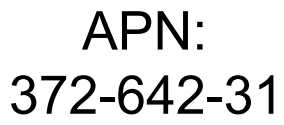


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ZONING STANDARDS				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (YES/NO)
25% OF REQUIRED TREES SHALL BE 24-INCH BOX AND 75% SHALL BE IN 15-GALLON CONTAINERS	MINIMUM SIZE: 25% 24-INCH BOX & 75% 15-GALLON CONTAINERS	SOME EXISTING TREES TO REMAIN	MINIMUM SIZE: 24" BOX	YES
SHRUBS SHALL BE 5-GALLON EXCEPT FOR GROUNDCOVER	MINIMUM SIZE: 5-GALLON	EXISTING SHRUBS TO REMAIN	MINIMUM SIZE: 5-GALLON	YES
SHRUBS ARE ENCOURAGED AT THE FOUNDATION LINES OF ALL BUILDING ELEVATIONS SEEN FROM THE STREET IN A 5-FOOT MINIMUM WIDTH PLANTER. SHRUBS SHALL BE PLACED 3 FEET ON CENTER.	N/A	N/A	YES	YES
STREET TREES REQUIRED AS DETERMINED BY THE DESIGN REVIEW PROCESS	N/A	N/A	N/A	N/A
PERCENT OF PARKING AREA	N/A	N/A	68%	YES
IRRIGATED AREA TOTAL	N/A	N/A	9,371	N/A
IRRIGATED AREA ADDED	N/A	N/A	3,524	N/A
IRRIGATED AREA REMOVED	N/A	N/A	1,103	N/A
FENCE HEIGHT				
FRONT YARD	42 IN	—	—	N/A
INTERIOR SIDE YARD(S)	42 IN	42 IN	42 IN	YES
STREET SIDE YARD	42 IN	—	—	N/A
REAR YARD	8 FT MIN, 10 FT MAX	N/A	8 FT	YES
OFF STREET PARKING SPACES REQUIRED*	1 SPACES PER 250 SF OF GFA = 5,372/250 = 21.49 = 21 SPACES	94	21	YES
ACCESSIBLE PARKING SPACES REQUIRED	1	0	1	YES
DRIVE AISLE WIDTH	25 FT	25 FT	25 FT	YES
DRIVE AISLE ENTRY WIDTH AND DEPTH	30 FT X 30 FT	30 FT X 30 FT	30 FT X 30 FT	YES
LOADING ZONE	N/A	—	—	YES**
BICYCLE RACKS	1	0	1	YES
MOTORCYCLE PARKING SQUARE FEET	50 SF	0	117 SF	YES
TRASH ENCLOSURE SIZE	19 FT X 6 FT 10 IN	N/A	19 FT X 6 FT 10 IN	YES
LIGHTING				
KELVINS	N/A	4000K	4000K	YES
FIXTURE TYPE/BLINDER	N/A	HID SHOEBOX	LID	YES
PARKING LOT FOOT CANDLES	1 FOOT CANDLE	MIN: 0.6 FC MAX: 3.5 FC	MIN: 3.9 FC MAX: 7.4 FC	YES

	PROPERTY LINE
	EXISTING EASEMENT
	BUILDING SETBACK
	CENTERLINE
	RIGHT-OF-WAY
	PARKING STALL COUNT

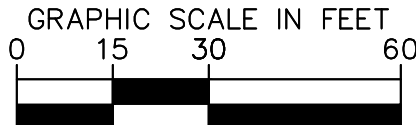
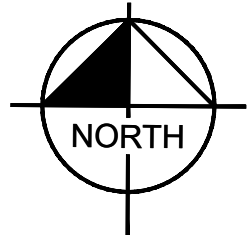
DEFERRED SUBMITTALS FOR THIS PROJECT SHALL INCLUDE (BUT NOT LIMITED TO) THE FOLLOWING:

- FIRE SPRINKLER PLANS
- FIRE UNDERGROUND PLANS
- FIRE SPRINKLER MONITORING SYSTEM PLANS

TYPE OF CONSTRUCTION PER BUILDING CODE:	TYPE IIB
FIRE—FLOW CALCULATION AREA:	AREA: 5,372 S.F.
FIRE—FLOW BASED ON FIRE FLOW CALCULATION AREA:	1,500 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%):	1,500 GPM
TOTAL FIRE FLOW REQUIRED (MINIMUM 1,500 GPM):	1,500 GPM

