

ADDITION & REMODEL (CUP APPLICATION): SANTIAGO CENTER 2640 N.SANTIAGO BLVD. ORANGE, CA 92867

PROJECT PHOTOS



GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL HAVE WORKMAN'S COMPENSATION FOR ALL PERSONS WORKING ON THE JOB.
- THE GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS.
- THE GENERAL CONTRACTOR SHALL PROVIDE LIEN RELEASES FOR ALL LABOR AND MATERIALS PAID FOR PRIOR TO RECEIVING THE NEXT INSTALLATION PAYMENT.
- ALL WORK SHALL CONFORM TO THE CODES, REGULATION AND STANDARDS OF THE GOVERNING CITY, COUNTY AND STATE AGENCIES.
- ALL MATERIALS SHALL BE PREMIUM GRADE QUALITY THROUGHOUT. NO SUBSTITUTION OF SPECIFIED MATERIALS ALLOWED WITHOUT CONSENT FROM THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE SANITARY RESTROOM FACILITY WHICH SHALL BE MAINTAINED ON A REGULAR BASIS.
- THE GENERAL CONTRACTOR SHALL PROVIDE A JOB SHACK WITH A TELEPHONE, CHAIN LINK FENCING AROUND THE SITE AND A TEMPORARY POWER POLE. THE CONTRACTOR SHALL PAY FOR ELECTRICAL POWER, WATER AND TELEPHONE CHARGES DURING CONSTRUCTION.
- INSTALLATION OF ELECTRIC, TELEPHONE AND CABLE T.V. TO THE FACILITY SHALL BE BY CONTRACTOR.
- NOT USED.
- THE GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF CONSTRUCTION BY HIS EMPLOYEES OR SUBCONTRACTORS.
- NOT USED.
- GENERAL CONTRACTOR SHALL HAVE THE ENTIRE FACILITY PROFESSIONALLY CLEANED, INCLUDING WINDOWS INSIDE AND OUTSIDE, PRIOR TO DELIVERING IT TO THE OWNER.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS. WHERE CONFLICTING MATERIALS AND CONDITIONS ARE CALLED OUT, ASSUME THE MORE EXPENSIVE CONDITION. NOTIFY THE OWNER AND ARCHITECT PRIOR TO WORK BEING STARTED.
- NOT USED.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER FOR EACH CHANGE ORDER PRIOR TO COMMENCING WITH THE WORK IN QUESTION. EACH CHANGE ORDER MUST BE INVOICED WITH THE NEXT PAYMENT REQUEST AFTER THE CHANGE ORDER WORK IS COMPLETED. EXTRA WORK DONE WITHOUT AN APPROVED CHANGE IS NOT REIMBURSABLE.
- THE ACTUAL LOCATION OF THE ELECTRICAL METER SHALL BE DETERMINED BY THE ELECTRIC COMPANY AND SHALL HAVE THE OWNER'S APPROVAL PRIOR TO SETTING (SEE ELECTRICAL PLANS).
- DIAGRAMMATICAL DRAWINGS. DO NOT SCALE PRINTS. "NOT TO SCALE" (INDICATED AS N.T.S.), AND THE LISTED DIMENSION SHALL GOVERN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS PRIOR TO PROCEEDING.
- CONTRACTOR TO VERIFY WITH THE OWNER ALL MATERIALS AND FINISHES NOTED ON THESE PLANS PRIOR TO ORDERING, INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, PLUMBING FIXTURES, APPLIANCES, FLOOR FINISHES, MILL WORK, ELECTRICAL LIGHT FIXTURES, ETC.
- PLANS AND SUPPORTING DOCUMENTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. WHERE SUCH PLANS ARE NOT PREPARED BY THE ARCHITECT OR ENGINEER OF RECORD, THEY SHALL BE REVIEWED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.

SCOPE OF WORK

- THE SCOPE OF WORK IS AS FOLLOWS:
- CONVERT EXISTING AUTO REPAIR SERVICE TO C-STORE.
 - ADDITION OF DRIVE-THROUGH AUTOMATIC AND FULL SERVICE CAR-WASH.

PROJECT SUMMARY

PROJECT ADDRESS:
LOT "A": 2640 N. SANTIAGO BLVD. ORANGE CA 92867.
LOT "B": 2650-2660 N. SANTIAGO BLVD. ORANGE CA 92867.

APN #: 361-401-27 & 361-401-25
TRACT #: 658
LOT #: L
ZONING: C-TR (LIMITED BUSINESS- TUSTIN REDEVELOPMENT)

DESCRIPTION OF USE:
LOT "A" CURRENT: SERVICE STATION W/AUTO SERVICE REPAIR.
PROPOSED: SERVICE STATION W/CAR WASH & C-STORE.
LOT "B" CURRENT: RETAIL CENTER.

LOT SIZE "A" AREA:	30,265 SQ. FT.
LOT SIZE "B" AREA:	41,418 SQ. FT.
EXISTING LOT COVERAGE:	
LOT "A" COVERAGE:	3,610 SQ.FT.
F.A.R. (FLOOR AREA RATIO):	.12
LOT "B" COVERAGE:	6,144 SQ.FT.
F.A.R. (FLOOR AREA RATIO):	.15
LOT "A" BUILDING AREA:	
1. EXISTING: SHELL GAS STATION:	1,942 SQ. FT.
2. PROPOSED: C-STORE TENANT IMPROVEMENT	SQ.FT.
ADDITION: AT FRONT (C-STORE)	333 SQ.FT.
PROPOSED: CAR-WASH ADDITION:	2,340 SQ. FT.
TOTAL PROPOSED:	2,673 SQ. FT.
TOTAL LOT "A":	4,615 SQ.FT.
LOT "B" BUILDING AREA:	
EXISTING: K.C. LIQUOR STORE:	2,586 SQ.FT.
PATIO FIREPLACE:	588 SQ.FT.
VALUE CLEANERS:	810 SQ.FT.
MARRIS PIZZA:	810 SQ.FT.
BBQ OUTLET-PATIO FIREPLACE:	1,350 SQ.FT.
TOTAL LOT "B":	6,144 SQ.FT.

CODE ANALYSIS

APPLICABLE CODES
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 TITLE 24 ENERGY REGULATIONS
2019 CALIFORNIA FIRE CODE (CFC) & NFPA - 13
COUNTY OF SAN BERNARDINO ENVIRONMENTAL HEALTH
CITY OF ORANGE MUNICIPAL CODES
TYPE OF CONSTRUCTION: VB (NON SPRINKLERED)
SEC. 602.5

OCCUPANCY: M (RETAIL SALES)
SEC. 303.1
NUMBER OF STORY: 1
ALLOWABLE AREA: 9,000 SF PER TABLE 503 (M-OCC)

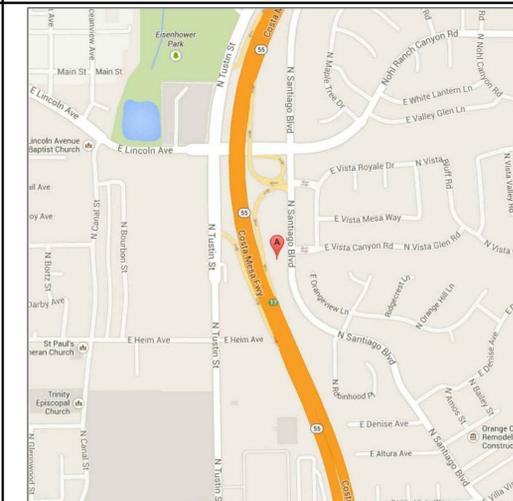
DRAWING INDEX

- | | |
|-------------------------------------|--|
| T-1 TITLE SHEET AND SITE ANALYSIS. | AD-1 TRASH ENCLOSURE DETAILS |
| T-1.1 EXISTING SITE PLAN. | MB-1 MATERIAL BOARD/SITE LIGHTING PLAN |
| T-1.2 PROPOSED SITE PLAN. | LT-1 LIGHTING PLAN |
| T-1.3 PICTURES OF SITE | LT-2 LIGHTING DETAIL PHOTOMETRIC RENDERS |
| T-1.4 SITE PHOTOS | LT-3 SPECS SHEET |
| TO-1 ALTA SURVEY-1 | F-1.0 FIRE MASTER PLAN |
| TO-2 ALTA SURVEY-2 | F-1.1 EXISTING SITE PLAN |
| C-1 PRELIMINARY GRADING PLAN | F-1.2 PROPOSED FIRE MASTER PLAN |
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| A-1.1 CARWASH FLOOR & ELEVATIONS | |
| A-2.0 ELEVATIONS | |
| A-2.1 PAINT SCHEDULE | |
| A-3 SECTIONS | |
| A-4 ROOF PLAN | |

SYMBOLS

- | | | | |
|--|--------------------------------------|--|------------------------|
| | NORTH ARROW | | KEYNOTE |
| | DATUM POINT/ELEV. REF. | | ROOM NAME |
| | MATCH LINE/GRID LINE | | SHEET NO. |
| | ENLARGE PLAN/DETAIL NO. SHEET NO. | | DOOR SCHEDULE NO. |
| | BUILDING/WALL SECTION I.D. SHEET NO. | | WINDOW SCHEDULE NO. |
| | ELEVATION ORIENTATION/NO. SHEET NO. | | REVISION NO. |
| | | | REVISED AREA |
| | | | DATUM POINT/ELEV. REF. |

VICINITY MAP



DESIGN TEAM

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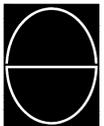
REGIONAL SEPARATION

BUILDING 'A' OCCUPANCY	M
BUILDING 'B' OCCUPANCY	M
NO OCCUPANCY REQUIRED AS PER CBC TABLE 508.4	

PARKING ANALYSIS

BUILDING	LOT	TENANT	USE	AREA	FORMULA	REQUIRED	PROVIDED
	"A"	C-STORE GAS STATION CAR WASH SERVICE(HAND DRY) VACUUM	RETAIL	2,275 S.F.	1/800 SQ. FT.	3 SPACES	
				2,340 S.F.		2 SPACES	
						1 SPACE	
TOTALS						8 SPACES	
	"B"	EXISTING K.C. LIQUOR COMPUTER RETAIL VALUE CLEANERS PIZZA TAKE-OUT BBQ OUTLET	RETAIL	6,144 S.F.	5/1000 SQ. FT.	31 SPACES	
TOTALS						31 SPACES	
						39 SPACES	39 SPACES
		ACCESSIBLE PARKING			1 CAR/25 SPACES	2 SPACES	3 SPACES

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NO.	DATE	ISSUED
	10/02/19	DRC
	02/04/21	REVISION ON 08/05 DRC
	06/22/21	REVISION ON 08/05 DRC
	06/06/21	REVISION ON 08/05 DRC

DRAWING TITLE
TITLE SHEET & SITE ANALYSIS

JOB TITLE
ADDITION & REMODEL (CUP APPLICATION)
SANTIAGO CENTER

JOB ADDRESS
2640 N. SANTIAGO BLVD.
ORANGE, CA. 92867

JOB NO.
2019-36

DWG. NO.
T-1

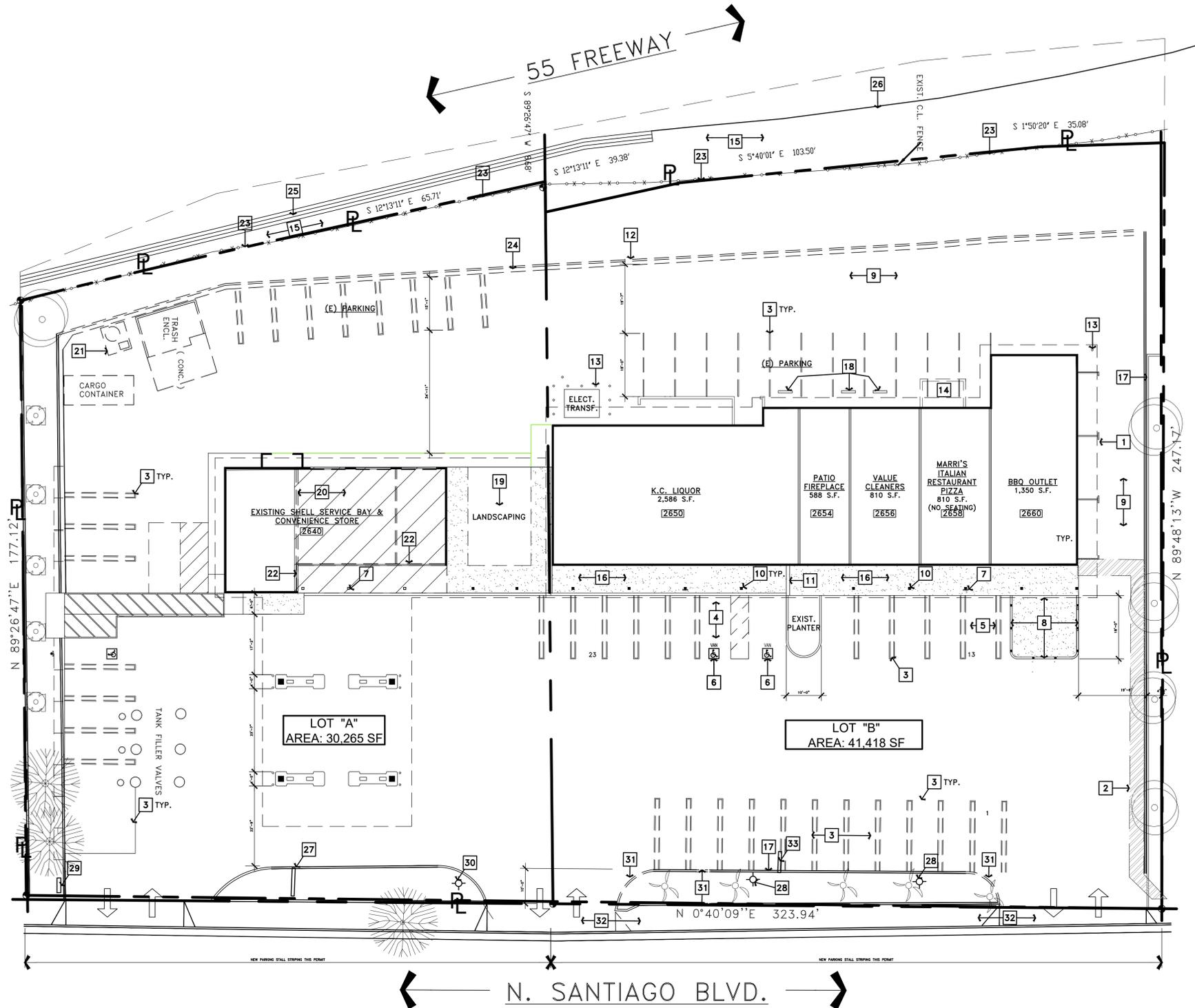
REVISION NO.
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SITE PLAN KEYNOTES

- 1 EXISTING PARKING STALLS ADJACENT TO BUILDING T BE REMOVED
- 2 EXISTING ACCESSIBLE ROUTE ADJACENT TO DRIVEWAY AND ALONG PLANTER TO BE REPLACED
- 3 EXISTING PARKING STALLS TO BE STRIPPED
- 4 EXISTING ACCESSIBLE PARKING TO BE RELOCATED AND CONVERTED TO LOADING/UNLOADING
- 5 EXISTING PARKING BAY TO BE CONVERTED TO H.C. PARKING
- 6 EXISTING ACCESSIBLE SYMBOLS TO BE RELOCATED
- 7 EXISTING TIMBER POST BE REMOVED.
- 8 EXISTING PLANTER TO BE RETAINED.
- 9 EXISTING A.C. PAVING
- 10 EXISTING POSTS TO BE REPAINTED
- 11 EXISTING CONCRETE STEPS TO BE MODIFIED FOR ADA
- 12 EXISTING CURB AND GUTTER TO BE REPLACED
- 13 EXISTING STEEL BOLLARD TO BE REMOVED
- 14 EXISTING UTILITY ENCLOSURE TO BE REMOVED
- 15 EXISTING UNIMPROVED PORTION OF THE SITE (CALTRANS R/W) SLOPING DOWN TO 55 FREEWAY TO BE LANDSCAPED- SEE LANDSCAPE PLAN
- 16 EXISTING CONCRETE SIDEWALK. TO BE SLOPED MAX 2% SLOPE IN ANY DIRECTION
- 17 EXISTING PLANTER CURB TO BE EXTENDED.
- 18 EXISTING 6"x 6"x 4'-0" CONCRETE WHEEL STOP
- 19 EXISTING LANDSCAPE TO BE REMOVED AND REPLACED WITH HARDSCAPE SEATING AND FOUNTAIN.
- 20 (E) AUTO SERVICE STATION W/ CONVENIENCE STORE TO BE REMODELLED
- 21 EXISTING PROPANE TANK TO BE REMOVED
- 22 EXISTING WALL TO BE RELOCATED FOR EXPANDED CONVENIENCE STORE
- 23 EXISTING CHAIN LINK FENCE TO BE REMOVED
- 24 EXISTING RETAINING WALL TO BE REMOVED FOR EXPANDED CONSTRUCTION AREA
- 25 EXISTING CALTRANS T-WALL TO BE REMAINED
- 26 EXISTING CALTRANS EDGE OF OFF-RAMP PAVEMENT
- 27 EXISTING SIGN TO BE REMAINED
- 28 EXISTING LIGHT POLE TO BE REMOVED AND REPLACED IN NEW LOCATIONS
- 29 EXISTING COMMERCIAL POLE TO BE REMAINED
- 30 EXISTING LIGHT POLE TO BE REMAINED
- 31 EXISTING PORTION OF CURB TO BE REMOVED
- 32 EXISTING PORTION OF DRIVEWAY AND SIDEWALK TO BE RECONSTRUCTED
- 33 EXISTING SIGN TO BE REMOVED AND REPLACED

LEGEND

-  (N) WALL TO BE CONSTRUCTED
-  WALLS TO BE REMOVED
-  (E) WALL TO REMAIN
-  DOOR TO BE REMOVED
-  WINDOW TO BE REMOVED
-  SCOPE OF BUILDING AREA TO BE REMODELED



EXISTING & DEMOLITION SITE PLAN

SCALE: 1:20

1

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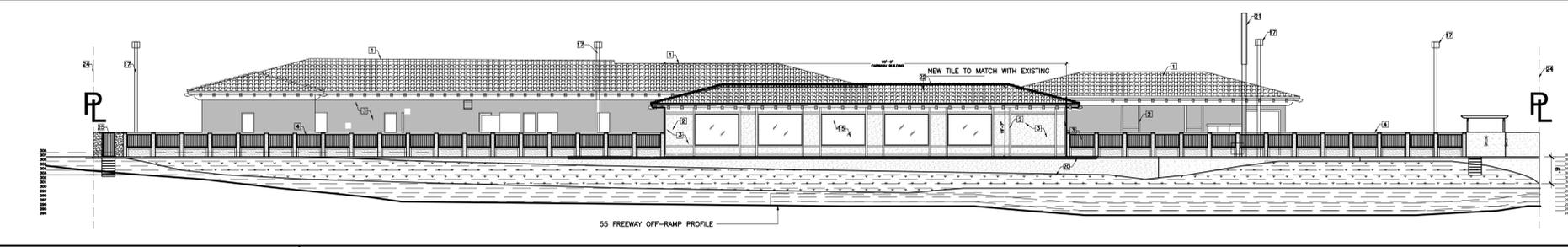
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	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	07/13/21		REVISION ON 08/05 DRC

DRAWING TITLE	EXISTING SITE PLAN
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB ADDRESS	2840 N. SANTIAGO BLVD. ORANGE, CA 92667
JOB NO.	2019-36
DWG. NO.	T-1.1
REVISION NO.	

PROPOSED SITE PLAN KEYNOTES

- PROPOSED 24" HIGH DECORATIVE CMU WALL WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (SEE GRADING PLAN)
- EXISTING CURBS RECONFIGURED TO SUIT MODIFICATIONS IN DRIVEWAYS.
- EXISTING SLOPE MODIFIED FOR LANDSCAPE.
- EXISTING 6 FT CMU FENCE TO REMAIN.
- EXTENDED EXISTING CURB
- NOT USED
- GROUND SIGN TO BE RE-FACED
- (E) SIGN TO BE REMOVED, REPLACED IN LANDSCAPED AREA
- PROPOSED LIGHT POLE
- PROPOSED WALL-PACK LIGHT FIXTURE.
- EXISTING CHAIN LINK FENCE TO BE REMOVED
- EXISTING A/C EQUIPMENT.
- EXISTING ELECTRICAL PANEL.
- EXISTING GAS METER.
- EXISTING WIH.
- EXISTING SINK
- EXISTING ELECTRIC S/W GEAR.
- EXISTING PLANTER CURB IS WITHIN PROPERTY
- 4'-0" WIDE X 3'-0" DEEP "YELLOW" TRUNCATED DOME WARNING PADS AT EACH END OF DRIVEWAY AT PATH-OF-TRAVEL.
- PATH-OF-TRAVEL WITH 45 d "BLUE" STRIPES AT 36" O.C. MAX. SLOPE 5% IN DIRECTION OF TRAVEL AND MAX. 2% CROSS-SLOPE.
- 36"x36" INTERNATIONAL ACCESSIBILITY LOGO "WHITE" SYMBOL ON "BLUE" BACKGROUND.
- PAINT 4" STALL STRIPES AND BORDERS "BLUE".
- PAINT UNLOADING AREA WITH 45 d "BLUE" STRIPES AT 36" O.C. AND 12" LETTERS "NO PARKING".
- MAX. SLOPE 2% IN ANY DIRECTION.
- LINE OF CURB
- EXISTING CONCRETE STEPS.
- (N) ESCAPE GATE FOR BEFORE CARWASH TUNNEL.
- REMOVE EXISTING BOLLARD
- EXISTING LINE OF ROOF
- DRIVEWAY LOCATION
- NEW 5-GALLON BERMS TO BE PLANTED TO SCREEN PARKING AREA (SEE LANDSCAPE PLAN)
- AUTOMATIC PAY BOOTH
- EXISTING AIR AND WATER
- ONE-WAY PATH OF TRAVEL
- INSTALL NEW ONE WAY SIGN
- (E) ADA SIGN
- EXISTING ELECTRICAL METERS
- (E) LIGHT POLE BASE ELECT. SUPPLY WITH (N) LIGHT POLE
- EXISTING LIGHT POLE
- EXISTING LIGHT POLE TO BE REMOVED AND REPLACED IN THE NEW LOCATIONS
- EXISTING ADA RAIL TO REMAIN.
- TRAVEL PATH TO CONVENIENCE STORE
- CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
- EXISTING PLANTER AREA TO REMAIN
- EXISTING SIGN POLE TO REMAIN
- (E) TOP OF SLOPE
- (N) CURB BY RE-CONFIGURING EXISTING
- (E) FIRE HYDRANT
- (E) UTILITIES METERS
- (N) RETAINING WALL PER CIVIL PLANS
- (N) TRENCH DRAIN AT CAR WASH
- (N) PROPOSED PLANTER
- EXTENTS OF DEMOLITION AND REMOVALS
- (E) CALTRANS CONCRETE "T-BARRIERS"
- (E) CALTRANS LIGHT POLE
- (E) CALTRANS EDGE OF OFF-RAMP PAVEMENT
- (N) ADA RAMP
- (N) STRIPE THIS AREA FOR DRIVEWAY
- (N) CONCRETE STEPS DOWN FOR MAINTENANCE



WEST ELEVATION

SCALE: 1/16"=1'-0"

3

ELEVATION KEYNOTES

- EXISTING ROOF TILE TO REMAIN
- EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT WHITE SHADOW 37)
- PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
- (E) ELECTRICAL PANEL TO REMAIN
- (E) A/C CONDENSER TO REMAIN
- ACCESSOIR RAMP
- PUBLIC RESTROOM DOOR (ADA COMPLIANT)
- NOT USE
- EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- EXISTING STORE FRONT SIGNAGE
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- EXISTING LIGHT POST
- EXISTING LIGHT POST- 25' HIGH
- CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
- WALL PACK (MOUNTED PACK) LIGHT SYSTEM
- RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
- (E) SITE SIGNAGE - TO REMAIN
- (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
- NEW AUTOMATIC SLIDING DOOR
- PROPERTY LINE
- (N) MAINTENANCE GATE FOR LANDSCAPE AREA

SITE SECTIONAL ELEVATION

SCALE: 1/16"=1'-0"

2

CODE ANALYSIS

TABLE 506.2-1 - continued
ALLOWABLE AREA FACTOR (A_a = NS, S1, S1R, or SM, as applicable) IN SQUARE FEET

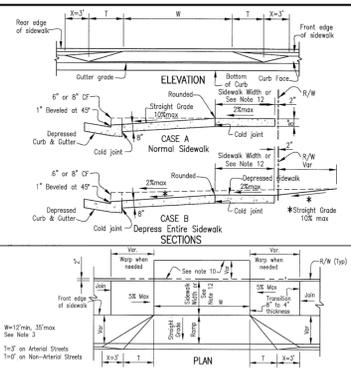
OCCUPANCY CLASSIFICATION	SEE FOOTNOTES	TYPE I CONSTRUCTION				TYPE II CONSTRUCTION				
		A	B	A	B	A	B	A	B	
NS	UL	UL	UL	21,500	12,500	18,500	12,500	20,500	14,000	9,000
M	S1	UL	UL	86,000	50,000	74,000	50,000	82,000	56,000	36,000
	SM	UL	UL	64,500	37,500	55,500	37,500	61,500	42,000	27,000

TYPE OF CONSTRUCTION (BLDG. A & BLDG. B) VB
OCCUPANCY (BLDG. A + BLDG. B + ATRIUM STRUCTURE) AS PER TABLE 506.2 M
TOTAL COMBINED 9,270 SQ.FT > ALLOWABLE OF 9000 SQ. FT. PER TABLE 506.2 M
ALLOWABLE AREA INCREASE DUE TO FRONTAGE TO COMPLY CBC 506.2.1
CALCULATION FORMULA:
 $A_a = A_t + (NS \times I_f)$ ALLOWABLE AREA
 $I_f = [F/P - 0.25] W/30$ INCREASE DUE TO FRONTAGE
CALCULATION:
width of public way W = 16.201
bdg. perimeter P = 622'
bdg. front perimeter in public way F = 251'
 $I_f = [251/622 - 0.25] 16.201/30 = [0.40 - 0.25] 2.14 = 0.32$
 $A_a = 9,270 + (9,000 \times 0.32) = 9,270 + 2,880 = 13,150$
PROPOSED TOTAL AREA : 9,270 SQ. FT. < ALLOWABLE AREA ; 13,150 SQ. FT.

