

FRIENDS

FRIENDS CHURCH - THE HANGAR

180 S. CYPRESS, ORANGE, CA (OFFICE BUILDING)

527 W. ALMOND AVE., ORANGE, CA (WAREHOUSE BUILDING)

REVIEW PACKAGE 10-23-2024

PLANNING REVIEW PACKAGE 10-17-2025

FINAL PLANNING REVIEW PACKAGE 01-08-2026



State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION BUILDING, STRUCTURE, AND OBJECT RECORD		Primary # HRI # *NRHP Status Code 501
Page 2 of 41		*Resource Name or #: ALMRHD_M_527_AFR_390-661-05 <small>(Assigned by Recorder)</small>
B1. Historic Name: <u>Unknown</u>		
B2. Common Name: _____		
B3. Original Use: <u>2ND</u> B4. Present Use: <u>2ND</u>		
B5. Architectural Style: <u>Industrial</u>		
B6. Construction History: <small>(Construction date, alterations, and date of abandonment)</small> Date of Construction: <u>1925</u> <input checked="" type="checkbox"/> Historic <input type="checkbox"/> Prehistoric <input type="checkbox"/> Both		
*** Property status pending review with the National Register! ***		
B7. Moved? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Unknown Date: _____ Original Location: _____		
B8. Related Features: _____		
B9. Architect or Builder: <u>Unknown</u>		
B10. Significance: Theme: <u>Architecture</u> Area: <u>City of Orange</u> Property Type: <u>Industrial</u>		
Period of Significance: <u>Old Towne Agriculture & Industry (c. 1880 - 1950)</u> Applicable Criteria: <u>AC</u> <small>(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continue on Pg.4)</small>		
Structural Integrity: _____		
Site Integrity: _____		
Opportunities: <u>Appears to be a contributor to a district that appears eligible for local listing or</u> Designation: <u>Railroad/Packing House Bldg.</u>		
B11. Additional Resource Attributes: <small>(List attributes and codes)</small> _____		
B12. References: _____		
<u>Orange Daily News.</u>		
B13. Remarks: <small>(Continues on Pg.3.)</small> Status change since 1991 Survey: Not previously surveyed.		
		<small>(Switch Map with North arrow required.)</small>
B14. Evaluator: <u>Robert Chattel</u>		
*Date of Evaluation: <u>September, 2005</u>		
<small>This space reserved for official comments.)</small>		
DPR 5238 (1/95)		

*Required Information

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET		Primary # HRI # Trinomial ORA
Page 4.1 of 4.1	*Resource Name or #: ALMOND W 527_APN 390-661-05	
Recorded by: *** Property status pending review with the National Register! ***		
D. Geet, F. LaValley, D. Matsumoto Chattel Architecture 13413 Venture Blvd, Sherman Oaks, CA 91423	Date Recorded: March, 2005 <input checked="" type="checkbox"/> Continuation <input type="checkbox"/> Update	
2012 National Register Amendment: (Based upon 2010 Historic Resources Inventory Update)		
Purpose of Amendment: Not previously listed	Recommended Action: Current Status (2011): Recommended Status (2012):	Amend non-contributor to NR District 501
Detail: Resource located within Old Towne Orange National Register Historic District boundaries. Recommend district amendment to complete district inventory.		

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION BUILDING, STRUCTURE, AND OBJECT RECORD		Primary # HRS # 111689 'NRHP Status Code 62
Page 2 of 3		*Resource Name or #: (Assigned by Recorder) CYRRESS_8_180_APR_390-661-05
B1. Historic Name: <input type="text" value="Unknown"/>		
B2. Common Name: <input type="text"/>		
B3. Original Use: <input type="text" value="COM"/> B4. Present Use: <input type="text" value="COM"/>		
'B5. Architectural Style: <input type="text" value="Contemporary"/>		
'B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: <input type="text" value="1948"/> <input type="checkbox"/> Historic <input type="checkbox"/> Prehistoric <input type="checkbox"/> Both		
'B7. Moved? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Unknown Date: <input type="text"/> Original Location: <input type="text"/>		
'B8. Related Features: <input type="text"/>		
'B9. Architect or Builder: <input type="text" value="Unknown"/>		
'B10. Significance: Theme: <input type="text" value="Architecture"/> Area: <input type="text" value="City of Orange"/> Property Type: <input type="text" value="Commercial"/>		
Period of Significance: <input text"="" type="text" value="N/A"/>		
(Choose importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)		
Structural Integrity: <input type="text"/>		
Site Integrity: <input type="text"/>		
Opportunities: <input type="text"/>		
B11. Additional Resource Attributes: (List attributes and codes) <input type="text"/>		
'B12. References: Orange Daily News.		
B13. Remarks: (Continues on Pg.3) Status change since 1991 Survey: None.		
'B14. Evaluator: <input type="text" value="Robert Chattel"/>		
*Date of Evaluation: <input type="text" value="September, 2005"/>		
(This space reserved for official comments.)		
DPR 523B (1/95)		

PROJECT DIRECTORY

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[illegible]

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Existing Condition Assessment and Conversion Basis of Design Strategies for:

The Hanger – Warehouse – Friends Church – Orange

The assessment below is intended to provide data to assist construction R.O.M pricing for the conversion of a current warehouse into an A occupancy community worship and flex space for Friends Church, Orange.

General Building Information

Address:	527 W Almond
Approximate Buil:	1925 (steel construction)
Building is in	Cld Towne Orange Historic District - Listed as a significant resource.
Parcel Assignment:	Contributing Historic Building
Slab on grade	Fully sprinklered
Passive ventilation	

Building Analysis

Building Area:	+/ -14,800 s.f.
Type of Construction:	VB, sprinklered
Occupancy:	A-3

Building Conversion Considerations:

- Change of Use – CUP required
- Assembly over 500 occupants – Risk Category III
- Weather tight needs
 - Interior
 - Assumed exterior is historically significant.
- Acoustics
 - Worship gathering area – Internal.
 - Rail adjacency – External
- Historic compliance/considerations – 3 overlapping historic district overlays
 - Pending review on the national register
 - Exterior Look and Feel
 - Site issues regarding historic – district overlays
- Fire/Life Safety

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Basis of Design Executive Narrative:

ARCHITECTURAL BASIS OF DESIGN NARRATIVE:

The thoughtful design will be based on the assessment and guidance provided by George Taylor Louden, AIA Historical Architecture Consulting with strict adherence to the Secretary of the Interior Historic rehabilitation Standards. George Taylor Louden has been approved by the City of Orange planning department for assessment of and reporting for this property. The report is contained herein.

Building (Historical) Rehabilitation:

Exterior Corrugated Steel Panels: The general look and feel from the exterior is to be protected/preserved or refreshed to preserve the historical look and use of the building. The exterior corrugation will be removed and either mapped for reinstallation or replaced in kind with identical metal corrugation material. The removal will allow for the interior wall to be constructed to achieve energy efficiency as well as appropriate waterproofing necessary for the new use. Where an new material is proposed it is aligned with the same vertical ribbed articulation but stands apart from the existing emphasizing new vs historic. All significant existing horizontal banding or seaming will be maintained.

Existing Windows:

The existing windows are narrow steel sill/frame industrial windows with steel muntins. At a much more recent time a 2x wood frame with metal mesh was added to the exterior for unknown reasons. This has not aged well and would be removed and replaced with a metal frame around the existing windows to seal the windows from weather intrusion.

South Elevation: (7: 4'x6') and lower windows (4: 5'x7')

West Elevation: (7: 4'x6')

North Elevation: (8: 4' x 6')

East Elevation: (8: 4'-0") and lower windows (1: 5'x7')

The existing clerestory windows on **South elevation (Almond), West elevation (Railway) and North Elevations (Parking Lot)** will be preserved by cleaning, repairing, sealing and installing a new metal frame surround.

Existing Windows on the **East Elevation** will be modified with the introduction of the new entry portal; while 4 of the clerestory (3'x6') windows and the single lower (5'x7') window will be preserved, 4 clerestory windows will be removed to allow for the proposed entry structure and new modern operable windows at the NE mezzanine. Though the new windows are modern they will be in keeping with the meta/steel muntin pattern consistent with the existing.

A new insulated wall will be built on the interior side of the exterior skin with new double pane, single line windows (minus less) placed in the wall aligned with the existing window locations, so that the daylighting is preserved as well as the view of the existing historic windows from the inside. This is required for the conditioned space to meet I-24 requirements.

Existing Corrugated Sliding Doors: The existing sliding warehouse doors along the South Elevation (Almond) will be presented as precedence has been set within the Old Town district. They are to be preserved in the "Closed" position with the exterior side rails intact. The operable door on the North Elevation will be replaced with a modern steel and glass overhead door. The southernmost sliding door on the East elevation will be preserved in the "closed" position

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with a new door installed. The center sliding door will be preserved in the "closed" position with the new entry integrated into it.

Existing Louvers: The existing louvers were installed at a more recent time, they do not fit the original openings and plywood was used to seal the remaining gaps. New industrial louvers will be installed custom to the original openings. They can be false vents or tied to new HVAC system to allow for fresh-air intake. If not required for HVAC use; the new interior perimeter wall will cover them from view on the interior.

Metal Corrugated Roof: The existing corrugated roof diaphragm will be maintained, new continuous insulation will be installed over the corrugation with new corrugated material (painted) over the insulation. This material will match the existing curved corrugated material currently visible. An integrated gutter system will be installed in the roof overhang along Almond out of view and will be internally drained and tied to underground storm drains. Overflow outlets will be located on the West and East elevations.

Existing Steel Structure: The structure will be preserved and modified only where necessary to meet historical structural code. The change in occupancy requires the building to be upgraded to a seismic risk category II. This includes expansion of main structural column footings, additional truss bracing in the roof structure and added s-bracing in the exterior structural system for additional seismic lateral support. The approach will be careful use of materials to blend with the current structural steel members for the added wall bracing and added roof structure truss bracing. The expanded footings will be invisible to the eye as disrupted conditions will be replaced to match existing.

Existing Loading Dock: The proposed use requires an infill of the existing loading dock. The approach is to leave the dock sloped slab in place, infill with structural EPS geofom with a new concrete topping slab to flush out with current finished floor level. The design takes into consideration the reversible criteria of being able to return the dock to its original form in the future if the opportunity presents itself.

New Design Elements Introduced:

The architectural design intent for modernization and adaptive reuse aims to honor the building's historic character while introducing contemporary industrial farmhouse elements.

Key features include:

• Barn-Vaused Aesthetic: The existing corrugated hanger style is preserved and enhanced inside and out. The open roof structure will remain exposed on the interior. The vertical steel structural columns and K-bracing will remain visible on the interior. Internal overhead doors leading to the north space will remain open while in-filled with modern storefront glazing.

