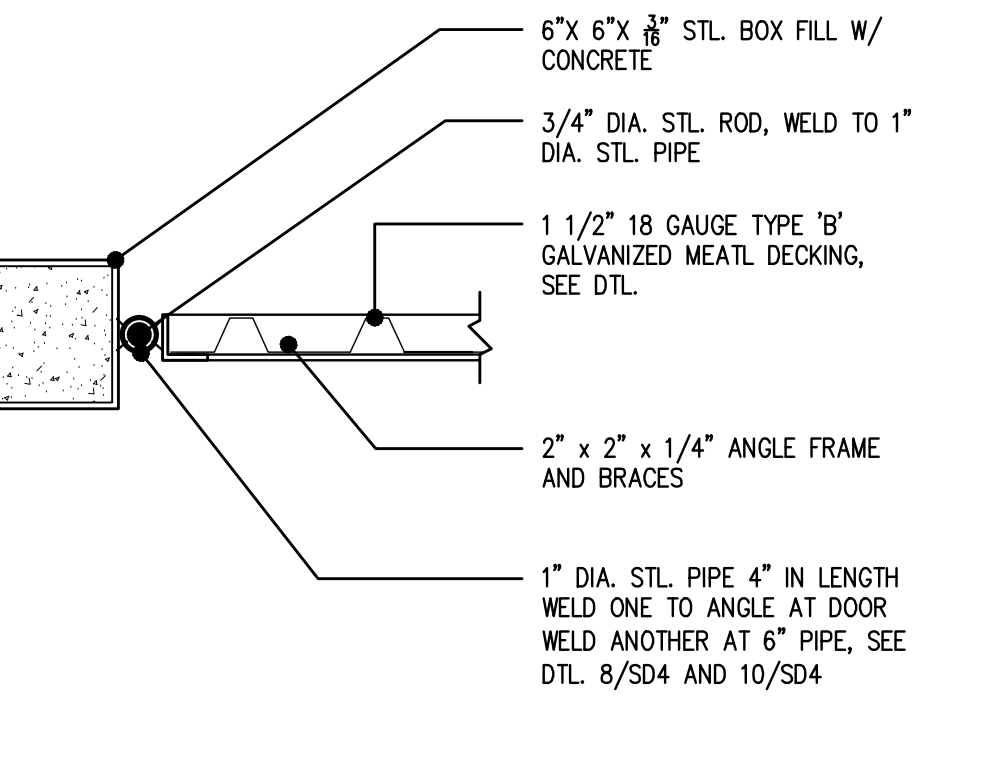
13 TRASH WALL & FOOTING



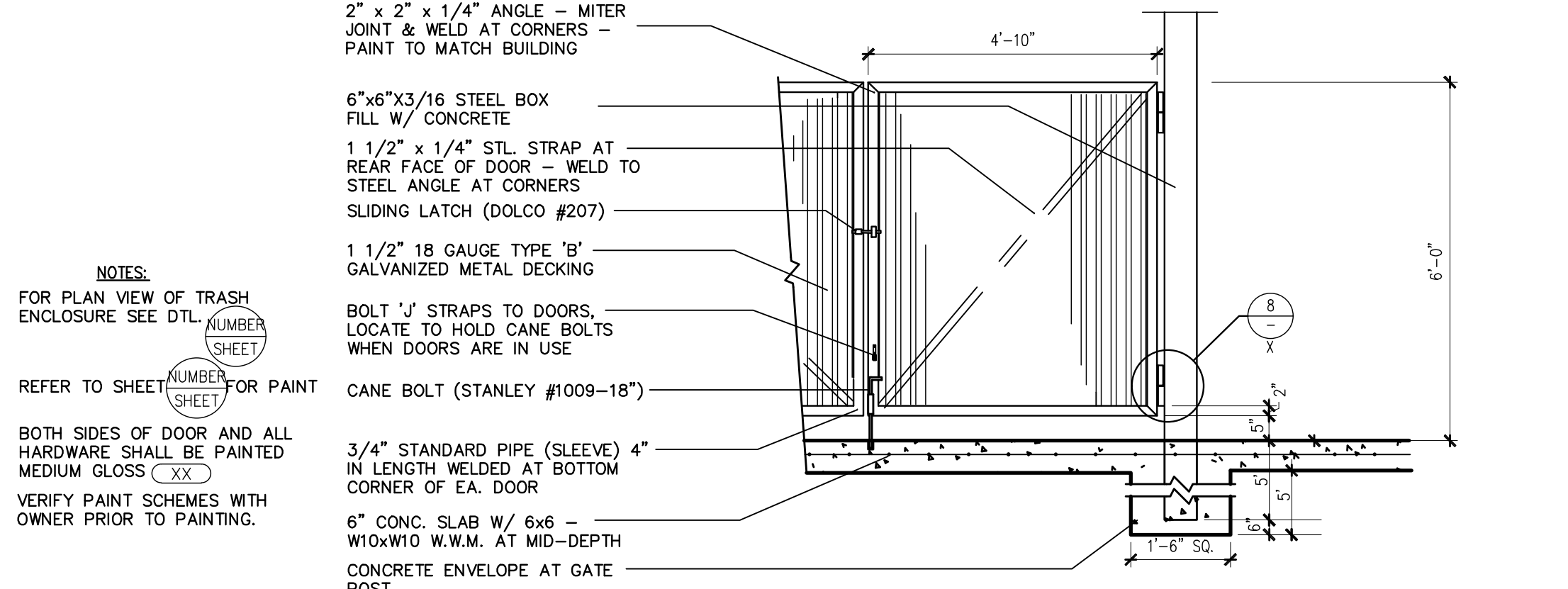
9 TYP. EDGE OF CONC. SLAB



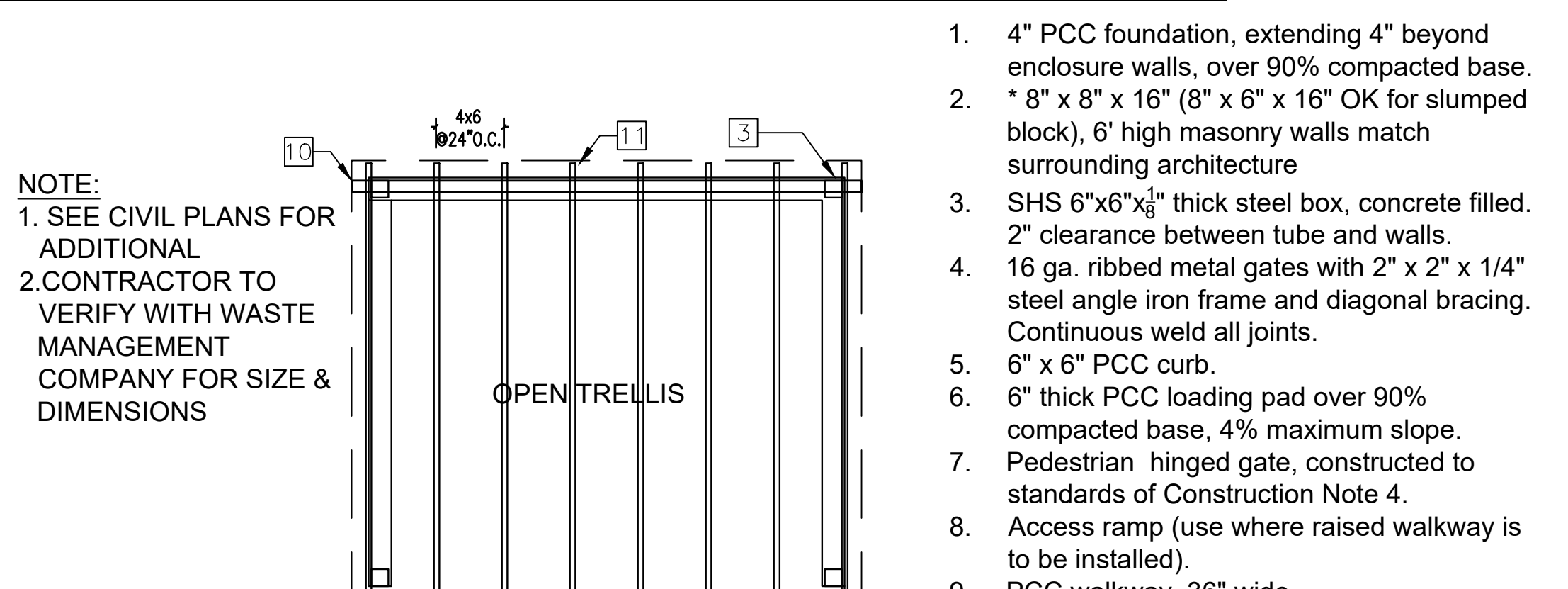
12 JAMB AT TRASH ENCLOSURE-ELEV



8 JAMB AT TRASH ENCLOSURE-ELEV



7 TRASH ENCLOSURE ELEVATION

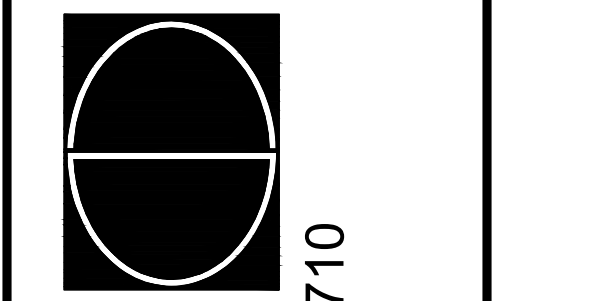
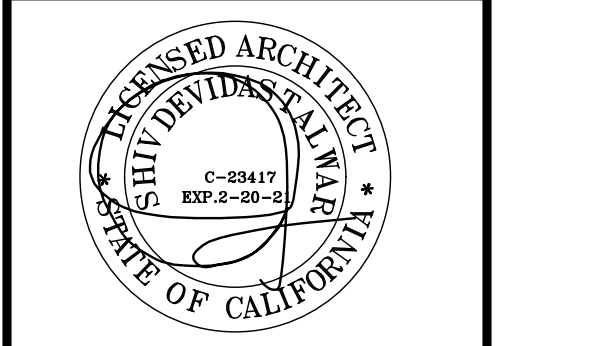


16 POST TO CMU WALL



17 DRAIN THRU WALK

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NO.	DATE	ISSUED	BY
	10/02/19	DRC	
	02/04/21	REVISION ON 08/05 DRC	
	06/22/21	REVISION ON 08/05 DRC	
	07/13/21	REVISION ON 08/05 DRC	

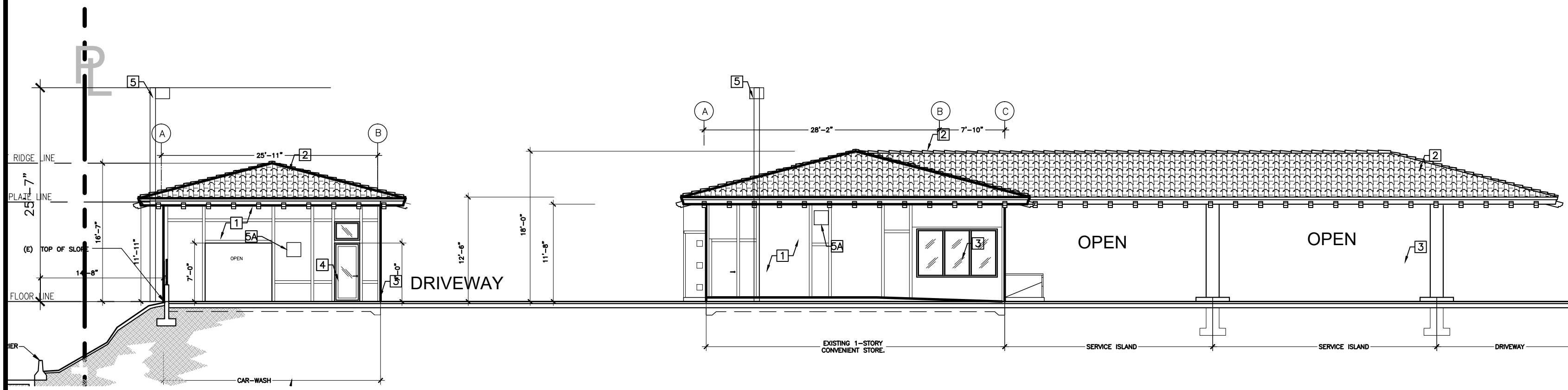
DRAWING TITLE	JOB TITLE	JOB ADDRESS
TRASH ENCLOSURE DETAILS	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER	2640 N. SANTIAGO BLVD. ORANGE, CA 92667