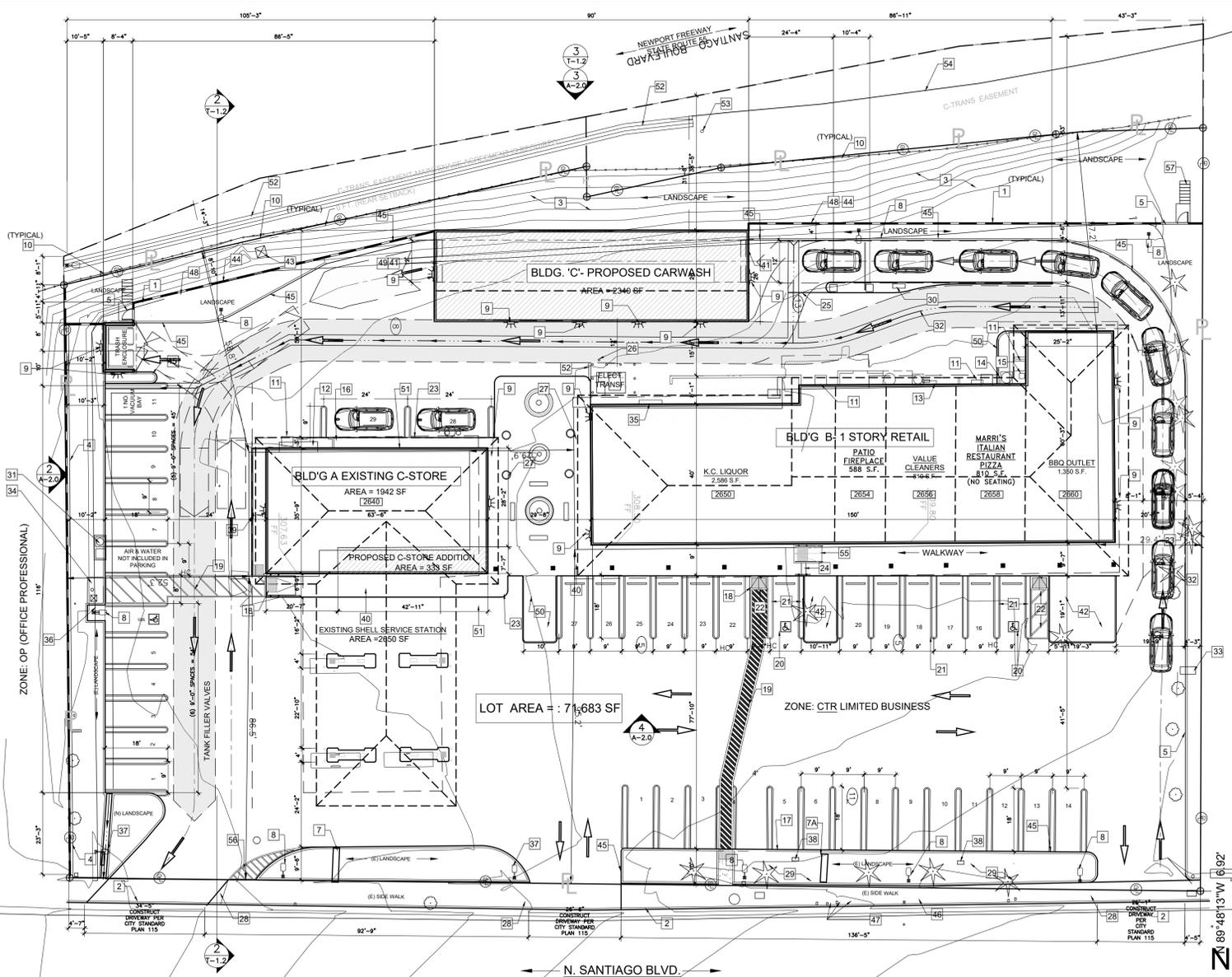
WALL SEPARATION

TABLE 508.4
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

OCCUPANCY	REQUIRED SEPARATION OF OCCUPANCIES (HOURS)											
	A, E	R, R-1, R-2	R-3, R-4	S, S-1, S-2	S-3, S-4	S-5, S-6	S-7, S-8	S-9, S-10	S-11, S-12	S-13, S-14	S-15, S-16	S-17, S-18
A, E	N	N	N	N	N	N	N	N	N	N	N	N
R-1, R-2, R-3, R-4	2	2	2	2	2	2	2	2	2	2	2	2
S-1, S-2, S-3, S-4, S-5, S-6, S-7, S-8, S-9, S-10, S-11, S-12, S-13, S-14, S-15, S-16, S-17, S-18	2	2	2	2	2	2	2	2	2	2	2	2



ADA DRIVEWAY REQUIREMENTS



PROPOSED SITE PLAN

SCALE: 1"=20'-0"

1

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NO.	DATE	ISSUED	BY
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	02/04/21	REVISION ON 08/05 DRC	
	06/22/21	REVISION ON 08/05 DRC	
	08/06/21	REVISION ON 08/05 DRC	

DRAWING TITLE: PROPOSED PRELIMINARY SITE PLAN
JOB TITLE: ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB ADDRESS: 2640 N. SANTIAGO BLVD. ORANGE, CA 92667
JOB NO.: 2019-36
DWG. NO.: T-1.2
REVISION NO.: 8



RETAIL STORE (FRONT)



SERVICE STATION (FRONT)



SIDE OF SERVICE STATION



MEDICAL CENTER (SIDE)



SIDE OF STATION NEXT TO CONTAINER



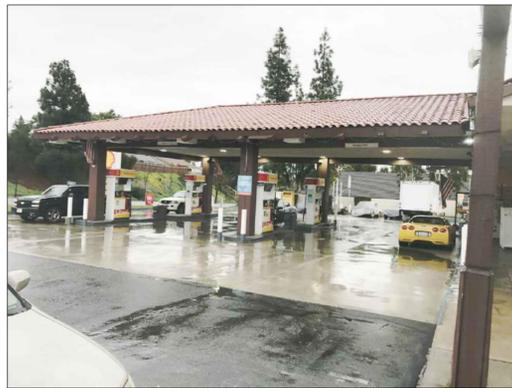
PARKING LOT FACING RETAIL



FACING 55 FREEWAY



PARKING LOT FACING STATION



PICTURES OF EXISTING



REAR OF STATION



REAR OF STATION



REAR OF RETAIL CENTER



REAR OF LOT W/ SLOPE



REAR OF RETAIL CENTER

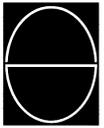


REAR OF RETAIL CENTER



SERVICE STATION (REAR)

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL TAKE NO RESPONSIBILITY FOR ANY DISCREPANCY OR ERROR IN THE DRAWINGS OR SPECIFICATIONS UNLESS IT IS BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF ANY WORK.



DESIGN CONCEPTS

SHIV TALWAR, ARCHITECT AIA

3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710

TEL: 909-591-3939 dsignconcepts@yahoo.com

NO.	DATE	ISSUED	DRC
	10/02/19		

DRAWING TITLE	PICTURES OF EXISTING
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTAGO CENTER
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667
JOB NO.	2013-36
DWG. NO.	REVISION NO.
T-1.3	



EXISTING RETAIN BUILDING VIEW 1(NORTH)

EXISTING BUILDING VIEW 2(NORTH)

EXISTING BUILDING VIEW 3(NORTH)

EXISTING BUILDING VIEW 4(NORTH)



EXISTING OFFICE VIEW 1(SOUTH)

EXISTING OFFICE VIEW 2(SOUTH)

EXISTING OFFICE VIEW 3(SOUTH)

EXISTING OFFICE VIEW 4(SOUTH)



RESIDENTIAL HOUSE VIEW 1(EAST)

RESIDENTIAL HOUSE VIEW 2(EAST)

RESIDENTIAL HOUSE VIEW 3(EAST)

RESIDENTIAL HOUSE VIEW 4(EAST)



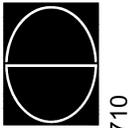
FREEWAY VIEW 1 (WEST)

EXIT 17 LANE(WEST)

2D VIEW(WEST)

FREEWAY VIEW 2(WEST)

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL TAKE NO RESPONSIBILITY FOR ANY DISCREPANCY OR ERROR IN THE DRAWINGS OR SPECIFICATIONS UNLESS IT IS BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF ANY WORK.



DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710
TEL: 909-591-3939 designconcepts@yahoo.com

NO.	DATE	ISSUED	DRC
	10/02/19		

DRAWING TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB NO.	2013-36
DWG. NO.	T-1.4
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667
REVISION NO.	

RECORD DESCRIPTION

APN: 361-401-27

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, CITY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: PARCEL 1, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 40 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND DESCRIBED AS PARCEL 101578-1 IN THE FINAL ORDER OF CONDEMNATION, A CERTIFIED COPY THEREOF BEING RECORDED JANUARY 26, 2000 AS INSTRUMENT NO. 20000045629, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS, AND OTHER MINERALS (INCLUDING, WITHOUT LIMITATION, HELIUM, LIGNITE, SULPHUR, PHOSPHATE AND OTHER SOLID, LIQUID AND GASEOUS SUBSTANCES), REGARDLESS OF THE NATURE THEREOF AND WHETHER SIMILAR OR DISSIMILAR BUT ONLY TO THE EXTENT ANY OF THE FOREGOING IS IN ITS NATURAL STATE AND NATURAL LOCATION AND NOT SUBJECT TO THE DOMINION AND CONTROL OF ANY PERSON, AND THE RIGHT TO EXPLORE FOR, DEVELOP AND PRODUCE SAME, AS WELL AS THE RIGHT TO LEASE, SUCH PORTION OF THE PROPERTY HEREBY RESERVED FOR SUCH PURPOSES, AND ALL MINERAL AND ROYALTY RIGHTS WHATSOEVER IN, TO, UNDER AND PERTAINING TO THE PROPERTY, BUT THE GRANTOR, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO USE, OR RIGHT OF INGRESS TO OR EGRESS FROM ANY PART OF THE SURFACE OF THE PROPERTY FOR EXPLORATION AND PRODUCING PURPOSES, AND ANY OIL AND GAS DRILLING OPERATIONS SHALL BE CONDUCTED BY MEANS OF WELLS, THE SURFACE LOCATIONS OF WHICH ARE ON OTHER LANDS AND WHICH MAY BE DRILLED INTO AND BOTTOMED IN OR UNDER THE PROPERTY. THE GRANTOR SHALL EXERCISE ITS RIGHTS UNDER THE FOREGOING MINERAL, OIL AND GAS RESERVATION SO AS NOT TO DISTURB ANY IMPROVEMENTS, INSTALLATIONS, PETROLEUM OR OTHER PRODUCTS CONTAINED IN SUCH IMPROVEMENTS OR INSTALLATIONS OR SURFACE ACTIVITIES ON THE PROPERTY. THE GRANTOR IS TO RECEIVE AND RETAIN ALL BONUSES, RENTALS AND ROYALTIES PAYABLE UNDER ANY SUCH MINERAL, OIL AND GAS LEASE OR LEASES, AS RESERVED IN THE DEED FROM TEXACO REFINING AND MARKETING INC., A DELAWARE CORPORATION RECORDED JULY 30, 1998 AS INSTRUMENT NO. 19980491383, OFFICIAL RECORDS.

PARCEL B: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 2, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 40 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTH 150 FEET OF THE LAND DESCRIBED AS PARCEL 1 IN THE DEED TO TEXACO, INC., A DELAWARE CORPORATION, RECORDED JULY 13, 1971 IN BOOK 9716 PAGE 821 OF OFFICIAL RECORDS, AND RUNNING THENCE SOUTH 89° 26' 47" WEST, ALONG THE NORTH LINE THEREOF 50 FEET; THENCE NORTH 67° 48' 01" EAST 54.25 FEET TO THE EAST LINE OF PARCEL 1 IN SAID DEED TO TEXACO, INC.; THENCE SOUTH 0° 40' 09" WEST, ALONG SAID EAST LINE, 20 FEET TO THE POINT OF BEGINNING.

361-401-27

THE ABOVE DESCRIBED PARCEL OF LAND IS THE SAME AS THE PROPERTY DESCRIBED IN THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO.: 2676017569-48 DATED AS OF JULY 17, 2020

SCHEDULE 'B' ITEMS

ITEM #'S 1 THROUGH 3 ARE NON SURVEY RELATED - NOT PLOTTED.

ITEM # 4 EASEMENT GRANTED TO SANTA ANA VALLEY IRRIGATION COMPANY, A CORPORATION, FOR TO CONSTRUCT, MAINTAIN, REPLACE, REPAIR AND RENEW A CONDUIT AND PIPE LINE FOR THE CONVEYANCE OF WATER AND RIGHTS INCIDENTAL RECORDED JUNE 11, 1937 IN BOOK 896, PAGE 68 OF OFFICIAL RECORDS AND SHOWN ON RECORD OF SURVEY FILED IN BOOK 4, PAGES 44 THROUGH 50 OF RECORD OF SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY PLOTTED HEREON.

ITEM # 5 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM NEWPORT FREEWAY EXTENDING ALONG THE WESTERLY BOUNDARY OF SAID LAND AS GRANT DEED (INDIVIDUAL) TO THE STATE OF CALIFORNIA DATED NOVEMBER 02, 1960 RECORDED JANUARY 17, 1961 IN BOOK 5592, PAGE 84 AS INSTRUMENT NUMBER 8127 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 6 EASEMENT CONTAINED IN GRANT DEED RESERVED BY BARRY G. HON AND VALERIE HON, HUSBAND AND WIFE FOR INGRESS AND EGRESS AND RIGHTS INCIDENTAL RECORDED JULY 13, 1971 IN BOOK 9716, PAGE 821 OF OFFICIAL RECORDS - NOT PLOTTED - NO DOCUMENT AVAILABLE.

ITEM # 7 RIGHTS OF THE PUBLIC, COUNTY AND/OR CITY, IN AND TO THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF SANTIAGO BOULEVARD - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 8 EASEMENT PROVIDED IN INSTRUMENT ENTITLED "SPECIAL WARRANTY DEED" RESERVED BY TEXACO REFINING AND MARKETING INC., A DELAWARE CORPORATION FOR INGRESS AND EGRESS RECORDED JULY 30, 1998 AS INSTRUMENT NUMBER 19980491383 OF OFFICIAL RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 9 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM FREEWAY UPON WHICH PREMISES ABUTS AS INSTRUMENT ENTITLED "FINAL ORDER OF CONDEMNATION" TO THE PEOPLE OF THE STATE OF CALIFORNIA ACTING BY AND THROUGH THE DEPARTMENT OF TRANSPORTATION RECORDED JANUARY 26, 2000 AS INSTRUMENT NUMBER 20000045629 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 10 REDEVELOPMENT PLAN AS ENTITLED "ORANGE MERGED AND AMENDED REDEVELOPMENT PROJECT AREA" EXECUTED BY THE CITY CLERK OF THE CITY OF ORANGE DATED NOVEMBER 28, 2001 RECORDED DECEMBER 03, 2001 AS INSTRUMENT NUMBER 20010869583 OF OFFICIAL RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 11 MATTERS CONTAINED IN INSTRUMENT ENTITLED "ACCESS AGREEMENT" EXECUTED BY EQUILON ENTERPRISES, LLC, A DELAWARE LIMITED LIABILITY COMPANY DBA SHELL OIL PRODUCTS US ("SHELL") AND MYKC PETRO, INC. ("LICENSOR") A CALIFORNIA CORPORATION DATED SEPTEMBER 25, 2007 RECORDED OCTOBER 05, 2007 AS INSTRUMENT NUMBER 2007000601774 OF OFFICIAL RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM # 12 THROUGH 18 ARE NON SURVEY RELATED - NOT PLOTTED.

ITEM # 19 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS - NOT PLOTTED - BLANKET IN NATURE.

ITEM #'S 20 AND 21 ARE NON SURVEY RELATED - NOT PLOTTED.

THE ABOVE LISTED SCHEDULE B-I ITEMS ARE TRANSCRIBED FROM THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO.: 2676017569-48 DATED AS OF JULY 17, 2020

FLOOD INFORMATION

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 06059C0154J, WITH A DATE OF IDENTIFICATION OF DECEMBER 03, 2009, FOR COMMUNITY NUMBER 060212, IN ORANGE COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

ZONE "X" DENOTES AREAS OF MINIMAL FLOOD HAZARD

RECORD DESCRIPTION

APN: 361-401-23 AND 361-401-25

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF ORANGE, CITY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: PARCEL 2, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 40, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THOSE PORTIONS OF SAID LAND DESCRIBED AS PARCELS 101579-1 AND 101579-2 IN THE FINAL ORDER OF CONDEMNATION, A CERTIFIED COPY THEREOF BEING RECORDED OCTOBER 18, 1999 AS INSTRUMENT NO. 19990730949, OFFICIAL RECORDS.

ALSO EXCEPT FROM THE NORTHEASTERLY PORTION OF SAID LAND, AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE SUBSURFACE OF SAID LAND, LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, AS GRANTED TO ELIZABETH HILLMAN MCNAMARA, BY DEED RECORDED JANUARY 24, 1952 IN BOOK 2278, PAGE 356, OFFICIAL RECORDS, BUT WITHOUT THE RIGHT TO ENTER UPON THE SURFACE THEREOF, AS PROVIDED BY DEED RECORDED JULY 27, 1964 IN BOOK 7151, PAGE 576, OFFICIAL RECORDS.

PARCEL B: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF PARCEL 1, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 40, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID PARCEL, THENCE SOUTH 89° 26' 47" WEST ALONG THE NORTH LINE THEREOF 50.00 FEET; THENCE SOUTH 89° 25' 13" EAST 53.45 FEET TO THE EAST LINE OF SAID PARCEL 1 (ONE); THENCE NORTH 00° 40' 09" EAST ALONG SAID EAST LINE, 20.00 FEET TO THE POINT OF BEGINNING.

APNS: 361-401-23 AND 361-401-25

THE ABOVE DESCRIBED PARCEL OF LAND IS THE SAME AS THE PROPERTY DESCRIBED IN THE OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NO.: 2676017568-48 DATED AS OF JUNE 29, 2020

SCHEDULE 'B' ITEMS

ITEM #'S 1 THROUGH 4 ARE NON SURVEY RELATED - NOT PLOTTED.

ITEM # 5 EASEMENT GRANTED TO SANTA ANA VALLEY IRRIGATION COMPANY, A CORPORATION FOR TO CONSTRUCT, MAINTAIN, REPLACE, REPAIR AND RENEW A CONDUIT AND PIPELINE FOR THE CONVEYANCE OF WATER AND RIGHTS INCIDENTAL RECORDED IN BOOK 896, PAGE 68 OF OFFICIAL RECORDS PLOTTED HEREON.

ITEM # 6 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM THE STREET OR HIGHWAY IN GRANT DEED (INDIVIDUAL) TO THE STATE OF CALIFORNIA DATED NOVEMBER 02, 1960 RECORDED JANUARY 17, 1961 IN BOOK 5592, PAGE 84 AS INSTRUMENT NUMBER 8127 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 7 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM THE STREET OR HIGHWAY IN GRANT DEED (INDIVIDUAL) TO THE STATE OF CALIFORNIA DATED DECEMBER 01, 1960 RECORDED FEBRUARY 07, 1961 IN BOOK 5620, PAGE 420 AS INSTRUMENT NUMBER 3562 OF OFFICIAL RECORDS - PLOTTED HEREON.

ITEM # 8 EASEMENT GRANTED TO TEXACO, INC., A DELAWARE CORPORATION FOR : INGRESS AND EGRESS RECORDED JULY 13, 1971 IN BOOK 9716, PAGE 821 AS INSTRUMENT NUMBER 10053 OF OFFICIAL RECORDS - NOT PLOTTED - NO DOCUMENT AVAILABLE.

ITEM # 9 EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION FOR PUBLIC UTILITIES RECORDED AUGUST 27, 1971 IN BOOK 9716, PAGE 111 AS INSTRUMENT NUMBER 25910 - NOT PLOTTED - NO DOCUMENT AVAILABLE.

ITEM # 10 EASEMENT GRANTED TO THE CITY OF ORANGE, A MUNICIPAL CORPORATION FOR ALL EXISTING UNDERGROUND AND OVERHEAD EASEMENTS RECORDED FEBRUARY 03, 1972 IN BOOK 9990, PAGE 44 AS INSTRUMENT NUMBER 3552 - NOT PLOTTED - THE LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT.

ITEM # 11 MATTERS AS CONTAINED OR REFERRED TO IN INSTRUMENT ENTITLED "PAY TELEPHONE LOCATION AGREEMENT" EXECUTED BY L & K LEASING AND SANTIAGO PLAZA CO., A CALIFORNIA LIMITED PARTNERSHIP DATED JULY 01, 1998 RECORDED JULY 10, 1998 AS INSTRUMENT NUMBER 19980443785 OF OFFICIAL RECORDS - NOT PLOTTED - THE LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT.

ITEM # 12 RELEASE AND RELINQUISHMENT OF ABUTTER'S OR ACCESS RIGHTS TO AND FROM FREEWAY IN "FINAL ORDER OF CONDEMNATION" TO THE PEOPLE OF THE STATE OF CALIFORNIA ACTING BY AND THROUGH THE DEPARTMENT OF TRANSPORTATION RECORDED OCTOBER 18, 1999 AS INSTRUMENT NUMBER 19990730949 OF OFFICIAL RECORDS - PLOTTED HEREON.

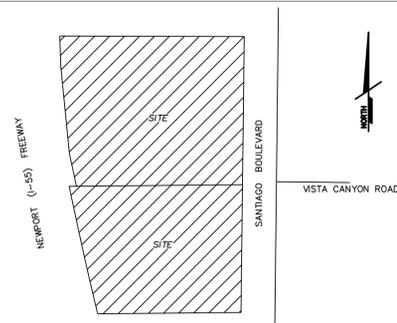
ITEM #'S 13 THROUGH 18 ARE NON SURVEY RELATED - NOT PLOTTED.

BUILDING INFORMATION

2640: 1,926.7 +/- SQ. FT. (FOOTPRINT)

2650: 6,882.3 +/- SQ. FT. (FOOTPRINT)

VICINITY MAP



STATEMENT OF ENCROACHMENTS

- A CURB ENCROACHES INTO RIGHT OF WAY BY 0.3'
- B CURB ENCROACHES INTO RIGHT OF WAY BY 2.0'
- C BUILDING ENCROACHES INTO EASEMENT ITEM # 5 BY 3.2'
- D FENCE ENCROACHES INTO SUBJECT PROPERTY BY 1.1'
- E FENCE ENCROACHES INTO SUBJECT PROPERTY BY 0.7'

STATEMENT OF UTILITIES

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE ONLY. WHILE THE INFORMATION IS ASSUMED TO BE ACCURATE, NO GUARANTEE IS MADE TO THE EXACT LOCATION OF THE UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION, THE SITE SHOULD BE POTHOLED TO DETERMINE THE EXACT LOCATION OF ANY OR ALL UTILITIES.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SANTIAGO BOULEVARD AS DEPICTED ON PARCEL MAP FILED IN BOOK 40, PAGE 7, ORANGE COUNTY RECORDS.