• New Prominent Entryway and Courtyard facade enhancements: A prominent entryway on the East elevation within the courtyard (The kind) will replace the existing damaged metal skin, maintaining a similar profile while incorporating a striking dark bronze finish for added contrast. These elements are implemented on the interior courtyard to enhance the guest experience within an important congregation area.

New operable 2nd story windows on East elevation: The inclusion of modern steel or metal matching steel windows at the mezzanine level will be introduced to create greater transparency, allowing views from the interior balcony into the revitalized courtyard below.

A new faux steel storefront system will be integrated into the lower rear structure to accommodate a café, dad in standing seam metal panels that replace the existing damaged metal skin, maintaining a similar profile while incorporating a striking dark bronze finish for added contrast. These elements are implemented on the interior courtyard to enhance the guest experience within an important congregation area.

Exterior Enhancements and Canopy along Almond: Similar to the metal clad shed finish on the interior courtyard facade, this finish will also be applied to eastern end of the Almond Street elevations with a metal eaveyber constructed of similar wide flange steel shapes found within the structure. This important feature highlights the new adaptive reuse and provides for signage and a more intuitive wayfinding identity to the main entry within the courtyard since no new access is proposed along Almond.

Overall, these minimal changes and thoughtful enhancements make a significant impact, celebrating the building's historical essence while infusing it with modern functionality. These thoughtful enhancements maintain the building's historical essence while introducing modern functionality, creating a welcoming and vibrant space within an important historically significant building preserving the important past industry within the Orange Historical District.

Accoutres:

It is suggested that an acoustical consultant be brought in to assess the proposed wall assembly to abate nuisance noises from the exterior and interior acoustic (light weight) panels provided on the interior to provide for an appropriate interior space experience.

Restrooms:

Large multiple occupancy accessible restrooms will need to be installed to support final occupancy counts

Building Envelope:

Wall Assembly

The diagram illustrates the exterior wall assembly with the following components labeled from top to bottom:

- EXISTING METAL CLADDING (CORRUGATED STEEL PANELS)
- EXISTING METAL SLIDING DOOR ASSEMBLY ATTACHED DIRECTLY TO METAL BUILDING FRAME AND STEEL ANGLES.
- NEW CORRUGATED STEEL PANELS (MATCH EXISTING)
- NEW INSULATION (R-30) OVER EXISTING METAL DECK
- NEW METAL SOFFIT PANEL
- NEW CORRUGATED STEEL PANELS (MATCH EXISTING)
- EXISTING METAL SLIDING DOOR ASSEMBLY ATTACHED DIRECTLY TO METAL BUILDING FRAME AND STEEL ANGLES.
- NEW CORRUGATED STEEL PANELS (MATCH EXIST



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

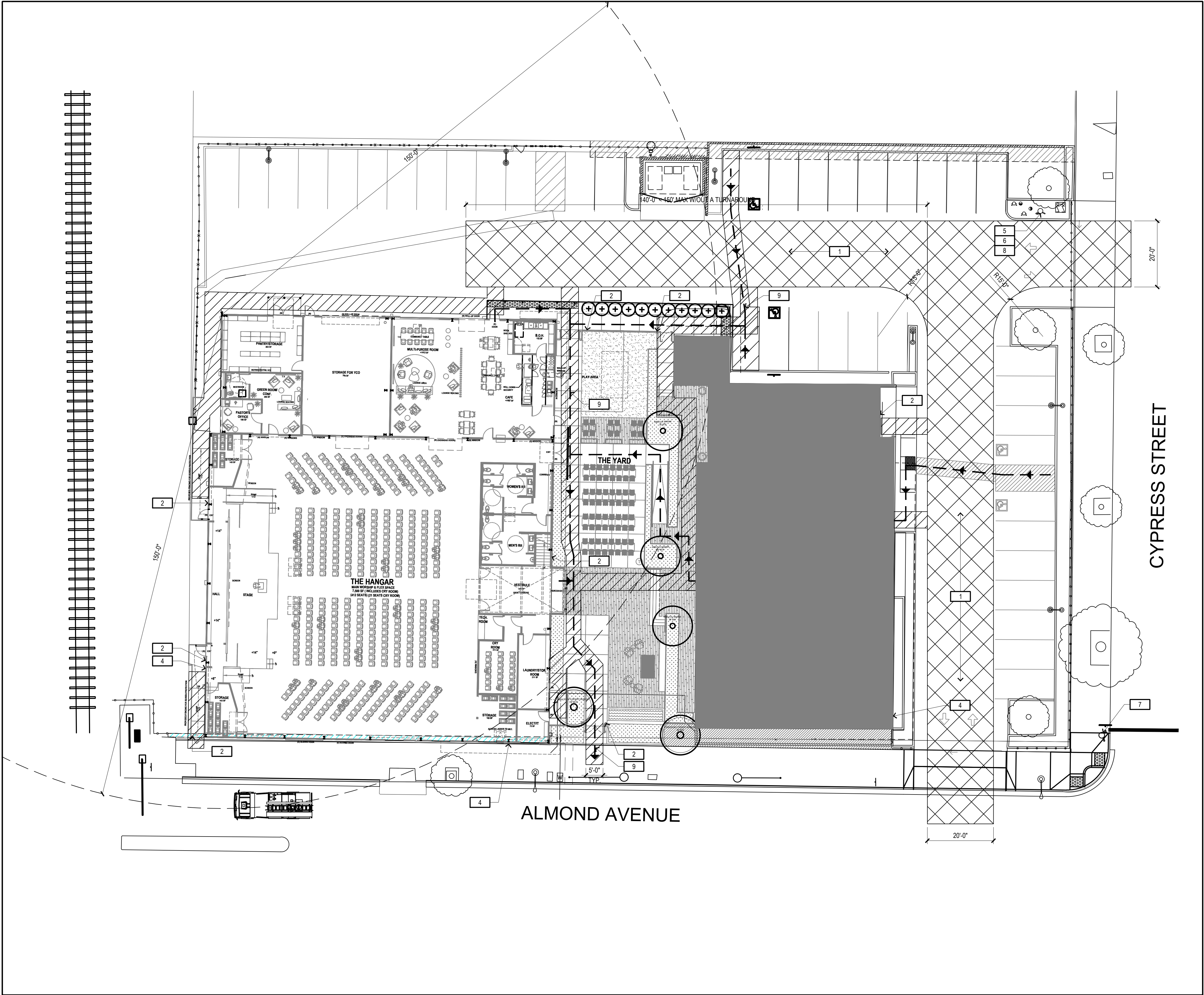
BASIS OF DESIGN NARRATIVE
SITE INFORMATION



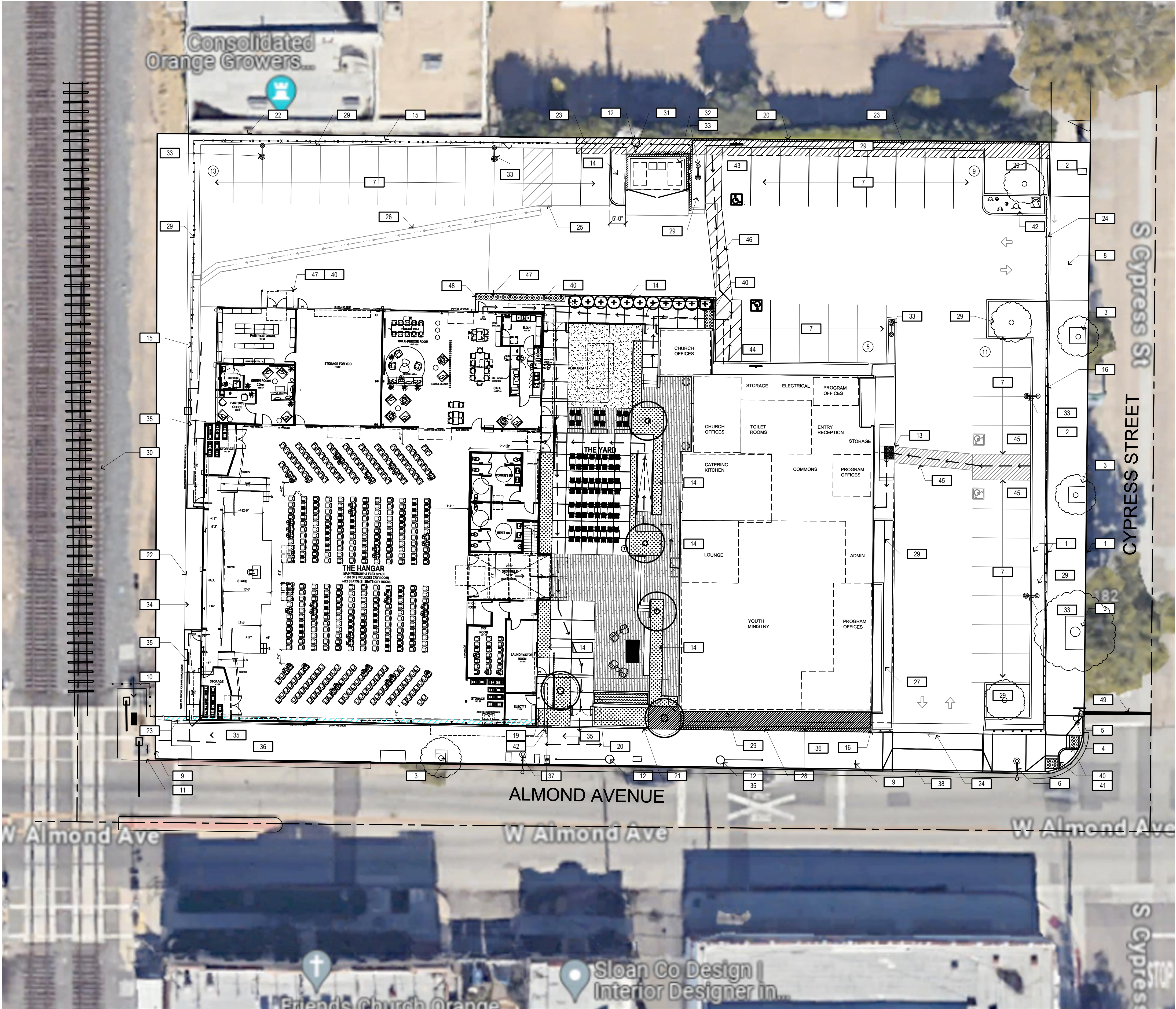
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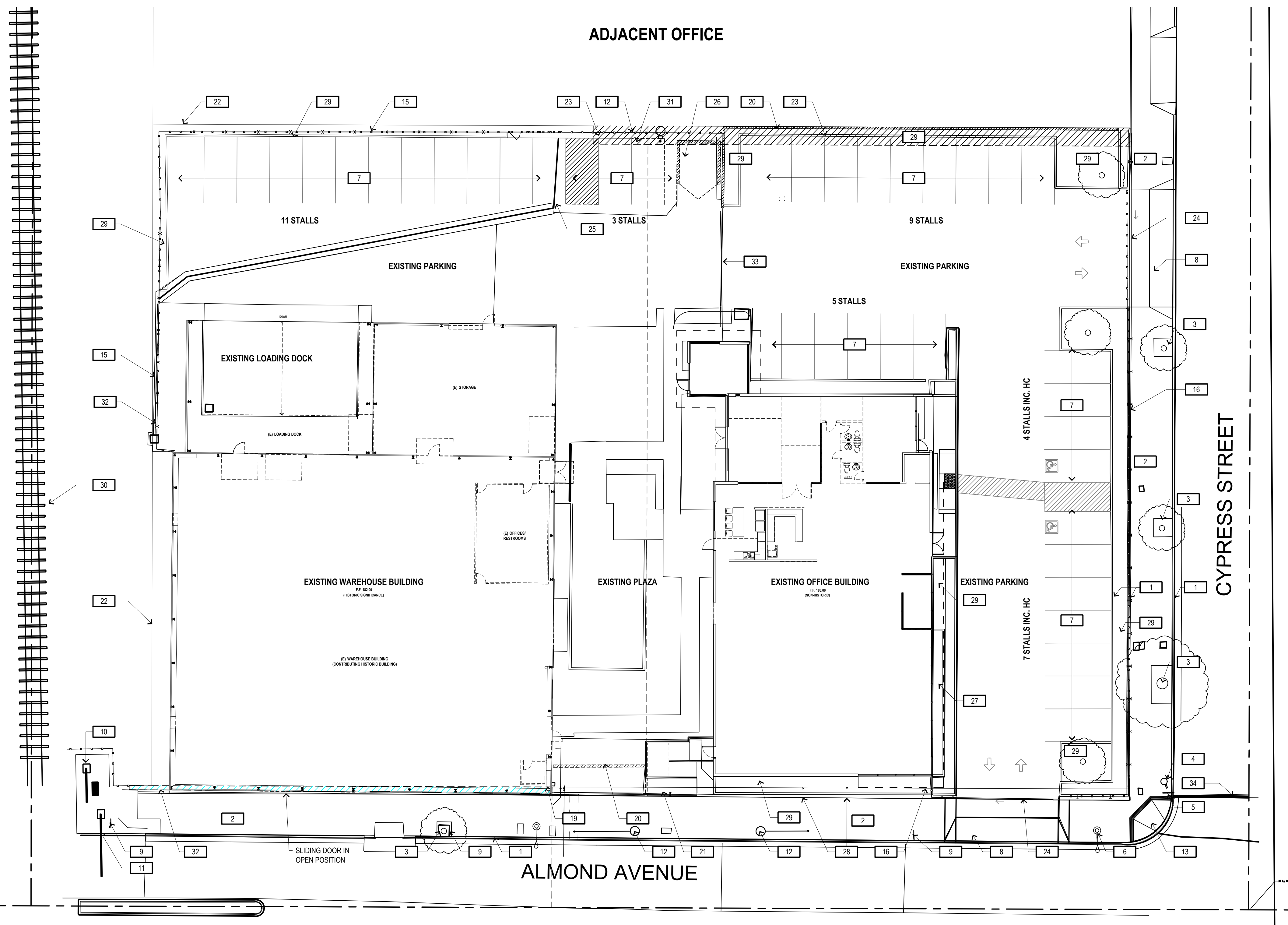
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Date: 2026-01-08