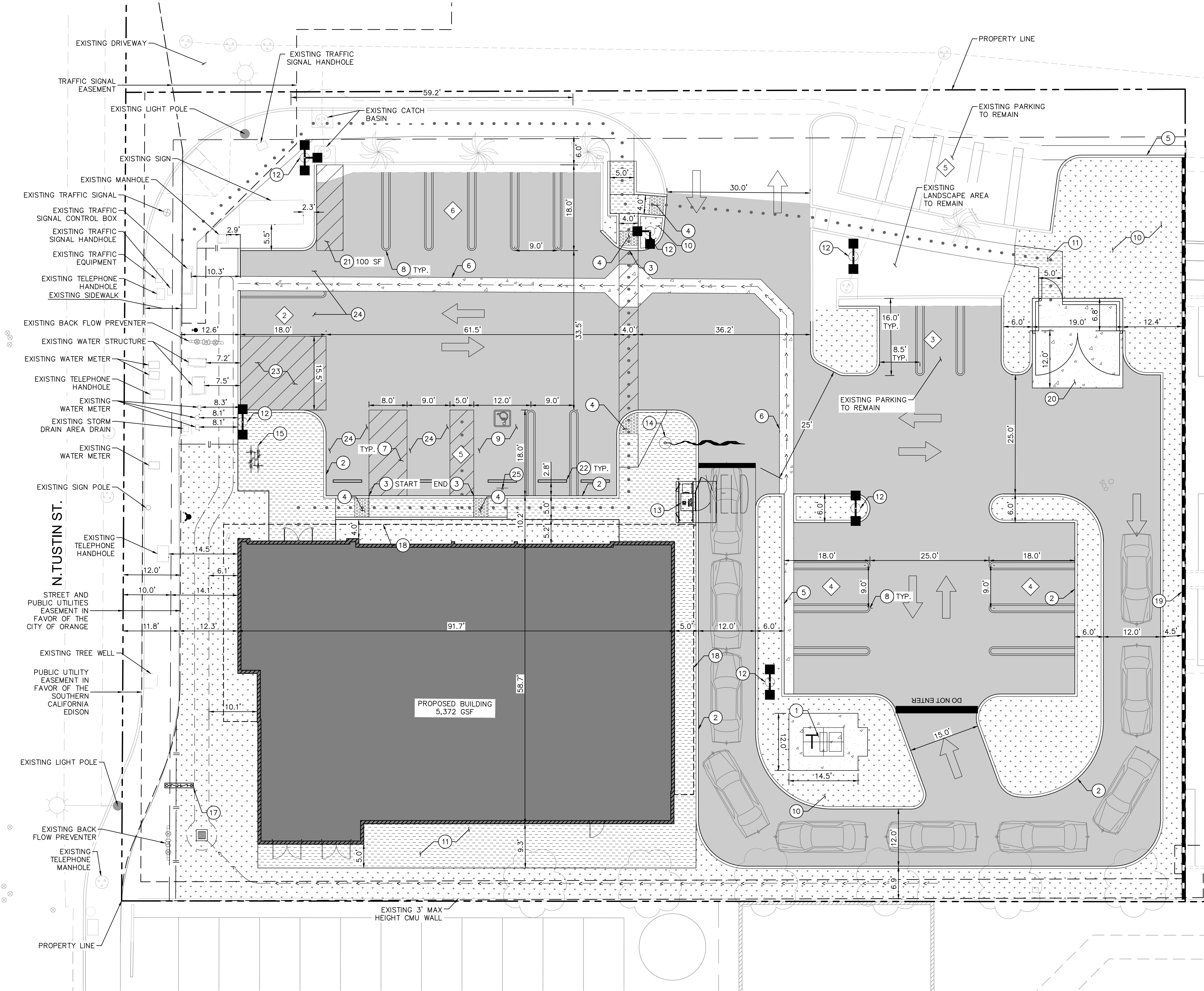
* EXISTING PARKING SPACES ON THE PARCEL ARE LESS THAN THE STANDARD 9' X 18' AS REQUIRED PER OMC SECTION 17.34.110. (22) STANDARD DIMENSION PARKING SPACES ARE PROPOSED WITH THIS PROJECT. (8) NON STANDARD DIMENSION PARKING SPACES ARE INTENDED TO REMAIN AS COMPACT SPACES.

** LOADING ZONE IS IDENTIFIED WITHIN THE LIMITS OF PROPOSED PARKING SPACES AS LOADING SPACE IS NOT ANTICIPATED TO BE USED AS PART OF REGULAR SITE OPERATIONS.



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Plotted By: Zuawa, Ahmed Sheet Set: KHA Layout: C200 PROPOSED SITE PLAN January 28, 2025 06:06:56pm K:\ORA\LOEVA\094688005 - BofA Orange\CAD\PlanSheets\Entitlement\HORIZONTAL CONTROL PLAN.dwg
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LEGEND

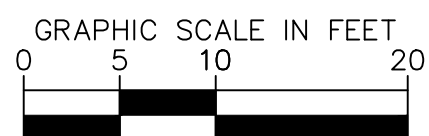
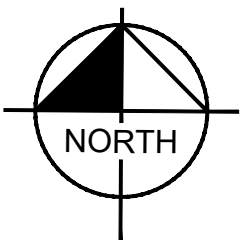
- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- CENTERLINE
- BUILDING OVERHANG
- CIVIL LIMIT OF WORK LINE
- ACCESSIBLE PATH OF TRAVEL
- LIMITS OF GRADING
- PROPOSED LANDSCAPE AREA PER LANDSCAPE PLANS
- PROPOSED STANDARD DUTY CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- PARKING STALL COUNT

SITE PLAN NOTES

- PROPOSED BUILDING TRANSFORMER
- PROPOSED 6" CONCRETE CURB
- PROPOSED 0" CONCRETE CURB
- PROPOSED CURB RAMP PER DETAIL 5, SHEET C600
- PROPOSED CURB AND GUTTER
- PROPOSED VALLEY GUTTER
- PROPOSED STRIPING PER DETAIL 2, SHEET C600
- PROPOSED STANDARD PARKING STALL PER DETAIL 6, SHEET C600 AND OMC SECTION 17.34.130
- PROPOSED VAN ACCESSIBLE PARKING STALL PER DETAIL 1, SHEET C600, DIMENSION PER PLAN
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT POST
- PROPOSED DRIVE-THRU ATM
- PROPOSED FLAG POLE
- PROPOSED BIKE RACK
- PROPOSED WATER METER
- PROPOSED BACK FLOW PREVENTER
- PROPOSED BUILDING CANOPY
- PROPOSED 8' CMU BLOCK WALL
- PROPOSED TRASH ENCLOSURE PER CITY OF ORANGE STD. PLAN 409.
- PROPOSED MOTORCYCLE PARKING
- PROPOSED WHEEL STOP
- PROPOSED LOADING SPACE AND VEHICLE TURNAROUND SPACE
- PROPOSED EV CAPABLE PARKING SPACES PER 2022 CALGREEN 5.106.5.3.1
- PROPOSED ACCESSIBLE PARKING SIGN PER DETAILS 3 AND 4, SHEET C600

GENERAL NOTES

- KNOX BOX ACCESS SHALL BE PROVIDED AT THE MAIN ENTRY TO BUILDING EQUIPPED THROUGHOUT WITH A FIRE ALARM OR SPRINKLER MONITORING SYSTEM.
- A. THE FIRE DEPARTMENT CONNECTION SHALL NOT BE AFFIXED TO THE BUILDING.
B. THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED AT LEAST 40 FEET AWAY FROM THE BUILDING.
C. THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED ON THE ADDRESS SIDE OF THE BUILDING.
D. THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED WITHIN 40 FEET OF A HYDRANT ON THE SAME SIDE OF THE STREET AS THE HYDRANT.
E. THE FIRE DEPARTMENT CONNECTION SHALL NOT PROVIDE PRESSURE TO AN ON-SITE HYDRANT.
F. THE LOCATION OF THE FIRE DEPARTMENT CONNECTION SHALL BE APPROVED BY THE FIRE DEPARTMENT.



