



Hayden Beckman
Planning Manager

Nathalie Adourian
Sr. Assistant City Attorney

Schylar Moreno
Administrative Assistant

AGENDA

Design Review Committee August 20, 2025

5:30 PM Regular Session

City Council Chamber
300 E. Chapman Avenue
Orange, CA 92866

MARYANNE SKORPANICH
Chair

JERICO FARFAN
Vice Chair

ANNE MCDERMOTT
Committee Member

ROBERT GROSSE
Committee Member

GREG LEDESMA
Committee Member

MICHAEL LOPEZ
Committee Member

ADRIENNE GLADSON
Committee Member

Welcome to the Design Review Committee Meeting. Regular meetings of the City of Orange Design Review Committee are held the first and third Wednesday of each month at 5:30 p.m.

Agenda Information

The agenda contains a brief general description of each item to be considered. Written materials relating to an item on the agenda that are provided to the Design Review Committee (DRC) after agenda packet distribution and within 72 hours before it is to consider the item will be made available for public inspection in the City Clerk's Office located at 300 E. Chapman Avenue, Orange, during normal business hours; at the DRC meeting; and made available on the City's website at www.cityoforange.org.

Public Participation

Design Review Committee meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at www.cityoforange.org.

Pursuant to Government Code Section 54954.3, members of the public may address the Design Review Committee on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

1) In-person

To speak on an item on the agenda, complete a speaker card indicating your name, address, and identify the agenda item number or subject matter you wish to address. The card should be given to City staff prior to the start of the meeting. General comments are received during the "Public Comments" section at the beginning of the meeting. No action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker unless a different time limit is announced. It is requested that you state your name for the record, then proceed to address the Committee. All speakers shall observe civility, decorum, and good behavior.

(Continued on page 2)

2) Written Public Comments via eComment

Members of the public can submit their written comments electronically for the DRC's consideration by using the eComment feature on the Agenda page of the City's website at www.cityoforange.org. To ensure distribution to the DRC prior to consideration of the agenda, we encourage the public to submit written comments by 3:00 p.m. the day of the meeting. All written comments will be provided to DRC Members for consideration and posted on the City's website after the meeting.

3) Public Comments via recorded voicemail message

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Design Review Committee.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

ADA Requirements: In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours in advance of meeting will enable the City to make arrangements to assure accessibility to this meeting.

REMINDER: Please silence all electronic devices while DRC is in session.

APPEAL PROCEDURE

Any final determination by the Design Review Committee may be appealed, and such appeal must be filed within 7 calendar days after the action is taken. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of \$1,000.00.

The Community Development Department, upon filing of said appeal, will set petition for public hearing before the City Planning Commission at the earliest possible date.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Design Review Committee at, or prior to, the public hearing.

1. OPENING/CALL TO ORDER**1.1 PLEDGE OF ALLEGIANCE**

Committee Member Michael Lopez

1.2 ROLL CALL**2. PUBLIC COMMENTS**

Opportunity for members of the public to address the Committee on matters not listed on the agenda which are within the subject matter jurisdiction of the DRC, provided that NO action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker.

3. NEW BUSINESS**3.1. Approval of a master sign program for the First Presbyterian Church of Orange administration building located at 191 N. Orange Street.****Recommended Action:**

Approval by the Design Review Committee.

Attachments: [Staff Report](#)
 [Attachment 1 Vicinity Map](#)
 [Attachment 2 Applicant's Project Narrative Letter](#)
 [Attachment 3 Sign Program Plans](#)

3.2. A request to add 305 square feet to a non-contributing single-family home in the Old Towne Historic District located at 412 S. Pixley Street. (Design Review No. 5146).**Recommended Action:**

Recommendation for approval by the Zoning Administrator.

Attachments: [Staff Report](#)
 [Attachment 1 Vicinity Map](#)
 [Attachment 2 DPR Form](#)
 [Attachment 3 Project Plans](#)
 [Attachment 4 Historic Resource Assessment](#)

4. ADJOURNMENT

The next Regular Design Review Committee meeting will be held on Wednesday, September 3, 2025 at 5:30 p.m., in the Council Chamber.

I, Schyler Moreno, Administrative Assistant for the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Orange Main Public Library at 407 E. Chapman Avenue, Police facility at 1107 N. Batavia, and uploaded to the

City's website www.cityoforange.org.

Date posted: August 14, 2025



Agenda Item

Design Review Committee

Item #: 3.1.

8/20/2025

File #: 25-0483

TO: Chair and Members of the Design Review Committee

THRU: Hayden Beckman, Planning Manager

FROM: Arlen Beck, Associate Planner

1. SUBJECT

Approval of a master sign program for the First Presbyterian Church of Orange administration building located at 191 N. Orange Street.

2. SUMMARY

A proposal to establish a master sign program for a newly renovated, non-contributing, multi-tenant building in the Old Towne Historic District. The Planning Commission approved a project to remodel the building on April 4, 2022. (ENT 25-0029).

3. RECOMMENDED ACTION

Approval by the Design Review Committee.

4. BACKGROUND INFORMATION

Applicant/Owner: 191 Orange, LLC, Adam Chez
Property Location: 191 N. Orange Street
General Plan Designation: Old Towne Mixed Use 15 (OTMIX-15)
Zoning Classification: Old Towne Mixed Use-15 (OTMU-15)
Existing Development: Two-story commercial building
Associated Application: None
Previous DRC Project Review: None

5. PROJECT DESCRIPTION

The applicant is requesting approval of a master sign program for the two-story commercial building at 191 N. Orange Street. The building contains multiple tenant suites and two building elevations (north and west) adjacent to the public right-of-way. Sign area allowances are based on the lineal feet of the building's street frontage. The sign locations are placed to provide visibility on ground views and building views on N. Orange Street and E. Maple Avenue.

The proposed sign program establishes criteria for the retail/restaurant tenant wall signs as well as for office tenant signage, including locations on exterior building walls, maximum area per elevation, sign construction, and illumination. The sign program also allows for illuminated halo lit channel

letters, and externally illuminated signs for any future tenant signage.

The proposed sign program does not identify any ground-mounted freestanding monument signs, and all directional signs and window signs will be subject to the standard requirements as outlined in the Municipal Code. The sign program plans (Attachment 3) illustrate conceptual sign designs and locations. Future tenant signs that comply with the sign program will be approved by staff without additional review by the DRC.

6. EXISTING SITE

The site is developed with a two-story church administration building, constructed circa 1929 for the First Presbyterian Church of Orange. The building was extensively remodeled and added on to in 1964, when the adjacent connected church sanctuary was constructed. It is a non-contributor to the Old Towne Historic District due to the extensive changes outside of the historic district's period of significance (1888-1940). The construction of an addition and remodel approved by the Planning Commission in 2022 is nearing the completion of its construction and tenant improvements are near completion for some tenant spaces.

7. EXISTING AREA CONTEXT

The administration building is part of the First Presbyterian Church of Orange campus on Maple Avenue between N. Orange Street and N. Grand Street. The building is attached to the church sanctuary to the east and abutted to the south by the church hall, and the chapel.

To the north and east are single-family residences, the majority of which are contributors to the Old Towne Historic District. Adjacent zoning includes Old Towne Mixed Use 15 to the south and west and Single-Family Residential (R-1-6) to the north and east.

8. PROJECT ANALYSIS

The applicant is proposing a sign program that meets the requirements for signage in the City's Municipal Code and the Historic Preservation Design Standards for Old Towne (Design Standards). Under the sign program, first floor tenants are allowed to have one wall sign per street fronting elevation of tenant space and second floor tenants may choose either one wall sign or one blade sign per street fronting building elevation of tenant space, as permitted by the Design Standards. The permitted wall sign types are illuminated face lit channel letters with neon, fastened to the exterior building walls or awnings/canopy, illuminated halo lit channel letters, and externally illuminated signs. A blade sign may have a maximum sign area of 15 square feet per sign face and may include exposed neon and creative sign shapes and designs.

The sign materials are consistent with the recommendations in the Design Standards and are compatible with the building and the character of the Historic District.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 300 feet of the project on or before August 7, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15301 (Class 1 - Existing Facilities) because the

project consists of establishing a new sign program for an existing two-story commercial building.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The proposed sign program is in conformance with the Historic Preservation Design Standards for Old Towne, which are the prescriptive design criteria for projects within the Old Towne Historic District. The signs permitted by the master sign program are compatible in scale, design, materials, and character with the non-contributing building and surrounding historic commercial buildings in the Historic District. The sign locations and types reflect the historic pattern of signage on commercial buildings in the Old Towne Historic District and will enhance the pedestrian experience around the building. The sign program is consistent with the context of the Historic District and does not adversely affect the Historic District.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines (OMC 17.10.07.G.2).

Projects found to be in conformance with the Historic Preservation Design Standards for Old Towne are generally considered to be in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties (SOI Standards). The building is a non-contributor to the Old Towne Historic District, and the proposed project is consistent with Standard 10 of the SOI Standards in that the project is contained to the non-contributing building and will not impair the form, materials, or integrity of the adjacent historic buildings or the Historic District as a whole. The proposed project is in conformance with the SOI Standards.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.G.3).

Projects located within the Old Towne Historic District must comply with the Historic Preservation Design Standards for Old Towne and the Secretary of the Interior's Standards for the Treatment of Historic Properties (SOI Standards). As described above, the proposed work conforms with these design standards.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. All construction shall conform in substance and be maintained in general conformance with the plans labeled as "Attachment 3 - Sign Program Plans" in the staff report (date stamped approved on August 6, 2025), including modifications required by the conditions of approval, and as approved by the Design Review Committee.

2. Following the DRC meeting(s), and prior to issuance of building permits (for signage), the applicant shall provide the City with two physical copies and a digital copy of the final sign program which incorporates any comments from the DRC.
3. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
4. The final (signed) conditions of approval shall be reprinted on a dedicated sheet (or sheets) of the construction documents submitted to the Building Department for the plan check process.
5. The applicant agrees, as a condition of the City's approval for ENT25-0029, to indemnify, defend, and hold harmless, at the applicant's expense, the City, its officers, agents, and employees (City) from and against any claim, action, or proceeding brought against the City, including, but not limited to, any claim, action, or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void, or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act (CEQA) or to challenge the reasonableness, legality, or validity of any condition attached hereto. The City shall promptly notify the applicant of any such claim, action, or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. The applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action, or proceeding but such participation shall not relieve the applicant of the obligations of this condition. In the event the applicant is required to defend the City in connection with such claim, action, or proceeding, the City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any and all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgement rendered in the proceeding. Further, the applicant agrees to indemnify, defend, and hold harmless the City for all costs and expenses incurred in enforcing this provision.
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7. When signs are removed, the building(s) will be repaired so that the patchwork is not visible. The materials used to patch the holes shall be the same material, color, and texture as the building. If glue is used, excess glue shall be removed, and the building restored to its original condition. New paint or treatment will be required to remove any residual discoloration of the building caused by the previously installed signage.

8. If not utilized, the project approval expires twenty-four months (two years) from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060. The Planning entitlements expire unless building permits are pulled within twenty-four months (two years) of the original approval.

14. ATTACHMENTS

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- Attachment 3 Sign Program Plans



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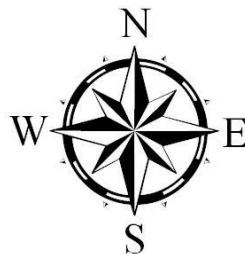
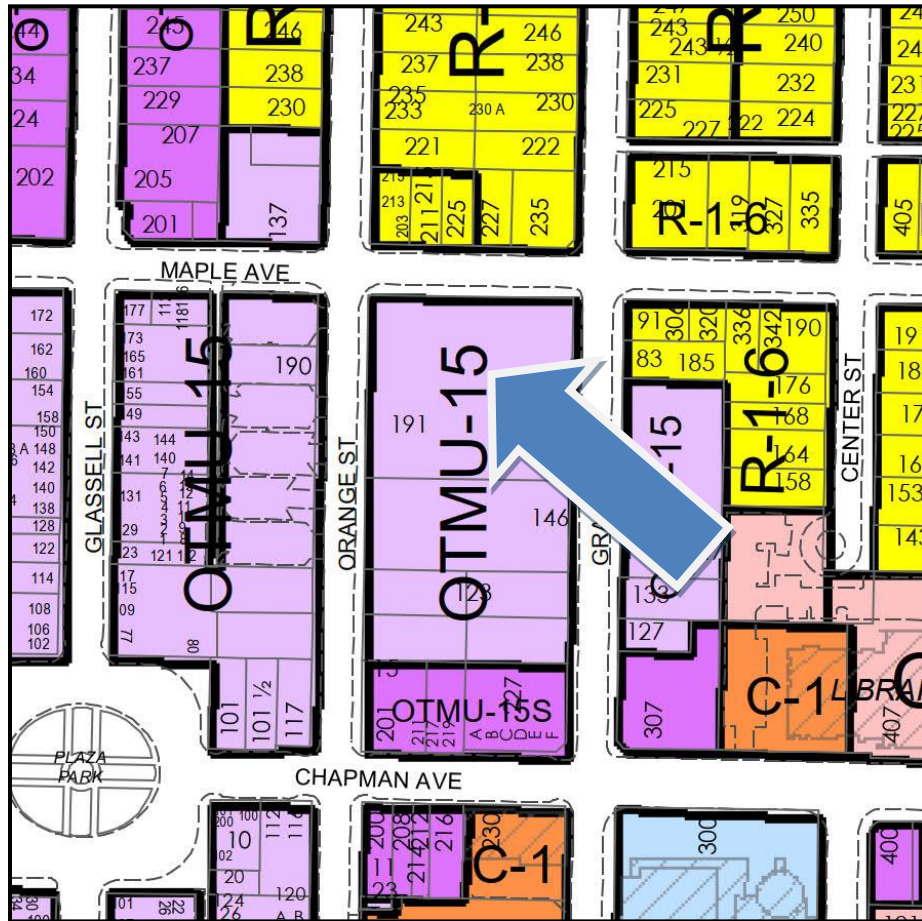
14. ATTACHMENTS

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- Attachment 2 Applicant's Project Narrative Letter
- Attachment 3 Sign Program Plans

Vicinity Map

191 N. Orange Street

First Presbyterian Admin Building



City of Orange
Community Development Department

To: City of Orange – Planning Division
300 E. Chapman Avenue
Orange, CA 92866

RE: Letter of Justification – Master Signage Plan for 191 N. Orange

Dear Planning Division:

On behalf of 191 Orange, LLC, we respectfully submit this letter of justification in support of the proposed **Master Signage Plan (MSP)** for **191 N. Orange**, a premier mixed-use retail center located in the City of Orange.

Project Overview

The 191 N. Orange development encompasses approximately [acreage/square footage] and includes a thoughtfully curated mix of retail, dining, and service-oriented tenants designed to serve the surrounding community and visitors. The project's architecture integrates high-quality materials, pedestrian-oriented design, and landscaping consistent with the City of Orange General Plan and design guidelines.

Purpose of the Master Signage Plan

The City of Orange Zoning Code (§17.36.150 – Master Sign Program) allows projects of this scale and complexity to establish comprehensive signage standards. The proposed MSP seeks to:

1. **Establish a cohesive identity** for the project, while accommodating individual tenant branding and visibility needs.
2. **Improve wayfinding and customer navigation** through coordinated monument, directional, and building-mounted signs.
3. **Ensure compliance with City objectives** for high-quality, aesthetically consistent signage.

4. Provide flexibility to address varying tenant types and architectural conditions without creating visual clutter.

Justification and Benefits

- **Cohesive and Context-Sensitive Design:** All signs will share a coordinated palette of materials, finishes, and illumination styles that complement the architectural design and meet the City's design standards.
- **Enhanced Wayfinding:** The proposed program includes monument and directional signage that will safely and efficiently guide both pedestrian and vehicular traffic through the project, consistent with §17.36.040 of the Orange Municipal Code.
- **Economic Vitality:** By providing tenants with clear and visible signage, the MSP will help maintain strong retail performance, generating consistent sales tax revenue for the City.
- **Flexibility for a Mixed-Use Environment:** The MSP allows for tailored solutions for restaurant, retail, and service tenants while maintaining the overall character of the center.
- **Minimized Visual Clutter:** Establishing a single program ensures sign sizes, placement, and lighting are appropriately scaled to the site, avoiding piecemeal installations over time.

Conclusion

The requested Master Signage Plan is consistent with the intent and requirements of the City of Orange Municipal Code. It ensures a unified, visually appealing signage system that strengthens the project's identity and enhances the surrounding community.

We respectfully request the City's approval of the 191 N. Orange Master Signage Plan. Should you have any questions or require additional details, please do not hesitate to contact me.

Thank you for your time and consideration.

Sincerely,

Adam Chez

Principal

480-276-1078

adam@chariscapital.com



08/6/2025, 10:20:37 AM
Arlen Beck
ENT25-0029



191 N ORANGE

MAJOR SIGN PROGRAM | JULY 30, 2025



OWNER: 191 Orange LLC.
5271 California Ave, STE 280
Irvine, CA 92617
PH: 480 | 276 | 1078
CONTACT: Adam Chez

**SIGNAGE
CONSULTANT:** Signage Solutions
2231 South Dupont Drive
Anaheim, CA 92806
PH: 714 | 491 | 0299
CONTACT: Tyler Shapiro

**CITY
PLANNING:** City of Orange
Planning Department
330 E Chapman Avenue
Orange, CA 92866
PH: 714 | 744 | 2225

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B.S. BLADE SIGNAGE	10.0



WEST COAST HQ

2231 S. Dupont Drive

Anaheim, CA 92806

800-655-9972

I 9 I N O R A N G E



08/6/2025, 10:20:51 AM
Arlen Beck
ENT25-0029

There is a formal process for the creation, review and approval of Tenant signs at 191 N Orange. All Tenant’s signage is subject to the Owner’s, or his managing agent (hereinafter referred to as “Owner”), written approval. Approval will be granted based on the following.

- 1. Design, fabrication and method of installation of all signs shall conform to this sign program.
- 2. Proposed signage is in harmony with adjacent signage conditions and conforms with the design standards for 191 N Orange.

A. SUBMITTAL TO OWNER :
Tenant shall submit three (3) copies of detailed shop drawings to Owner for approval prior to sign fabrication. Sign drawings are to be prepared by California licensed sign contractor. All signs must conform to the city requirements of The City of Orange Planning Department.

- Submittals shall include the following:
- 1. STOREFRONT ELEVATION
Scaled elevation of Tenant’s storefront depicting the proposed sign design and all the dimensions as they relate to the Tenant’s storefront.
 - 2. SHOP DRAWINGS:
 - a. Fully dimensioned and scaled shop drawings specifying exact dimensions, copy layout, type styles, materials, colors, means of attachment, waterproofing, drainoff, illumination, electrical specifications, and all other details of construction. Section through letter and/or sign panel showing the dimensioned projection of the face of the letter or sign panel and the illumination.
 - b. Project signage with tenant signage panels or locations may be allocated to individual tenants per their lease. The Owner may require that the tenant use a particular signage fabricator to fabricate and install their signage on select complicated sign types. The Owner can also recommend signage fabricators for shopfront signage, simple tenant panels on

project signage, or other specialty signage upon request. Tenants to electronically submit set of 11”x17” drawings to Landlord. Landlord may request one or more printed set of drawings. Drawing set should include:

- Format: 8 1/2”x11” or 11”x17” in size with titleblock showing preparer information.
- Plan of tenant space with shopfront dimensions given and signage locations identified.
- Elevations of each area where signage is proposed. Can be an architectural drawing or straight-on photograph with annotations as described below. Proposed signage should be shown on the elevation.
- Dimensions of the sign band (area available for signage) and proposed signage shown on the elevation(s). The position of the proposed sign should also be indicated with dimensions.
- In addition to showing proposed signage on the elevation(s), there should be separate, detailed drawings of the proposed signage. These should include a face-on drawing and a section cut showing construction methods, materials, colors, lighting and attachment methods.

3. SAMPLE BOARD:
Provide a sample board showing colors, materials, including building fascia, letter faces, trim cap, returns, and other details. If shop drawings are denied, Tenant must resubmit revised plans until Owner’s approval is obtained. Request to implement signs that vary from the provisions of the sign program will be submitted to the Owner for approval and then submitted to the City of Orange for approval. The Owner may approve signs that depart from the specific provisions and constraints of this sign program in order to:

- a. Encourage exceptional design
- b. Accomodate imaginative, unique, and tasteful

signs that capture the spirit and intent of this sign program.

- c. Mitigate problems in the application of this sign program.

B. SUBMITTAL TO CITY :
A full set of plans must be approved and stamped by the Owner prior to permit application. Tenant or his sign contractor must submit to the City of Orange and will be responsible for all applicable applications, permit fees for the Planning Departments.

Tenant and his Sign Contractor will not be permitted to commence installation of the exterior sign unless all of the following conditions have been met:

- 1. A stamped set of final drawings reflecting the Owner’s, and City’s approvals shall be on file in the Owner’s office.

C. TENANT’S RESPONSIBILITY :

- 1. All Sign Contractors must be fully insured and approved by landlord prior to installation. Landlord must receive Sign Contractor’s Certification of Insurance.
- 2. The owner must be notified 48 hours in advance prior to sign installation.
- 3. Tenant’s Sign Contractor shall install required signage within 45 days after approval of shop drawings. If signage is not in place by that date, Owner may order sign fabrication and all installation on Tenant’s behalf and at the Tenant’s expense.
- 4. The Owner may, at his sole discretion and at the Tenant’s expense, correct, replace, or remove any sign that is installed without written approval and/or that is deemed unacceptable pertaining to this sign program.
- 5. If Tenant chooses to change his exterior sign at anytime during the term of his lease, then Tenant must comply with the requirements set forth herein and any future revisions or changes which have been made to this sign program for this center after the execution of his lease agreement.



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SUBMITTALS & APPROVALS

- 6. Tenant shall be ultimately responsible for the fulfillment of all requirements and specifications, including those of the Owner, Governing Agency, City, UL and the Uniform Electrical Code.
- 7. Tenant shall be responsible for the following expenses relating to signage:
 - Design consultant fees (if applicable).
 - 100% of approval and permit processing costs and application fees.
 - 100% of costs for sign fabrication and installation including review of shop drawings and patterns.
 - All costs relating to sign removal, including repair of any damage to the building.
 - Tenant to provide wiring, power and final hook-up from Tenant’s house panel to j-box.

D. SIGN INSTALLATION & MAINTENANCE :

- 1. Any signs installed without Landlord’s explicit approval and/or with the appropriate permits shall be removed or corrected by tenant at tenant’s expense.
- 2. Installation to take place with minimal disruption to traffic flow around and within the business center. Installation to not impede foot traffic from accessing all of the center’s businesses. Should lane closures be required to complete the installation, tenant to acquire any necessary approvals and permits from the City.
- 3. Tenant’s signage to remain in good working order and free from rust or corrosion. Should signage need repairs to be made, tenant will do so at tenant’s expense within 30 days. If repairs are not made within 30 days, Landlord may perform corrections at tenant’s expense.
- 4. Coordinate all sign installations with general contractor.
- 5. Remove and legally dispose of all existing signs prior to installation of new signs.
- 6. Primary signs to be mounted in the sign areas as shown in this program.
- 7. Sign installation shall not damage historic materials. Mounting hardware should be anchored into mortar joints only.

FABRICATION REQUIREMENTS

FABRICATION REQUIREMENTS :

The fabrication and installation of all signs shall be subject to the following restrictions:

- 1. All signs shall be fabricated and installed with UL approved components in compliance with all applicable building and electrical codes.
- 2. Sign manufacture shall supply a UL label, if required by local authorities, in an inconspicuous location. In no case shall any manufacture’s label be visible from the street from normal viewing angles.
- 3. Sign permit stickers shall be affixed to the top edge of signs or letters, and only that portion of the permit sticker that is legally required to be visible shall be exposed.
- 4. Signs shall be made out of durable rust inhibited materials that are appropriate and complementary to the building.
- 5. All formed metal (i.e. letterforms) shall be fabricated using full weld construction.
- 6. Separate all ferrous and non-ferrous metals. Stainless steel fasteners shall be used to secure ferrous and non-ferrous metals.
- 7. Paint colors and finishes must be reviewed and approved by the Owner. Color coatings shall match exactly the specified colors on the approved plans.
- 8. All sign finishes shall be free of dust, orange peel, drips and runs. Finishes should have uniform coverage and be of the highest quality (e.g., Matthews Paint Company (800) 323-6593).
- 9. Brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks will not be permitted.
- 10. Sign installation shall not damage histortic materials
 - All attachments penetrating histortic materials shall use materials that prevent rust & deterioration.



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The purpose of establishing these design guidelines is to ensure that each Tenant sign will contribute to the center’s success. High quality signage, which reflects the integrity of the architecture, will be encouraged. Encouraged sign treatments include:

A. ILLUMINATION

Tenant signage must incorporate one or more of the following acceptable lighting methods subject to owner, and City approval:

- 1. Illuminated halo lit channel letters.
- 2. Illuminated face lit channel letters. (Neon is encouraged)
- 3. Externally illuminated.

B. SIGN COLORS AND FINISHES

All Tenant’s colors must be approved by the Owner, Governing Agencies and City prior to fabrication. To assist in achieving a harmonious blend of color throughout the center, the following guidelines are to be adhered to:

- 1. Sign colors shall be compatible with the building architecture.
- 2. Tenants may be allowed other colors at sole discretion of the Landlord.
- 3. The use of garish or fluorescent colors is considered inappropriate.

C. TYPE STYLES AND LOGOS

Project font for Tenant signage is Futura Medium. Tenants may be allowed other fonts at sole discretion of the Landlord.

E. SIZES AND QUANTITIES

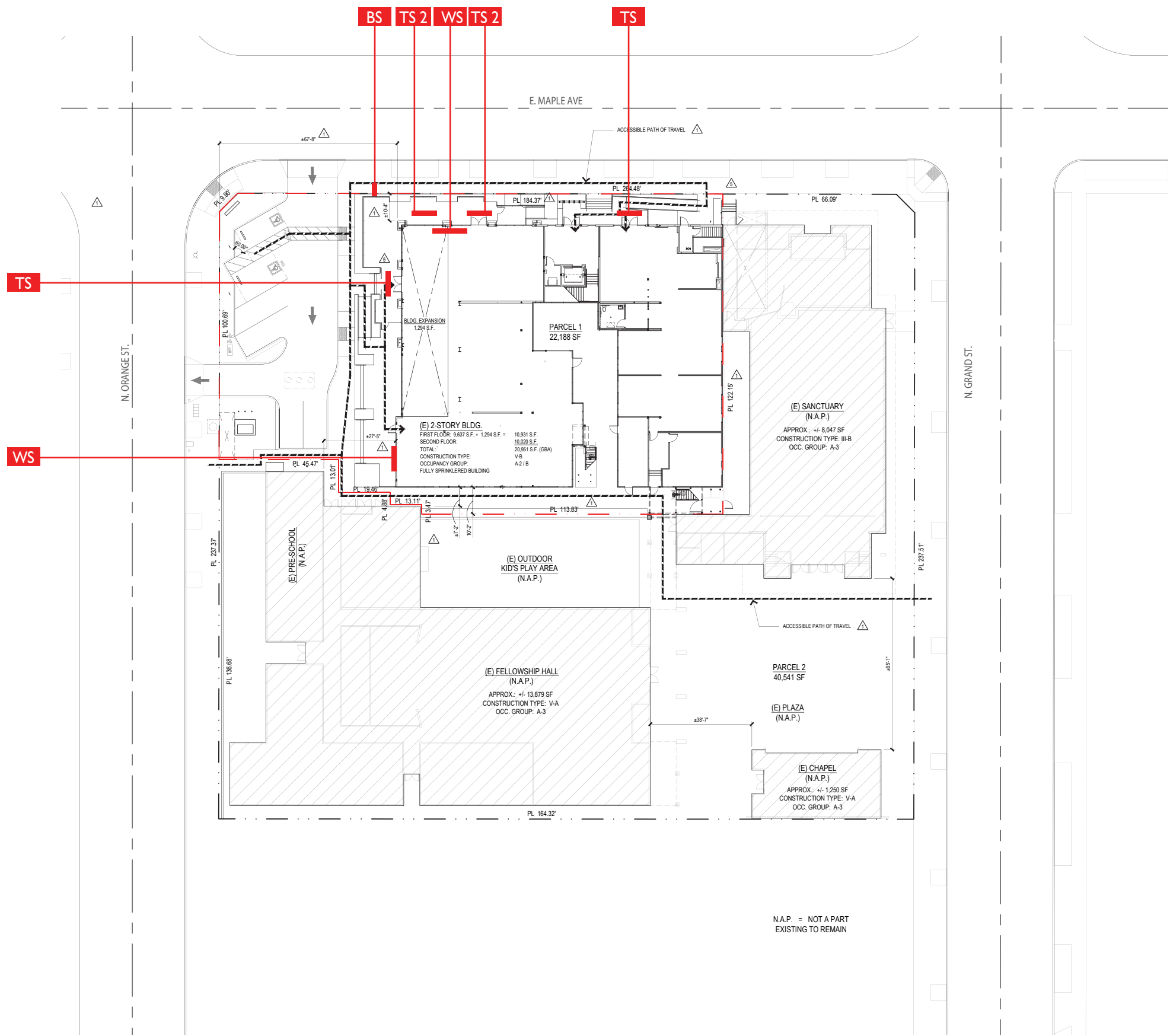
Sizes and quantities for tenant signs shall be outlined in this criteria for each sign type. Notwithstanding the maximum square footage specified for copy area allowances, adequate amounts of visual open space shall be provided around wall signs so that they appear balanced and in scale in relation to their backgrounds.

PROHIBITED SIGN TYPES

Only those sign types provided herein and specifically approved in writing by the Owner and City will be allowed. The following signs are prohibited:

- 1. Any sign erected or maintained without the consent of the owner of the land upon which the sign is located.
- 2. Any sign erected upon or over public property, other than signs installed by state, county, or city agencies.
- 3. Flashing, moving or otherwise animated elements or any revolving signs, other than time/ temperature signs (See Section 17.36.160(E)).
- 4. Any sign placed upon, attached, or suspended from a vehicle that is subject to license or registration by the State's Department of Motor Vehicles, intended to advertise goods or services available on site or nearby, when said vehicle is located on private property within 75 feet of a public right-of-way.
- 5. Any abandoned sign that advertises goods or services which have not been available for a period of 90 or more days.
- 6. Any "sandwich" or A-frame sign, or any ground sign temporarily supported by poles or braces placed upon the ground, or any other sign propped against a vehicle or object in a parking lot or public right-of-way unless otherwise permitted under Section 17.36.150, Special Purpose Sign Regulations.
- 7. Roof signs, or any sign proposed above a roof line that is not integrated architecturally, such as a dormer or other vertical facade constructed within the roof's structure.
- 8. Any sign containing "harmful matters" as defined by Chapter 9.09 of the Orange Municipal Code.
- 9. All banner signs, wind signs, balloons, and tube signs of a commercial nature, except those permitted as temporary special promotions, defined by Orange Municipal Code, Section 17.36.150.
- 10. Items of merchandise used as a sign.
- 11. All inflatable signs and signs designed to be flown, including balloons, strings of balloons, kites or aerial signs, that are made of an electrically conductive material.
- 12. Signs that create sound.
- 13. Plastic Signs are not permitted.

SITE PLAN



SIGN LEGEND

- TS TENANT SIGN
- WS WALL SIGN
- BS BLADE SIGN



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191 N ORANGE

BUILDING ELEVATIONS

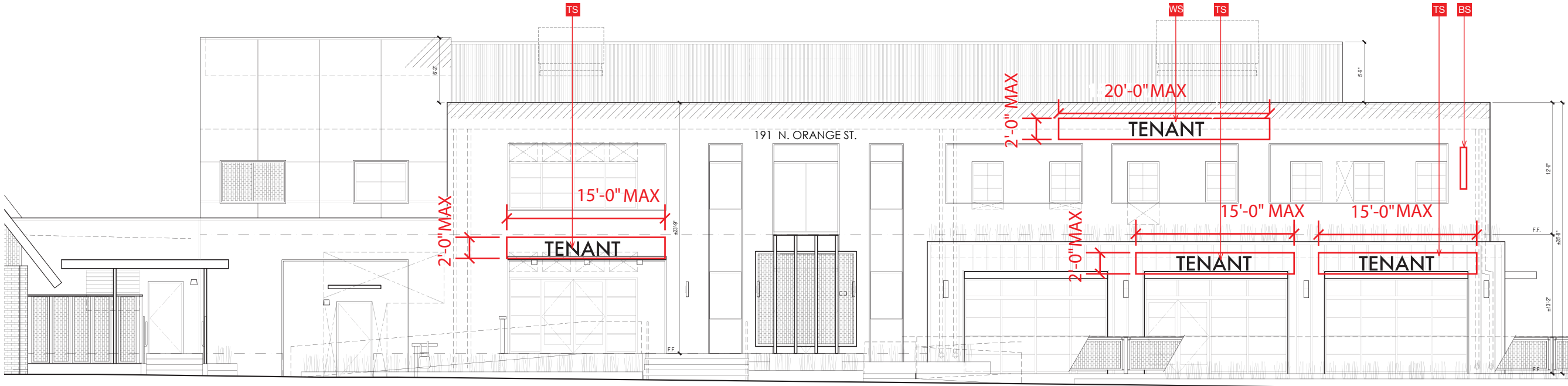


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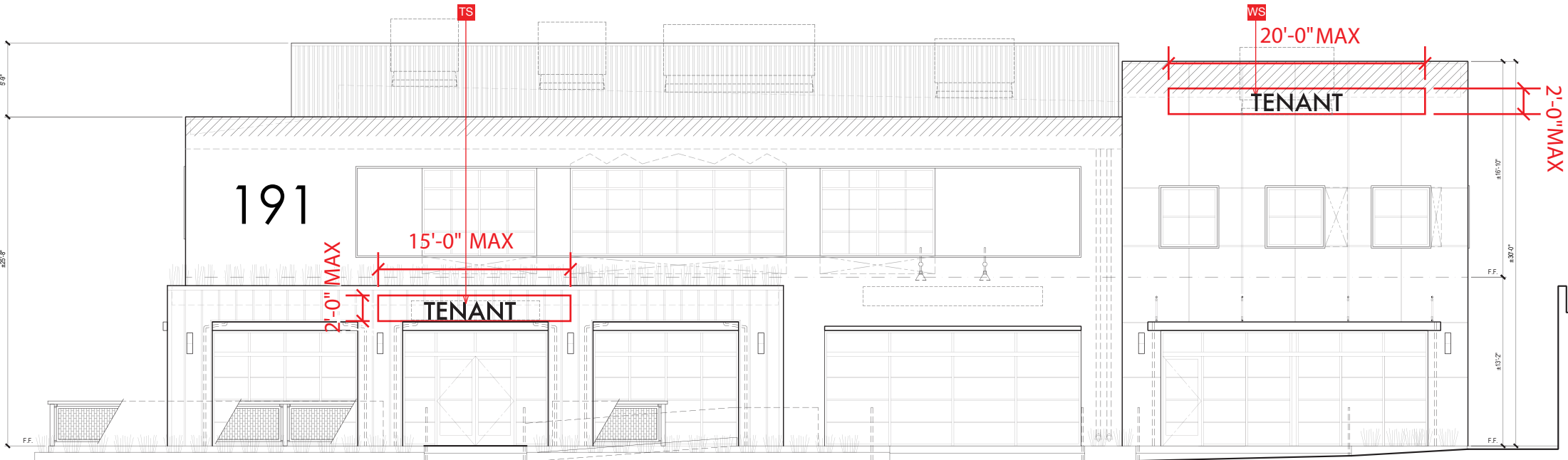
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NORTH ELEVATION

SCALE :3/32" = 1'-0"



WEST ELEVATION

SCALE :3/32" = 1'-0"

TENANT SIGNAGE CRITERIA

MAX LENGTH: SHALL NOT EXCEED 15'-0"

MAX HEIGHT: 24"

MAX NUMBER: ONE (1) WALL SIGN PER TENANT ELEVATION

SIGN TYPE: CANOPY

SQ FT: A WALL SIGN IS LIMITED TO A MAXIMUM OF ONE SQ.FT. FOR EACH LINEAL FOOT OF THE TENANT'S STREET FRONTAGE.

OFFICE SIGNAGE CRITERIA

MAX LENGTH: SHALL NOT EXCEED 20'-0"

MAX HEIGHT: 24"

MAX NUMBER: ONE (1) WALL SIGN OR ONE (1) BLADE SIGN PER TENANT ELEVATION

SIGN TYPE: WALL

SQ FT: A WALL SIGN IS LIMITED TO A MAXIMUM OF ONE SQ.FT. FOR EACH LINEAL FOOT OF THE TENANT'S STREET FRONTAGE.

191 N ORANGE



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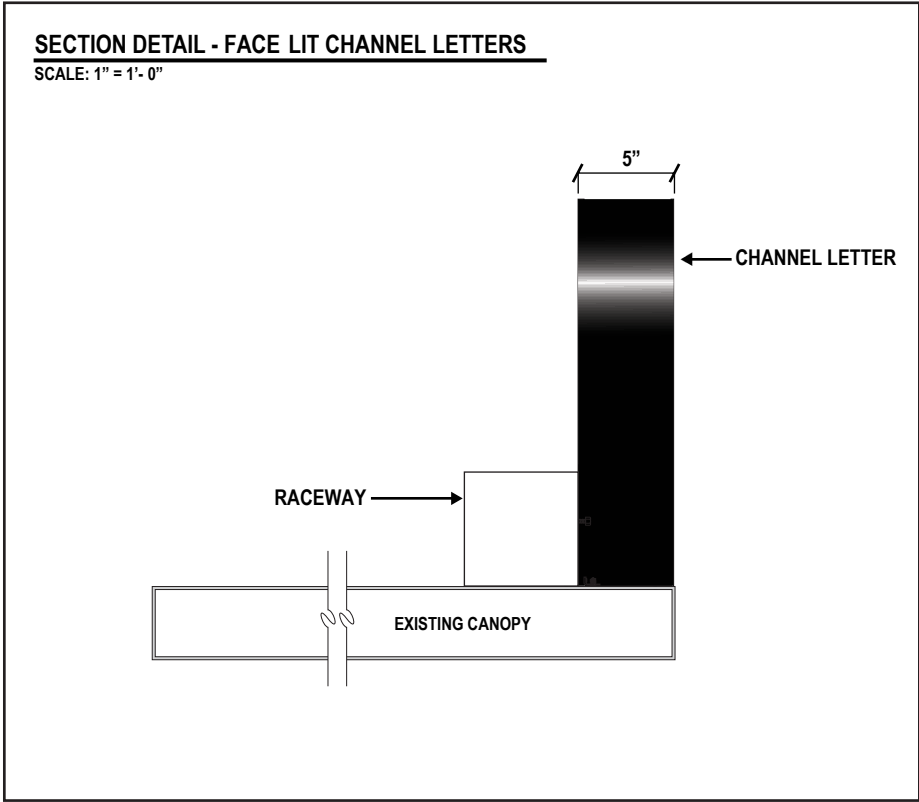
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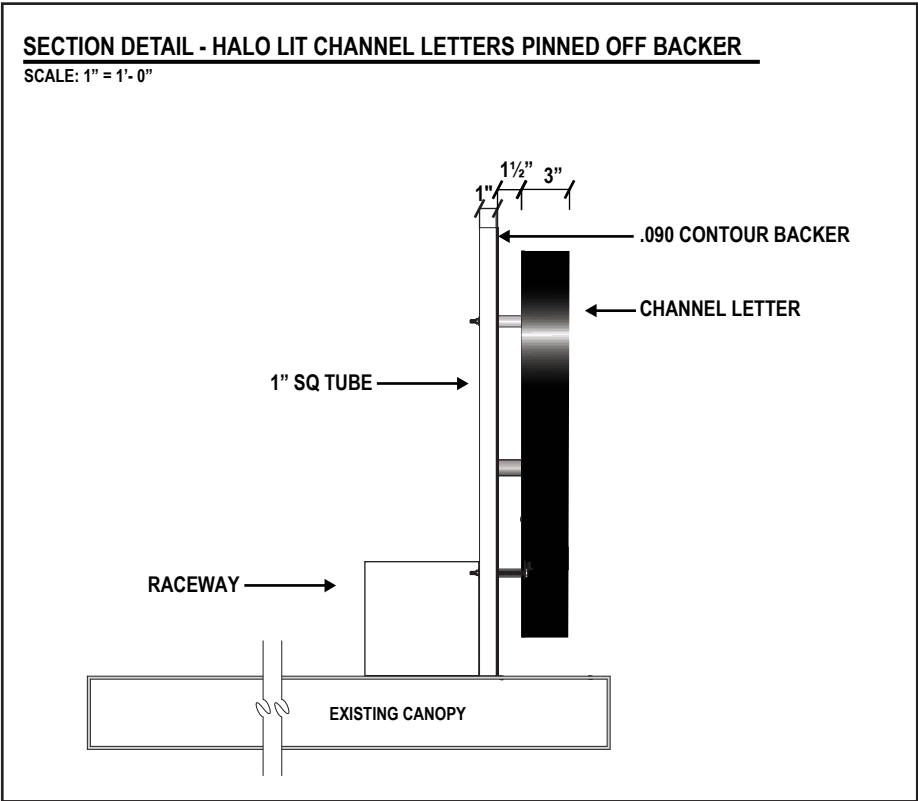
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FACE LIT CHANNEL LETTER WITH RACEWAY



HALO LIT CHANNEL LETTER WITH RACEWAY



T.S. | 24" MAX EXAMPLE TENANT SIGNAGE

SIGNAGE CRITERIA

MAX LENGTH: SHALL NOT EXCEED 15'-0"

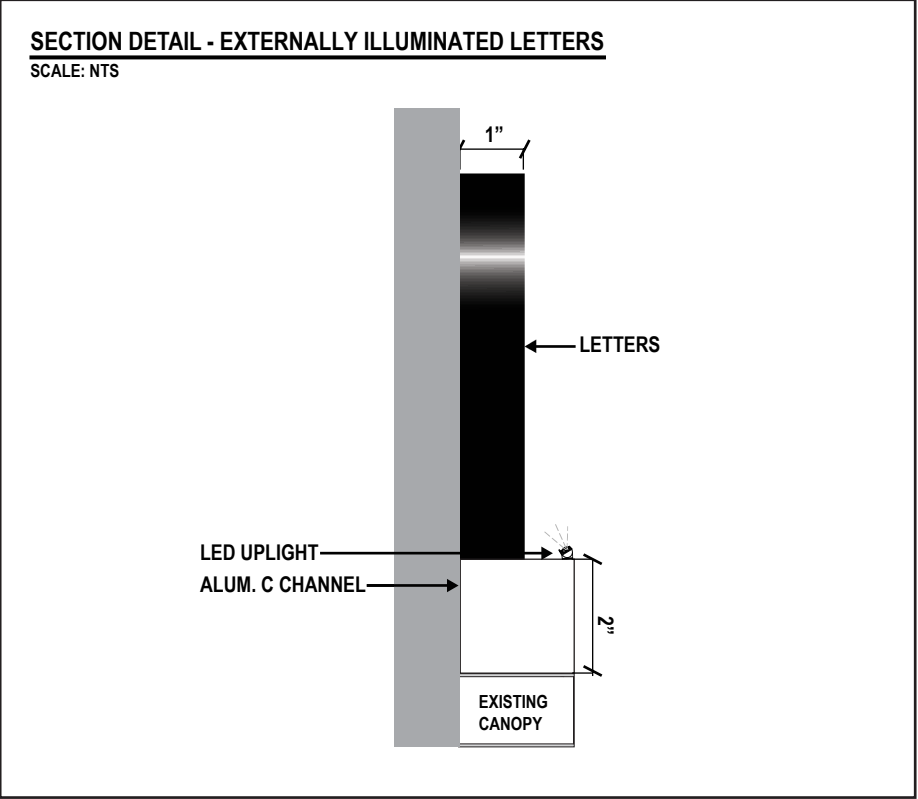
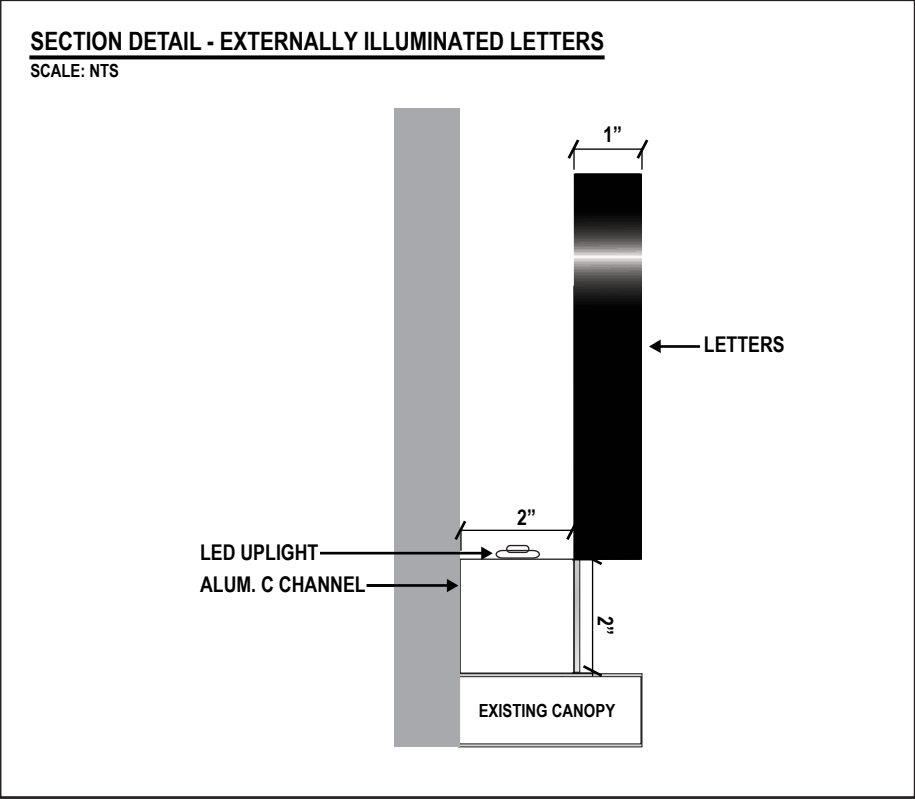
MAX HEIGHT: 24"

MAX NUMBER: ONE (1) WALL SIGN PER TENANT ELEVATION

SIGN TYPE: CANOPY

SQ FT: A WALL SIGN IS LIMITED TO A MAXIMUM OF ONE SQ.FT. FOR EACH LINEAL FOOT OF THE TENANT'S STREET FRONTAGE.