BEARING BEING NORTH 00° 40' 09" EAST.

ZONING INFORMATION

NO ZONING INFORMATION PROVIDED

AREA OF PROPERTY

PARCEL 1 (SOUTH): 28,075.47 SQUARE FEET OR 0.65 ACRE

PARCEL 2 (NORTH): 36,698.25 SQUARE FEET OR 0.84 ACRE

COMBINED TOTAL: 64,773.72 SQUARE FEET OR 1.49 ACRE

BENCHMARK

ORANGE COUNTY PUBLIC WORKS BENCHMARK NO. 2J-35-71

ELEVATION: (NAVD 88): 325.946

DESCRIPTION: DESCRIBED BY OCS 2002: FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2J-35-71" SET IN THE SOUTHWESTERLY CORNER OF A 10 FOOT BY 10 FOOT CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF THE INTERSECTION OF NOHL RANCH ROAD AND SANTIAGO BOULEVARD: 200 FEET EASTERLY OF THE CENTERLINE OF SANTIAGO BOULEVARD AND 33.4 FEET NORTHERLY OF THE CENTER OF THE MEDIAN ALONG NOHL RANCH ROAD

PARKING INFORMATION

REGULAR SPACES: 42
HANDICAP SPACES: 4

TOTAL COMBINED PARKING SPACES: 46

Surveyor

SITETECH INC. logo and contact information: 8061 CHURCH STREET-PO BOX 592-HIGHLAND, CA 92346. PH: (909) 864-3180 FAX: (909) 864-0850 E-mail: jmayer@sitetechinc.com

GENERAL NOTES

- MN1 POSTED ADDRESS: 2640 N. SANTIAGO BOULEVARD.
- MN2 ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
- MN3 ASSESSOR'S PARCEL NO.'S.: 361-401-27 AND 361-401-23.
- MN4 THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- MN5 NO PROPOSED CHANGES IN ADJACENT STREET RIGHT OF WAY LINES.
- MN6 THERE WAS NO OBSERVABLE EVIDENCE OF SITE BEING USED FOR A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- MN7 ALL UTILITIES SHOWN HEREON ARE FROM ABOVE GROUND OBSERVATION.
- MN8 NO PROPERTY CORNERS WERE SET AT THE TIME OF SURVEY.
- MN9 THERE WAS NO OBSERVABLE EVIDENCE OF SITE BEING USED AS A CEMETERY.
- MN10 PHYSICAL STREET ACCESS IS FROM SANTIAGO BOULEVARD BEING A PUBLICLY DEDICATED STREET.
- MN11 NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- MN12 THE BOUNDARY OF THE PROPERTY CLOSES MATHEMATICALLY WITH NO GAPS, GORES OR OVERLAPS.
- MN13 THERE WAS NO FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST HIRED BY THE CLIENT. NO DELINEATION MARKERS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- MN14 PLOTTABLE OFFSITE (I.E. APPURTENANT) EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY PURSUANT TO SECTIONS 5 AND 6.

ALTA/NSPS LAND TITLE SURVEY

Surveyor's Certification

Orange

2640 N. Santiago Boulevard
Orange, CA 92867
County of Orange

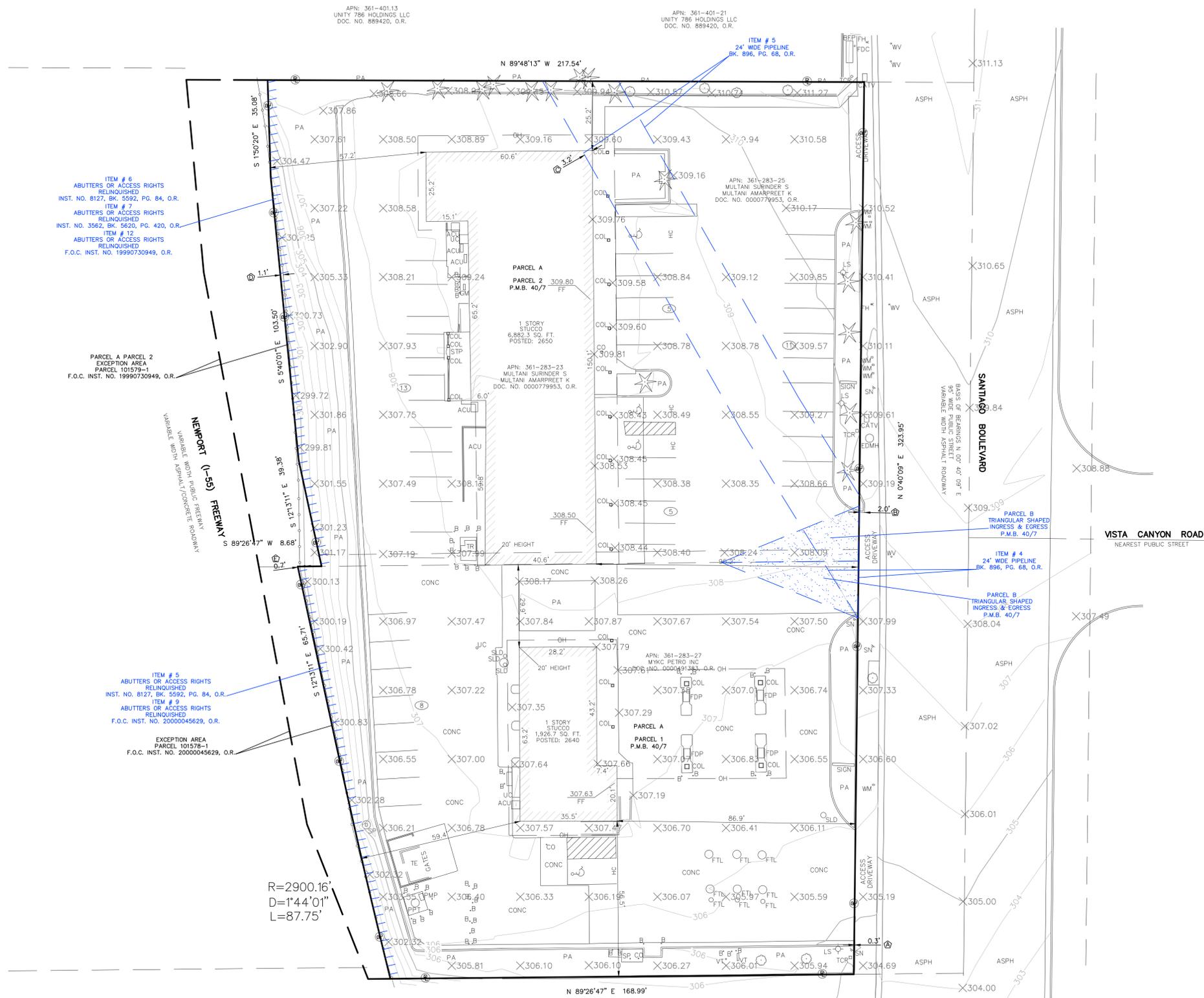
To: Old Republic Title Company; This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 8, 9, 10a, 13, 14, 16, 17, 18, and 20 of Table A thereof. The fieldwork was completed on April 25, 2021

Bernhard K. Mayer
Registration No. P.L.S. 7319
In the State of California
Date of Plat or Map: 05/03/21
Date of Revision: 05/06/21



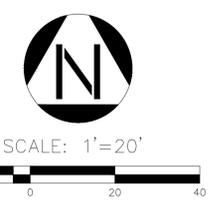
Survey Prepared By:
SITETECH INC.
8061 CHURCH STREET
MAIL: POX 592
HIGHLAND, CA 92346
(909) 864-3180

SITETECH INC. logo and address: 8061 CHURCH STREET-PO BOX 592-HIGHLAND, CA 92346. Phone: (909) 864-3180 Fax: (909) 864-0850. Sheet 1 of 2



LEGEND

□	ACU	AIR COMPRESSOR UNIT
APN	ASSESSOR'S PARCEL NUMBER	
ASPH	ASPHALT	
○	B	BOLLARD
—	BFP	BACK FLOW PREVENTOR
BK.	BOOK	
□	CATV	CABLE TELEVISION VAULT
○	CO	CLEAN OUT
□	COL	COLUMN
	CONC	CONCRETE
DOC.	DOCUMENT	
○	EDMH	EDISON UTILITY MANHOLE
F.O.C.	FINAL ORDER OF CONDEMNATION	
•	FD	FOUND MONUMENT - AS NOTED
○	FDC	FIRE DEPARTMENT CHECK VALVE
○	FDP	FUEL DISPENSING PUMP
○	FFE	FINISHED FLOOR ELEVATION
○	FH	FIRE HYDRANT
○	FTL	FUEL TANK LID
□	GM	GAS METER
○	HC	HANDICAP
INST.	INSTRUMENT	
LS	LIGHT STANDARD	
NO.	NUMBER	
O.R.	OFFICIAL RECORDS	
—	OH	OVERHANG
P.M.B.	PARCEL MAP BOOK	
PA	PLANTER AREA	
PG.	PAGE	
PL	PROPERTY LINE	
○	PMP	PUMP
○	PPT	PROPANE TANK
○	SLD	STEEL LID
SN	SIGN	
SP	SIGN POST	
SQ. FT.	SQUARE FEET	
TCR	TELE-COMMUNICATIONS RISER	
TE	TRASH ENCLOSURE	
TR	TRANSFORMER	
UC	UTILITY CABINET	
WM	WATER METER	
○	WV	WATER VALVE
—		BLOCK WALL - TYPICAL
—		PARKING SPACE COUNTER
—		HATCHED AREA - PAINTED
x 300.25		SPOT GRADES
—		CONTOUR LINES
—		FENCE CHAIN LINK - TYPICAL
—		EASEMENT LINES
★		TREE - PALM
○		TREE - DECIDUOUS



SITE TECH, INC.
8061 CHURCH STREET-PO BOX 592-HIGHLAND, CA 92346
PH: (909) 864-3180 FAX: (909) 864-0850

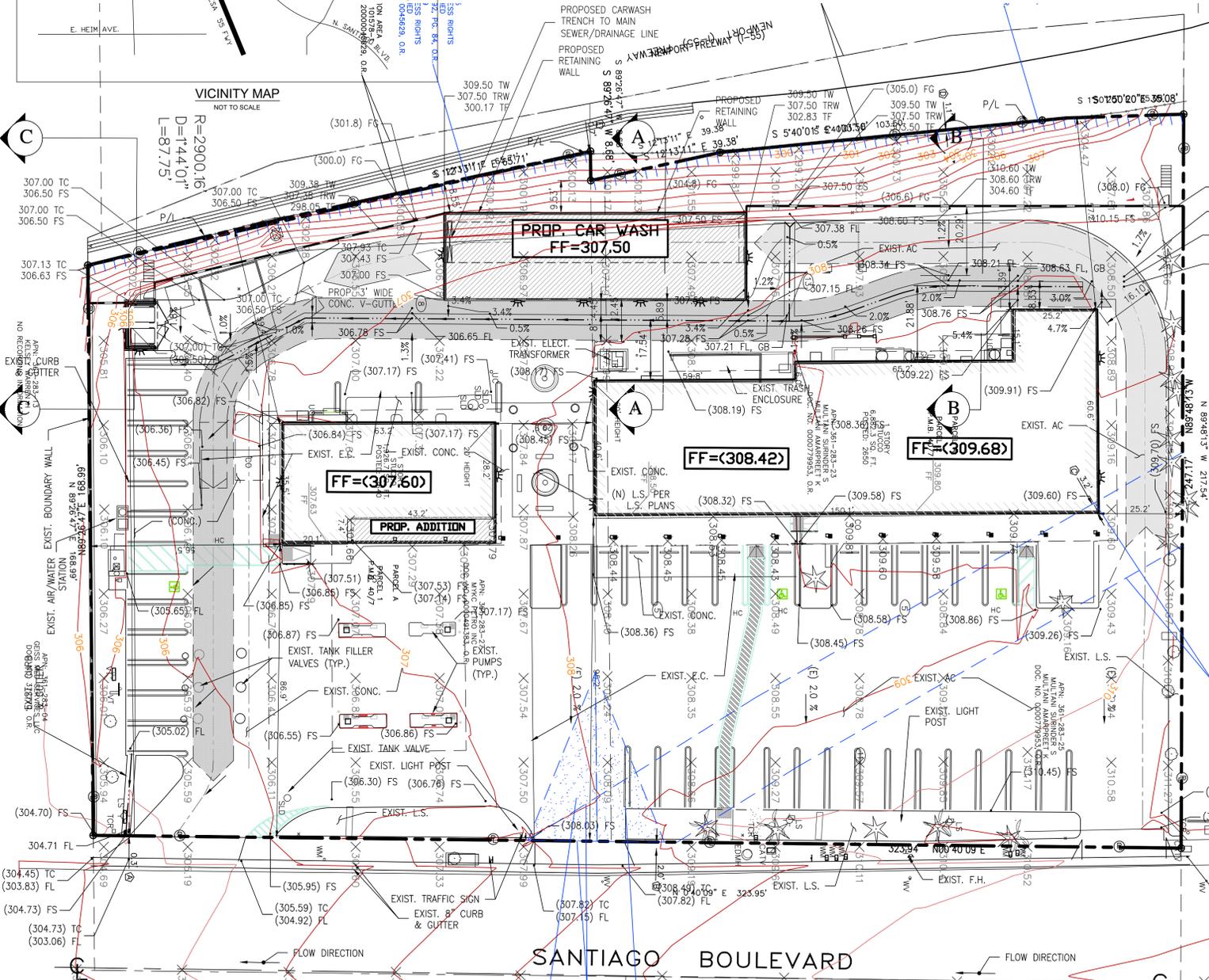
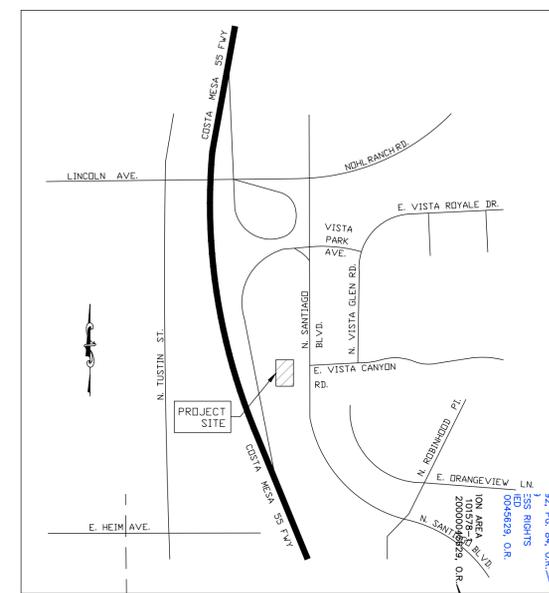
CITY OF ORANGE

CONCEPTUAL GRADING PLAN

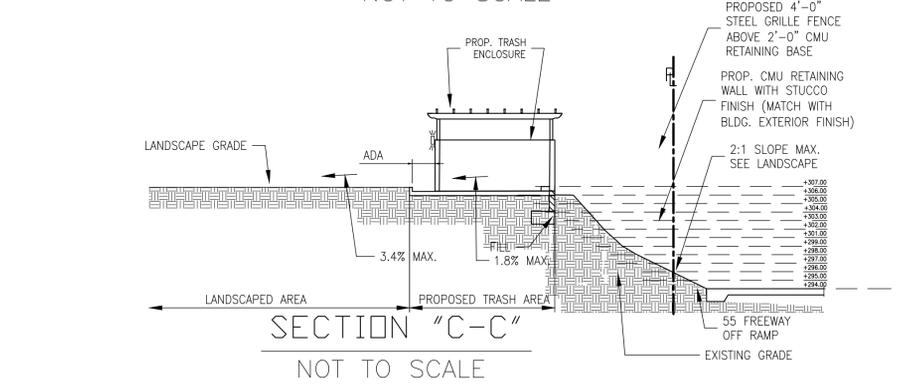
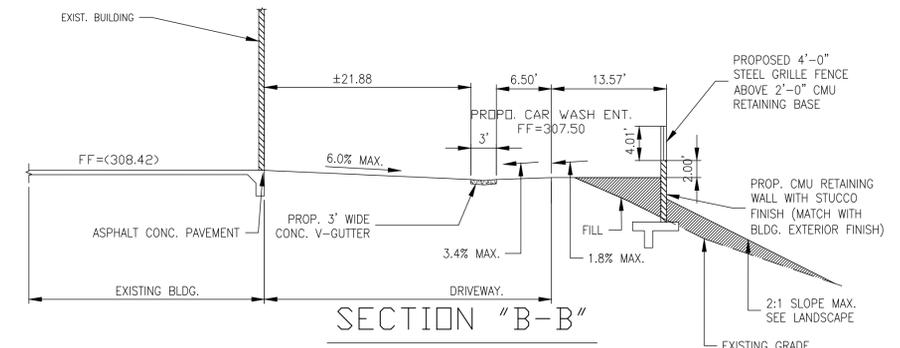
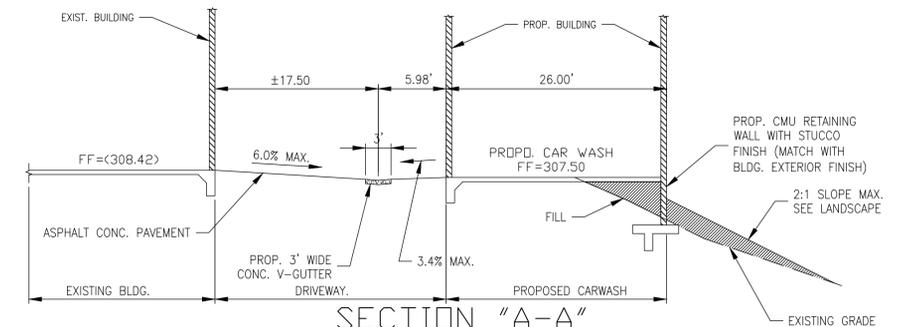
PROPOSED ADDITION & REMODEL FOR EXISTING AUTO REPAIR SERVICE

2640 N. SANTIAGO BLVD., ORANGE, CA 92867

- LEGEND:**
- PROPOSED RETAINING WALL
 - FLOW LINE
 - PROPERTY LINE
 - RIGHT-OF-WAY
 - CENTERLINE
 - EXISTING CONTOUR
 - SLOPE
- AC = ASPHALT PAVEMENT
 LF = LINEAL FOOT
 SF = SQUARE FOOT
 EA = EACH
 HP = HIGH POINT
 FL = FLOW LINE
 C/L = CENTERLINE
 R/W = RIGHT-OF-WAY
 P/L = PROPERTY LINE
 (306.92) = EXISTING ELEVATION
 306.99 = PROPOSED ELEVATION
 BW = BACK OF EXISTING SIDE WALK
 CONC. = CONCRETE SURFACE
 E.C. = EDGE OF CONCRETE SURFACE
 DF = DEEPENED FOOTING
 FG = FINISH GRADE
 FS = FINISH SURFACE
 FF = FINISHED FLOOR
 GB = GRADE BREAK
 L.S. = LANDSCAPE AREA
 TC = TOP OF CURB
 TW = TOP OF WALL
 TRW = TOP OF RETAINING WALL



NOTE:
 A BUILDING PERMIT IS ALSO REQUIRED FOR RETAINING WALLS OVER 4 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL PRIOR TO CONSTRUCTION. STRUCTURAL DETAILS AND DESIGN CALCULATIONS SHALL BE SUBMITTED AS A SEPARATE DOCUMENT AND WILL BE REVIEWED AND PERMITTED BY THE CITY BUILDING DIVISION, PRIOR TO THE ISSUANCE OF A GRADING PERMIT.



Underground Service Alert

Call: TOLL FREE 1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:

SHIV D. TALWAR LICENSED ARCHITECT NO. C-23417 DATE 05/07/2021

DESIGN CONCEPTS
 SHIV TALWAR, ARCHITECT AIA
 3340 RIVERSIDE DRIVE #M. CHINO, CA. 91710
 TEL: 909-591-3939 Email: dsignconcepts@yahoo.com

MARK	REVISIONS	BY	APPR.	DATE

BENCH MARK:

APPROVED _____ 2021

SENIOR CIVIL ENGINEER
 REGISTERED CIVIL ENGINEER NO. _____

DRAWN BY: _____

CHECKED BY: _____

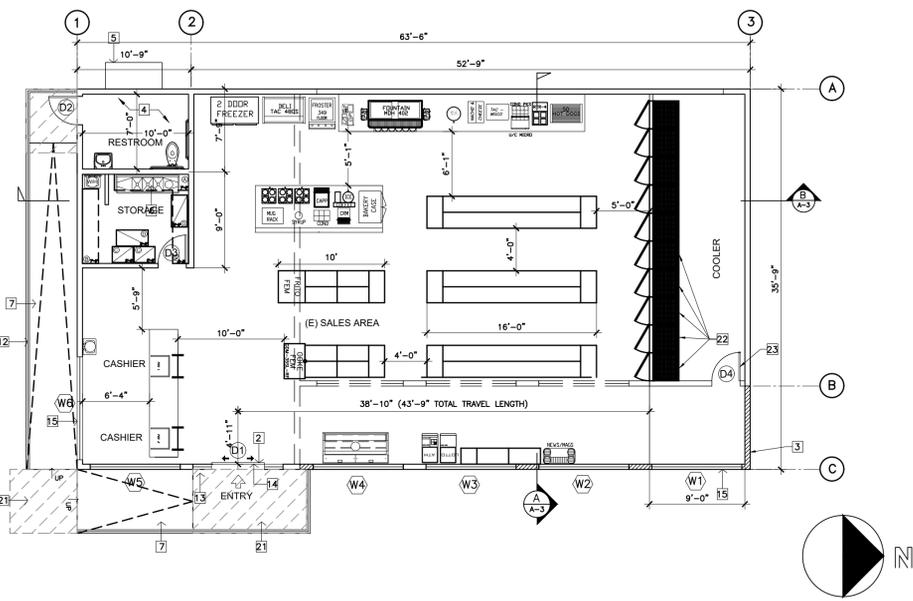
RECOMMENDED BY: _____

CITY OF ORANGE
 DEPARTMENT OF PUBLIC WORKS
CONCEPTUAL GRADING PLAN
 2640 N. SANTIAGO BOULEVARD
 ORANGE, CA 92867
GRADING PLAN

DRAWING NO. C-1

SHEET 1 OF 1 SHEETS

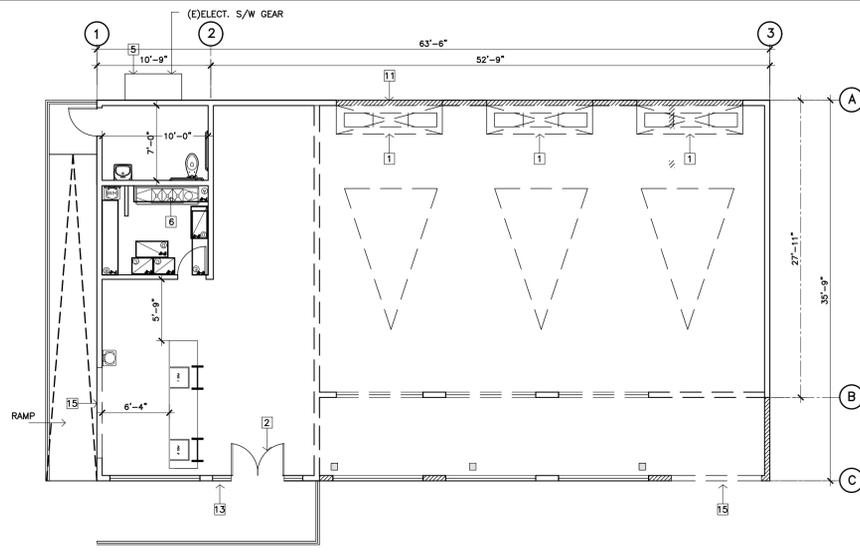
FOR CITY USE ONLY: FILE NO. _____ W.O. NO. _____



C-STORE PROPOSED PLAN

SCALE: 1/8"=1'-0"

5



C-STORE DEMOLITION & PROPOSED WALL PLAN

SCALE: 1/8"=1'-0"

4

PROPOSED C-STORE PLAN KEYNOTES

- EXISTING ROLLING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED AND REPLACED WITH (N) SLIDING DOOR
- EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT BAG OF GOLD: 0897)
- (N) ACCESSIBLE RESTROOM
- (E) ELECTRICAL PANEL TO REMAIN
- (E) SINK TO REMAIN
- HANDICAP RAMP
- NOT IN USE
- NOT IN USE
- NOT IN USE
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT WHITE SHADOW 37)
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- EXISTING STORE FRONT SIGNAGE
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- NOT IN USE
- LEVEL LENDING
- WALK IN COOLER
- (N) DOOR TO BE BUILT

SEE SHEET F-1 FOR EQUIPMENT SCHEDULE.