FIRE MASTER PLAN NOTES	KEY NOTES
<p>PRIOR TO PERMIT APPLICANT SHALL PROVIDE A LETTER OR STATEMENT, WET-STAMPED AND SIGNED BY A REGISTERED ENGINEER ON THE PLANS CERTIFYING THAT ANY NEW ROADWAY MEETS THE 68,000 POUND ALL WEATHER REQUIREMENT OR DENOTE THAT THE DESIGN LETTER MEETING THESE CONDITIONS WILL BE PROVIDED AT ROUGH GRADING PLAN SUBMITTAL. EMBED LETTER OR NOTE ON FMP.</p> <p>SEE CIVIL DRAWINGS FOR REQUIRED FIRE FLOW.</p>	<p>1 A MINIMUM 20-FOOT-WIDE FIRE ACCESS ROADWAY SHALL EXTEND TO WITHIN 150 FEET OF ALL FIRST FLOOR EXTERIOR WALLS OF THE PROPOSED BUILDINGS AS MEASURED ON THE EXTERIOR OF THE BUILDING. DENOTE MEASUREMENTS COMPLYING WITH THIS REQUIREMENT.</p> <p>THE FIRE ACCESS ROADWAYS SHALL BE DESIGNED TO SUPPORT THE IMPOSED LOADS OF THE ORANGE FIRE DEPARTMENT FIRE APPARATUS WITH A TOTAL LOAD OF 68,000 POUNDS. THE FIRE APPARATUS IS DISTRIBUTED AS 46,000 POUNDS ON THE TANDEM REAR AXLES AND 22,000 POUNDS ON THE FRONT AXLE. THE FIRE ACCESS ROADWAY SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. PLACE NOTE ON FMP.</p>
DEFERRED PLAN SUBMITTALS	
<p>FIRE SPRINKLERS</p> <p>UNDERGROUND FIRE LINE SERVICE</p> <p>FIRE SPRINKLER MONITORING/ALARM SYSTEM</p> <p>COMPRESSED/LIQUEFIED BULK TANKS (IF APPLICABLE)</p>	<p>2 KEY BOXES AND KEY SWITCHES (KNOX DEVICES) SHALL BE PROVIDED WHERE NECESSARY TO ENSURE THAT IMMEDIATE ACCESS FOR FIREFIGHTING, RESCUE AND OTHER EMERGENCY PURPOSES IS POSSIBLE. IDENTIFY LOCATION ACCORDING TO THE FOLLOWING:</p> <p>AT A MINIMUM, KNOX DEVICES SHALL BE PROVIDED FOR THE FOLLOWING LOCATIONS:</p> <p>a. THE MAIN ENTRY TO BUILDINGS EQUIPPED THROUGHOUT WITH A FIRE ALARM OR SPRINKLER MONITORING SYSTEM.</p> <p>b. DOORS, PERIMETER PEDESTRIAN GATES AND OTHER AREAS IDENTIFIED BY THE FIRE DEPARTMENT. AT LEAST ONE PEDESTRIAN GATE IS REQUIRED ON PERIMETER GATES.</p> <p>c. VEHICULAR GATES ON DRIVER SIDE APPROACH. ELECTRIC GATES SHALL COMPLY WITH THE REQUIREMENTS OF AN AUTOMATIC OPENING DEVICE IN COMPLIANCE WITH UL 325 AND ASTM F-2200 IN ADDITION TO THE KEY OPENING DEVICE.</p> <p>3 5-FOOT-WIDE FIRE ACCESS WALKWAY TO ALL OPENINGS AND EGRESS DOORS, ON THE FIRST FLOOR EXTERIOR WALLS, REQUIRED BY THE CBC AND/OR CFC.</p> <p>TREES PLANTED ALONG THE FIRE ACCESS ROADWAY AND/OR FIREFIGHTER REQUIRED WALKWAY SHALL NOT IMPEDE THE REQUIRED MINIMUM 5'-0" WALKWAY WIDTH OR THE REQUIRED FIRE APPARATUS VERTICAL CLEARANCE OF 13'-6". THE TREES SHOULD BE A TYPE THAT THE NATURAL GROWTH PATTERN WOULD ALLOW THE REQUIRED VERTICAL CLEARANCE WITHOUT RELIANCE ON REGULAR MAINTENANCE OF THE TREE CANOPIES.</p> <p>4 BUILDING ADDRESS LOCATION - APPROVED BUILDING ADDRESS NUMBERS SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 8 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1 INCH. CFC CHAPTER 5, SECTION 505.1 AND OMC 15.52.080</p> <p>ADDITIONAL ADDRESS MARKINGS MAY BE REQUIRED TO PROVIDE DIRECTION FROM APPROACH.</p> <p>5 DOUBLE DETECTOR BACKFLOW DEVICE - SEE ALSO CIVIL</p> <p>6 FIRE DEPARTMENT CONNECTION - SEE ALSO CIVIL</p> <p>7 PUBLIC FIRE HYDRANT LOCATION (EXISTING)</p> <p>8 NEW ON-SITE FIRE HYDRANT</p> <p>9 ACCESSIBLE PATH OF TRAVEL FROM BUILDING TO ACCESSIBLE PARKING AND TO PUBLIC RIGHT OF WAY TO NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.</p>