DEPTH: NO WALL SIGN, INCLUDING ANY LIGHT BOX OR OTHER STRUCTURAL PART, SHALL PROJECT MORE THAT 12 INCHES FROM THE SURFACE ON WHICH IT IS INSTALLED.



- SIGNAGE CRITERIA**
- MAX LENGTH:** SHALL NOT EXCEED 15'-0"
 - MAX HEIGHT:** 24"
 - MAX NUMBER:** ONE (1) WALL SIGN PER TENANT ELEVATION
 - SIGN TYPE:** LOW PROFILE CANOPY
 - SQ FT:** A WALL SIGN IS LIMITED TO A MAXIMUM OF ONE SQ.FT. FOR EACH LINEAL FOOT OF THE TENANT'S STREET FRONTAGE.
 - DEPTH:** NO WALL SIGN, INCLUDING ANY LIGHT BOX OR OTHER STRUCTURAL PART, SHALL PROJECT MORE THAT 12 INCHES FROM THE SURFACE ON WHICH IT IS INSTALLED.



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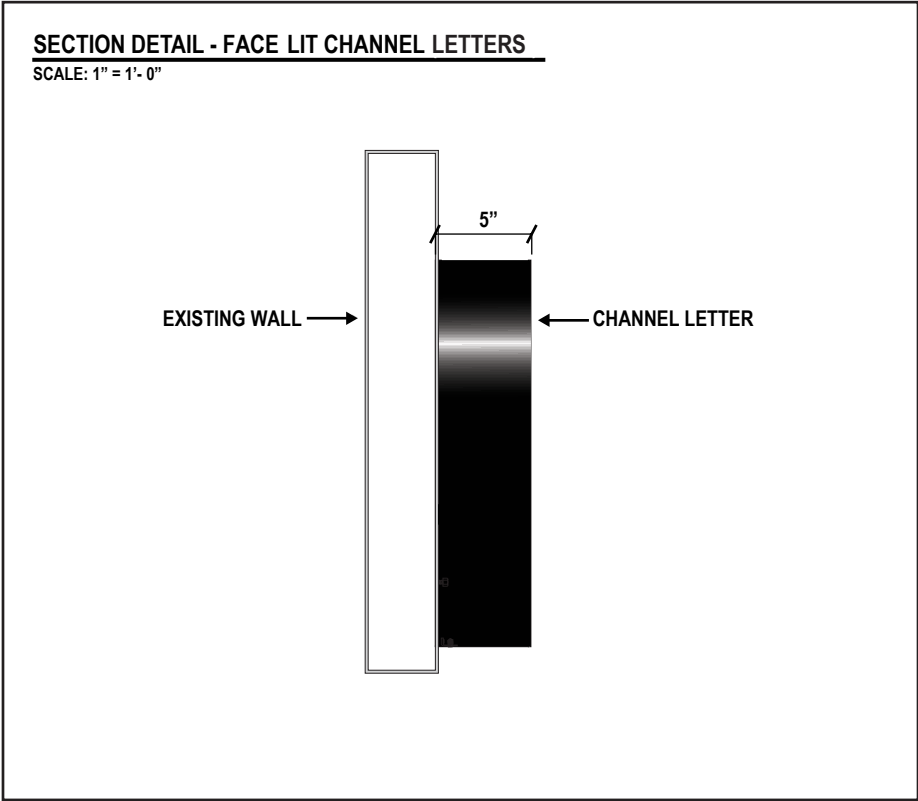
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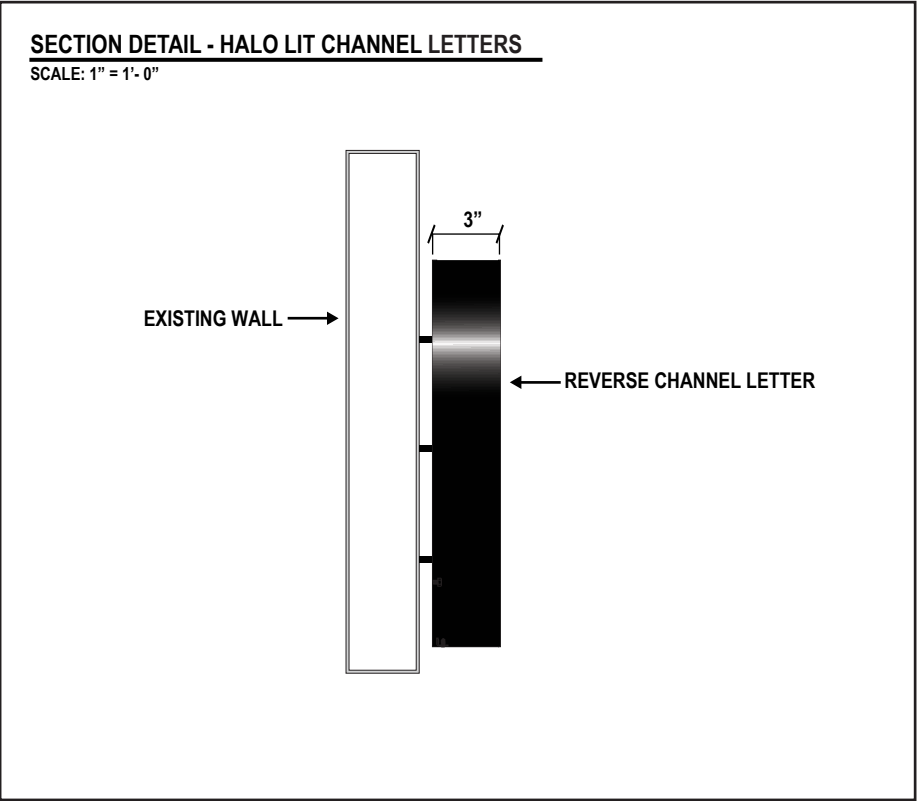
800-655-9972

TENANT TENANT

FACE LIT CHANNEL LETTER



HALO LIT CHANNEL LETTER



W.S. | EXAMPLE TENANT SIGNAGE

MAX LENGTH: SHALL NOT EXCEED 20'-0"

MAX HEIGHT: 24"

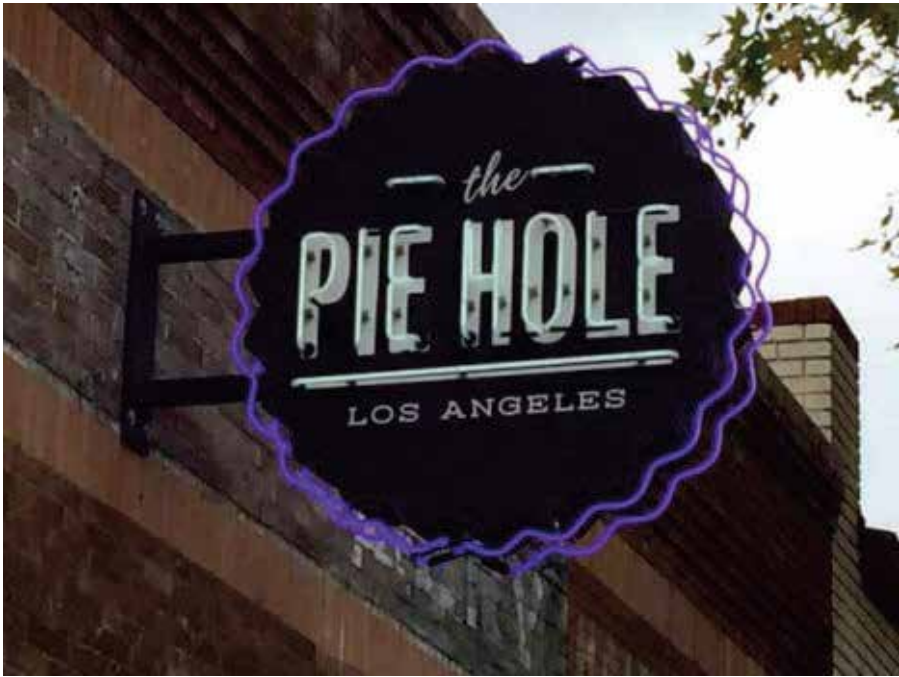
MAX NUMBER: ONE (1) WALL SIGN PER TENANT ELEVATION

SIGN TYPE: WALL

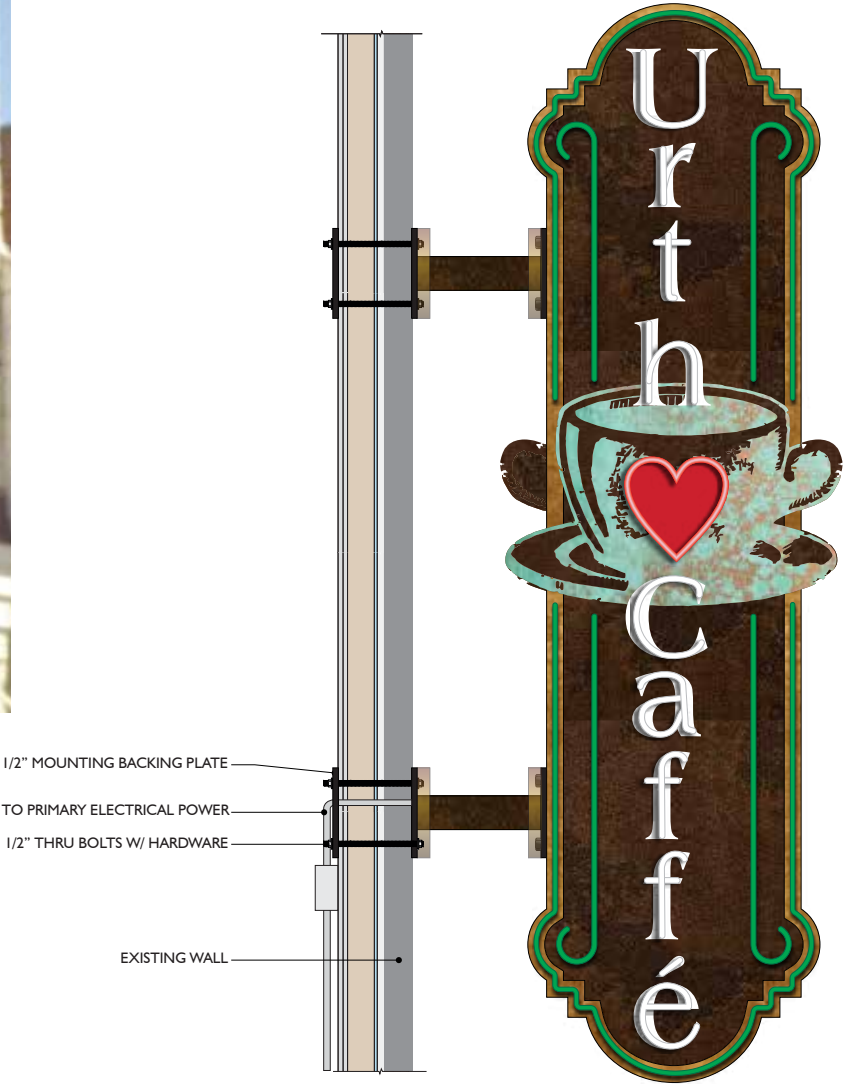
SQ FT: A WALL SIGN IS LIMITED TO A MAXIMUM OF ONE SQ.FT. FOR EACH LINEAL FOOT OF THE TENANT'S STREET FRONTAGE.

DEPTH: NO WALL SIGN, INCLUDING ANY LIGHT BOX OR OTHER STRUCTURAL PART, SHALL PROJECT MORE THAT 12 INCHES FROM THE SURFACE ON WHICH IT IS INSTALLED.

I 9 I N O R A N G E



BLADE SIGN EXAMPLE



BLADE SIGNAGE CRITERIA

SIGN AREA: 15 SQ. FT. PER EACH FACE.

MAX NUMBER: ONE BLADE SIGN IS PERMITTED PER TENANT IN LIEU OF WALL SIGN.

NOTE: MUST HAVE MINIMUM 8 FT. VERTICAL CLEARANCE BETWEEN GRADE AND LOWEST POINT OF THE SIGN.



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191 N ORANGE



Agenda Item

Design Review Committee

Item #: 3.2.

8/20/2025

File #: 25-0487

TO: Chair and Members of the Design Review Committee

THRU: Hayden Beckman, Planning Manager

FROM: Arlen Beck, Associate Planner

1. SUBJECT

A request to add 305 square feet to a non-contributing single-family home in the Old Towne Historic District located at 412 S. Pixley Street. (Design Review No. 5146).

2. SUMMARY

The applicant proposes adding a total of 305 square feet to an existing single-family home located on a substandard 2,880-square-foot lot at 412 S. Pixley Street. The property is located in the Old Towne Historic District and is designated as a non-contributing property.

3. RECOMMENDED ACTION

Recommendation for approval by the Zoning Administrator.

4. BACKGROUND INFORMATION

Applicant: Architectural Design Solutions/ Mark S. Dwyer

Owner: Alonso Regalado

Property Location: 412 S. Pixley Street

General Plan Designation: Low Density Residential 2-6 du/ac (LDR)

Zoning Classification: Single Family Residential 6,000 square feet (R-1-6)

Existing Development: 645-square-foot single family residence with a detached garage

Associated Application: VAR25-0001, AA25-0001

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

This project includes:

- A one-story addition of 305 square feet to the rear of a single-family home located on a substandard 2,880-square-foot-lot. The addition consists of a new 215 square-foot master bedroom/bathroom, 103 square-foot bedroom, and 113

square-feet of hall closet/utility space. The addition, at the north elevation, is recessed two feet to accommodate demarcation of the new habitable area and vehicular exiting. The roof overhangs

the recessed area in line with the contiguous roof.

- The proposed project will renovate the exterior of the residence. All of the exterior walls on both the existing and proposed areas of the structure will consist of Hardie board in the Slate Pebble color, and all the existing windows, most of which are non-original vinyl sash windows, will be replaced with hung, wood, or wood-clad sash windows. The non-original shed-roof front portico is also proposed to be removed.
- Relocation the existing 170 square-foot garage from its current position at the west end of the driveway on the north side of the house to the northwest rear corner of the parcel. The project will extend the existing substandard width driveway toward the west to meet the primary (east) façade of the relocated garage

6. EXISTING SITE

The property at 412 S. Pixley Street is a substandard, rectangular, 2,880-square-foot parcel located on the west side of the street between West Culver Avenue and West La Veta Avenue. It contains a one-story, 645 square-foot Craftsman style bungalow with a rectangular footprint, a 170 square-foot single-car carriage house/garage, and a non-original wood-framed canopy between the two buildings. The dwelling has stucco walls and a cross-gable asphalt shingle roof. A substandard width (8'-9") driveway runs along the north side of the parcel to the garage, which will be reviewed by the Zoning Administrator to allow this deviation under an Administrative Adjustment. Wood fencing encloses the north, west, and south sides of the backyard behind the residence. The home was constructed in 1923 and is a non-contributor to the Old Towne Historic District. The National Register of Historic Places (NRHP) status code for the structure is "6L: Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning."

7. EXISTING AREA CONTEXT

The building is located on the 400 block of South Pixley Street between West Culver Avenue and West La Veta Avenue and outside of the Downtown Plaza Core. The surrounding properties on the block consist of single-family homes.

8. PROJECT ANALYSIS

The proposed project will clad the existing residence and new construction with Hardie Plank horizontal lap siding in a Slate Pebble color with woodgrain finish and Owens Corning black onyx composition shingle roofing, replacing non-original stucco siding. Wood windows as well as wood doors, fascia, and trim will be painted in Sherwin Williams Alabaster White. These materials are generally compatible with the scale, design, texture, reflectivity, durability, and color of other Craftsman style buildings in the Historic District.

The 38% Floor Area Ratio (FAR) proposed is within 5% of the average FAR of the block (37.5%), for parcels of similar size. This is an acceptable increase given that the addition occurs at the rear of the property and is on a smaller, substandard lot.

The width of the driveway extension from the point of the addition to the relocated detached garage is 10' 9½". The existing 8' 9" driveway is legal non-conforming and is proposed to remain. There is a proposed offset in the north building elevation demarcating the new addition to the structure that allows for the new wider driveway extension.

The development standards require a minimum 900 square feet of usable open space for a property

in the R-1-6 zoning district. A new lot in the R-1-6 zoning district would have to be at least 6,000 square feet, where the open space requirement of 900 square feet would be 15% of the lot. Fifteen percent of the 2,880 square foot lot would be 432 square feet, and the project proposed 465 square feet. A Variance request will be reviewed by the Zoning Administrator for this deviation.

The project meets all zoning code requirements, except for the driveway width and minimum open space requirements, which deviations will be reviewed and decided upon by the Zoning Administrator.

Staff recommends that the DRC approve the proposal.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 300 feet of the project on or before August 7, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of a small addition to an existing single-family home. There is no environmental public review required for a Categorical Exemption.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The proposed project is in conformance with the Historic Preservation Design Standards (HPDS), which are the prescriptive design criteria for projects within the Old Towne Historic District. The proposed rear addition is subordinate to the existing building and is not visible from the street. It is compatible with the mass, scale, and roof form of the historic building and would not affect the appearance of the Historic District. The proposed offset in the north building elevation demarcates the new addition to the structure.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The project is in conformance with the HPDS. Projects found to be in conformance with the HPDS are generally considered to be in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design

standards, and their required findings.

The project upholds community aesthetics through an internally consistent and integrated design theme. The proposed project is in conformance with the Historic Preservation Design Standards (HPDS), which are the prescriptive design criteria for projects within the Old Towne Historic District. The proposed rear addition is subordinate to the existing building and is not visible from the street. It is compatible with the mass, scale, and roof form of the historic building and would not affect the appearance of the Historic District. The proposed offset in the north building elevation demarcates the new addition to the structure. The 38% FAR proposed is within 5% of the average FAR of the block (37.5%). This is an acceptable increase given that the addition occurs at the rear of the property.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans (date stamped approved August 5, 2025, and in the project case file), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. After the application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting. If the Community Development Director determines that any proposed change is substantial, he may refer the plans to the Design Review Committee for subsequent review and determination.
2. The applicant agrees, as a condition of City's approval of Design Review No. 5145, to indemnify, defend, and hold harmless, at applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action or proceeding brought against the City, including, but not limited to, any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act ("CEQA") or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action or proceeding. City may, in its sole discretion, participate in the defense of any claim, action or proceeding but such participation shall not relieve applicant of the obligations of this condition. In the event the applicant is required to defend City in connection with such claim, action or proceeding, City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and

effect throughout all stages of litigation including any and all appeals of any lower court judgment rendered in the proceeding. Further, applicant agrees to indemnify, defend and hold harmless the City for all costs and expenses incurred in enforcing this provision.

3. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.06.

14. ATTACHMENTS

- Attachment 1 Vicinity Map
- Attachment 2 DPR Form
- Attachment 3 Project Plans
- Attachment 4 Historic Resource Assessment



Agenda Item

Design Review Committee

Item #: 3.2.

8/20/2025

File #: 25-0487

TO: Chair and Members of the Design Review Committee

THRU: Hayden Beckman, Planning Manager

FROM: Arlen Beck, Associate Planner

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- The proposed project will renovate the exterior of the residence. All of the exterior walls on both the existing and proposed areas of the structure will consist of Hardie board in the Slate Pebble color, and all the existing windows, most of which are non-original vinyl sash windows, will be replaced with hung, wood, or wood-clad sash windows. The non-original shed-roof front portico is also proposed to be removed.
- Relocation the existing 170 square-foot garage from its current position at the west end of the driveway on the north side of the house to the northwest rear corner of the parcel. The project will extend the existing substandard width driveway toward the west to meet the primary (east) façade of the relocated garage

6. EXISTING SITE

The property at 412 S. Pixley Street is a substandard, rectangular, 2,880-square-foot parcel located on the west side of the street between West Culver Avenue and West La Veta Avenue. It contains a one-story, 645 square-foot Craftsman style bungalow with a rectangular footprint, a 170 square-foot single-car carriage house/garage, and a non-original wood-framed canopy between the two buildings. The dwelling has stucco walls and a cross-gable asphalt shingle roof. A substandard width (8'-9") driveway runs along the north side of the parcel to the garage, which will be reviewed by the Zoning Administrator to allow this deviation under an Administrative Adjustment. Wood fencing encloses the north, west, and south sides of the backyard behind the residence. The home was constructed in 1923 and is a non-contributor to the Old Towne Historic District. The National Register of Historic Places (NRHP) status code for the structure is "6L: Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning."

7. EXISTING AREA CONTEXT

The building is located on the 400 block of South Pixley Street between West Culver Avenue and West La Veta Avenue and outside of the Downtown Plaza Core. The surrounding properties on the block consist of single-family homes.

8. PROJECT ANALYSIS

The proposed project will clad the existing residence and new construction with Hardie Plank horizontal lap siding in a Slate Pebble color with woodgrain finish and Owens Corning black onyx composition shingle roofing, replacing non-original stucco siding. Wood windows as well as wood doors, fascia, and trim will be painted in Sherwin Williams Alabaster White. These materials are generally compatible with the scale, design, texture, reflectivity, durability, and color of other Craftsman style buildings in the Historic District.

The 38% Floor Area Ratio (FAR) proposed is within 5% of the average FAR of the block (37.5%), for parcels of similar size. This is an acceptable increase given that the addition occurs at the rear of the property and is on a smaller, substandard lot.

The width of the driveway extension from the point of the addition to the relocated detached garage is 10' 9½". The existing 8' 9" driveway is legal non-conforming and is proposed to remain. There is a proposed offset in the north building elevation demarcating the new addition to the structure that allows for the new wider driveway extension.

The development standards require a minimum 900 square feet of usable open space for a property

in the R-1-6 zoning district. A new lot in the R-1-6 zoning district would have to be at least 6,000 square feet, where the open space requirement of 900 square feet would be 15% of the lot. Fifteen percent of the 2,880 square foot lot would be 432 square feet, and the project proposed 465 square feet. A Variance request will be reviewed by the Zoning Administrator for this deviation.

The project meets all zoning code requirements, except for the driveway width and minimum open space requirements, which deviations will be reviewed and decided upon by the Zoning Administrator.

Staff recommends that the DRC approve the proposal.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 300 feet of the project on or before August 7, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of a small addition to an existing single-family home. There is no environmental public review required for a Categorical Exemption.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The proposed project is in conformance with the Historic Preservation Design Standards (HPDS), which are the prescriptive design criteria for projects within the Old Towne Historic District. The proposed rear addition is subordinate to the existing building and is not visible from the street. It is compatible with the mass, scale, and roof form of the historic building and would not affect the appearance of the Historic District. The proposed offset in the north building elevation demarcates the new addition to the structure.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The project is in conformance with the HPDS. Projects found to be in conformance with the HPDS are generally considered to be in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design

standards, and their required findings.

The project upholds community aesthetics through an internally consistent and integrated design theme. The proposed project is in conformance with the Historic Preservation Design Standards (HPDS), which are the prescriptive design criteria for projects within the Old Towne Historic District. The proposed rear addition is subordinate to the existing building and is not visible from the street. It is compatible with the mass, scale, and roof form of the historic building and would not affect the appearance of the Historic District. The proposed offset in the north building elevation demarcates the new addition to the structure. The 38% FAR proposed is within 5% of the average FAR of the block (37.5%). This is an acceptable increase given that the addition occurs at the rear of the property.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans (date stamped approved August 5, 2025, and in the project case file), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. After the application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting. If the Community Development Director determines that any proposed change is substantial, he may refer the plans to the Design Review Committee for subsequent review and determination.
2. The applicant agrees, as a condition of City's approval of Design Review No. 5145, to indemnify, defend, and hold harmless, at applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action or proceeding brought against the City, including, but not limited to, any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act ("CEQA") or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action or proceeding. City may, in its sole discretion, participate in the defense of any claim, action or proceeding but such participation shall not relieve applicant of the obligations of this condition. In the event the applicant is required to defend City in connection with such claim, action or proceeding, City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and

effect throughout all stages of litigation including any and all appeals of any lower court judgment rendered in the proceeding. Further, applicant agrees to indemnify, defend and hold harmless the City for all costs and expenses incurred in enforcing this provision.

3. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.06.

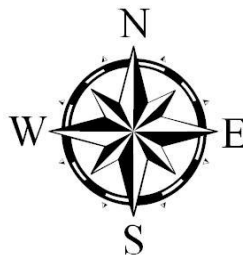
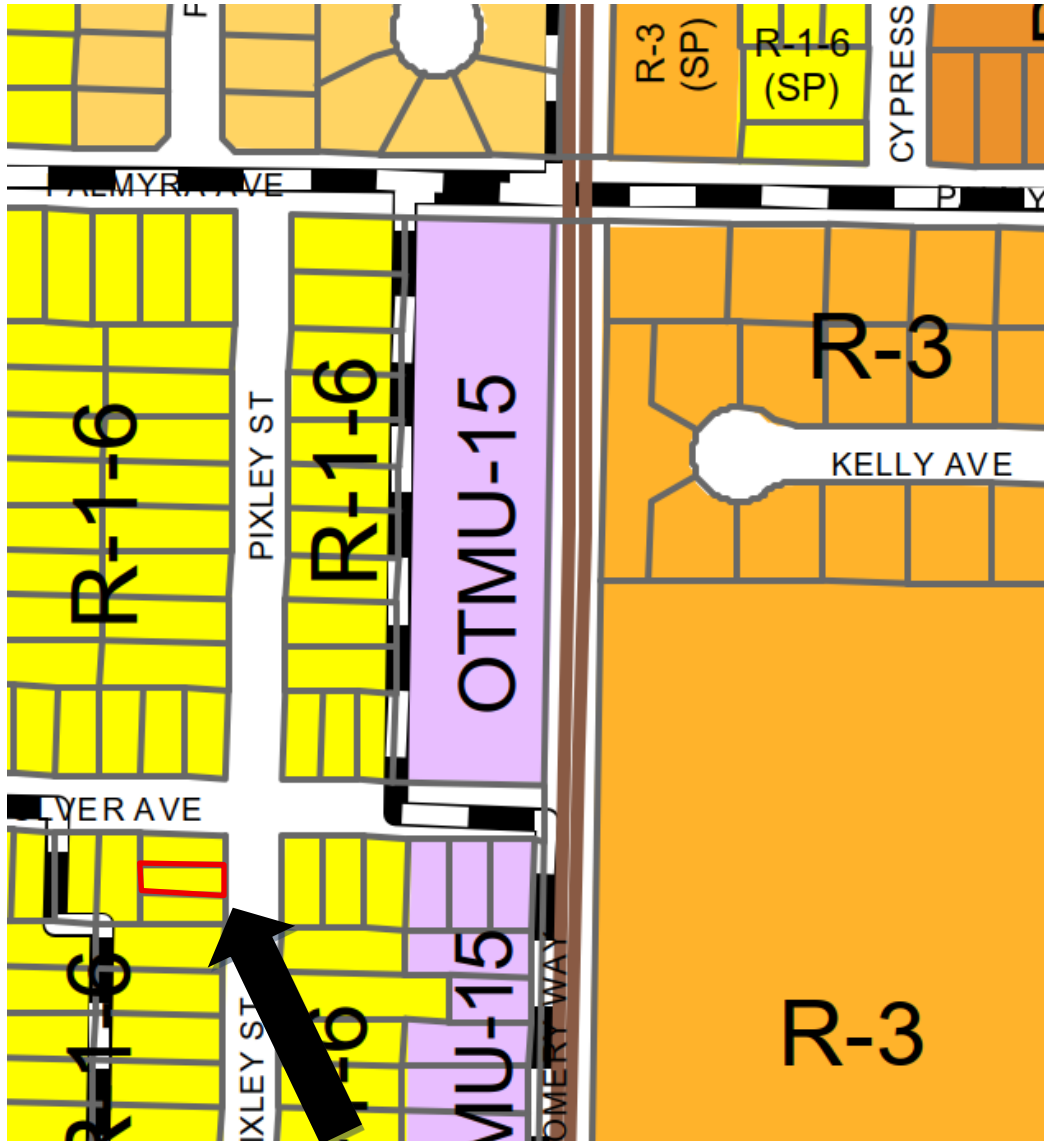
14. ATTACHMENTS

- Attachment 1 Vicinity Map
- Attachment 2 DPR Form
- Attachment 3 Project Plans
- Attachment 4 Historic Resource Assessment

Vicinity Map

412 S. Pixley Street

Design Review No. 5146



CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #

HRI # 112374

Trinomial ORA

NRHP Status Code 6L

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

P1. Other Identifier:

*P2. Location:

☐ Not for Publication

☒ Unrestricted

*a. County:

Orange

and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad:

Date:

T

R

1/4 of

1/4 of Sec

B.M.

c. Address:

412

-

S PIXLEY

ST

, #

City:

Orange

Zip:

92868

d. UTM: (Give more than one for large and/or linear resources)

Zone

'

mE/

mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Stucco or plaster

Non-contributor to National Register due to alterations.

*P3b. Resource Attributes: (HP2)--Single family property
(List attributes and codes)

*P4. Resources Present:

☒ Building

☐ Structure

☐ Object

☐ Site

☒ Element of District

☐ District

☐ Other (Isolates, etc.)



P5b. Description of Photo:

2005

(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1923

☒ Historic

☐ Prehistoric

☐ Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto; J. Snow

Chattel Architecture

13417 Ventura Blvd.

Sherman Oaks, CA 91423

*P9. Date Recorded:

March, 2005; November, 2009

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation:

(Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update.

*Attachments:

☐ NONE

☐ Location Map

☒ Continuation Sheet(s)

☒ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other (List):

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI # 112374

*NRHP Status Code 6L

Page 2 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Bungalow

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1923 ☒ Historic ☐ Prehistoric ☐ Both
Significant alterations. Altered as of 2005: Applied stucco; Infilled/altered porch; and Roof.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Interwar Development (c. 1921 - 1941) Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: High level of alteration.

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: November, 2009

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI # 112374
Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

Recorded by:

D. Gest, P. LaValley, D. Matsumoto; J. Snow
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: March, 2005; November, 2009

☒ Continuation ☐ Update

Years Surveyed: 1991, 2005

Description of Photo: 1991

Listed in National Register: 1997

General Plan: LDR # of Buildings: 1

Planning Zone: R-3 # of Stories: 1

Lot Acre: 0.0656 # of Units: 1

Principal Building Sqft: 650

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

REGALADO REMODEL
412 S. PIXLEY ST.
ORANGE, CA. 92868



08/5/2025, 5:20:26 PM
Arlen Beck
DRC-5146

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
T-1

SHEET INDEX

ARCHITECTURAL DESIGN SOLUTIONS
CONTACT:
MARK S. DWYER, ARCHITECT NCARB
ADDRESS:
PO BOX 1392
WRIGHTWOOD, CA. 92397
TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

412 S. PIXLEY ST.
ORANGE, CA. 92868

ASSESSOR'S PARCEL NUMBER:
APN 041-141-24
TRACT 545 / LOT 24

GENERAL PLAN LAND USE:
LOW DENSITY RESIDENTIAL

ZONING:
R1-6

LAND USE:
RESIDENTIAL

LOT SIZE:
2,880 SQ. FT. (.066 AC)

FLOOR AREA:
EXISTING:
645 SQ. FT. DWELLING
170 SQ. FT. GARAGE
PROPOSED:
950 SQ. FT. DWELLING
170 SQ. FT. GARAGE

DENSITY:
1/.066

PROPERTY LINES:
NO CHANGE

BUILDING CODE:
CALIFORNIA RESIDENTIAL CODE 2022 EDITION
TYPE VN CONSTRUCTION
R-3 OCCUPANCY
ONE UNIT TWO BEDROOMS

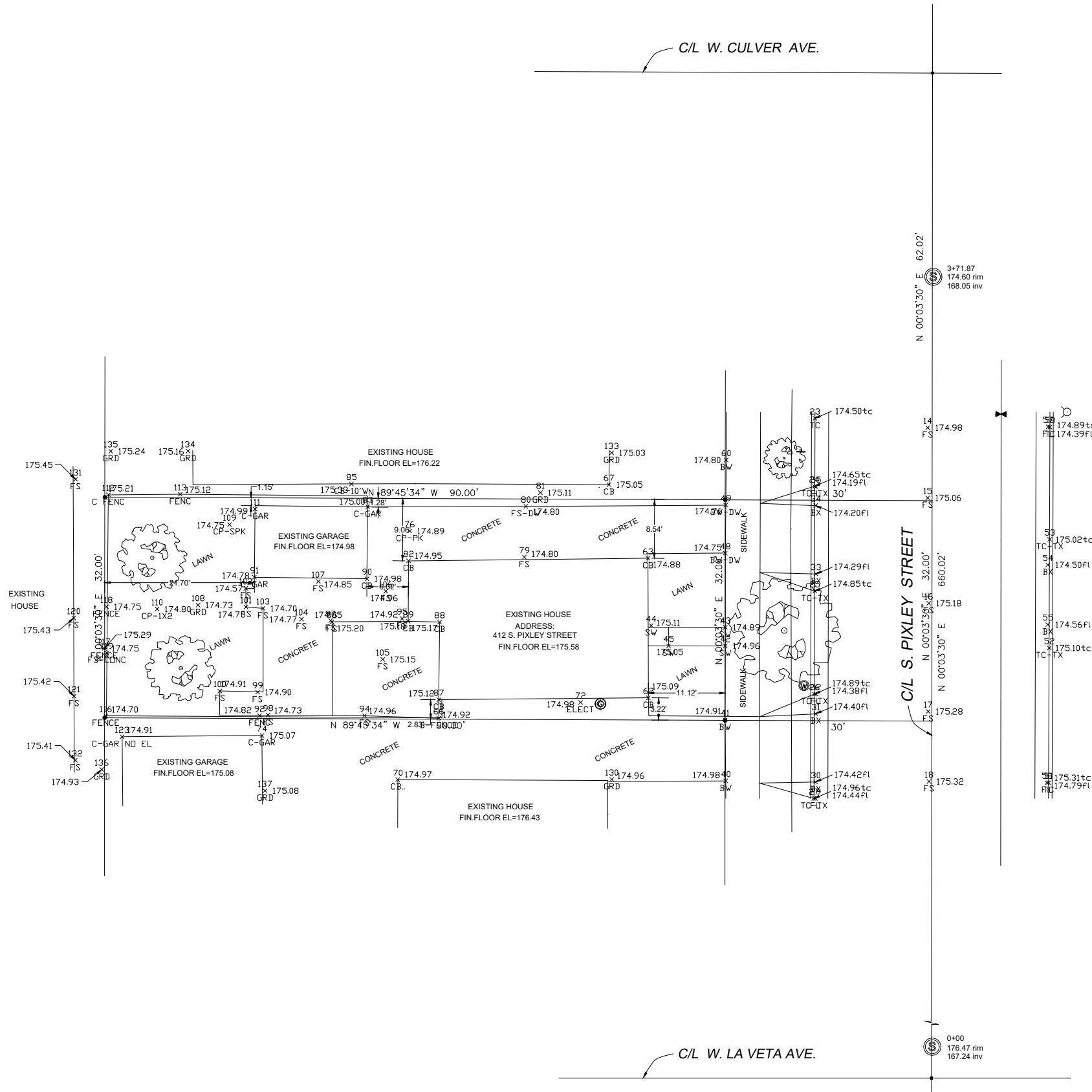
- T1 - TITLE SHEET
- S1 - SURVEY
- S-2 - FLOOR AREA RATIO ANALYSIS
- S-3 - SITE PLAN - 100 FOOT RADIUS
- L-1 - CONCEPTUAL LANDSCAPE PLAN
- A1 - EXISTING SITE / ROOF PLAN
- A2- EXISTING FLOOR PLAN
- A2A - DEMOLITION PLAN
- A3 - EXISTING EXTERIOR ELEVATIONS
- A4 - PROPOSED SITE / ROOF PLAN
- A4A - PROPOSED ROOF PLAN
- A5 - PROPOSED FLOOR PLAN
- A6 - PROPOSED EXTERIOR ELEVATIONS
- A6A - PROPOSED EXTERIOR FINISHES / WINDOWS
- A6B - PROPOSED EXTERIOR DOORS
- A6C - EXTERIOR ELEVATION COMPARISON E/P
- A6D - EXTERIOR ELEVATION COMPARISON E/P
- A6E - EXTERIOR ELEVATION COMPARISON E/P
- A7 - SITE PHOTOS
- A7A - SITE PHOTOS
- A8 - EXTERIOR ELEVATIONS - COLORED

- SCOPE OF WORK
- 1. REHAB THE EXISTING DWELLING
 - 1.1. UPGRADE ALL UTILITY SYSTEMS
 - 1.2. REMODEL - REDO ENTIRE INTERIOR
 - 1.3. UPGRADE DWELLING EXTERIOR - EXTERIOR WALLS / ROOF
 - 2. ADD TWO BEDROOMS / TWO BATHS - 305 S.F. ADDITIONAL FLOOR AREA
 - 3. SHORE AND RELOCATE EXISTING GARAGE - REHAB INTERIOR AND EXTERIOR
 - 4. RELANDSCAPE YARD
 - 5. DEMOLISH BACK PATIO COVER
 - 6. DEMOLISH FRONT ENTRY CANOPY
 - 7. REMOVE AND REPLACE DRIVEWAY EXTENDING TO RELOCATED GARAGE

FLOOR AREA:
EXISTING:
645 SQ. FT. DWELLING
170 SQ. FT. GARAGE
PROPOSED:
950 SQ. FT. DWELLING
170 SQ. FT. GARAGE

EXISTING:
TWO BEDROOM
ONE BATH

PROPOSED:
TWO BEDROOM
TWO BATH



LEGEND

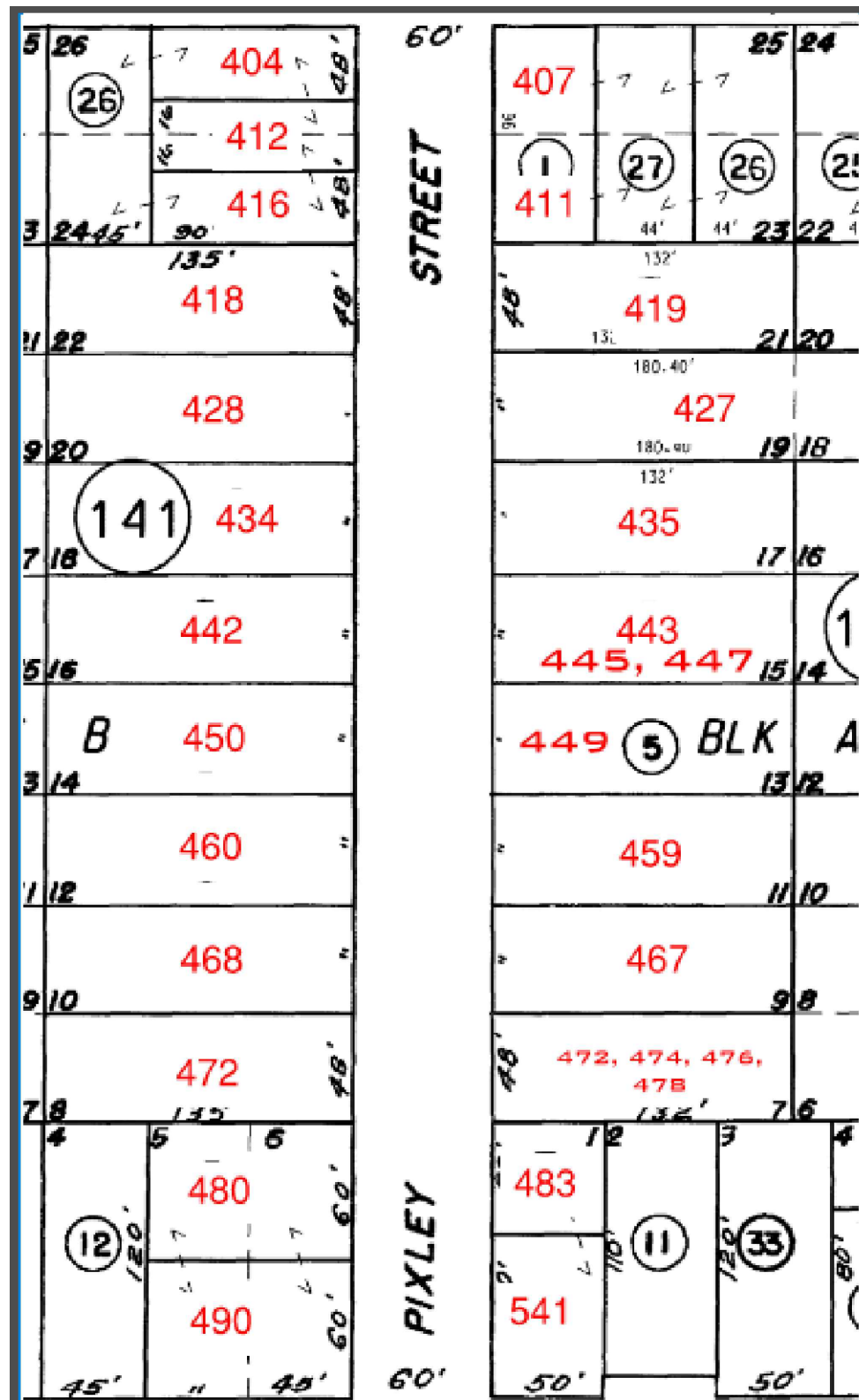
These standard symbols will be found in the drawing.