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**PROPOSED SITE
PLAN**

2355 N TUSTIN
ORANGE, CA

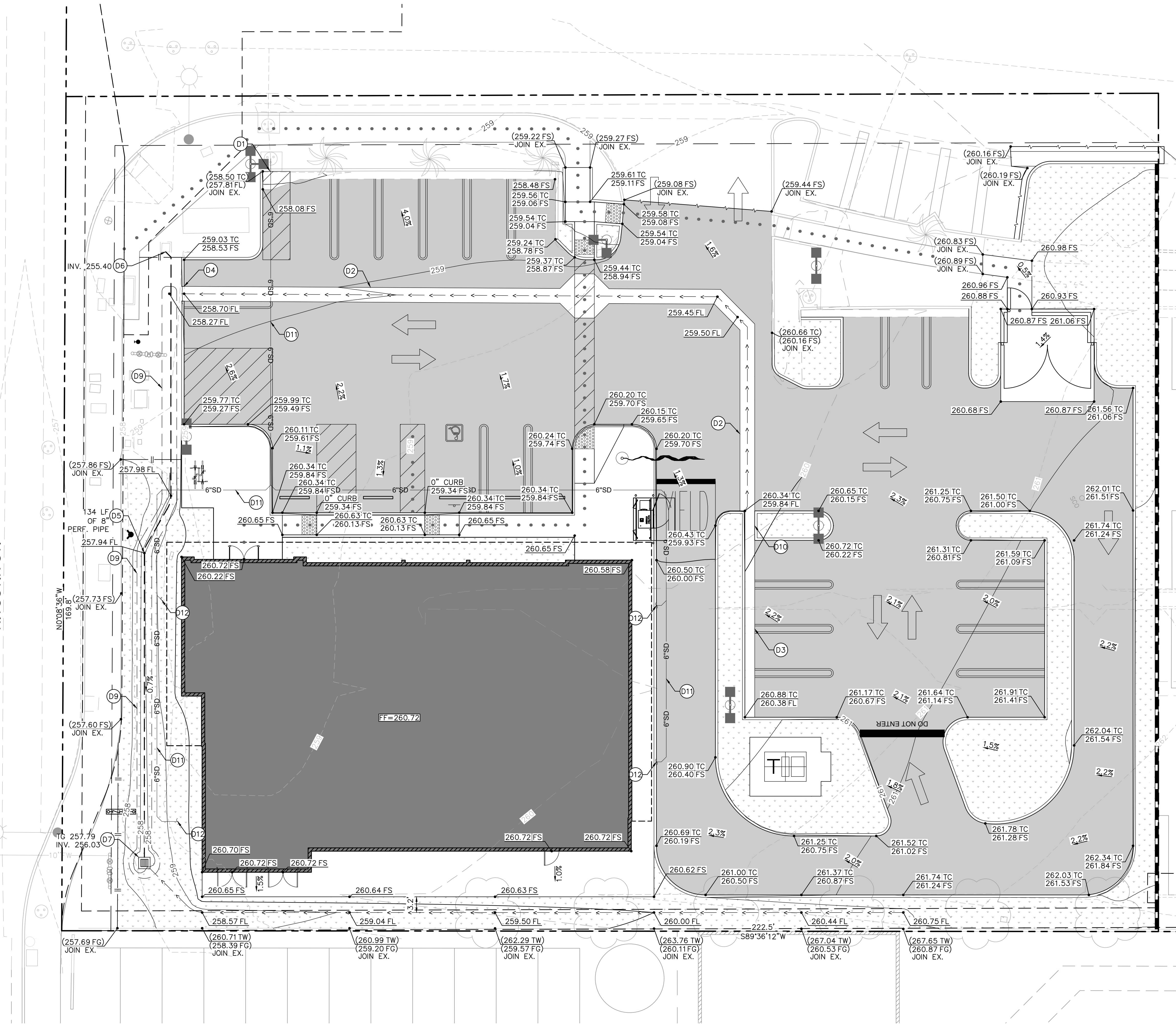
SHEET NUMBER
C200

REVISIONS
No. DATE BY

Plotted By: Zuawa, Ahmed Sheet Set: KHA Layout: C300 PROPOSED GRADING PLAN January 28, 2025 06:07:09pm K:\ORA_LDEV\094688005 - BofA Orange\CAD\PlanSheets\Entitlement\GRADING AND DRAINAGE.dwg
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N. TUSTIN ST.

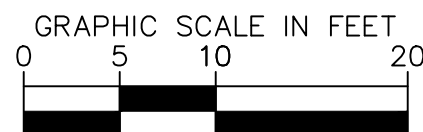
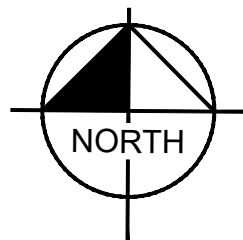
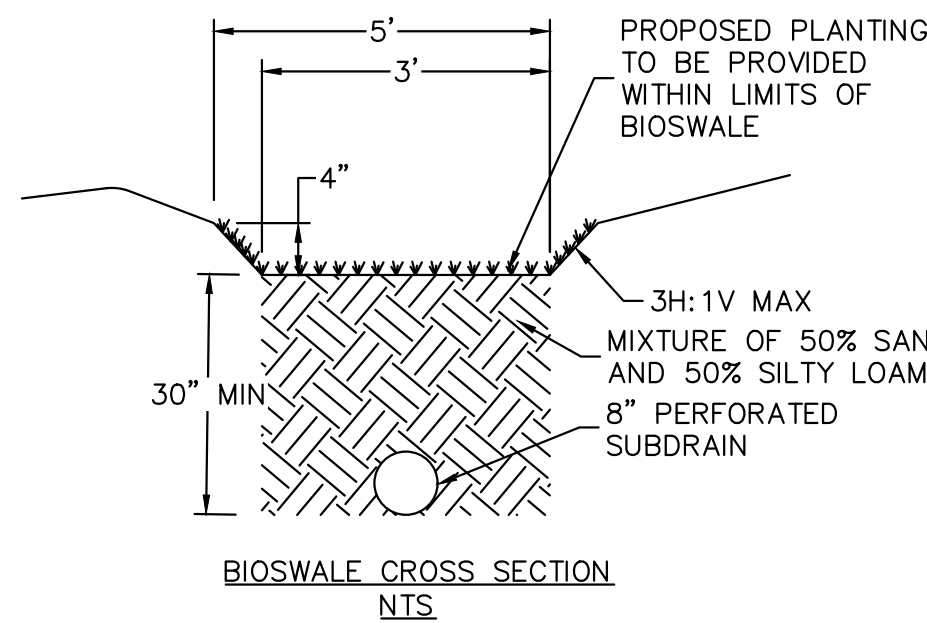


LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- CENTERLINE
- BUILDING OVERHANG
- CIVIL LIMIT OF WORK LINE
- ACCESSIBLE PATH OF TRAVEL
- LIMITS OF GRADING
- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED RIDGE LINE
- PROPOSED GRADE BREAK
- PROPOSED FLOW LINE
- FINISH FLOOR ELEVATION
- FINISHED GRADE
- FLOWLINE
- LIP OF GUTTER
- TOP OF CURB
- TOP OF GRATE
- FINISH SURFACE
- EXISTING GRADE
- PROPOSED GRADE
- DIRECTION OF SLOPE
- PROPOSED LANDSCAPE

DRAINAGE NOTES

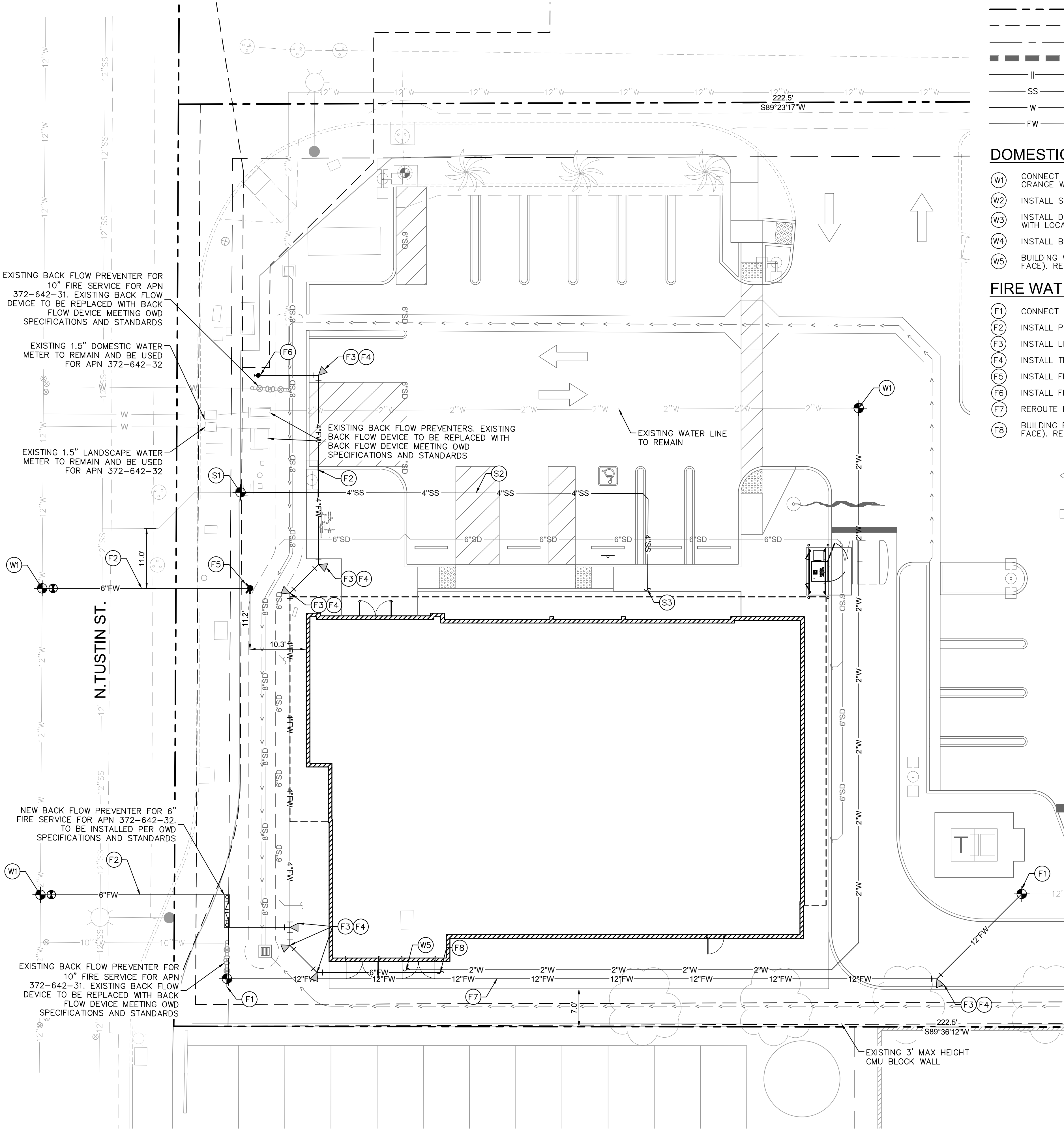
- (D1) EXISTING CURB OPENING CATCH BASIN
- (D2) PROPOSED CONCRETE VALLEY GUTTER
- (D3) PROPOSED 6" CURB AND GUTTER
- (D4) PROPOSED 3" CURB CUT
- (D5) PROPOSED 8" PERFORATED PVC PIPE
- (D6) CONNECT TO EXISTING CATCH BASIN
- (D7) 18"X18" GRATE INLET WITH NON-TRAFFIC GRATE
- (D8) PROTECT EXISTING SWALE IN PLACE
- (D9) PROPOSED 3" WIDE BIOSWALE. SEE TYPICAL SECTION HEREON
- (D10) PROPOSED 2" CURB CUT
- (D11) PROPOSED STORM DRAIN LINE, SIZE PER PLAN
- (D12) BUILDING STORM DRAIN POINT OF CONNECTION. REFER TO MEP PLAN FOR CONTINUATION.