PROPOSED C-STORE ELEVATION KEYNOTES

- EXISTING ROOF TILE TO REMAIN
- EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT WHITE SHADOW 37)
- PROPOSED NEW 2" HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529). SEE SHEET A-1.1
- (E) ELECTRICAL PANEL TO REMAIN
- (E) A/C CONDENSER TO REMAIN
- HANDICAP RAMP
- SCOPE OF WORK FOR ADDITION AND CONVERSION TO COMPLETE CONVENIENCE STORE - ADDITION COLOR FINISH TO MATCH EXISTING
- NOT IN USE
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- NOT IN USE
- NOT IN USE
- NOT IN USE
- WALL PACK (WALL MOUNTED) LIGHT SYSTEM (SEE LIGHTING PLAN)

DEMOLITION PLAN KEYNOTES

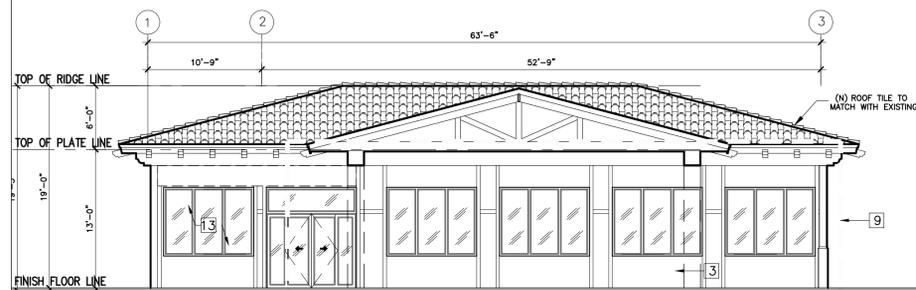
- EXISTING CAR REPAIR EQUIPMENT SHOP TO BE DEMOLISHED

FLOOR PLAN GENERAL NOTES

- PROVIDE BACKING FOR WALL-HUNG FIXTURE UNITS.
- ALL DOORS OPENING TO THE OUTSIDE ARE REQUIRED TO HAVE SELF-CLOSING DEVICES
- DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.

LEGEND

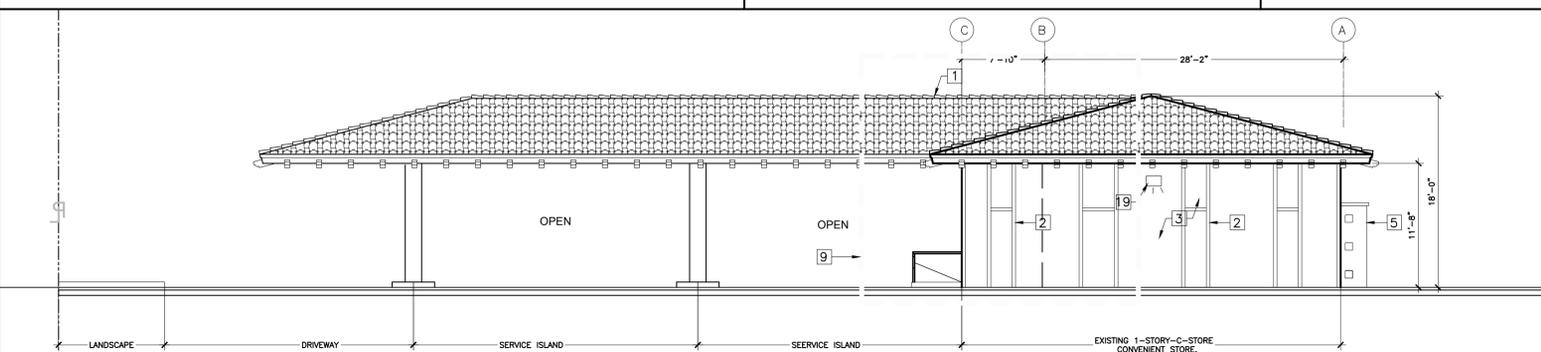
- (N) WALL TO BE CONSTRUCTED
- WALLS TO BE REMOVED
- (E) WALL TO REMAIN
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVED
- (E) EXISTING
- (N) NEW



C-STORE EAST SECTION / ELEVATION

SCALE: 1/8"=1'-0"

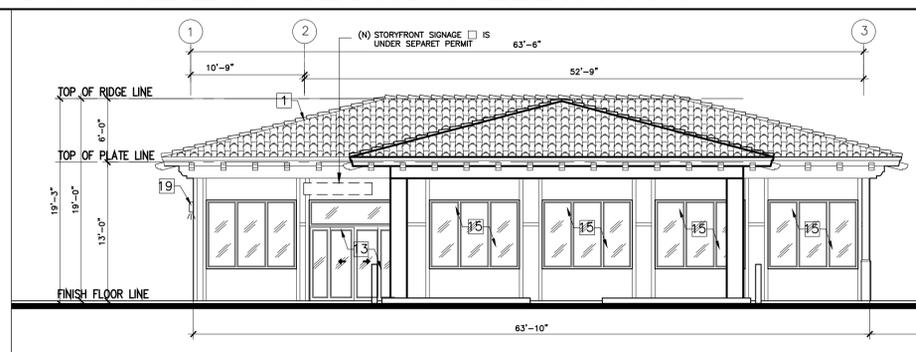
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C-STORE NORTH ELEVATION

SCALE: 1/8"=1'-0"

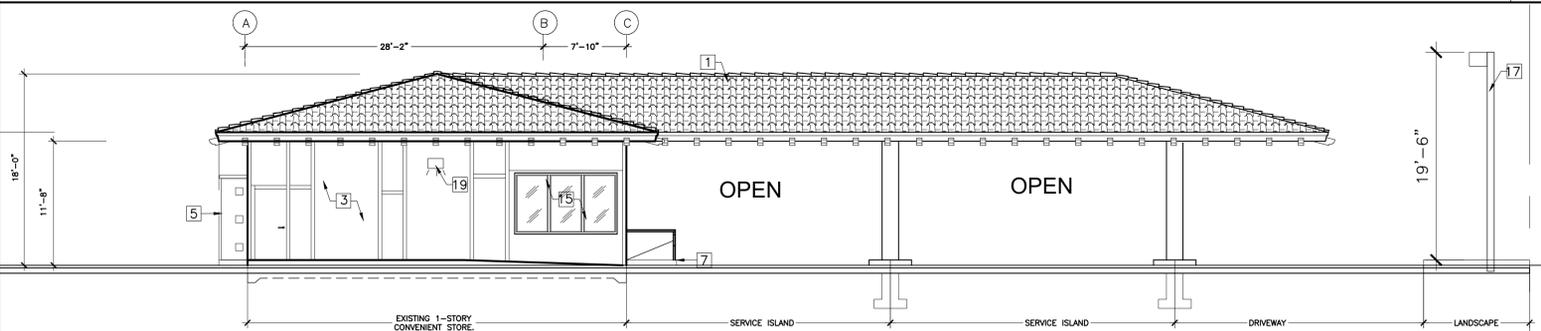
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C-STORE EAST ELEVATION

SCALE: 1/8"=1'-0"

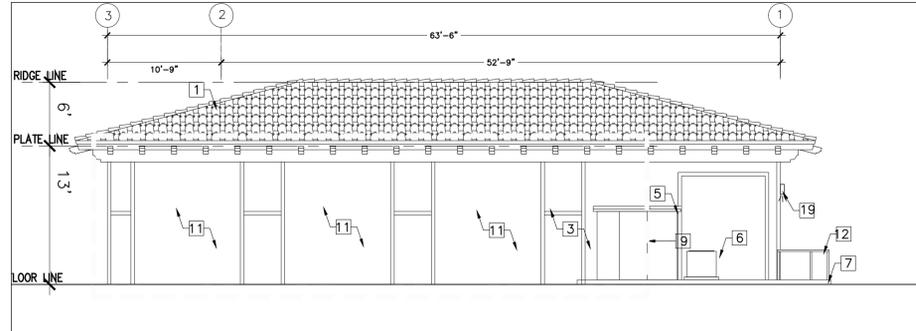
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C-STORE SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

7



C-STORE WEST ELEVATION

SCALE: 1/8" = 1'-0"

1

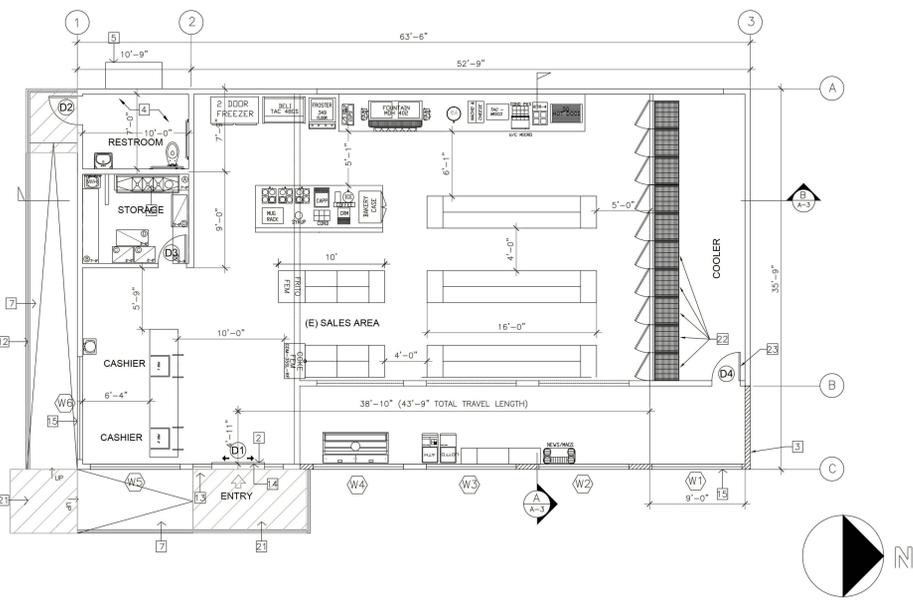
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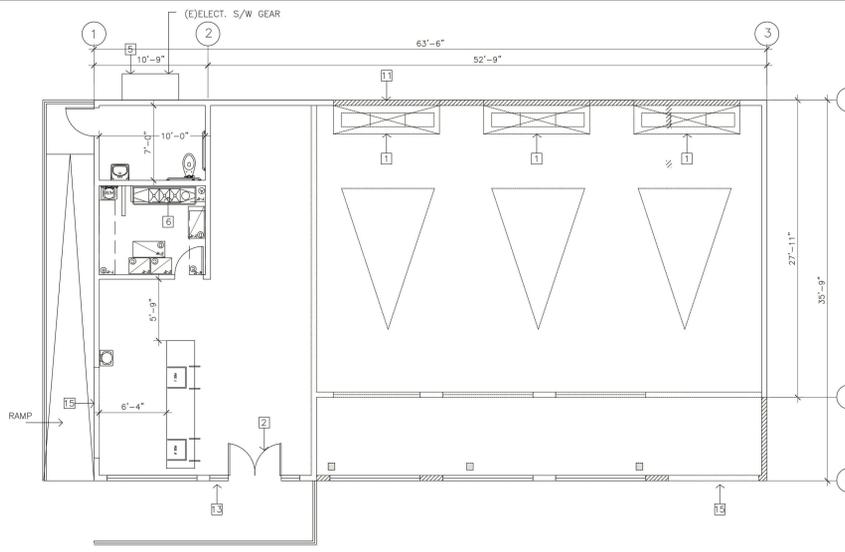
DESIGN CONCEPTS
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 TEL: 909-591-3939 designconcepts@yahoo.com

NO.	DATE	ISSUED	DESCRIPTION
	10/02/19	DRG	REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	06/06/21		REVISION ON 08/05 DRC

DRAWING TITLE	PROPOSED PRELIMINARY FLOOR PLAN
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667
JOB NO.	2019-36
DWG. NO.	A-1
REVISION NO.	1



C-STORE PROPOSED PLAN SCALE: 1/8"=1'-0" 5



C-STORE DEMOLITION & PROPOSED WALL PLAN SCALE: 1/8"=1'-0" 4

PROPOSED C-STORE PLAN KEYNOTES

- EXISTING ROLLING DOOR TO BE DEMOLISH
- EXISTING DOOR TO BE DEMOLISH AND REPLACED WITH (N) SLIDING DOOR
- EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT BAG OF GOLD: 0897)
- (N) ACCESSIBLE RESTROOM
- (E) ELECTRICAL PANEL TO REMAIN
- (E) SINK TO REMAIN
- HANDICAP RAMP
- NOT IN USE
- NOT IN USE
- NOT IN USE
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- EXISTING STORE FRONT SIGNAGE
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- NOT IN USE
- LEVEL LENDING
- WALK IN COOLER
- (N) DOOR TO BE BUILD

SEE SHEET F-1 FOR EQUIPMENT SCHEDULE.

PROPOSED C-STORE ELEVATION KEYNOTES

- EXISTING ROOF TILE TO REMAIN
- EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- EXISTING AND NEW STUCCO TEXTURED PAINT VISTA PAINT 37 WHITE SHADOW
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- HANDICAP RAMP
- SCOPE OF WORK FOR ADDITION AND CONVERSION TO COMPLETE CONVENIENCE STORE - ADDITION COLOR FINISH TO MATCH EXISTING
- NOT IN USE
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED VISTA PAINT 37 WHITE SHADOW
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- NOT IN USE
- NOT IN USE
- NOT IN USE
- WALL MOUNTED LIGHT SYSTEM AROUND A TRASH ENCLOSURE

DEMOLITION PLAN KEYNOTES

- EXISTING CAR REPAIR EQUIPMENT SHOP TO BE DEMOLISHED
- FLOOR PLAN GENERAL NOTES**
- PROVIDE BACKING FOR WALL-HUNG FIXTURE UNITS.
 - ALL DOORS OPENING TO THE OUTSIDE ARE REQUIRED TO HAVE SELF-CLOSING DEVICES
 - DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.

LEGEND

- (N) WALL TO BE CONSTRUCTED
- WALLS TO BE REMOVED
- (E) WALL TO REMAIN
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVED
- (E) EXISTING
- (N) NEW



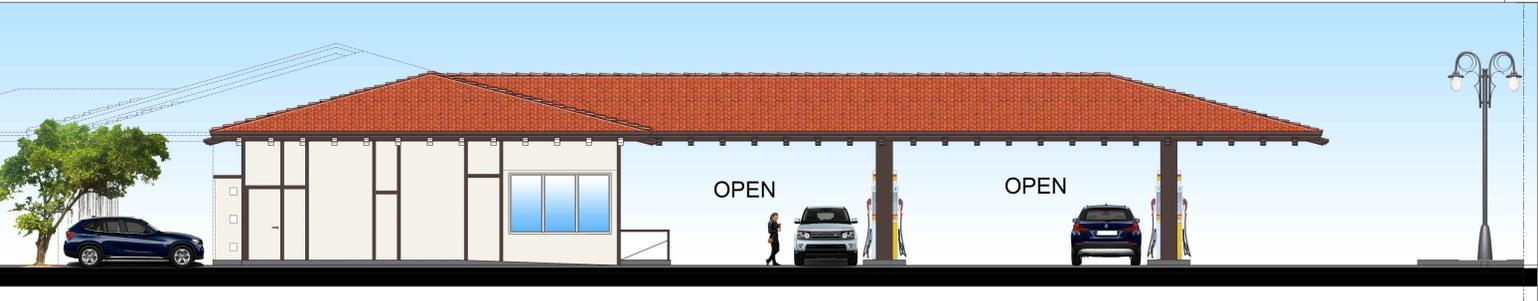
C-STORE EAST SECTION / ELEVATION SCALE: 1/8"=1'-0" 3



C-STORE NORTH ELEVATION SCALE: 1/8"=1'-0" 6



C-STORE EAST ELEVATION SCALE: 1/8"=1'-0" 2

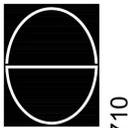


C-STORE SOUTH ELEVATION SCALE: 1/8" = 1'-0" 7



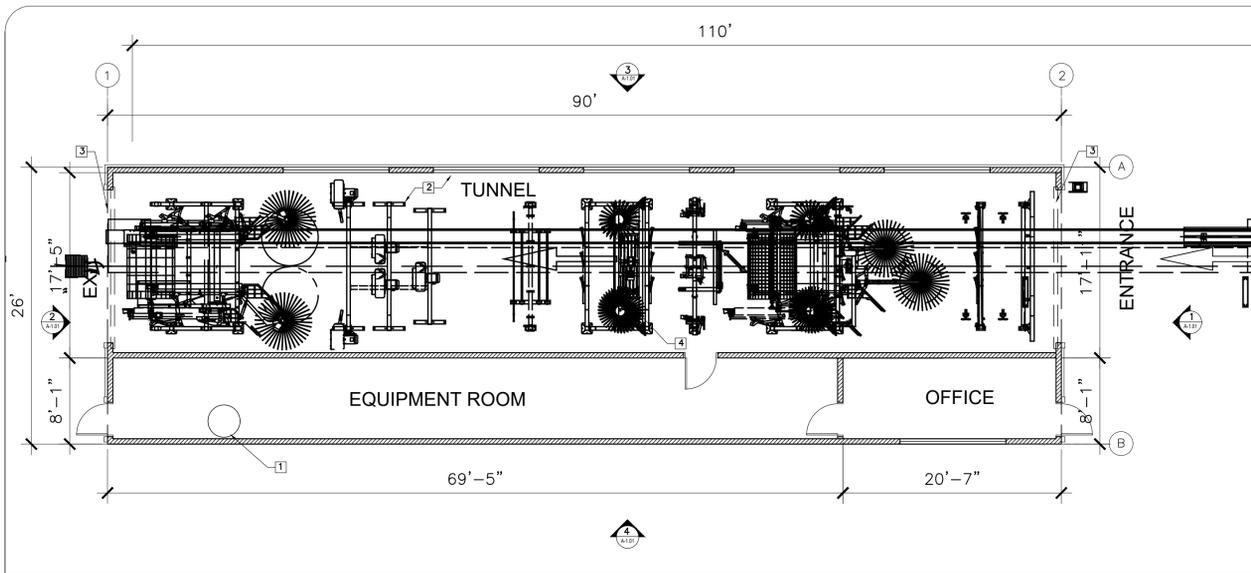
C-STORE WEST ELEVATION SCALE: 1/8" = 1'-0" 1

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 TEL: 909-591-3939 designconcepts@yahoo.com

DRAWING TITLE	PROPOSED PRELIMINARY FLOOR PLAN
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION)
JOB ADDRESS	SANTIAGO CENTER 2640 N. SANTIAGO BLVD. ORANGE, CA. 92667
JOB NO.	2013-36
DWG. NO.	A-1
REVISION NO.	1
NO.	
DATE	10/02/19
ISSUED	
DRC	



PROPOSED CAR WASH LAYOUT PLAN

SCALE : 1/8" = 1' - 0"

6

Equipment Schedule					
ITEM	QUANTITY	DESCRIPTION	MANUFACTURED BY:		
			BELANGER	OTHER:	
1	1	INGROUND COORELATOR	X		
2	1	145" DURATRANS CONVEYOR	X		
3	1	ROLLER UP TREADLE	X		
4	2	PREP JET WANDS	X		
5	1	ICS TUNNEL MASTER	X		
6	2	ENTRY PHOTO EYES	X		
7	1	CHAMELEON DUAL ARCH - PRESOAK #1	X		
8	2	CHEMICAL TIRE APPLICATORS	X		
9	1	DURASCRUBBER	X		
10	1	WHISPER TOPWHEEL #1	X		
11	2	DURABLASTERS	X		
12	1	CHAMELEON ARCH - PRESOAK #2	X		
13	2	LOW SIDE WASHERS	X		
14	2	GYRO WRAPS (SET #1)	X		
15	1	CHAMELEON ARCH - TRIPLE FOAM	X		
16	1	WHISPER TOPWHEEL #2	X		
17	2	SINGLE FOAM PODS	X		
18	2	GYRO WRAPS (SET #2)	X		
19	2	FULLSIDE WASHERS	X		
20	2	TWIST'N FLIP ARCH - HIGH PRESSURE	X		
21	1	CHAMELEON ARCH - DRYING AGENT/RINSE	X		
22	1	CHAMELEON ARCH - RAIN-X	X		
23	1	CHAMELEON ARCH - SPOT FREE	X		
24	1	RAIN MANIFOLD	X		
25	1	AIRBLADE DRYER - FLASH DRY	X		
26	1	CHAMELEON UTILITY ARCH	X		
27	1	DURASHINER CV	X		
28	2	ANTI COLLISION PHOTO EYES (BAY)	X		
29	7	AIRCANNON DRYERS	X		
30	2	ANTI COLLISION PHOTO EYES (EXIT)	X		

Equipment Schedule					
ITEM	QUANTITY	DESCRIPTION	MANUFACTURED BY:		
			BELANGER	OTHER:	
31	1	PREP JET PUMP STATION	X		
32	1	MIXSTIR - CTA	X		
33	1	MIXSTIR - DUAL PRESOAK	X		
34	5	MIXSTIR - FOAMING	X		
35	1	ENDURO SDM	X		
36	9	COMPONENT PNEUMATIC PANELS	X		
37	2	AIR COMPRESSORS	X		
38	1	DURAFLO10 PUMP STATION	X		
39	1	DURAFLO15 PUMP STATION	X		
40	1	CARWASH CONTROLLER		X	
41	1	SYSTEM MCC PANEL	X		
42	2	RO STORAGE TANKS		X	
43	1	RO UNIT		X	
44	1	DURASHINER CONTROL PANEL	X		
45	1	7.5HP HYDRAULIC UNIT	X		
46	1	DRYER MCC PANEL	X		

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PROPOSED CARWASH PLAN KEYNOTES

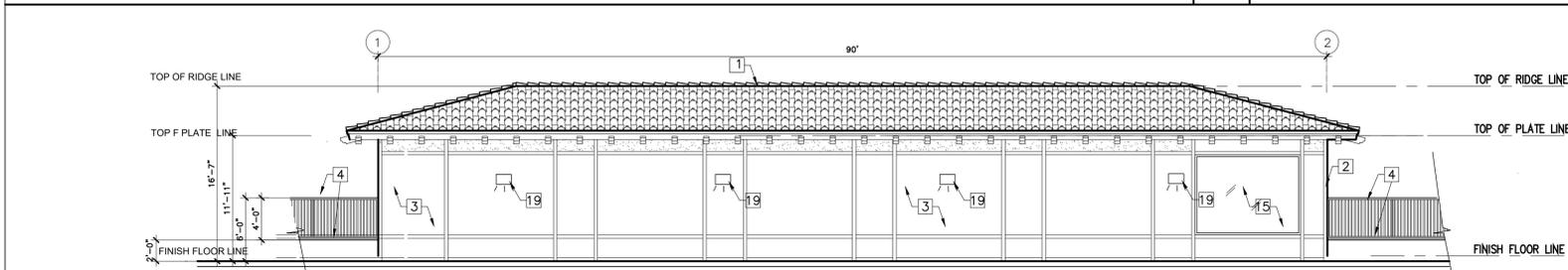
- VACUUM MACHINE
- CARWASH TUNNEL
- ROLL-UP SHUTTER
- TUNNEL EQUIPMENT (SEE EQUIPMENT SCHEDULE A-1.1)

PROPOSED CARWASH ELEVATION KEYNOTES

- (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
- (N) DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- NEW STUCCO TEXTURED PAINT (VISTA PAINT WHITE SHADOW 37)
- PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4' HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
- NOT IN USE
- NOT IN USE
- HANDRAIL FOR ADA
- NEW WINDOWS TO FOR CAR WASH
- NOT IN USE
- NOT IN USE
- CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
- WALL PACK (WALL MOUNTED) LIGHT SYSTEM WITH DOWNWARD DIRECTIONAL BEAMS (SEE LIGHTING DETAILS)
- RETAINING WALL ALONG CAR WASH STRUCTURE NEAR SLOPE