- WATER METER
- SIGN
- SEWER MAN HOLE
- GAS METER
- FIRE HYDRANT
- WATER VALVE



S-1

<p><u>BASIS OF BEARINGS:</u> THE CENTERLINE OF PIXLEY STREET SHOWN AS N 0°03'30" W PER TRACT MAP 545, M.M. 18/11</p>		<p><u>LEGAL DESCRIPTION:</u> THE SOUTH 16 FEET OF THE EAST 90 FEET OF LOT 26 AND THE NORTH 16 FEET OF THE EAST 90 FEET OF LOT 24, IN BLOCK B OF TRACT NO. 545, LA VETA HOME TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 18, PAGE 11 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY</p>		<p><u>PREPARED BY:</u> DON BARRIE & ASSOCIATES LAND SURVEYORS 1240 B N. JEFFERSON STREET ANAHEIM, CA.</p>		<p><u>PREPARED FOR:</u> ALONSO REGALADO 412 S. PIXLEY STREET ORANGE, CA.</p>		<table><tr><td colspan="3">TOPOGRAPHIC SURVEY</td></tr><tr><td>DRAWN D.B.</td><td>DATE 1/8/2024</td><td>412 S. PIXLEY ST. ORANGE, CA</td></tr><tr><td>APPROVED D.B.</td><td>DATE 1/13/2024</td><td></td></tr><tr><td>SCALE 1" = 8'</td><td>SHEET 1 of 1</td><td>PROJECT NO.</td></tr></table>		TOPOGRAPHIC SURVEY			DRAWN D.B.	DATE 1/8/2024	412 S. PIXLEY ST. ORANGE, CA	APPROVED D.B.	DATE 1/13/2024		SCALE 1" = 8'	SHEET 1 of 1	PROJECT NO.
TOPOGRAPHIC SURVEY																					
DRAWN D.B.	DATE 1/8/2024	412 S. PIXLEY ST. ORANGE, CA																			
APPROVED D.B.	DATE 1/13/2024																				
SCALE 1" = 8'	SHEET 1 of 1	PROJECT NO.																			
<p><u>BENCH MARK:</u> O.C.S. B.M. 1E-105-83 FOUND 3 3/4" DISC STAMPED "1E-105-83" IN THE NORTHWEST CORNER OF A CATCH BASIN LOCATED AT THE SOUTHEASTERLY CORNER OF LEMON STREET AND LA VETA AVENUE ELEV.= 183.693(ft) NAVD88</p>		<p><u>LOT AREA:</u> 2,880 sq.ft. 0.066 ac.</p>																			



ADDRESS	LOT SQ. FT.	LIVING SF.	GARAGE SF.	TOTAL SF.	CALCULATION	FLOOR AREA RATIO
WEST SIDE						
C 404	2,880 SF.	959 SF.	216 SF.	1,175 SF.	1,175/2880 = .333	41%
NC 412	2,880 SF.	645 SF. (E)	170 SF.	815 SF.	815/2880 = .282	28%(E)
	2,880 SF.	947 SF. (P)	170 SF.	1,117 SF.	1,117/2880 = .387	39%(P)
C 416	2,880 SF.	708 SF.	260 SF.	968 SF.	968/2880 = .336	34%
NC 418	6,480 SF.	1,044 SF.	360 SF.	1,404 SF.	1,404/6480 = .2161	22%
C 428	6,480 SF.	840 SF.	320 SF.	1,160 SF.	1,160/6480 = .179	18%
C 434	6,480 SF.	948 SF.	324 SF.	1,272 SF.	1,272/6480 = .196	20%
C 442	6,480 SF.	766 SF.	170 SF.	936 SF.	936/6480 = .144	14%
C 450	6,480 SF.	1,000 SF.	192 SF.	1,192 SF.	1,192/6480 = .183	18%
C 460	6,480 SF.	1,174 SF.	360 SF.	1,534 SF.	1,534/6480 = .236	24%
NC 468	6,480 SF.	766 SF.	170 SF.	936 SF.	936/6480 = .144	14%
NC 472-8	6,534 SF.	3,100 SF. (4 UNITS - 472, 474, 476 & 478)		3,100/6534 = .474		47%
NC 480	5,400 SF.	932 SF.	280 SF.	1,212 SF.	1,212/5400 = .224	22%
NC 490	5,400 SF.	855 SF.	290 SF.	1,145 SF.	1,145/5400 = .212	21%

SUMMARY
(7) C / (6) NC = 25% (E) FAR / (7) C / (6) NC = 26% (P) FAR
(7) C = 24% (E) FAR / (7) C = 24% (P) FAR

SUB-STANDARD LOTS - 2,880 SF.
(2) C / (1) NC = 34% (E) FAR / (2) C = 37.5% (E) FAR
(2) C / (1) NC = 38% (P) FAR / (2) C = 37.5% (P) FAR

FLOOR AREA RATIO STUDY FOR THE 400 BLOCK OF SOUTH PIXLEY STREET BETWEEN WEST CULVER AVENUE AND WEST LA VETA AVENUE CITY OF ORANGE, CALIFORNIA 92668
PROPERTY SQ. FT. TAKEN FROM PropertyRec.com - (407 & 411 from City records)

ADDRESS	LOT SQ. FT.	LIVING SF.	GARAGE SF.	TOTAL SF.	CALCULATION	FLOOR AREA RATIO
EAST SIDE						
NC 541	3,500 SF.	1,070 SF.	200 SF.	1,270 SF.	1,270/3,500 = .362	36%
W. La Veta						
NC 483	2,500 SF.	1,304 SF.	376 SF.	1,680 SF.	1,680/2500 = .672	67%
NC 475	6,336 SF.	1,081 SF.	288 SF.	1,369 SF.	1,369/6336 = .216	21%
C 467	6,336 SF.	1,272 SF.	288 SF.	1,560 SF.	1,560/6336 = .246	24%
C 459	6,336 SF.	936 SF.	348 SF.	1,324 SF.	1,324/6336 = .208	20%
NC 449	6,336 SF.	857 SF.	360 SF.	1,217 SF.	1,217/6336 = .192	19%
NC 3 UNITS						
443/445/447	6,336 SF.	2,868 SF.	INCLUSIVE	2,868 SF.	2,868/6336 = .452	45%
C 435	6,336 SF.	936 SF.	170 SF.	1,106 SF.	1,106/6336 = .174	17%
NC 427	8,659 SF.	796 SF.	360 SF.	1,156 SF.	1,156/8659 = .133	13%
NC 419	6,534 SF.	1,841 SF.	INCLUSIVE	1,184 SF.	1,841/6534 = .142	28%
C 411	2,112 SF.	1,435 SF.	INCLUSIVE	1,435 SF.	1,435/2112 = .679	68%
C 407	2,112 SF.	1,435 SF.	INCLUSIVE	1,435 SF.	1,435/2112 = .679	68%

SUMMARY
(5) C / (7) NC = 35.5% (E) FAR / (5) C / (7) NC = 35.5% (P) FAR
(6) C = 33% (E) FAR / (6) C = 33% (P) FAR
SUB-STANDARD LOTS - 2,112 SF.
(2) C = 68% (E) FAR / (2) C = 68% (P) FAR

THE FAR RANGE FOR THE 400 BLOCK OF S. PIXLEY IS .13 TO .68

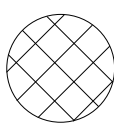
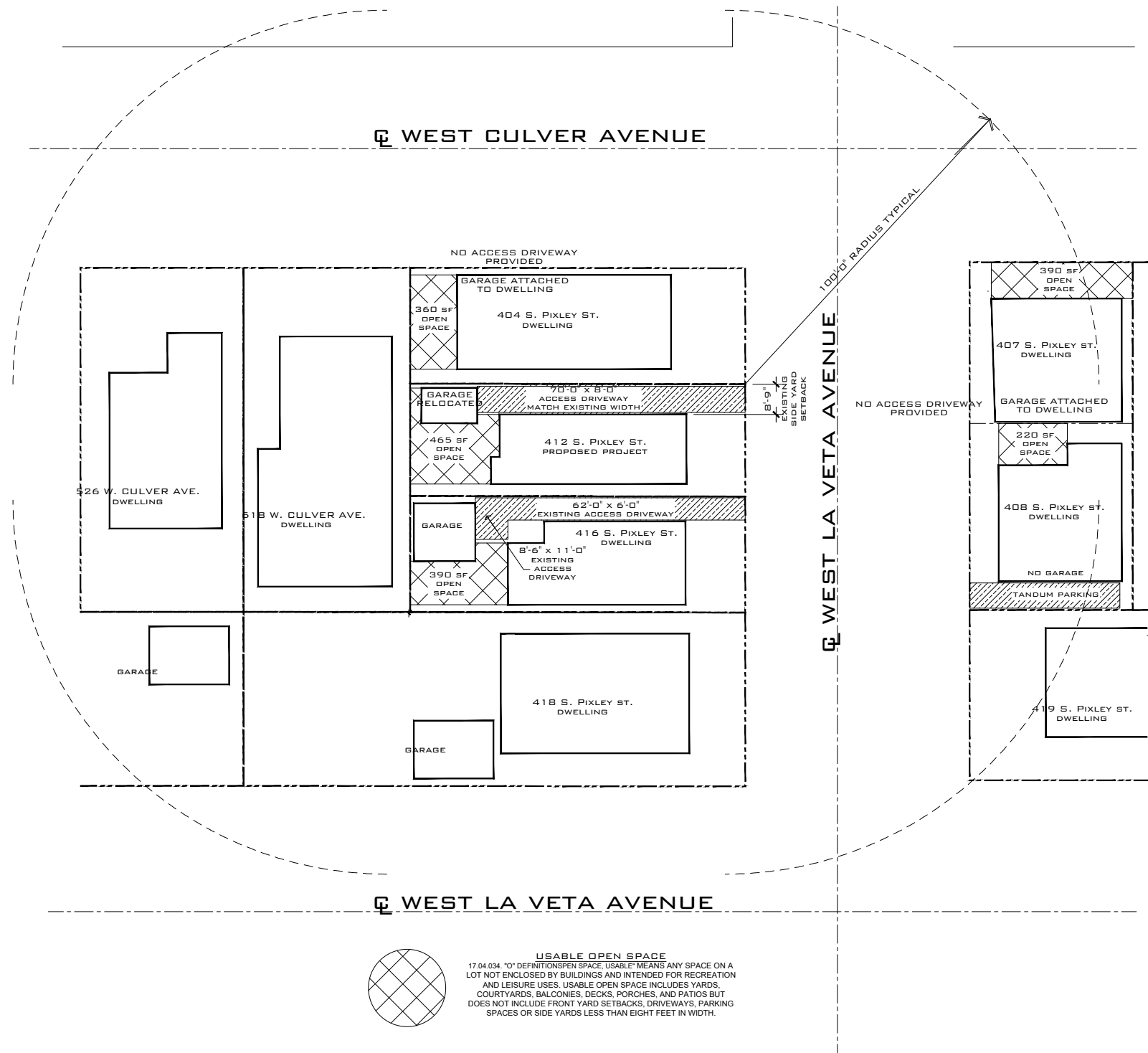
THE TYPICAL FAR RANGE FOR OLD TOWNE HISTORIC DISTRICT IS .15 TO .25

LEGEND
C XXX = HISTORIC CONTRIUTOR / ADDRESS
NC XXX = HISTORIC NON-CONTRIUTOR / ADDRESS

LEGEND
C XXX = HISTORIC CONTRIUTOR / ADDRESS
NC XXX = HISTORIC NON-CONTRIUTOR / ADDRESS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92668
ARCHITECTURAL DESIGN SOLUTIONS

S-2



USABLE OPEN SPACE
17.04.034. "O" DEFINITION: OPEN SPACE, USABLE, MEANS ANY SPACE ON A LOT NOT ENCLOSED BY BUILDINGS AND INTENDED FOR RECREATION AND LEISURE USES. USABLE OPEN SPACE INCLUDES YARDS, COURTYARDS, BALCONIES, DECKS, PORCHES, AND PATIOS BUT DOES NOT INCLUDE FRONT YARD SETBACKS, DRIVEWAYS, PARKING SPACES OR SIDE YARDS LESS THAN EIGHT FEET IN WIDTH.

PROPOSED SITE / 100 FT RADIUS
SCALE: 1/16" = 1'-0"



ARCHITECTURAL DESIGN SOLUTIONS
CONTACT:
MARK S. DWYER, ARCHITECT NCARB
ADDRESS:
PO BOX 1392
WRIGHTWOOD, CA. 92397
TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

412 S. PIXLEY ST.
ORANGE, CA. 92868

ASSESSOR'S PARCEL NUMBER:
APN 041-141-24
TRACT 545 / LOT 24

GENERAL PLAN LAND USE:
RESIDENTIAL

ZONING:
R1-6

LAND USE:
LOW DENSITY RESIDENTIAL

LOT SIZE:
2,880 SQ. FT. (.066 AC)

FLOOR AREA:
EXISTING:
645 SQ. FT. DWELLING
170 SQ. FT. GARAGE
PROPOSED:
985 SQ. FT. DWELLING
170 SQ. FT. GARAGE

DENSITY:
1/.066

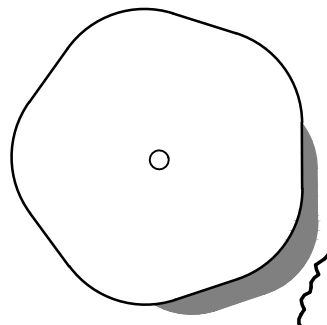
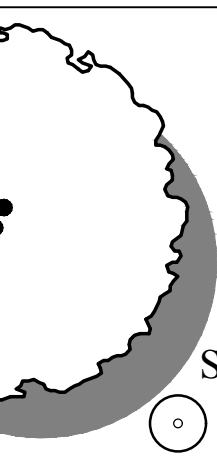

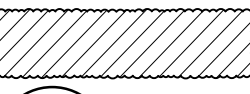

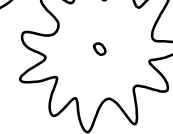
PROPERTY LINES:
NO CHANGE

BUILDING CODE:
CALIFORNIA RESIDENTIAL CODE 2022 EDITION
TYPE VN CONSTRUCTION
R-3 OCCUPANCY
ONE UNIT TWO BEDROOMS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
S-3

\\N\AS\Projects\2025\2025 Regalado Plan\2025_Plan.dwg
7/23/2025 2:18 PM Ryan Dierking

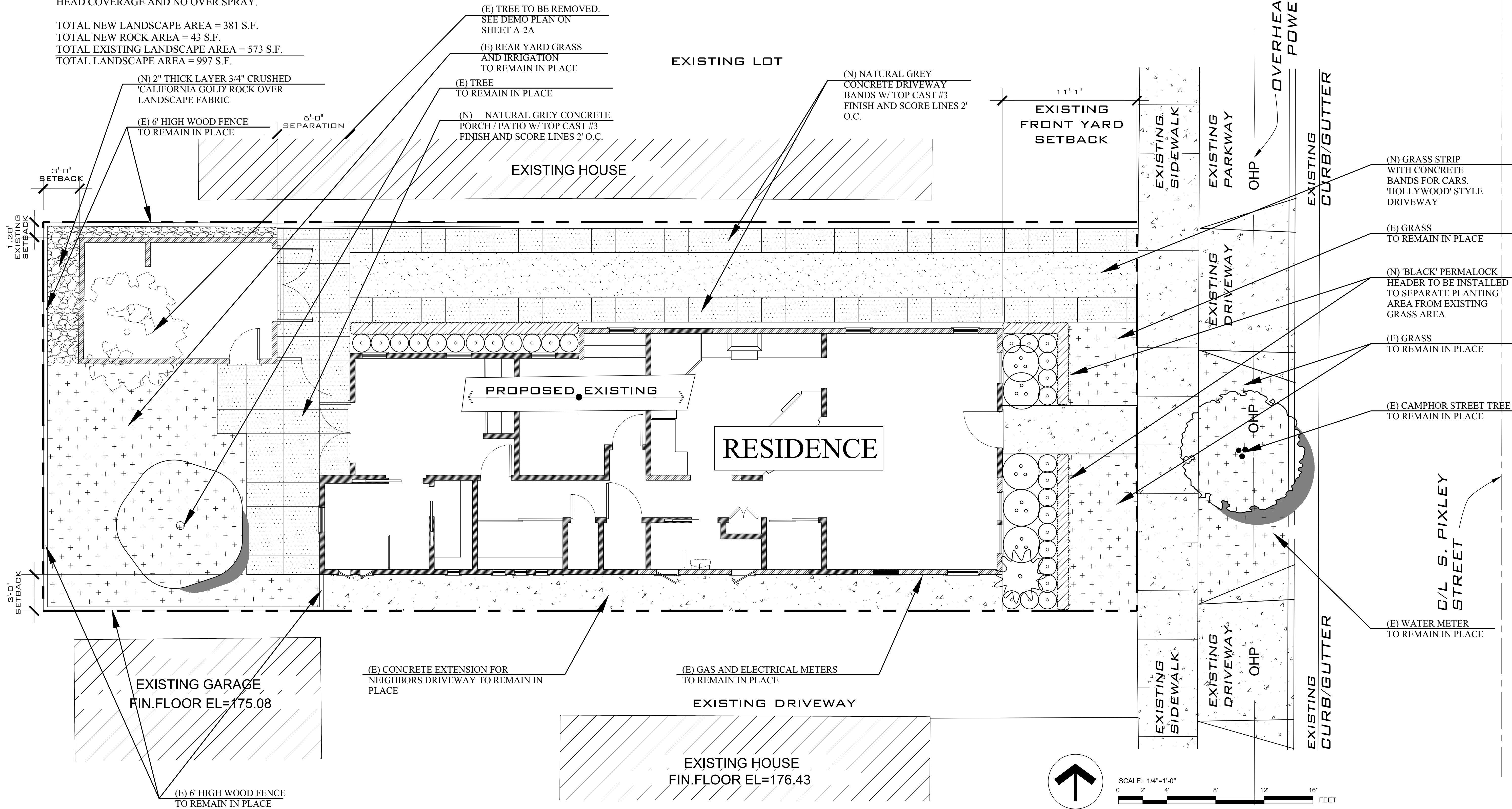
PLANT LIST

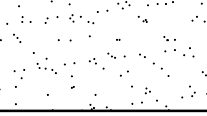
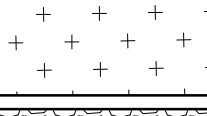
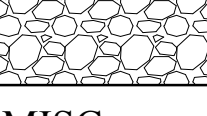
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / SPACING	QTY	WUCOLS
EXISTING TREES					
	Lemon Tree		EXISTING	1	M
TO REMAIN. PROTECT IN PLACE					
	Cinnamomum camphora	Camphor Tree	EXISTING	1	M
STREET TREE TO BE REMAIN. PROTECT IN PLACE					
SHRUBS					
	Buxus japonica 'Green Beauty'	Green Beauty Boxwood	5 Gal 24" O.C.	29	M
	Dianella tasmanica 'DR5000'	Little Rev Flax Lily	1 Gal 12" O.C.	43	M
	Rosa hybrid 'Iceburg'	White Hedge Rose	5 Gal 24" O.C.	5	M
	Yucca gloriosa	Spanish Dagger	24" Box As Shown	1	L

IRRIGATION

ALL NEW LANDSCAPE AREAS ARE TO RECEIVE A STATE OF THE ART WATER EFFICIENT IRRIGATION SYSTEM THAT MEETS AB-1881 REQUIREMENTS. EXISTING IRRIGATION TO REMAIN. FLUSH ALL LATERAL LINES AND VALVES, ADJUST SPRAY PATTERNS FOR HEAD TO HEAD COVERAGE AND NO OVER SPRAY.

TOTAL NEW LANDSCAPE AREA = 381 S.F.
TOTAL NEW ROCK AREA = 43 S.F.
TOTAL EXISTING LANDSCAPE AREA = 573 S.F.
TOTAL LANDSCAPE AREA = 997 S.F.



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / SPACING	QTY	WUCOLS
GROUND COVER					
	Grass, St Augustine - Water Saving Sod		SOD		
	Existing grass to remain - Protect in place				
	Crushed rock 3/4" 'California Gold'. Install 2" layer over weed fabric. All rock is available thru Southwest Boulder and Stone 877-792-7625 (or Equal)				
MISC.					
* ALL NON SOD AREAS, EXCEPT SLOPES, DG AND ROCK AREAS, SHALL RECEIVE A 3" DEEP LAYER OF BARK MULCH OVER LANDSCAPE FABRIC. TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING. (SIMILAR TO FOREST FLOOR AVAILABLE AT (949)786-9558)					
* BOTH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT SHALL APROVE PLANTS, PLANTING, ETC. PRIOR TO INSTALLATION					
* CONTRACTOR SHALL INSTALL A ROOT BARRIER WITH ALL TREES PLANTED WITHIN 5' OF PAVING, WALLS, UTILITIES, ETC. ROOT BARRIERS ARE AVAILABLE FROM DEEP ROOT CORP. (714) 896-0563.					
* PLANT COUNT IS FOR CONVIENCE ONLY AND CONTRACTOR IS RESPONSIBLE TO PROVIDE AND PLANT ALL MATERIAL SHOWN.					

URBAN
LAND STUDIO
LANDSCAPE ARCHITECT

365 S. Pixley Street
Orange, CA 92868
Ryan Dierking, License CA-#5625
(714) 388-6320

NO.	REVISION

PROJECT
RESIDENCE
REGALADO REMODEL
412 S. PIXLEY STREET
CITY OF ORANGE, CALIFORNIA 92868
CONCEPTUAL
LANDSCAPE PLAN

SHEET
CONCEPTUAL
LANDSCAPE PLAN



DRAWN BY RD	CHECKED RD
DATE 3-30-25	
JOB # 02025	

L1
1 of 1

EXISTING SITE / ROOF PLAN

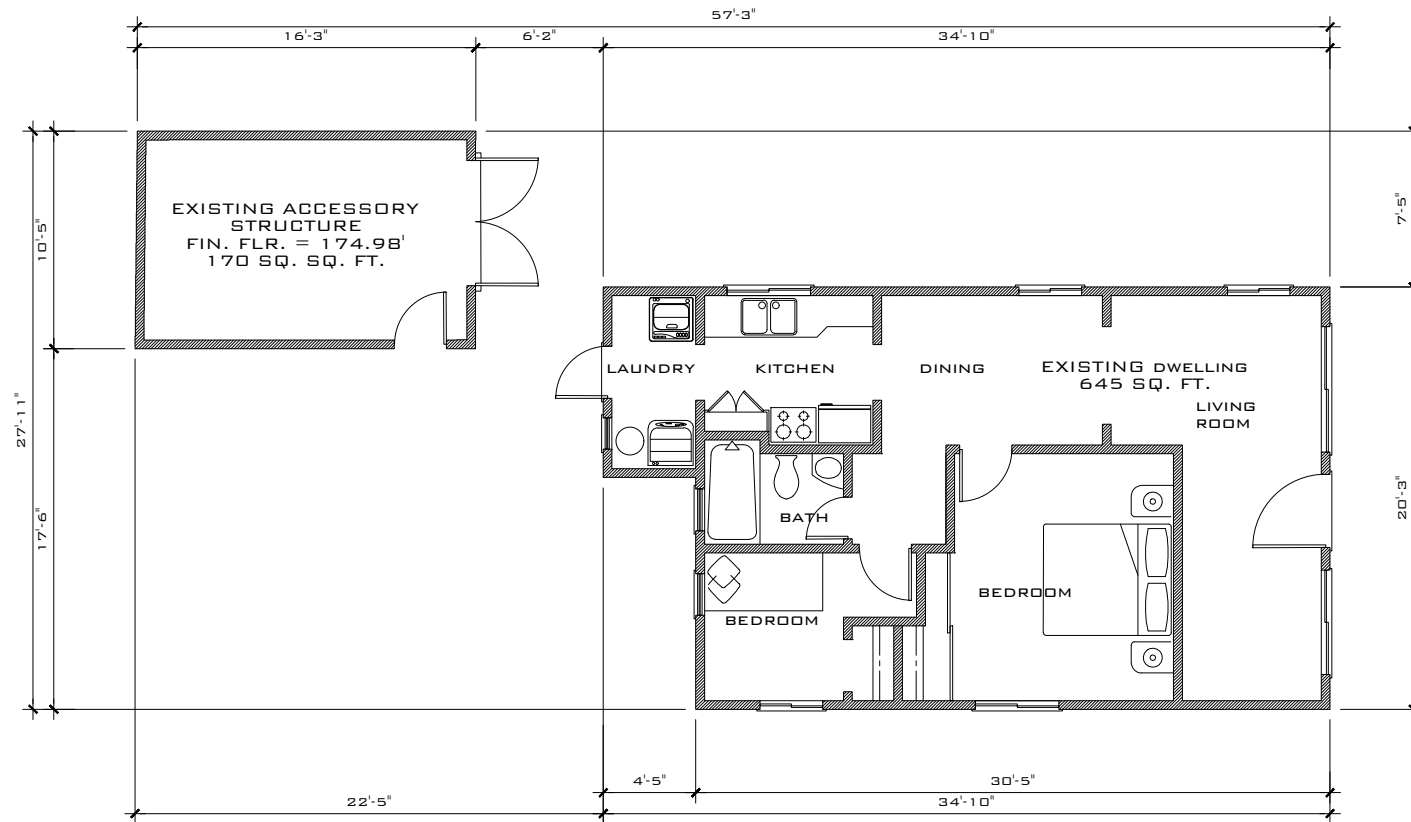
SCALE: 1/4" = 1'-0"



ARCHITECTURAL DESIGN SOLUTIONS
CONTACT:
MARK S. DWYER, ARCHITECT NCARB
ADDRESS:
PO BOX 1392
WRIGHTWOOD, CA. 92397
TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

SEE SHEET S-3 FOR ADDITIONAL INFORMATION

A-1 REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



REGALADO REMODEL
412 S. PILEY STREET
ORANGE, CA. 92868
A-2 ARCHITECTURAL DESIGN SOLUTIONS

ARBORIST NOTES:

1. LEMON "TREE" WITH 4 INCH DIAMETER DOES NOT QUALIFY AS A TREE.

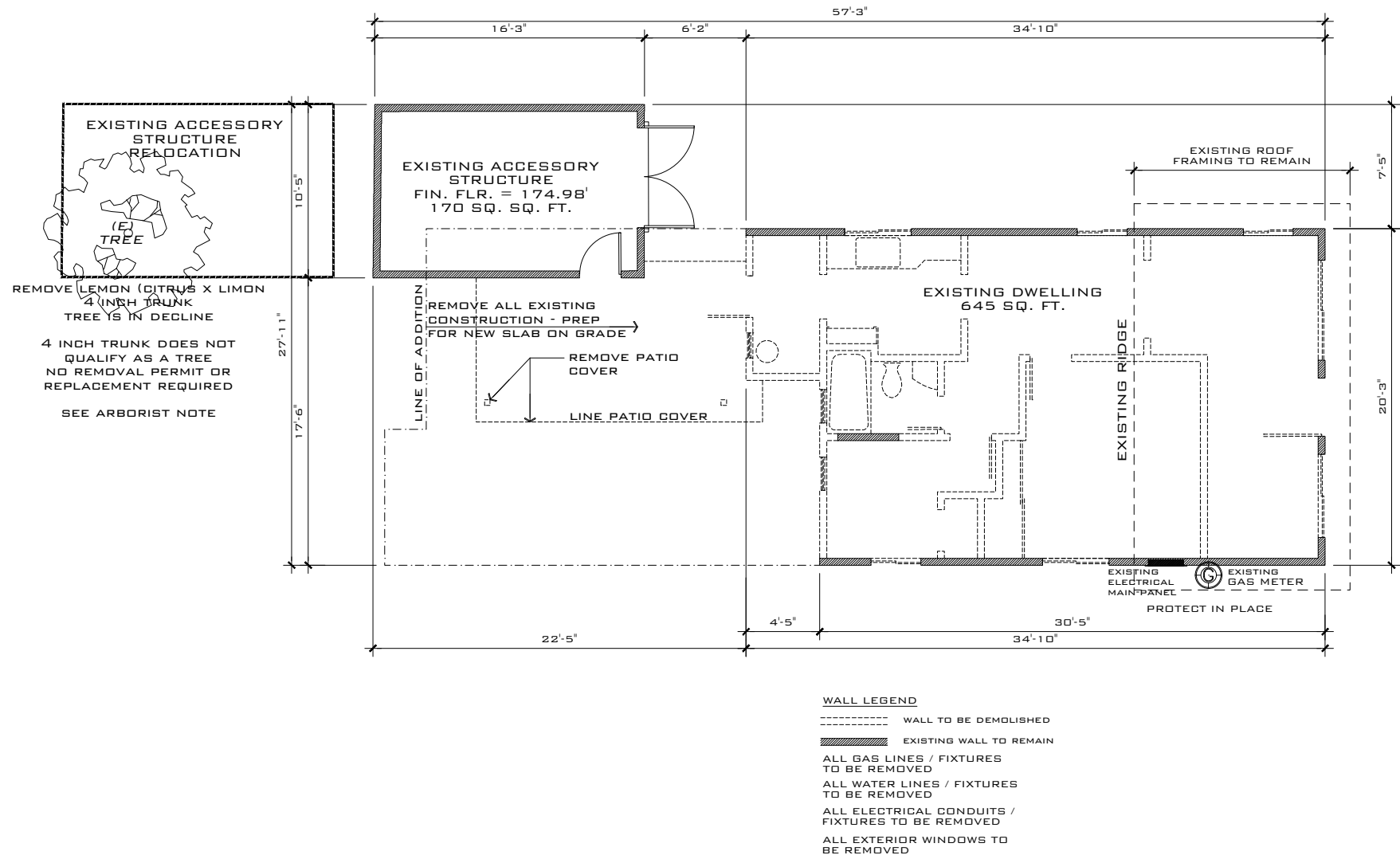
12.32.020 DEFINITION
 AS USED IN THIS CHAPTER, "TREE" MEANS ANY LIVE PLANT WHICH HAS A SINGLE TRUNK MEASURING 10.5 INCHES IN CIRCUMFERENCE, MEASURED AT A POINT 24 INCHES ABOVE THE GROUND LEVEL.

THE LEMON TREE IS ONLY 4 INCHES IN TRUNK DIAMETER AND DOES NOT QUALIFY AS A TREE SINCE IT IS UNDER 10.5 INCHES IN DIAMETER. THE GUAVA IS TO BE RETAINED. NO TREE REMOVAL PERMIT OR PLANT A NEW TREE REQUIRED. REMOVING THE LEMON DOES NOT CONSTITUTE REMOVING A TREE. ALSO THERE ARE NO HISTORICAL TREES AND THE SITE IS NOT UNDEVELOPED PROJECT NOT SUBJECT TO THE TREE ORDINANCES.

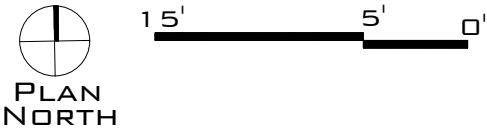
12.32.030 REMOVAL OF TREES PROHIBITED WITHOUT A PERMIT.

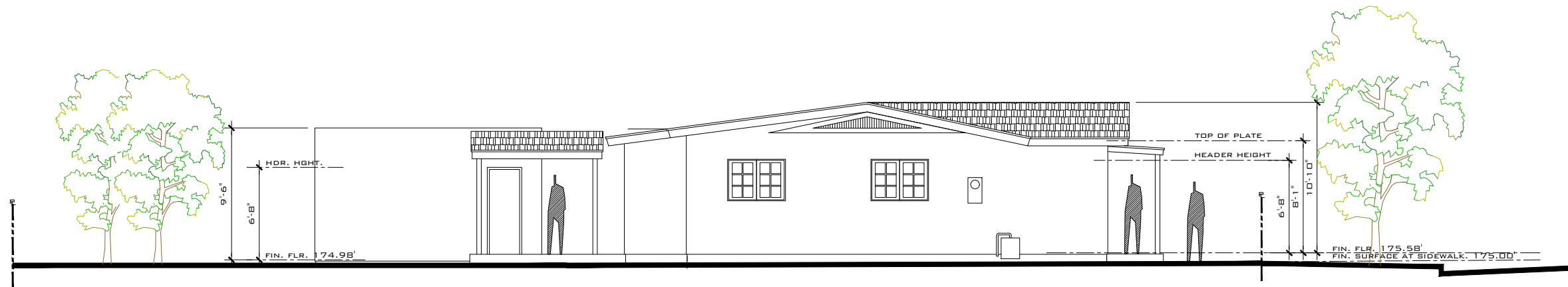
A. IT IS UNLAWFUL FOR ANY PERSON, FIRM, PARTNERSHIP, CORPORATION OR OTHER LEGAL ENTITY WHATEVER, TO DESTROY OR REMOVE ANY TREE AS DEFINED IN SECTION 12.32.020 FROM UNDEVELOPED OR PUBLIC INTEREST PROPERTY AS DEFINED IN SECTIONS 12.32.040 AND 12.32.050 WITHOUT A PERMIT AS PROVIDED HEREIN.

B. TO "DESTROY" A TREE MEANS TO CUT OR MUTILATE A TREE IN SUCH A MANNER AS TO DESTROY ITS CHARACTER AS LIVE VEGETATION.

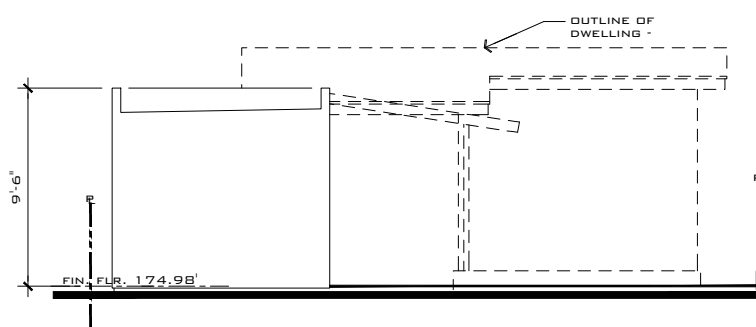


DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

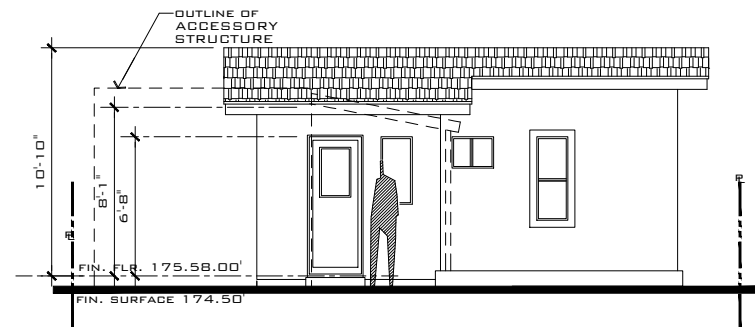




EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



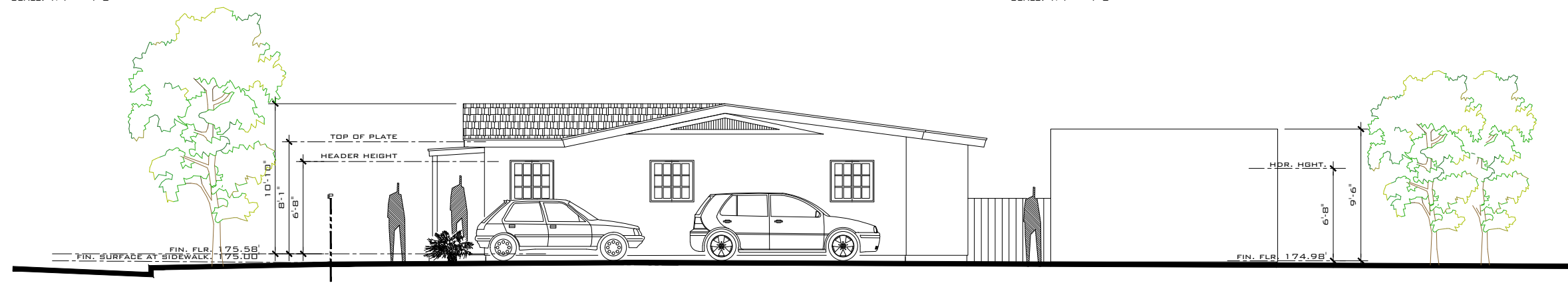
EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
A-3 ARCHITECTURAL DESIGN SOLUTIONS

PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



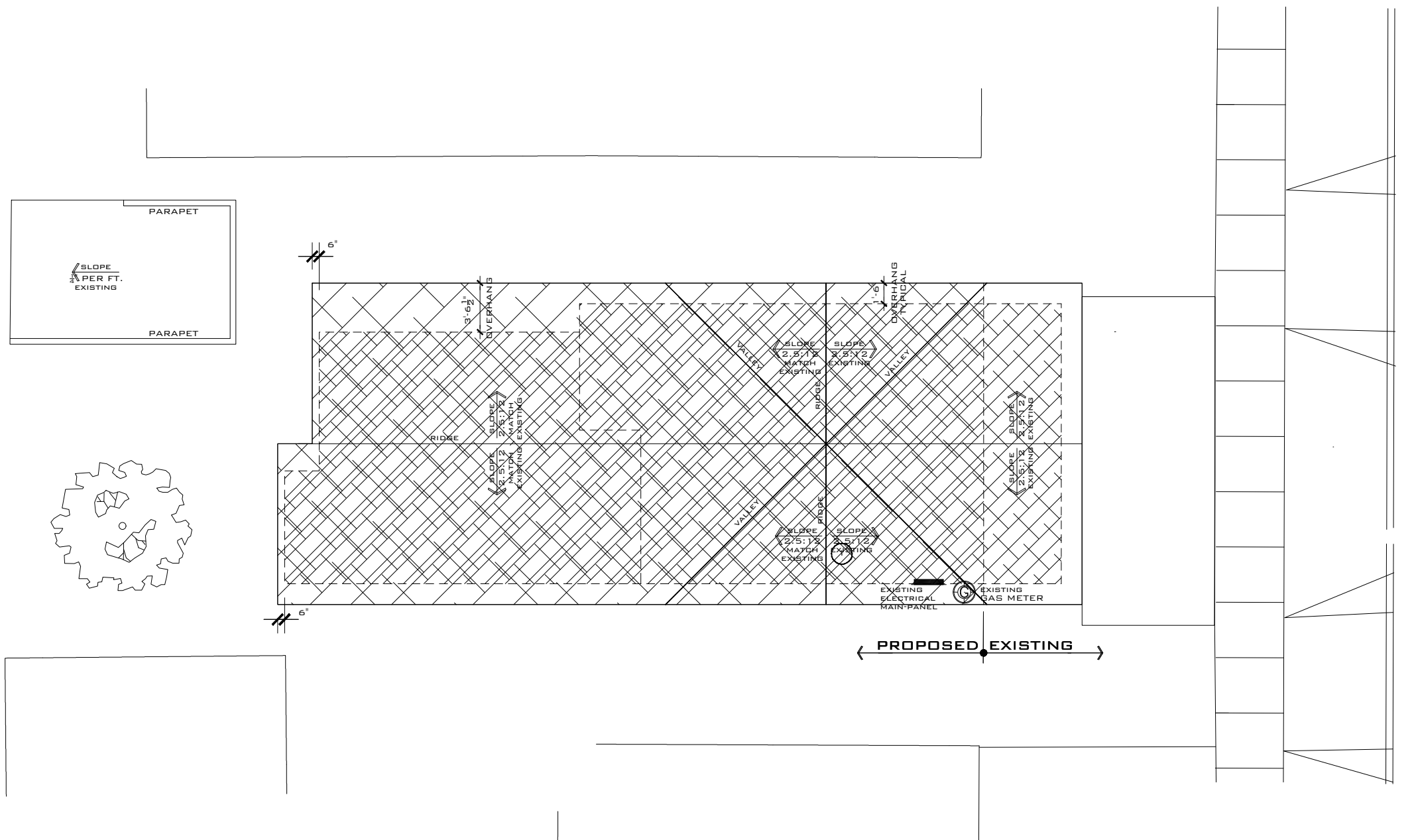
NOTE:
ROOFING SHINGLES
OWENS CORNING
OAKRIDGE 40 "DEEP SHADOW"
UL 790 CLASS "A" FIRE RESISTANCE
EXISTING -



AREA OF NEW CONSTRUCTION



15' 5' 0'



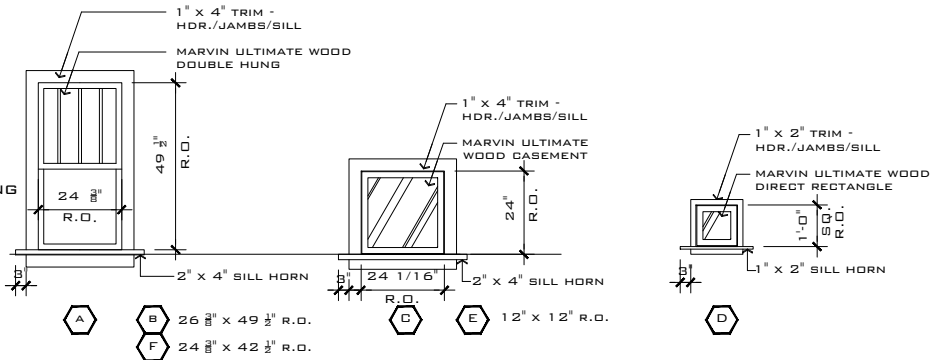
A-4-A

REGALADO REMODEL
412 S. PILEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

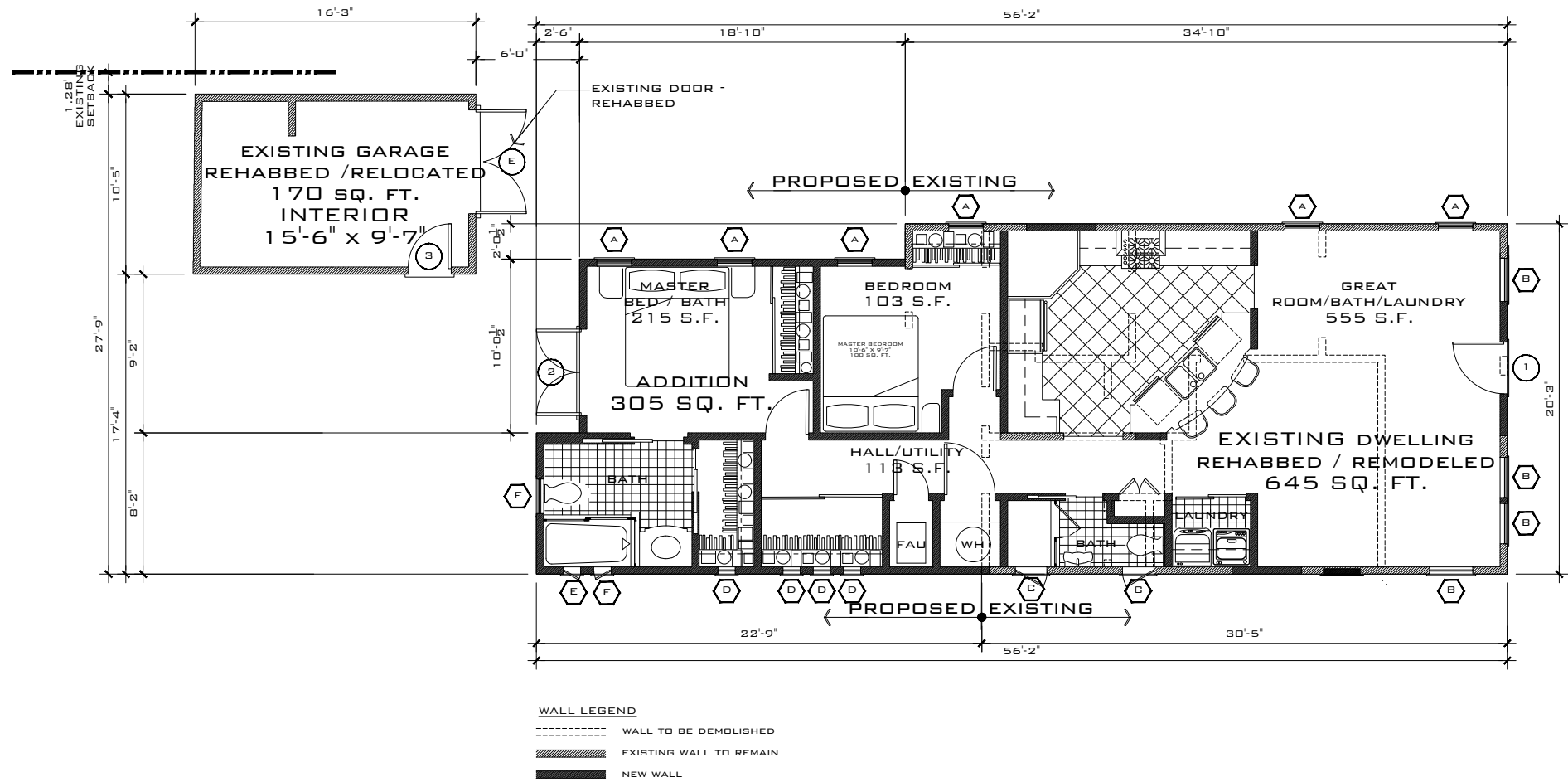
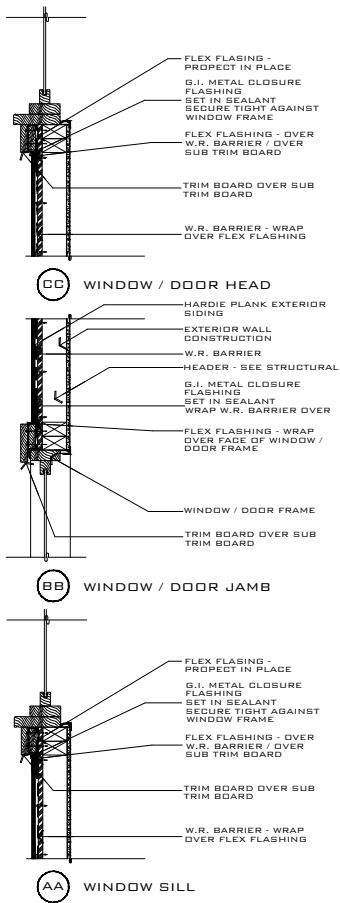
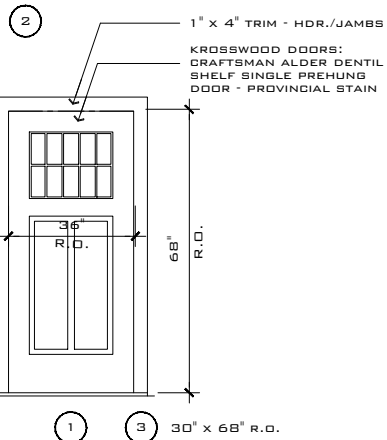
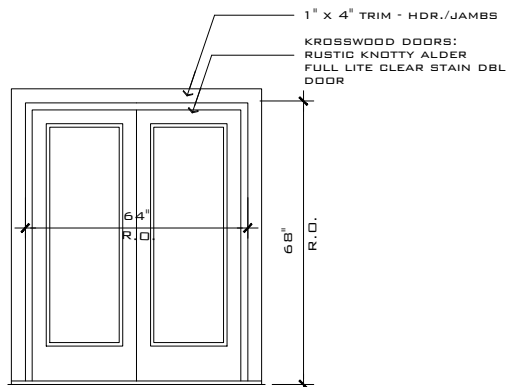
WINDOW SCHEDULE					
MARK	QUANTITY	SIZE	OPERATION	FRAME	REMARKS
A	6	2'-0" x 4'-0"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A
B	4	2'-6" x 4'-0"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A
C	2	2'-0" x 2'-0"	CASEMENT	WOOD EXT WOOD INT	SEE SHEET A-6A
D	4	1'-0" x 1'-0"	FIXED	WOOD EXT WOOD INT	SEE SHEET A-6A
E	2	1'-0" x 1'-0"	CASEMENT	WOOD EXT WOOD INT	SEE SHEET A-6A
F	1	2'-0" x 3'-6"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A

DOOR SCHEDULE					
MARK	QUANTITY	SIZE	TYPE	MATERIAL	
1	1	3'-0" x 6'-8"	SWING	WOOD / CLR. GLZG.	SEE SHEET A-6B
2	1	5'-0" x 6'-8"	DBL DOOR SWING	WOOD / CLR. GLZG.	SEE SHEET A-6B
3	1	2'-6" x 6'-8"	SWING	WOOD / CLR. GLZG.	SEE SHEET A-6B