KHA PROJECT 194705001		DATE 1/28/2025		SCALE AS SHOWN		DESIGNED BY IV		DRAWN BY KV		CHECKED BY AZ	
PROPOSED GRADING PLAN						2355 N TUSTIN ORANGE, CA					
SHEET NUMBER C300						REVISIONS					
						BY DATE					

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Plotted By: Zuawwa, Ahmed Sheet Set: KHA Layout: PROPOSED UTILITY PLAN February 21, 2025 04:23:36pm K:\ORA_LOE\094686005 - BofA Orange\CAD\PlanSheets\Entitlement\C300 PRELIMINARY UTILITY PLAN.dwg
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LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- CENTERLINE
- CIVIL LIMIT OF WORK LINE
- LIMITS OF GRADING
- PROPOSED SANITARY SEWER PIPE
- PROPOSED WATER PIPE
- PROPOSED FIRE WATER PIPE

DOMESTIC WATER

- (W1) CONNECT TO EXISTING WATER MAIN. COORDINATE TAP WITH ORANGE WATER DIVISION
- (W2) INSTALL SCHEDULE 80 PVC DOMESTIC WATER PIPE. SIZE PER PLAN
- (W3) INSTALL DOMESTIC WATER METER. SIZE PER PLAN. COORDINATE WITH LOCAL WATER PURVEYOR
- (W4) INSTALL BACK FLOW PREVENTER
- (W5) BUILDING WATER POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO MEP PLAN FOR CONTINUATION

FIRE WATER

- (F1) CONNECT TO EXISTING FIRE WATER LINE
- (F2) INSTALL PVC C900, CLASS 200, FIRE WATER LINE. SIZE PER PLAN
- (F3) INSTALL LINE SIZE PVC C-900 BEND. ANGLE PER PLAN
- (F4) INSTALL THRUST BLOCK
- (F5) INSTALL FIRE HYDRANT PER ORANGE WATER DIVISION STANDARDS
- (F6) INSTALL FIRE DEPARTMENT CONNECTION
- (F7) REROUTE EXISTING 12" FIRE WATER LINE
- (F8) BUILDING FIRE WATER POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO MEP PLAN FOR CONTINUATION

SEWER

- (S1) CONNECT TO EXISTING SANITARY SEWER STUB AT PROPERTY LINE
- (S2) INSTALL SDR-35 PVC SEWER LATERAL. SIZE PER PLAN
- (S3) BUILDING SEWER POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO MEP PLAN FOR CONTINUATION

IRRIGATION

NOTE: SEPARATE METERED WATER SERVICE AND BACKFLOW DEVICE TO BE PROVIDED FOR IRRIGATION LINE. FINAL LOCATION TO BE DETERMINED DURING PERMIT SUBMITTAL.

REQUIRED FIRE FLOW

TYPE OF CONSTRUCTION PER BUILDING CODE:	TYPE IIB
FIRE-FLOW CALCULATION AREA:	AREA: 5,372 S.F.
FIRE-FLOW BASED ON FIRE FLOW CALCULATION AREA:	1,500 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%):	1,500 GPM
TOTAL FIRE FLOW REQUIRED:	1,500 GPM



CITY OF ORANGE

WATER DIVISION PHONE: (714) 288-2475 FAX: (714) 744-2973 www.cityoforange.org

HYDRANT PRESSURE INQUIRY

The information presented in this document is provided as a courtesy and may be used for reference purposes only. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