LEGEND

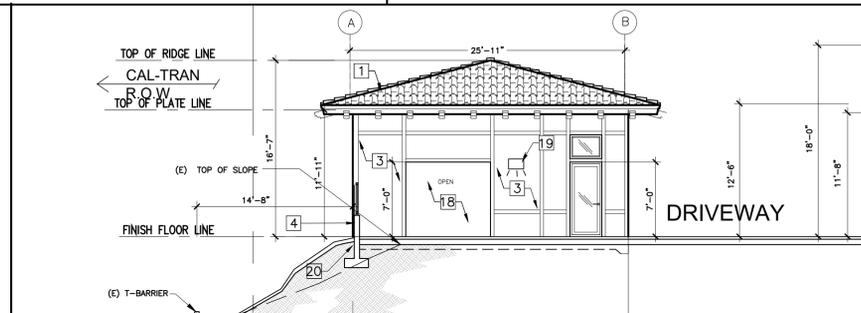
- (N) WALL TO BE CONSTRUCTED
- WALLS TO BE REMOVED
- (E) WALL TO REMAIN
- DOOR TO BE REMOVED
- WINDOW TO BE REMOVED
- (E) EXISTING
- (N) NEW



CAR WASH EAST ELEVATION

SCALE : 1/8" = 1' - 0"

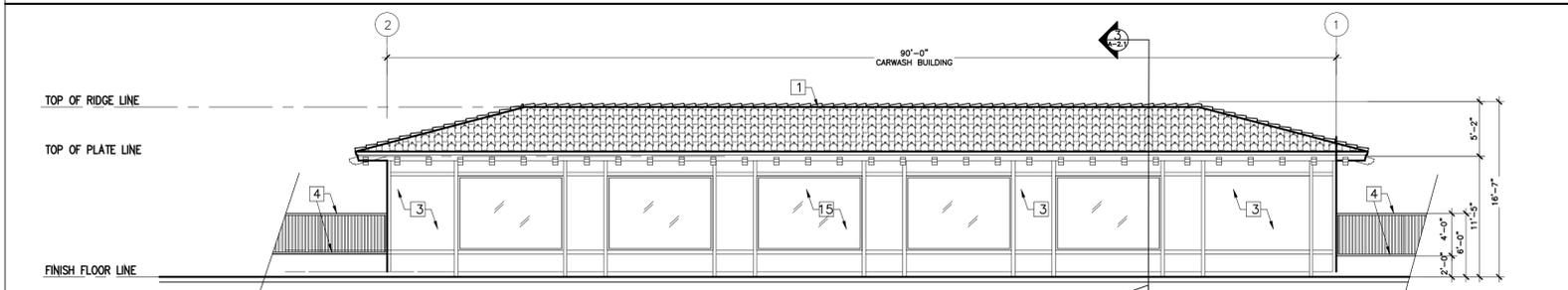
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CAR WASH SOUTH ELEVATION

SCALE : 1/8" = 1' - 0"

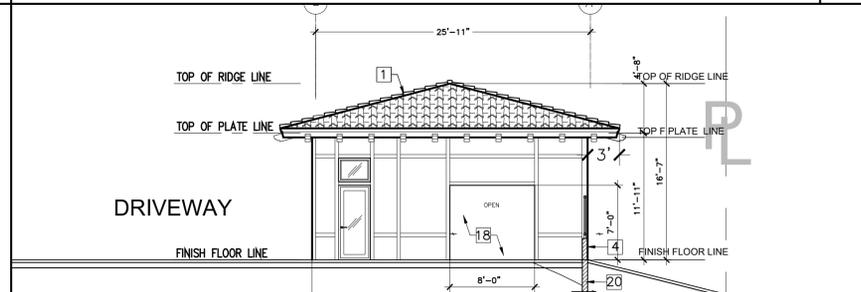
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CAR WASH WEST ELEVATION

SCALE : 1/8" = 1' - 0"

3



CAR WASH NORTH ELEVATION

SCALE : 1/8" = 1' - 0"

1

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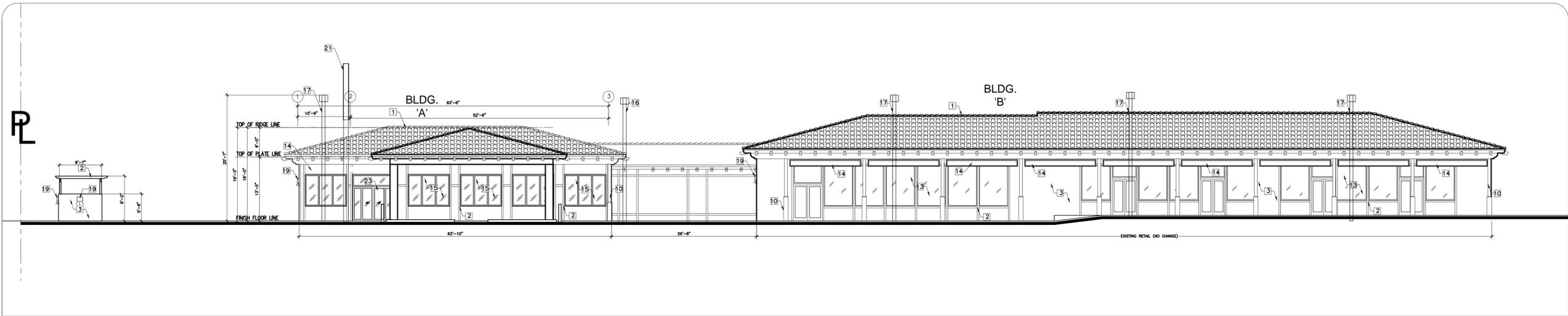


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NO.	DATE	ISSUED	DESCRIPTION
	10/02/19	DRC	REVISION ON 08/05 DRC
	02/04/21	DRC	REVISION ON 08/05 DRC
	06/22/21	DRC	REVISION ON 08/05 DRC
	06/06/21	DRC	REVISION ON 08/05 DRC

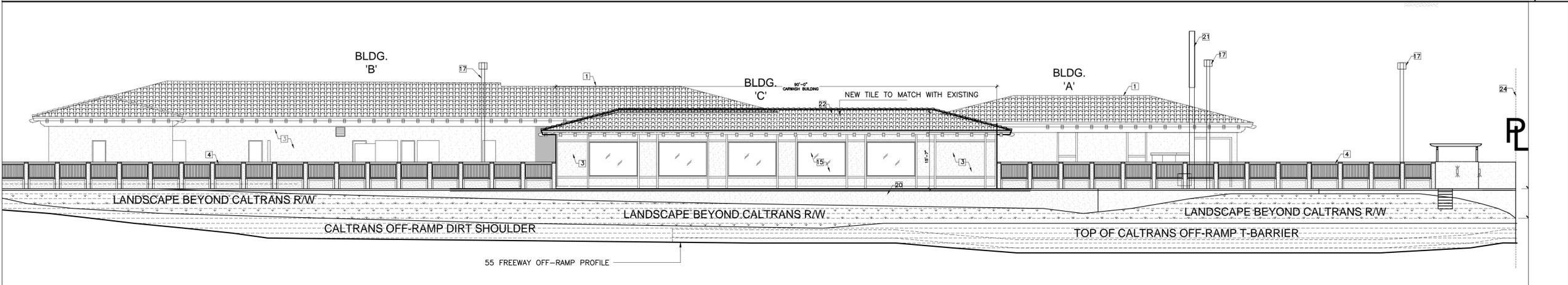
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 JOB TITLE: ADDITION & REMODEL (CUP APPLICATION)
 SANTIAGO CENTER
 JOB ADDRESS: 2640 N. SANTIAGO BLVD. ORANGE, CA. 92667

JOB NO. 2019-36
 DWG. NO. A-1.1 REVISION NO. 1



EAST ELEVATION SCALE: 3/32"=1'-0"

4



WEST ELEVATION SCALE: 3/32"=1'-0"

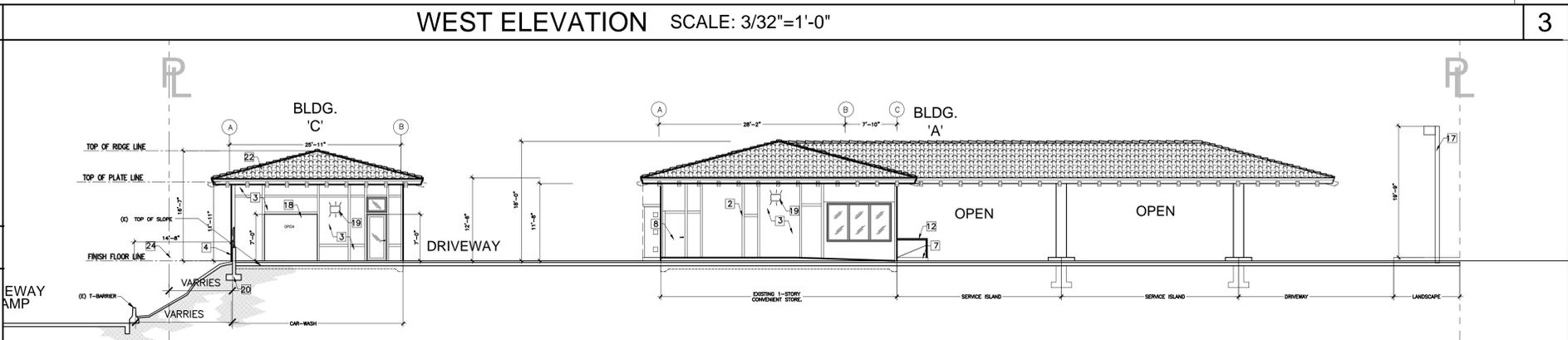
3

ELEVATIONS GENERAL NOTES

- STUCCO SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 25 OF THE CBC. WHEN STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF GRADE PAPER SHALL BE APPLIED. MINIMUM NO. 26 GAUGE CORROSION RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. SCREED SHALL BE PLACED MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS. ALL EXISTING WALL FINISH WILL BE RE-PAINTED WITH MATCHING STUCCO COLOR (VISTA PAINT BAG OF GOLD: 0897) AND TEXTURE.
- OPENING PATCH UP SHALL BE WITH FRAME AND FINISH WITH MATCHING STUCCO COLOR (VISTA PAINT BAG OF GOLD: 0897) AND TEXTURE TO MATCH EXISTING.

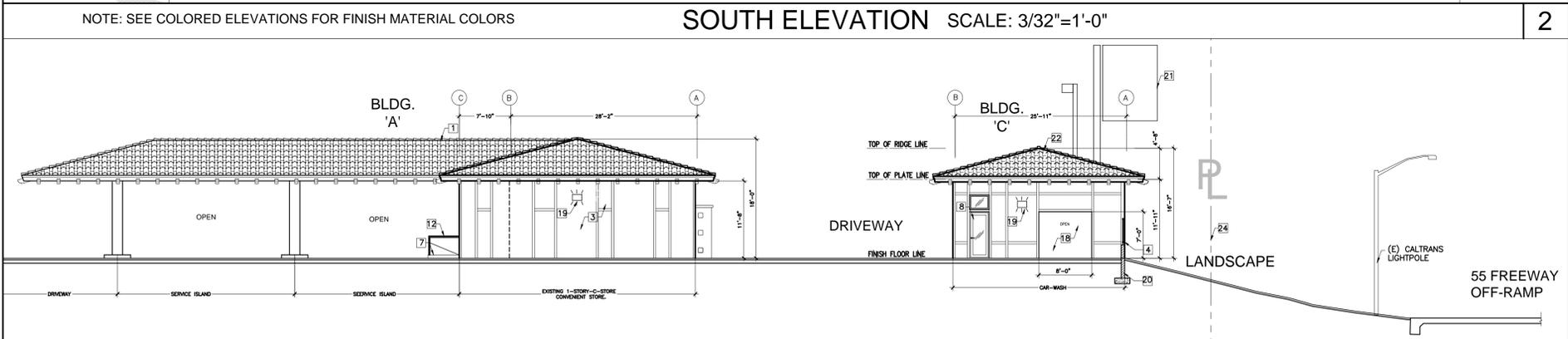
ELEVATION KEYNOTES

- EXISTING ROOF TILE TO REMAIN
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- PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4' HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
- (E) ELECTRICAL PANEL TO REMAIN
- (E) A/C CONDENSER TO REMAIN
- ACCESSOIR RAMP
- PUBLIC RESTROOM DOOR (ADA COMPLIANT)
- NOT USE
- EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
- CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT WHITE SHADOW 37)
- HANDRAIL FOR ADA
- EXISTING STORE FRONT
- EXISTING STORE FRONT SIGNAGE
- INSTALL NEW WINDOWS TO PROPOSED ADDITION
- EXISTING LIGHT POST
- PROPOSED LIGHT POST
- CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
- WALL PACK (MOUNTED PACK) LIGHT SYSTEM
- RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
- (E) SITE SIGNAGE - TO REMAIN
- (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
- NEW AUTOMATIC SLIDING DOOR
- PROPERTY LINE ON EXISTING CHAIN LINK FENCE



SOUTH ELEVATION SCALE: 3/32"=1'-0"

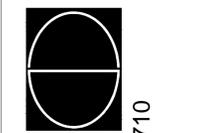
2



NORTH ELEVATION SCALE: 3/32"=1'-0"

1

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NO.	DATE	ISSUED	DESCRIPTION
	10/02/19	DRC	REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	08/06/21		REVISION ON 08/05 DRC

DRAWING TITLE	ELEVATION
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTAGO CENTER
JOB ADDRESS	2640 N. SANTIAGO BLVD. PASADENA, CA 91107
JOB NO.	2019-36
DWG. NO.	A-2.0
REVISION	3

PL



EAST ELEVATION SCALE: 3/32"=1'-0"

4

PL



WEST ELEVATION SCALE: 3/32"=1'-0"

3

ELEVATIONS GENERAL NOTES

1. STUCCO SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 25 OF THE CBC. WHEN STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF GRADE PAPER SHALL BE APPLIED. MINIMUM NO. 26 GAUGE CORROSION RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. SCREED SHALL BE PLACED MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS.
2. ALL EXISTING WALL FINISH WILL BE RE-PAINTED WITH MATCHING STUCCO COLOR TEXTURE.
3. OPENING PATCH UP SHALL BE WITH FRAME AND FINISH WITH MATCHING STUCCO COLOR AND TEXTURE TO MATCH EXISTING.

ELEVATION KEYNOTES

1. EXISTING ROOF TILE TO REMAIN
2. EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
3. EXISTING AND NEW STUCCO TEXTURED PAINT VISTA PAINT 37 WHITE SHADOW
4. PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4' HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
5. (E) ELECTRICAL PANEL TO REMAIN
6. (E) A/C CONDENSER TO REMAIN
7. ACCESSOIR RAMP
8. PUBLIC RESTROOM (ADA COMPLIANT)
9. NOT USE
10. EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
11. CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT BAG OF GOLD: 0897)
12. HANDRAIL FOR ADA
13. EXISTING STORE FRONT
14. EXISTING STORE FRONT SIGNAGE
15. INSTALL NEW WINDOWS TO PROPOSED ADDITION
16. EXISTING LIGHT POST
17. PROPOSED LIGHT POST
18. CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
19. WALL MOUNTED LIGHT SYSTEM AROUND TRASH ENCLOSURE
20. RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
21. (E) SITE SIGNAGE - TO REMAIN
22. (N) ROOFING FOR CARWASH FINISHES - TO MATCH EXISTING BUILDING MATERIAL
23. NEW AUTOMATIC SLIDING DOOR



SOUTH ELEVATION SCALE: 3/32"=1'-0"

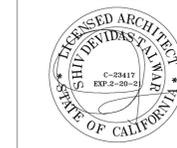
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NORTH ELEVATION SCALE: 3/32"=1'-0"

1

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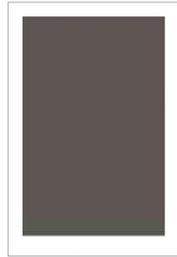
DRAWING TITLE	ELEVATION	JOB TITLE	ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER	JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667
NO.	DATE	ISSUED	DRC		
1002219					
JOB NO.		2013-36			
DWG. NO.		REVISION NO.			
A-2.0		3			



2660 N Santiago Blvd Orange
View 1, Scheme 1
Linda Klem
November 22nd, 2017



Trim
H0142 Chocolate



BODY
37 White Shadow

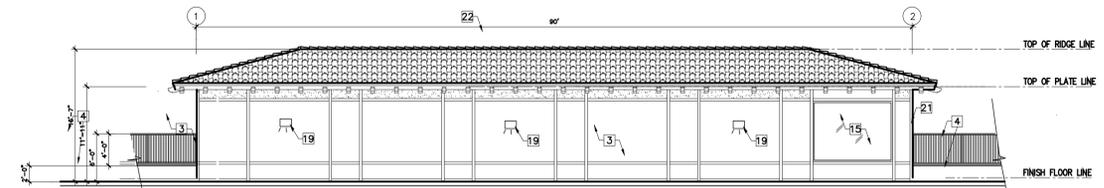


Red
1USDJ7025



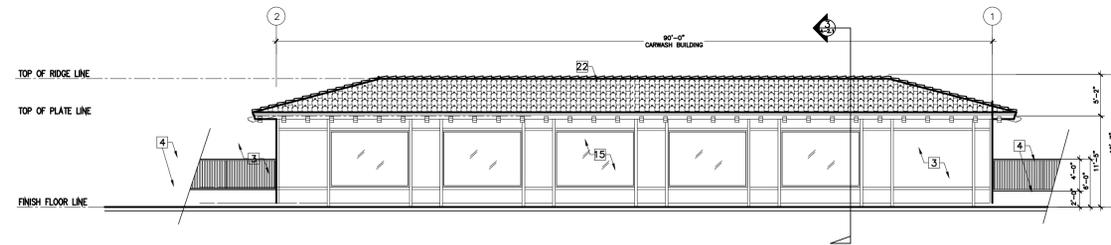
Photo colors are simulations and can vary depending upon the light, shadows and angle of the original photograph. For exact colors refer to the color chips attached or apply a wet sample.

PROPOSED ELEVATION COLORS



CARWASH ELEVATION (EAST SIDE) SCALE: 3/32" - 1'-0"

2



CARWASH ELEVATION (WEST SIDE) SCALE: 3/32" - 1'-0"

1

ELEVATION KEYNOTES

1. EXISTING ROOF TILE TO REMAIN
2. EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
3. EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT 37 WHITE SHADOW)
4. PROPOSED NEW 2' HIGH DECORATIVE CMU WALL IN STUCCO PAINT COLOR TO MATCH REPAINTED EXISTING AND NEW BUILDING WITH 4" HIGH DECORATIVE WROUGHT IRON FENCE (VISTA PAINT BLACK LICORICE NUMBER: 0529)
5. (E) ELECTRICAL PANEL TO REMAIN
6. (E) A/C CONDENSER TO REMAIN
7. HANDICAP RAMP
8. PUBLIC BATHROOM (ADA COMPLIANT)
9. SCOPE OF WORK FOR ADDITION AND CONVERSION TO COMPLETE CONVENIENCE STORE
10. EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
11. CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT WHITE SHADOW 37)
12. HANDRAIL FOR ADA
13. EXISTING STORE FRONT
14. EXISTING STORE FRONT SIGNAGE
15. NEW WINDOWS FOR CARWASH
16. EXISTING LIGHT POST
17. PROPOSED LIGHT POST
18. CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
19. WALL PACK (WALL MOUNTED) LIGHT SYSTEM
20. RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
21. ACCENT TRIM & LIDS (VISTA PAINT WHITE SHADOW:
22. (N) CERAMIC ROOF TILE TO MATCH WITH EXISTING BUILDINGS ROOFING

ELEVATIONS GENERAL NOTES

1. STUCCO SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER 25 OF THE CBC. WHEN STUCCO IS APPLIED OVER WOOD BASE SHEATHING TWO LAYERS OF GRADE PAPER SHALL BE APPLIED. MINIMUM NO. 26 GAUGE CORROSION RESISTANT WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. SCREED SHALL BE PLACED MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS.
2. ALL EXISTING WALL FINISH WILL BE RE-PAINTED WITH MATCHING STUCCO COLOR (VISTA PAINT 37 WHITE SHADOW) AND TEXTURE .
3. OPENING PATCH UP SHALL BE WITH FRAME AND FINISH WITH MATCHING STUCCO COLOR (VISTA PAINT WHITE SHADOW 37) AND TEXTURE TO MATCH EXISTING.

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NO.	DATE	ISSUED
	10/02/19	DRC
	02/04/21	REVISION ON 08/05 DRC
	06/22/21	REVISION ON 08/05 DRC
	08/06/21	REVISION ON 08/05 DRC

DRAWING TITLE	JOB NO.
PAINT COLOR	2019-36
JOB TITLE	DWG. NO.
ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER	REVISION NO.
JOB ADDRESS	
2640 N. SANTIAGO BLVD. ORANGE, CA. 92667	

A-2.1	3
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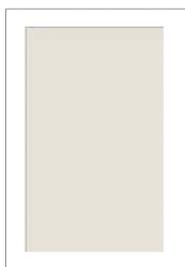
2660 N Santiago Blvd Orange
View 1, Scheme 1
Linda Klem
November 22nd, 2017



Trim
H0142 Chocolate



BODY
37 White Shadow



Red
1USDU7025

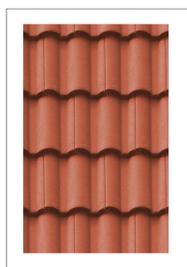
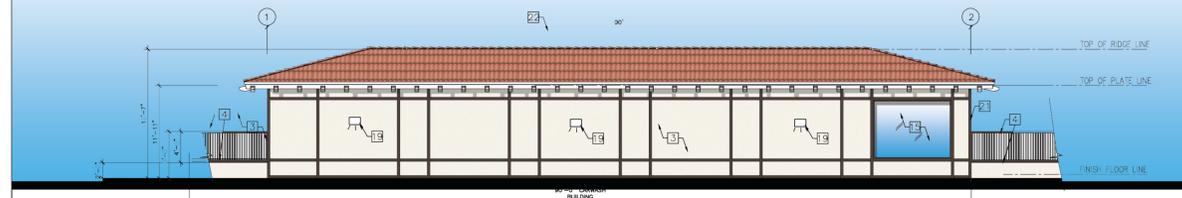


Photo colors are simulations and can vary depending upon the light, shadows and angle of the original photograph. For exact colors refer to the color chips attached or apply a wet sample.

PROPOSED ELEVATION COLORS



CARWASH ELEVATION (EAST SIDE) SCALE: 3/32" - 1'-0" 2



CARWASH ELEVATION (WEST SIDE) SCALE: 3/32" - 1'-0" 1

ELEVATION KEYNOTES

1. EXISTING ROOF TILE TO REMAIN
2. EXISTING AND NEW DECORATIVE WOOD TRIM TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
3. EXISTING AND NEW STUCCO TEXTURED PAINT (VISTA PAINT 37 WHITE SHADOW)
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5. (E) ELECTRICAL PANEL TO REMAIN
6. (E) A/C CONDENSER TO REMAIN
7. HANDICAP RAMP
8. PUBLIC BATHROOM (ADA COMPLIANT)
9. SCOPE OF WORK FOR ADDITION AND CONVERSION TO COMPLETE CONVENIENCE STORE
10. EXISTING DECORATIVE WOOD POST TO BE REPAINTED (VISTA PAINT CHOCOLATE: H0142)
11. CLOSE OFF BAY DOORS OF EXISTING SERVICE AREA AND COVER WITH 2 X 4 FRAMING & STUCCO TO BE PAINTED (VISTA PAINT 37 WHITE SHADOW)
12. HANDRAIL FOR ADA
13. EXISTING STORE FRONT
14. EXISTING STORE FRONT SIGNAGE
15. NEW WINDOWS FOR CARWASH
16. EXISTING LIGHT POST
17. PROPOSED LIGHT POST
18. CARWASH TUNNEL WITH ROLL-UP GARAGE DOOR ON ENTRY AND EXIT
19. WALL PACK (WALL MOUNTED) LIGHT SYSTEM
20. RETAINING WALL ALONG CARWASH STRUCTURE NEAR SLOPE
21. ACCENT TRIM & LIDS (VISTA PAINT WHITE SHADOW)
22. (N) CERAMIC ROOF TILE TO MATCH WITH EXISTING BUILDINGS ROOFING

ELEVATIONS GENERAL NOTES

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NO.	DATE	ISSUED	DRC
	10/02/19		REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	08/06/21		REVISION ON 08/05 DRC

DRAWING TITLE	JOB NO.
PAIN COLOR	2019-36

JOB TITLE	JOB ADDRESS
ADDITION & REMODEL (CLIP APPLICATION) SANTIAGO CENTER	2640 N. SANTIAGO BLVD. ORANGE, CA 92667

DWG. NO.	REVISION NO.
A-2.1	3

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NO.	DATE	ISSUED	DRC
	10/02/19		DRC
	02/04/21		REVISION ON 08/05 DRC
	09/22/21		REVISION ON 08/05 DRC

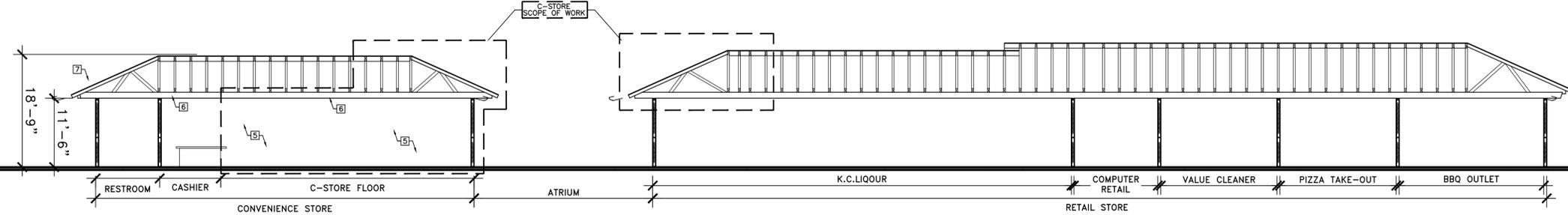
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 SECTION
 JOB TITLE
 ADDITION & REMODEL (CUP APPLICATION)
 SANTIAGO CENTER

JOB ADDRESS
 2840 N. SANTIAGO BLVD.
 ORANGE, CA 92667

JOB NO. 2019-36

DWG. NO. REVISION NO.