NOTE:
ALL GLAZING
SHALL BE
CLEAR GLAZING



NOTE:
ALL DOORS & WINDOWS ARE PROPOSED
- NEW DOORS & WINDOWS

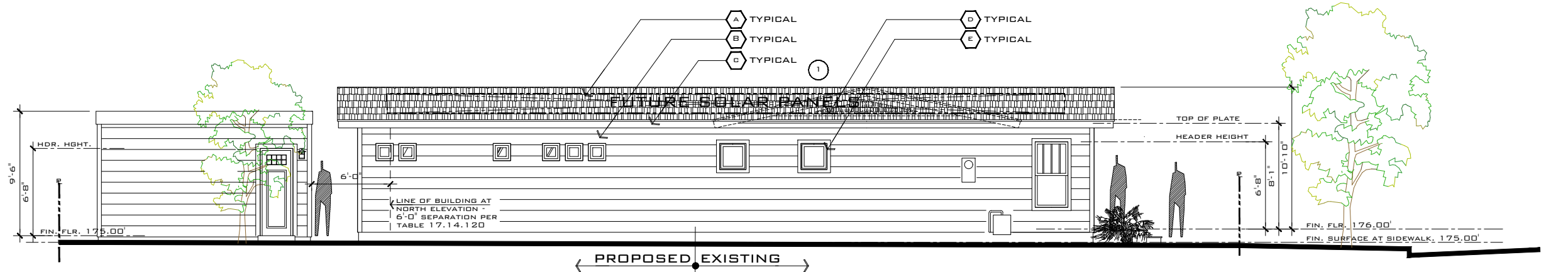


PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



15' 5' 0'

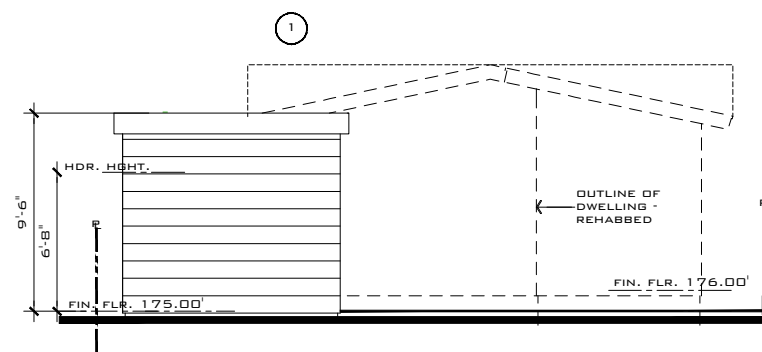
REGALADO REMODEL
412 S. PILEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
A-5



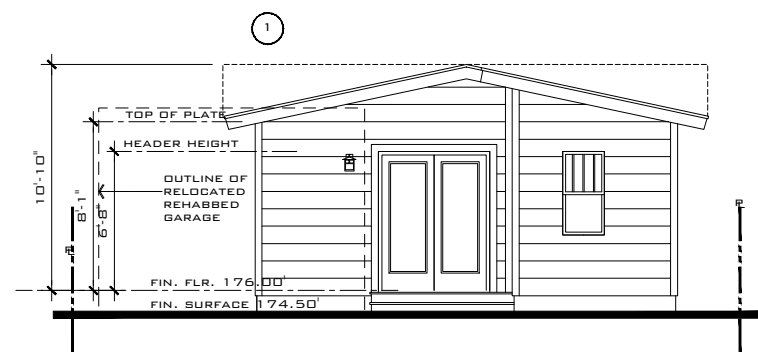
PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FINISH MATERIALS

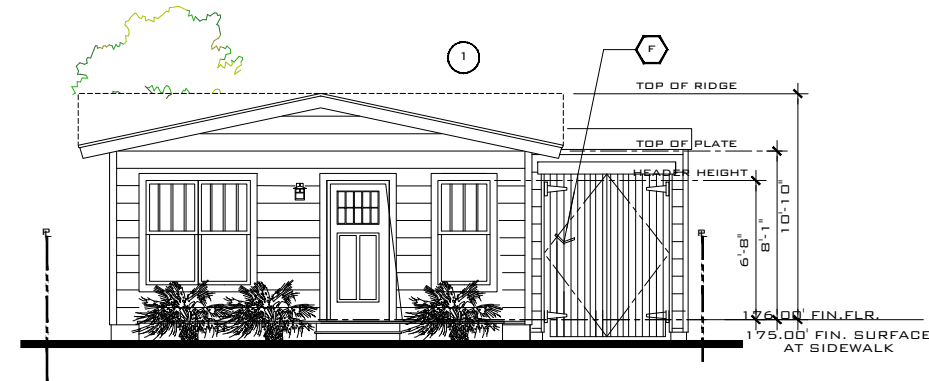
- | | |
|---|---|
| A ROOFING SHINGLES OWENS CORNING DURATION 40 "ONYX BLACK ONYX" UL 790 CLASS "A" FIRE RESISTANCE
HTTPS://WWW.JAMESHARDIE.COM/PRODUCT-CATALOG/ | D TRIM - ALABASTER WHITE:
HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |
| B EXTERIOR SIDING PRODUCTS/HARDIE-PLANK-LAP-SIDING/BEADED-SELECT-CEDEMILL/DREAM-COLLECTION-COLORS/?FAMILY=GRAY&COLOR=SLATE-PEBBLE | E WINDOWS & DOORS - ALABASTER WHITE:
HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |
| C FASCIA-BARGE BOARDS - ALABASTER WHITE:
HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER | F GARAGE DOOR (REHABBED) - ALABASTER WHITE:
HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |



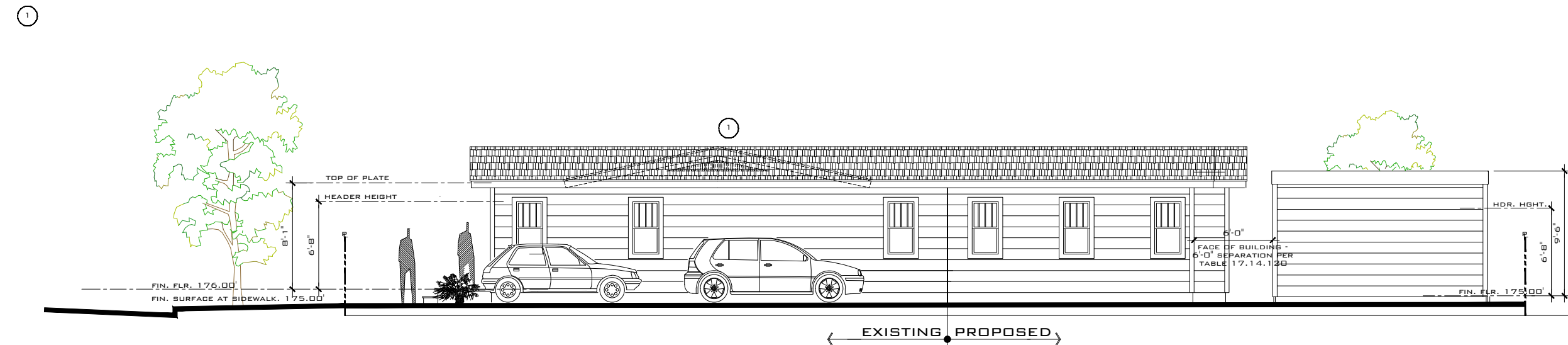
PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL



PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL



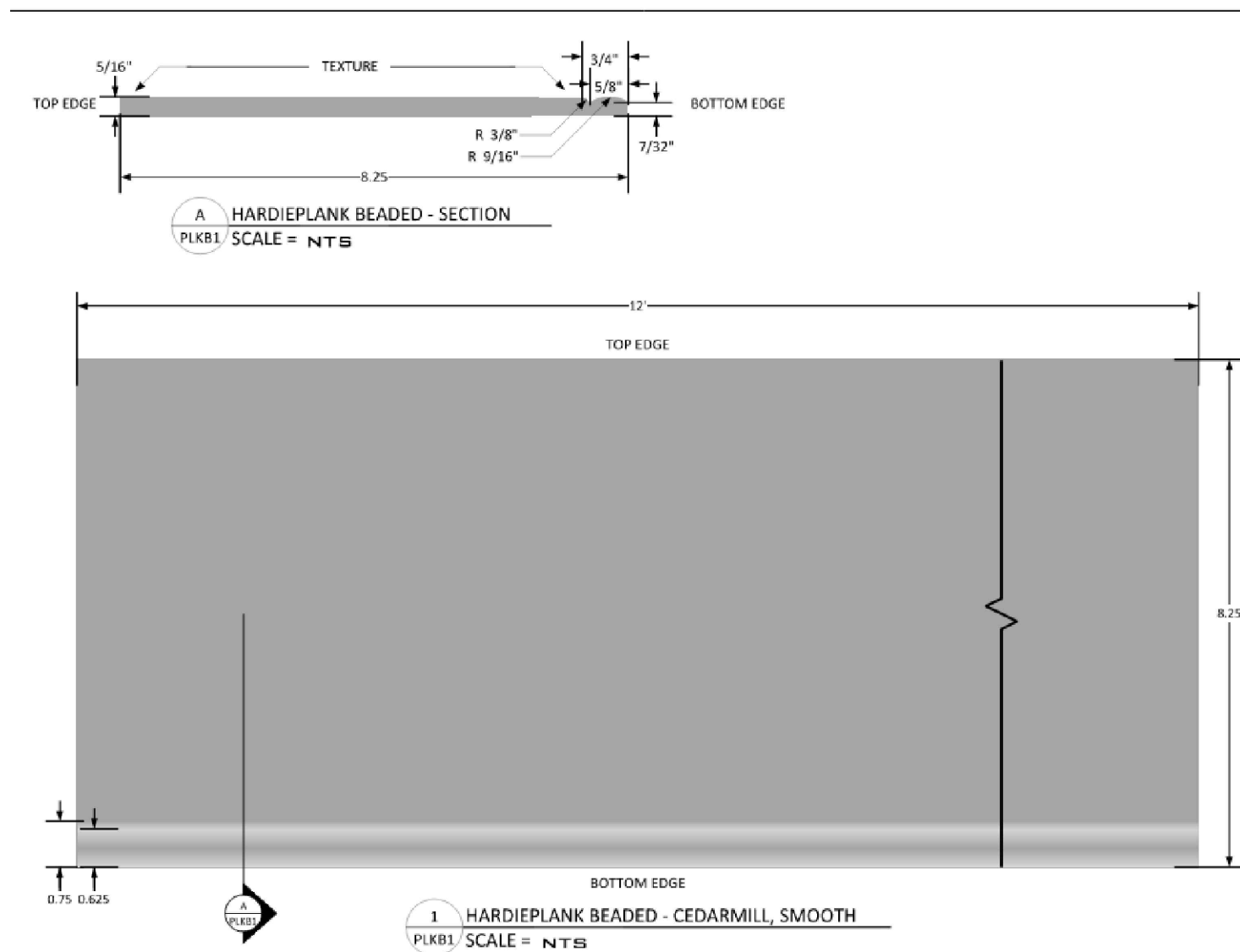
PROPOSED EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL




PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

A-6

[illegible][illegible]

Slate Pebble

 [HTTPS://WWW.JAMESHARDIE.COM/PRODUCT-CATALOG/EXTERIOR-SIDING-PRODUCTS/
HARDIE-PLANK-LAP-SIDING/BEADED-SELECT-CEDARMILL/DREAM-COLLECTION-COLORS/
?FAMILY=GRAY&COLOR=SLATE-PEBBLE](https://www.jameshardie.com/product-catalog/exterior-siding-products/hardie-plank-lap-siding/beaded-select-cedarmill/dream-collection-colors/?family=gray&color=slate-pegble)

PROPOSED EXTERIOR FINISH MATERIALS

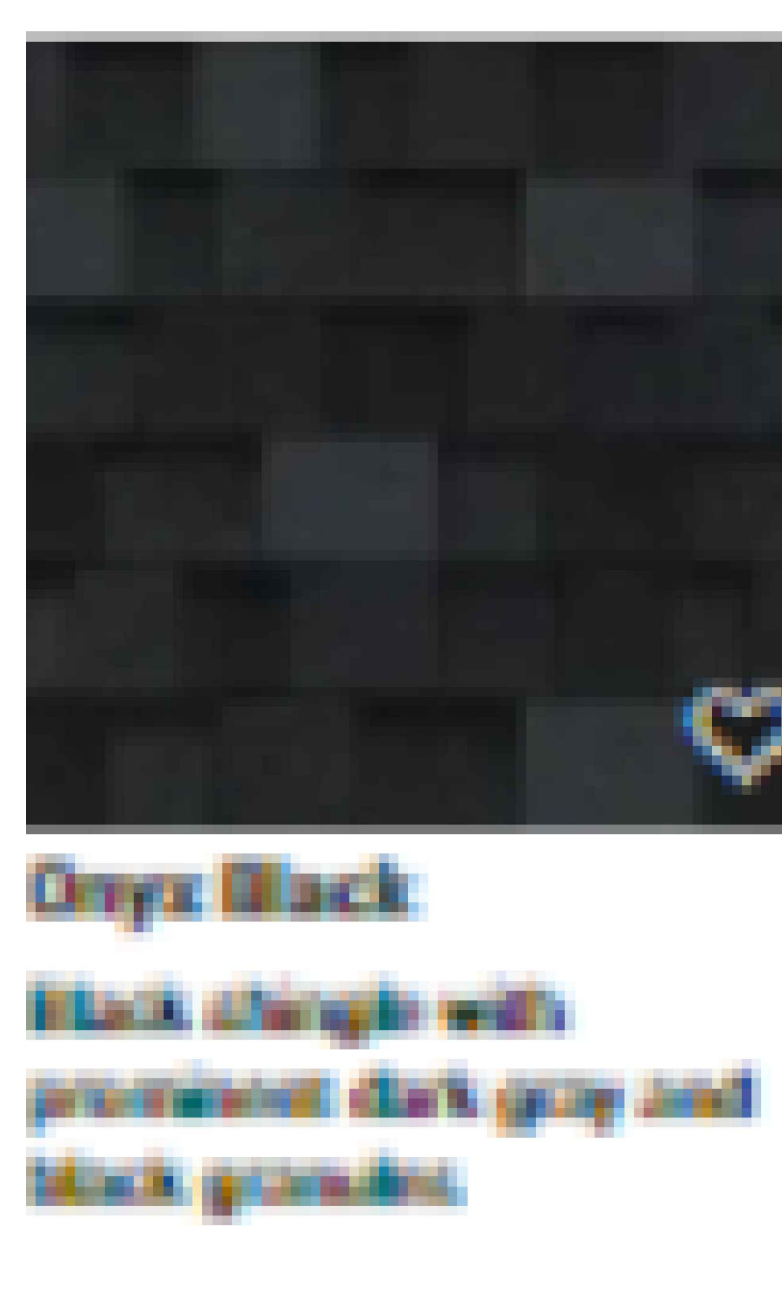


 FASCIA-BARGE BOARDS - ALABASTER WHITE:
[HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/
SW7008-ALABASTER](https://www.sherwin-williams.com/homeowners/products/sw7008-alabaster)

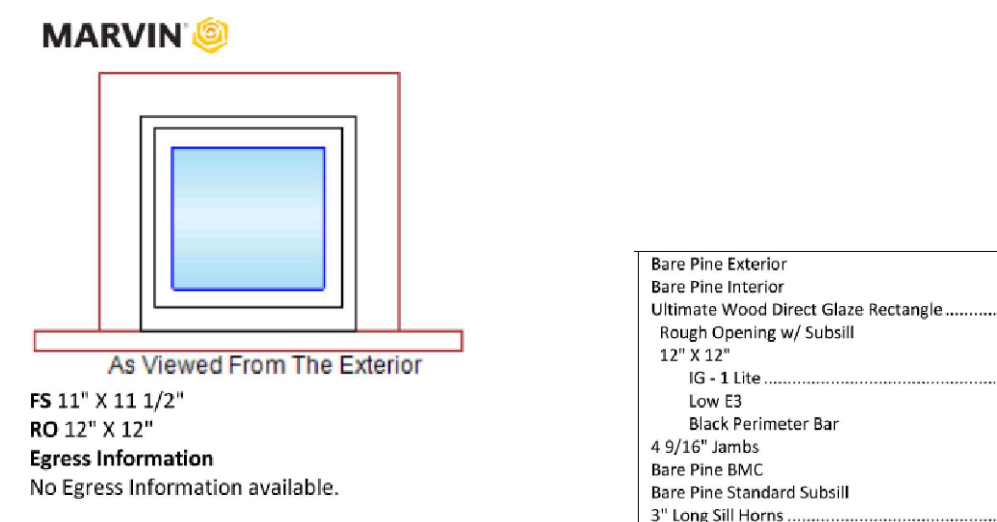
 TRIM - ALABASTER WHITE:
[HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/
SW7008-ALABASTER](https://www.sherwin-williams.com/homeowners/products/sw7008-alabaster)

 WINDOWS & DOORS - ALABASTER WHITE:
[HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER](https://www.sherwin-williams.com/homeowners/products/sw7008-alabaster)

F GARAGE DOOR (REHABBED) - ALABASTER WHITE:
[HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER](https://www.sherwin-williams.com/homeowners/products/sw7008-alabaster)

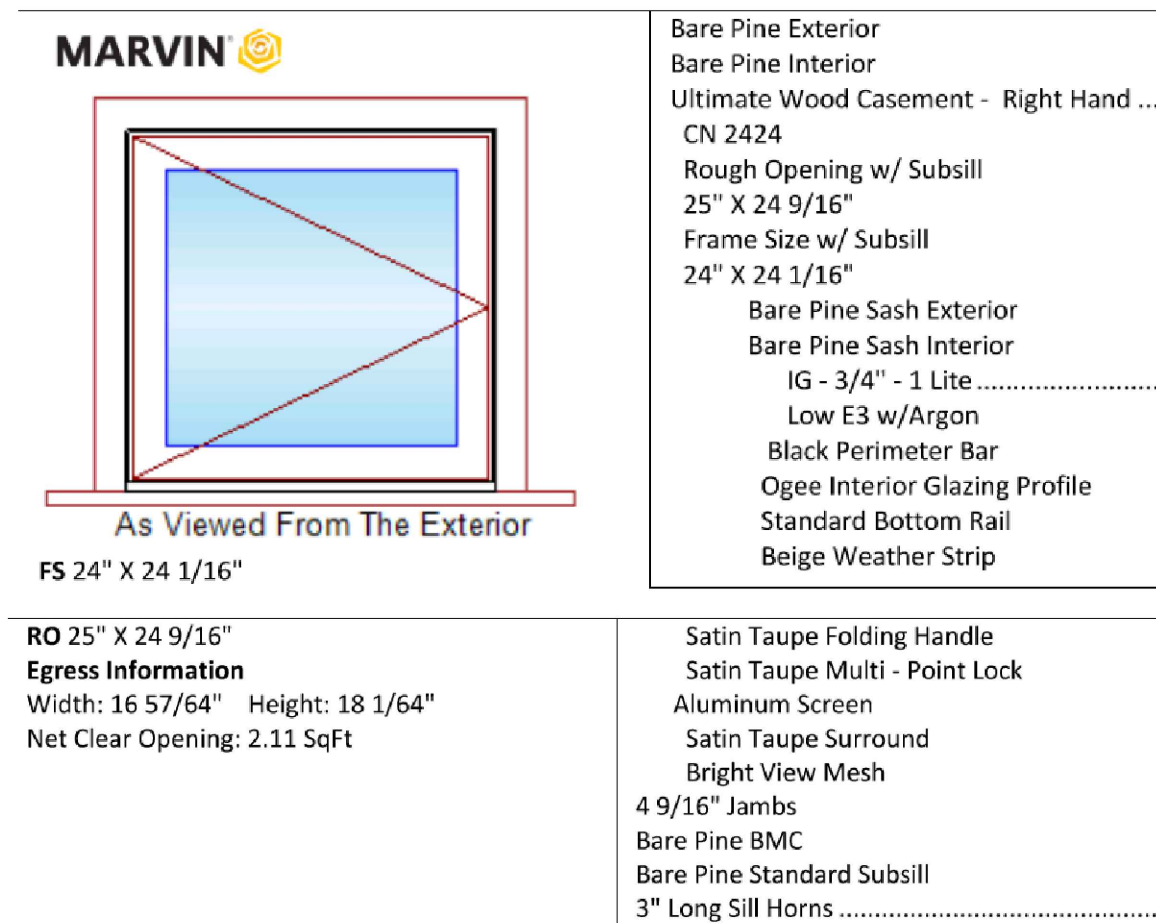


 ROOFING SHINGLES OWENS CORNING DURATION 40
"ONYX BLACK ONYX"
UL 790 CLASS "A" FIRE RESISTANCE



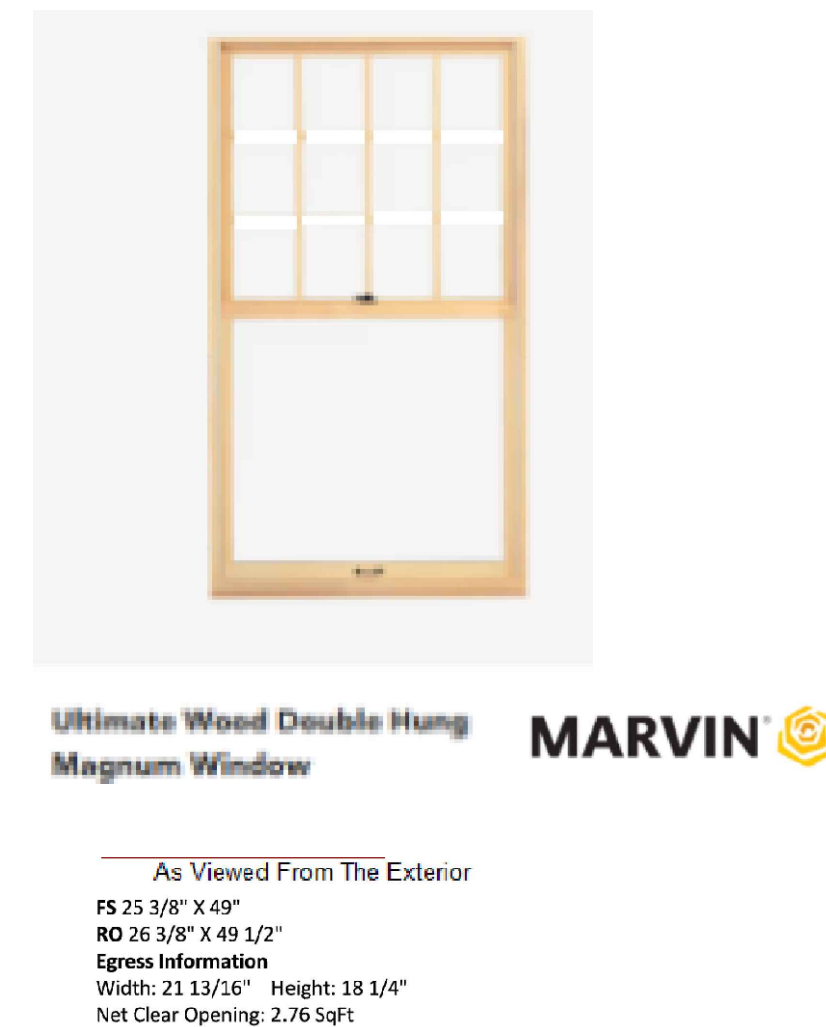
MARVIN DOES NOT HAVE ONLINE BROCHURES FOR WOOD
PRODUCTS:
THIS "BROCHURE" WAS PROVIDED BY MARVIN VIA GANAHL
LUMBER VICTORIA FOUCAULT
714 239 2274 VICTORIAF@GANAHL.COM

[HTTPS://WWW.MARVIN.COM/PRODUCTS/WINDOWS/PICTURE](https://www.marvin.com/products/windows/picture)



MARVIN DOES NOT HAVE ONLINE BROCHURES FOR WOOD PRODUCTS:
THIS "BROCHURE" WAS PROVIDED BY MARVIN VIA GANAHL LUMBER VICTORIA FOUCAULT
714 239 2274 VICTORIAF@GANAHL.COM

[HTTPS://WINDOWSOLUTIONSPLUS.COM/MARVIN-SIGNATURE-ULTIMATE-CASEMENT-PUSH-OUT-WINDOW/](https://windowsolutionsplus.com/marvin-signature-ultimate-caseement-push-out-window/)



[HTTPS://WWW.MARVIN.COM/PRODUCTS/WINDOWS/DOUBLE-HUNG/
ULTIMATE-WOOD-DOUBLE-HUNG-MAGNUM-WINDOW](https://www.marvin.com/products/windows/double-hung/ultimate-wood-double-hung-magnum-window)

PROPOSED WINDOWS

REGALADO REMODEL
412 S. PILEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS

A-6A

2025-03-7



[HTTPS://WWW.HOMEDEPOT.COM/P/KROSSWOOD-DOORS-36-IN-X-96-IN-CRAFTSMAN-ALDER-LEFT-HAND-6-LITE-CLEAR-PROVINCIAL-STAIN-WOOD-DENTIL-SHELF-SINGLE-PREHUNG-FRONT-DOOR-PHED-KA-550DS-30-80-134-LH-PR/309338359?MERCH=REC_-PIPSEM_-314277374_-6_-N/A_-N/A_-N/A_-N/A_-N/A#OVERLAY](https://www.homedepot.com/p/Krosswood-Doors-36-in-x-96-in-Craftsman-Alder-Left-Hand-6-Lite-Clear-Provincial-Stain-Wood-Dentil-Shelf-Single-Prehung-Front-Door-Phed-KA-550DS-30-80-134-LH-PR/309338359?MERCH=REC_-PIPSEM_-314277374_-6_-N/A_-N/A_-N/A_-N/A_-N/A#overlay)

1

36 in. x 96 in. Craftsman Alder Left Hand 6-Lite Clear Provincial Stain Wood/Dentil Shelf Single Prehung Front Door

by Krosswood Doors



[HTTPS://WWW.DOORS.COM/PRODUCTS/FULL-LITE-KNOTTY-ALDER-SOLID-CORE-DOUBLE-DOOR-1?VARIANT=48926348378393&CURRENCY=USD&UTM_MEDIUM=PRODUCT_SYNC&UTM_SOURCE=GOOGLE&UTM_CONTENT=SAG_ORGANIC&UTM_CAMPAIGN=SAG_ORGANIC&UTM_TERM=&UTM_CAMPAIGN=PERFORMANCE+MAX+ALL+PRODUCTS&UTM_SOURCE=ADWORDS&UTM_MEDIUM=PPC&HSA_ACC=6178487494&HSA_CAM=21734932468&HSA_GRP=&HSA_AD=&HSA_SRC=X&HSA_TGT=&HSA_KW=&HSA_MT=&HSA_NET=ADWORDS&HSA_VER=3&GAD_SOURCE=1&GCLID=EAIaIQobChMI4LUIOMQVIQMVFQCTBH1MNY9NEAQYBIABEGLLVvD_BWE](https://www.doors.com/products/full-lite-knotty-alder-solid-core-double-door-1?variant=48926348378393¤cy=USD&utm_medium=product_sync&utm_source=google&utm_content=sag_organic&utm_campaign=sag_organic&utm_term=&utm_campaign=performance+max+all+products&utm_source=adwords&utm_medium=ppc&hsa_acc=6178487494&hsa_cam=21734932468&hsa_grp=&hsa_ad=&hsa_src=x&hsa_tgt=&hsa_kw=&hsa_mt=&hsa_net=adwords&hsa_ver=3&gclid=EAIaIQobChMI4LUIOMQVIQMVFQCTBH1MNY9NEAQYBIABEGLLVvD_BWE)

2

FULL LITE KNOTTY ALDER SOLID CORE DOUBLE DOOR



[HTTPS://WWW.DISCOUNTDOORSANDMORE.COM/PRODUCT/8-LITE-OVER-2-PANEL-CRAFTSMAN-MAHOGANY-EXTERIOR-SINGLE-DOOR-SLAB-HTC-50/](https://www.discountdoorsandmore.com/product/8-lite-over-2-panel-craftsman-mahogany-exterior-single-door-slab-htc-50/)

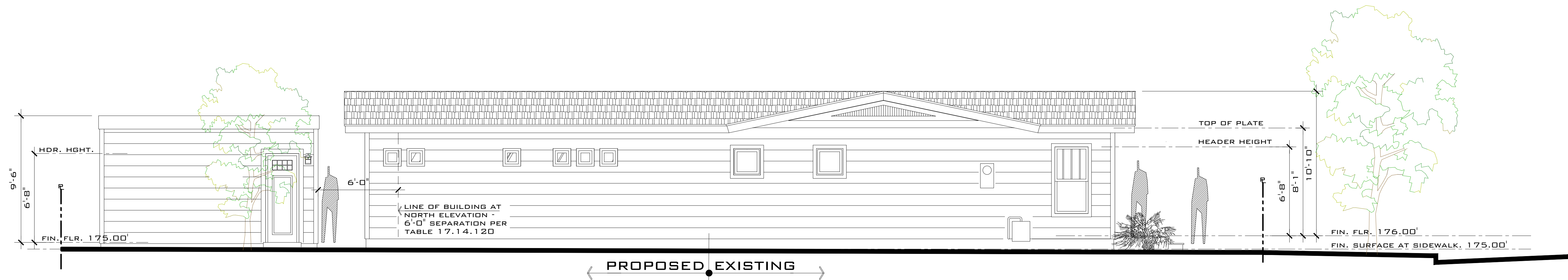
3

8-LITE OVER 2-PANEL CRAFTSMAN EXTERIOR SINGLE DOOR SLAB - HTC 50

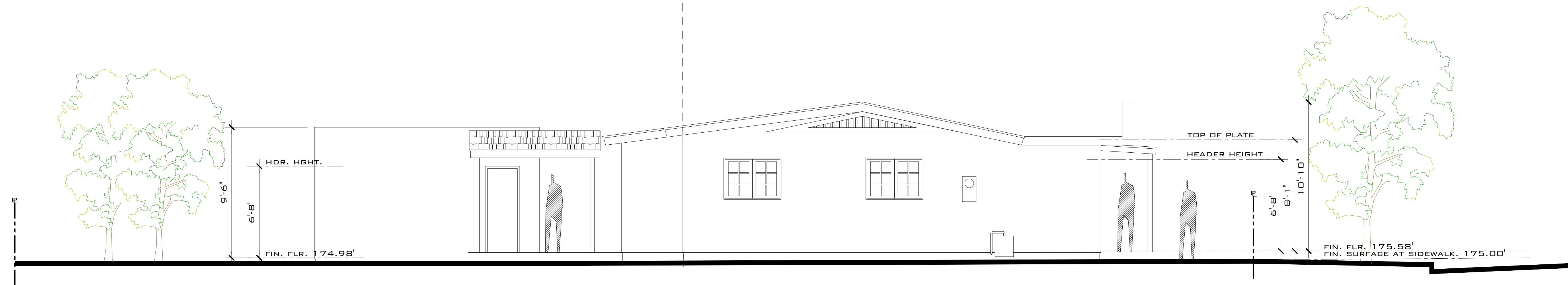
REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868

ARCHITECTURAL DESIGN SOLUTIONS

A-6B



PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



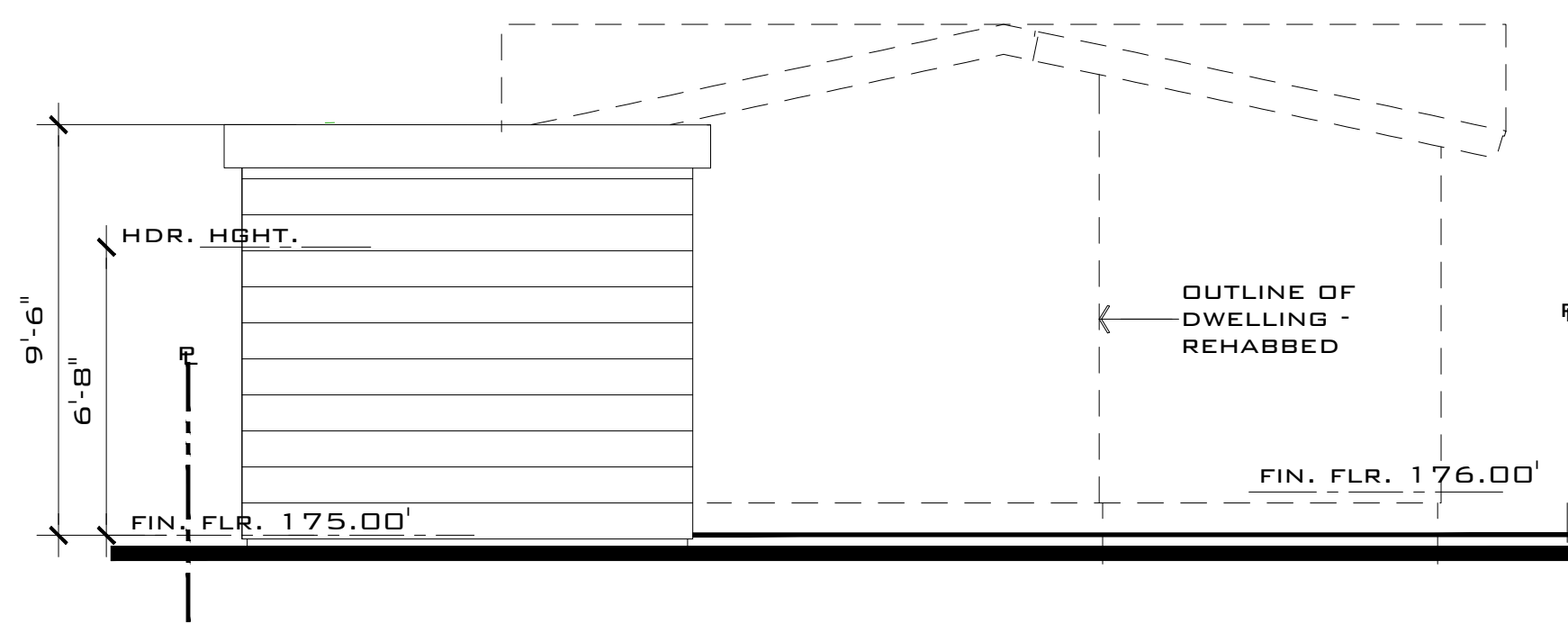
EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION VS PROPOSED ELEVATIONS

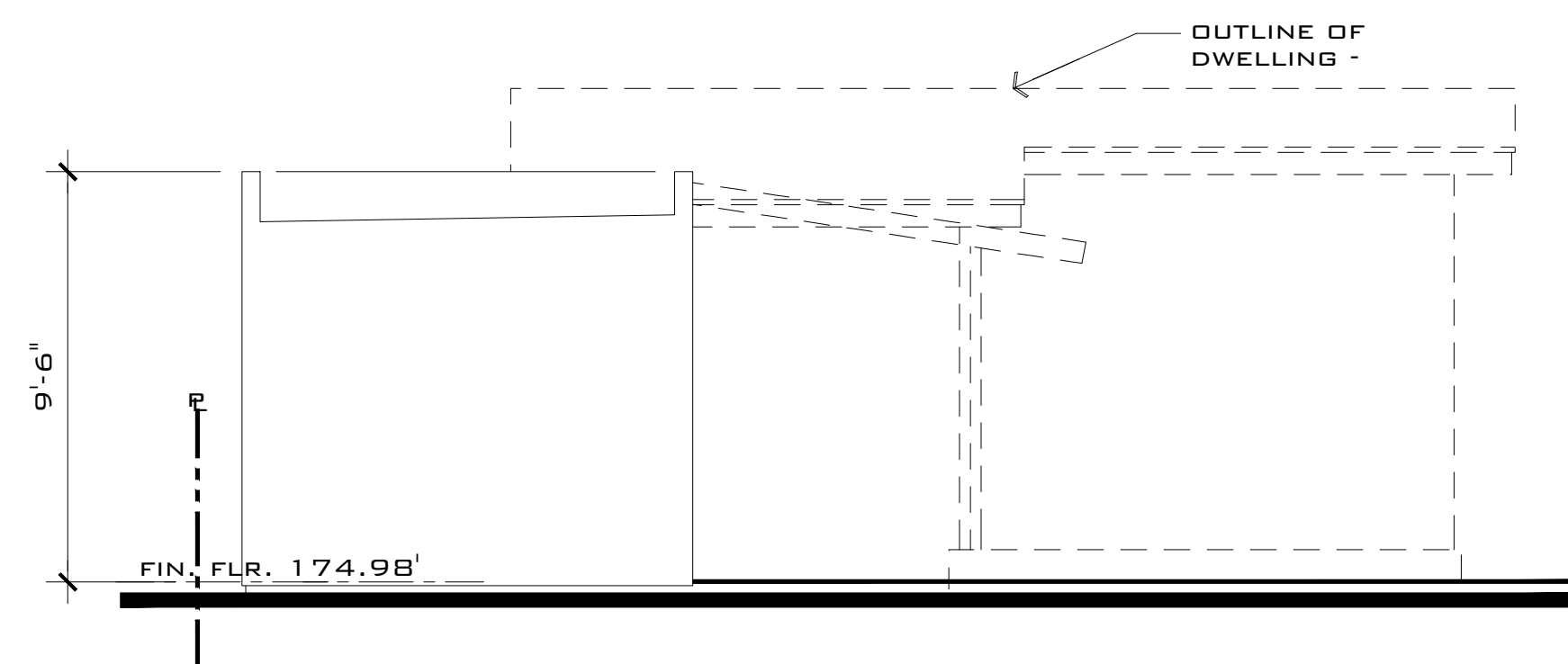
REGALADO REMODEL
412 S. PILEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

A-6C

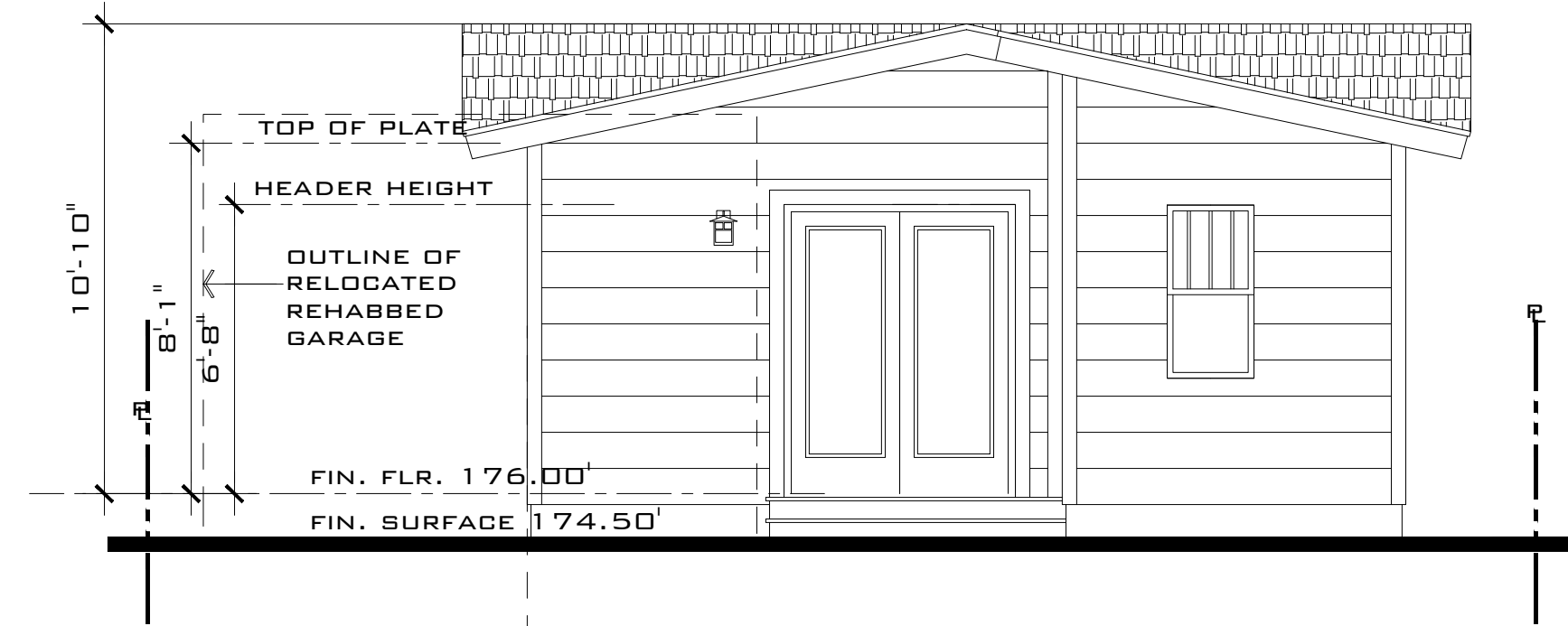
2025-03-7



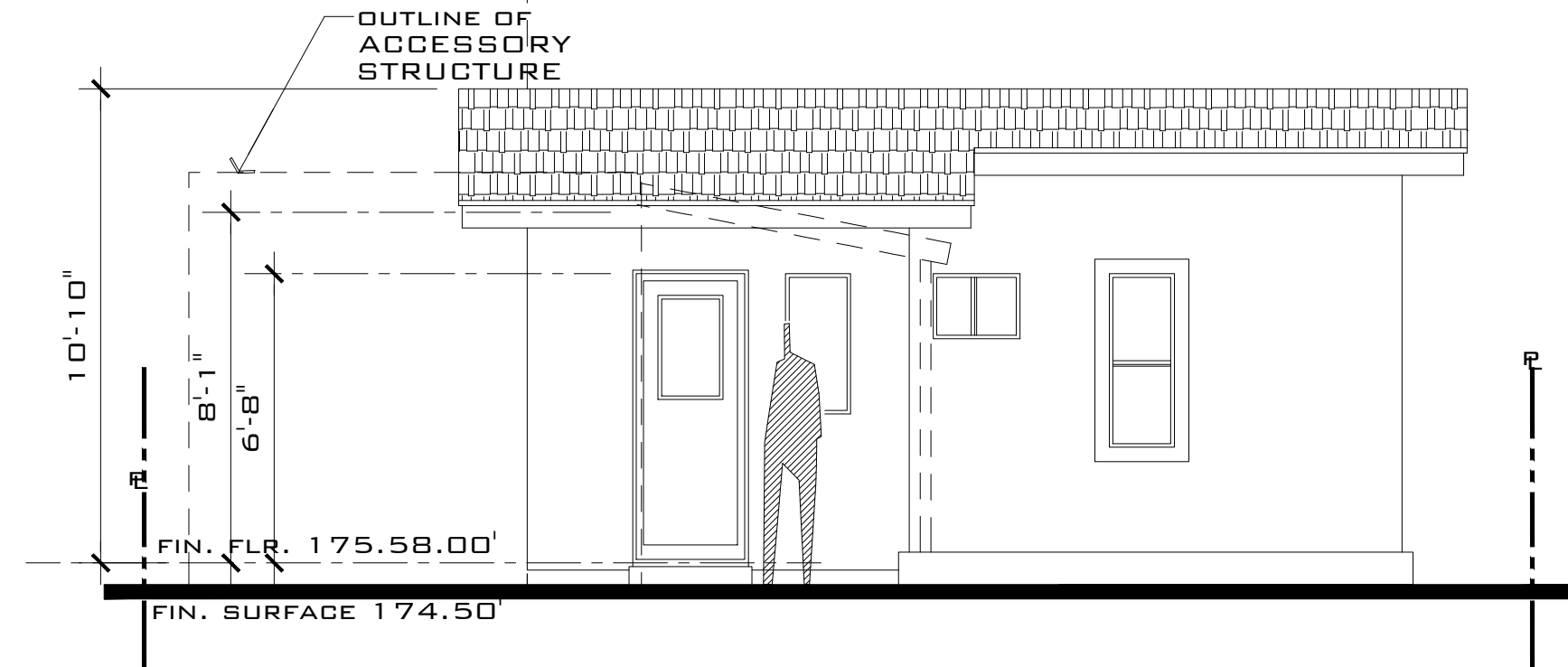
PROPOSED WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



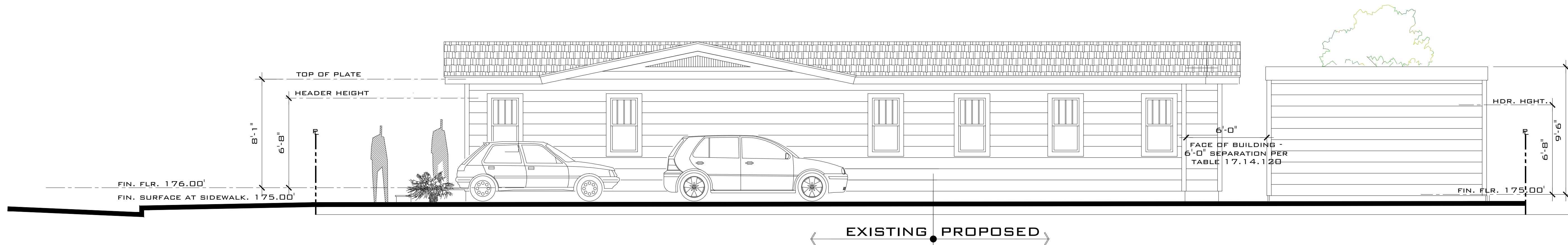
EXISTING EAST
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION VS PROPOSED ELEVATIONS