Date: 10/1/2024

Location: 2355 N Tustin St, Orange, CA, 92865

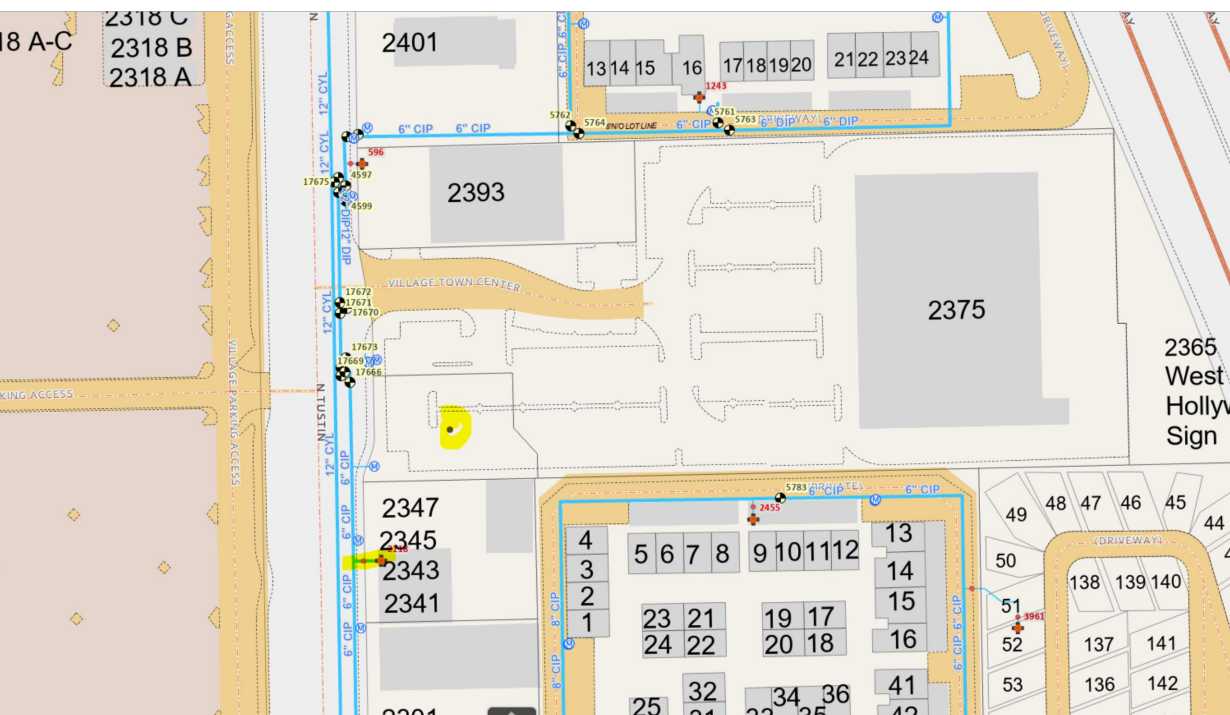
Information provided by: Chris Mielke

The City does not collect or provide pressure information for individual addresses or private systems.

The information that is provided is the latest available data from nearby City of Orange hydrant(s). This information is collected when hydrants go through a routine flushing. This is rough information and may only be used for reference purposes only. It cannot be used for official design calculations and submittals and is not valid for design of fire systems.

Hydrant #	Flush Performed (Month-YY)	Static Pressure (PSI)	Residual Pressure (PSI)	Observed Flow (GPM)	Flow at 20 PSI (GPM)	Time Flush (Min)
2118	Nov-23	50	48	1163.938143	5023.647756	1

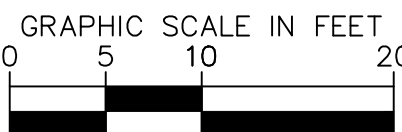
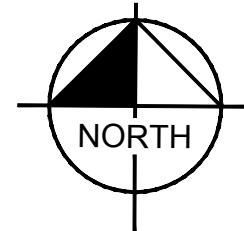
Please see the below map for hydrant reference.



The information presented in this document is not valid for design of fire systems. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

WATER DIVISION • 189 S. WATER STREET • ORANGE, CA 92866-1591

\\civ-file-vml\FW\Water\Engineering\Requests\Hydrant Pressure Inquiries\Hydrant Pressure Inquiry.docx