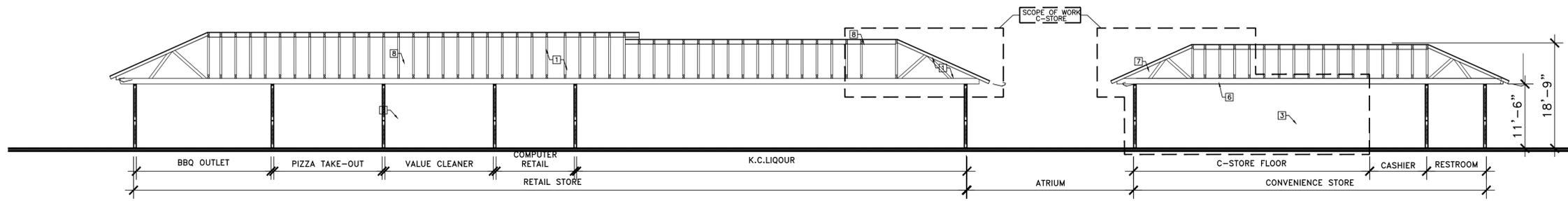
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SECTION A-A (CONVENIENCE STORE/RETAIL BLOCK)

SCALE: 3/32" - 1'-0"

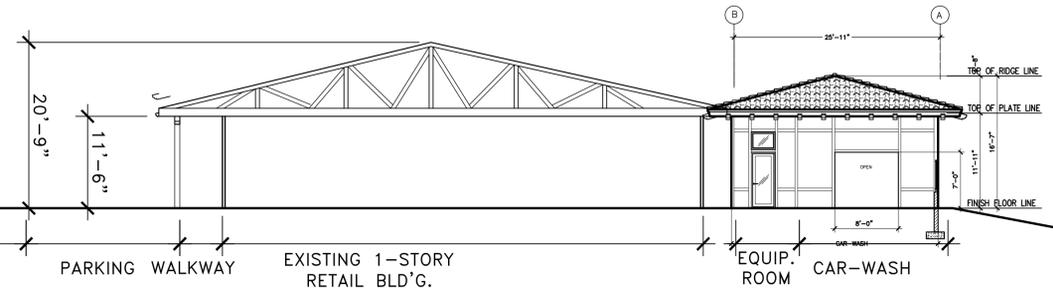
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SECTION B-B (CONVENIENCE STORE/RETAIL BLOCK)

SCALE: 3/32" - 1'-0"

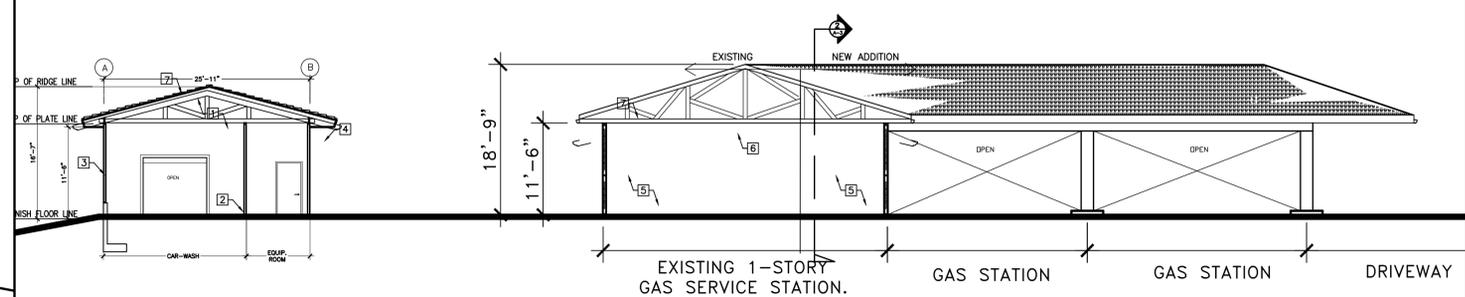
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SECTION D-D (RETAIL BLOCK)

SCALE: 3/32" - 1'-0"

4



SECTION C-C (CAR WASH & C-STORE)

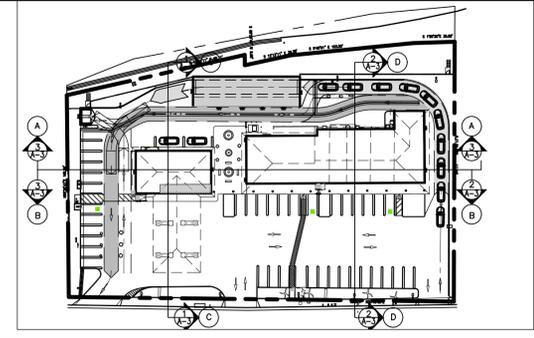
SCALE: 3/32" - 1'-0"

1

BUILDING SECTION KEYNOTES

- (N) PRE-FABRICATED TRUSSES BY OTHERS FOR CAR WASH ONLY
- (N) NON-BEARING INTERIOR WALL TO SEPERATE CAR WASH EQUIPMENT AND CAR WASH MACHINERY
- (N) INTERIOR WALL TO MATCH WITH EXISTING BUILDINGS
- (E) MAINTAIN DESIGN W/ EXISTING BUILDING DESIGN
- (N) REMODELED CONVENIENCE STORE
- (E) MAINTAIN EXISTING ROOF CONSTRUCTION
- (E) CERAMIC ROOFING TO REMAIN
- (E) ROOFING TO REMAIN

SECTIONS KEY PLAN



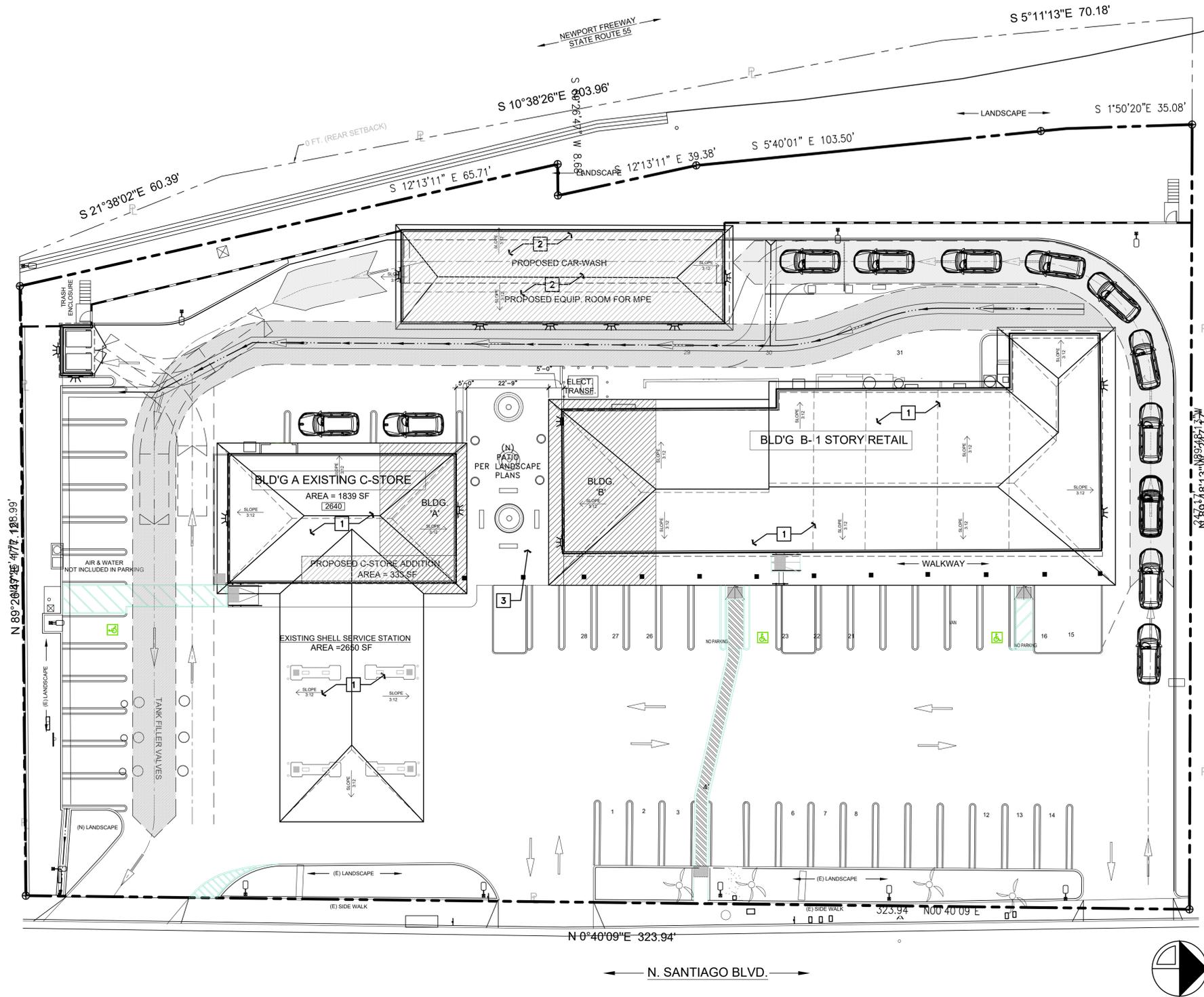
ROOF PLAN KEYNOTES

- 1. (E) ROOF TO REMAIN
- 2. (N) ROOF OF CAR WASH TO MATCH WITH EXISTING BUILDING ROOF MATERIALS
- 3. (E) OPEN AREA

ROOF PLAN LEGEND:

 NEW AND MODIFIED ROOF AREA

ZONE: OP (OFFICE PROFESSIONAL)



EXISTING & PROPOSED ROOF PLAN

SCALE: 1/16"=1'-0"

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NO.	DATE	ISSUED	DRC
	10/02/19		DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC

DRAWING TITLE
 EXISTING & PROPOSED ROOF PLAN

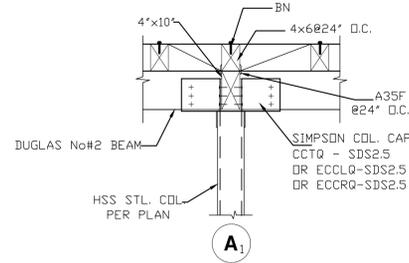
JOB TITLE
 ADDITION & REMODEL (CUP APPLICATION)
 SANTIAGO CENTER

JOB ADDRESS
 2840 N. SANTIAGO BLVD.
 ORANGE, CA 92667

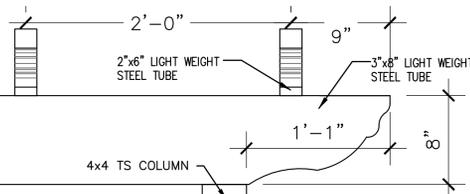
JOB NO.
 2019-36

DWG. NO. **REVISION NO.**

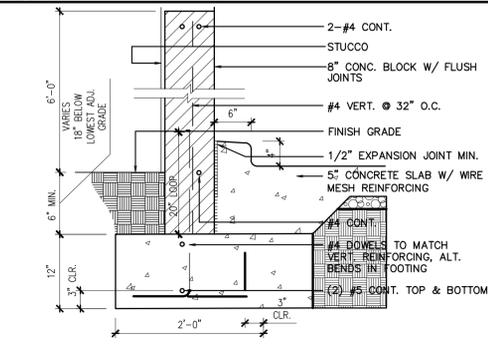
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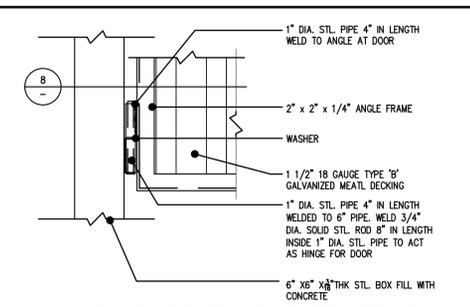
15 COLUMN TO BEAM CONNECTION
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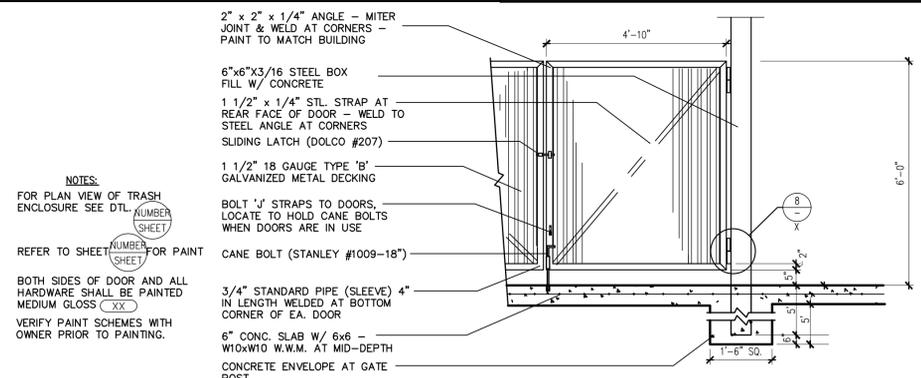
14 DETAIL 'A'
NTS



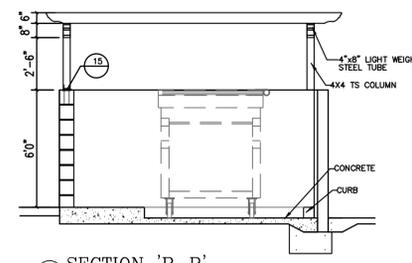
13 TRASH WALL & FOOTING
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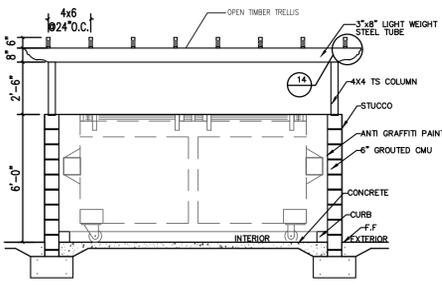
12 JAMB AT TRASH ENCLOSURE-ELEV
NTS



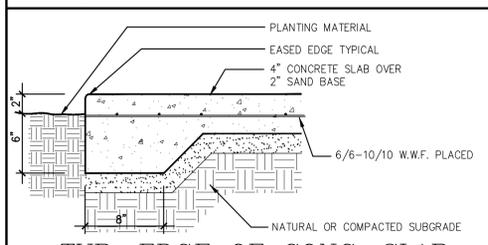
7 TRASH ENCLOSURE ELEVATION
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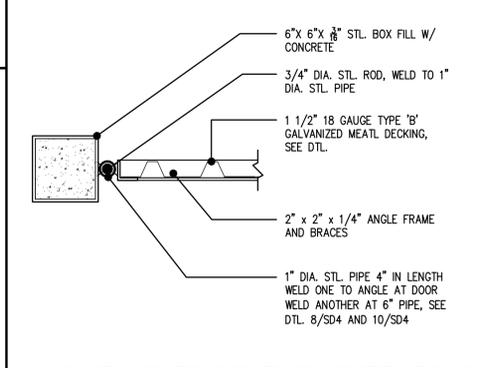
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1/4"=1'-00"



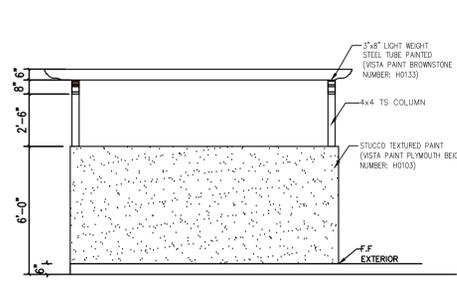
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1/4"=1'-00"



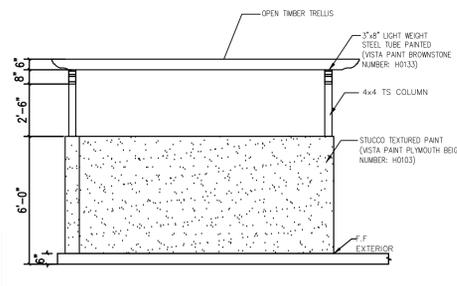
9 TYP. EDGE OF CONC. SLAB
NTS



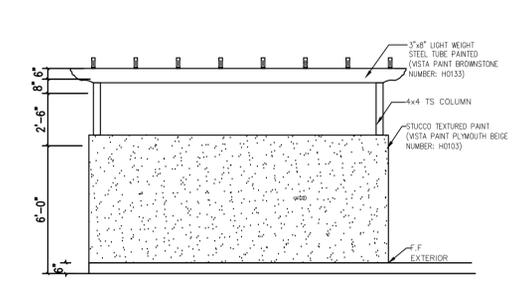
8 JAMB AT TRASH ENCLOSURE-PLAN
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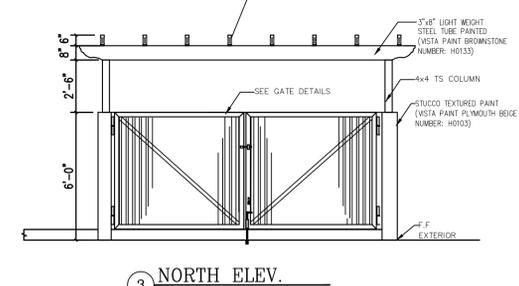
6 EAST ELEV
1/4"=1'-00"



5 WEST ELEV
1/4"=1'-00"

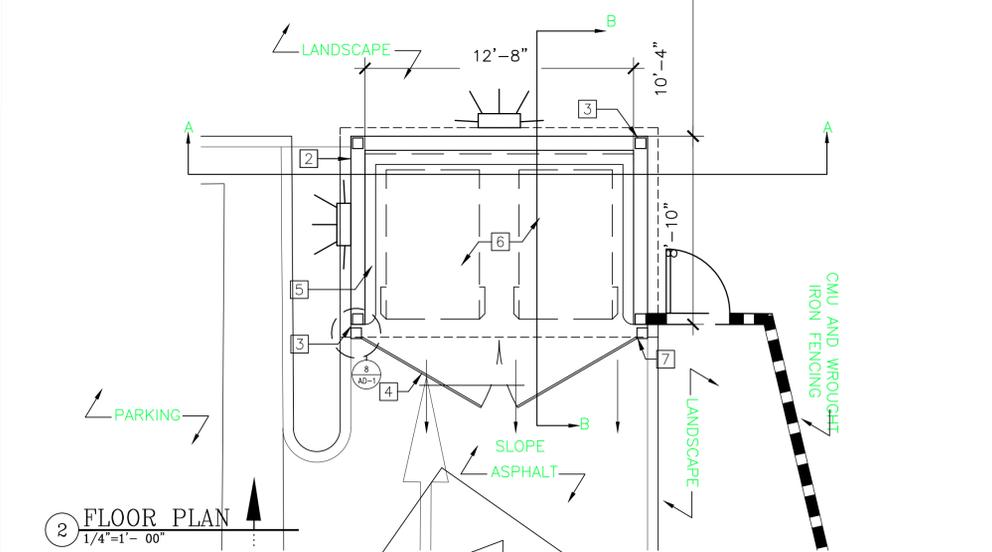


4 SOUTH ELEV.
1/4"=1'-00"

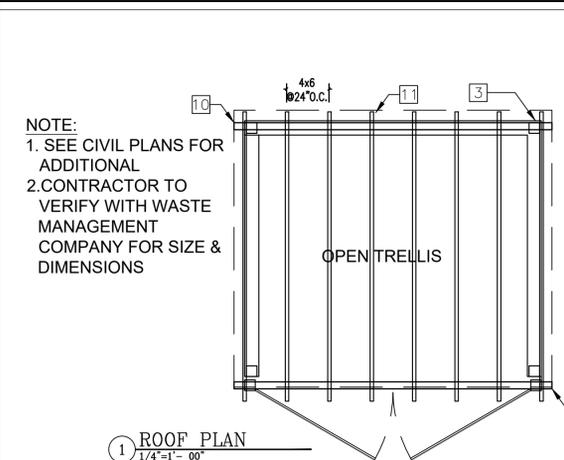


3 NORTH ELEV.
1/4"=1'-00"

NOTE: TRASH ENCLOSURE TO COMPLY WITH CITY OF ORANGE STANDARD PLAN NO. 409



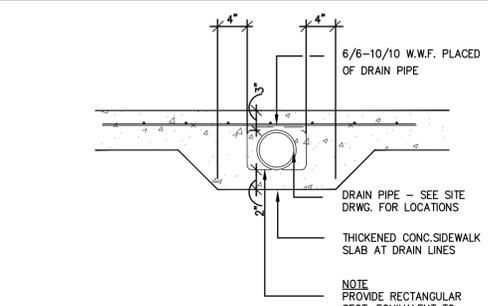
2 FLOOR PLAN
1/4"=1'-00"



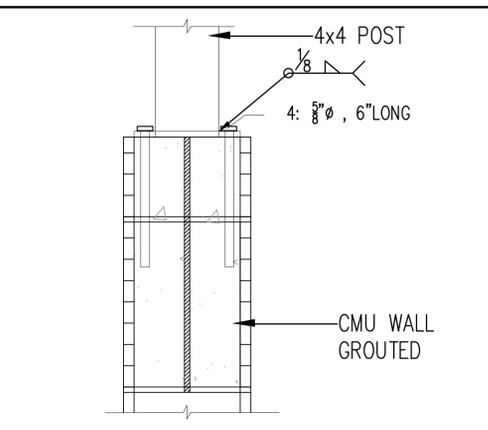
1 ROOF PLAN
1/4"=1'-00"

- 4" PCC foundation, extending 4" beyond enclosure walls, over 90% compacted base.
- * 8" x 8" x 16" (8" x 6" x 16" OK for slumped block), 6' high masonry walls match surrounding architecture
- SHS 6"x6"x $\frac{3}{8}$ " thick steel box, concrete filled. 2" clearance between tube and walls.
- 16 ga. ribbed metal gates with 2" x 2" x 1/4" steel angle iron frame and diagonal bracing. Continuous weld all joints.
- 6" x 6" PCC curb.
- 6" thick PCC loading pad over 90% compacted base, 4% maximum slope.
- Pedestrian hinged gate, constructed to standards of Construction Note 4.
- Access ramp (use where raised walkway is to be installed).
- PCC walkway, 36" wide.
- 4" x 10" timber beam Joint to SHS 6"x6"x $\frac{3}{8}$ " thk. steel column
- 4" x 6" timber rafter Connected to main beam