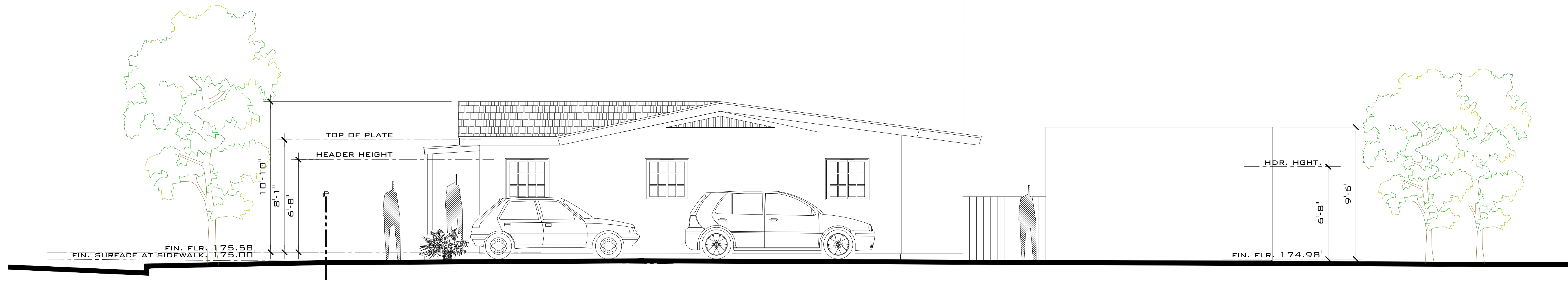
REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

A-6D

2025-03-7



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION VS PROPOSED ELEVATIONS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

A-6E

2025-03-7



416



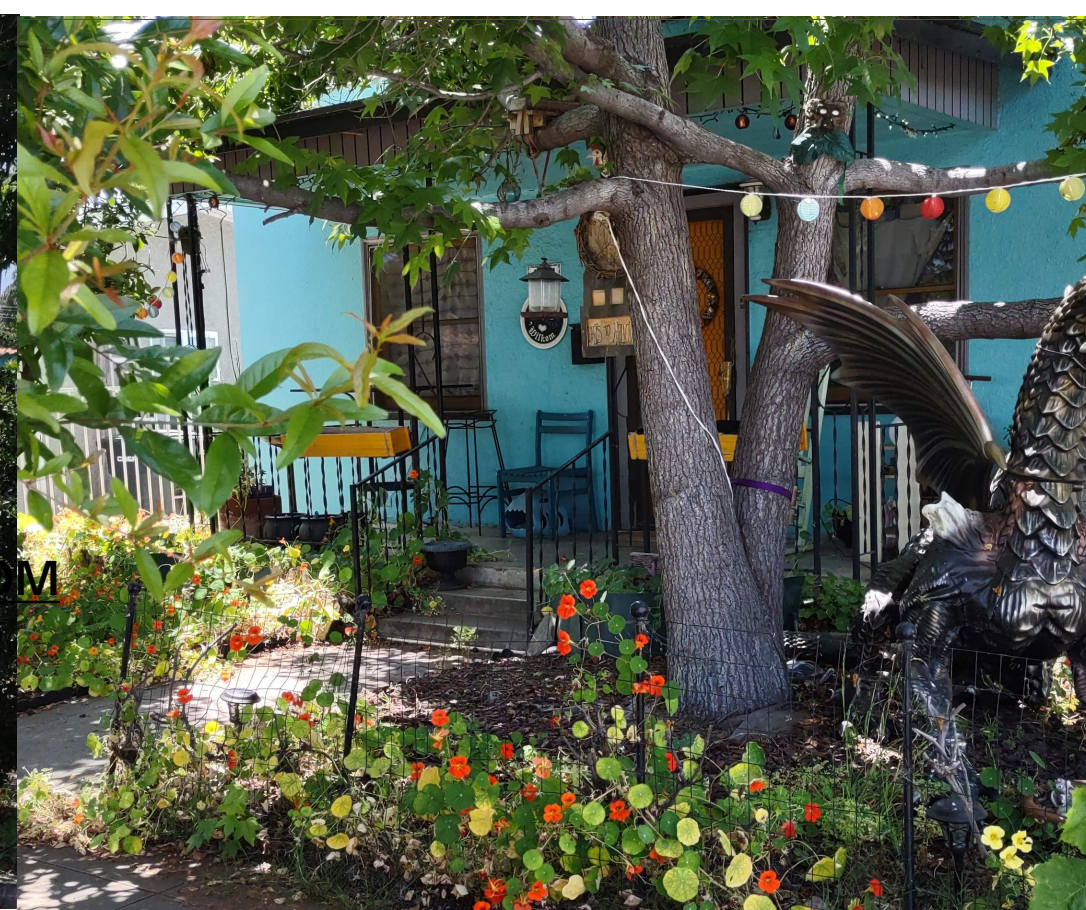
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412



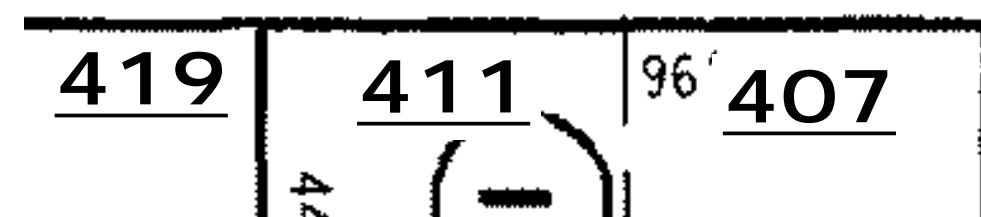
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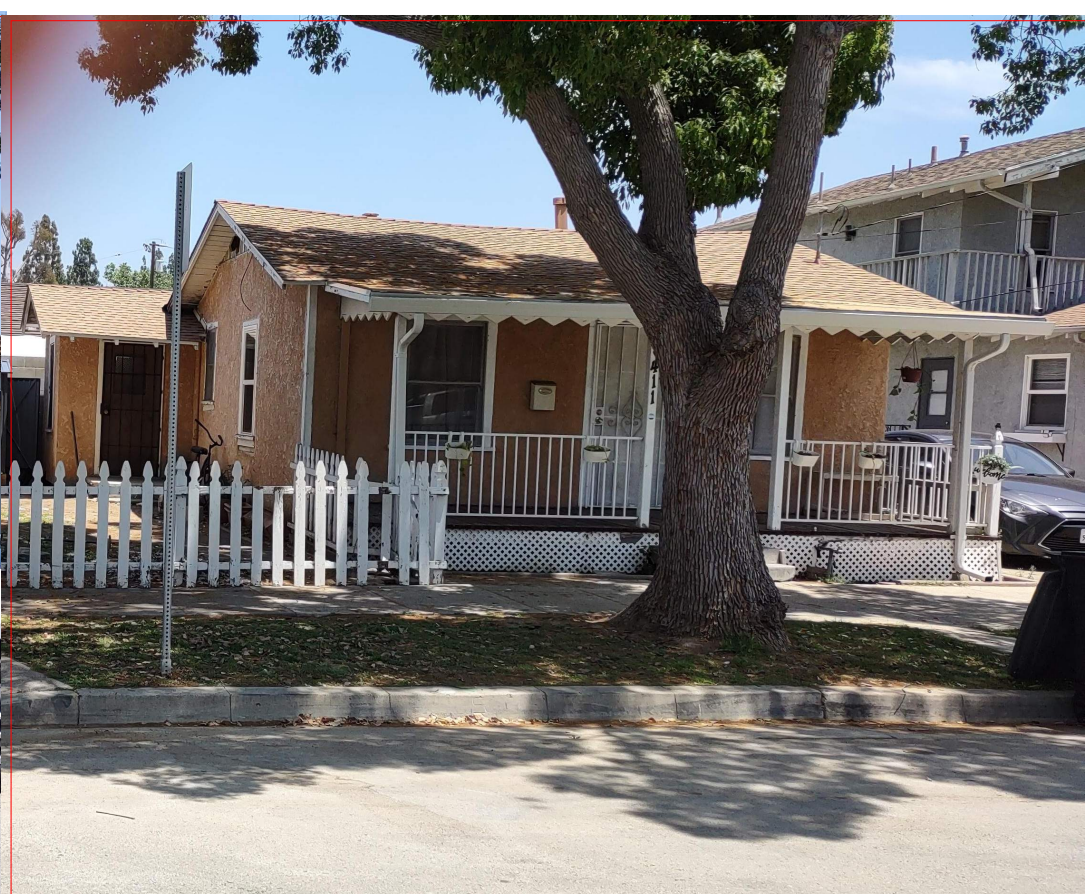
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site area plan



407



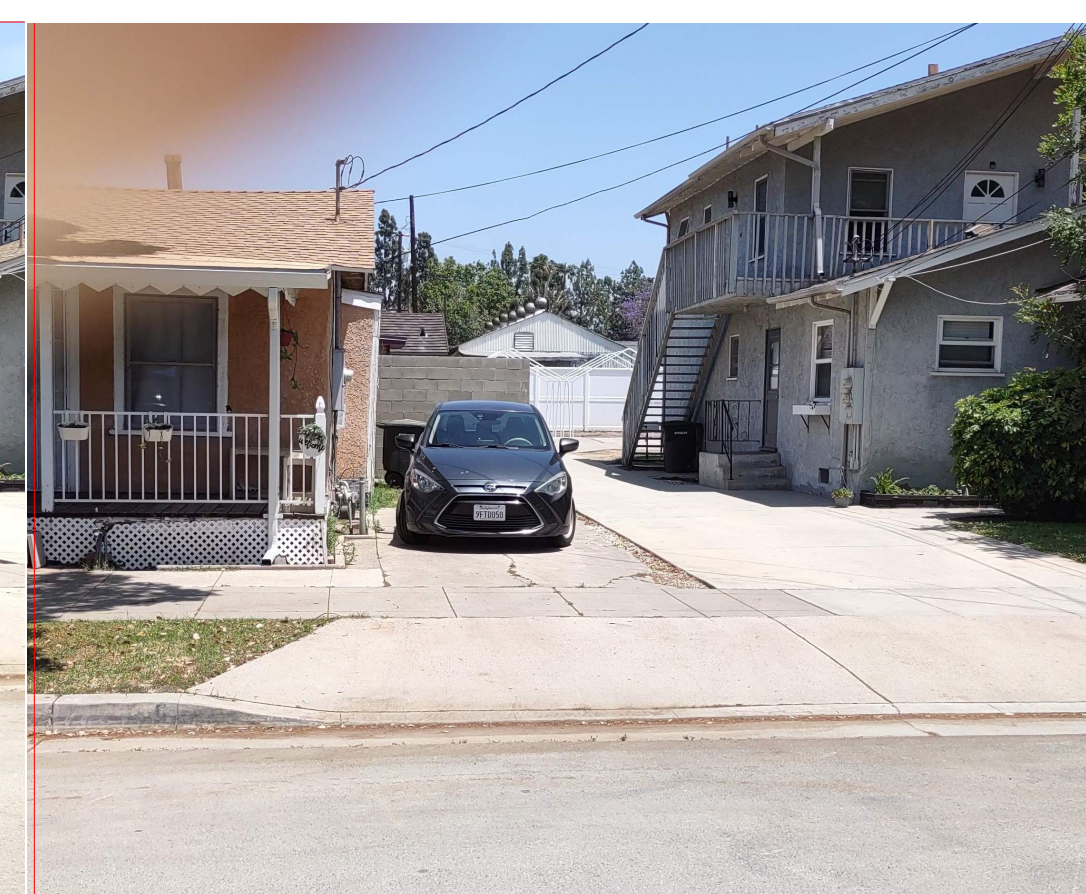
411



411



411



411/419

EXISTING SITE PHOTOS

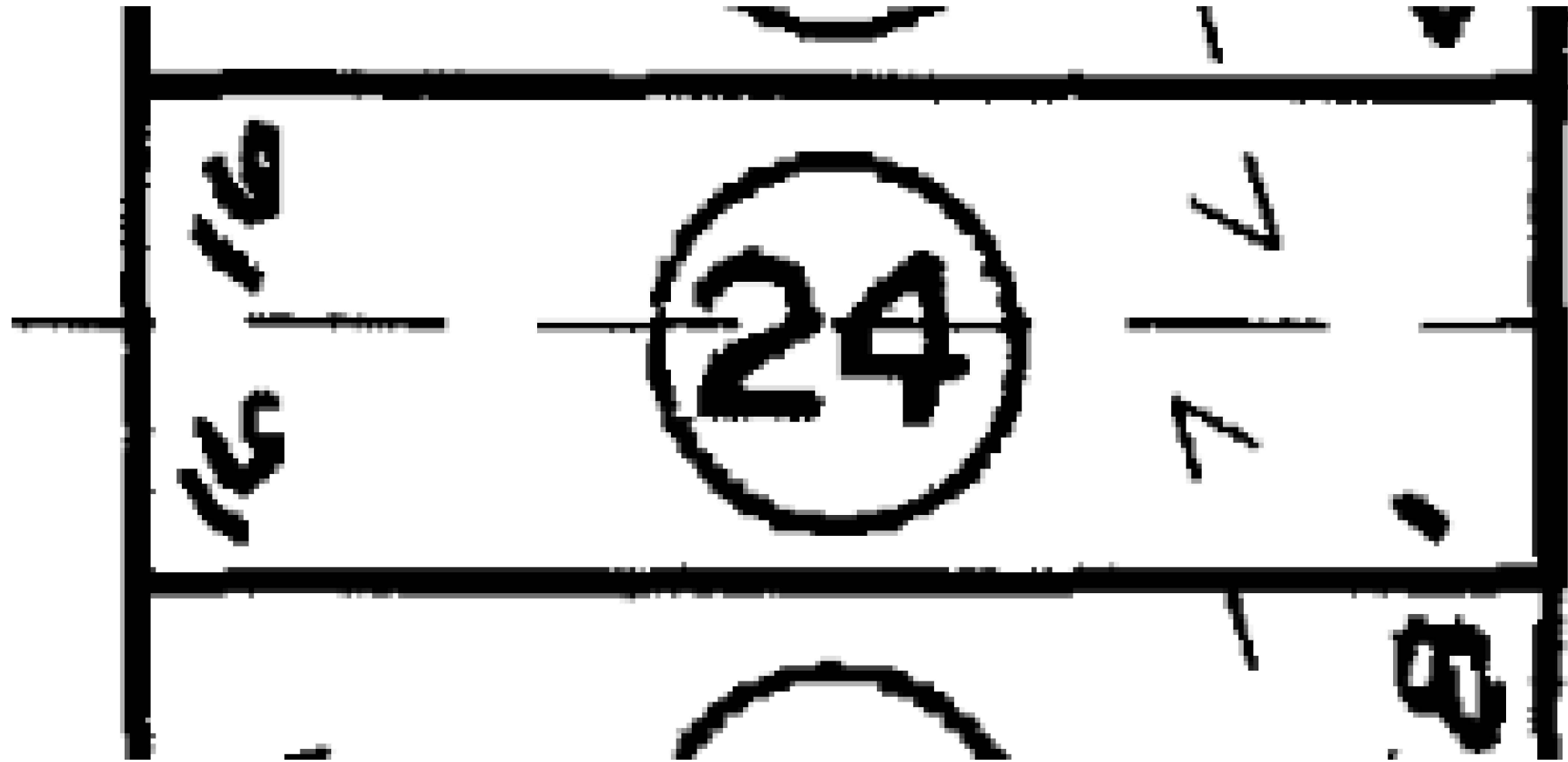
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REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

2025-07-23 A-7

EXISTING SITE PHOTOS

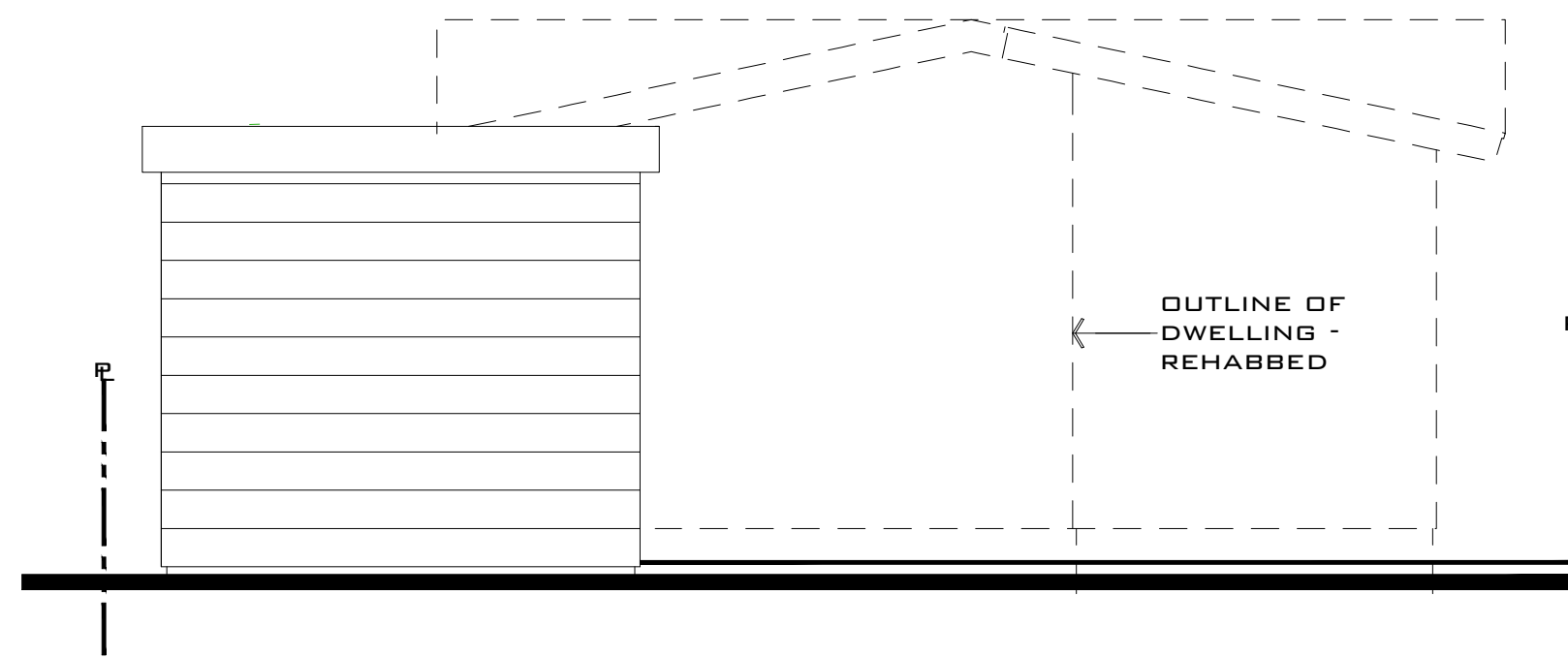
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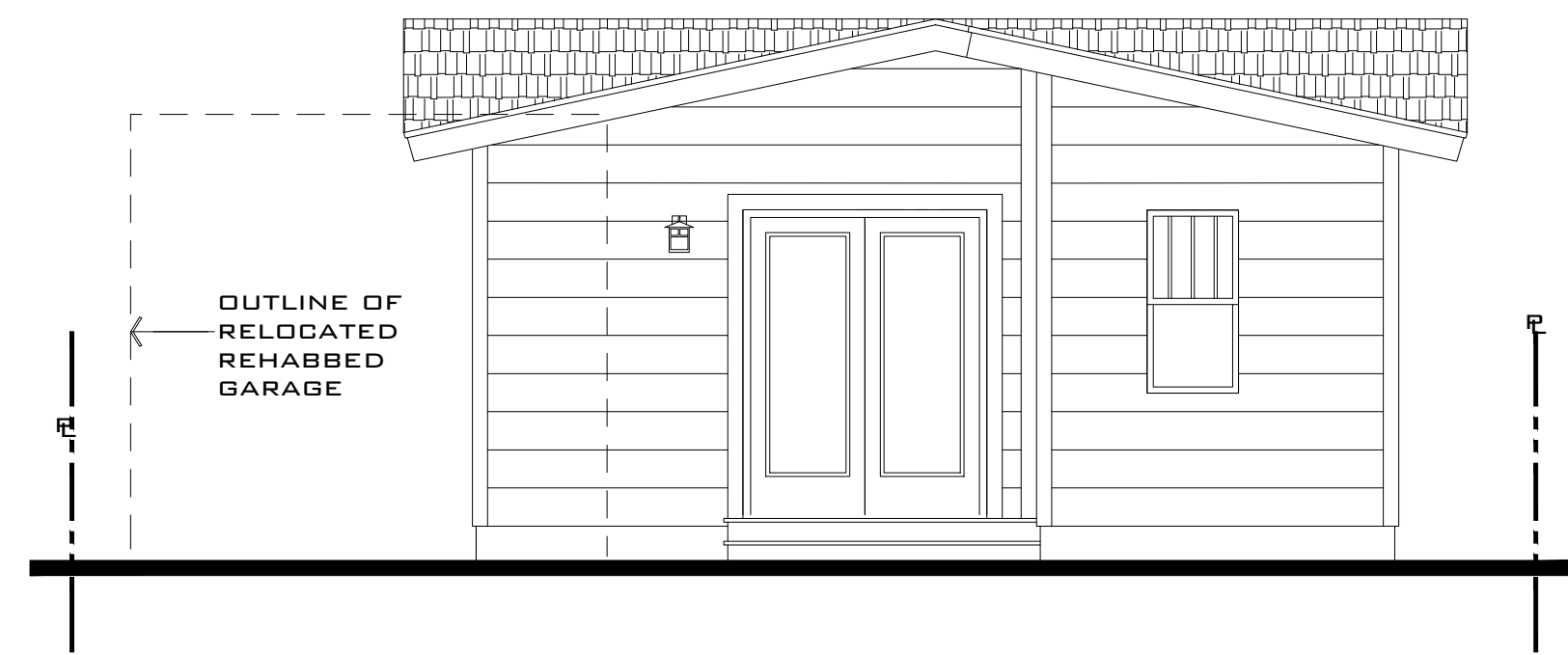
17



PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



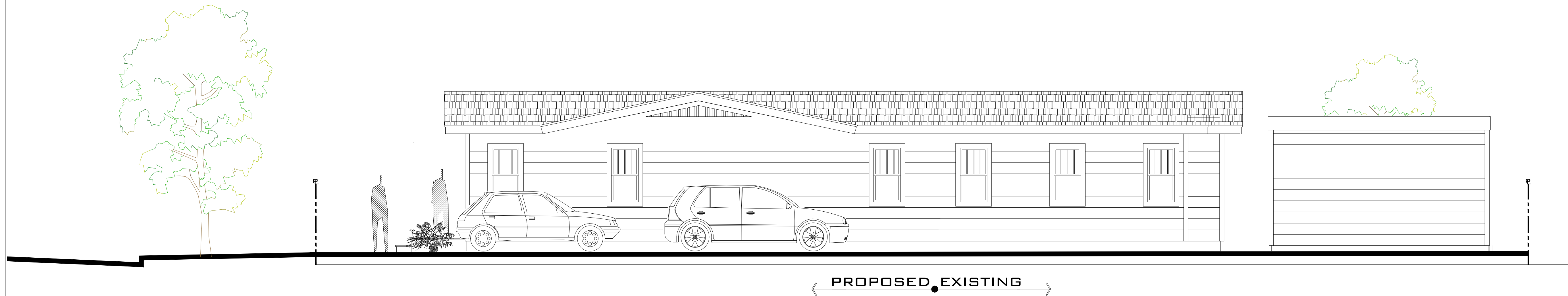
PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92668
A-00 ARCHITECTURAL DESIGN SOLUTIONS

MEMORANDUM

DATE	November 20, 2024	PROJECT NUMBER	24279
TO	Alonso Regalado	PROJECT	Historic Resource Assessment for 412 S. Pixley Street, Orange, CA
OF	412 S. Pixley Street, Orange, CA	FROM	Hannah Simonson, Page & Turnbull Stephanie Hodal, Page & Turnbull
CC	Mark S. Dwyer, Architect, NCARB	VIA	Email

REGARDING

**412 S. Pixley Street – Proposed Project Analysis
Memorandum Historic Resource Assessment**

Introduction

This Proposed Project Analysis Memorandum has been prepared by Page & Turnbull at the request of property owner Alonso Regalado in anticipation of a proposed project at 412 S. Pixley Street, Orange (APN 041-141-24) (**Figure 1**). The property contains a wood-frame single-family residence built in 1923 in the Craftsman style and a detached wood-frame garage, which appears to have been built in the same period. The subject property is non-contributing to both the Old Towne Orange National Register Historic District, established in 1996, and the Old Towne Orange Local Historic District, established in 1991, due to extensive prior alterations (**Figure 2 and Figure 3**).

The proposed project will renovate the existing 610-square-foot residence situated at the front (east) side of the parcel and construct a 340-square-foot addition at the rear (west) side of the residence.¹ To make room for the addition, the project will relocate the extant 170-square-foot garage from its current position at the north center side of the parcel to the northwest corner of the property, rehabilitating the building at its new location. The project will also demolish a non-original concrete slab patio surface located at the rear of the residence and a non-original wood-framed canopy spanning the space between the residence and garage.

The purpose of this memorandum is to review the proposed project for compliance with the City of Orange *Historic Preservation Design Standards*.²

¹ The proposed project drawings label the house as 645-square-feet in size. Assessor records list the house as being 610-square feet in size. This report uses the square footage assigned by the assessor.

² City of Orange, *Historic Preservation Design Standards*, December 12, 2018.



Figure 1: Subject parcel at 412 S. Pixley Street indicated by red outline. Source: Google Maps, March 2023. Edited by Page & Turnbull.



Figure 2: Detail showing the location of the non-contributing 412 S. Pixley Street property in the lower southwest quadrant of the Old Towne Orange Historic Planning Area map. Non-contributing properties are shaded green, contributing properties are shaded orange. Source: City of Orange, Community Development Department. Edited by Page & Turnbull.

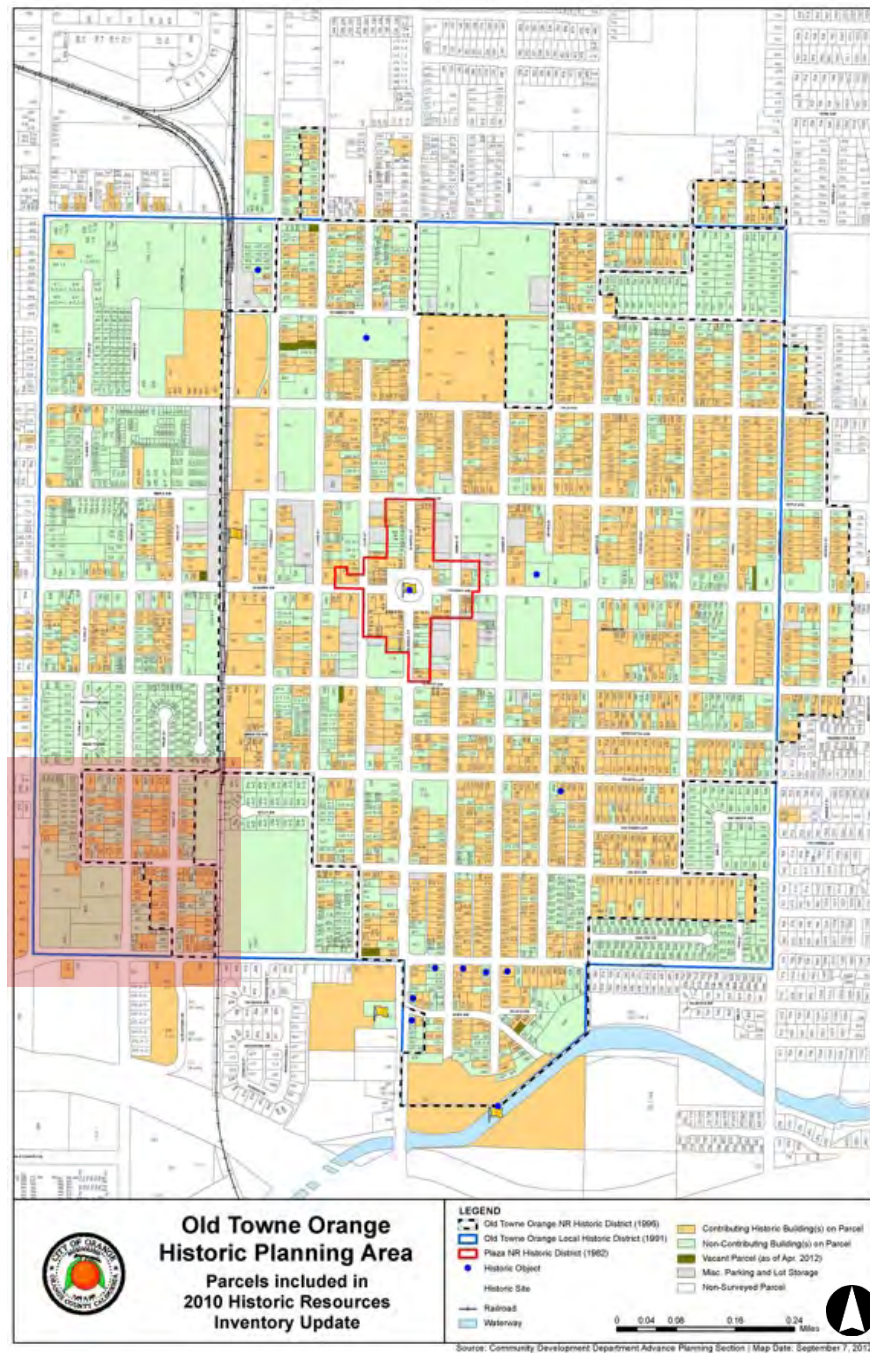


Figure 3: Map showing the full boundary of the Old Towne Orange Historic Planning Area, The area surrounding 412 S. Pixley Street in the southwest quadrant is shaded red. Non-contributing buildings are shaded green, contributing buildings are shaded orange. Source: City of Orange, Community Development Department.
Edited by Page & Turnbull.

Methodology

Page & Turnbull conducted a site visit on September 12, 2024. The purpose of the site visit was to document existing conditions of the property and surrounding neighborhood to guide the analysis of the project's compliance with the City of Orange *Historic Preservation Design Standards*, specifically the "Standards for Non-Contributing Buildings in Historic Districts" and relevant standards from the Secretary of the Interior's Standards for Rehabilitation. Page & Turnbull reviewed the proposed project plan set for 412 S. Pixley Street prepared by Architectural Design Solutions that was provided by architect Mark S. Dwyer to Page & Turnbull via email on November 19, 2024 and a State of California Department of Parks and Recreation (DPR) 523 form prepared for this property in March 2005, updated in November 2009. No additional building-specific research was conducted for the purposes of this memorandum.

Preparer Qualifications

Page & Turnbull was established in 1973 as Charles Hall Page & Associates to provide architectural and conservation services for historic buildings, resources, and civic areas. The company was one of the first architecture firms in California to dedicate its practice to historic preservation and is among the longest practicing such firms in the country. Offices are located in San Francisco, Los Angeles, Sacramento, and San Jose. Staff includes licensed architects, designers, architectural historians, conservators, and planners.

This proposed project analysis memorandum was prepared by Page & Turnbull of Los Angeles, California. Page & Turnbull staff responsible for this report include Christina Dikas, Principal-in-Charge, Hannah Simonson, Project Manager; and Stephanie Hodal, Cultural Resources Planner, primary author, all of whom meet or exceed the Secretary of the Interior's Professional Qualification Standards for Historic Architecture, Architectural History, or History.

Existing Historic Status

412 S. Pixley Street is a non-contributing building within both the Old Towne Orange Local Historic District, established in 1991, and the Old Towne Orange National Register Historic District, established in 1996. Chattel Architecture staff evaluated the existing Craftsman style residence at 412 S. Pixley Street using a DPR 523 form in March 2005 and November 2009 (**Appendix A**). Chattel found the property ineligible for listing in the National Register of Historic Places as an individual resource and as a contributing resource due to alterations since the time of original construction. The California Historical Resource Status Code (CHRSC) of "6L" was assigned to the property in the

DPR 523 forms, meaning “Determined ineligible for local listing or designation through the local government review process; may warrant special consideration in local planning.”³

Although the Chattel DPR did not specify the nature of alterations visible in 2009, the report photograph and comparison with Sanborn fire insurance maps suggests that an early full front porch across the primary (east) façade has been enclosed, the rear (west) slope of the roof changed to accommodate a rear addition, and the original exterior wood cladding replaced with stucco.

A comparison of the photograph in the 2009 DPR evaluation with current conditions reveals that additional alterations have been made to the residence since that date. These include the addition of a wood portico at the center of the primary (east) façade; removal of wood window surrounds and replacement of paired, hung wood windows with vinyl sliding windows with simulated divided lites on the primary (east) façade; removal of a window and infill of the window opening at the east end of the south façade; and the likely re-stuccoing of the house exterior. It is likely that the vinyl sliding windows now present on the north and south facades of the residence were also added after 2009.

³ California State Office of Historic Preservation Department of Parks and Recreation, *Technical Assistance Bulletin #8: User's Guide to the California Historical Resource Status Codes & Historical Resource Inventory Directory*, Sacramento, November 2004 (Status Codes updated March 1, 2020).

Property Description

The property at 412 S. Pixley Street is a rectangular 2,880-square-foot parcel located on the west side of the street between West Culver Avenue and West La Veta Avenue. It contains a one-story, 610-square-foot Craftsman style bungalow with a rectangular footprint, a 170-square-foot single-car garage, and a non-original wood-framed canopy between the two buildings. The backyard features a large concrete-paved patio adjacent to the house and a lawn planted with several fruit trees and low shrubbery. A driveway runs along the north side of the parcel to the garage. Wood fencing encloses the north, west, and south sides of the backyard behind the residence.

The one-story house has a cross-gable roof with exposed rafter tails, shallow eaves, a visible gable vent on its south side façade, and composite shingle roofing. The residence features stucco cladding, replacement vinyl sliding windows, and a single hung wood window at the rear. The residence's primary (east) façade faces S. Pixley Street and is symmetrically organized (**Figure 4**). The front doorway at the center of the façade has a metal security door and is flanked by sliding vinyl windows with simulated divided lites. A wood-framed shed-roof portico with square wood posts shelters the front door. A wood-framed shed-roof portico with square wood posts shelters the front door.



Figure 4: Primary (east) façade, view southwest.

The north façade faces the driveway and has three sliding vinyl windows (**Figure 5 and Figure 6**). A vertical-slat wood gate spans between the west end of the residence's north façade and the primary (east) façade of the garage.



Figure 5: East end of the north façade, view southwest.



Figure 6: West end of the north façade (left) and east façade of the garage (right), view southwest.

The residence's rear (west) façade faces the garage, patio, and backyard (**Figure 7**). The left (north) half of the façade features a partially-glazed wood door, covered by a wood screen door, with a rectangular wood-framed and screened opening to the door's right (south). The right (south) half of the façade steps back. It features an aluminum-framed sliding window on its left (north) end and a double-hung wood-framed sash window at its center.



Figure 7: Rear (west) façade (right), view east.

The south façade faces the neighboring driveway and house and has two vinyl sliding windows (**Figure 8 and Figure 9**). A wood-framed gable vent is visible at the center of the gable end.



Figure 8: East end of the south façade, view northwest.



Figure 9: East façade, view northwest.

The garage has a rectangular footprint, stucco cladding, and a flat roof with tile coping along the full length of its north façade and at the left (west) end of its south façade. The primary (east) façade faces the driveway with a pair of side-hinged vertical wood plank doors (**Figure 10**). The south façade of the garage faces the concrete patio (**Figure 11**). It features a wood panel door at its right (east) end with a window opening to the left (west) of the door, now covered with plywood. The rear (west) façade faces the backyard and has no openings. The north façade abuts a narrow undeveloped setback along the property line and has no openings.



Figure 10: East façade of the garage, view west.



Figure 11: West façade (left) and south façade (right) of the garage showing wood-framed patio roof, view northeast.

The north side of the backyard patio is shaded by a wood-framed shed-roof canopy (**Figure 11**). This structure is attached to the south façade of the garage and the west façade of the residence and is supported on its south side with square wood posts. The west end of the backyard is informally planted with lawn, a single large tree, one fruit tree, and low shrubs (**Figure 12 and Figure 13**).



Figure 12: Backyard, view west.



Figure 13: Backyard, view northwest.

The surrounding neighborhood is residential in character and is predominantly populated by one-story single-family residences with irregular setbacks from the sidewalk. The parcels immediately surrounding the subject property feature shallow front lawns and modest landscaping. Parcels along S. Pixley Street to the south are sited on larger parcels with deeper setbacks. The majority of houses represent Craftsman, Spanish Revival, Minimal Traditional, and Ranch styles with detached rear garages. The detached garages are generally located at the side and rear of their parcels at the end of a driveway, many placed against the rear property line. Several two-story multi-family buildings with attached garages, built in the mid- to late 20th century, are also interspersed along the block.

Proposed Project Description

The following proposed description is based on the scope of work described and illustrated in the drawing set for “Regalado Remodel, 412 S. Pixley Street, Orange, CA 92868” prepared by Architectural Design Solutions and received November 19, 2024 (**Figure 14 to Figure 18**). The full drawing set for the project is included in **Appendix B**.

Site

To prepare for construction, the proposed project will demolish the existing, non-original wood-framed shed-roof canopy and the concrete patio at the rear. It will relocate the existing 170-square

foot garage from its current position at the west end of the driveway on the north side of the house to the northwest rear corner of the parcel. The project will extend the existing driveway toward the west to meet the primary (east) façade of the relocated garage. The parcel's existing site fence, the lawn and entry walkway in front of the primary (east) façade, and the lawn and trees at the west end of the parcel will remain.

Existing Residence

The proposed project will renovate the exterior of the residence, retaining the original cross-gable roofline at the front and center of the house. The non-original shed-roof front portico will be removed. All existing windows, most of which are non-original vinyl sash windows, will be replaced with hung, wood or wood-clad sash windows. Divided-lite windows are proposed for the primary (east) elevation and for the north facade facing the residence's driveway. Square single-lite units and one divided-lite unit are proposed for the south façade facing the neighboring driveway. The existing, non-original front door and security gate will be replaced with a partially-glazed wood-panel entry door. The location and size of openings for the front door and windows will be changed to accommodate new fenestration on the primary (east) façade and on the side (north and south) facades. The residence will be clad with CertainTeed MainStreet 5" Dutchlap polymer or vinyl horizontal siding in a Granite Gray color with woodgrain finish with the appearance of wood lap siding. Roofing will consist of Owens Corning black onyx composition shingles. Doors, windows, fascia, and trim will be painted in a Sherwin Williams alabaster white.

Addition to Residence

The proposed project will demolish the rear (west) façade of the existing residence to construct a one-story, 340-square foot addition. The gabled addition will extend the north side facade 18'-10" to the west and the south side façade 22'-9" to the west. The proposed new rear (west) façade will feature a pair of glazed wood-frame doors at its center with a single hung, wood or wood-clad divided-lite window unit to the right (south) of the door opening. The addition's south façade will feature three hung, wood- or wood-clad divided-lite window units while the north façade will feature grouped square wood or wood-clad single-lite windows. The addition will use same siding, roofing, and painted doors, windows, fascia, and trim as the renovation of the existing residence to seamlessly integrate with the new materials on the extant residence.

Existing Garage

The proposed project will construct new concrete footings and a slab foundation at the northwest corner of the parcel and relocate and rehabilitate the existing garage at this new location. The proposed project will strip off the garage's current stucco cladding, retrofit the existing framing, and provide seismic bracing. The existing garage doors on the primary (east) façade will be repaired and

repainted painted and the door opening on the south façade will be fitted with a new, partially-glazed, wood panel door. The new garage cladding, roofing, door, window, and trim will match the new materials and finishes on the residence.

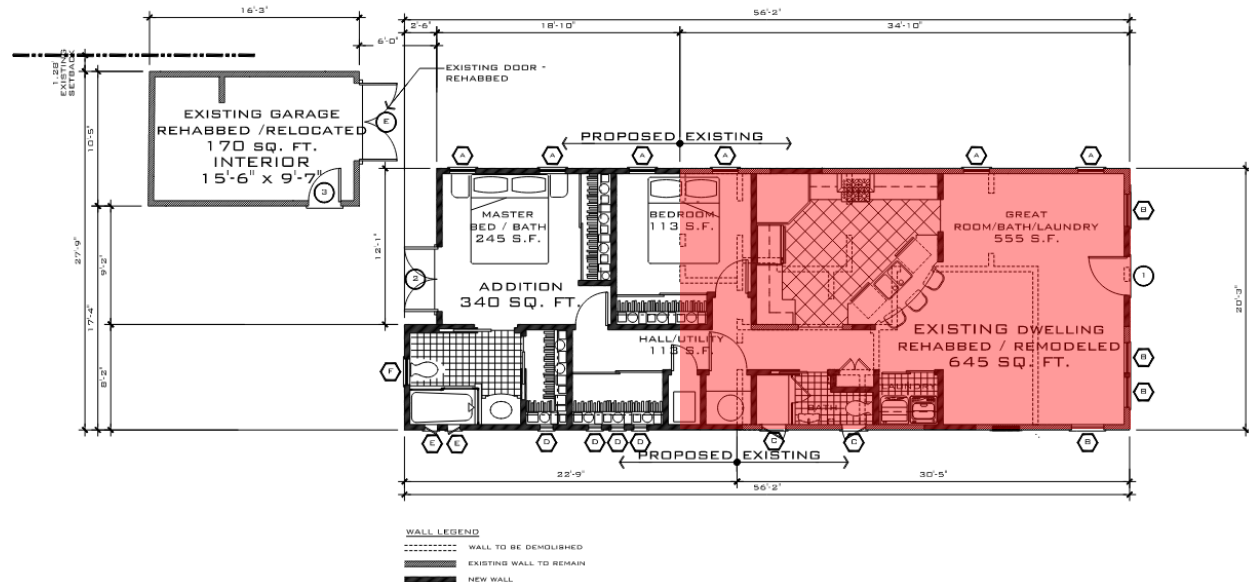


Figure 14: Proposed site plan. The footprint of the existing residence is shaded red. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-5 (November 19, 2024). Edited by Page & Turnbull.



Figure 15: Proposed primary (east) elevation with relocated garage at rear of property shown on the right. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6 (November 19, 2024).

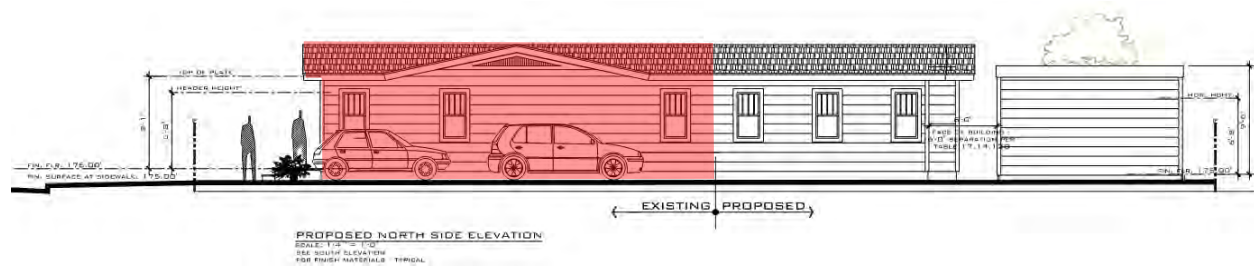


Figure 16: Proposed north elevation. The area of the existing residence is shaded red. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6. November 19, 2024. Edited by Page & Turnbull.

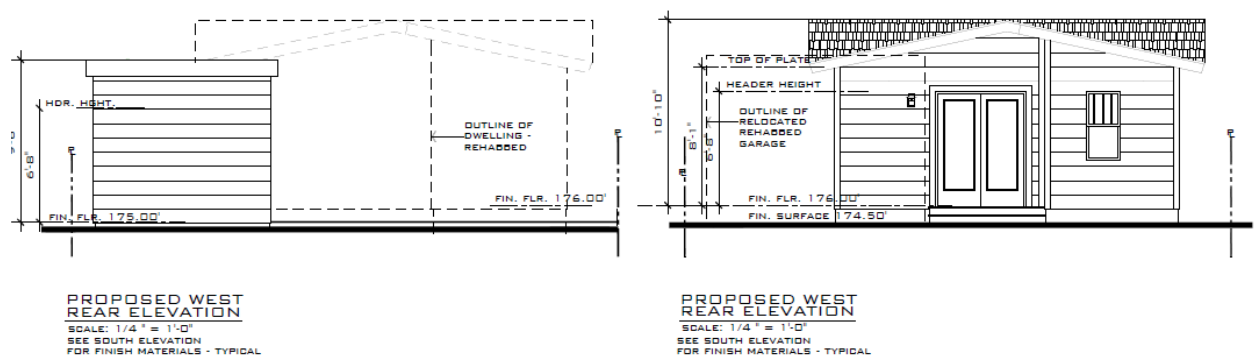


Figure 17: Proposed rear (west) elevation. Source: Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6. November 19, 2024.

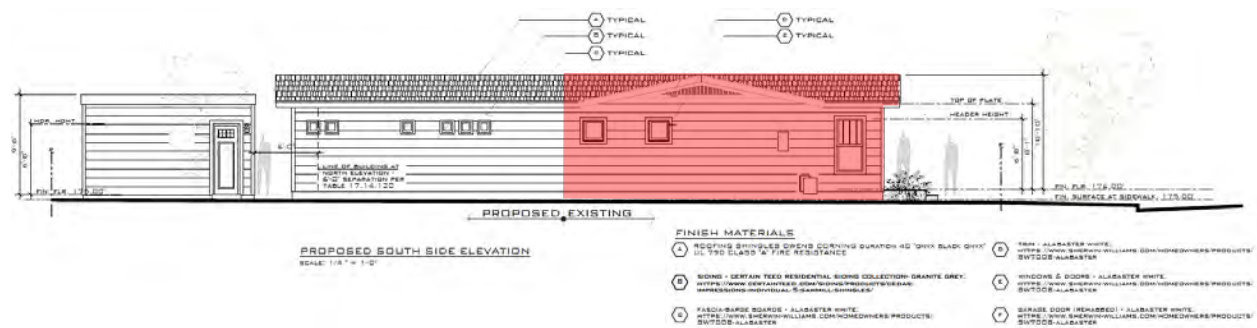


Figure 18: Proposed south elevation. The area of the existing residence is shaded red. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6. November 19, 2024. Edited by Page & Turnbull.