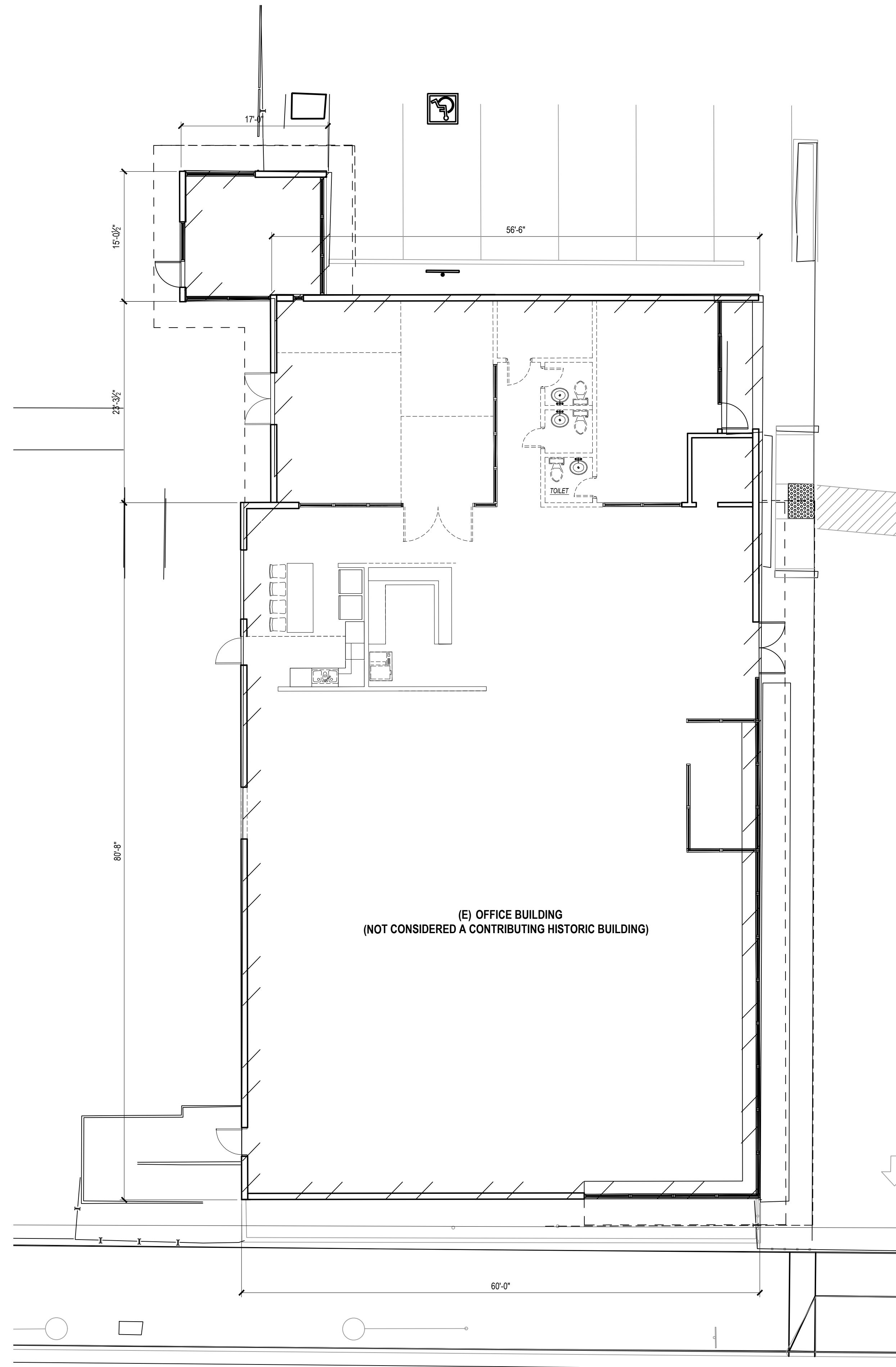


KEYNOTES	SITE LIGHTING REQUIREMENTS
<div><div>1</div>EXISTING CURB TO REMAIN</div> <div><div>2</div>EXISTING SIDEWALK TO REMAIN</div> <div><div>3</div>EXISTING STREET TREES TO REMAIN</div> <div><div>4</div>EXISTING FIRE HYDRANT</div> <div><div>5</div>RELOCATED STOP SIGN</div> <div><div>6</div>EXISTING STREET LIGHT TO REMAIN</div> <div><div>7</div>EXISTING PARKING SPACE(S) TO REMAIN</div> <div><div>8</div>EXISTING CURBCUT TO REMAIN</div> <div><div>9</div>EXISTING RR SIGN TO REMAIN</div> <div><div>10</div>EXISTING RR PEDESTRIAN ARM TO REMAIN</div> <div><div>11</div>EXISTING RR TRAFFIC ARM TO REMAIN</div> <div><div>12</div>EXISTING TELEPHONE POLE AND GUY WIRE TO REMAIN</div> <div><div>13</div>EXISTING TRUNCATED DOMES TO REMAIN</div> <div><div>14</div>NEW PLANTER - SEE LANDSCAPE PLANS</div> <div><div>15</div>EXISTING 8' HIGH COATED CHAINLINK FENCE TO REMAIN</div> <div><div>16</div>EXISTING 4' HIGH STEEL PICKET FENCE TO REMAIN</div> <div><div>17</div>NEW FIRE DEPARTMENT CONNECTION CONFIRM LOCATION ON SITE</div> <div><div>18</div>EXISTING FIRE RISER W/ VERTICAL DOUBLE CHECK BACK FLOW PREVENTION ASSEMBLY</div> <div><div>19</div>EXISTING GAS METER</div> <div><div>20</div>EXISTING 8' CMU BLOCK WALL</div> <div><div>21</div>EXISTING 6' STEEL PICKET FENCE</div> <div><div>22</div>EXISTING PROPERTY LINE</div> <div><div>23</div>EXISTING EASEMENT- SEE CIVIL</div> <div><div>24</div>EXISTING OPERABLE GATE</div> <div><div>25</div>EXISTING LOADING ZONE</div> <div><div>26</div>EXISTING GUTTER/SWALE</div> <div><div>27</div>EXISTING LOW WALL PLANTER</div> <div><div>28</div>EXISTING GATE POSTS</div> <div><div>29</div>EXISTING PLANTER</div> <div><div>30</div>EXISTING TRAIN TRACKS</div> <div><div>31</div>EXISTING TELECOM RISER</div> <div><div>32</div>NEW TRASH ENCLOSURE PER CITY STD 409</div> <div><div>33</div>NEW LIGHTPOLE WITH SHIELDING (SEE NOTES AND REQUIRMENTS BELOW)</div> <div><div>34</div>EXPOSED DRAINAGE SWALE- SEE CIVIL</div> <div><div>35</div>PARKWAY DRAINAGE UNDER SIDEWALK- SEE CIVIL</div> <div><div>36</div>NEW SIDEWALK/CURB AND GUTTER- SEE CIVIL</div> <div><div>37</div>NEW LIGHT POLE IN PUBLIC RIGHT OF WAY</div> <div><div>38</div>NEW DRIVEWAY APPROACH- SEE CIVIL</div> <div><div>39</div>REMOVE STREET LIGHT FROM EXISTING POLE</div> <div><div>40</div>NEW TRUNCATED DOMES</div> <div><div>41</div>NEW CURB RAMP- SEE CIVIL</div> <div><div>42</div>NEW UTILITIES- SEE CIVIL</div> <div><div>43</div>NEW ACCESSIBLE PARKING SPACE W/ ADJACENT LOADING AREA. SEE DETAIL ON THIS SHEET</div> <div><div>44</div>NEW VAN ACCESSIBLE PARKING SPACE W/ ADJACENT LOADING AREA. SEE DETAIL ON THIS SHEET</div> <div><div>45</div>EXISTING STANDARD AND VAN ACCESSIBLE PARKING SPACE WITH ADJACENT LOADING AREA AND PATH OF TRAVEL TO REMAIN</div> <div><div>46</div>NEW ACCESSIBLE PATH OF TRAVEL STRIPING</div> <div><div>47</div>NEW PROTECTIVE BOLLARDS</div> <div><div>48</div>NEW PAINTED STEEL GUARDRAIL</div> <div><div>49</div>NEW STOP BAR- SEE CIVIL</div> <div><p>UNCOVERED PARKING LOTS SHALL BE PROVIDED WITH A MAINTAINED MINIMUM OF ONE FOOT-CANDLE OF LIGHT ACROSS THE ENTIRE PARKING SURFACE. PROVIDE A PHOTOMETRIC PLAN FOR THE PROPOSED PARKING AREAS FOR THIS PROJECT. INCLUDE PHOTOMETRIC VALUES 10 FEET BEYOND THE EAST PROPERTY LINE. LIGHT SPILLAGE ONTO ADJACENT RESIDENTIAL AREA SHALL NOT EXCEED .50 FOOT-CANDLES OF LIGHT.</p><p>ASILES, PASSAGEWAYS AND RECESSES RELATED TO AND WITHIN THE PROJECT SITE SHALL BE ILLUMINATED WITH AN INTENSITY OF AT LEAST .50 FOOT CANDLES OF LIGHT AT THE GROUND LEVEL DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM RESISTANT COVERS.</p><p>CITY OF ORANGE CRIME PREVENTION NOTES</p><p>THE PROJECT SHALL ALSO COMPLY WITH THE REQUIREMENTS CONTAINED IN THE CITY OF ORANGE MUNICIPAL CODE CHAPTER 15.52, BUILDING SECURITY CONSTRUCTION STANDARDS REFERENCE ORDINANCE #6-22.</p><p>THIS PROJECT WILL BE SUBJECT TO MEASURES INCORPORATE THE CONCEPTS OF CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED), WHICH INVOLVES CONSIDERATIONS SUCH AS PLACEMENT AND ORIENTATION OF STRUCTURES, ACCESS AND VISIBILITY OF COMMON AREAS, PLACEMENT OF DOORS, WINDOWS, ADDRESSING, AND LANDSCAPING. CPTED PROMOTES PUBLIC SAFETY, PHYSICAL SECURITY AND ALLOWS CITIZENS THE ABILITY TO MONITOR ACTIVITY. IT IS BASED ON FIVE CONCEPTS TO PROVIDE NON-INVASIVE AND PERMANENT MEASURES TO PREVENT AND REDUCE CRIME: TERRITORIALITY, NATURAL SURVEILLANCE, ACCESS CONTROL, ACTIVITY SUPPORT, AND MAINTENANCE. THE PROJECT SHALL ALSO COMPLY WITH THE REQUIREMENTS.</p><p>ACCESSIBLE PATH OF TRAVEL</p><p>← --- ←</p><p>ACCESSIBLE EGRESS UNOBSTRUCTED PATH OF TRAVEL- ACCESSIBLE (UNLESS NOTED OTHERWISE) WITH SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%.</p><div><p>* STALL SIGN SHALL BE PLACED AT THE STALL END AND MAY PROJECT INTO THE STALL AT THE STALL'S CENTER LINE</p><p>DUAL REGULAR ACCESSIBLE STALLS</p><p>SINGLE VAN ACCESSIBLE STALL</p><p>PER SITE PLAN</p></div><div><p>REFLECTORIZED SIGN PANELMIN. OF 18GA. GALV. STL W/ PORCELAIN ENAMEL FINISH WHITE IMAGE ON BLUE FIELD BEADED REFLECTORIZED TEXTURE. COLOR #15090 to FED. STANDARD 595B. INTERNATIONAL SYMBOL ACCESSIBILITY SIGN BOLTED TO GALV. STL PIPE</p><p>PICTOGRAM SHALL BE A MINIMUM OF 6" HIGH</p><p>2" DIA. GALV. STEEL PIPE</p><p>E IDENTIFICATION SIGN</p><p>SIGN NOTES (\$11B-812.8):</p><ul style="list-style-type: none">- WHERE FOUR OR FEWER TOTAL EVCS STALLS ARE PROVIDED ON THE SITE, IDENTIFICATION SIGN IS NOT REQUIRED.- WHERE FOR FIVE TO 25 TOTAL EVCS STALLS ARE PROVIDED, ONE VAN ACCESSIBLE EVCS SHALL BE IDENTIFIED. STANDARD ACCESSIBLE EVCS STALLS SHALL NOT BE REQUIRED TO BE IDENTIFIED BY THIS SIGN.- WHERE FOR 26 OR MORE EVCS STALLS ARE PROVIDED, ALL REQUIRED VAN ACCESSIBLE AND ALL REQUIRED STANDARD ACCESSIBLE EVCS STALLS SHALL BE IDENTIFIED BY THIS SIGN.- AMBULATORY EVCS STALLS SHALL NOT BE REQUIRED TO BE IDENTIFIED BY A SIGN.<p>11B-502.6.4 ACCESSIBLE STALLS PAVEMENT MARKING</p><p>1. Each accessible car and van space shall have surface identification complying with either of the following schemes: §1B-502.6.4</p><p>a. The parking space shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 in white on a blue background a minimum 36 inches wide by 36 inches high. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space length. §1B-502.6.4.1</p><p>b. The parking space shall be outlined or painted blue and shall be marked with an International Symbol of Accessibility complying with Section 11B-703.7.2.1 a minimum 36 inches wide by 36 inches high in white or a suitable contrasting color. The centerline of the International Symbol of Accessibility shall be a maximum of 6 inches from the centerline of the parking space, its sides parallel to the length of the parking space and its lower corner at, or lower side aligned with, the end of the parking space. §11B-502.6.4.2</p><p>NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MINIMUM 36 INCHES HIGH BY 36 INCHES WIDE AND SHALL BE ALIGNED WITH THE END OF THE STALL OR SPACE ADJACENT TO THE TRAFFIC AISLE SO THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROPERLY PARKED IN THE SPACE</p><div><p>PAINT SYMBOL AND BORDER WITH (2) COATS OF TRAFFIC WHITE</p><p>PAINT SYMBOL BACKGROUND WITH (2) COATS OF TRAFFIC BLUE (COLOR #15090 IN FED. STD. 595B)</p><p>TRUE NORTH</p></div><div><p>1/8" 0 2 4 8 16 24 32</p></div></div></div>	