JOB NO.	DWG. NO.	REVISION NO.
2019-36	AD-1	

- 4" PCC foundation, extending 4" beyond enclosure walls, over 90% compacted base.
- \* 8" x 8" x 16" (8" x 6" x 16" OK for slumped block), 6' high masonry walls match surrounding architecture
- SHS 6"x6"x $\frac{3}{8}$ " thick steel box, concrete filled. 2" clearance between tube and walls.
- 16 ga. ribbed metal gates with 2" x 2" x 1/4" steel angle iron frame and diagonal bracing. Continuous weld all joints.
- 6" x 6" PCC curb.
- 6" thick PCC loading pad over 90% compacted base, 4% maximum slope.
- Pedestrian hinged gate, constructed to standards of Construction Note 4.
- Access ramp (use where raised walkway is to be installed).
- PCC walkway, 36" wide.
- 4" x 10" timber beam Joint to SHS 6"x6"x $\frac{3}{8}$ " thk. steel column
- 4" x 6" timber rafter Connected to main beam

NOTE:  
 1. SEE CIVIL PLANS FOR ADDITIONAL  
 2. CONTRACTOR TO VERIFY WITH WASTE MANAGEMENT COMPANY FOR SIZE & DIMENSIONS





### COLOR BOARD MATERIALS KEY ELEVATION

SCALE: 3/32" = 1'-0"

□ MATERIAL KEYNOTES



1 STUCCO TO MATCH WITH EXISTING BUILDING



2 CERAMIC TILE ROOFING TO MATCH W/ EXISTING BUILDING



3 PAINTED EXTRUDED WOOD TO MAINTAIN DESIGN W/ EXISTING BUILDING



4 EXTERIOR STEEL DOOR TO MATCH W/ EXISTING BUILDING

6 EXISTING LIGHTS TO BE REPLACED/RELOCATED AS PER PLAN

### 5 PROPOSED LIGHT POLES MATCH

**ALED3778N** RAB (Outdoor)

Project:	Type:
Prepared By:	Date:

**Driver Info**

Type	Constant Current	Brand	100W
Volt	120V	Color Temp	4000K (Neutral)
Power	0.5A	Color Rendering	90 CRI
Beam Angle	60° Beam	L70 (L80) Life	100,000
Input Watts	75.0W	Efficiency	134 LPW

**Technical Specifications**

**Lighting:** LED chip technology is available in 2-pin or 4-pin packages. LED chip technology is available in 2-pin or 4-pin packages.

**Color Stability:** LED chip technology is available in 2-pin or 4-pin packages.

**Color Rendering:** LED chip technology is available in 2-pin or 4-pin packages.

**LED Characteristics:** LED chip technology is available in 2-pin or 4-pin packages.

**RoHS:** LED chip technology is available in 2-pin or 4-pin packages.

**RoHS:** LED chip technology is available in 2-pin or 4-pin packages.

**RoHS:** LED chip technology is available in 2-pin or 4-pin packages.

### 5A PROPOSED EXTERNAL WALL PACK LIGHT

**WPLED10N** RAB

Project:	Type:
Prepared By:	Date:

**Driver Info**

Type	Constant Current	Brand	100W
Volt	120V	Color Temp	4000K (Neutral)
Power	0.5A	Color Rendering	90 CRI
Beam Angle	60° Beam	L70 (L80) Life	100,000
Input Watts	75.0W	Efficiency	134 LPW

**Technical Specifications**

**Lighting:** LED chip technology is available in 2-pin or 4-pin packages.

**Color Stability:** LED chip technology is available in 2-pin or 4-pin packages.

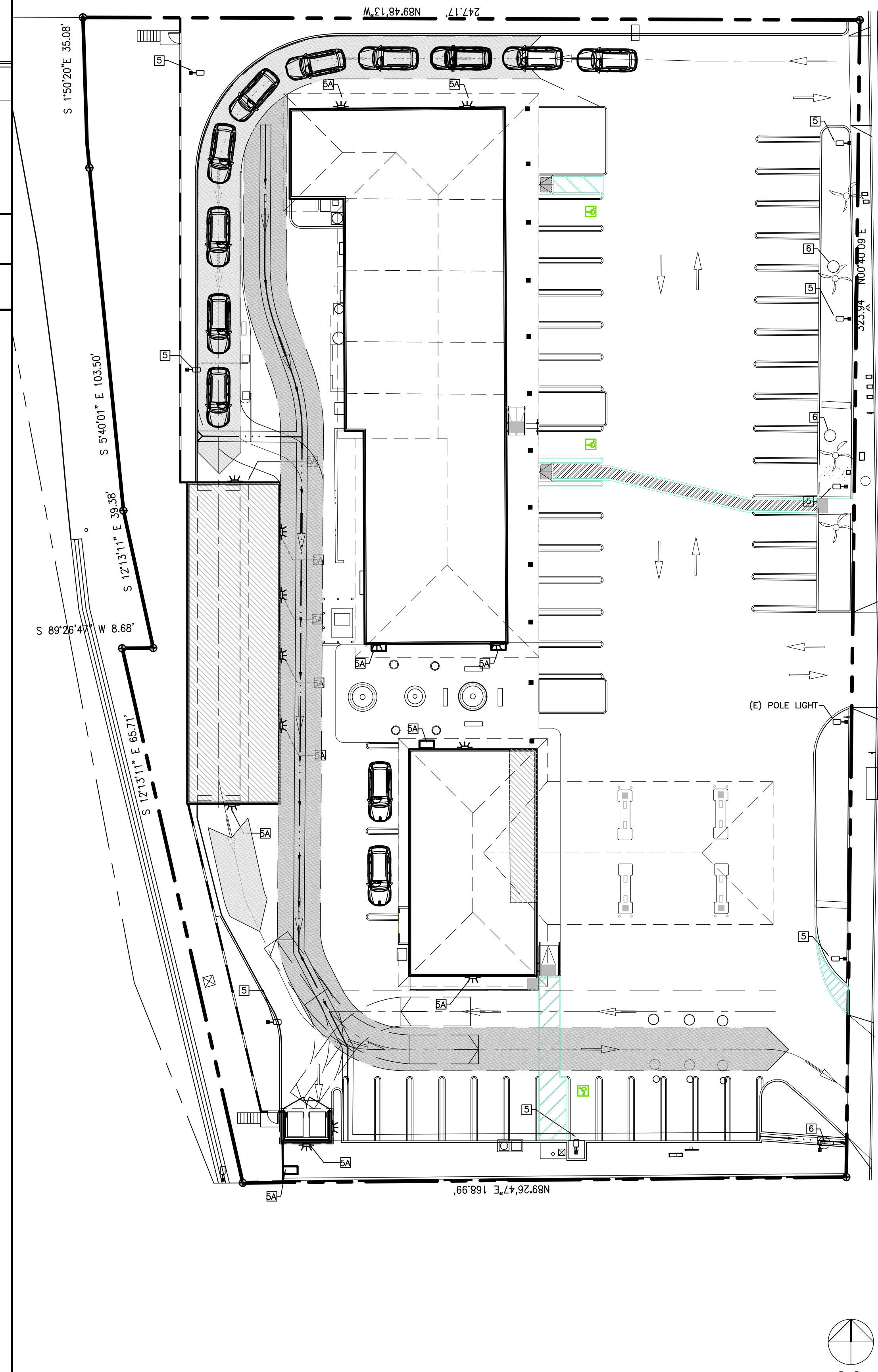
**Color Rendering:** LED chip technology is available in 2-pin or 4-pin packages.

**LED Characteristics:** LED chip technology is available in 2-pin or 4-pin packages.

**RoHS:** LED chip technology is available in 2-pin or 4-pin packages.

**RoHS:** LED chip technology is available in 2-pin or 4-pin packages.

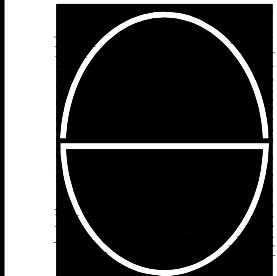
**RoHS:** LED chip technology is available in 2-pin or 4-pin packages.



### EXTERIOR LIGHTING PLAN

SCALE: 3/64" = 1'-0"

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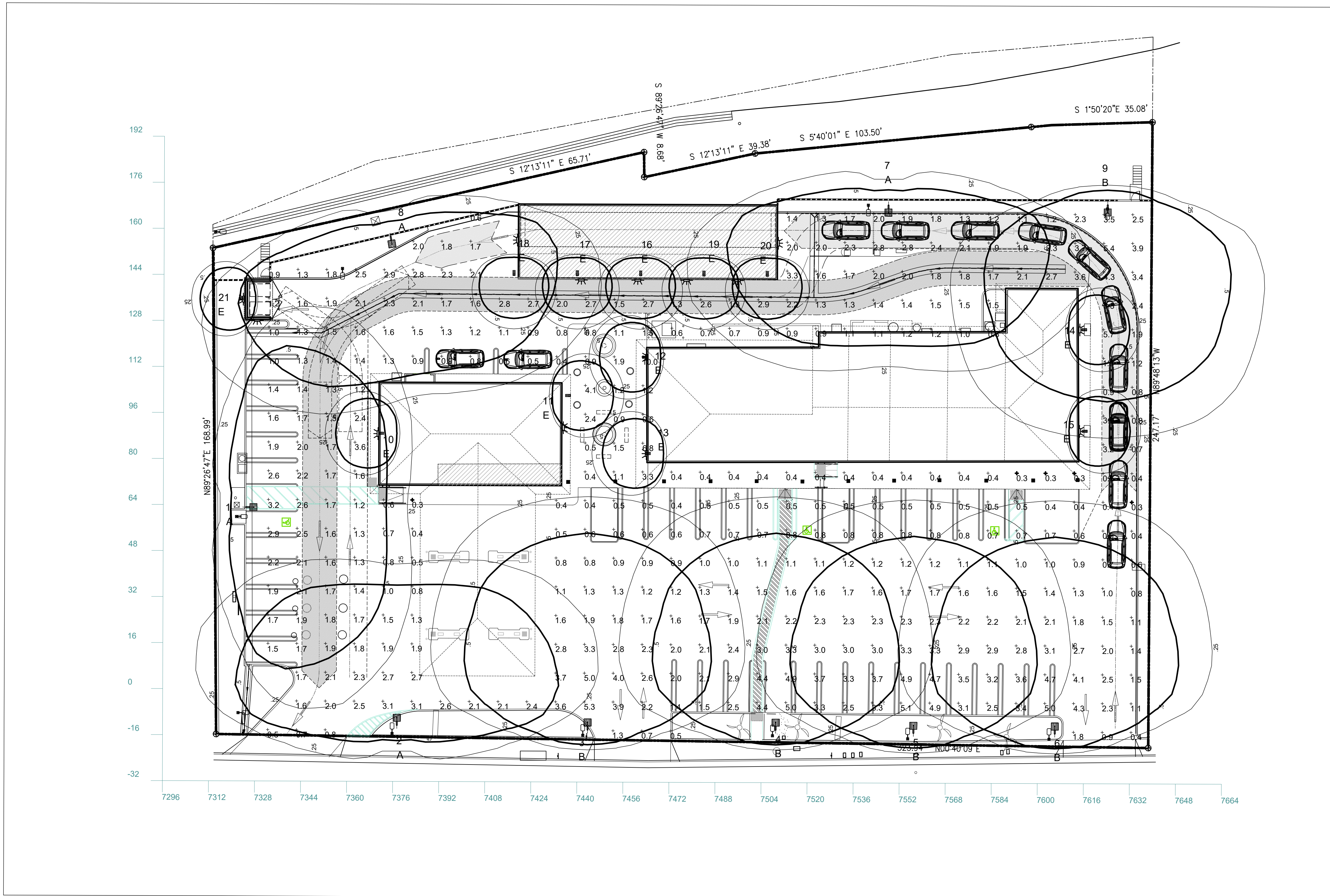


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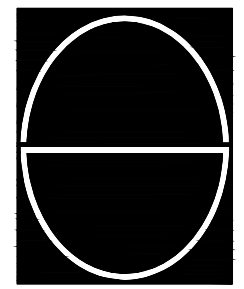
NO.	DATE	ISSUED	DESCRIPTION
	10/02/19	DRC	REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		

<b>DRAWING TITLE</b>	<b>MATERIAL BOARD</b>
<b>JOB TITLE</b>	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
<b>JOB ADDRESS</b>	2840 N. SANTIAGO BLVD. ORANGE, CA 92667
<b>JOB NO.</b>	2019-36
<b>DWG. NO.</b>	MB-1
<b>REVISION NO.</b>	





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DRAWING TITLE	NO.	DATE	ISSUED
JOB TITLE ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER		10/02/19	DRC
		02/04/21	REVISION ON 08/05 DRC
		06/22/21	REVISION ON 08/05 DRC
JOB ADDRESS 2840 N. SANTIAGO BLVD. ORANGE, CA 92667			
JOB NO.	2019-36		
DWG. NO.	LT-1		
REVISION NO.			