Structural Assessment of Extant Garage

Engineer Shucry Yaghi, PE, provided a structural assessment of the wood-frame garage in a report dated September 24, 2024 (**Appendix C**). He notes that the garage currently sits on a slab on grade, likely without footings, which is sinking below grade. It is built with two-by-four lumber, with later

two-by-four reinforcement to shore up a sagging roof. Shucri reports that there is evidence of dry rot at the exposed ends of the original two-by-four roof joists and likely dry rot at the lower sections of the studs and sill plates. Further, the extant window is covered with plywood and settling has made the existing man door difficult to close. Shucri concludes that the garage can be moved but will require new cladding in most areas, retrofitting of the existing framing, seismic upgrading, and new footings and slab. He recommends that, while relocation and rehabilitation is feasible, a new garage be constructed that will meet the planning department requirements. As currently proposed, the garage will be relocated.

Proposed Project Compliance Analysis

Since the subject property is a district non-contributor, the proposed project's sensitivity to the character of the Old Towne Orange National Register Historic District and the Old Towne Orange Local Historic District is reviewed in this section by considering Standard 9 of the *Secretary of the Interior's Standards for Rehabilitation*, as well as the "Standards for Non-Contributing Buildings in Historic Districts" in the City of Orange *Standards for Non-contributing Buildings in Historic Districts*.⁴

Secretary of the Interior's Standards for Rehabilitation: Standard 9

Rehabilitation Standard 9 focuses on designing new additions or alterations so that they will not negatively affect the integrity of a historic resource but will also remain different enough from the original to avoid false historicism. In the context of 412 S. Pixley Street, the following discussion considers the ability of the proposed project to remain compatible with the character of the broader Old Towne Orange National Register and the Old Towne Orange Local Historic Districts.

Rehabilitation Standard 9 - New additions, exterior alterations or related new construction will not destroy the historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.⁵

Discussion

The proposed project will retain the existing enclosed porch at the front of the extant residence and the original cross-gable roof. New polymer or vinyl horizontal siding with a wood-grain finish will replace non-original stucco cladding on the existing house and be used for the addition and garage.

⁴ "Standards for Non-Contributing Buildings in Historic Districts," *City of Orange Historic Preservation Design Standards*, (December 12, 2018), 49-50.

⁵ Secretary of the Interior's Standards for Rehabilitation, National Park Service U.S. Department of the Interior.

Most of the houses in the surrounding District are designed in the Craftsman style with examples of Spanish Revival, Minimal Traditional, and Ranch styles interspersed. The majority of the Craftsman houses feature horizontal board or board-like cladding with shingle roofs. Thus, the proposed project is compatible in cladding with properties that characterize the Old Towne Orange National Register and the Old Towne Orange Local Historic Districts.

The project will retain the form and appearance of the original cross gable from the front. It will remove the non-original west slope at the rear of the house and replace it with a gable roof covering the area behind the original cross gable and the new construction. Gabled and cross-gabled roofs are characteristic of the Craftsman residences in the Old Towne Orange National Register and the Old Towne Orange Local Historic Districts making the proposed design compatible with other homes in the neighborhood. The height of the roofs is also comparable to adjacent properties, as the addition is the same height as the existing residence.

The proposed fenestration consists of wood or wood-clad divided-lite windows, which will replace non-original vinyl sliding windows, and partially glazed wood-panel doors. These materials are also characteristic of the Craftsman residences in the neighborhood and Districts, and are more compatible than the existing windows, making this aspect of the proposed design compatible with the surrounding design context.

The proposed project retains its detached garage at the side and rear of the residence, a feature commonly found in the historic district. While the new construction will extend the residence to the rear, the addition will not be wider or higher than the existing residence. The depth of the new construction on the parcel and the position of the relocated garage is similar to the massing and siting of buildings on adjacent lots on S. Pixley Street and elsewhere in the district. While many neighboring properties have detached rear garages, their locations and setbacks are various, including some at the very rear of the lot, others toward the center, and some with openings not facing the street. The proposed project will not alter the driveway location or overall pattern of detached rear garages in the neighborhood and is thus compatible with the overall street character.

The proposed project design does not detract from the overall character of the street or historic district. Per Standard 9, the design is compatible with the historic materials, features, size, scale and proportions, and massing of other nearby properties in the Old Towne Orange National Register and the Old Towne Orange Local Historic Districts.

City of Orange Historic Preservation Design Standards: Standards for Non-Contributing Buildings in Historic Districts

The section on Standards for Non-Contributing Buildings in Historic Districts in the *City of Orange Historic Preservation Design Standards* provides specific guidance for projects like 412 S. Pixley Street:

“Although non-contributing buildings are not considered to be historic, they have an impact on the streetscape of the historic district and alterations or additions to these properties should be in keeping with the character of the neighborhood.”⁶

The following section states the Standards and provides a brief discussion of proposed project adherence to the Standards.

1 Non-contributing properties shall comply with the Standards for Historic Residential Buildings –Setting.⁷

The proposed project maintains the neighborhood’s common open space patterns, typical front and side-yard setbacks, and the property’s historic driveway location. The project will not replace extant paving or hardscape. The width of the driveway will not be changed, and the extension of the driveway will occur toward the rear of the property where it will be minimally visible from the street. The front yard will continue to be used for landscape. No front yard fencing will be installed, and the existing rear and side yard wood fences will be retained. The large mature trees on the parkway and at the southwest corner of the rear yard will be retained. No artificial turf is proposed for use on the site.

The proposed project adheres to Standard 1.

2 Non-contributing properties shall comply with the Standards for Historic Building Features – Mechanical Systems.⁸

The proposed project will not locate any mechanical equipment on the exterior of the residence and will not install any solar panels on the site or roof.

The proposed project adheres to Standard 2.

⁶ “Standards for Non-Contributing Buildings in Historic Districts,” *Historic Preservation Design Standards* (City of Orange, December 12, 2018), 49.

⁷ “Standards for Historic Residential Buildings – Setting,” *Historic Preservation Design Standards*, (City of Orange, December 12, 2018), 27-29.

⁸ “Standards for Historic Building Features – Mechanical Systems,” *Historic Preservation Design Standards*, (City of Orange, December 12, 2018), 25-26.

3 Front porches are a common feature of historic residences in Old Towne. Removing or infilling an existing front porch on a non-contributing building is generally not compatible with the Historic District.

The extant residence had a full-width front porch that was previously enclosed at an earlier date. The proposed project will not remove or change the existing enclosed porch. The project will remove a non-historic portico at the front door which was added to the façade after 2009.

The proposed project adheres to Standard 3.

4 The primary building should have a main entrance and façade oriented toward the street.

The proposed project retains the orientation of the main entrance and primary façade facing S. Pixley Street.

The proposed project adheres to Standard 4.

5 Windows and doors should be compatible with the building's predominant architectural style or with historic buildings in the Historic District.

The proposed project will replace non-original and incompatible vinyl sliding windows with hung, wood or wood-clad divided-lite window units on the primary (east), north, and rear (west) facades. The vertical orientation, pattern of lites, and wood material are compatible with the Craftsman style of the house and with those on surrounding historic houses. The south elevation facing the neighboring driveway will feature square wood-or wood-clad single-lite windows. These windows will be different from surrounding historic windows due to their shape but will be compatible in material and scale. The existing non-original doors will be replaced with partially glazed wood panel doors which are also compatible with the character of the historic district.

The proposed project adheres to Standard 5.

6 The use of traditional building materials found on historic buildings in the Historic District is encouraged for non-contributing buildings.

6a ***Exterior materials shall be compatible with the size, scale, design, texture, reflectivity, durability, and color of traditional materials used in the Historic District.***

The proposed project will clad the existing residence and new construction with CertainTeed MainStreet 5" Dutchlap polymer or vinyl horizontal siding in a Gray Granit color with woodgrain finish and Owens Corning black onyx composition shingle roofing, replacing non-original stucco siding. Wood or wood clad windows as well as wood doors, fascia, and trim will be painted in Sherwin Williams Alabaster White. These materials are generally compatible with the scale, design, texture, reflectivity, durability, and color of other Craftsman style buildings in the Historic District.

The proposed project adheres to Standard 6a.

6b ***Alternatives to traditional building materials may be considered if the alternative material is compatible with the building's predominant architectural style or with comparable contributing buildings in the Historic District.***

The contemporary materials of the proposed project are compatible with the horizontal cladding, hung windows, dark-toned shingle roofing, and wood trim that predominate on surrounding Craftsman houses of the same period in the Historic District.

The proposed project adheres to Standard 6b.

6c ***Vinyl windows are inappropriate for use on non-contributing buildings.***

The proposed project will use wood or wood clad windows, replacing existing non-original vinyl windows.

The proposed project adheres to Standard 6c.

7 ***The use of elaborate architectural details or ornamentation that is not compatible with the building's predominant architectural style or surrounding contributing buildings should be avoided.***

The proposed project does not add elaborate architectural detail or ornamentation to the residence.

The proposed project adheres to Standard 6c.

8 Additions to non-contributing buildings should be compatible with the mass, scale, and setbacks of the existing building and surrounding historic properties.

8a *Generally, an addition should be no larger than the existing width and height of the non-contributing building and should not exceed the dimensions of surrounding historic properties.*

The proposed project will retain the width and height of the non-contributing residence. The depth of the new addition and new garage location is similar to that of surrounding historic properties.

The proposed project adheres to Standard 8a.

8b *The prevailing pattern of setbacks on the street should be retained.*

The proposed project retains the setback of the existing residence which shares the setback of adjacent houses at the north end of S. Pixley Street. Detached garages in the historic district have a variety of rear setbacks and locations. The proposed relocated garage will retain the general pattern of rear, detached garages.

The proposed project adheres to Standard 8b.

8c *Simple roof forms that reflect the form of the non-contributing building and surrounding historic buildings are appropriate.*

The proposed project retains the extant residence's cross gable roof. The rear addition will be covered by a gable roof that integrates with and extends from the existing roof structure. Gable roof forms are compatible with the character of the surrounding historic buildings.

The proposed project adheres to Standard 8c.

8d *Second story additions to a one-story structure are discouraged. If proposed, a second story addition shall not cause a loss of privacy for surrounding properties*

and shall be compatible with the size, mass, and scale of properties on the same street.

The proposed project does not add a second story.

The proposed project adheres to Standard 8d.

8e *Conversion of attic space to habitable area within the existing roofline is encouraged. A half story addition may be appropriate, provided that the scale, size, and roof form are compatible with the streetscape.*

The proposed project does not convert attic space to habitable area as the property does not have an attic.

Standard 8e does not apply.

Overall, the proposed project adheres to all of the relevant guidelines in City of Orange “Standards for Non-Contributing Buildings in Historic Districts.” The following table summarizes the findings discussed above.

TABLE 1: ADHERENCE TO STANDARDS FOR NON-CONTRIBUTING BUILDINGS IN HISTORIC DISTRICTS

City of Orange Standards for Non-Contributing Buildings in Historic Districts⁹	Project Compliance with Standards
1: Non-contributing properties shall comply with the Standards for Historic Residential Buildings –Setting.	Adheres to Standard 1
2: Non-contributing properties shall comply with the Standards for Historic Building Features – Mechanical Systems.	Adheres to Standard 2
3: Front porches are a common feature of historic residences in Old Towne. Removing or infilling an existing front porch on a non-contributing building is generally not compatible with the Historic District.	Adheres to Standard 3
4: The primary building should have a main entrance and façade oriented toward the street.	Adheres to Standard 4
5: Windows and doors should be compatible with the building’s predominant architectural style or with historic buildings in the Historic District.	Adheres to Standard 5

⁹ “Standards for Non-Contributing Buildings in Historic Districts,” *Historic Preservation Design Standards*, (City of Orange, December 12, 2018), 49-50.

City of Orange Standards for Non-Contributing Buildings in Historic Districts⁹	Project Compliance with Standards
6: The use of traditional building materials found on historic buildings in the Historic District is encouraged for non-contributing buildings.	---
6a: Exterior materials shall be compatible with the size, scale, design, texture, reflectivity, durability, and color of traditional materials used in the Historic District.	Adheres to Standard 6a
6b: Alternatives to traditional building materials may be considered, if the alternative material is compatible with the building's predominant architectural style or with comparable contributing buildings in the Historic District.	Adheres to Standard 6b
6c: Vinyl windows are inappropriate for use on non-contributing buildings.	Adheres to Standard 6c
7: The use of elaborate architectural details or ornamentation that is not compatible with the building's predominant architectural style or surrounding contributing buildings should be avoided.	Adheres to Standard 7
8: Additions to non-contributing buildings should be compatible with the mass, scale, and setbacks of the existing building and surrounding historic properties.	---
8a: Generally, an addition should be no larger than the existing width and height of the non-contributing building and should not exceed the dimensions of surrounding historic properties.	Adheres to Standard 8a
8b: The prevailing pattern of setbacks on the street should be retained.	Adheres to Standard 8b
8c: Simple roof forms that reflect the form of the non-contributing building and surrounding historic buildings are appropriate.	Adheres to Standard 8c
8d: Second story additions to a one-story structure are discouraged. If proposed, a second story addition shall not cause a loss of privacy for surrounding properties and shall be compatible with the size, mass, and scale of properties on the same street.	Adheres to Standard 8d
8e: Conversion of attic space to habitable area within the existing roofline is encouraged. A half story addition may be appropriate, provided that the scale, size, and roof form are compatible with the streetscape.	N/A Building does not have an attic.

Conclusion

As the above analysis demonstrates, the proposed project, as currently designed, complies with general guidance provided by Standard 9 of the *Secretary of the Interior's Standards for Rehabilitation*. Page & Turnbull finds the project also complies with the City of Orange "Standards for Non-Contributing Buildings in Historic Districts."

APPENDICES

Appendix A – 2009 DPR Form, 412 S. Pixley Street

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #

HRI # 112374

Trinomial ORA

NRHP Status Code 6L

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 412 - S PIXLEY ST , # City: Orange Zip: 92868

d. UTM: (Give more than one for large and/or linear resources) Zone ' mE/ mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Stucco or plaster

Non-contributor to National Register due to alterations.

*P3b. Resource Attributes: (HP2)--Single family property
(List attributes and codes)

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☒ Element of District ☐ District ☐ Other (Isolates, etc.)



P5b. Description of Photo: 2005
(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1923

☒ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto; J. Snow

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded:

March, 2005; November, 2009

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update.

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet(s) ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

112374

*NRHP Status Code

6L

Page 2 of 3

*Resource Name or #:

(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES

B4. Present Use:

RES

*B5. Architectural Style: Bungalow

*B6. Construction History: (Construction date, alterations, and date of alterations)

Date of Construction: 1923



Historic



Prehistoric



Both

Significant alterations. Altered as of 2005: Applied stucco; Infilled/altered porch; and Roof.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture

Area: City of Orange

Property Type: Residence

Period of Significance: Old Towne: Interwar Development (c. 1921 - 1941)

Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: High level of alteration.

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: November, 2009

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #

HRI # 112374

Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

Recorded by:

D. Gest, P. LaValley, D. Matsumoto; J. Snow
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: March, 2005; November, 2009

☒ Continuation ☐ Update

Years Surveyed: 1991, 2005

Description of Photo: 1991

Listed in National Register: 1997

General Plan: LDR # of Buildings: 1

Planning Zone: R-3 # of Stories: 1

Lot Acre: 0.0656 # of Units: 1

Principal Building Sqft: 650

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

Appendix B – Proposed Project Drawing Set for “Regalado Remodel, 412 S. Pixley Street, Orange, CA 92868” prepared by Architectural Design Solutions (November 19, 2024)

REGALADO REMODEL
412 S. PIXLEY ST.
ORANGE, CA. 92868
NOVEMBER - 2024

ARCHIECTURAL DESIGN SOLUTIONS
CONTACT:
MARK S. DWYER, ARCHITECT NCARB
ADDRESS:
PO BOX 1392
WRIGHTWOOD, CA. 92397
TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

412 S. PIXLEY ST.
ORANGE, CA. 92868

ASSESSOR'S PARCEL NUMBER:
APN 041-141-24
TRACT 545 / LOT 24

GENERAL PLAN LAND USE:
RESIDENTIAL

ZONING:
R1-6

LAND USE:
LOW DENSITY RESIDENTIAL

LOT SIZE:
2,880 SQ. FT. (.066 AC)

FLOOR AREA:
EXISTING:
645 SQ. FT. DWELLING
170 SQ. FT. GARAGE
PROPOSED:
985 SQ. FT. DWELLING
170 SQ. FT. GARAGE

DENSITY:
1/.066

PROPERTY LINES:
NO CHANGE

BUILDING CODE:
CALIFORNIA RESIDENTIAL CODE 2022 EDITION
TYPE VN CONSTRUCTION
R-3 OCCUPANCY
ONE UNIT TWO BEDROOMS

SCOPE OF WORK
1. REHAB THE EXISTING DWELLING
1.1. UPGRADE ALL UTILITY SYSTEMS
1.2. REMODEL - REDO ENTIRE INTERIOR
1.3. UPGRADE DWELLING EXTERIOR - EXTERIOR WALLS / ROOF
2. ADD TWO BEDROOMS / TWO BATHS
3. RELOCATE EXISTING GARAGE - REHAB INTERIOR AND EXTERIOR
4. RELANDSCAPE YARD

FLOOR AREA RATIO STUDY FOR THE 400 BLOCK OF SOUTH PIXLEY STREET BETWEEN WEST CULVER AVENUE
AND WEST LA VETA AVENUE CITY OF ORANGE, CALIFORNIA 92868

TOTALS
(12) C / (13) NC = 30.25% (E) FAR / (12) C / (13) NC = 30.75% (P) FAR
(12) C = 28.5% (E) FAR / (12) C = 28.5% (P) FAR

SUB-STANDARD LOTS - 2,880 SF.
(2) C / (1) NC = 34% (E) FAR / (2) C = 37.5% (E) FAR
(2) C / (1) NC = 38% (P) FAR / (2) C = 37.5% (P) FAR

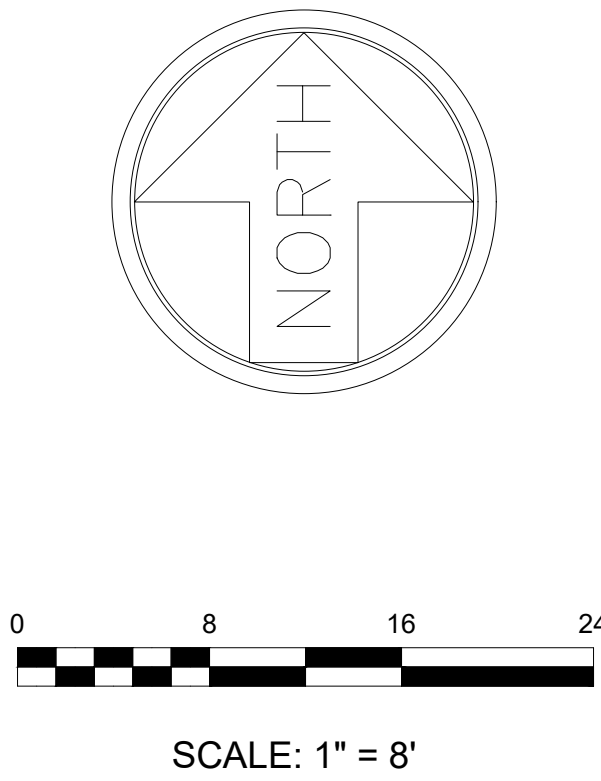
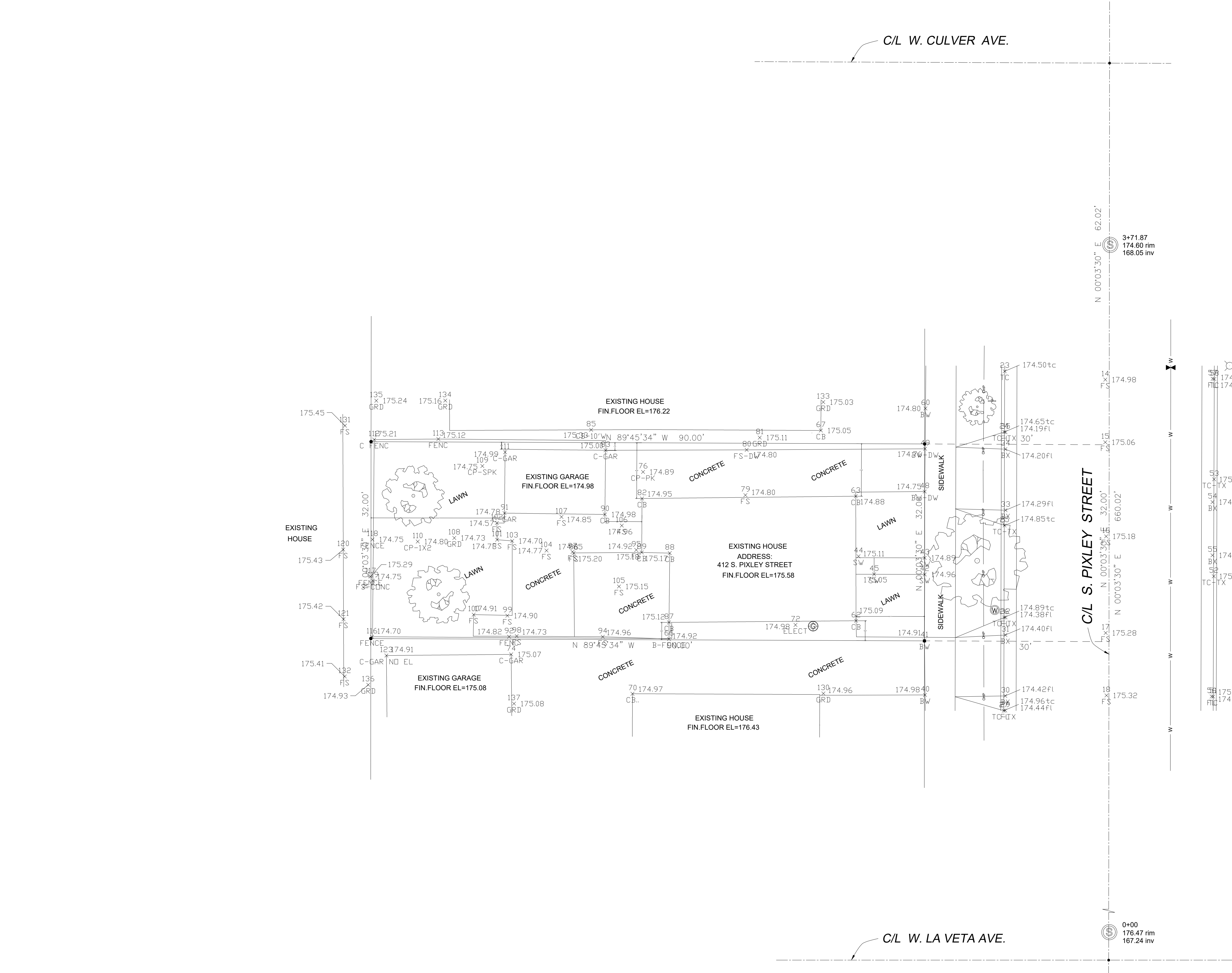
SUB-STANDARD LOTS - 2,112 SF.
(2) C = 68% (E) FAR / (2) C = 68% (P) FAR

SUB-STANDARD LOTS - COMBINED
(4) C / (1) NC = 48% (E) FAR / (4) C = 52.75% (E) FAR
(4) C / (1) NC = 50% (P) FAR / (4) C = 52.75% (P) FAR

SHEET INDEX

- T1 - TITLE SHEET
- S1 - SURVEY
- S-2 - FLOOR AREA RATIO ANALYSIS
- S-3 - SITE PLAN - 100 FOOT RADIUS
- A1 - EXISTING SITE / ROOF PLAN
- A2- EXISTING FLOOR PLAN
- A2A - DEMOLITION PLAN
- A3 - EXISTING EXTERIOR ELEVATIONS
- A4 - PROPOSED SITE / ROOF PLAN
- A5 - PROPOSED FLOOR PLAN
- A6 - PROPOSED EXTERIOR ELEVATIONS
- A6A - PROPOSED EXTERIOR FINISHES / WINDOWS
- A6B - PROPOSED EXTERIOR DOORS
- A6C - EXTERIOR ELEVATION COMPARISON E/P
- A6D - EXTERIOR ELEVATION COMPARISON E/P
- A6E - EXTERIOR ELEVATION COMPARISON E/P
- A7 - SITE PHOTOS
- A7A - SITE PHOTOS
- A8 - EXTERIOR ELEVATIONS - COLORED

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
T-1
ARCHITECTURAL DESIGN SOLUTIONS

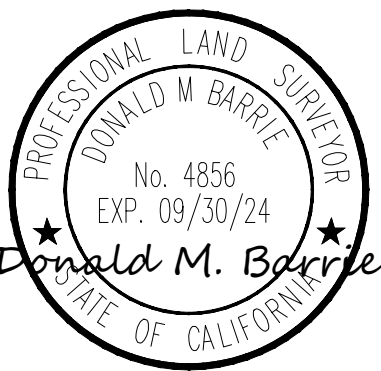


LEGEND

These standard symbols will be found in the drawing.

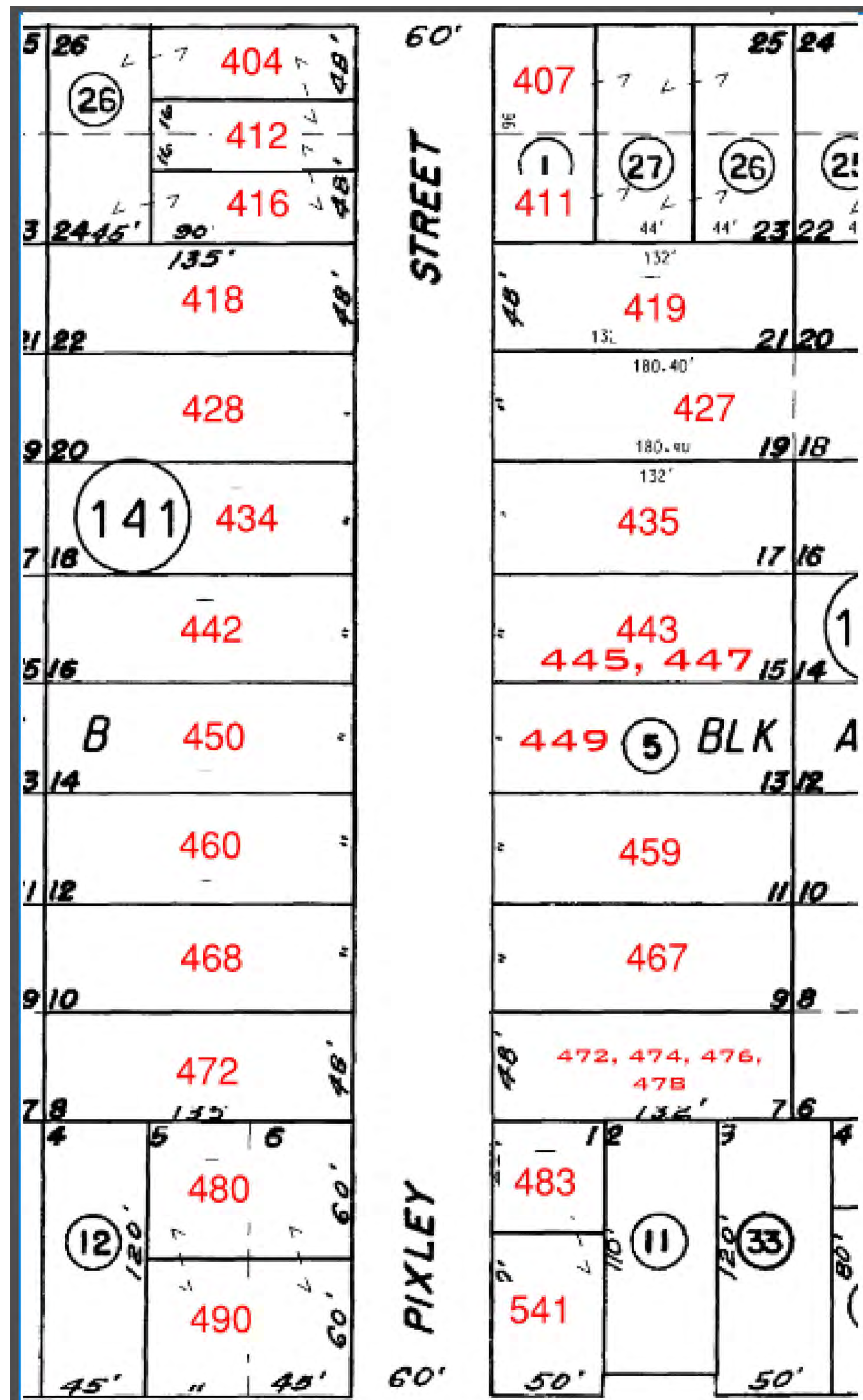
- WATER METER
- SIGN
- SEWER MAN HOLE
- GAS METER
- FIRE HYDRANT
- WATER VALVE

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868



S-1

<p>BASIS OF BEARINGS: THE CENTERLINE OF PIXLEY STREET SHOWN AS N 0°03'30" W PER TRACT MAP 545, M.M. 18/11</p>		<p>LEGAL DESCRIPTION: THE SOUTH 16 FEET OF THE EAST 90 FEET OF LOT 26 AND THE NORTH 16 FEET OF THE EAST 90 FEET OF LOT 24, IN BLOCK B OF TRACT NO. 545, LA VETA HOME TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 18, PAGE 11 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY</p>		<p>PREPARED BY: DON BARRIE & ASSOCIATES LAND SURVEYORS 1240 B N. JEFFERSON STREET ANAHEIM, CA.</p>		<p>PREPARED FOR: ALONSO REGALADO 412 S. PIXLEY STREET ORANGE, CA.</p>		<p>TOPOGRAPHIC SURVEY</p>									
<p>BENCH MARK: O.C.S. B.M. 1E-105-83 FOUND 3 3/4" DISC STAMPED "1E-105-83" IN THE NORTHWEST CORNER OF A CATCH BASIN LOCATED AT THE SOUTHEASTERLY CORNER OF LEMON STREET AND LA VETA AVENUE ELEV.= 183.693(ft) NAVD88</p>		<p>LOT AREA: 2,880 sq.ft. 0.066 ac.</p>						<table><tr><td>DRAWN D.B.</td><td>DATE 1/8/2024</td><td rowspan="2">412 S. PIXLEY ST. ORANGE, CA</td></tr><tr><td>APPROVED D.B.</td><td>DATE 1/13/2024</td></tr><tr><td>SCALE 1" = 8'</td><td>SHEET 1 of 1</td><td>PROJECT NO.</td></tr></table>		DRAWN D.B.	DATE 1/8/2024	412 S. PIXLEY ST. ORANGE, CA	APPROVED D.B.	DATE 1/13/2024	SCALE 1" = 8'	SHEET 1 of 1	PROJECT NO.
DRAWN D.B.	DATE 1/8/2024	412 S. PIXLEY ST. ORANGE, CA															
APPROVED D.B.	DATE 1/13/2024																
SCALE 1" = 8'	SHEET 1 of 1	PROJECT NO.															



FLOOR AREA RATIO STUDY FOR THE 400 BLOCK OF SOUTH PIXLEY STREET BETWEEN WEST CULVER AVENUE AND WEST LA VETA AVENUE CITY OF ORANGE, CALIFORNIA 92868
PROPERTY SQ. FT. TAKEN FROM PropertyRec.com

ADDRESS	LOT SQ. FT.	LIVING SF.	GARAGE SF.	TOTAL SF.	CALCULATION	FLOOR AREA RATIO
WEST SIDE						
C 404	2,880 SF.	959 SF.	216 SF.	1,175 SF.	1,175/2880 = .333	41%
NC 412	2,880 SF.	645 SF. (E)	170 SF.	815 SF.	815/2880 = .282	28%(E)
	2,880 SF.	985 SF. (P)	170 SF.	1,155 SF.	1,155/2880 = .401	40%(P)
C 416	2,880 SF.	708 SF.	260 SF.	968 SF.	968/2880 = .336	34%
NC 418	6,480 SF.	1,044 SF.	360 SF.	1,404 SF.	1,404/6480 = .2161	22%
C 428	6,480 SF.	840 SF.	320 SF.	1,160 SF.	1,160/6480 = .179	18%
C 434	6,480 SF.	948 SF.	324 SF.	1,272 SF.	1,272/6480 = .196	20%
C 442	6,480 SF.	766 SF.	170 SF.	936 SF.	936/6480 = .144	14%
C 450	6,480 SF.	1,000 SF.	192 SF.	1,192 SF.	1,192/6480 = .183	18%
C 460	6,480 SF.	1,174 SF.	360 SF.	1,534 SF.	1,534/6480 = .236	24%
NC 468	6,480 SF.	766 SF.	170 SF.	936 SF.	936/6480 = .144	14%
NC 472-8	6,534 SF.	3,100 SF. (4 UNITS - 472, 474, 476 & 478)		3,100/6534 = .474		47%
NC 480	5,400 SF.	932 SF.	280 SF.	1,212 SF.	1,212/5400 = .224	22%
NC 490	5,400 SF.	855 SF.	290 SF.	1,145 SF.	1,145/5400 = .212	21%

SUMMARY
(7) C / (6) NC = 25% (E) FAR / (7) C / (6) NC = 26% (P) FAR
(7) C = 24% (E) FAR / (7) C = 24% (P) FAR

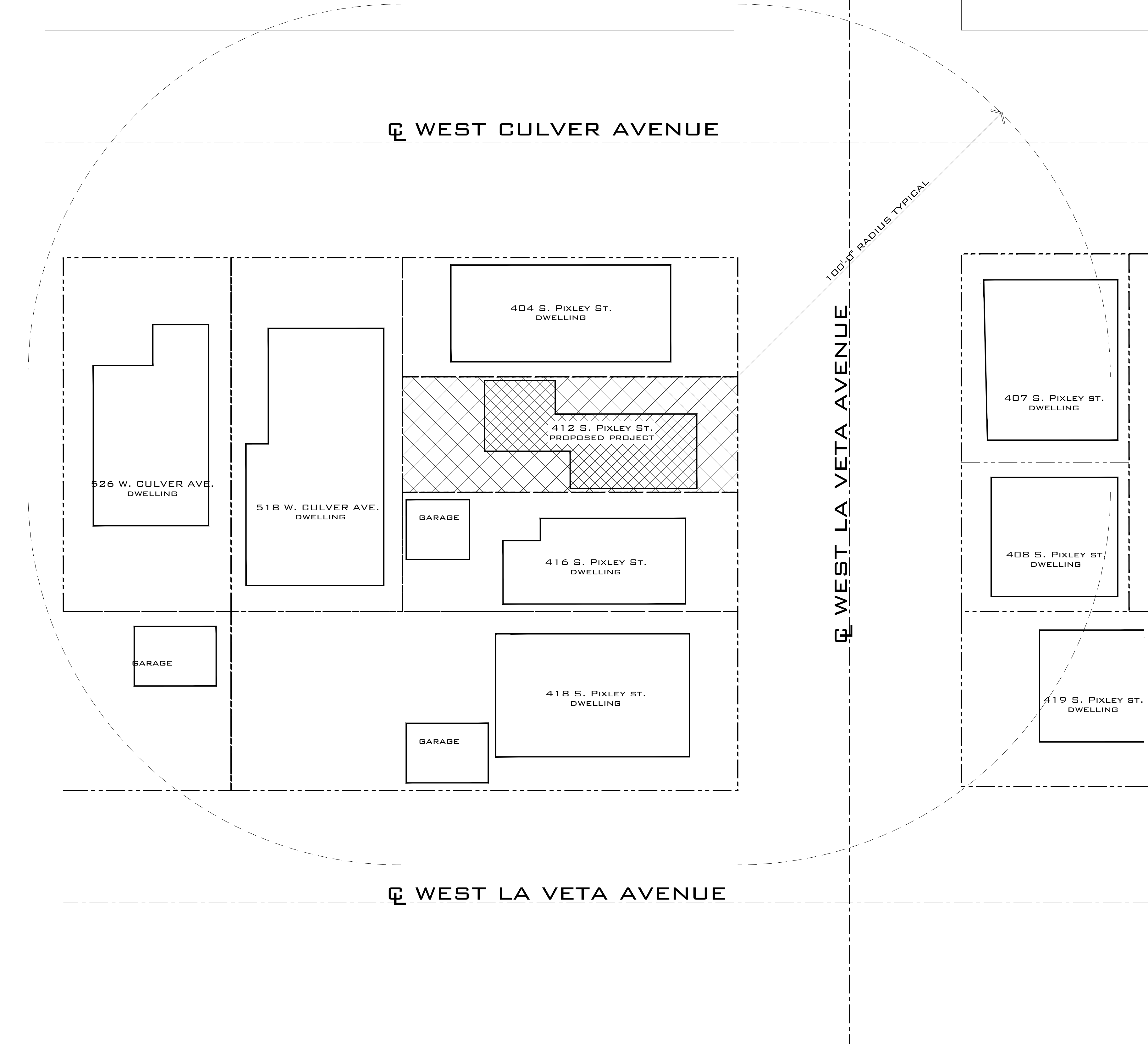
SUB-STANDARD LOTS - 2,880 SF.
(2) C / (1) NC = 34% (E) FAR / (2) C = 37.5% (E) FAR
(2) C / (1) NC = 38% (P) FAR / (2) C = 37.5% (P) FAR

FLOOR AREA RATIO STUDY FOR THE 400 BLOCK OF SOUTH PIXLEY STREET BETWEEN WEST CULVER AVENUE AND WEST LA VETA AVENUE CITY OF ORANGE, CALIFORNIA 92868
PROPERTY SQ. FT. TAKEN FROM PropertyRec.com - (407 & 411 from City records)

ADDRESS	LOT SQ. FT.	LIVING SF.	GARAGE SF.	TOTAL SF.	CALCULATION	FLOOR AREA RATIO
EAST SIDE						
NC 541						
W. La Veta	3,500 SF.	1,070 SF.	200 SF.	1,270 SF.	1,270/3,500 = .362	36%
NC 483	2,500 SF.	1,304 SF.	376 SF.	1,680 SF.	1,680/2500 = .672	67%
NC 475	6,336 SF.	1,081 SF.	288 SF.	1,369 SF.	1,369/6336 = .216	21%
C 467	6,336 SF.	1,272 SF.	288 SF.	1,560 SF.	1,560/6336 = .246	24%
C 459	6,336 SF.	936 SF.	348 SF.	1,324 SF.	1,324/6336 = .208	20%
NC 449	6,336 SF.	857 SF.	360 SF.	1,217 SF.	1,217/6336 = .192	19%
NC 3 UNITS						
443/445/447	6,336 SF.	2,868 SF.	INCLUSIVE	2,868 SF.	2,868/6336 = .452	45%
C 435	6,336 SF.	936 SF.	170 SF.	1,106 SF.	1,106/6336 = .174	17%
NC 427	8,659 SF.	796 SF.	360 SF.	1,156 SF.	1,156/8659 = .133	13%
NC 419	6,534 SF.	1,841 SF.	INCLUSIVE	1,184 SF.	1,841/6534 = .142	28%
C 411	2,112 SF.	1,435 SF.	INCLUSIVE	1,435 SF.	1,435/2112 = .679	68%
C 407	2,112 SF.	1,435 SF.	INCLUSIVE	1,435 SF.	1,435/2112 = .679	68%

SUMMARY
(5) C / (7) NC = 35.5% (E) FAR / (5) C / (7) NC = 35.5% (P) FAR
(6) C = 33% (E) FAR / (6) C = 33% (P) FAR
SUB-STANDARD LOTS - 2,112 SF.
(2) C = 68% (E) FAR / (2) C = 68% (P) FAR

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS



ARCHIECTURAL DESIGN SOLUTIONS
CONTACT:
MARK S. DWYER, ARCHITECT NCARB
ADDRESS:
PO BOX 1392
WRIGHTWOOD, CA. 92397
TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

412 S. PIXLEY ST.
ORANGE, CA. 92868

ASSESSOR'S PARCEL NUMBER:
APN 041-141-24
TRACT 545 / LOT 24

GENERAL PLAN LAND USE:
RESIDENTIAL

ZONING:
R1-6

LAND USE:
LOW DENSITY RESIDENTIAL

LOT SIZE:
2,880 SQ. FT. (.066 AC)

FLOOR AREA:
EXISTING:
645 SQ. FT. DWELLING
170 SQ. FT. GARAGE
PROPOSED:
985 SQ. FT. DWELLING
170 SQ. FT. GARAGE

DENSITY:
1/.066

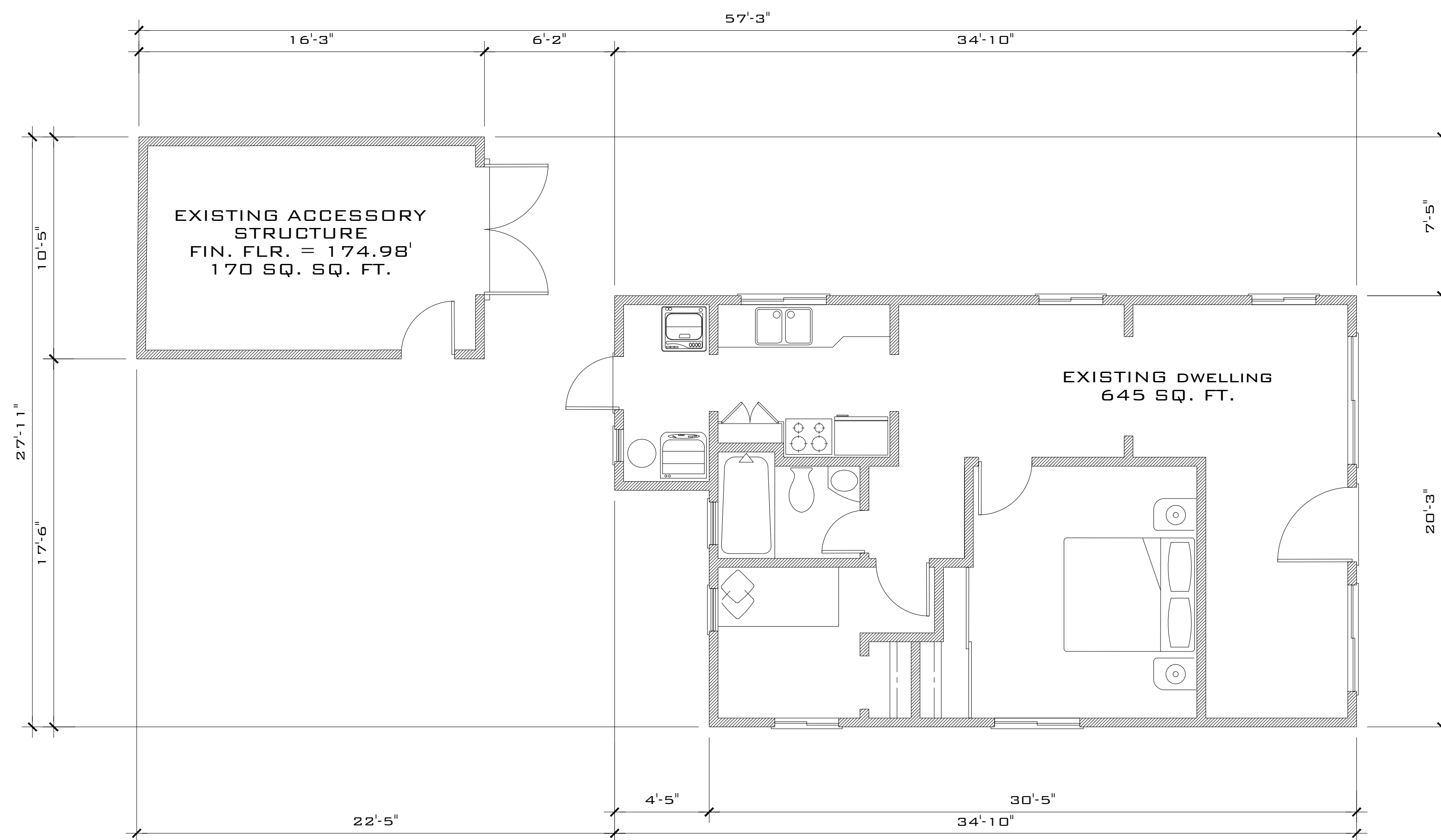
PROPERTY LINES:
NO CHANGE

BUILDING CODE:
CALIFORNIA RESIDENTIAL CODE 2022 EDITION
TYPE VN CONSTRUCTION
R-3 OCCUPANCY
ONE UNIT TWO BEDROOMS

EXISTING SITE / 100 FT RADIUS
SCALE: 1/16" = 1'-0"