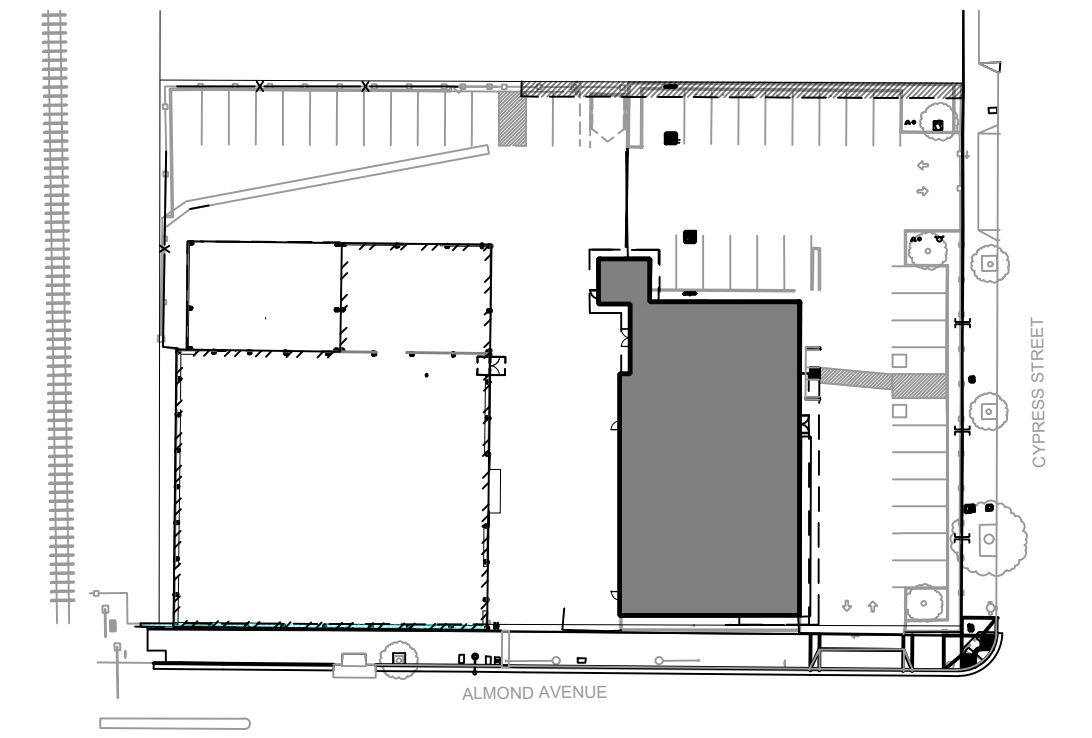


KEYNOTES

- | | | | |
|----|--|----|---|
| 1 | EXISTING CURB | 30 | EXISTING TRAIN TRACKS |
| 2 | EXISTING SIDEWALK | 31 | EXISTING TELECOM RISER |
| 3 | EXISTING STREET TREES TO REMAIN | 32 | DEMO PORTION OF EXISTING FENCE - SEE PROPOSED PLAN FOR LIMITS |
| 4 | EXISTING FIRE HYDRANT | 33 | EXISTING OPERABLE GATE TO BE DEMOLISHED |
| 5 | EXISTING STOP SIGN TO BE RELOCATED | 34 | EXISTING STOP BAR TO BE REMOVED- SEE CIVIL |
| 6 | EXISTING STREET LIGHT TO REMAIN | | |
| 7 | EXISTING PARKING SPACE(S) TO REMAIN | | |
| 8 | EXISTING CURBCUT | | |
| 9 | EXISTING RR SIGN TO REMAIN | | |
| 10 | EXISTING RR PEDESTRIAN ARM TO REMAIN | | |
| 11 | EXISTING RR TRAFFIC ARM TO REMAIN | | |
| 12 | EXISTING TELEPHONE POLE AND GUY WIRE TO REMAIN | | |
| 13 | EXISTING CURB RAMP TO BE REPLACED | | |
| 14 | EXISTING SITE LIGHT TO BE RELOCATED | | |
| 15 | EXISTING 8' HIGH COATED CHAINLINK FENCE TO REMAIN | | |
| 16 | EXISTING 4' HIGH STEEL PICKET FENCE TO REMAIN | | |
| 17 | NOT USED | | |
| 18 | EXISTING FIRE RISER W/ VERTICAL DOUBLE CHECK BACK FLOW PREVENTION ASSEMBLY | | |
| 19 | EXISTING GAS METER | | |
| 20 | EXISTING 8' CMU BLOCK WALL | | |
| 21 | EXISTING 6' STEEL PICKET FENCE | | |
| 22 | EXISTING PROPERTY LINE | | |
| 23 | EXISTING EASEMENT PER CIVIL | | |
| 24 | EXISTING OPERABLE GATE | | |
| 25 | EXISTING LOADING ZONE | | |
| 26 | EXISTING TRASH ENCLOSURE TO BE DEMOLISHED | | |
| 27 | EXISTING LOW WALL PLANTER | | |
| 28 | EXISTING GATE POSTS | | |
| 29 | EXISTING PLANTER | | |