**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpclr	PtSpctb	Meter Type
CalcPts_1	Illuminance	Fc	1.79	10.0	0.3	5.97	33.33	Readings taken @ 0'-0" AFG	10	10	Horizontal

**Luminaire Schedule**

All quotes/orders generated from this layout must be forwarded to the Local Rep Agency

Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating
	4	A	ALED3T78N	SINGLE	1.000	ALED3T78N (TYPE III)	B1-U0-G2
	5	B	ALED4T78N	SINGLE	1.000	ALED4T78N (TYPE IV)	B1-U0-G2
	12	E	WPLED10N	SINGLE	1.000	WPLED10N (Full Cutoff Wallpack)	B1-U0-G0

**Expanded Luminaire Location Summary**

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	7323.858	62.136	25	0	0
2	A	7375.744	-12.73	25	90	0
3	B	7442.037	-14.124	25	90	0
4	B	7507.4	-13.969	25	90	0
5	B	7555.261	-14.899	25	90	0
6	B	7604.39	-14.985	25	90	0
7	A	7546.004	167.089	25	270	0
8	A	7373.176	155.601	25	280	0
9	B	7622.195	167.396	25	270	0
10	E	7369.838	87.898	7.5	180	0
11	E	7434.538	101.319	7.5	0	0
12	E	7462.785	114.743	7.5	180	0
13	E	7462.979	81.264	7.5	180	0
14	E	7613.859	124.785	7.5	0	0
15	E	7614.137	89.493	7.5	0	0
16	E	7459.955	144.173	7.5	270	0
17	E	7437.955	144.173	7.5	270	0
18	E	7415.955	144.173	7.5	270	0
19	E	7481.955	144.173	7.5	270	0
20	E	7503.955	144.173	7.5	270	0
21	E	7317.018	138.911	6	180	0

Total Quantity: 21



ALED3T78N



ALED4T78N



WPLED10N



PS4-07-25D2

**NOTES:**

\* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

\* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

\* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

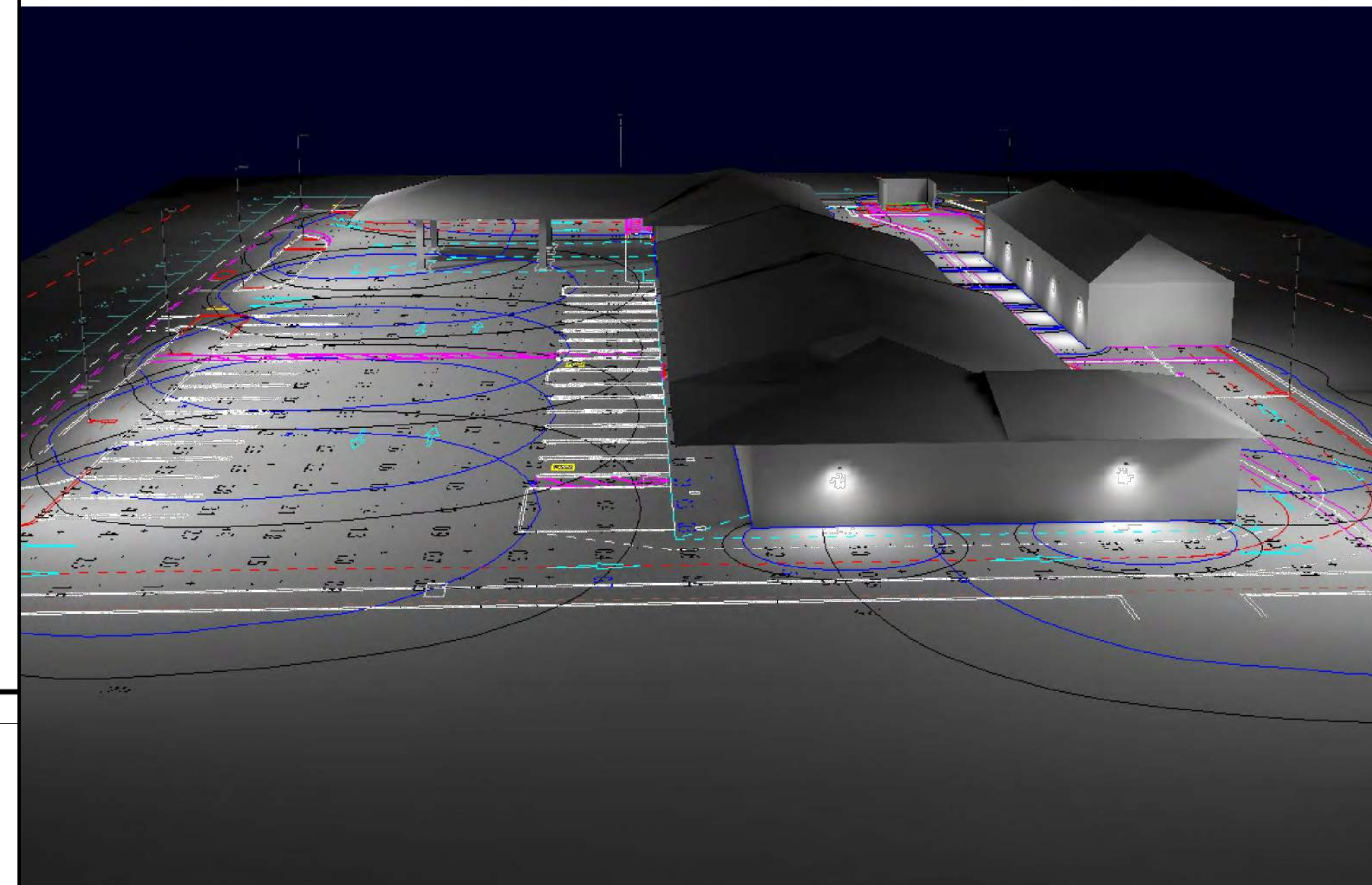
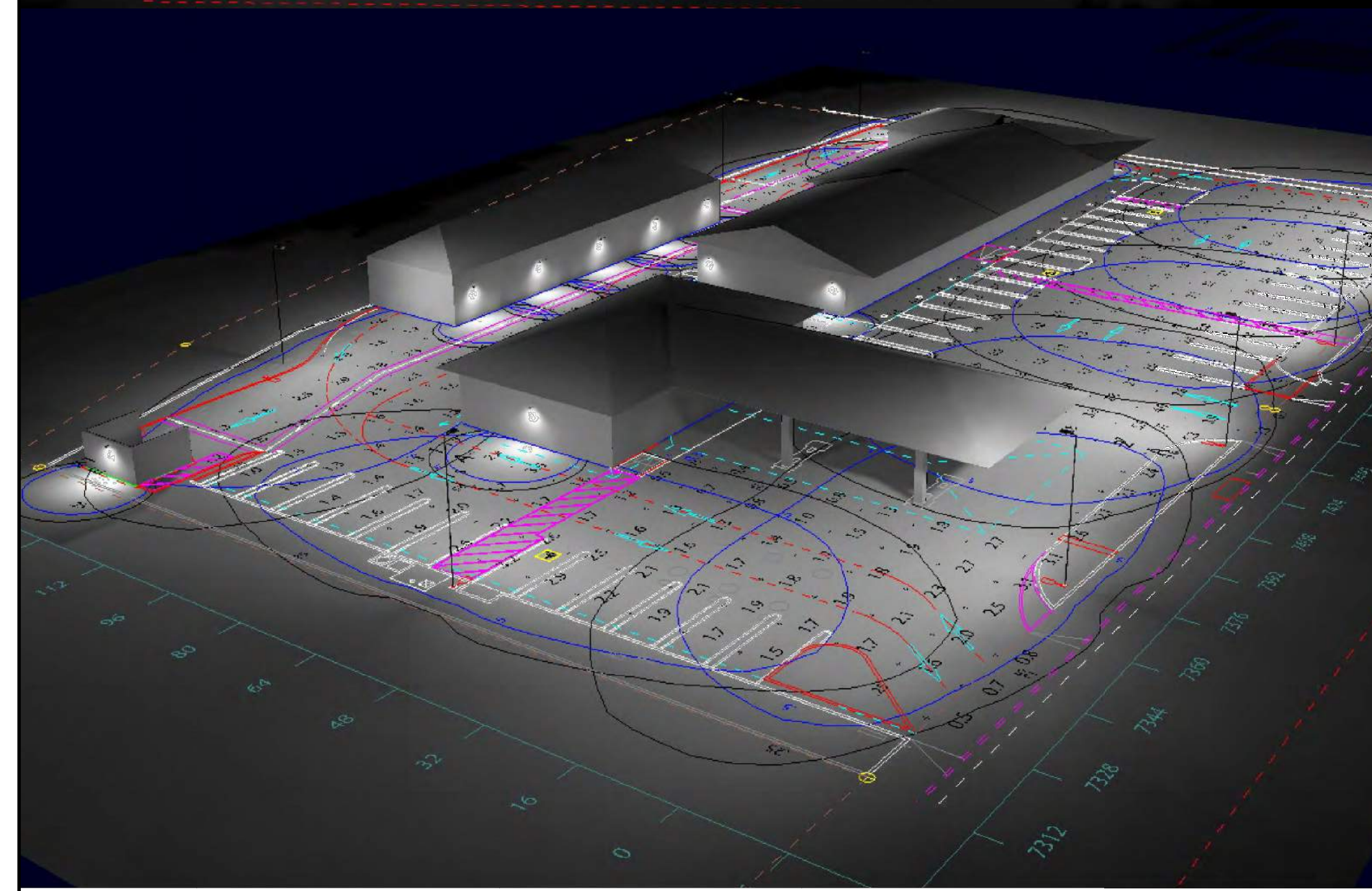
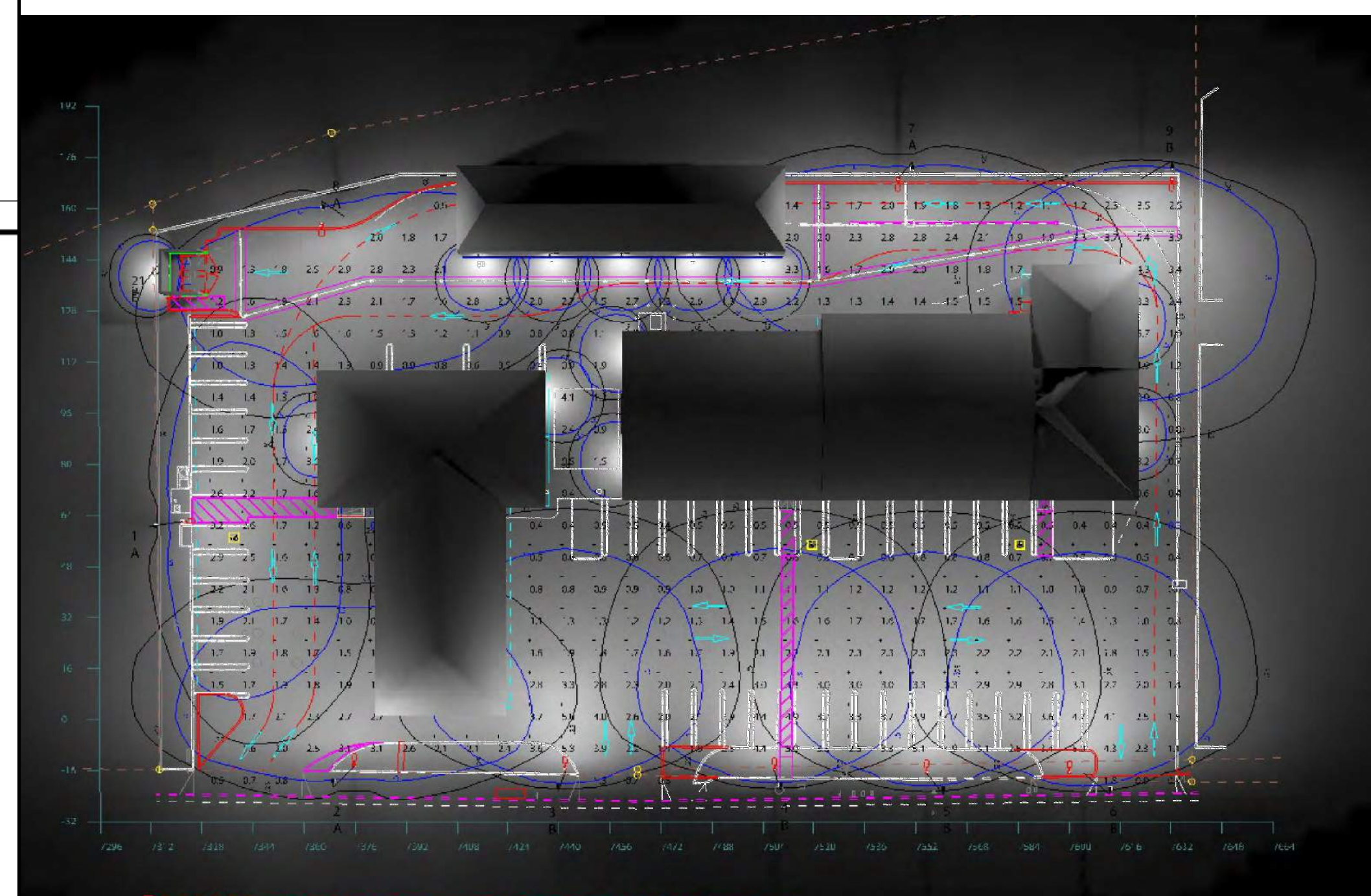
\* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

\* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

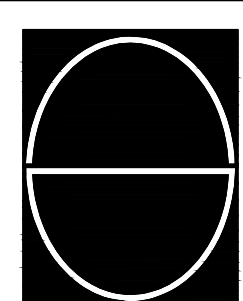
\* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

\* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

\* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



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NO.	DATE	ISSUED	DRC
	10/02/19		REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	09/22/21		

DRAWING TITLE: LIGHTING DETAILS & PHOTOMETRIC RENDERING  
 JOB TITLE: ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER  
 JOB ADDRESS: 2840 N. SANTIAGO BLVD. ORANGE, CA 92667

JOB NO. 2019-36  
 DWG. NO. LT-2 REVISION NO.