NOTE:
1. SEE CIVIL PLANS FOR ADDITIONAL
2. CONTRACTOR TO VERIFY WITH WASTE MANAGEMENT COMPANY FOR SIZE & DIMENSIONS

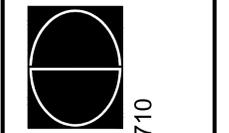


17 DRAIN THRU WALK
NTS



16 POST TO CMU WALL
3"=1'-00"

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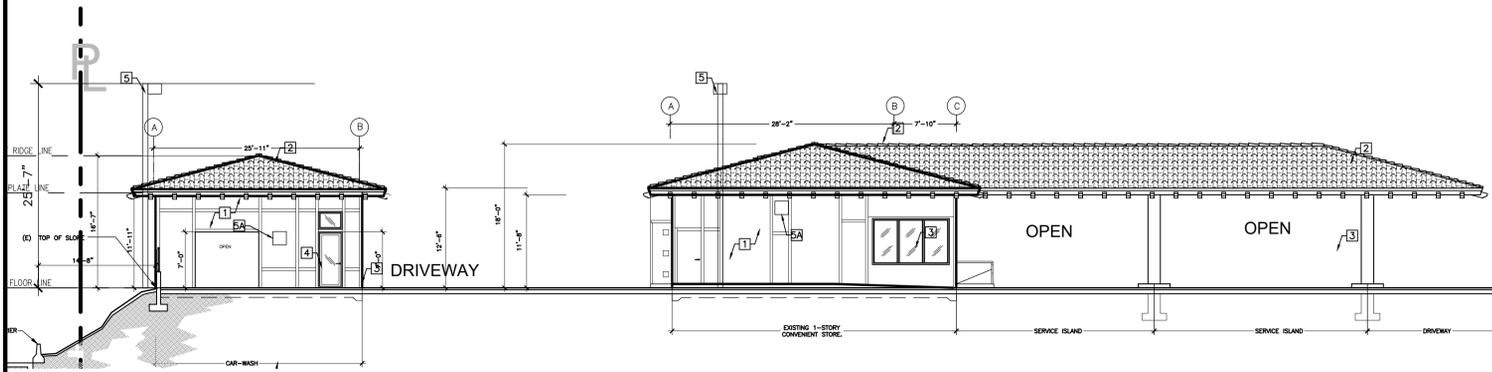


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NO.	DATE	ISSUED	DRC
	10/02/19		DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC
	07/13/21		REVISION ON 08/05 DRC

DRAWING TITLE	JOB NO.
TRASH ENCLOSURE DETAILS	2019-36
JOB TITLE	DWG. NO.
ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER	REVISION NO.
JOB ADDRESS	
2840 N. SANTIAGO BLVD. ORANGE, CA 92667	

AD-1



COLOR BOARD MATERIALS KEY ELEVATION

SCALE: 3/32" = 1'-0"

□ MATERIAL KEYNOTES



1
STUCCO TO MATCH WITH EXISTING BUILDING



2
CERAMIC TILE ROOFING TO MATCH W/ EXISTING BUILDING



3
PAINTED EXTRUDED WOOD TO MAINTAIN DESIGN W/ EXISTING BUILDING



4
EXTERIOR STEEL DOOR TO MATCH W/ EXISTING BUILDING

6
EXISTING LIGHTS TO BE REPLACED/RELOCATED AS PER PLAN

5 PROPOSED LIGHT POLES MATCH

ALED3778N RAB (Outdoor)

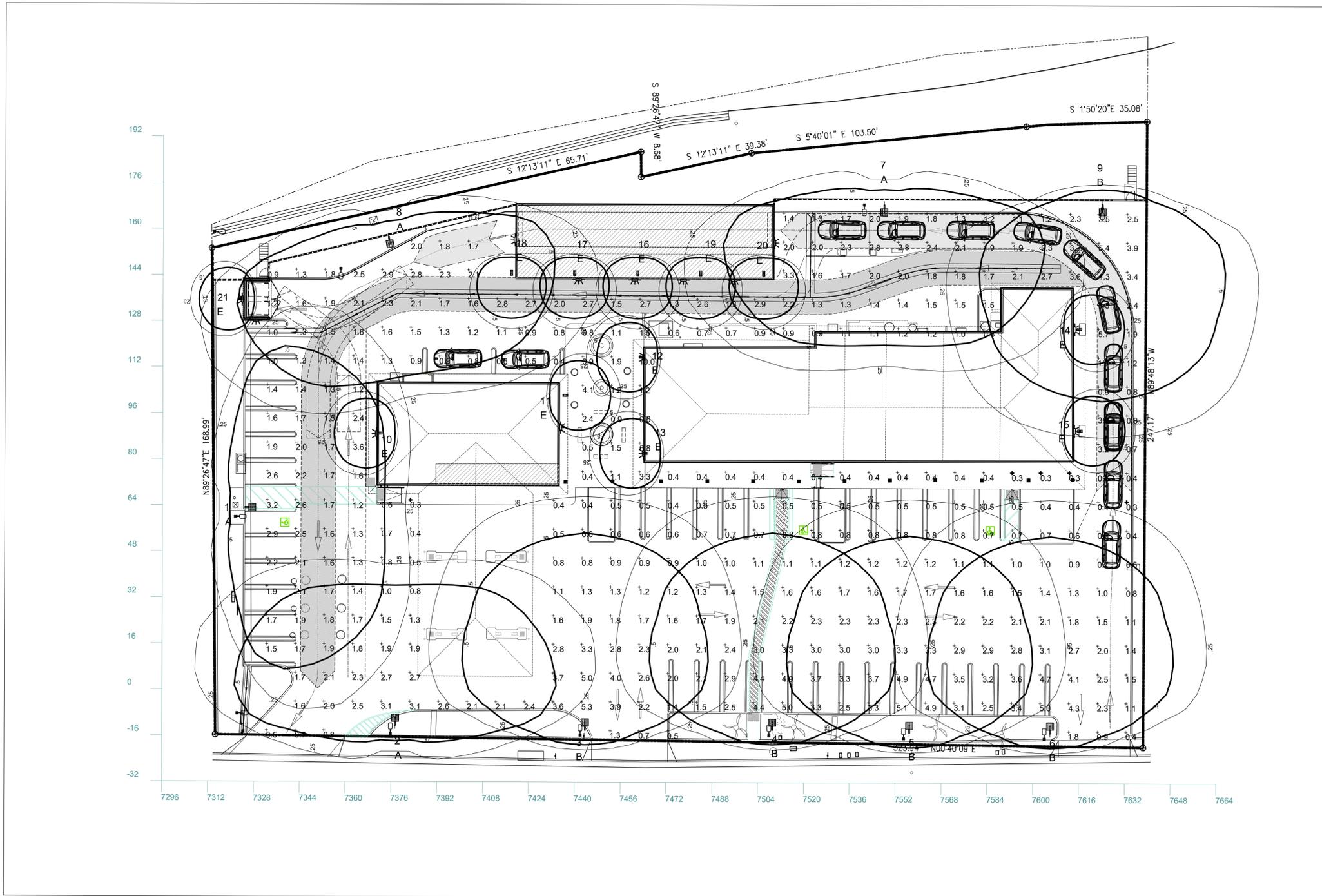
Project:	Type:
Prepared By:	Date:

Driver Info

Type	Constant Current	Brand	100W
Volt	120V	Color Temp.	4000K (Neutral)
Power	0.5A	Color Rendering	90 CRI
Beam Angle	120°	Life Expectancy	100,000
Input Watts	12.0W	Efficiency	80 LPM

Technical Specifications

Lighting: LED chip technology is available in 100, 200, 300, 400, 500, 600, 700, 800, 900, 1000, 1200, 1500, 2000, 3000, 4000, 5000, 6000, 7000, 8000, 9000, 10000, 12000, 15000, 20000, 30000, 40000, 50000, 60000, 70000, 80000, 90000, 100000, 120000, 150000, 200000, 300000, 400000, 500000, 600000, 700000, 800000, 900000, 1000000, 1200000, 1500000, 2000000, 3000000, 4000000, 5000000, 6000000, 7000000, 8000000, 9000000, 10000000, 12000000, 15000000, 20000000, 30000000, 40000000, 50000000, 60000000, 70000000, 80000000, 90000000, 100000000, 120000000, 150000000, 200000000, 300000000, 400000000, 500000000, 600000000, 700000000, 800000000, 900000000, 1000000000, 1200000000, 1500000000, 2000000000, 3000000000, 4000000000, 5000000000, 6000000000, 7000000000, 8000000000, 9000000000, 10000000000, 12000000000, 15000000000, 20000000000, 30000000000, 40000000000, 50000000000, 60000000000, 70000000000, 80000000000, 90000000000, 100000000000, 120000000000, 150000000000, 200000000000, 300000000000, 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	10/02/19		DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC

DRAWING TITLE	
JOB TITLE	ADDITION & REMODEL (CUP APPLICATION)
JOB ADDRESS	SANTIAGO CENTER
JOB ADDRESS	2640 N. SANTIAGO BLVD. ORANGE, CA 92667
JOB NO.	2019-36
DWG. NO.	LT-1
REVISION NO.	

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpclr	PtSpctb	Meter Type
CalcPts_1	Illuminance	Fc	1.79	10.0	0.3	5.97	33.33	Readings taken @ 0'-0" AFG	10	10	Horizontal

Luminaire Schedule

All quotes/orders generated from this layout must be forwarded to the Local Rep Agency

Symbol	Qty	Tag	Label	Arrangement	LLF	Description	BUG Rating
	4	A	ALED3T78N	SINGLE	1.000	ALED3T78N (TYPE III)	B1-U0-G2
	5	B	ALED4T78N	SINGLE	1.000	ALED4T78N (TYPE IV)	B1-U0-G2
	12	E	WPLED10N	SINGLE	1.000	WPLED10N (Full Cutoff Wallpack)	B1-U0-G0

Expanded Luminaire Location Summary

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	7323.858	62.136	25	0	0
2	A	7375.744	-12.73	25	90	0
3	B	7442.037	-14.124	25	90	0
4	B	7507.4	-13.969	25	90	0
5	B	7555.261	-14.899	25	90	0
6	B	7604.39	-14.985	25	90	0
7	A	7546.004	167.089	25	270	0
8	A	7373.176	155.601	25	280	0
9	B	7622.195	167.396	25	270	0
10	E	7369.838	87.898	7.5	180	0
11	E	7434.538	101.319	7.5	0	0
12	E	7462.785	114.743	7.5	180	0
13	E	7462.979	81.264	7.5	180	0
14	E	7613.859	124.785	7.5	0	0
15	E	7614.137	89.493	7.5	0	0
16	E	7459.955	144.173	7.5	270	0
17	E	7437.955	144.173	7.5	270	0
18	E	7415.955	144.173	7.5	270	0
19	E	7481.955	144.173	7.5	270	0
20	E	7503.955	144.173	7.5	270	0
21	E	7317.018	138.911	6	180	0

Total Quantity: 21



ALED3T78N



ALED4T78N



WPLED10N



PS4-07-25D2

NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

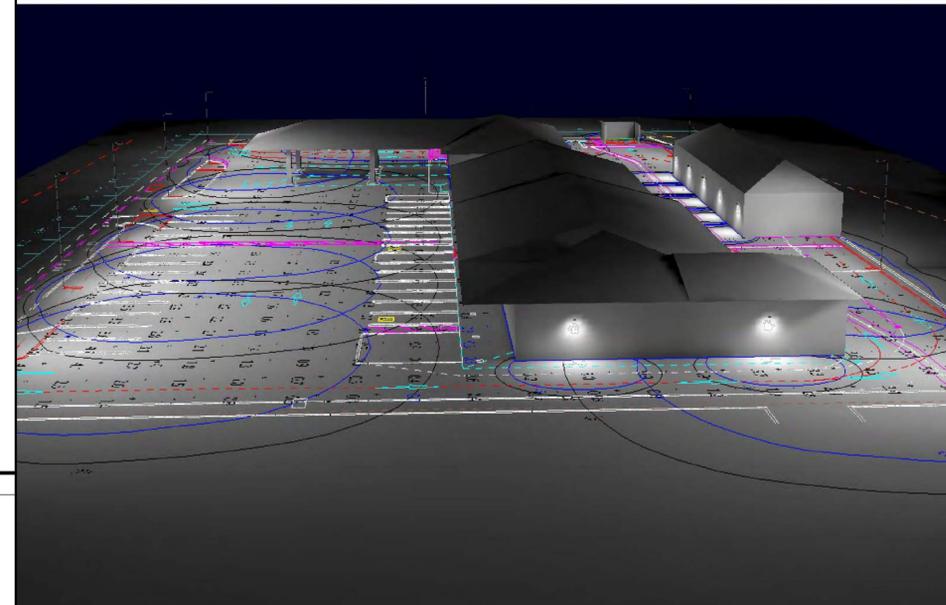
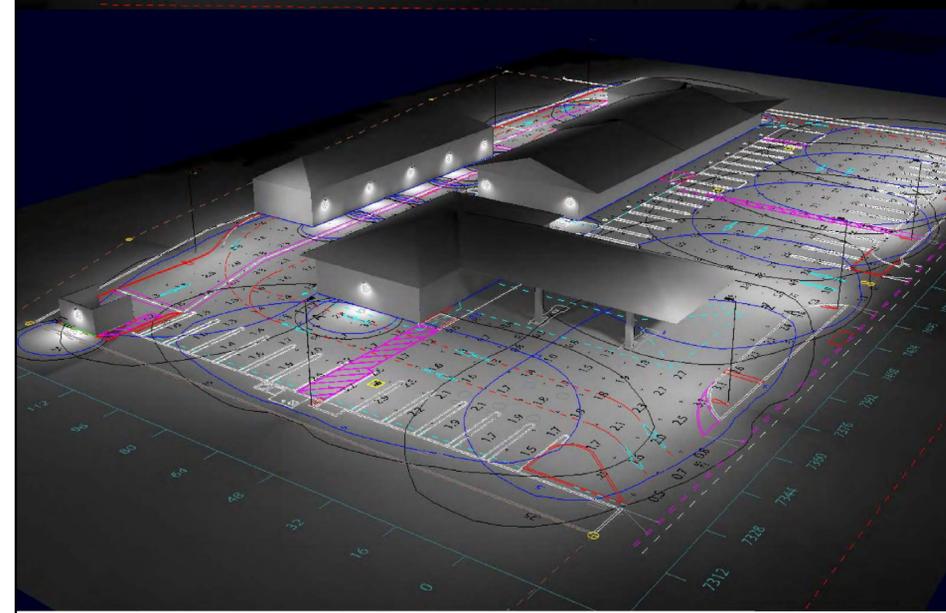
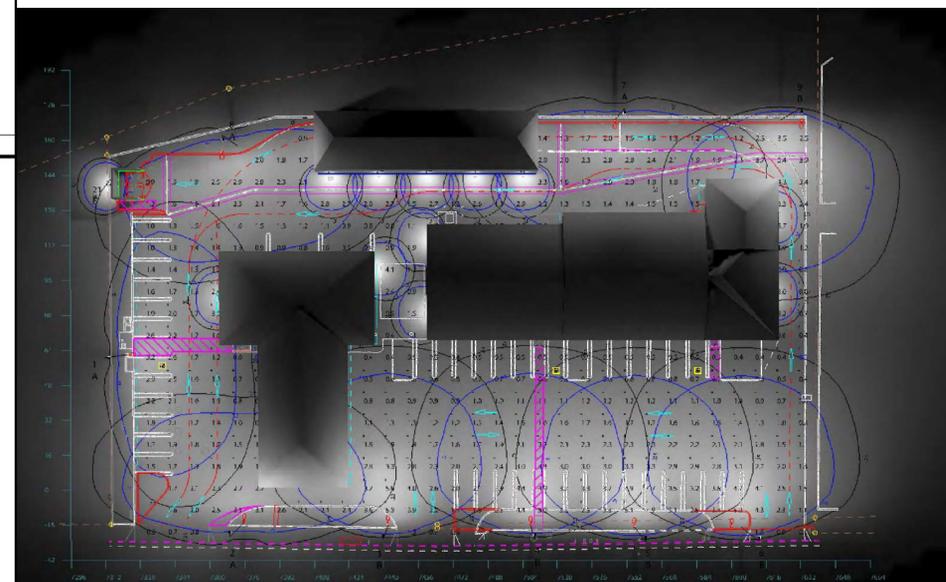
* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



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	10/02/19		REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	09/22/21		

DRAWING TITLE
LIGHTING DETAILS & PHOTOMETRIC RENDERING

JOB TITLE
ADDITION & REMODEL (CUP APPLICATION)
SANTIAGO CENTER

JOB ADDRESS
2840 N. SANTIAGO BLVD.
ORANGE, CA 92667

JOB NO.
2019-36

DWG. NO.
LT-2

REVISION NO.

ALED3T78N

RAB Outdoor



Color: Bronze Weight: 33.4 lbs

Project:	Type:		
Prepared By:	Date:		
Driver Info			
Type	Constant Current	Watts	78W
120V	0.66A	Color Temp	4000K (Neutral)
208V	0.41A	Color Accuracy	72 CRI
240V	0.35A	L70 LifeSpan	100,000
277V	0.30A	Lumens	8,941
Input Watts	75.9W	Efficacy	117.8 LPW

Technical Specifications

UL Listing:
Suitable for wet locations as a downlight.

DLC Listed:
This product is on the Design Light Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Compliance:
Conforms to (allows for conformance to) the ICA's July shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and poles).

LED Characteristics

LifeSpan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LEDs:
Six (6) multi-chip, 120V, high-output, long-life LEDs.

Color Consistency:
3-step MacAdam Ellipse binning to achieve consistent future-to-future color.

Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period.

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IES Classification:
The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Ambient Temperature:
Suitable for use in 40°C (104°F).

Cold Weather Starting:
Minimum starting temperature is 40°C (40°F).

Thermal Management:
Superior heat sinking with external Air-Flow fins.

Effective Projected Area:
EPA = 0.15

Lens:
Tempered glass lens

Housing:
Die cast aluminum housing, lens frame and mounting arm

IP Rating:
Ingress Protection rating of IP66 for dust and water

Mounting:
Universal mounting arm compatible for hole spacing patterns from 1" to 12" center to center. Round Pole Adaptor pole included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be 1.75" to mount fixture at 90° orientation.

Reflector:
Specular vacuum-metallized polycarbonate

ALED3T78N

RAB Outdoor

Technical Specifications (continued)

Construction

Gaskets:
High-temperature silicone gaskets

Finish:
Formulated for high durability and long-lasting color

Green Technology:
Mercury and UV free, RoHS-compliant components.

Electrical

Surge Protection:
4kV

Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:
5.2% at 120V, 13.8% at 277V

Power Factor:
99.9% at 120V, 93.7% at 277V

Patents:
The ALED design is protected by patents in the U.S. Pat. 668,370, Canada Pat. 144956, China ZL2012201101154.X, and Mexico Pat. 38423. Pending patents in Taiwan.

BAA Compliance:
Click www.rablighting.com/products/ALED3T78N_USA for BAA compliance.

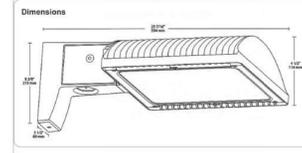
Warranty:
RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. RAB's warranty is subject to all terms and conditions found at www.rablighting.com/legal/warranty.

Equivalency:
Equivalent to 250W Metal Halide

Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:
B1 US G2



Dimensions

Features
66% energy cost savings vs. HD
100,000-hour LED lifespan
5-year warranty

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	3T	78	N	N	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	4T = Type IV	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	78 = 78W	78 = 78W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	3T = Type III	150 = 150W	SF = Splitter	Blank = 4000K (Neutral)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	2T = Type II	125 = 125W	Y = 3000K (Warm)	Blank = 4000K (Neutral)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
		150 = 150W						
		150 = 150W						

ALED4T78N

RAB Outdoor

Technical Specifications (continued)

Construction

Gaskets:
High-temperature silicone gaskets

Finish:
Formulated for high durability and long-lasting color

Green Technology:
Mercury and UV free, RoHS-compliant components.

Electrical

Surge Protection:
4kV

Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:
4.4% at 120V, 12.8% at 277V

Power Factor:
99.9% at 120V, 93.6% at 277V

Patents:
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BAA Compliance:
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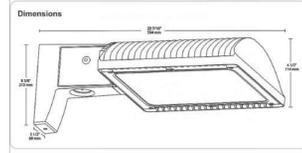
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Equivalency:
Equivalent to 250W Metal Halide

Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:
B1 US G2



Dimensions

Features
66% energy cost savings vs. HD
100,000-hour LED lifespan
5-year warranty

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
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		150 = 150W						
		150 = 150W						

ALED4T78N

RAB Outdoor

Technical Specifications (continued)

Construction

Gaskets:
High-temperature silicone gaskets

Finish:
Formulated for high durability and long-lasting color

Green Technology:
Mercury and UV free, RoHS-compliant components.

Electrical

Surge Protection:
4kV

Driver:
Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:
4.4% at 120V, 12.8% at 277V

Power Factor:
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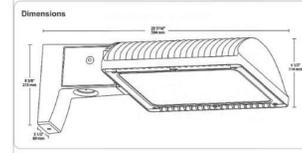
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Equivalency:
Equivalent to 250W Metal Halide

Buy American Act Compliance:
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:
B1 US G2



Dimensions

Features
66% energy cost savings vs. HD
100,000-hour LED lifespan
5-year warranty

Ordering Matrix

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	4T	78	N	N	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	4T = Type IV	50 = 50W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	78 = 78W	78 = 78W	Blank = Pole mount	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	3T = Type III	150 = 150W	SF = Splitter	Blank = 4000K (Neutral)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
	2T = Type II	125 = 125W	Y = 3000K (Warm)	Blank = 4000K (Neutral)	Blank = Bronze	Blank = 120-277V	Blank = No Option	Blank = Standard
		150 = 150W						
		150 = 150W						

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3340 RIVERSIDE DR., SUITE M, CHINO, CA 91710
TEL: 909-591-3939 dsgnconcepts@yahoo.com

DRAWING TITLE LIGHTING DETAILS	NO.	DATE	ISSUED	
				DRC
		10/02/19		REVISION ON 08/05 DRC
JOB TITLE ADDITION & REMODEL (CUP APPLICATION) SANTIAGO CENTER	NO.	DATE	ISSUED	
				REVISION ON 08/05 DRC
		02/04/21		REVISION ON 08/05 DRC
JOB ADDRESS 2840 N. SANTIAGO BLVD. ORANGE, CA 92667	NO.	DATE	ISSUED	
		06/22/21		
JOB NO.	2019-36			
DWG. NO.	LT-4			
REVISION NO.				

FIRE MASTER PLAN FOR : SANTIAGO CENTER 2640 N.SANTIAGO BLVD. ORANGE, CA 92867

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL HAVE WORKMAN'S COMPENSATION FOR ALL PERSONS WORKING ON THE JOB.
2. THE GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS.
3. THE GENERAL CONTRACTOR SHALL PROVIDE LIEN RELEASES FOR ALL LABOR AND MATERIALS PAID FOR PRIOR TO RECEIVING THE NEXT INSTALLATION PAYMENT.
4. ALL WORK SHALL CONFORM TO THE CODES, REGULATION AND STANDARDS OF THE GOVERNING CITY, COUNTY AND STATE AGENCIES.
5. ALL MATERIALS SHALL BE PREMIUM GRADE QUALITY THROUGHOUT. NO SUBSTITUTION OF SPECIFIED MATERIALS ALLOWED WITHOUT CONSENT FROM THE ARCHITECT.
6. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE SANITARY RESTROOM FACILITY WHICH SHALL BE MAINTAINED ON A REGULAR BASIS.
7. THE GENERAL CONTRACTOR SHALL PROVIDE A JOB SHACK WITH A TELEPHONE, CHAIN LINK FENCING AROUND THE SITE AND A TEMPORARY POWER POLE. THE CONTRACTOR SHALL PAY FOR ELECTRICAL POWER, WATER AND TELEPHONE CHARGES DURING CONSTRUCTION.
8. INSTALLATION OF ELECTRIC, TELEPHONE AND CABLE T.V. TO THE FACILITY SHALL BE BY CONTRACTOR.
9. NOT USED.
10. THE GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF CONSTRUCTION BY HIS EMPLOYEES OR SUBCONTRACTORS.
11. NOT USED.
12. GENERAL CONTRACTOR SHALL HAVE THE ENTIRE FACILITY PROFESSIONALLY CLEANED, INCLUDING WINDOWS INSIDE AND OUTSIDE, PRIOR TO DELIVERING IT TO THE OWNER.
13. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS. WHERE CONFLICTING MATERIALS AND CONDITIONS ARE CALLED OUT, ASSUME THE MORE EXPENSIVE CONDITION. NOTIFY THE OWNER AND ARCHITECT PRIOR TO WORK BEING STARTED.
14. NOT USED.
15. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE OWNER FOR EACH CHANGE ORDER PRIOR TO COMMENCING WITH THE WORK IN QUESTION. EACH CHANGE ORDER MUST BE INVOICED WITH THE NEXT PAYMENT REQUEST AFTER THE CHANGE ORDER WORK IS COMPLETED. EXTRA WORK DONE WITHOUT AN APPROVED CHANGE IS NOT REIMBURSABLE.
16. THE ACTUAL LOCATION OF THE ELECTRICAL METER SHALL BE DETERMINED BY THE ELECTRIC COMPANY AND SHALL HAVE THE OWNER'S APPROVAL PRIOR TO SETTING (SEE ELECTRICAL PLANS).
17. DIAGRAMMATICAL DRAWINGS. DO NOT SCALE PRINTS. "NOT TO SCALE" (INDICATED AS N.T.S.), AND THE LISTED DIMENSION SHALL GOVERN.
18. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS PRIOR TO PROCEEDING.
19. CONTRACTOR TO VERIFY WITH THE OWNER ALL MATERIALS AND FINISHES NOTED ON THESE PLANS PRIOR TO ORDERING, INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, PLUMBING FIXTURES, APPLIANCES, FLOOR FINISHES, MILL WORK, ELECTRICAL LIGHT FIXTURES, ETC.
20. PLANS AND SUPPORTING DOCUMENTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. WHERE SUCH PLANS ARE NOT PREPARED BY THE ARCHITECT OR ENGINEER OF RECORD, THEY SHALL BE REVIEWED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT.