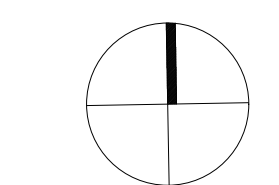


REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
S-3



EXISTING FLOOR PLAN

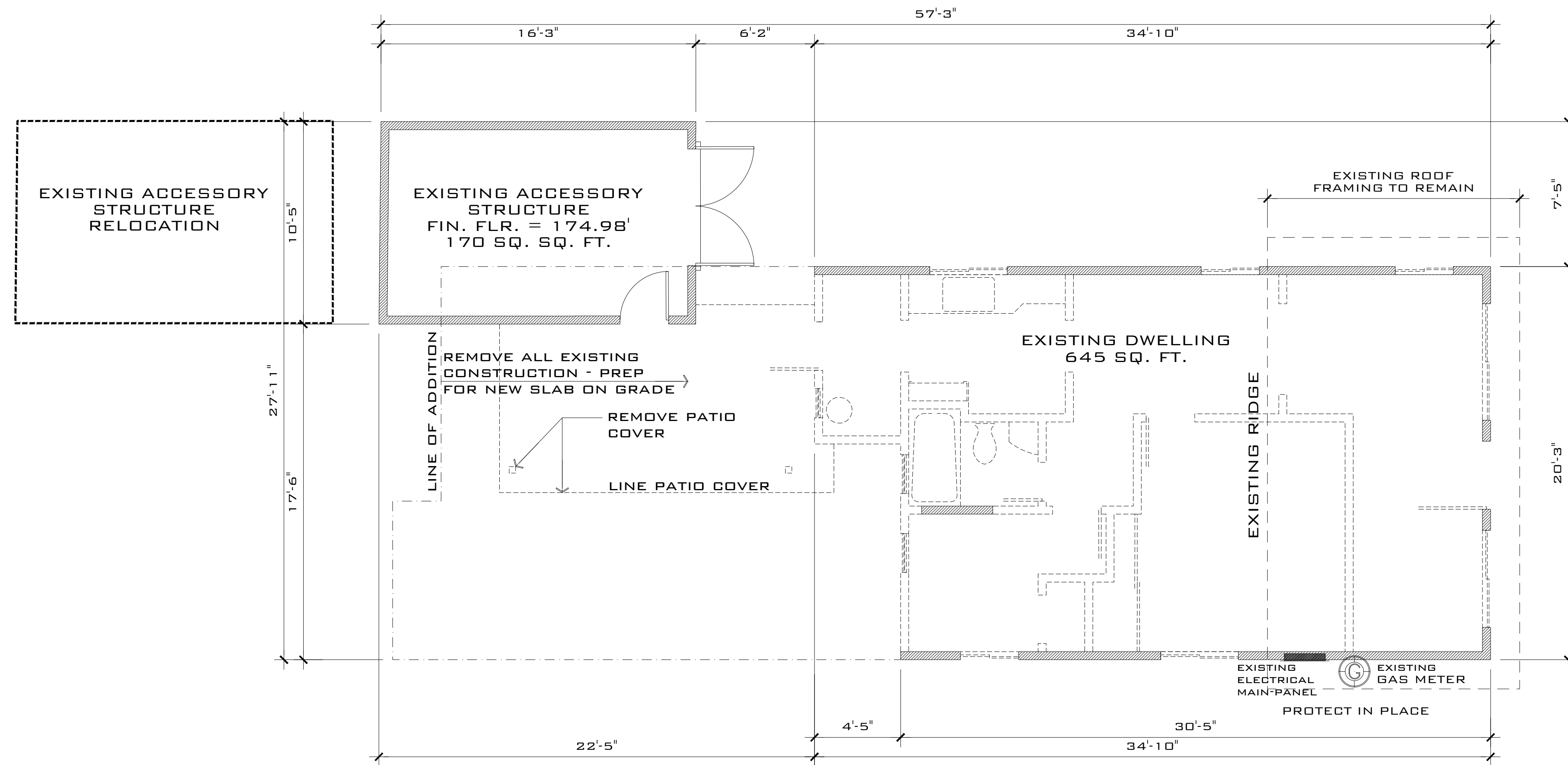
SCALE: 1/4" = 1'-0"



PLAN
NORTH



REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
A-2 ARCHITECTURAL DESIGN SOLUTIONS



WALL LEGEND

----- WALL TO BE DEMOLISHED

===== EXISTING WALL TO REMAIN

ALL GAS LINES / FIXTURES
TO BE REMOVED

ALL WATER LINES / FIXTURES
TO BE REMOVED

ALL ELECTRICAL CONDUITS /
FIXTURES TO BE REMOVED

ALL EXTERIOR WINDOWS TO
BE REMOVED

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

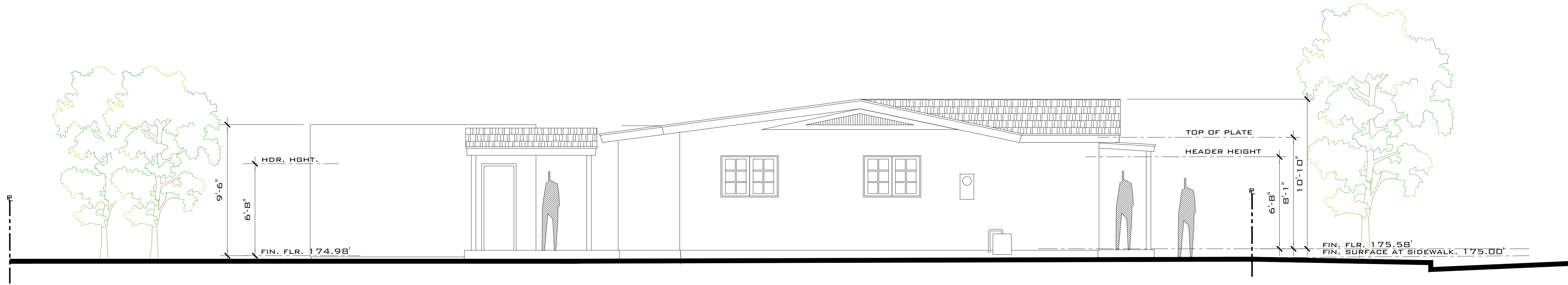


15' 5' 0'

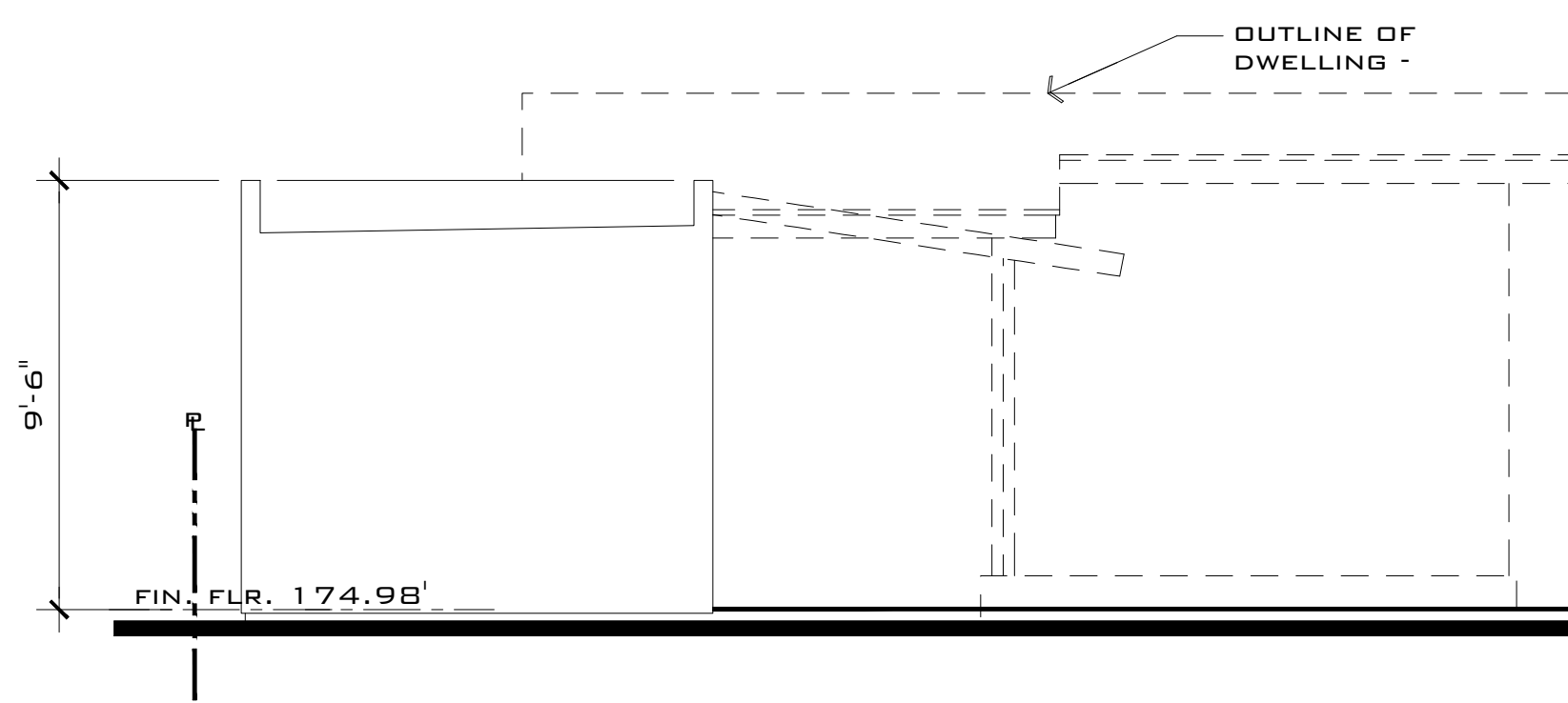
A-2A

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868

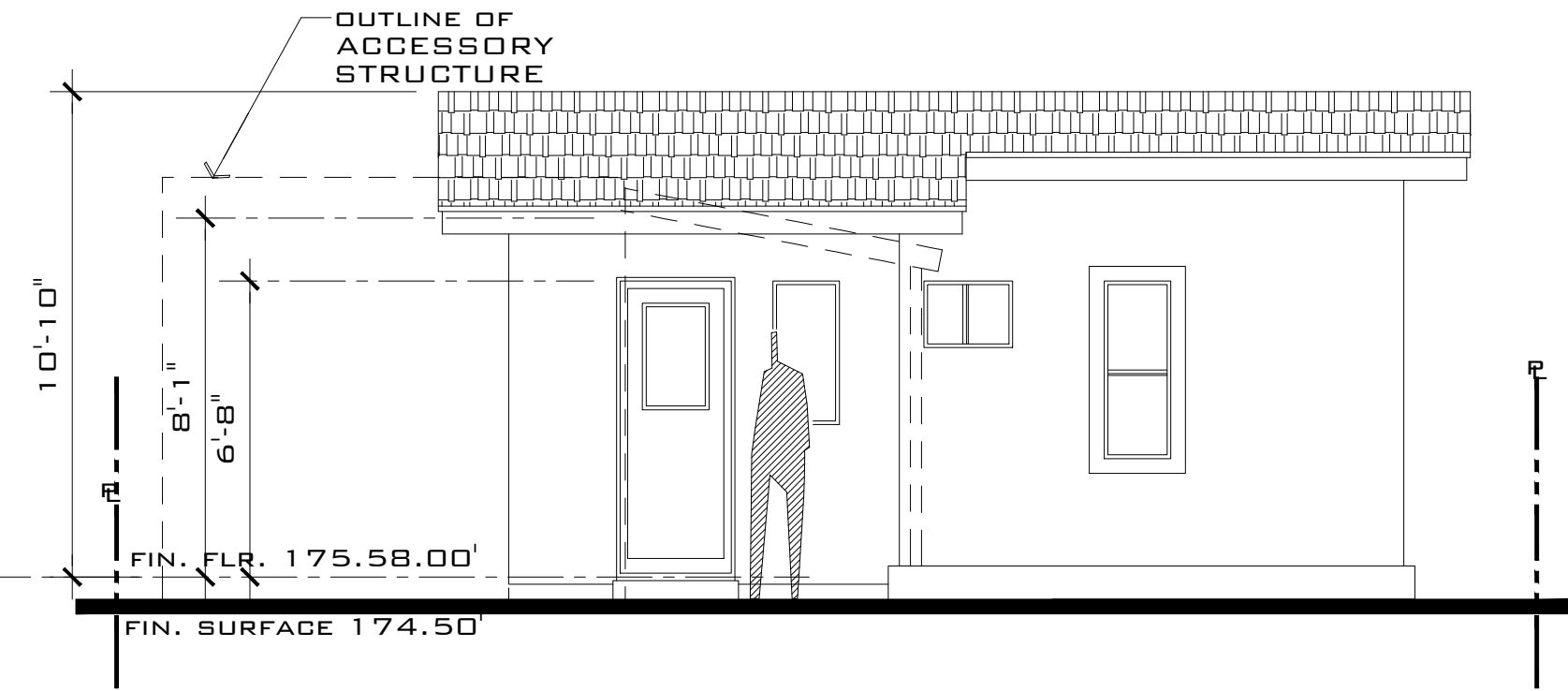
ARCHITECTURAL DESIGN SOLUTIONS



EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



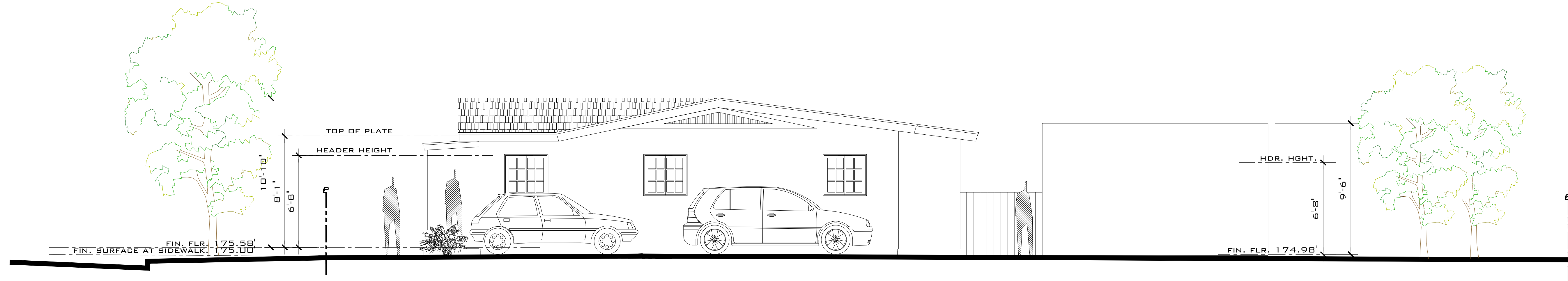
EXISTING WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



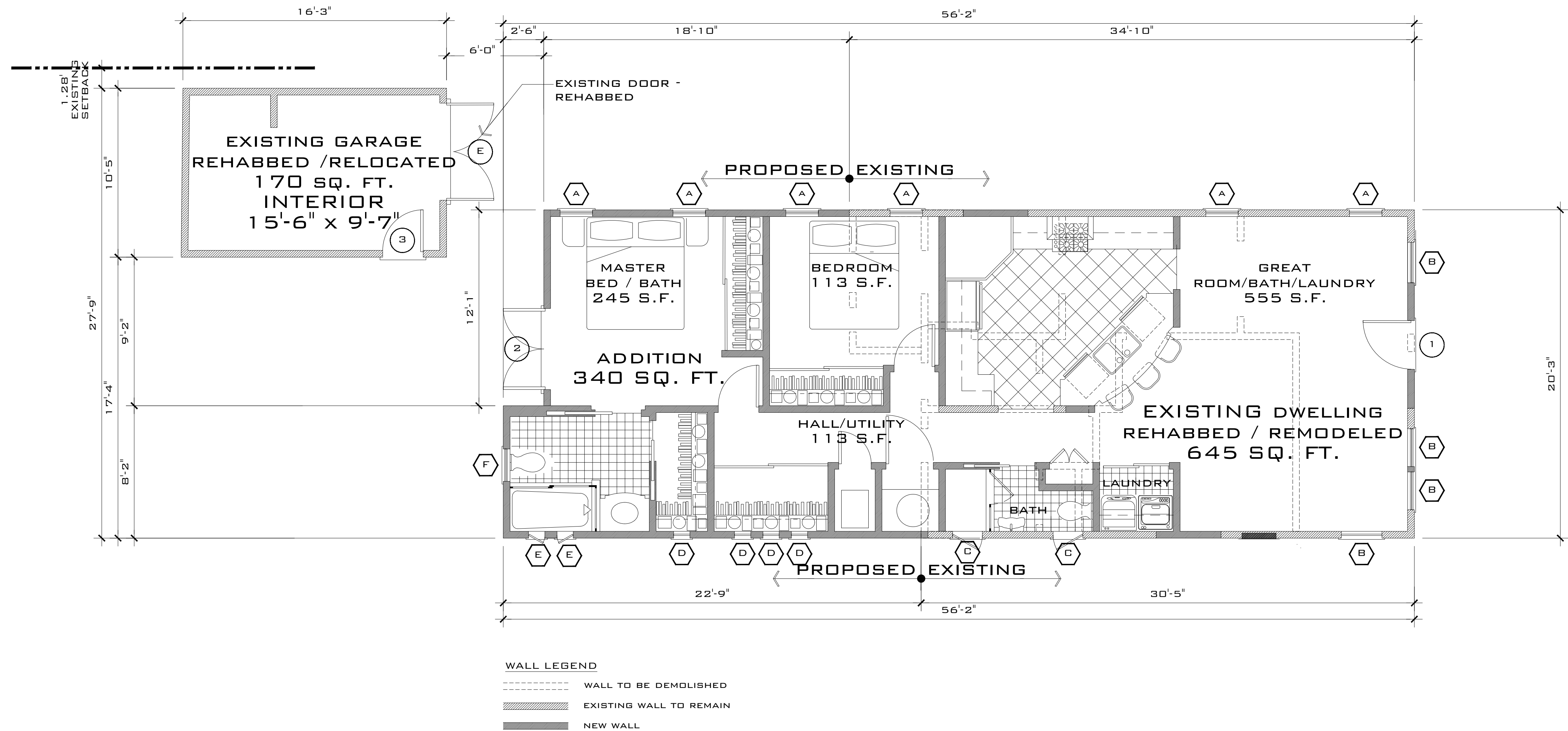
EXISTING EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92668
A-3 ARCHITECTURAL DESIGN SOLUTIONS

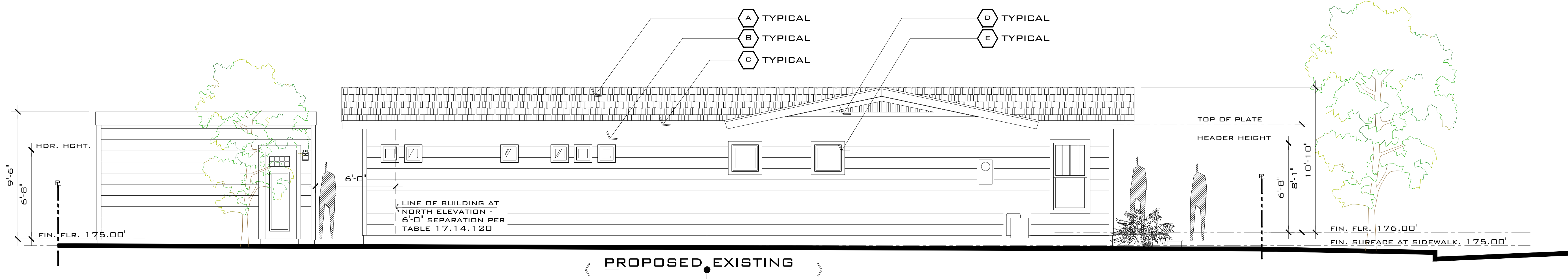
WINDOW SCHEDULE					
MARK	QUANTITY	SIZE	OPERATION	FRAME	REMARKS
<div><div>A</div></div>	6	2'-0" x 4'-0"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A
<div><div>B</div></div>	4	2'-6" x 4'-0"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A
<div><div>C</div></div>	2	2'-0" x 2'-0"	CASEMENT	WOOD EXT WOOD INT	SEE SHEET A-6A
<div><div>D</div></div>	4	1'-0" x 1'-0"	FIXED	WOOD EXT WOOD INT	SEE SHEET A-6A
<div><div>E</div></div>	2	1'-0" x 1'-0"	CASEMENT	WOOD EXT WOOD INT	SEE SHEET A-6A
<div><div>F</div></div>	1	2'-0" x 3'-6"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A
DOOR SCHEDULE					
MARK	QUANTITY	SIZE	TYPE	MATERIAL	
<div><div>1</div></div>	1	3'-0" x 6'-8"	SWING	WOOD/GLASS	SEE SHEET A-6B
<div><div>2</div></div>	1	5'-0" x 6'-8"	DBL DOOR SWING	WOOD/GLASS	SEE SHEET A-6B
<div><div>3</div></div>	1	2'-6" x 6'-8"	SWING	WOOD/GLASS	SEE SHEET A-6B



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

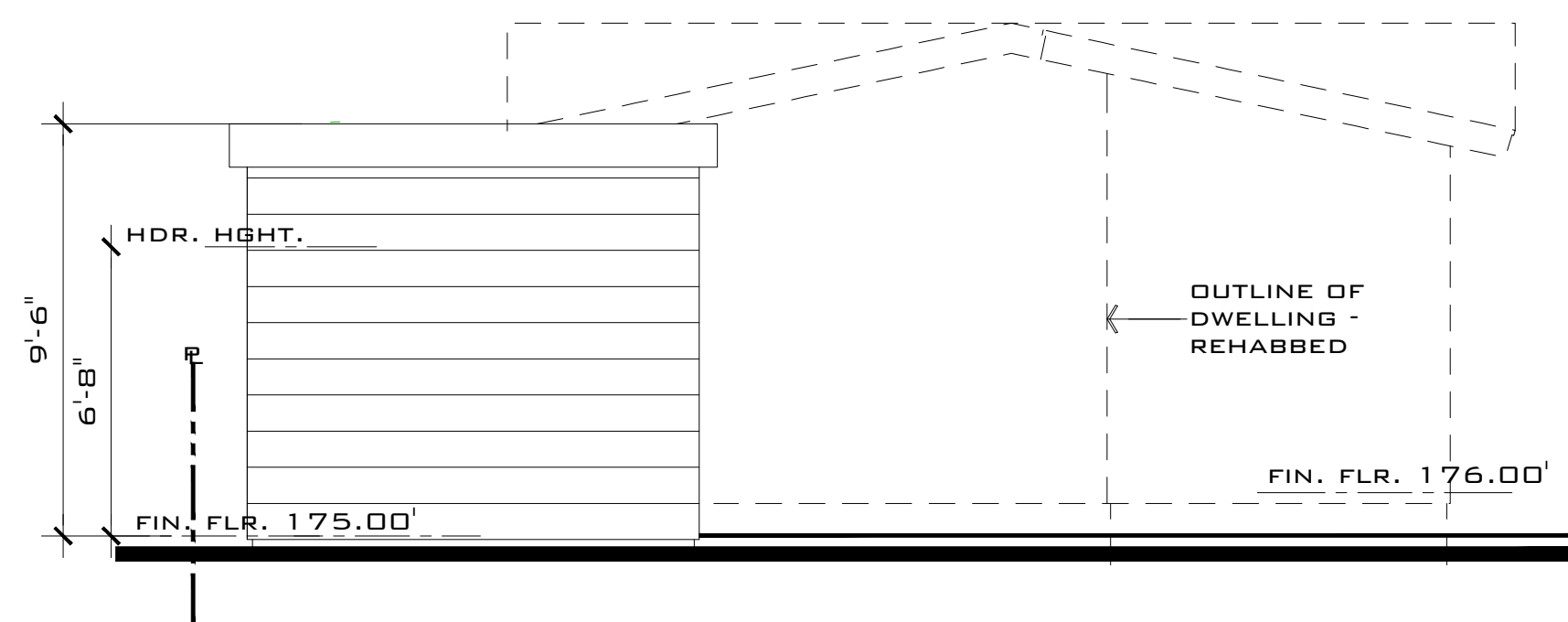
REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS
A-5



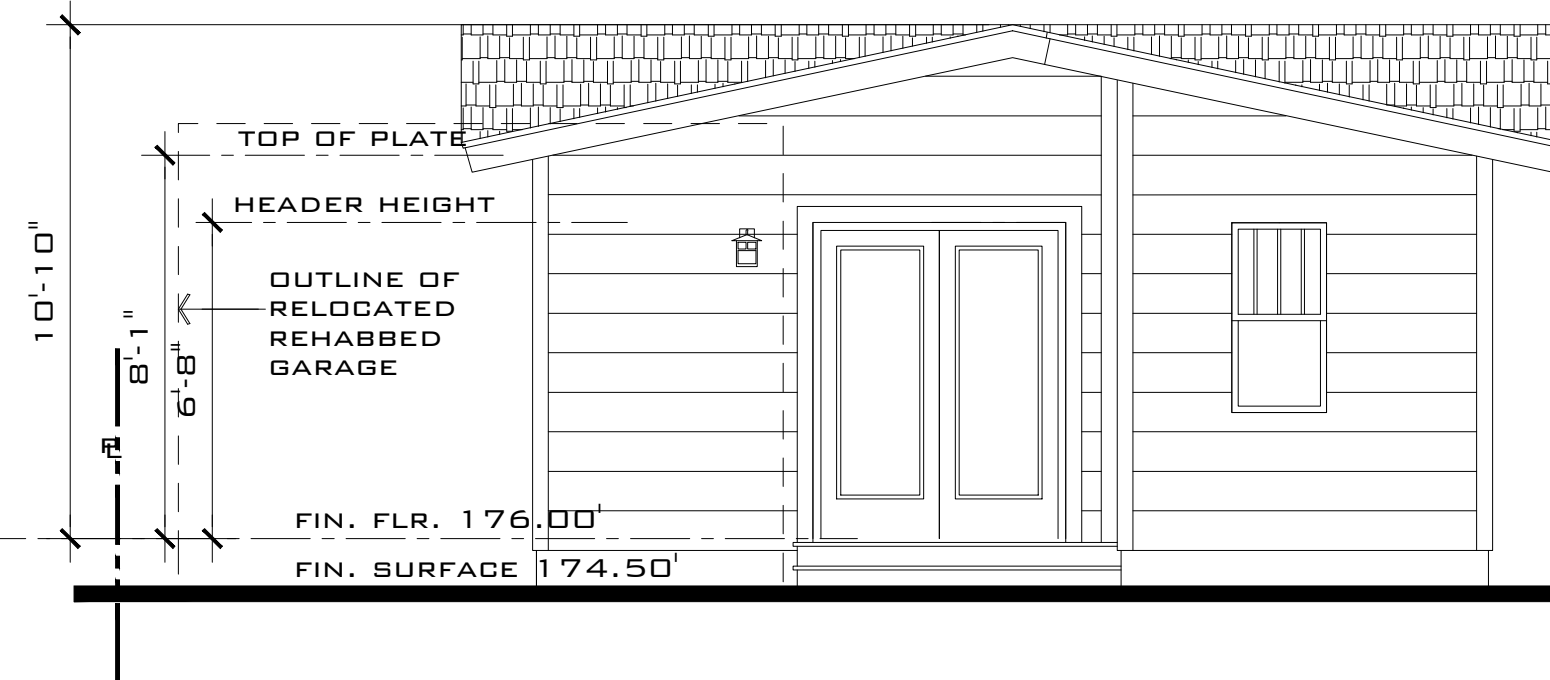
PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FINISH MATERIALS

- | | |
|--|--|
| A ROOFING SHINGLES OWENS CORNING DURATION 40 "ONYX BLACK ONYX" UL 790 CLASS "A" FIRE RESISTANCE | D TRIM - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |
| B HTTPS://WWW.CERTAINTEED.COM/PRODUCTS/SIDING-PRODUCTS/MAINSTREET?MARKETINGPROFILE=DOUBLE_4%22_DUTCHLAP&MARKETINGCOLOR=GRANITE_GRAY | E WINDOWS & DOORS - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |
| C FASCIA-BARGE BOARDS - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER | F GARAGE DOOR (REHABBED) - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |



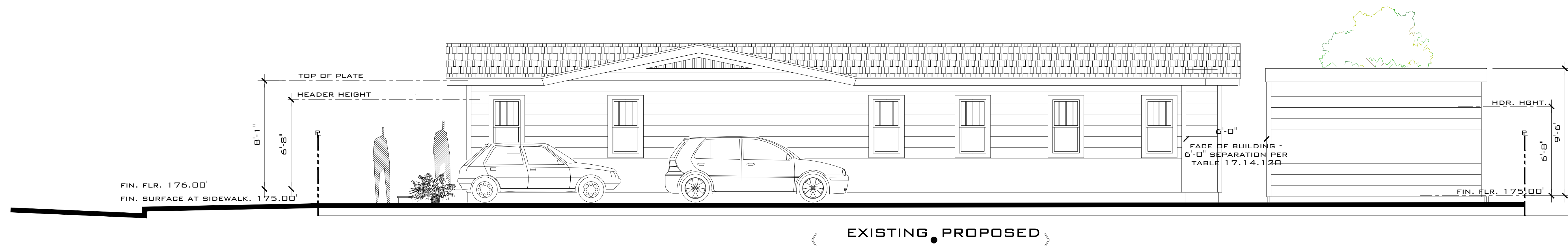
PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL



PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL



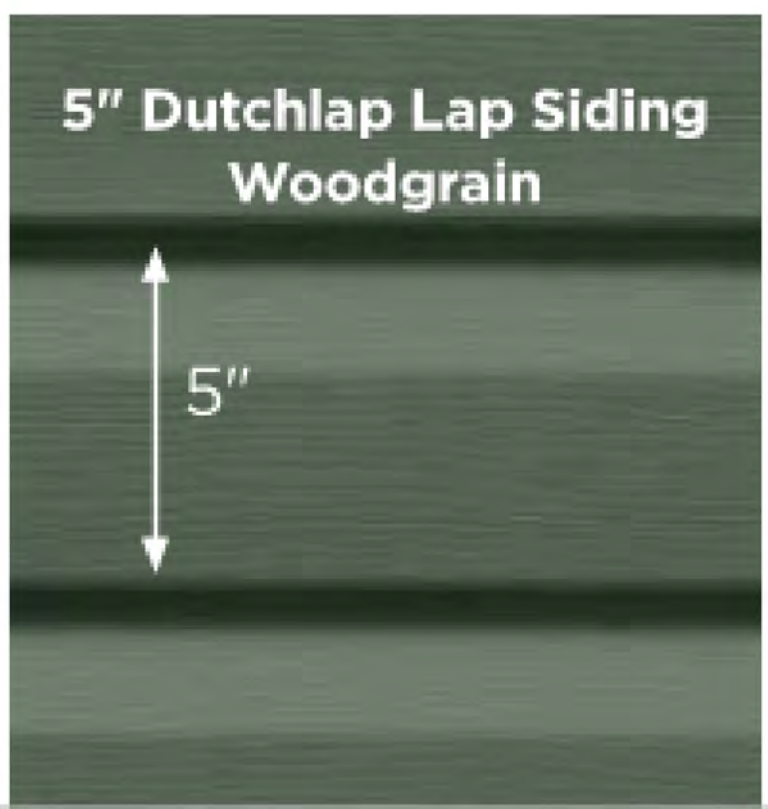
PROPOSED EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS

A-6

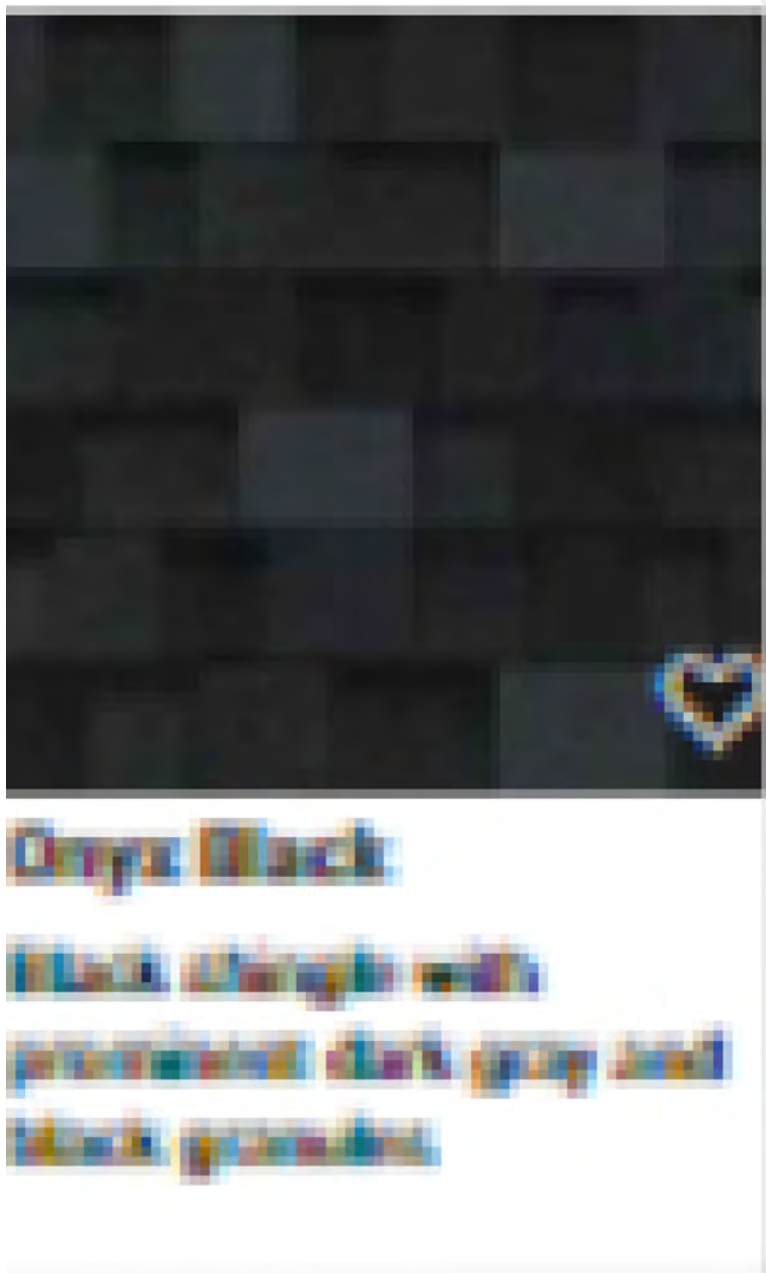


5" Dutchlap Woodgrain	•	•	•	•	•	•	•	•	•	•
6-1/2" Beaded Brushed										•
8" Clapboard Woodgrain										
Deluxe Colors	Autumn Red	Sable Brown*	Hearthstone*	Spruce*	Forest*	Pacific Blue*	Wedgewood Blue	Flagstone*	Charcoal Gray*	Castle Stone
										Granite Gray

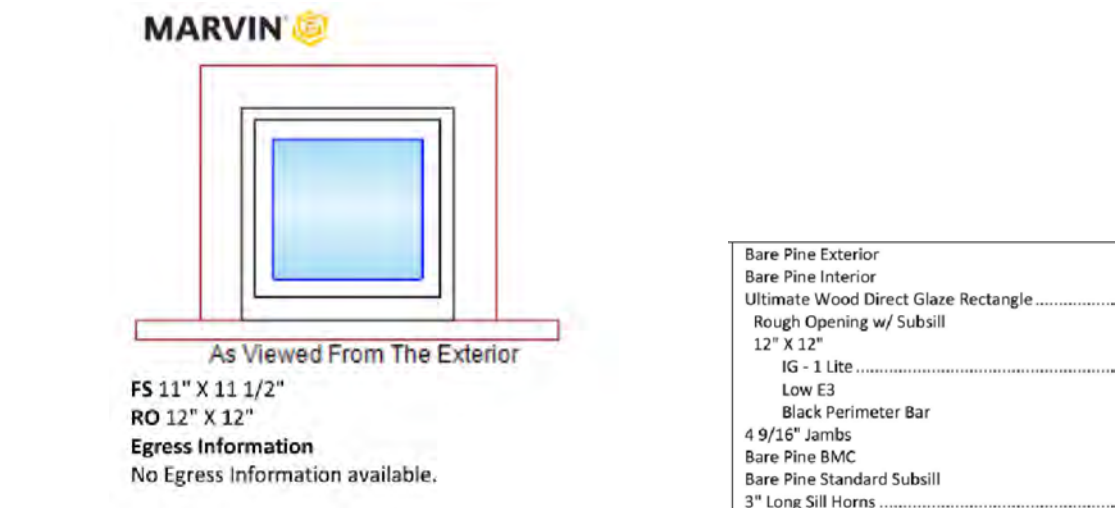
https://www.certainteed.com/products/siding-products/mainstreet?marketingprofile=double_4%22_dutchlap&marketingcolor=granite_gray

PROPOSED EXTERIOR FINISH MATERIALS

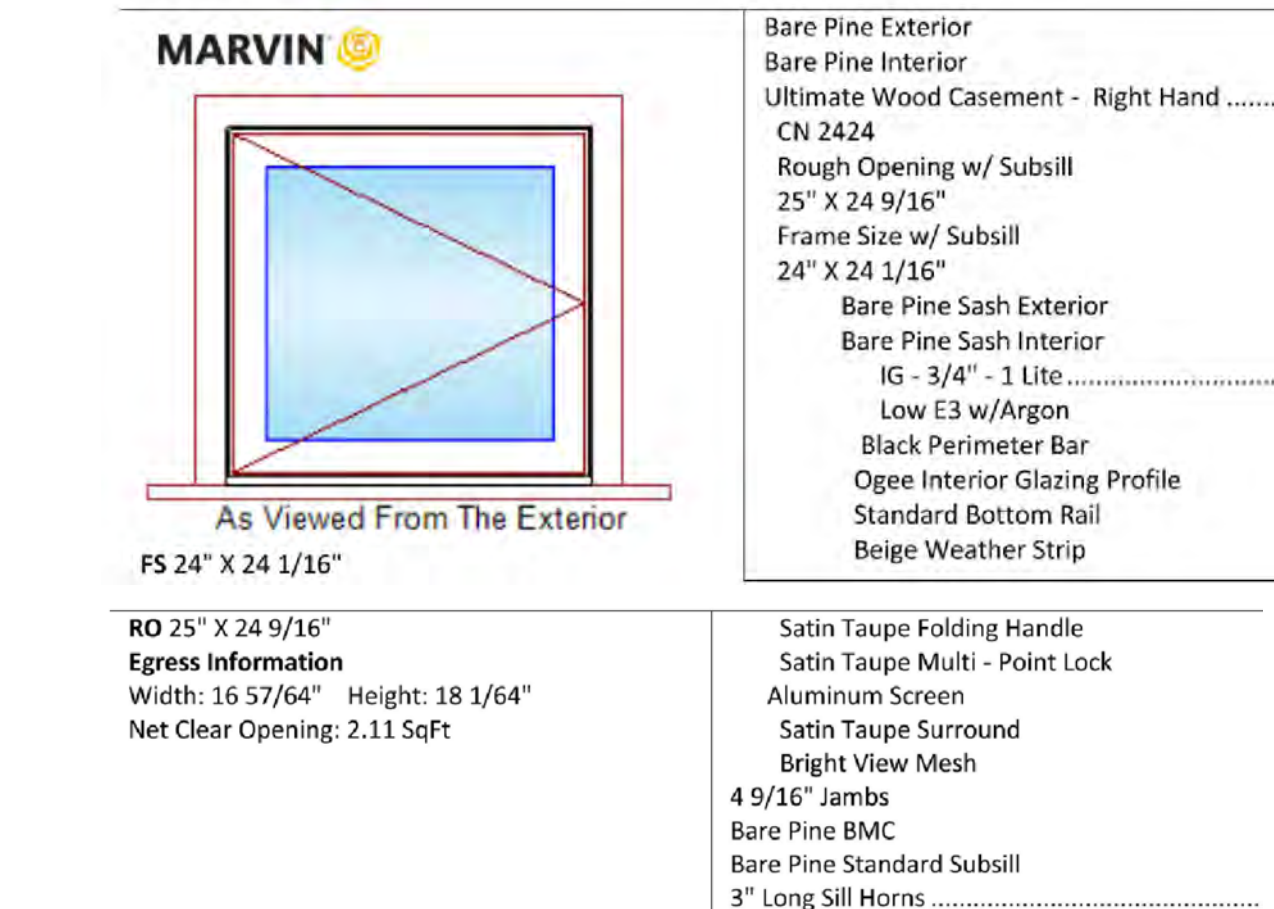
- C
FASCIA-BARGE BOARDS - ALABASTER WHITE:
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>
- D
TRIM - ALABASTER WHITE:
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>
- E
WINDOWS & DOORS - ALABASTER WHITE:
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>
- F
GARAGE DOOR (REHABBED) - ALABASTER WHITE:
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>



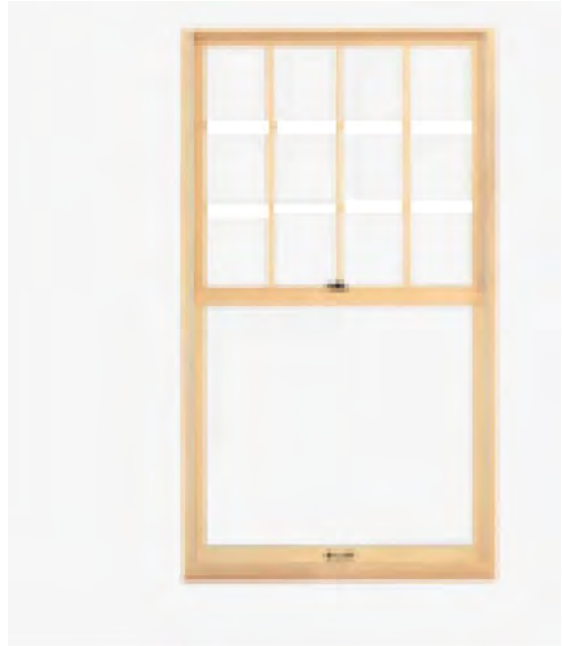
A
ROOFING SHINGLES OWENS CORNING DURATION 40
"ONYX BLACK ONYX"
UL 790 CLASS "A" FIRE RESISTANCE



C
<https://www.marvin.com/products/windows/picture>



B
<https://windowsolutionsplus.com/marvin-signature-ultimate-casement-push-out-window/>



A
<https://www.marvin.com/products/windows/double-hung/ultimate-wood-double-hung-magnum-window>

PROPOSED WINDOWS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
A-6A



https://www.homedepot.com/p/Krosswood-Doors-36-in-x-96-in-Craftsman-Alder-Left-Hand-6-Lite-Clear-Provincial-Stain-Wood-Dentil-Shelf-Single-Prehung-Front-Door-Phed-KA-550DS-30-80-134-LH-PR/309338359?MERCH=REC_-PIPSEM_-314277374_-6_-N/A_-N/A_-N/A_-N/A_-N/A#overlay

1 36 in. x 96 in. Craftsman Alder Left Hand 6-Lite Clear Provincial Stain Wood/Dentil Shelf Single Prehung Front Door



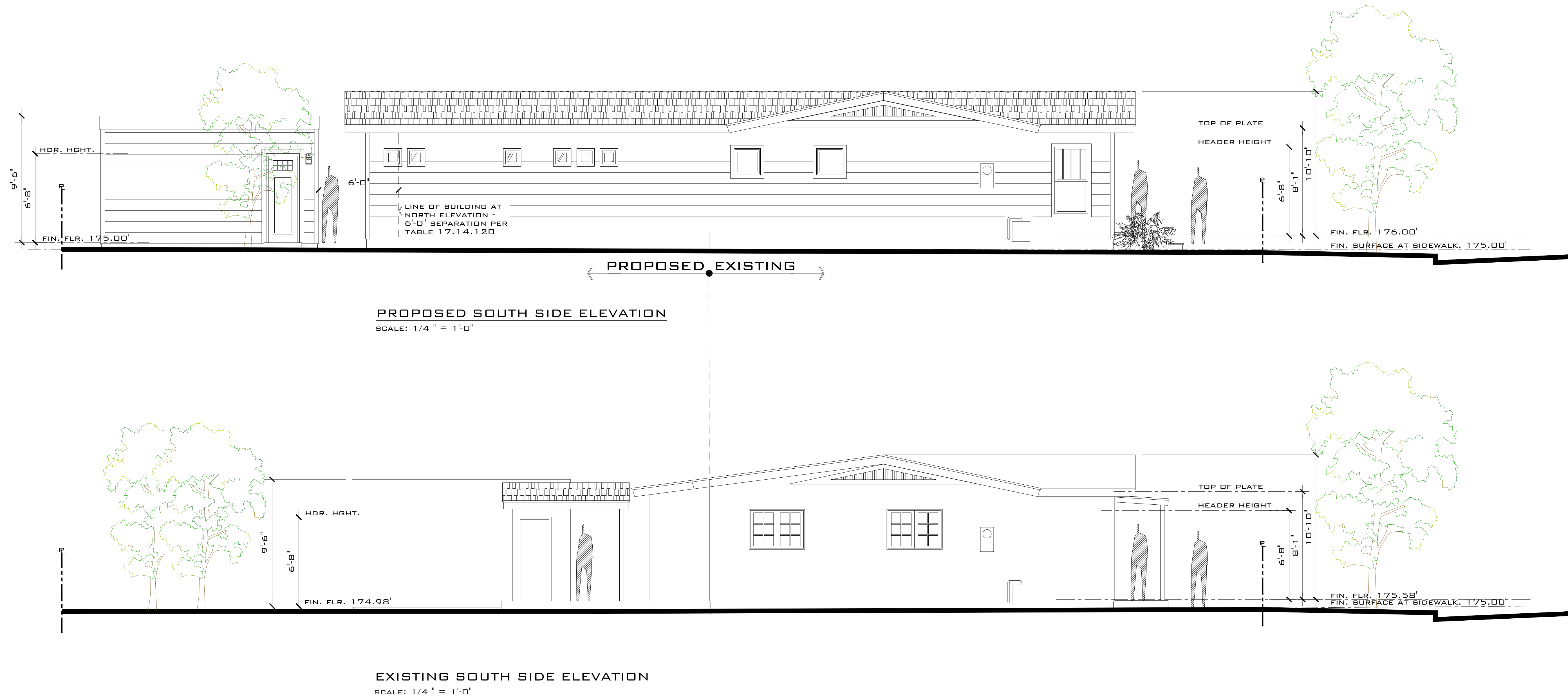
https://www.doors.com/products/full-lite-knotty-alder-solid-core-double-door-1?variant=48926348378393¤cy=USD&utm_medium=product_sync&utm_source=google&utm_content=sag_organic&utm_campaign=sag_organic&utm_term=&utm_campaign=performance+max+all+products&utm_source=adwords&utm_medium=ppc&hsa_acc=6178487494&hsa_cam=21734932468&hsa_grp=&hsa_ad=&hsa_src=x&hsa_tgt=&hsa_kw=&hsa_mt=&hsa_net=adwords&hsa_ver=3&gclid=EAIaIQobChMI4LuiOMQviQMvFQCTBH1MNY9NEAQYBIABEGLLVvD_BWE