WPLED10N RAB

Project: Type: Prepared By: Date: Driver Info LED Info

Technical Specifications Listings UL Listing: Suitable for Wet Locations as a Downlight... IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory...

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WPLED10N RAB

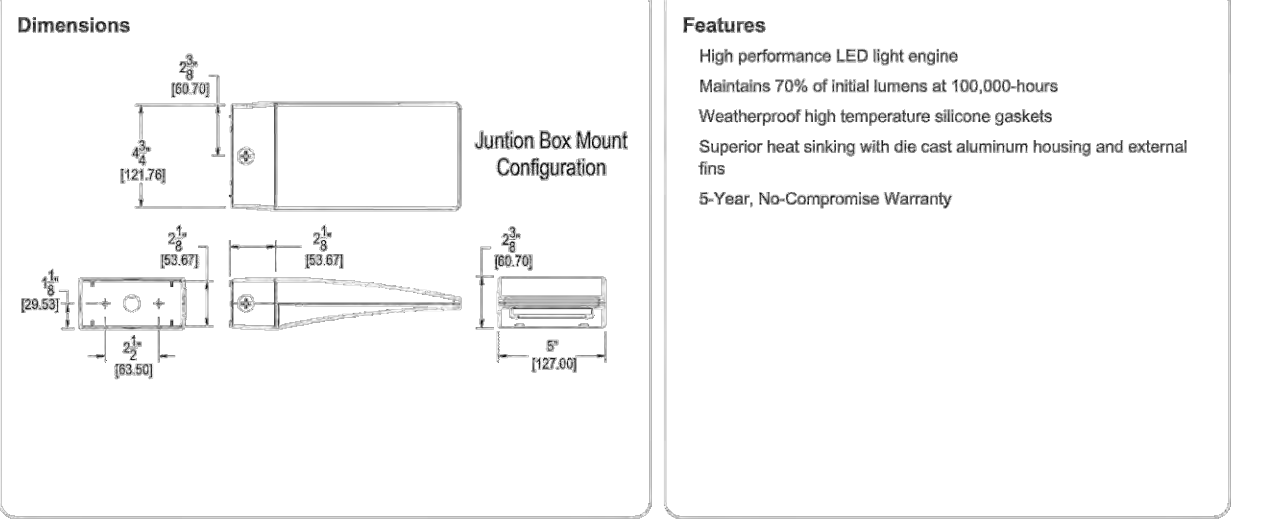
Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Technical Specifications Other HID Replacement Range: Replaces 35-100W Metal Halide... Bug Rating: B1 U0 G0

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com

WPLED10N RAB

Technical Specifications (continued) Other Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).



Technical Specifications Features High performance LED light engine Maintains 70% of initial lumens at 100,000-hours... Ambient Temperature: Suitable for use in 40°C (104°F)

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ALED3T78N RAB Outdoor

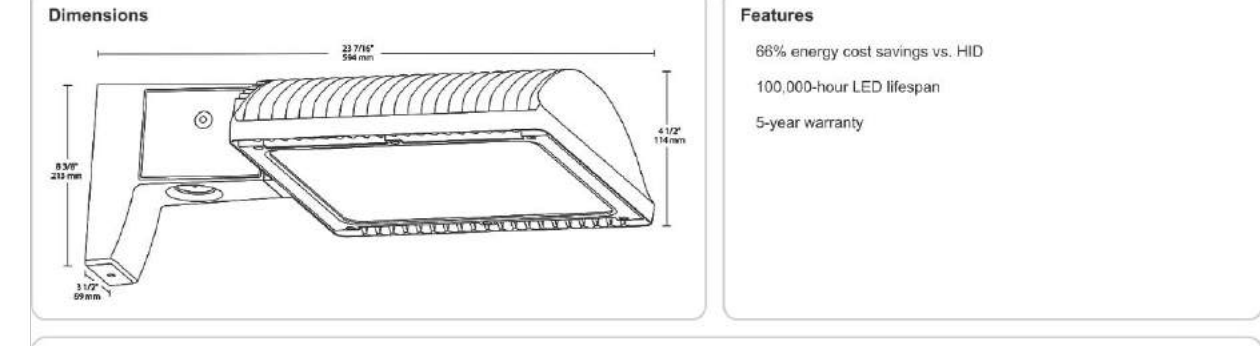
Project: Type: Prepared By: Date: Driver Info LED Info

Technical Specifications Listings UL Listing: Suitable for wet locations as a downlight... IESNA LM-79 & IESNA LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory...

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ALED3T78N RAB Outdoor

Technical Specifications (continued) Construction Gaskets: High-temperature silicone gaskets... Power Factor: 99.9% at 120V, 93.7% at 277V



Ordering Matrix table with columns: Family, Optics, Wattage, Mounting, Color Temp, Finish, Driver Options, Options, Other Options

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PS4-07-25D2 RAB Outdoor

Project: Type: Prepared By: Date: Dimensions Diagram showing square steel poles with dimensions.

Technical Specifications Listings CSA Listed: Suitable for wet locations... Construction 7... Hand Holes: Reinforced with grounding lug and removable cover

Technical Specifications (continued) Other Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).

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PS4-07-25D2 RAB Outdoor

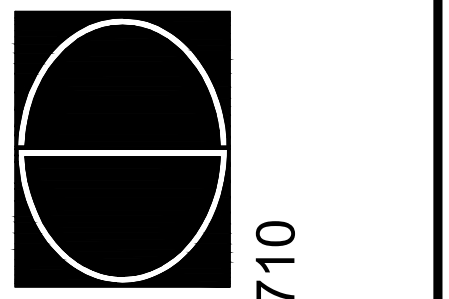
Dimensions Diagram showing square steel poles with dimensions.

Technical Specifications Features Designed for ground mounting... Heavy duty TPO polyester coating... Reinforced hand holes with grounding lug and removable cover for easy wiring access

Technical Specifications (continued) Other Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).

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DESIGN CONCEPTS SHIV TALWAR, ARCHITECT AIA 3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710 TEL: 909-591-3939 dsignconcepts@yahoo.com

Table with columns: NO., DATE, ISSUED, DRC

DRAWING TITLE LIGHTING DETAILS JOB TITLE ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER JOB ADDRESS 2640 N. SANTIAGO BLVD. ORANGE, CA 92667

JOB NO. 2013-36 DWG. NO. LT-3 REVISION NO.



**ALED3T78N**

RAB Outdoor



Color: Bronze Weight: 33.4 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	78W
120V	0.66A	Color Temp	4000K (Neutral)
208V	0.41A	Color Accuracy	72 CRI
240V	0.35A	L70 Lifetime	100,000
277V	0.30A	Lumens	8,941
Input Watts	75.9W	Efficacy	117.8 LPW

**Technical Specifications**

**UL Listing:**  
Suitable for wet locations as a downlight.

**DLC Listed:**  
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

**IESNA LM-79 & IESNA LM-80 Testing:**  
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**Dark Sky Compliance:**  
Conforms to (allows for conformance to) the ICA's July shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and poles).

**LED Characteristics:**

**LifeSpan:**  
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

**LEDs:**  
Six (6) multi-chip, 120V, high-output, long-life LEDs.

**Color Consistency:**  
3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

**Color Stability:**  
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period.

**Color Uniformity:**  
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

**Construction:**  
The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

**Ambient Temperature:**  
Suitable for use in 40°C (104°F).

**Cold Weather Starting:**  
Minimum starting temperature is 40°C (40°F).

**Thermal Management:**  
Superior heat sinking with external Air-Flow fans.

**Effective Projected Area:**  
EPA = 0.15

**Lens:**  
Tempered glass lens

**Housing:**  
Die cast aluminum housing, lens frame and mounting arm

**IP Rating:**  
Ingress Protection rating of IP68 for dust and water

**Mounting:**  
Universal mounting arm compatible for hole spacing patterns from 1" to 12" center to center. Round Pole Adaptor pole included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be 1.75" to mount fixture at 90° orientation.

**Reflector:**  
Specular vacuum-metallized polycarbonate

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**ALED3T78N**

RAB Outdoor

**Technical Specifications (continued)**

**Construction:**  
High-temperature silicone gaskets

**Finish:**  
Formulated for high durability and long-lasting color

**Green Technology:**  
Mercury and UV free, RoHS-compliant components.

**Electrical:**

**Surge Protection:**  
4kV

**Driver:**  
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

**THD:**  
5.2% at 120V, 13.8% at 277V

**Power Factor:**  
99.3% at 120V, 93.7% at 277V

**Patents:**  
The ALED design is protected by patents in the U.S. Pat. 688,370, Canada Pat. 144956, China ZL2012201101154.X, and Mexico Pat. 38423. Pending patents in Taiwan.

**BAA Compliance:**  
Click [www.rablighting.com/products/ALED3T78N](http://www.rablighting.com/products/ALED3T78N) USA for BAA compliance.

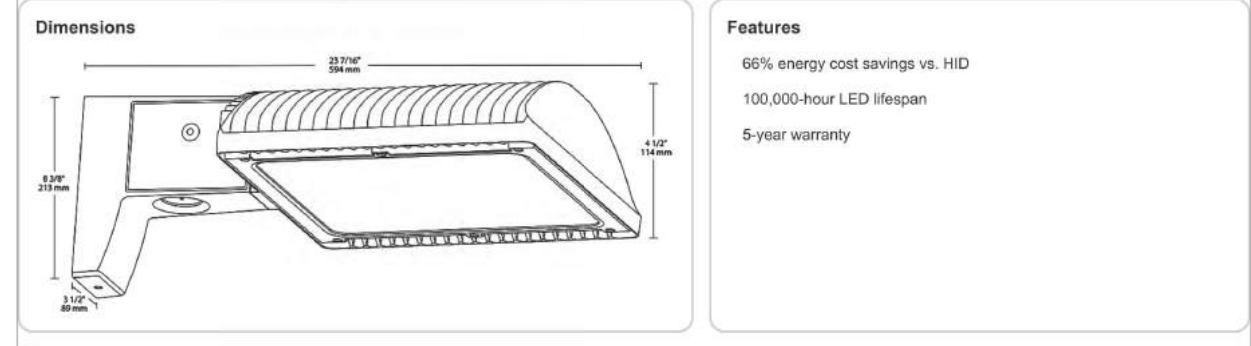
**Warranty:**  
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [www.rablighting.com/legal/warranty](http://www.rablighting.com/legal/warranty).

**Equivalency:**  
Equivalent to 250W Metal Halide

**Buy American Act Compliance:**  
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Optical:**

**BUG Rating:**  
B1 US G2



**Features**  
66% energy cost savings vs. HD  
100,000-hour LED lifespan  
5-year warranty

**Ordering Matrix**

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	3T	78	N	N				
4T = Type IV	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option		Blank = Standard USA = BAA Compliant
3T = Type III	78 = 78W	SF = Splitter	RG = Roadway Gray	RG = Roadway Gray	480 = 480V	LC = Lightcouch® Controller		
2T = Type II	150 = 150W		N = 4000K (Neutral)	W = White	480 = 480V	PCB = 120V Swivel Protocol		
	125 = 125W		Y = 3000K (Warm)	K = Black	480 = 480V	PCB = 277V Swivel Protocol		
	150 = 150W				Dimming	PCB = 120-277V Twistlock Protocol		
	150 = 150W					PCB = 480V Swivel Protocol		
						PCB = 480V Twistlock Protocol		
						WS2 = Multi-Level Motion Sensor 20 ft.		
						WS4 = Multi-Level Motion Sensor 40 ft.		

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**ALED4T78N**

RAB Outdoor

**Technical Specifications (continued)**

**Construction:**  
High-temperature silicone gaskets

**Finish:**  
Formulated for high durability and long-lasting color

**Green Technology:**  
Mercury and UV free, RoHS-compliant components.

**Electrical:**

**Surge Protection:**  
4kV

**Driver:**  
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

**THD:**  
4.4% at 120V, 12.8% at 277V

**Power Factor:**  
98.5% at 120V, 93.6% at 277V

**Patents:**  
The ALED design is protected by patents in the U.S. Pat. 688,370, Canada Pat. 144956, China ZL2012201101154.X, and Mexico Pat. 38423. Pending patents in Taiwan.