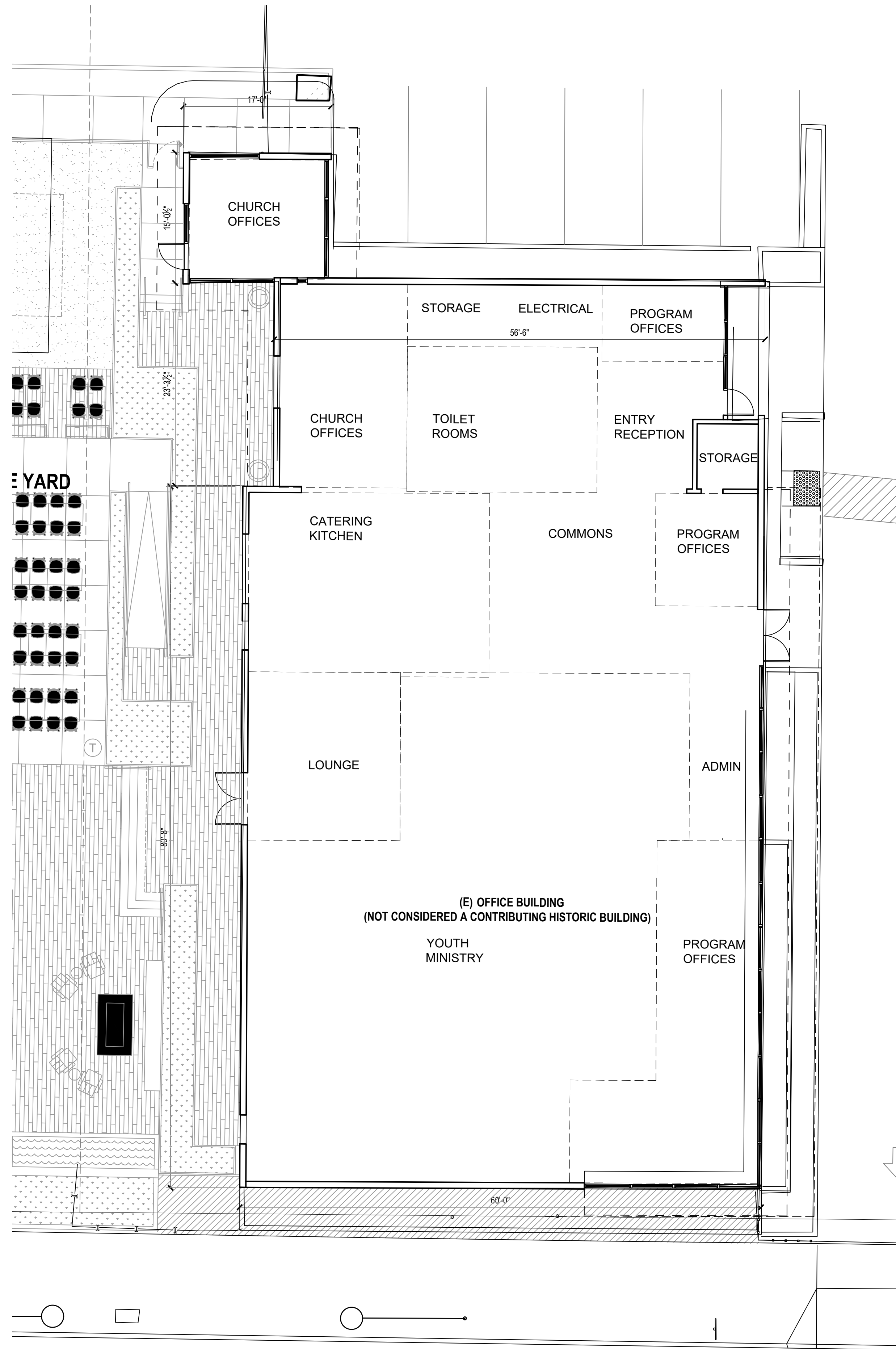
KEY PLAN



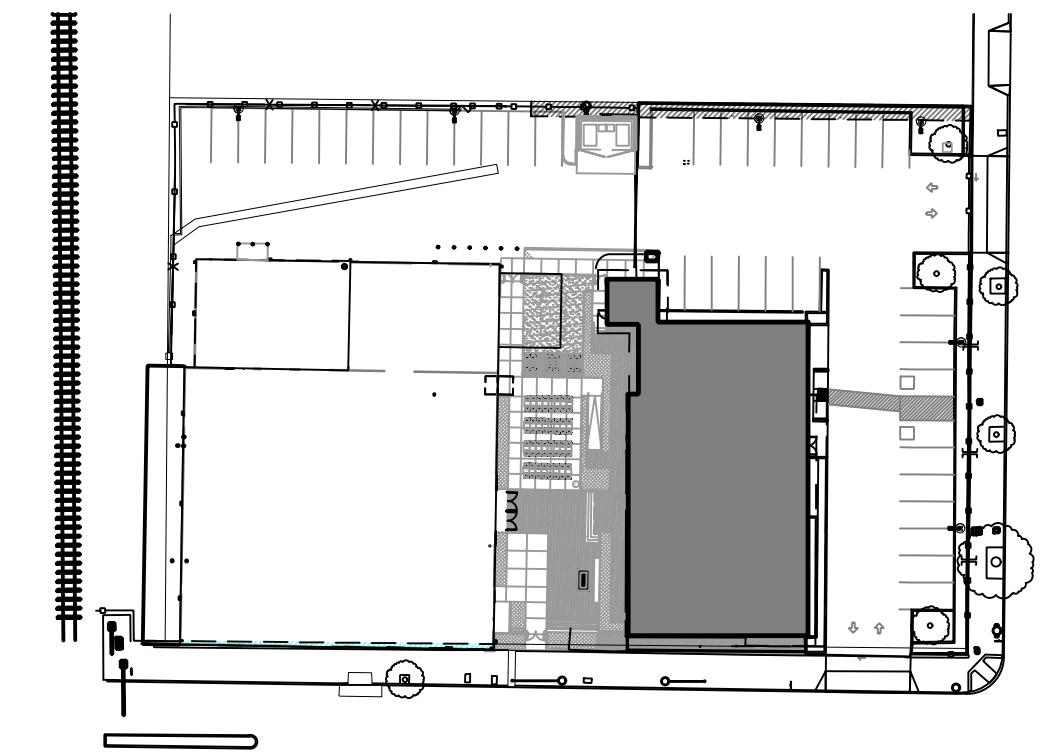
NOTES

NO MAJOR EXTERIOR CHANGES TO THIS BUILDING, SCOPE LIMITED TO INTERIOR TO BE PROVIDED AT A LATER DATE.





KEY PLAN



NOTES

THIS IS A CONCEPT/PROELIMINATY LAYOUT OF USE TO DETERMINE OCCUPANCY AND PARKING DEMANDS.
NO MAJOR EXTERIOR CHANGES TO THIS BUILDING, SCOPE LIMITED TO INTERIOR TO BE PROVIDED AT A LATER DATE.



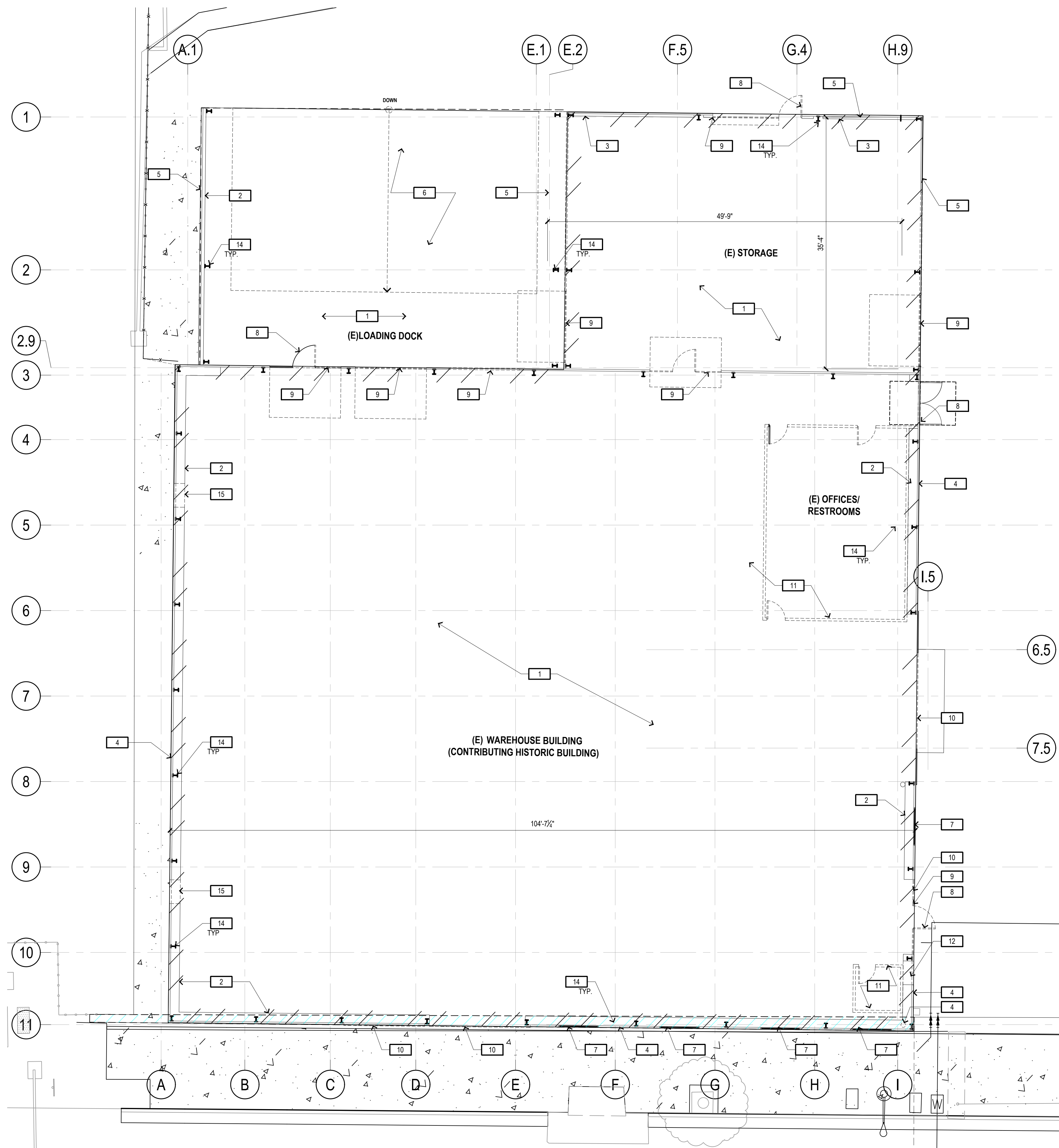
FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

EAST BUILDING
PROPOSED FLOOR PLAN

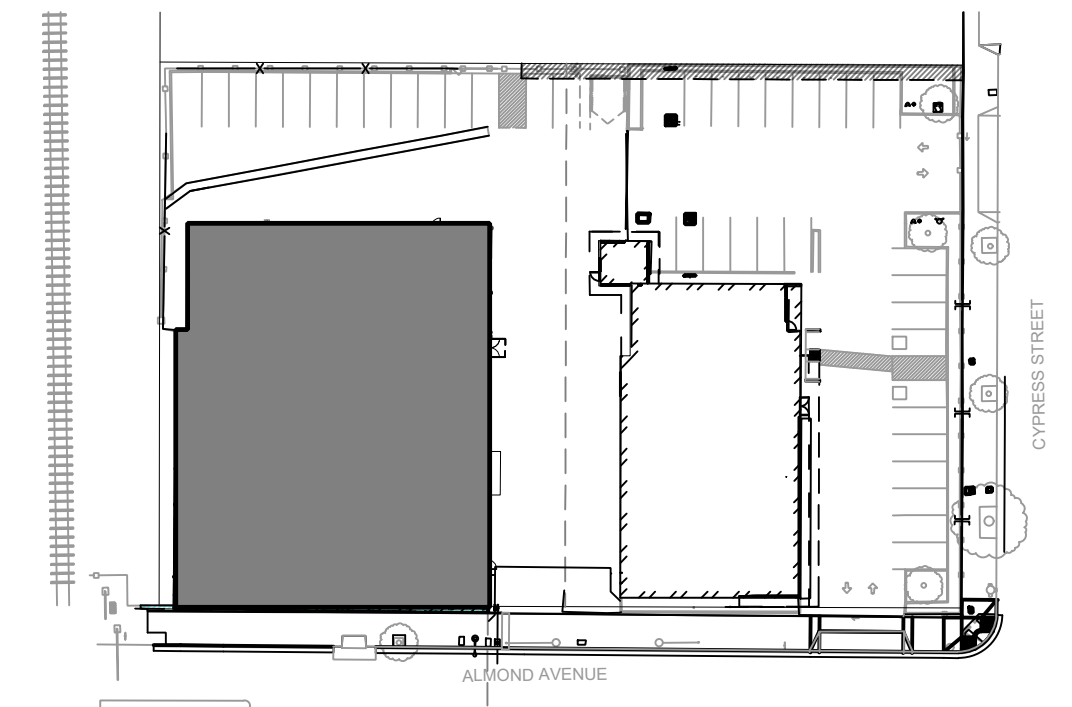
AO Architecture.
Design.
Relationships.
www.aoarchitects.com

04

Job No. 2023-0553
Date: 2026-01-08

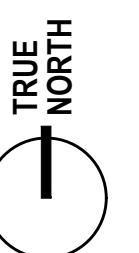
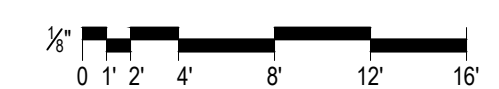