2 FULL LITE KNOTTY ALDER SOLID CORE DOUBLE DOOR



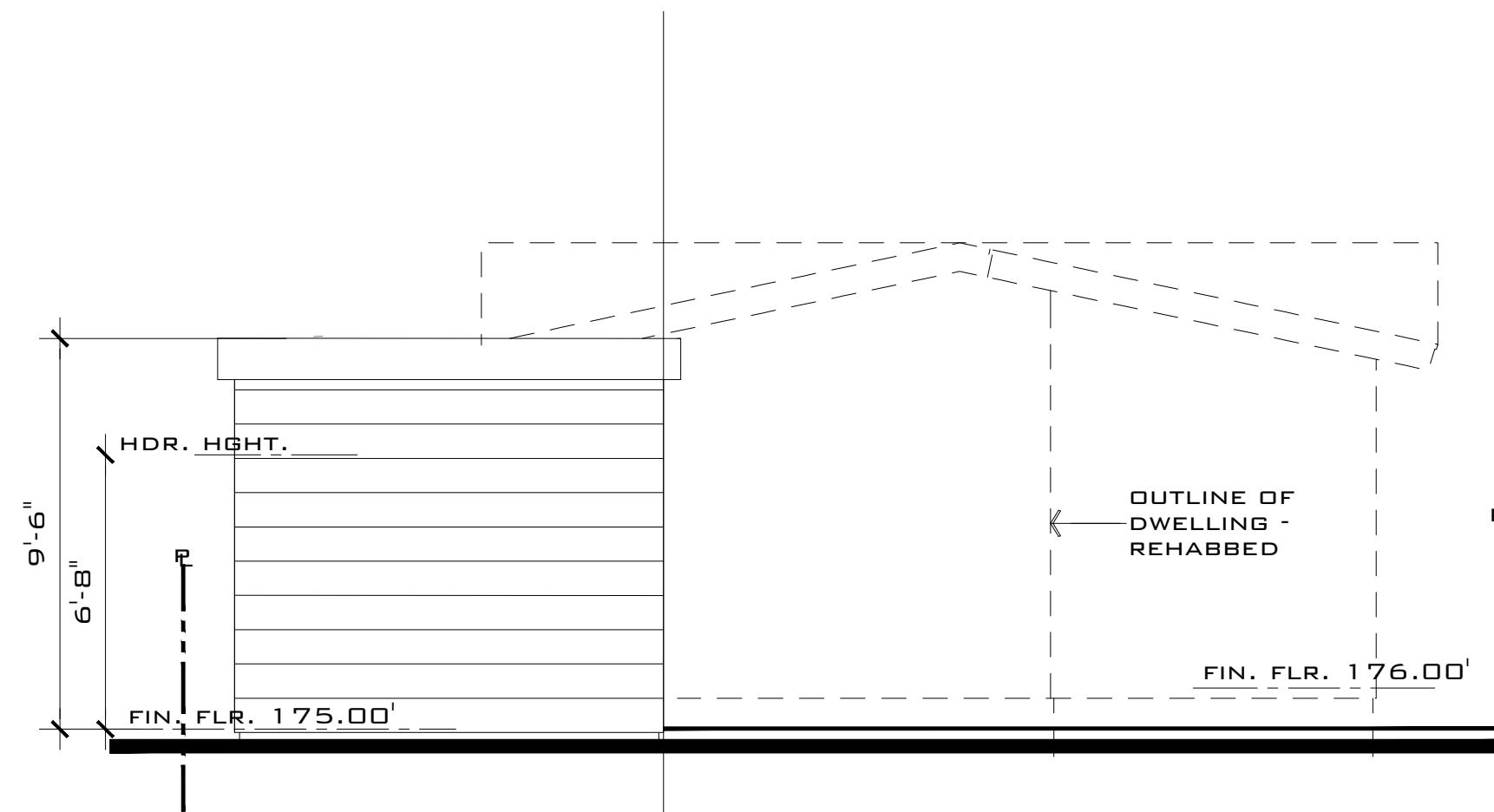
<https://www.discountdoorsandmore.com/product/8-lite-over-2-panel-craftsman-mahogany-exterior-single-door-slab-htc-50/>

3 8-LITE OVER 2-PANEL CRAFTSMAN EXTERIOR SINGLE DOOR SLAB - HTC 50

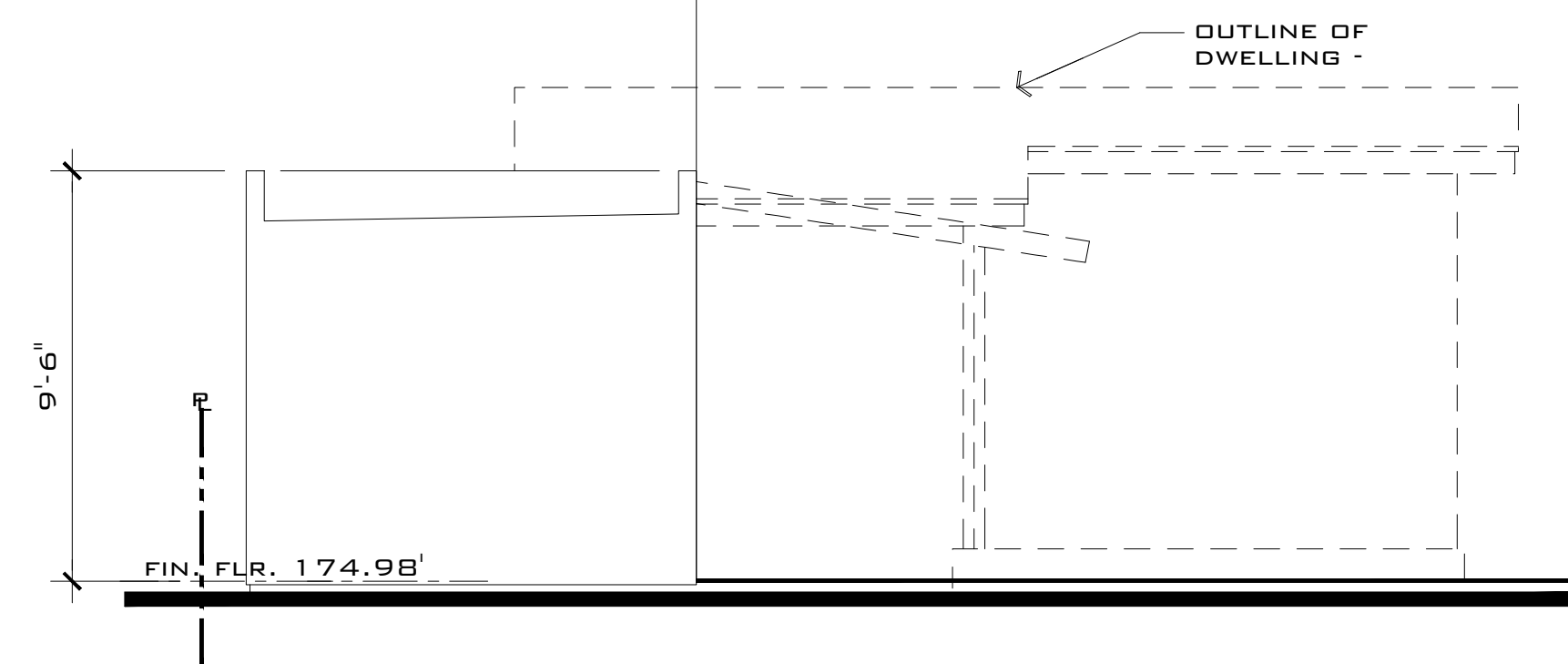


EXISTING ELEVATION VS PROPOSED ELEVATIONS

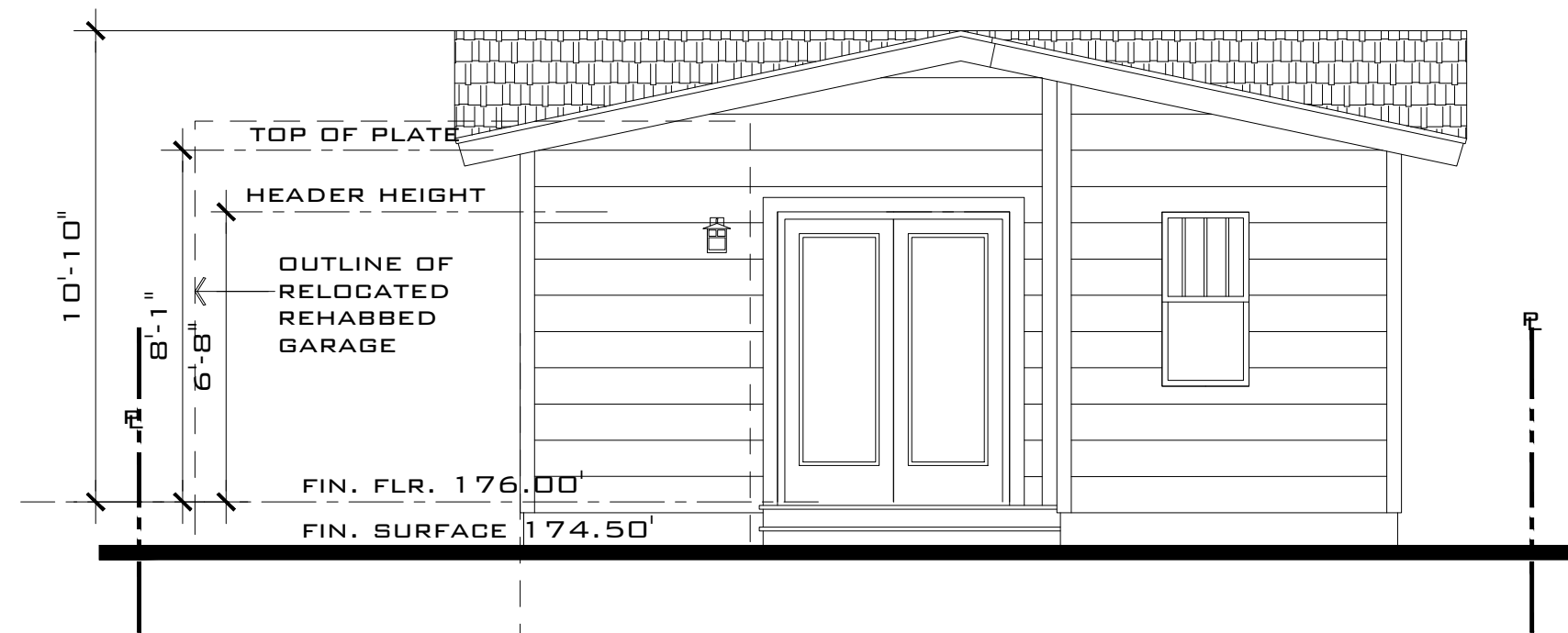
REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
A-6C



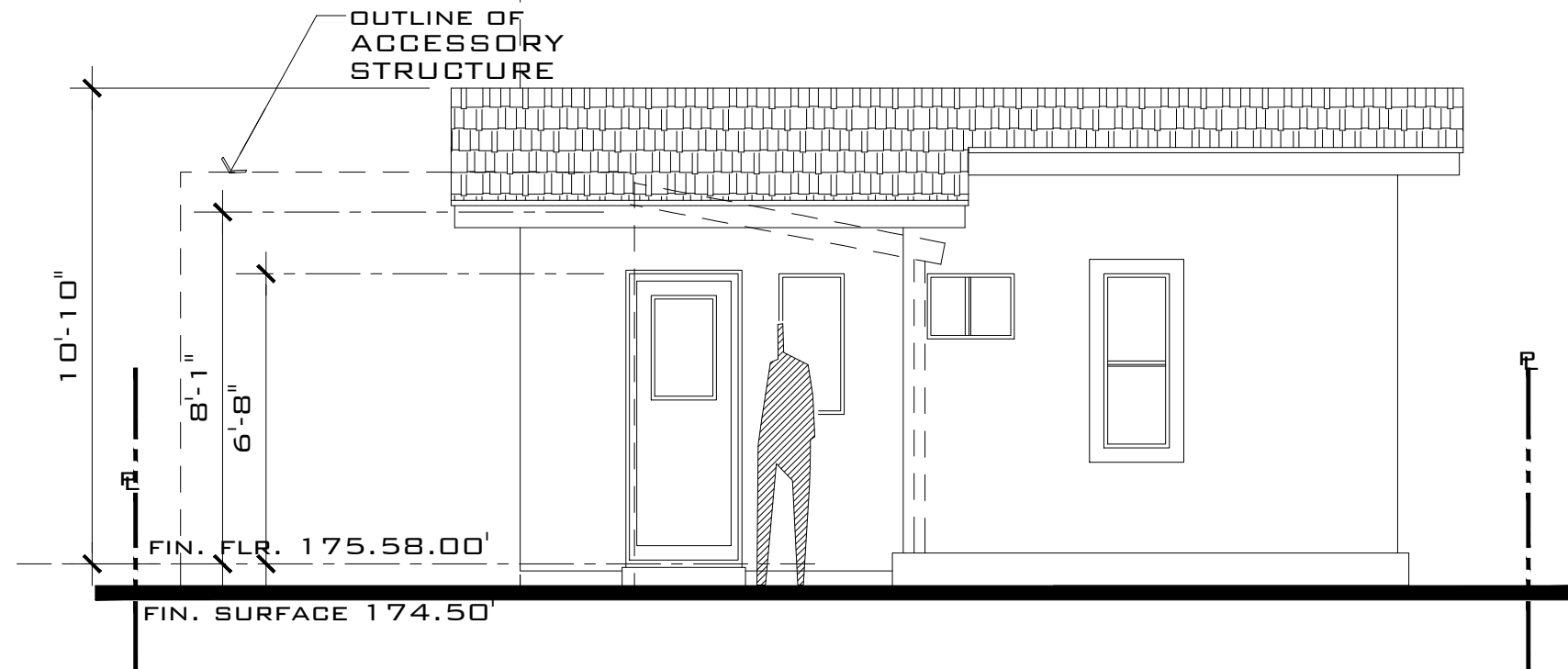
PROPOSED WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



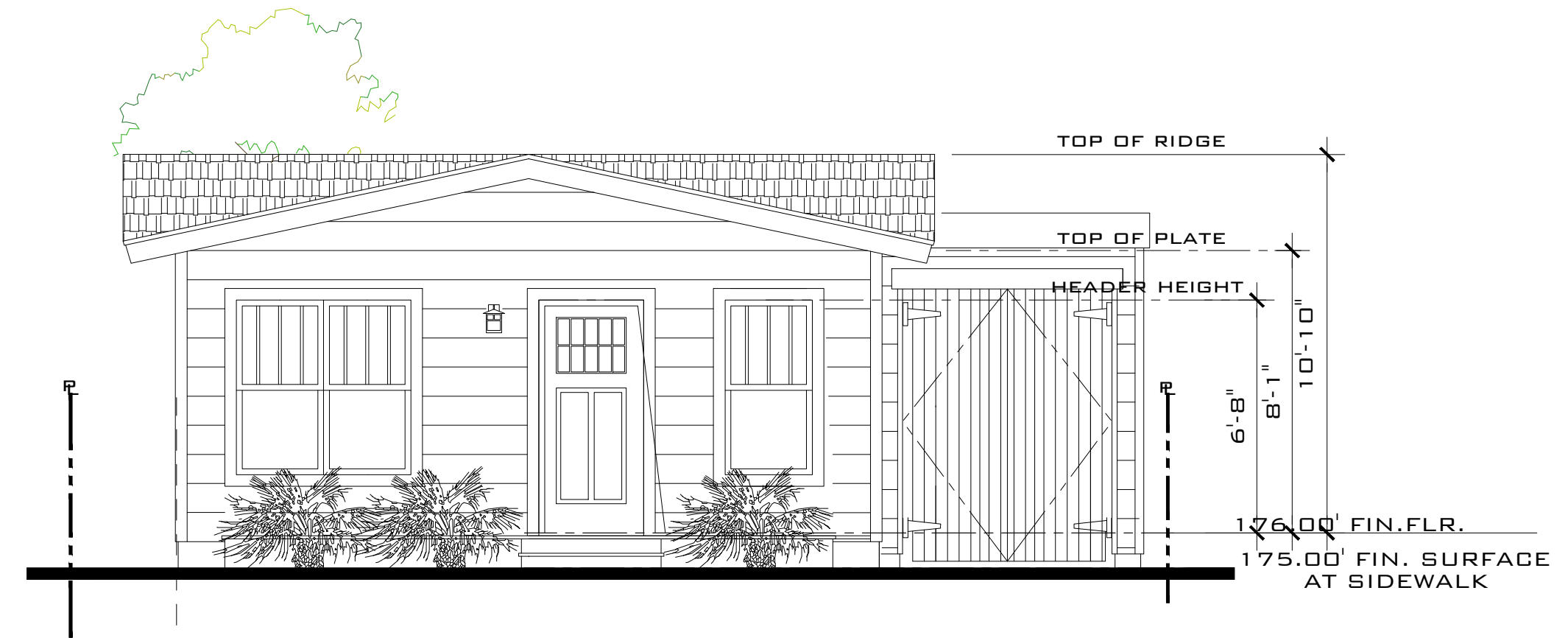
EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



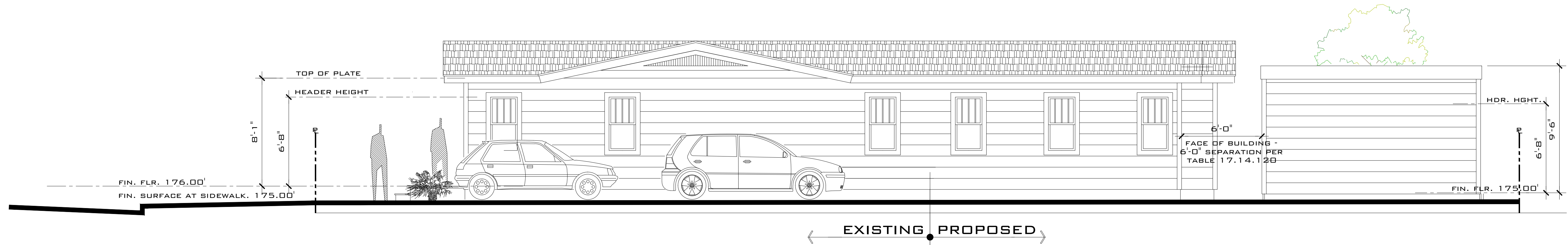
PROPOSED EAST
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



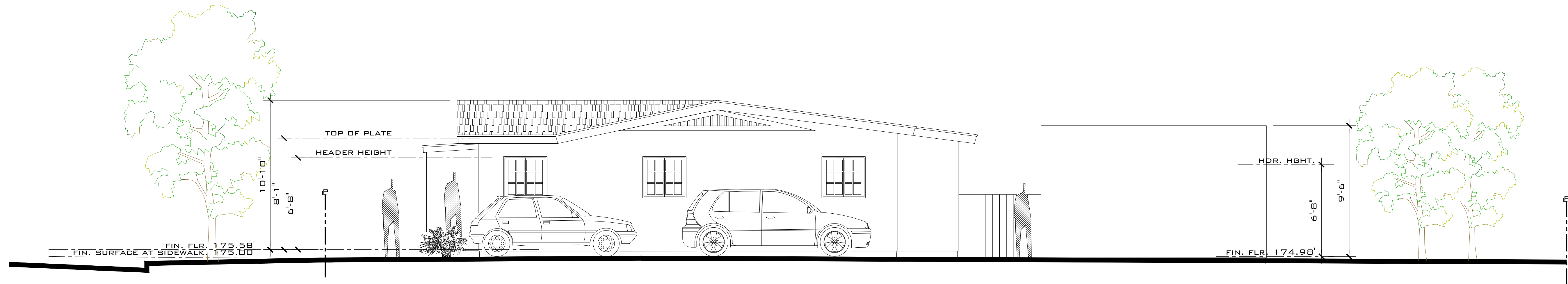
EXISTING EAST
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION VS PROPOSED ELEVATIONS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
A-6D



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION VS PROPOSED ELEVATIONS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868

ARCHITECTURAL DESIGN SOLUTIONS

A-6E



416



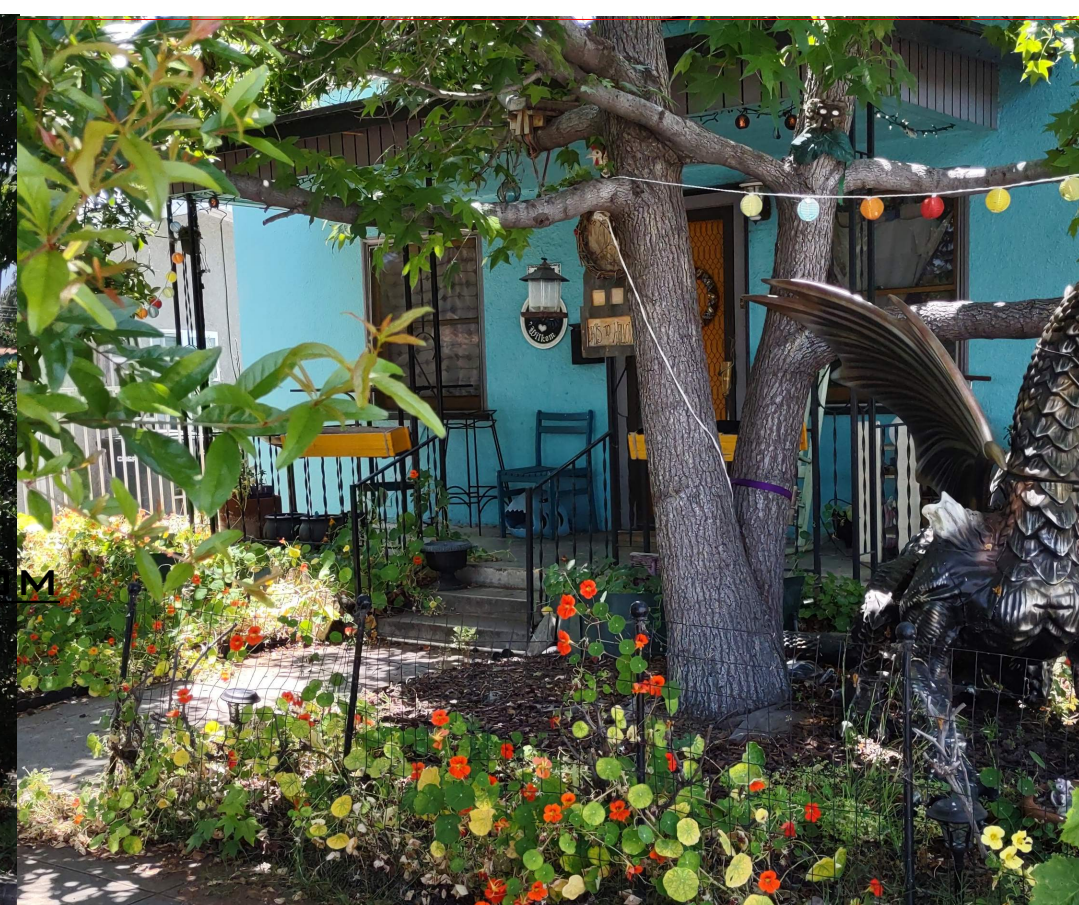
416



412



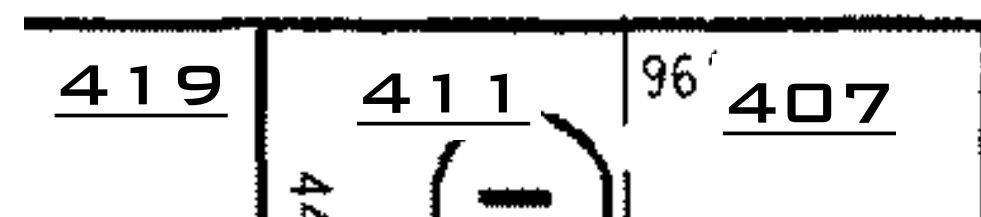
412



404



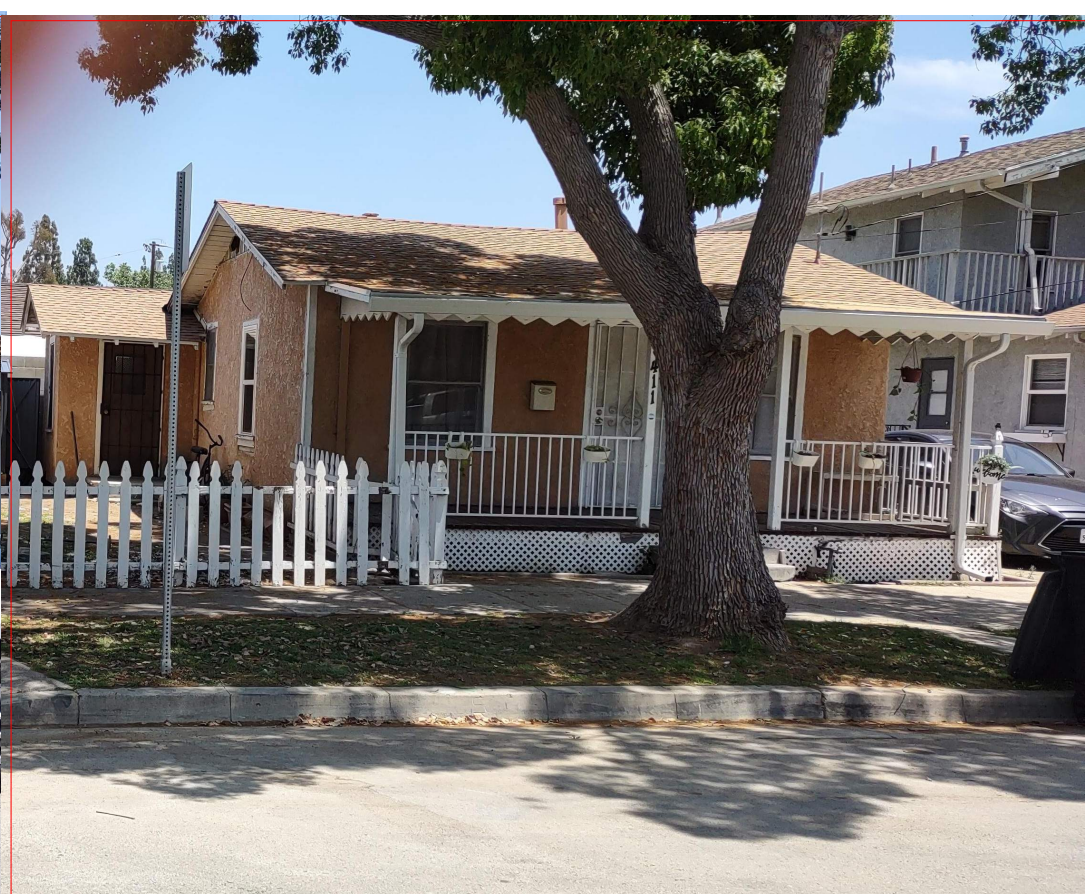
STREET 60'



SITE AREA PLAN



407



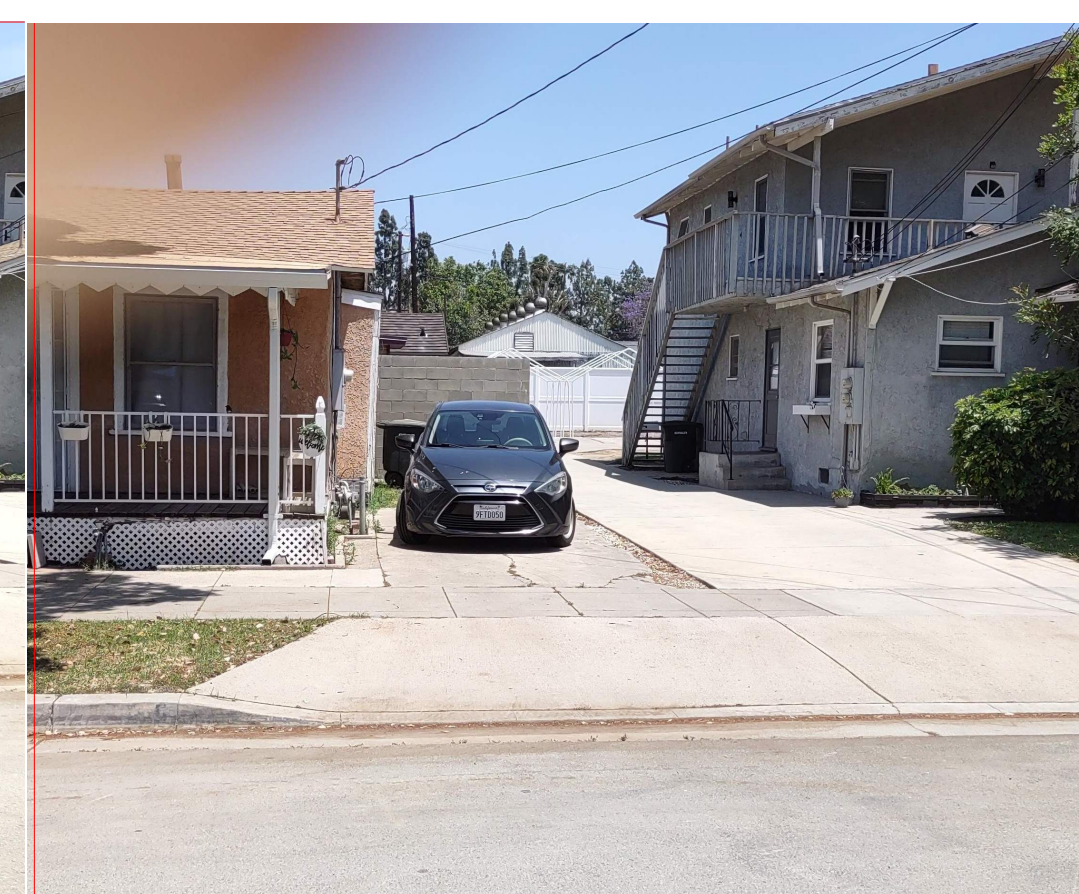
411



411



411



411/419

EXISTING SITE PHOTOS

SCALE: NTS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

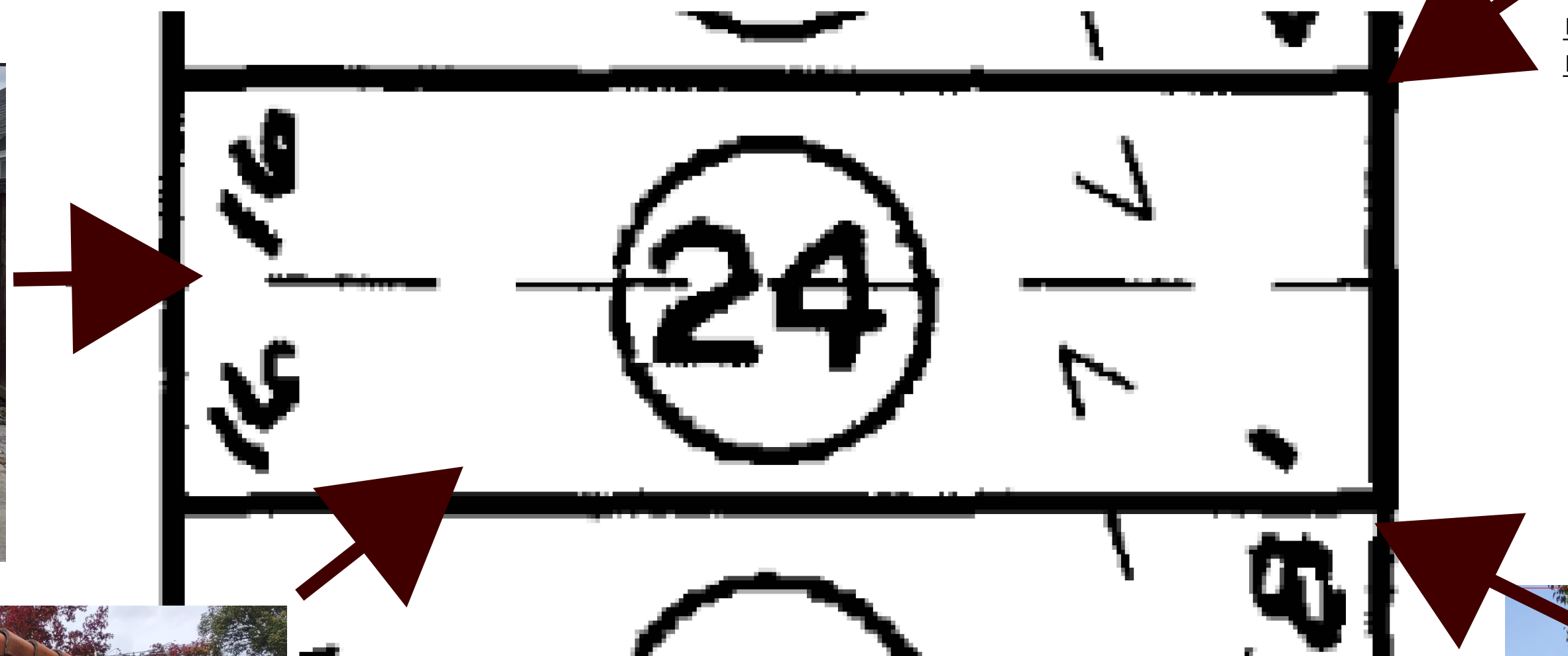
A-7



REAR FROM THE WEST



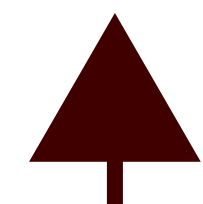
GARAGE REAR AND SIDE FROM THE WEST



FRONT AND SIDE / GARAGE FROM NORTHEAST



FRONT AND SIDE FROM SOUTHEAST



NORTH

EXISTING SITE PHOTOS

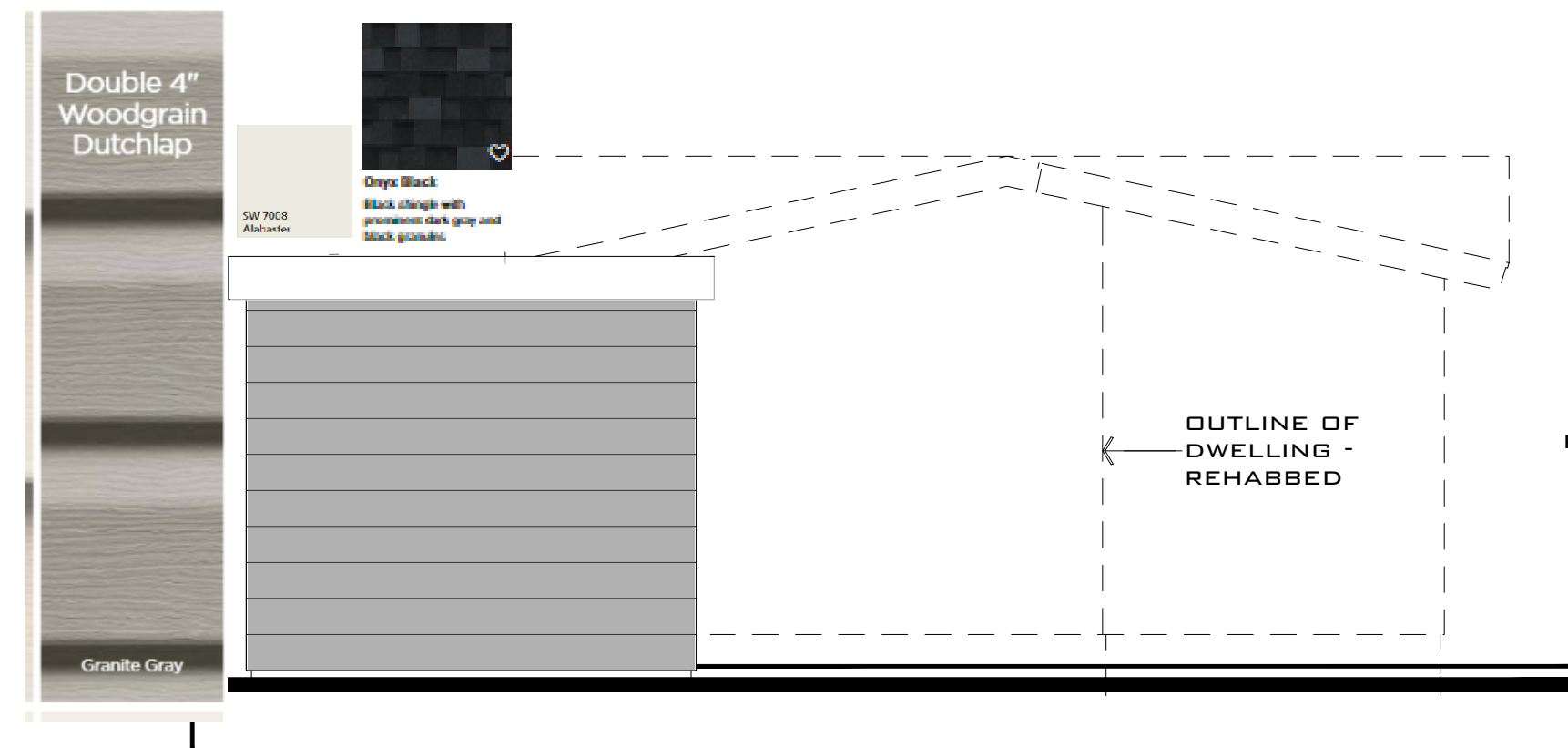
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ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

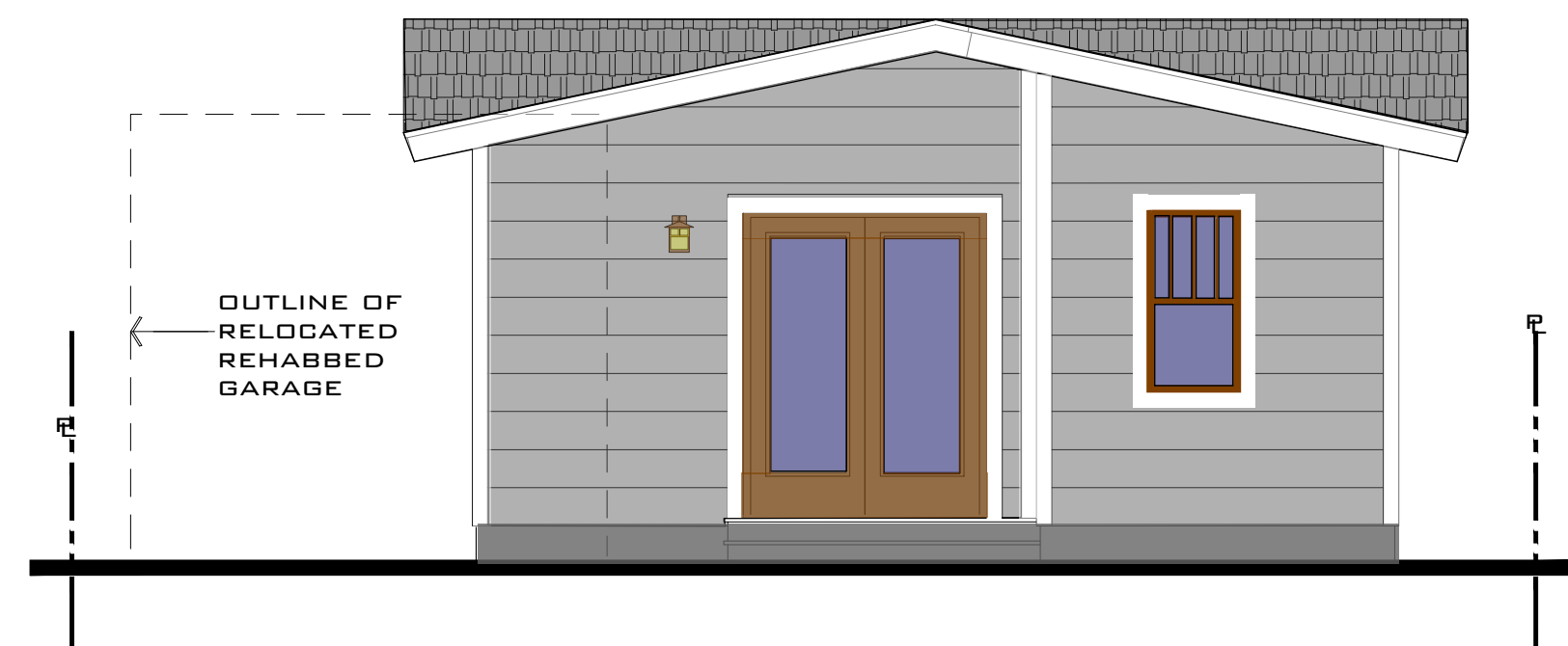
A-7A



PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



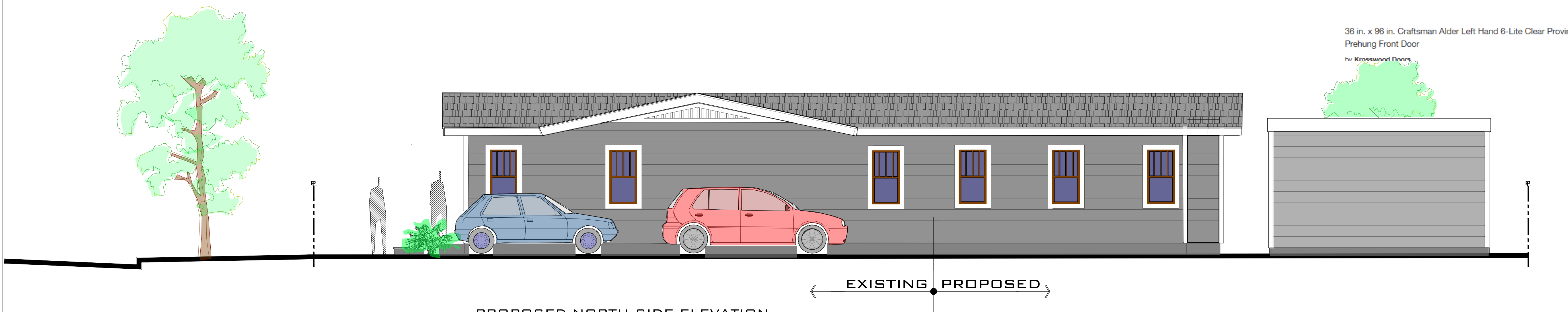
PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

R G A L A D O R E M O D E L
4 2 S . P I X L E Y S T R E E T
O R A N G E , C A . 9 2 8 6 8
A - 0 A R C H I T E C T U R A L D E S I G N S O L U T I O N S

36 in. x 96 in. Craftsman Alder Left Hand 6-Lite Clear Provincial Stain Wood/Dentil Shelf Single Prehung Front Door
For Kneecapwood Floors

Appendix – Structural Assessment for 412 S. Pixley Street, Shucri Yaghi Consulting Engineers, Inc. (September 24, 2024)

SHUCRI YAGHI CONSULTING ENGINEERS, INC.

Residential & Commercial. License No. C43205

112 E. Chapman Ave, Suite D, Orange, CA 92866 TEL: 714/997-9120 yaghi-engineers@live.com

Date: 9/24/24

Job #: 24204

To: City of Orange Development Department

From: Shucri I. Yaghi, P.E.

Regarding: 412 S Pixley St
Orange, CA 92868

Subject: Structural assessment of an existing one-car garage.

SHUCRI YAGHI CONSULTING ENGINEERS, INC.

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Findings:

We have visited the site and visually observed the overall structural condition of an existing one-car garage. The garage has balloon framed walls and a flat roof with cap sheets. The walls have 2x4 studs at 16" O/C with stucco exterior and drywall interior. The roof is built with old 2x4 lumber, spanning in the long direction, from front to back. Later, the roof was reinforced by adding 2x4s at 16" O/C, in the short direction. The 2x4s in the short direction were placed beneath the existing to shore up the sagging in the roof. The garage sits on a slab on grade which most likely has no footings and is sinking below grade. Newer concrete curbs were added along the left and rear sides in an effort for preventing water intrusion. The front door is a double swing wood door. There is a man door at the left side as well as a window next to it that is boarded up with plywood. The settling makes the door hard to close. There is evidence of dry rot at the exposed ends of the original 2x4 roof joists and most likely dry rot at the lower portions to the studs and sill plates due to its location being below grade.

It is our opinion that the garage can be moved, moving the garage will require stripping off most finishes, retrofitting the existing framing, and seismic upgrading, and new footings and slab. However, due to its condition and since the structure is not a contributing structure, we strongly recommend to tear it down and rebuild a similar garage that meets planning department requirements. Please see the attached photos.

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Limitations:

The professional services provided have been performed, my findings obtained, and my comments prepared in accordance with generally accepted engineering practices. The author does not undertake the guarantee of the construction or the underlying geotechnical or structural integrity of any component of the property not readily observable and specifically referenced herein. This report does not serve as a guarantee but instead serves as a memorial of a single site observation visit.

Thank you,



Shucri I. Yaghi, P.E.

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