**BAA Compliance:**  
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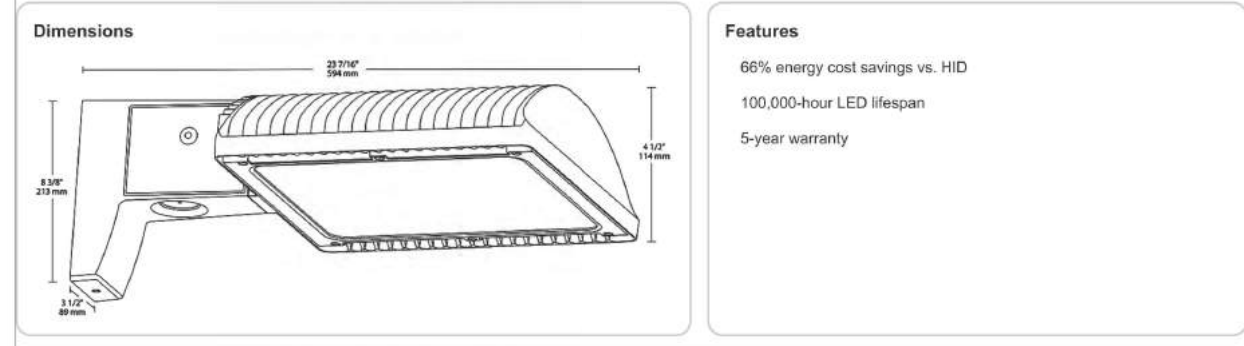
**Warranty:**  
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [www.rablighting.com/legal/warranty](http://www.rablighting.com/legal/warranty).

**Equivalency:**  
Equivalent to 250W Metal Halide

**Buy American Act Compliance:**  
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Optical:**

**BUG Rating:**  
B1 US G2



**Features**  
66% energy cost savings vs. HD  
100,000-hour LED lifespan  
5-year warranty

**Ordering Matrix**

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	78	N	N				
4T = Type IV	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option		Blank = Standard USA = BAA Compliant
3T = Type III	78 = 78W	SF = Splitter	RG = Roadway Gray	RG = Roadway Gray	480 = 480V	LC = Lightcouch® Controller		
2T = Type II	150 = 150W		N = 4000K (Neutral)	W = White	480 = 480V	PCB = 120V Swivel Protocol		
	125 = 125W		Y = 3000K (Warm)	K = Black	480 = 480V	PCB = 277V Swivel Protocol		
	150 = 150W				Dimming	PCB = 120-277V Twistlock Protocol		
						PCB = 480V Swivel Protocol		
						PCB = 480V Twistlock Protocol		
						WS2 = Multi-Level Motion Sensor 20 ft.		
						WS4 = Multi-Level Motion Sensor 40 ft.		

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**ALED4T78N**

RAB Outdoor

**Technical Specifications (continued)**

**Construction:**  
High-temperature silicone gaskets

**Finish:**  
Formulated for high durability and long-lasting color

**Green Technology:**  
Mercury and UV free, RoHS-compliant components.

**Electrical:**

**Surge Protection:**  
4kV

**Driver:**  
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

**THD:**  
4.4% at 120V, 12.8% at 277V

**Power Factor:**  
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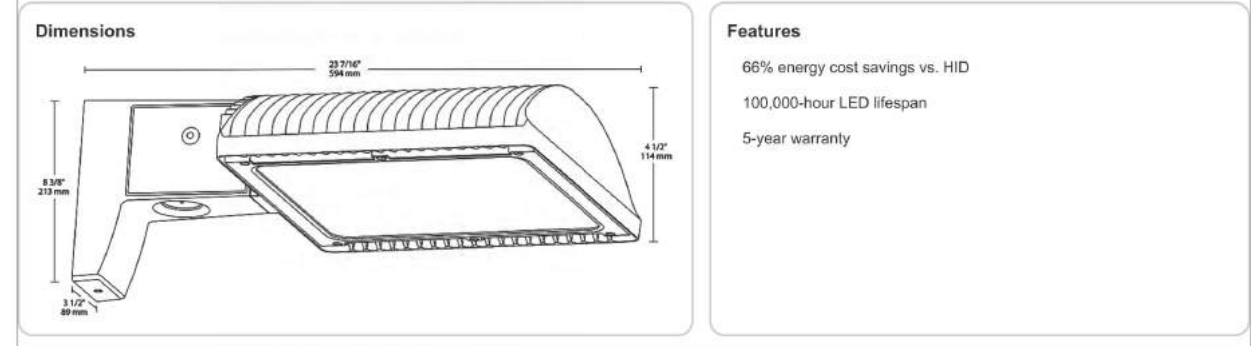
**Warranty:**  
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [www.rablighting.com/legal/warranty](http://www.rablighting.com/legal/warranty).

**Equivalency:**  
Equivalent to 250W Metal Halide

**Buy American Act Compliance:**  
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Optical:**

**BUG Rating:**  
B1 US G2



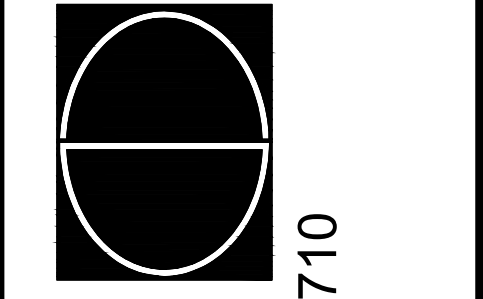
**Features**  
66% energy cost savings vs. HD  
100,000-hour LED lifespan  
5-year warranty

**Ordering Matrix**

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	78	N	N				
4T = Type IV	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option		Blank = Standard USA = BAA Compliant
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**DESIGN CONCEPTS**  
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3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710  
TEL: 909-591-3939 [dsgnconcepts@yahoo.com](mailto:dsgnconcepts@yahoo.com)

DRAWING TITLE LIGHTING DETAILS	NO.	DATE	ISSUED	
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		06/22/21		
JOB ADDRESS 2840 N. SANTIAGO BLVD. ORANGE, CA 92667				
JOB NO.	2019-36			
DWG. NO.	LT-4			
REVISION NO.				



# FIRE MASTER PLAN FOR : SANTIAGO CENTER 2640 N.SANTIAGO BLVD. ORANGE, CA 92867

## GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL HAVE WORKMAN'S COMPENSATION FOR ALL PERSONS WORKING ON THE JOB.
2. THE GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS.
3. THE GENERAL CONTRACTOR SHALL PROVIDE LIEN RELEASES FOR ALL LABOR AND MATERIALS PAID FOR PRIOR TO RECEIVING THE NEXT INSTALLATION PAYMENT.
4. ALL WORK SHALL CONFORM TO THE CODES, REGULATION AND STANDARDS OF THE GOVERNING CITY, COUNTY AND STATE AGENCIES.
5. ALL MATERIALS SHALL BE PREMIUM GRADE QUALITY THROUGHOUT. NO SUBSTITUTION OF SPECIFIED MATERIALS ALLOWED WITHOUT CONSENT FROM THE ARCHITECT.
6. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE SANITARY RESTROOM FACILITY WHICH SHALL BE MAINTAINED ON A REGULAR BASIS.
7. THE GENERAL CONTRACTOR SHALL PROVIDE A JOB SHACK WITH A TELEPHONE, CHAIN LINK FENCING AROUND THE SITE AND A TEMPORARY POWER POLE. THE CONTRACTOR SHALL PAY FOR ELECTRICAL POWER, WATER AND TELEPHONE CHARGES DURING CONSTRUCTION.
8. INSTALLATION OF ELECTRIC, TELEPHONE AND CABLE T.V. TO THE FACILITY SHALL BE BY CONTRACTOR.
9. NOT USED.
10. THE GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF CONSTRUCTION BY HIS EMPLOYEES OR SUBCONTRACTORS.
11. NOT USED.
12. GENERAL CONTRACTOR SHALL HAVE THE ENTIRE FACILITY PROFESSIONALLY CLEANED, INCLUDING WINDOWS INSIDE AND OUTSIDE, PRIOR TO DELIVERING IT TO THE OWNER.
13. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS. WHERE CONFLICTING MATERIALS AND CONDITIONS ARE CALLED OUT, ASSUME THE MORE EXPENSIVE CONDITION. NOTIFY THE OWNER AND ARCHITECT PRIOR TO WORK BEING STARTED.
14. NOT USED.
15. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER FOR EACH CHANGE ORDER PRIOR TO COMMENCING WITH THE WORK IN QUESTION. EACH CHANGE ORDER MUST BE INVOICED WITH THE NEXT PAYMENT REQUEST AFTER THE CHANGE ORDER WORK IS COMPLETED. EXTRA WORK DONE WITHOUT AN APPROVED CHANGE IS NOT REIMBURSABLE.
16. THE ACTUAL LOCATION OF THE ELECTRICAL METER SHALL BE DETERMINED BY THE ELECTRIC COMPANY AND SHALL HAVE THE OWNER'S APPROVAL PRIOR TO SETTING (SEE ELECTRICAL PLANS).
17. DIAGRAMMATICAL DRAWINGS. DO NOT SCALE PRINTS. "NOT TO SCALE" (INDICATED AS N.T.S.), AND THE LISTED DIMENSION SHALL GOVERN.
18. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS PRIOR TO PROCEEDING.
19. CONTRACTOR TO VERIFY WITH THE OWNER ALL MATERIALS AND FINISHES NOTED ON THESE PLANS PRIOR TO ORDERING, INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, PLUMBING FIXTURES, APPLIANCES, FLOOR FINISHES, MILL WORK, ELECTRICAL LIGHT FIXTURES, ETC.
20. PLANS AND SUPPORTING DOCUMENTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. WHERE SUCH PLANS ARE NOT PREPARED BY THE ARCHITECT OR ENGINEER OF RECORD, THEY SHALL BE REVIEWED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.

## FIRE DEPARTMENT GENERAL NOTES

1. OFD SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. CALL THE FIRE PREVENTION OFFICE AT (714) 288-2541 FOR INSPECTION SCHEDULING.
2. A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO DELIVERY TO THE SITE. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 68,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
3. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. TO SCHEDULE AN APPOINTMENT, CALL THE FIRE PREVENTION OFFICE AT (714) 288-2541.
4. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS.
5. AN ORIGINAL APPROVED, SIGNED, WET STAMPED OFD FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE.
6. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES.
7. AREA WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED.
8. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTION AND A NOTICE OF CORRECTION OR CITATION WILL BE ISSUED.
9. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OFD PRIOR TO INSTALLATION AND USE.
10. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING.
11. ALL GATES WHICH ARE REQUIRED FOR FIRE DEPARTMENT ACCESS SHALL BE EQUIPPED WITH EITHER A KNOX BOX OR FIRE DEPARTMENT PADLOCK.
12. BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
13. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE TO THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G. ROLLED, RAMPED, ETC). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER APPROVED OFD FIRE MASTER PLAN.
14. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 66,000 LBS AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
15. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
16. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY.
17. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC.
18. APPROVAL ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
19. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORN OR STROBES.
20. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
21. ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OFD.
22. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL FOR ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN RELATED PORTIONS OF THE 2013 CFC AND ORANGE MUNICIPAL CODE. THE PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

## SCOPE OF WORK

THE SCOPE OF WORK IS AS FOLLOWS:

1. CONVERT EXISTING AUTO REPAIR SERVICE TO C-STORE
2. ADDITION OF DRIVE-THROUGH AUTOMATIC AND FULL SERVICE CAR-WASH.

## PROJECT SUMMARY

PROJECT ADDRESS:

LOT "A": 2640 N. SANTIAGO BLVD. ORANGE CA 92867.  
LOT "B": 2650-2660 N. SANTIAGO BLVD. ORANGE CA 92867.

APN #: 361-401-27 & 361-401-25  
TRACT #: 658

LOT #: L  
ZONING: C-TR (LIMITED BUSINESS- TUSTIN REDEVELOPMENT)

DESCRIPTION OF USE:

LOT "A" CURRENT: SERVICE STATION W/AUTO SERVICE REPAIR.  
PROPOSED: SERVICE STATION W/CAR WASH & C-STORE.  
LOT "B" CURRENT: RETAIL CENTER.

LOT SIZE "A" AREA: 30,265 SQ. FT.  
LOT SIZE "B" AREA: 41,418 SQ. FT.

LOT "A" COVERAGE: 3,610 SQ. FT.  
F.A.R. (FLOOR AREA RATIO): .12  
LOT "B" COVERAGE: 6,144 SQ. FT.  
F.A.R. (FLOOR AREA RATIO): .15

LOT "A" BUILDING AREA:

1. EXISTING:	SHELL GAS STATION:	1,942 SQ. FT.
2. PROPOSED:	C-STORE TENANT IMPROVEMENT ADDITION: AT FRONT (C-STORE)	333 SQ. FT.
PROPOSED:	CAR-WASH ADDITION:	2,340 SQ. FT.
TOTAL PROPOSED:		2,673 SQ. FT.
TOTAL LOT "A":		4,615 SQ. FT.