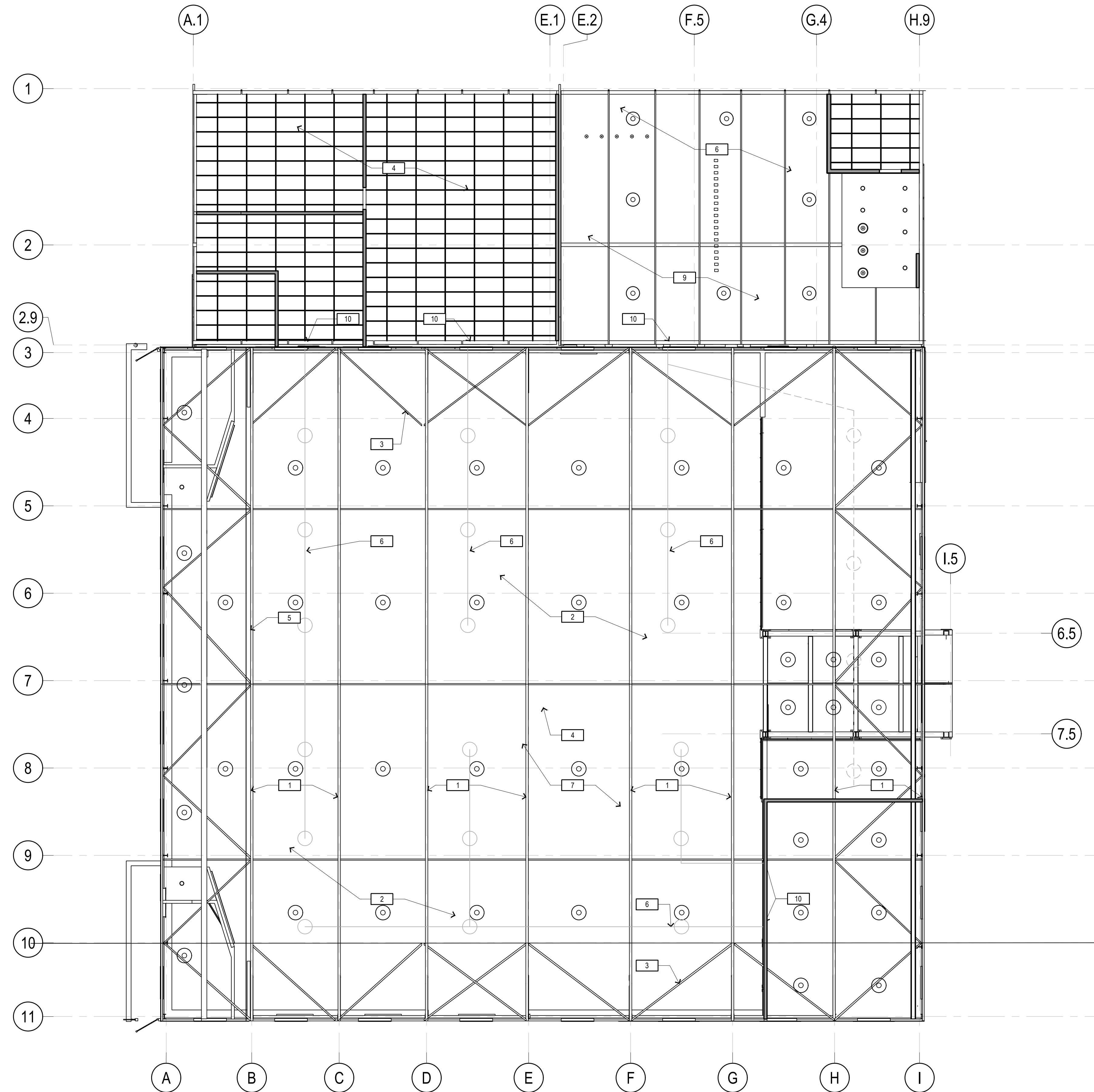
KEY PLAN



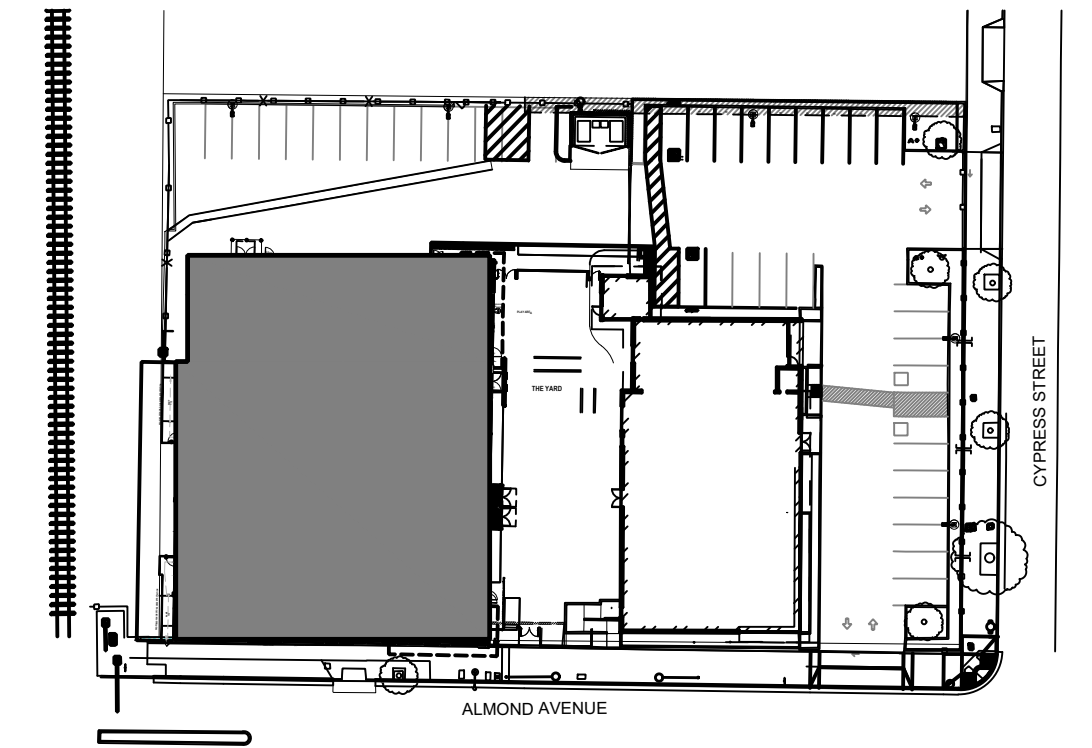
KEYNOTES

- 1 CONCRETE BUILDING SLAB
- 2 CONCRETE PERIMETER CURB
- 3 CMU BUILDING STEM WALL
- 4 PAINTED CORRUGATED METAL PANEL EXTERIOR CLADDING
- 5 PAINTED RIBBED METAL PANEL EXTERIOR CLADDING
- 6 LOADING DOCK TO BE PRESERVED IN PLACE
- 7 FIXED WINDOW TO BE PRESERVED IN PLACE
- 8 METAL DOOR TO BE REMOVED
- 9 OVERHEAD DOOR TO BE REMOVED, PROTECT FOR RE-USE
- 10 ROLLING DOOR TO REMAIN (FIXED IN PLACE)
- 11 INTERIOR DEMOLITION
- 12 ELECTRICAL PANEL ALL ELECTRICAL GEAR TO BE RECONFIGURED IN NEW ELECTRICAL ROOM
- 13 FIRE RISER
- 14 STEEL COLUMN (TYP.)
- 15 REMOVE PORTION OF WALL AND CURB FOR NEW EGRESS-SEE PROPOSED PLAN



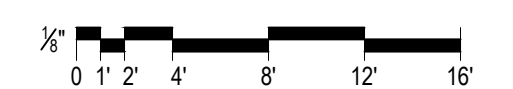


KEY PLAN



KEYNOTES

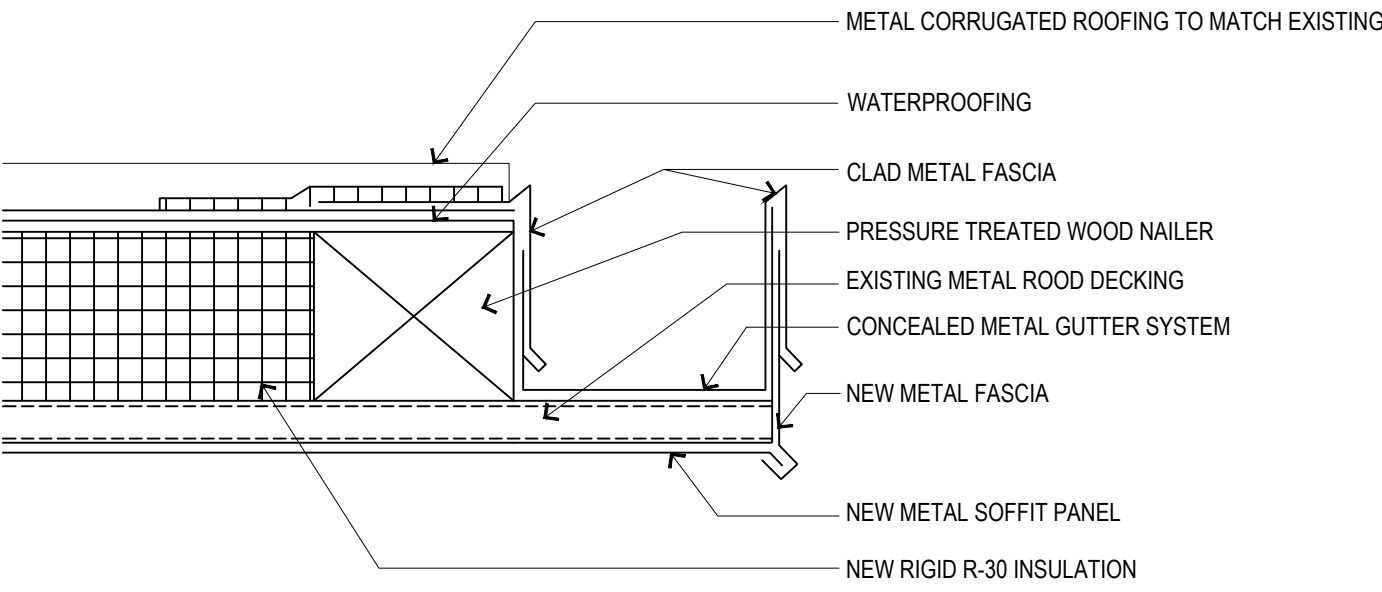
- 1 EXISTING STEEL BARREL VAULT TRUSSES TO BE EXPOSED
- 2 ACOUSTIC SOUND BOARD OVER UNDERSIDE OF DECK
- 3 EXISTING STEEL SEISMIC BRACING TO BE EXPOSED
- 4 24"x48" ACOUSTIC CEILING TILES
- 5 NEW PARTITION RAIL FOR ROOM DIVIDER SUPPORT
- 6 NEW EXPOSED MECHANICAL DUCTING
- 7 NEW HIGHBAY LIGHTING
- 8 NEW WOOD AND STEEL DECORATIVE
- 9 EXPOSED EXISTING METAL TRUSSES WHERE ALLOWED BY HEALTH CODE
- 10 SIDE THROW DUCTING
- 11 DOWNLIGHT