FIRE DEPARTMENT GENERAL NOTES

1. OFD SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. CALL THE FIRE PREVENTION OFFICE AT (714) 288-2541 FOR INSPECTION SCHEDULING.
2. A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO DELIVERY TO THE SITE. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 68,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
3. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. TO SCHEDULE AN APPOINTMENT, CALL THE FIRE PREVENTION OFFICE AT (714) 288-2541.
4. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS.
5. AN ORIGINAL APPROVED, SIGNED, WET STAMPED OFD FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE.
6. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES.
7. AREA WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED.
8. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTION AND A NOTICE OF CORRECTION OR CITATION WILL BE ISSUED.
9. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OFD PRIOR TO INSTALLATION AND USE.
10. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING.
11. ALL GATES WHICH ARE REQUIRED FOR FIRE DEPARTMENT ACCESS SHALL BE EQUIPPED WITH EITHER A KNOX BOX OR FIRE DEPARTMENT PADLOCK.
12. BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
13. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE TO THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G. ROLLED, RAMPED, ETC). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER APPROVED OFD FIRE MASTER PLAN.
14. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 66,000 LBS AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
15. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
16. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY.
17. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC.
18. APPROVAL ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
19. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORN OR STROBES.
20. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
21. ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OFD.
22. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL FOR ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN RELATED PORTIONS OF THE 2013 CFC AND ORANGE MUNICIPAL CODE. THE PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

SCOPE OF WORK

THE SCOPE OF WORK IS AS FOLLOWS:

1. CONVERT EXISTING AUTO REPAIR SERVICE TO C-STORE
2. ADDITION OF DRIVE-THROUGH AUTOMATIC AND FULL SERVICE CAR-WASH.

PROJECT SUMMARY

PROJECT ADDRESS:

LOT "A": 2640 N. SANTIAGO BLVD. ORANGE CA 92867.
LOT "B": 2650-2660 N. SANTIAGO BLVD. ORANGE CA 92867.

APN #: 361-401-27 & 361-401-25
TRACT #: 658
LOT #: L
ZONING: C-TR (LIMITED BUSINESS- TUSTIN REDEVELOPMENT)

DESCRIPTION OF USE:

LOT "A" CURRENT: SERVICE STATION W/AUTO SERVICE REPAIR.
PROPOSED: SERVICE STATION W/CAR WASH & C-STORE.
LOT "B" CURRENT: RETAIL CENTER.

LOT SIZE "A" AREA: 30,265 SQ. FT.
LOT SIZE "B" AREA: 41,418 SQ. FT.

LOT "A" COVERAGE: 3,610 SQ. FT.
F.A.R. (FLOOR AREA RATIO): .12
LOT "B" COVERAGE: 6,144 SQ. FT.
F.A.R. (FLOOR AREA RATIO): .15

LOT "A" BUILDING AREA:

1. EXISTING:	SHELL GAS STATION:	1,942 SQ. FT.
2. PROPOSED:	C-STORE TENANT IMPROVEMENT ADDITION: AT FRONT (C-STORE)	333 SQ. FT.
PROPOSED:	CAR-WASH ADDITION:	2,340 SQ. FT.
TOTAL PROPOSED:		2,673 SQ. FT.
TOTAL LOT "A":		4,615 SQ. FT.

LOT "B" BUILDING AREA:

EXISTING:	K.C. LIQUOR STORE:	2,586 SQ. FT.
	PATIO FIREPLACE:	588 SQ. FT.
	VALUE CLEANERS:	810 SQ. FT.
	MARRIS PIZZA:	810 SQ. FT.
	BBQ OUTLET-PATIO FIREPLACE:	1,350 SQ. FT.
TOTAL LOT "B":		6,144 SQ. FT.

DESIGN TEAM

ARCHITECT	OWNER
DESIGN CONCEPTS SHIV TALWAR AIA 3340 RIVERSIDE DR. CHINO, CA-91710. TEL: (909) 510-0512 CONTACT: SHIV TALWAR designconcepts@yahoo.com	MR. SURINDER MULTANI TEL:

CODE ANALYSIS

APPLICABLE CODES	TYPE OF CONSTRUCTION: VB (NON SPRINKLERED)
2019 CALIFORNIA BUILDING CODE (CBC)	SEC. 602.5
2019 CALIFORNIA MECHANICAL CODE (CMC)	SEC. 303.1
2019 CALIFORNIA PLUMBING CODE (CPC)	NUMBER OF STORY: 1
2019 CALIFORNIA ELECTRICAL CODE (CEC)	ALLOWABLE AREA: 9,000 SF PER TABLE 503 (M- OCC)
2019 TITLE 24 ENERGY REGULATIONS	
2019 CALIFORNIA FIRE CODE (CFC) & NFPA - 13	
COUNTY OF ORANGE ENVIRONMENTAL HEALTH CITY OF ORANGE MUNICIPAL CODES	
TYPE OF CONSTRUCTION (BLDG. A & BLDG. B)	VB
OCCUPANCY (BLDG. A & BLDG. B) AS PER TABLE 506.2	M
TOTAL COMBINED 8429 SQ. FT. < ALLOWABLE OF 9000 SQ. FT.	
ALLOWABLE AS PER TABLE 506.2	36,000 SQ. FT.
PROPOSED (EXISTING AND ADDITION) ARE LESS THAN 36,000 SQ. FT.	

REGIONAL SEPARATION

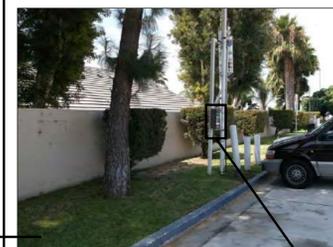
BUILDING 'A' OCCUPANCY M
BUILDING 'B' OCCUPANCY M
NO OCCUPANCY REQUIRED AS PER CBC TABLE 508.4

PARKING ANALYSIS

BUILDING	LOT	TENANT	USE	AREA	FORMULA	REQUIRED	PROVIDED
	"A"	C-STORE GAS STATION CAR WASH SERVICE(HAND DRY) VACUUM BAY	RETAIL	2,270 S.F.	1/800 SQ. FT.	3 SPACES 2 SPACES 2.5 SPACES	
TOTALS						9.5 SAY 10 SPACES	
	"B"	EXISTING K.C. LIQUOR COMPUTER RETAIL VALUE CLEANERS PIZZA TAKE-OUT BBQ OUTLET	RETAIL	6,144 S.F.	5/1000 SQ. FT.	31 SPACES	
TOTALS						31 SPACES	
						41	40 SPACES
		ACCESSIBLE PARKING			1 CAR/25 SPACES	2 SPACES	3 SPACES

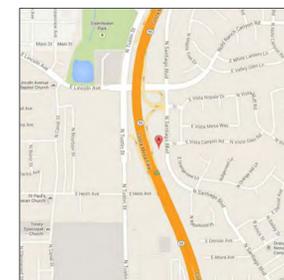


FIRE ALARM



FIRE EXTINGUISHER

VICINITY MAP



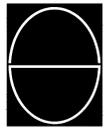
LOCATION OF FIRE APPARATUS PARKING



DRAWING INDEX

ARCHITECTURAL:
TF-1 FIRE PLAN TITLE SHEET AND SITE ANALYSIS.
F-1 PROPOSED FIRE MASTER PLAN

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NO.	DATE	ISSUED	DESCRIPTION
	10/02/19		DRG
	02/04/21		REVISION ON 08/05 DRG
	06/22/21		REVISION ON 08/05 DRG

DRAWING TITLE
TITLE SHEET & SITE ANALYSIS
FIRE MASTER PLAN
JOB TITLE
ADDITION & REMODEL (CUP APPLICATION)
SANTIAGO CENTER
JOB ADDRESS
2640 N. SANTIAGO BLVD.
ORANGE, CA 92867

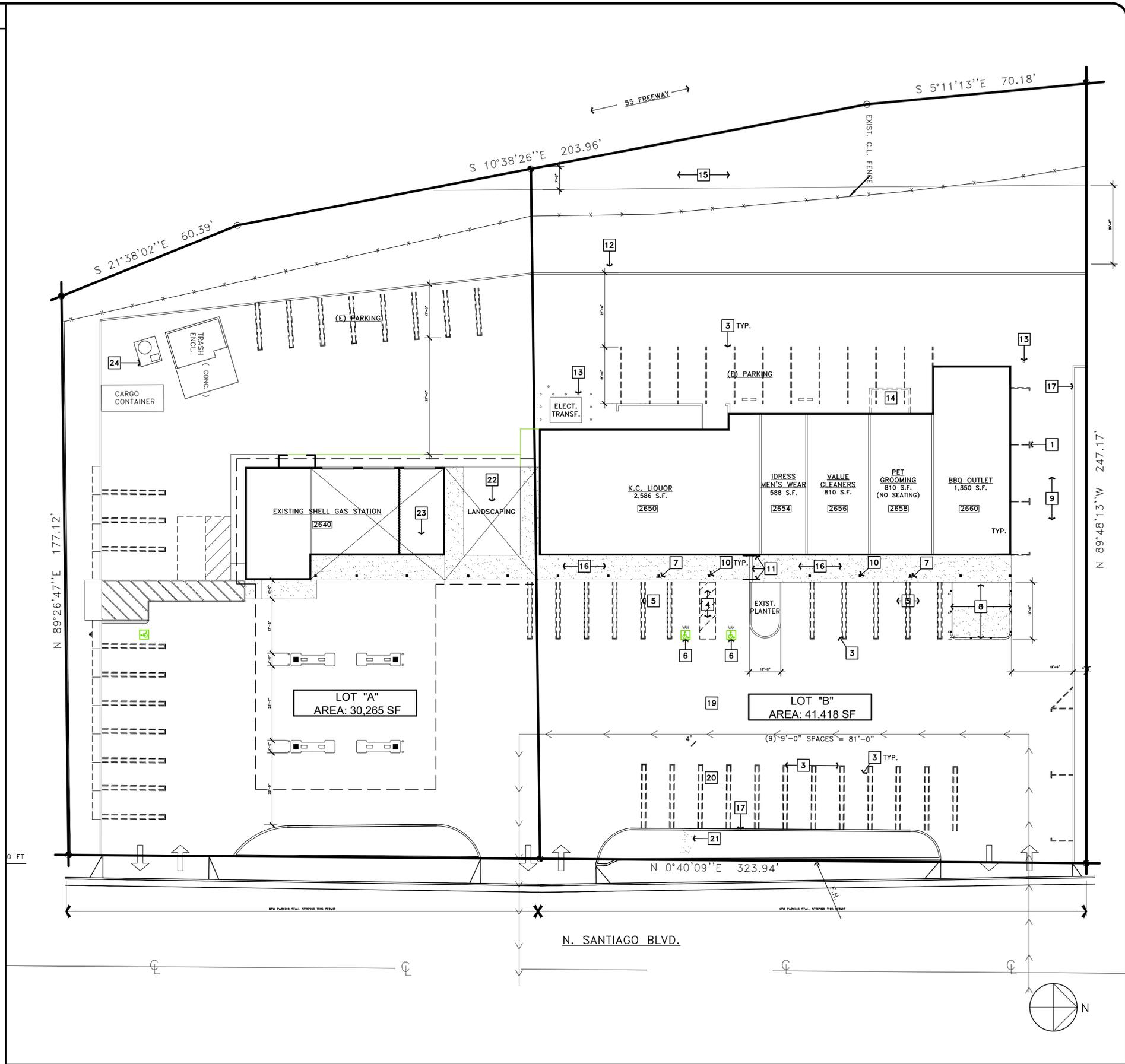
JOB NO. 2019-36

DWG. NO. REVISION NO.

F-1.0

SITE PLAN KEYNOTES

- 1 REMOVE (3) 'ILLEGAL' PARKING STALLS ADJACENT TO BUILDING
- 2 REMOVE (2) EXISTING PARKING STALLS ADJACENT TO DRIVEWAY AND ALONG PLANTER.
- 3 REMOVE EXISTING STALL STRIPING AND REPAINT 4" WIDE STRIPING AS INDICATED, AS PER CITY STANDARD
- 4 PAINT UNLOADING AREA WITH 45° 'BLUE' STRIPES AT 36" O.C. AND 12" LETTERS 'NO PARKING'. MAX. SLOPE 2% IN ANY DIRECTION.
- 5 PAINT 4" STALL STRIPES AND BORDERS 'BLUE'
- 6 36" x 36" INTERNATIONAL ACCESSIBILITY LOGO, 'WHITE' SYMBOL ON 'BLUE' BACKGROUND. SEE DETAIL.
- 7 RESTRICTED PARKING, VAN AND FINE SIGNS MOUNTED ON EXISTING POST AT +36" TO BOTTOM. SEE DETAIL.
- 8 REMOVE EXISTING AWNING AND METAL LEGS. EXISTING CURB AND CONCRETE PAD TO REMAIN.
- 9 EXISTING A.C. PAVING
- 10 EXISTING POSTS
- 11 INSTALL 34" HIGH HANDRAIL WITH 12" LONG 'D' RING EACH END, EACH SIDE OF EXISTING CONCRETE STEPS.
- 12 EXISTING CURB AND GUTTER
- 13 EXISTING STEEL BALLARD
- 14 REMOVE EXISTING, NON-PERMITTED UTILITY ENCLOSURE AND PREPARE AREA FOR A.C. PAVING. SLOPE MIN .5% AWAY FROM BUILDING.
- 15 EXISTING UNIMPROVED PORTION OF SITE SLOPING DOWN TO 55 FREEWAY
- 16 EXISTING CONCRETE SIDEWALK. MAX 2% SLOPE IN ANY DIRECTION (PATH-OF-TRAVEL)
- 17 EXISTING PLANTER CURB
- 18 6"x 6"x 4'-0" CONCRETE WHEEL STOP
- 19 PAINT PATH-OF-TRAVEL WITH 45° 'BLUE' STRIPES AT 36" O.C. MAX. SLOPE 5% IN DIRECTION OF TRAVEL AND MAX. 2% CROSS-SLOPE.
- 20 INSTALL 4'-0" WIDE x 3'-0" DEEP "YELLOW" TRUNCATED DOME WARNING PADS AT EACH END OF DRIVEWAY, AT PATH-OF-TRAVEL, AS INDICATED. SEE DETAIL.
- 21 SAWCUT EXISTING CONC. CURB AND INSTALL MIN. 4" THICK, 48" WIDE CONCRETE SIDEWALK (f = 2,000 PSI AT 28 DAYS)
- 22 REMOVING EXISTING LANDSCAPE FOR TRANSITION BETWEEN FRONT AND REAR OF LOCATION.
- 23 REMODEL (E) AUTO SERVICE STATION W/ CONVENIENCE STORE
- 24 EXISTING PROPANE TANK



EXISTING FIRE MASTER PLAN

SCALE: 1:20

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NO.	DATE	ISSUED	DRC
	10/02/19		REVISION ON 08/05 DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		

DRAWING TITLE: EXISTING SITE PLAN
 JOB TITLE: ADDITION & REMODEL (CUP APPLICATION)
 SANTIAGO CENTER
 JOB ADDRESS: 2840 N. SANTIAGO BLVD.
 ORANGE, CA 92667

JOB NO. 2019-36
 DWG. NO. F-1.1
 REVISION NO.



CITY OF ORANGE

WATER DIVISION PHONE (714)288-2475 FAX (714) 744-2973 WWW.CITYOFORANGE.ORG

FIRE HYDRANT FLOW TEST REPORT

*Information contained in this report is not valid for fire system design.

Date of request: 1/18/18
 Project: _____
 Project Address: 2640 N. SANTIAGO BLVD. 92667-5911
 Requested by: SHIV TALWAR Phone: 909-591-3939
 Company Name: DESIGN CONCEPTS ARCHT Fax: _____
 Email: designconcepts@yahoo.com
 Reason for request: PROJECT PERMIT - ADATION + REMODELING OF GAS STATION

TEST RESULTS

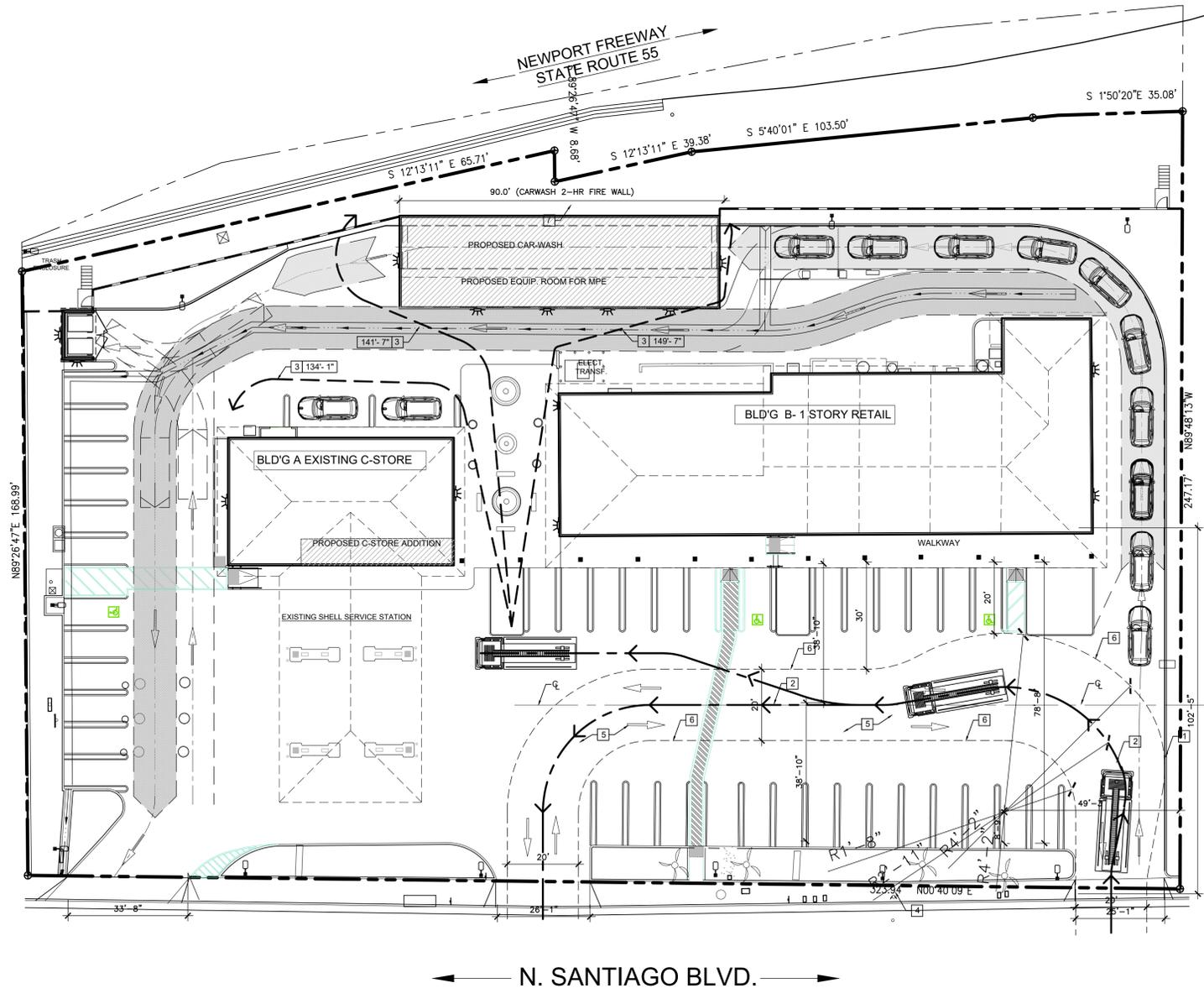
Static Pressure: 73 PSI Observed Flow: 1445 GPM
 Residual Pressure: 74 PSI Flow @ 20 psi: 6124 GPM
 Hydrant No: 4799 Test Date: 1/22/18
 Main Size: 12" Nozzle: 2 1/2 Located on: Side of 2640 N. SANTIAGO

Test Performed by: _____ Test Reported by: _____
 Name: H. MEDINA Name: H. MEDINA
 Title: LEAD WORKER Title: LEAD WORKER
 Signature: [Signature]

*The above information is provided as a courtesy and may be used for reference purposes only. Actual flow data and pressure readings may vary. The information presented in this form is not valid for design of fire systems. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

WATER DIVISION 189 SOUTH WATER STREET ORANGE, CA 92666-1591

Scanned
01/22/18
JVK



FIRE MASTER PLAN NOTES:

- THE FOLLOWING INFORMATION RELATIVE TO FIRE ACCESS WALKWAYS SHALL BE INCLUDED ON THE ABOVE FIRE MASTER PLAN:
 - SHOW MINIMUM 5' WIDE FIRE ACCESS WALKWAY TO ALL OPENINGS AND EGRESS DOORS. ON THE FIRST FLOOR EXTERIOR WALLS, REQUIRED BY THE CBC AND/OR CFC.
 - FIRE ACCESS WALKWAYS SHALL BE A LEVEL SOLID SURFACE, UNOBSTRUCTED BY TRESS OR SHRUBS AND SHALL CONSISTS OF A SURFACE THAT LENDS ITSELF TO SAFE USE DURING BUILDING EVACUATION, FIREFIGHTING AND RESCUE EFFORTS. ALTERNATIVE SURFACES (I.E. DECOMPOSED GRANITE, GRAVEL, GRASS ETC.) ARE EVALUATED BY THE FIRE CODE OFFICIAL FOR ACCEPTANCE ON CASE TO CASE BASIS.
- TRESS PLANNED ALONG THE FIRE ACCESS ROADWAY AND/OR FIREFIGHTER REQUIRED WALKWAY SHALL NOT IMPEDED THE REQUIRED MINIMUM 5' WALKWAY WIDTH OR THE REQUIRED FIRE APPARATUS VERTICAL CLEARANCE OF 13'-6". THE TRESS SHOULD BE A TYPE THAT THE NATURAL GROWTH PATTERN WOULD ALLOW THE REQUIRED VERTICAL CLEARANCE WITHOUT RELIANCE ON REGULAR MAINTENANCE OF THE TREE CANOPIES.
- THE ARCHITECTURAL, CIVIL AND LANDSCAPE DRAWINGS SHALL BE COORDINATED SUCH THAT INFORMATION RELATIVE TO FIRE ACCESS ROADWAY WIDTHS, REQUIRED VERTICAL CLEARANCES AND LOCATION OF FIRE PROTECTION DEVICES (FDC'S, BFD'S AND FIRE HYDRANTS) ARE SHOWN IN A SIMILAR MANNER.

PROPOSED FIRE MASTER PLAN

SCALE: 1:20

FIRE MASTER PLAN KEYNOTES:

- FIRE LANE NO PARKING
- FIRE APPARATUS ACCESS/TRAVEL PATH
- FIRE HOSE REEL EXTENT 150 FT. MINIMUM
- (E) FIRE HYDRANT
- FIRE ACCESS ROADWAYS SHALL BE DESIGNED TO SUPPORT THE IMPOSED LOADS OF THE ORANGE FIRE DEPARTMENT APPARATUS LOAD WITH A TOTAL LOAD OF 68,000 POUNDS. THE FIRE ROADWAY SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO PROVIDE ALL WEATHER REQUIREMENT.
- EDGE OF FIRE ACCESS
- 2-HR. FIRE WALL FOR CARWASH FACING THE FREEWAY

LEGEND

- PATH OF TRAVEL (FIRE APPARATUS)
- FIRE HOSE PULL

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NO.	DATE	ISSUED	DRC
	10/02/19		DRC
	02/04/21		REVISION ON 08/05 DRC
	06/22/21		REVISION ON 08/05 DRC

DRAWING TITLE
PROPOSED FIRE MASTER PLAN
 JOB TITLE
 ADDITION & REMODEL (CUP APPLICATION)
 SANTIAGO CENTER
 JOB ADDRESS
 2640 N. SANTIAGO BLVD.
 ORANGE, CA 92667

JOB NO. 2019-36

DWG. NO. F-1.2 REVISION NO. 2