LOT "B" BUILDING AREA:

EXISTING:	K.C. LIQUOR STORE:	2,586 SQ. FT.
	PATIO FIREPLACE:	588 SQ. FT.
	VALUE CLEANERS:	810 SQ. FT.
	MARRIS PIZZA:	810 SQ. FT.
	BBQ OUTLET-PATIO FIREPLACE:	1,350 SQ. FT.
TOTAL LOT "B":		6,144 SQ. FT.

## DESIGN TEAM

### ARCHITECT

DESIGN CONCEPTS  
SHIV TALWAR AIA  
3340 RIVERSIDE DR.  
CHINO, CA-91710.  
TEL: (909) 510-0512  
CONTACT: SHIV TALWAR  
designconcepts@yahoo.com

### OWNER

MR. SURINDER MULTANI  
TEL:

## CODE ANALYSIS

APPLICABLE CODES	TYPE OF CONSTRUCTION: VB (NON SPRINKLERED)	SEC. 602.5
2019 CALIFORNIA BUILDING CODE (CBC)		
2019 CALIFORNIA MECHANICAL CODE (CMC)		
2019 CALIFORNIA PLUMBING CODE (CPC)		
2019 CALIFORNIA ELECTRICAL CODE (CEC)	OCCUPANCY: M (RETAIL SALES)	SEC. 303.1
2019 TITLE 24 ENERGY REGULATIONS	NUMBER OF STORY: 1	
2019 CALIFORNIA FIRE CODE (CFC) & NFPA - 13	ALLOWABLE AREA: 9,000 SF PER TABLE 503 (M- OCC)	
COUNTY OF ORANGE ENVIRONMENTAL HEALTH CITY OF ORANGE MUNICIPAL CODES		

TYPE OF CONSTRUCTION (BLDG. A & BLDG. B)	VB
OCCUPANCY (BLDG. A & BLDG. B) AS PER TABLE 506.2	M
TOTAL COMBINED 8429 SQ. FT. < ALLOWABLE OF 9000 SQ. FT.	
ALLOWABLE AS PER TABLE 506.2	36,000 SQ. FT.
PROPOSED (EXISTING AND ADDITION) ARE LESS THAN 36,000 SQ. FT.	

## REGIONAL SEPARATION

BUILDING 'A' OCCUPANCY	M
BUILDING 'B' OCCUPANCY	M

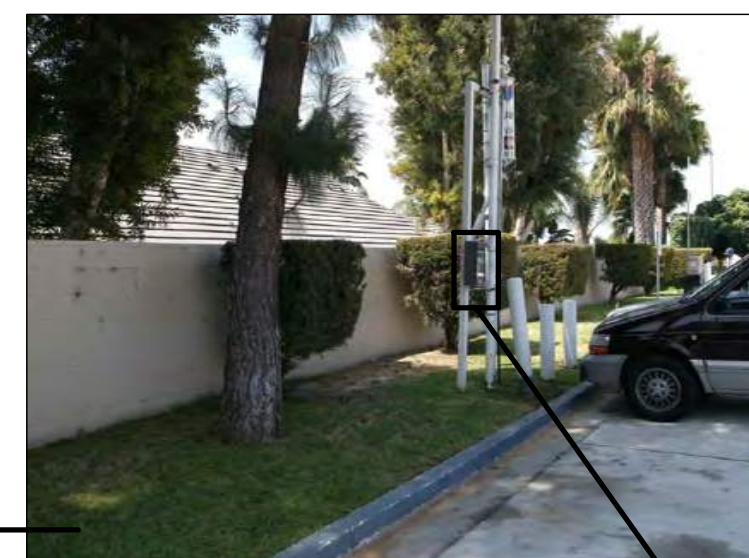
NO OCCUPANCY REQUIRED AS PER CBC TABLE 508.4

## PARKING ANALYSIS

BUILDING	LOT	TENANT	USE	AREA	FORMULA	REQUIRED	PROVIDED
	"A"	C-STORE GAS STATION CAR WASH SERVICE(HAND DRY) VACUUM BAY	RETAIL	2,270 S.F.	1/800 SQ. FT.	3 SPACES 2 SPACES 2.5 SPACES	
TOTALS						9.5 SAY 10 SPACES	
	"B"	EXISTING K.C. LIQUOR COMPUTER RETAIL VALUE CLEANERS PIZZA TAKE-OUT BBQ OUTLET	RETAIL	6,144 S.F.	5/1000 SQ. FT.	31 SPACES	
TOTALS						31 SPACES	
						41	40 SPACES
		ACCESSIBLE PARKING			1 CAR/25 SPACES	2 SPACES	3 SPACES

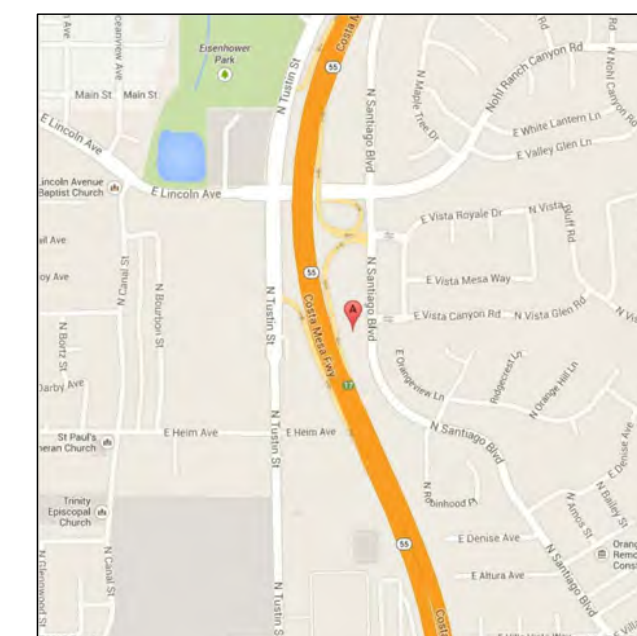


FIRE ALARM



FIRE EXTINGUISHER

## VICINITY MAP



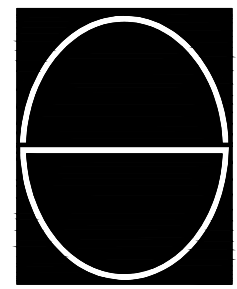
## LOCATION OF FIRE APPARATUS PARKING



## DRAWING INDEX

ARCHITECTURAL:  
TF-1 FIRE PLAN TITLE SHEET AND SITE ANALYSIS.  
F-1 PROPOSED FIRE MASTER PLAN

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TEL: 909-591-3939 designconcepts@yahoo.com

NO.	DATE	ISSUED	DESCRIPTION
	10/02/19		DRG
	02/04/21		REVISION ON 08/05 DRG
	06/22/21		REVISION ON 08/05 DRG

DRAWING TITLE  
TITLE SHEET & SITE ANALYSIS  
FIRE MASTER PLAN  
JOB TITLE  
ADDITION & REMODEL (CUP APPLICATION)  
SANTIAGO CENTER  
JOB ADDRESS  
2640 N. SANTIAGO BLVD.  
ORANGE, CA 92867

JOB NO. 2019-36

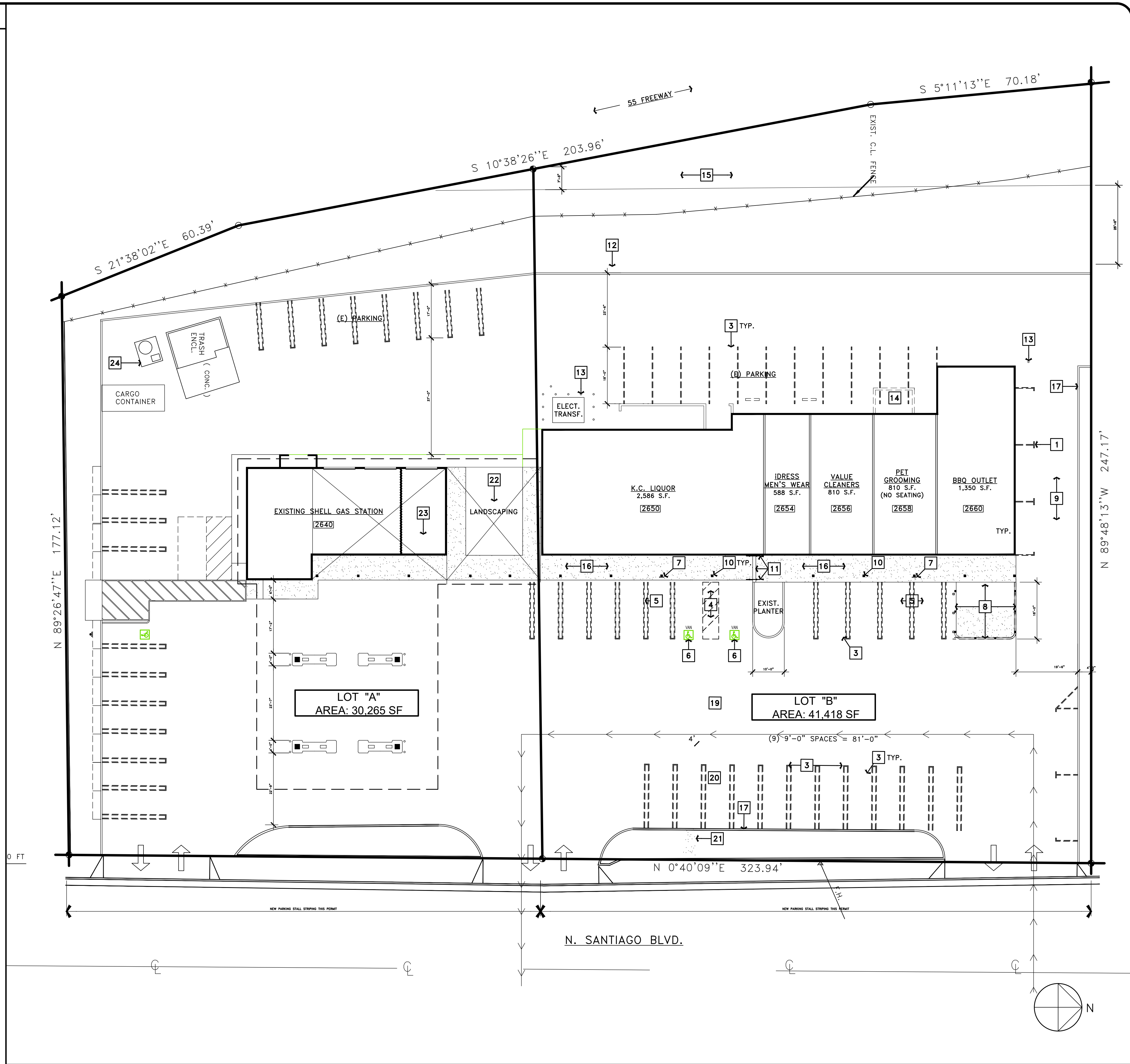
DWG. NO. REVISION NO.