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PROPOSED UTILITY
PLAN

2355 N TUSTIN
ORANGE, CA

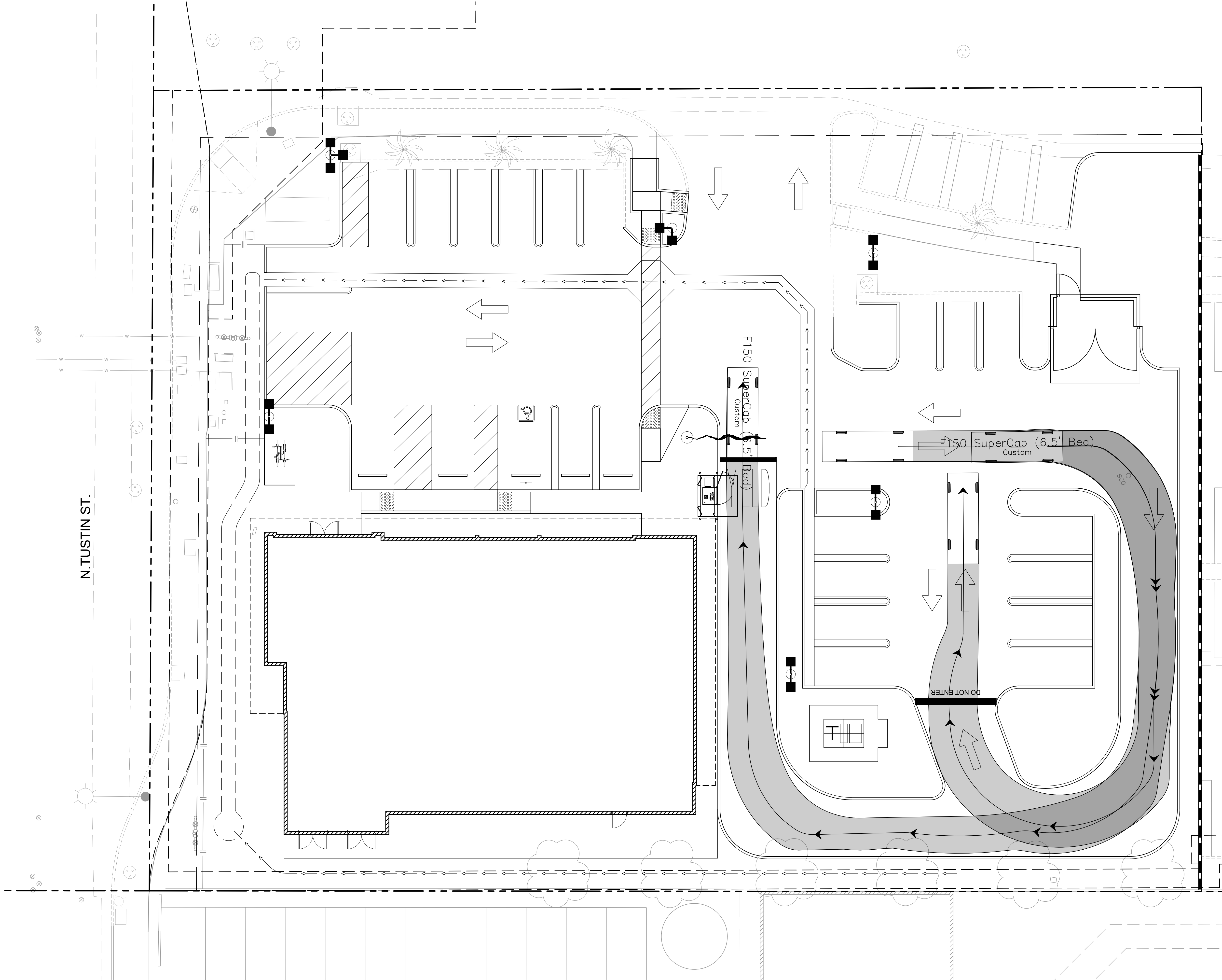
SHEET NUMBER
C400

REVISIONS

DATE

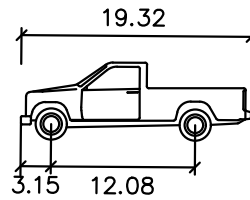
BY

Plotted By: Zuawa, Ahmed Sheet Set: KHA Layout: VEHICULAR TURNING MOVEMENT January 28, 2025 06:07:26pm K:\ORA_LDEV\094688005 - B61A Orange\CAD\PlanSheets\Entitlement\VEHICULAR TURNING MOVEMENT.dwg
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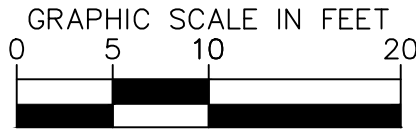
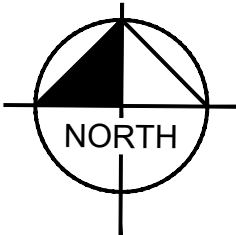


LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- CENTERLINE
- BUILDING OVERHANG
- CIVIL LIMIT OF WORK LINE



F150 SuperCab (6.5' Bed)
feet
Width : 6.50
Track : 6.50
Lock to Lock Time : 6.0
Steering Angle : 31.5



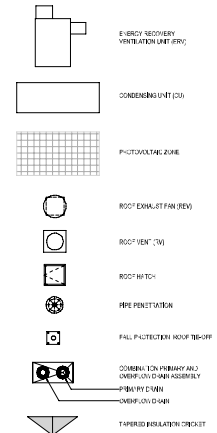
2355 N TUSTIN ORANGE, CA	VEHICULAR TURNING MOVEMENT	KHA PROJECT 194705001 DATE 1/28/2025 SCALE AS SHOWN DESIGNED BY IV DRAWN BY KV CHECKED BY AZ	Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE, CA 92668 PHONE: 714-939-1030 FAX: 714-938-9488 WWW.KIMLEY-HORN.COM			No.	REVISIONS	DATE	BY

ORANGE VILLAGE

2355 N TUSTIN ST
ORANGE, CA 92865

SERIAL NUM./MANH. ID: CA7-243
VERSION: -
BULLETIN: 02-2024

LEGEND



DATE: 10/11/2024

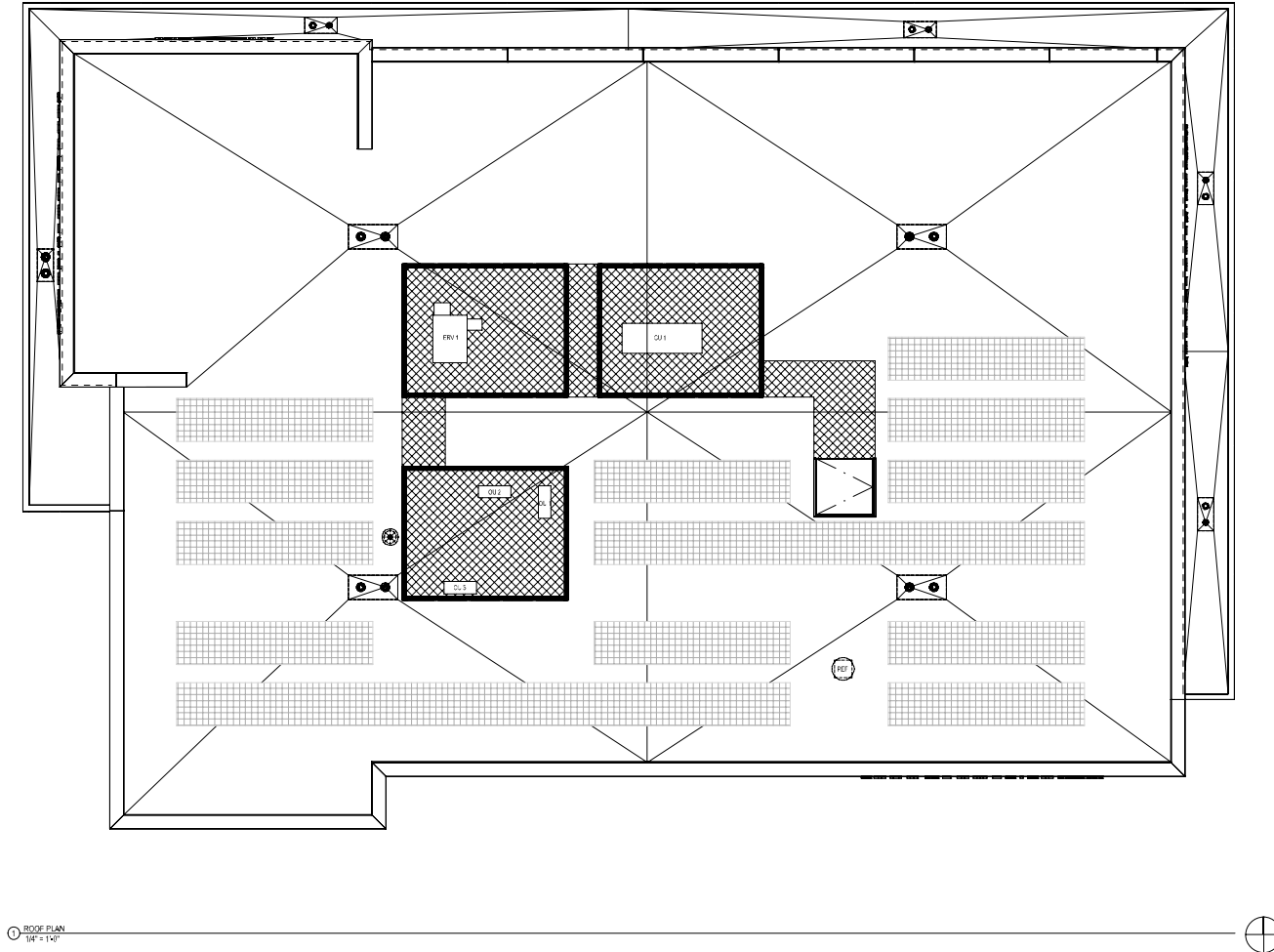
IA INTERIOR ARCHITECTS

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SUITE 2050
LOS ANGELES, CA 90071
TEL 213.623.2164