F-1.0



# SITE PLAN KEYNOTES

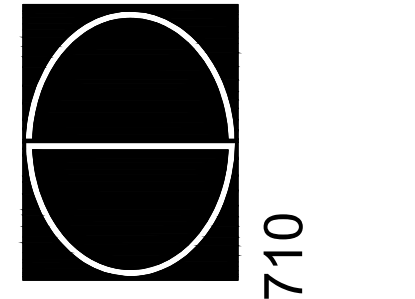
- 1 REMOVE (3) 'ILLEGAL' PARKING STALLS ADJACENT TO BUILDING
- 2 REMOVE (2) EXISTING PARKING STALLS ADJACENT TO DRIVEWAY AND ALONG PLANTER.
- 3 REMOVE EXISTING STALL STRIPING AND REPAINT 4" WIDE STRIPING AS INDICATED, AS PER CITY STANDARD
- 4 PAINT UNLOADING AREA WITH 45° 'BLUE' STRIPES AT 36" O.C. AND 12" LETTERS 'NO PARKING'. MAX. SLOPE 2% IN ANY DIRECTION.
- 5 PAINT 4" STALL STRIPES AND BORDERS 'BLUE'
- 6 36" x 36" INTERNATIONAL ACCESSIBILITY LOGO, 'WHITE' SYMBOL ON 'BLUE' BACKGROUND. SEE DETAIL.
- 7 RESTRICTED PARKING, VAN AND FINE SIGNS MOUNTED ON EXISTING POST AT +36" TO BOTTOM. SEE DETAIL.
- 8 REMOVE EXISTING AWNING AND METAL LEGS. EXISTING CURB AND CONCRETE PAD TO REMAIN.
- 9 EXISTING A.C. PAVING
- 10 EXISTING POSTS
- 11 INSTALL 34" HIGH HANDRAIL WITH 12" LONG 'D' RING EACH END, EACH SIDE OF EXISTING CONCRETE STEPS.
- 12 EXISTING CURB AND GUTTER
- 13 EXISTING STEEL BALLARD
- 14 REMOVE EXISTING, NON-PERMITTED UTILITY ENCLOSURE AND PREPARE AREA FOR A.C. PAVING. SLOPE MIN .5% AWAY FROM BUILDING.
- 15 EXISTING UNIMPROVED PORTION OF SITE SLOPING DOWN TO 55 FREEWAY
- 16 EXISTING CONCRETE SIDEWALK. MAX 2% SLOPE IN ANY DIRECTION (PATH-OF-TRAVEL)
- 17 EXISTING PLANTER CURB
- 18 6"x 6"x 4'-0" CONCRETE WHEEL STOP
- 19 PAINT PATH-OF-TRAVEL WITH 45° 'BLUE' STRIPES AT 36" O.C. MAX. SLOPE 5% IN DIRECTION OF TRAVEL AND MAX. 2% CROSS-SLOPE.
- 20 INSTALL 4'-0" WIDE x 3'-0" DEEP "YELLOW" TRUNCATED DOME WARNING PADS AT EACH END OF DRIVEWAY, AT PATH-OF-TRAVEL, AS INDICATED. SEE DETAIL.
- 21 SAWCUT EXISTING CONC. CURB AND INSTALL MIN. 4" THICK, 48" WIDE CONCRETE SIDEWALK (f = 2,000 PSI AT 28 DAYS)
- 22 REMOVING EXISTING LANDSCAPE FOR TRANSITION BETWEEN FRONT AND REAR OF LOCATION.
- 23 REMODEL (E) AUTO SERVICE STATION W/ CONVENIENCE STORE
- 24 EXISTING PROPANE TANK



# EXISTING FIRE MASTER PLAN

SCALE: 1:20

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NO.	DATE	ISSUED	DRC
	10/02/19		REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		

DRAWING TITLE: EXISTING SITE PLAN  
 JOB TITLE: ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER  
 JOB ADDRESS: 2640 N. SANTIAGO BLVD. ORANGE, CA 92667  
 JOB NO.: 2019-36  
 DWG. NO.: F-1.1  
 REVISION NO.:





# CITY OF ORANGE

WATER DIVISION PHONE (714)288-2475 FAX (714) 744-2973 WWW.CITYOFORANGE.ORG

## FIRE HYDRANT FLOW TEST REPORT

\*Information contained in this report is not valid for fire system design.

Date of request: 1/18/18  
 Project: \_\_\_\_\_  
 Project Address: 2640 N. SANTIAGO BLVD. 909-591-3939  
 Requested by: SHIV TALWAR Phone: 909-591-3939  
 Company Name: DESIGN CONCEPTS ARCHT Fax: \_\_\_\_\_  
 Email: dsignconcepts@yahoo.com  
 Reason for request: PROJECT PERMIT - ADATION + REMODELING OF GAS STATION

### TEST RESULTS

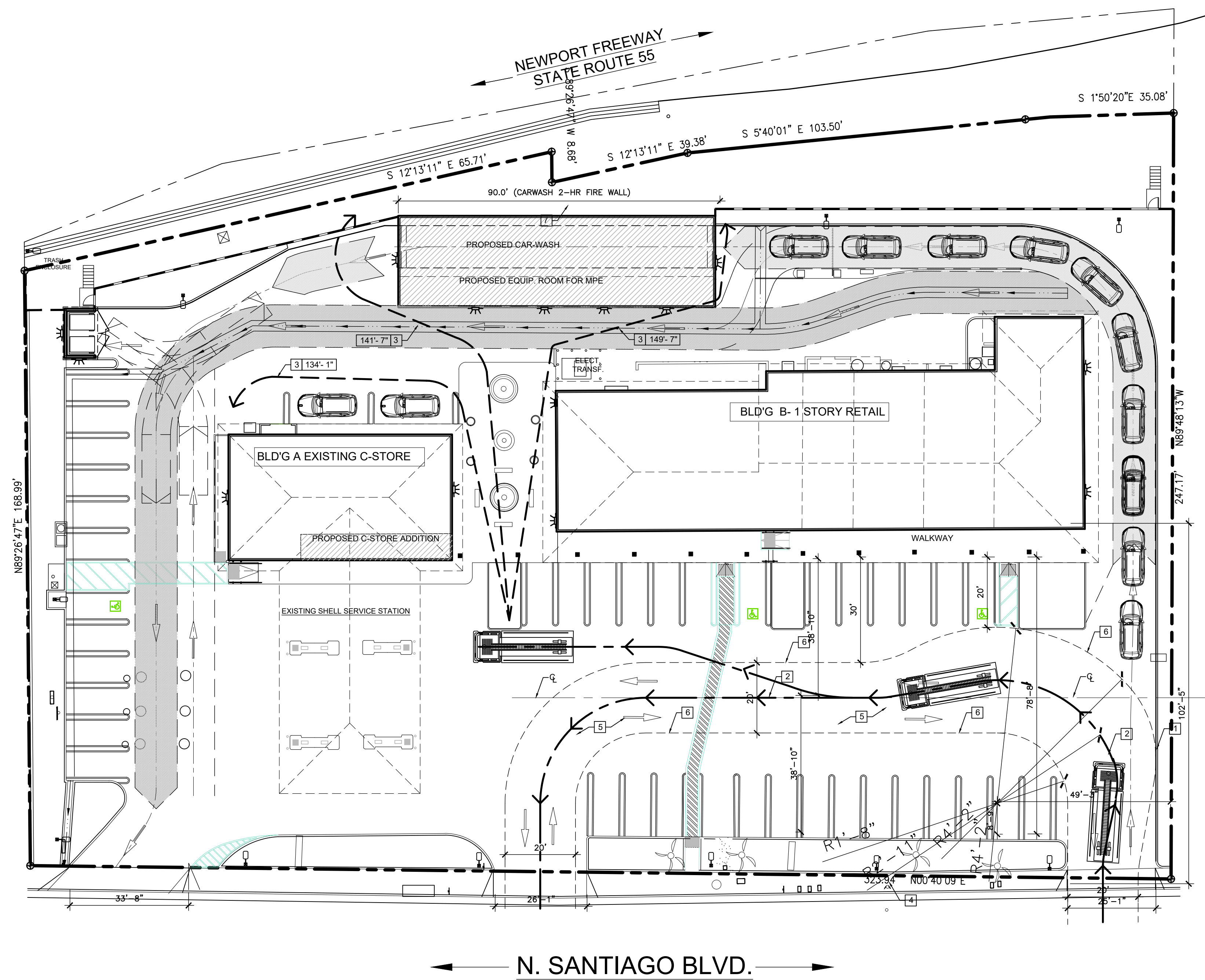
Static Pressure: 73 PSI Observed Flow: 1445 GPM  
 Residual Pressure: 74 PSI Flow @ 20 psi: 6124 GPM  
 Hydrant No: 4799 Test Date: 1/22/18  
 Main Size: 12" Nozzle: 2 1/2 Located on: Side of 2640 N. SANTIAGO

Test Performed by: \_\_\_\_\_ Test Reported by: \_\_\_\_\_  
 Name: H. MEDINA Name: H. MEDINA  
 Title: LEAD WORKER Title: LEAD WORKER  
 Signature: [Signature]

\*The above information is provided as a courtesy and may be used for reference purposes only. Actual flow data and pressure readings may vary. The information presented in this form is not valid for design of fire systems. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

WATER DIVISION 189 SOUTH WATER STREET ORANGE, CA 92866-1591

Scanned  
01/22/18  
JVK



### FIRE MASTER PLAN NOTES:

- THE FOLLOWING INFORMATION RELATIVE TO FIRE ACCESS WALKWAYS SHALL BE INCLUDED ON THE ABOVE FIRE MASTER PLAN:
  - SHOW MINIMUM 5' WIDE FIRE ACCESS WALKWAY TO ALL OPENINGS AND EGRESS DOORS. ON THE FIRST FLOOR EXTERIOR WALLS, REQUIRED BY THE CBC AND/OR CFC.
  - FIRE ACCESS WALKWAYS SHALL BE A LEVEL SOLID SURFACE, UNOBSTRUCTED BY TRESS OR SHRUBS AND SHALL CONSISTS OF A SURFACE THAT LENDS ITSELF TO SAFE USE DURING BUILDING EVACUATION, FIREFIGHTING AND RESCUE EFFORTS. ALTERNATIVE SURFACES (I.E. DECOMPOSED GRANITE, GRAVEL, GRASS ETC.) ARE EVALUATED BY THE FIRE CODE OFFICIAL FOR ACCEPTANCE ON CASE TO CASE BASIS.
- TRESS PLANNED ALONG THE FIRE ACCESS ROADWAY AND/OR FIREFIGHTER REQUIRED WALKWAY SHALL NOT IMPEDED THE REQUIRED MINIMUM 5' WALKWAY WIDTH OR THE REQUIRED FIRE APPARATUS VERTICAL CLEARANCE OF 13'-6". THE TRESS SHOULD BE A TYPE THAT THE NATURAL GROWTH PATTERN WOULD ALLOW THE REQUIRED VERTICAL CLEARANCE WITHOUT RELIANCE ON REGULAR MAINTENANCE OF THE TREE CANOPIES.
- THE ARCHITECTURAL, CIVIL AND LANDSCAPE DRAWINGS SHALL BE COORDINATED SUCH THAT INFORMATION RELATIVE TO FIRE ACCESS ROADWAY WIDTHS, REQUIRED VERTICAL CLEARANCES AND LOCATION OF FIRE PROTECTION DEVICES (FDC'S, BFD'S AND FIRE HYDRANTS) ARE SHOWN IN A SIMILAR MANNER.

### PROPOSED FIRE MASTER PLAN

SCALE: 1:20

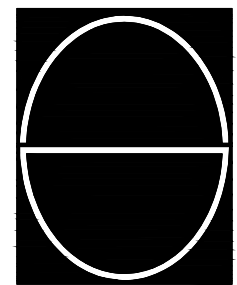
#### □ FIRE MASTER PLAN KEYNOTES:

- FIRE LANE NO PARKING
- FIRE APPARATUS ACCESS/TRAVEL PATH
- FIRE HOSE REEL EXTENT 150 FT. MINIMUM
- (E) FIRE HYDRANT
- FIRE ACCESS ROADWAYS SHALL BE DESIGNED TO SUPPORT THE IMPOSED LOADS OF THE ORANGE FIRE DEPARTMENT APPARATUS LOAD WITH A TOTAL LOAD OF 68,000 POUNDS. THE FIRE ROADWAY SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO PROVIDE ALL WEATHER REQUIREMENT.
- EDGE OF FIRE ACCESS
- 2-HR. FIRE WALL FOR CARWASH FACING THE FREEWAY

#### LEGEND

- > PATH OF TRAVEL (FIRE APPARATUS)
- FIRE HOSE PULL

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## DESIGN CONCEPTS

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NO.	DATE	ISSUED	DRC
	10/02/18		DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC

DRAWING TITLE	PROPOSED FIRE MASTER PLAN
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92867
JOB NO.	2019-36
DWG. NO.	F-1.2
REVISION NO.	2



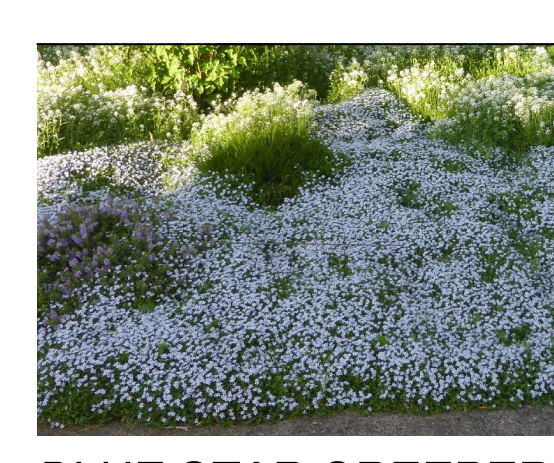
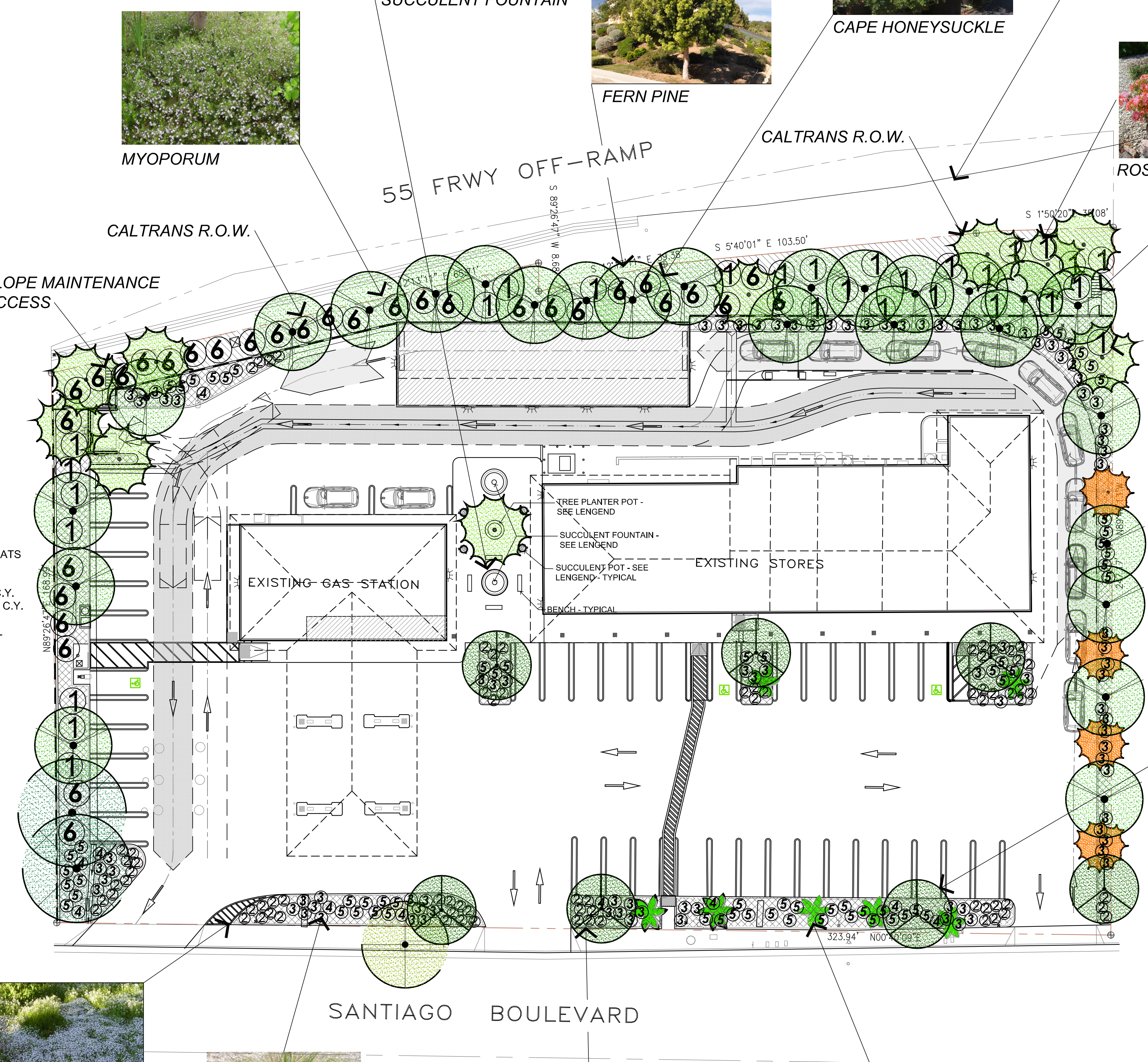
# PLANT PALLETTE

SYMBOL	BOTANICAL NAME / COMMON NAME / FORM	SIZE	QTY.
<b>EXISTING OFF-SITE STREET TREE TO REMAIN*:</b>			
	PYRUS CALLERYANA 'BRADFORD' / BRADFORD PEAR - STREET TREE	N.A.	1*
<b>EXISTING ON-SITE TREES TO REMAIN*:</b>			
	EUCALYPTUS SPP. / EUCALYPTUS	N.A.	4*
	SYAGRUS ROMANZOFFIANUM / QUEEN PALM	N.A.	7*
	PINUS CANARIENSIS / CANARY ISLAND PINE	N.A.	2*
<b>PROPOSED TREES:</b>			
	MAGNOLIA G. 'SAMUEL SOMMER' / SAMUEL SOMMER MAGNOLIA / STANDARD	24" BOX	7
	PODOCARPUS GRACILIOR / FERN PINE / STANDARD	24" BOX	26
	ULMUS PARVIFOLIA / CHINESE ELM / STANDARD	24" BOX	10
NOTE: PROVIDE A PRE-APPROVED ROOT BARRIER FOR ALL TREES PLANTED WITHIN 8'-0" OF HARDSCAPE OR WALLS AND PROVIDE A MINIMUM OF 3'-0" CLEARANCE BETWEEN TREE TRUNK AND ADJACENT STRUCTURE OR WALLS			
<b>PROPOSED SHRUBS:</b>			
	BOUGAINVILLEA 'ROSENKA' / ROSENKA BOUGAINVILLEA	5 GAL.	29
	HEMEROCALLIS 'ORANGE' / ORANGE DAYLILY	1 GAL.	73
	LANTANA 'GOLD' / GOLD LANTANA	1 GAL.	91
	PHORMIUM 'TINY TIGER' / TINY TIGER FLAX	5 GAL.	10
	RAPHIOLEPIS I. 'SNOW WHITE' / INDIA HAWTHORN	5 GAL.	61
	TECOMARIA CAPENSIS / CAPE HONEYSUCKLE	5 GAL.	32
<b>PROPOSED GROUND COVER:</b>			
	MYOPORUM PARVIFOLIUM / N.C.N. (@ WEST SIDE SLOPE) & LAURENTIA FLUVIATILIS / BLUE STAR CREEPER (@ ALL OTHER PLANTERS)	1 G. @ 3" O.C. R.C.'s @ 18" O.C.	5,661 S.F. = 623 5,863 S.F. = +/- 7 FLATS
NO SYMBOL	MEDIUM BARK MULCH THROUGHOUT ALL SHRUB/G.C. AREAS	3"/1.5" LAYER SEE NOTE # 14.	5,661 S.F./3" = 53 C.Y. 5,863 S.F./1.5" = 27 C.Y. = +/- 80 C.Y. 11,524 S.F. TOTAL
<b>PROPOSED SUCCULENT FOUNTAIN &amp; POTS:</b>			
	AEONIUM, ALOE, CRASSULA, ECHEVERIA, EUPHORBIA, SEDUM, SENECIO	1 GAL. & QUART	+/- 50 SIZE CONTAINERS

LANDSCAPE PERCENTAGE	
SITE AREA:	71,883 S.F.
LANDSCAPE AREA:	11,524 S.F.
LANDSCAPE PERCENTAGE:	16.1%

WATER CALCULATIONS	
MAXIMUM APPLIED WATER ALLOWANCE	
MAWA = Maximum Applied Water Allowance (GALLONS)	
MAWA = (ETo) x (0.62) x [(0.45 x LA) + (0.3 x SLA)]	
ETo = Reference Evapotranspiration (inches per year)	49.7
0.62 = Conversion Factor (to gallons per square foot)	0.62
0.45 = ET Adjustment Factor (45% of Reference ET)	0.45
LA = Total Landscaped Area (square feet)	11,524
SLA = Special Landscaper Area	0
TOTAL MAWA	159,795



- ### LANDSCAPE NOTES
- ALL LANDSCAPING AND IRRIGATION TO BE INSTALLED BY OWNER OR OWNERS AGENT, IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
  - ALL LANDSCAPING SHALL BE MAINTAINED BY OWNER OR OWNERS AGENT.
  - ALL PLANTING SHALL BE CONTAINED WITHIN PROPERTY LINES OF THE LOT.
  - IRRIGATION AND PLANTING SHALL BE INSTALLED TO PROMOTE EFFICIENT USE OF WATER.
  - ALL STREET TREES AND ANY TREE WITHIN 8' FT. OF WALLS, HARDSCAPE, OR BUILDINGS SHALL BE INSTALLED WITH CITY APPROVED LINEAR ROOT CONTROL BARRIERS.
  - ALL PLANTING LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL PLANT LOCATIONS WITH THE OWNER OR THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
  - ALL TREES SHALL BE DOUBLE STAKED PER LOCAL CODES.
  - REFER TO LANDSCAPE CONSTRUCTION DRAWING SET FOR PLANTING DETAILS AND SPECIFICATIONS.
  - TREE PLACEMENT MINIMUMS SHALL BE: 10' FROM LIGHT STANDARDS, POWER POLES, AND DRIVE APPROACHES AND 5' FROM FIRE HYDRANTS, UTILITIES AND PROPERTY LINES. NO TREES ALLOWED IN SWALES.
  - ALL 2:1 SLOPES SHALL BE PLANTED AND IRRIGATED PER THE CITY OF ORANGE CODES AND REGULATIONS.
  - ALL IRRIGATION SYSTEMS SHALL BE INSTALLED PER ALL STATE AND CITY OF ORANGE CODES AND REGULATIONS.
  - ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC ET BASED CONTROLLER AND A LOW VOLUME SPRAY OR DRIP IRRIGATION SYSTEM WHERE WATER IS CONSERVED, THERE IS NO RUN-OFF, AND WHERE HYDROZONE AREAS ARE VALVED SEPARATELY. REFER TO LANDSCAPE CONSTRUCTION DRAWING SET FOR IRRIGATION DETAILS AND SPECIFICATIONS.
  - NO OVERHEAD IRRIGATION ALLOWED WITHIN 24" OF A NON-PERMEABLE SURFACE. IRRIGATION TO BE DRIP WHEREVER POSSIBLE.
  - MULCH DEPTH REQUIREMENT IS 3" UNDER TREES AND SHRUBS AND 1 1/2" UNDER GROUND COVER FROM FLATS.
  - ALL LANDSCAPED AREAS SHALL BE KEPT FREE FROM WEEDS AND DEBRIS AND MAINTAINED IN A HEALTHY, GROWING CONDITION AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, AND TRIMMING. ANY DAMAGED, DEAD, DISEASED, OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN 30 DAYS FROM THE DATE OF DAMAGE.
  - ALL LANDSCAPING SHALL BE WITHIN PLANTERS BOUNDED BY A CURB AT LEAST SIX INCHES HIGH. A SIX-INCH HIGH CURB WITH AN EIGHTEEN (18) INCH WIDE CONCRETE WALKWAY SHALL BE CONSTRUCTED ALONG PLANTERS ON END STALLS ADJACENT TO VEHICLE PARKING SPACES.
  - EXISTING TREES, SHRUBS, AND IRRIGATION ARE TO BE REMOVED EXCEPT FOR TREES SHOWN AS TO REMAIN. THESE TREES ARE TO BE PROTECTED IN PLACE.
  - LANDSCAPE INSTALLATION AND SITE INSPECTIONS ARE TO COMPLY WITH THE CITY OF ORANGE LANDSCAPE STANDARDS.
  - THE CONTRACTOR SHALL PROVIDE TWO COPIES OF THE APPROVED AGRONOMIC SOILS REPORT AT THE FIRST SITE MEETING.
  - ALL REQUIRED LANDSCAPE PLANTING AND IRRIGATION SHALL BE INSTALLED CONSISTENT WITH THE APPROVED CONSTRUCTION PLANS AND PER THE CITY OF ORANGE LANDSCAPE STANDARDS. THE PLANTS SHALL BE HEALTHY AND FREE OF WEEDS, DISEASE, OR PESTS. THE IRRIGATION SYSTEM SHALL BE PROPERLY CONSTRUCTED AND IN GOOD WORKING ORDER.

TOTAL LANDSCAPE AREA: 11,524 S.F.

ROBERT TAFT + ASSOCIATES  
LANDSCAPE ARCHITECTURE

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Temecula, California 92592  
Phone: 951.676.5688

Orange County:  
5331 Stonehedge Court  
Yorba Linda, California 92886  
Phone: 949.385.1254

Ca. Lic. No. 3669  
Email: Info@RobertTaftandAssociates.com  
Web: www.RobertTaftandAssociates.com

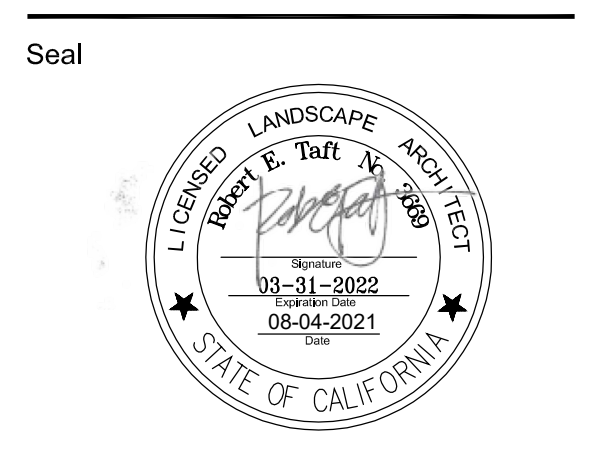
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3340 Santiago Dr., Ste. M  
Chino, CA 91710  
Contact: Shiv Talwar, AIA  
Phone: (909) 591-3939  
Email: designconcepts@yahoo.com

Project  
**SANTIAGO BLVD.  
CARWASH**

2640 Santiago Blvd.  
Orange, CA 92867

Plans  
**LANDSCAPE  
PLANS**

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No.	Revision	Date

Sheet Title  
**CONCEPTUAL  
LANDSCAPE PLAN**

Drawn: R.E.T.  
Date: August 4, 2021  
Scale: See Plan  
Job No.:

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**L1**  
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