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Owner Approval
PROJECT NO. 2355 DATE: 10/11/2024
JOB NO. Scale:

ROOF PLAN
A02.02



EXTERIOR FINISH SCHEDULE

ALUMINUM STOREFRONT	
AL2	ALUMINUM STOREFRONT SYSTEM; FRAME PROVIDES C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
STUCCO PLASTER	
PT50	PARCEL A STUCCO STUCCO 1/4" C/CAS JAWZ 4" X 1/2" X 1/2" FRESH; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
STUCCO ACCESSORIES	
JOINT TO MATCH STUCCO	
SA2	NONPOT CHALK, SCORED
EXTERIOR CLADDING SYSTEM	
EP54	EP54: 1/4" X 1/2" X 1/2" FRESH NONPOT CHALK; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
EP54	EP54: 1/4" X 1/2" X 1/2" FRESH NONPOT CHALK; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
EP54	PURE POREFOAM C/CAS JAWZ 4" X 1/2" X 1/2" FRESH; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
INTERIOR BASE	
IS4	BRICK METAL BASE 1" X 1/2" X 1/2" FRESH; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
IS4	BRICK METAL BASE 1" X 1/2" X 1/2" FRESH; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
IS4	BRICK METAL BASE 1" X 1/2" X 1/2" FRESH; C/CAS JAWZ 4" X 1/2" X 1/2" FRESH
EXTERIOR JOINT	
JOINT TO MATCH STUCCO	
EP54	NONPOT CHALK, SCORED, 1/4" X 1/2" X 1/2" FRESH
EXTERIOR BRACKET COLOR	
GAZING AT STOREFRONT	BLACK
ME'AL PANG-USENG TO GAZING PANG-USENG	WATCH FRAME
JAWZ 4" X 1/2" X 1/2" FRESH TO STUCCO	WATCH FRAME
ME'AL PANG-USENG TO STUCCO	WATCH 1/4" X 1/2" X 1/2" FRESH
ME'AL PANG-USENG TO STOREFRONT	WATCH FRAME

EXTERIOR LIGHTING SCHEDULE

WALL MOUNTED FIXTURE	
DATA:	MANUFACTURER CODE MODEL SECURITY CODE MODEL # SEC-100G-750/84-336-438E-79C-60K

DELTA	ISSUE	DESCRIPTION	DATE
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IA | INTERIOR ARCHITECTS

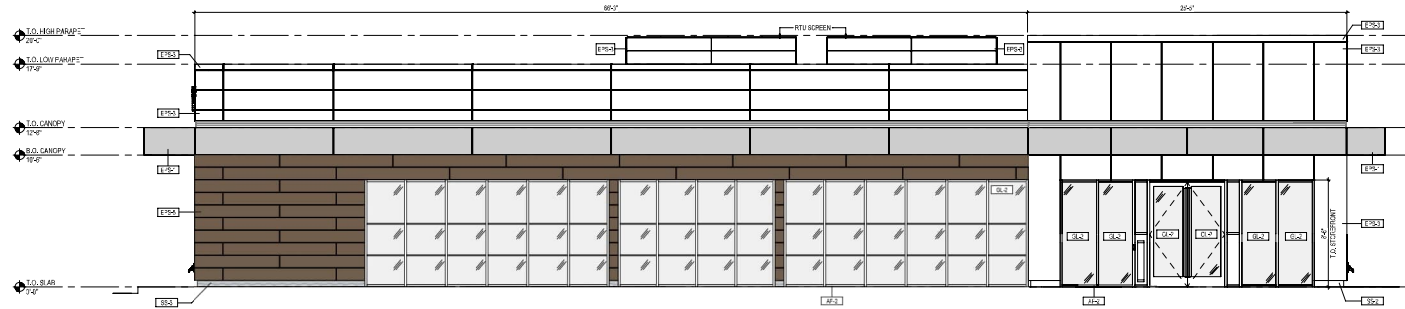
LOS ANGELES
515 SOUTH FIGUEROA STREET,
SUITE 2050
LOS ANGELES, CA, 90071
TEL 213.623.2164

AND THE USER AGREES TO ACCEPT AND HOLD HARMLESS THE PROVIDER AND RELEASE THE PROVIDER FROM AND AGAINST ALL LIABILITY, INCLUDING REASONABLE ATTORNEY'S FEES, FOR ANY AND ALL DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, OF THE USER AND THE USER'S AGENTS, OFFICERS, OR EMPLOYEES, ARISING OUT OF THE USER'S CONTRACT OF THE SERVICE.

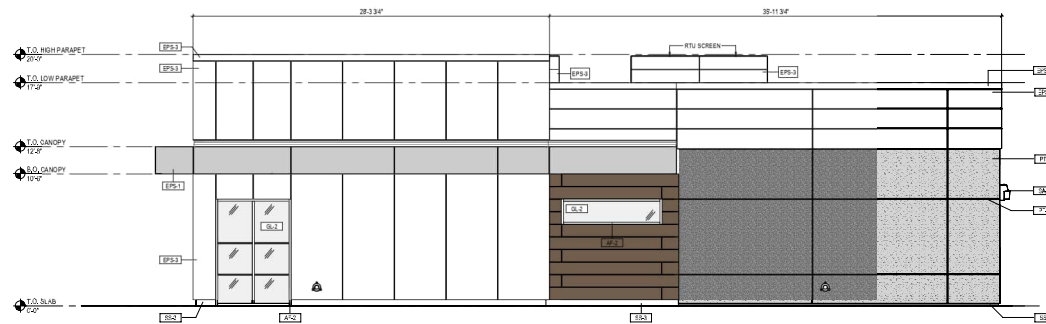
Owner Approval	
17BACX, 1103, C/B	As Indicated
Job No.	Scale

EXTERIOR ELEVATIONS

A09.11



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



② EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