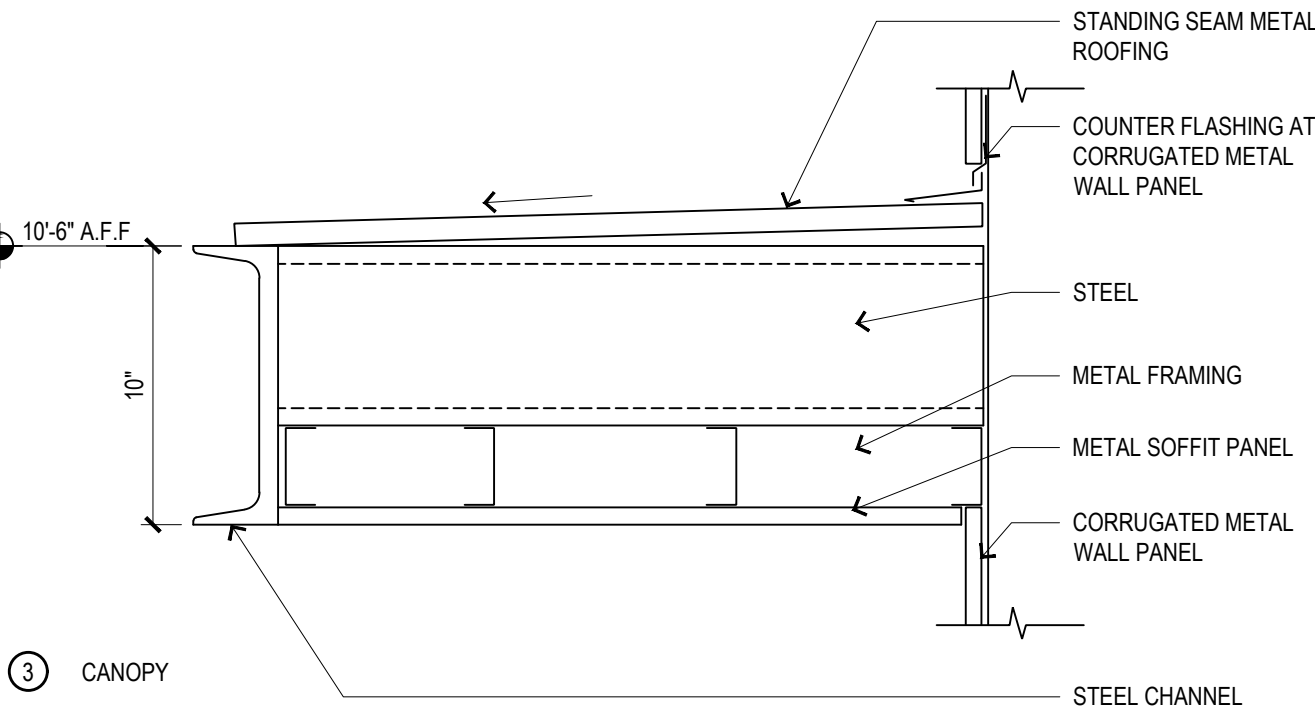
EXISTING ROOF: PAINTED METAL DECK

PROPOSED ROOF: NEW METAL CORRUGATED ROOFING TO MATCH EXISTING OVER NEW RIGID INSULATIONS (R-30) OVER EXISTING METAL DECK. SEE DETAIL BELOW.

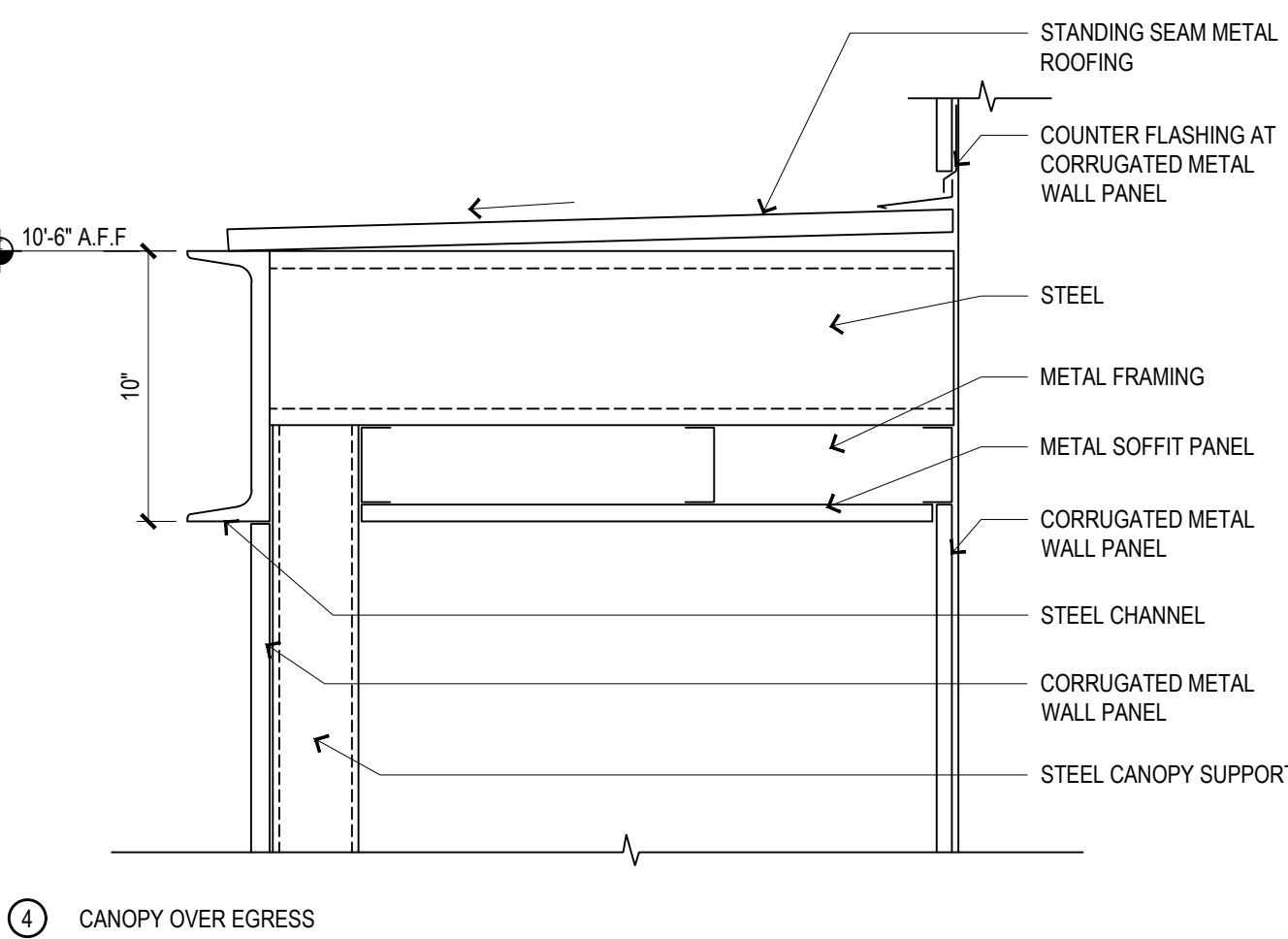
NOTES: STRUCTURAL REVIEW OF EXISTING METAL DECK TO CONFIRM ITS REUSE



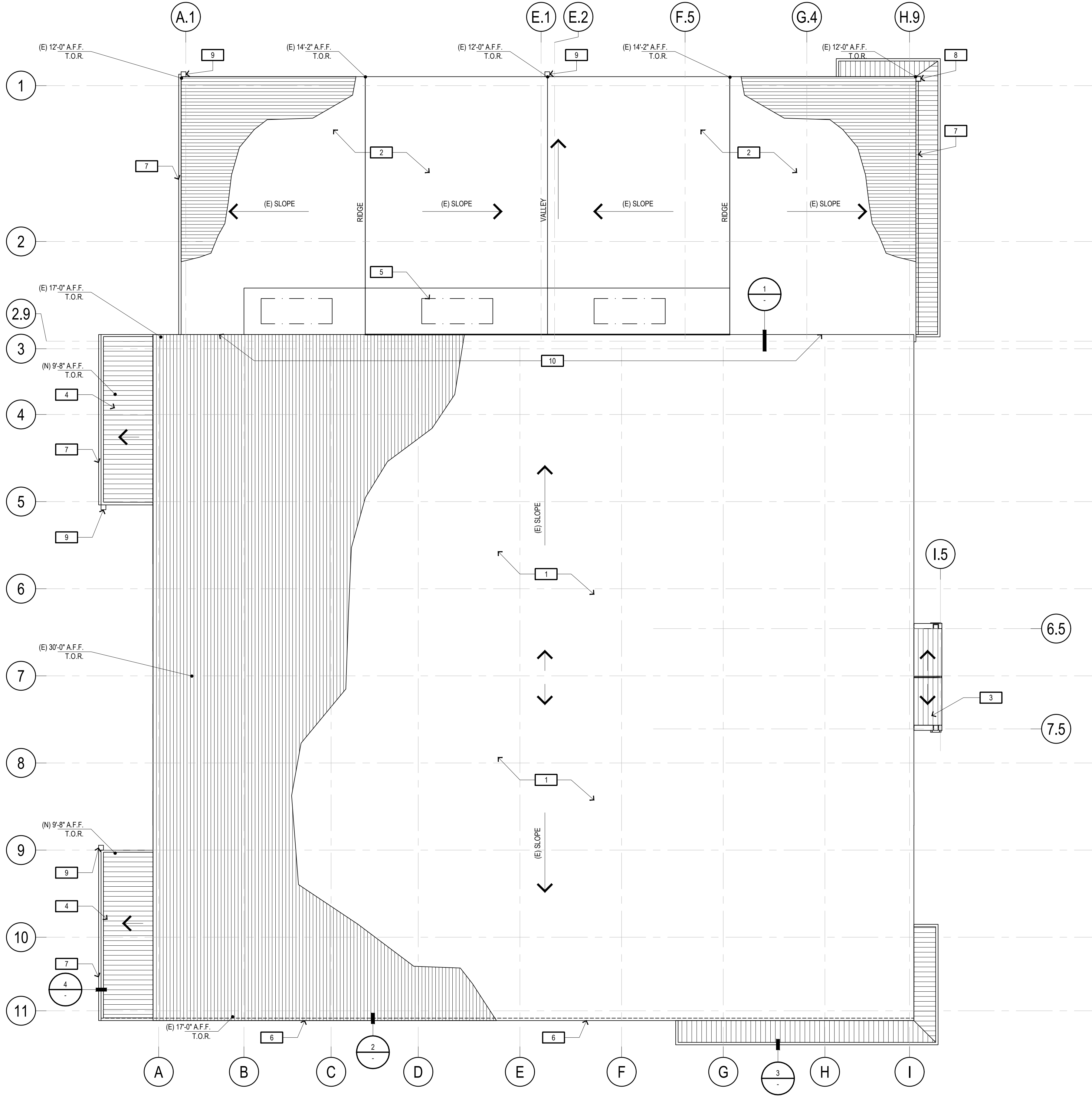
1 HIGH ROOF EVE W/ GUTTER



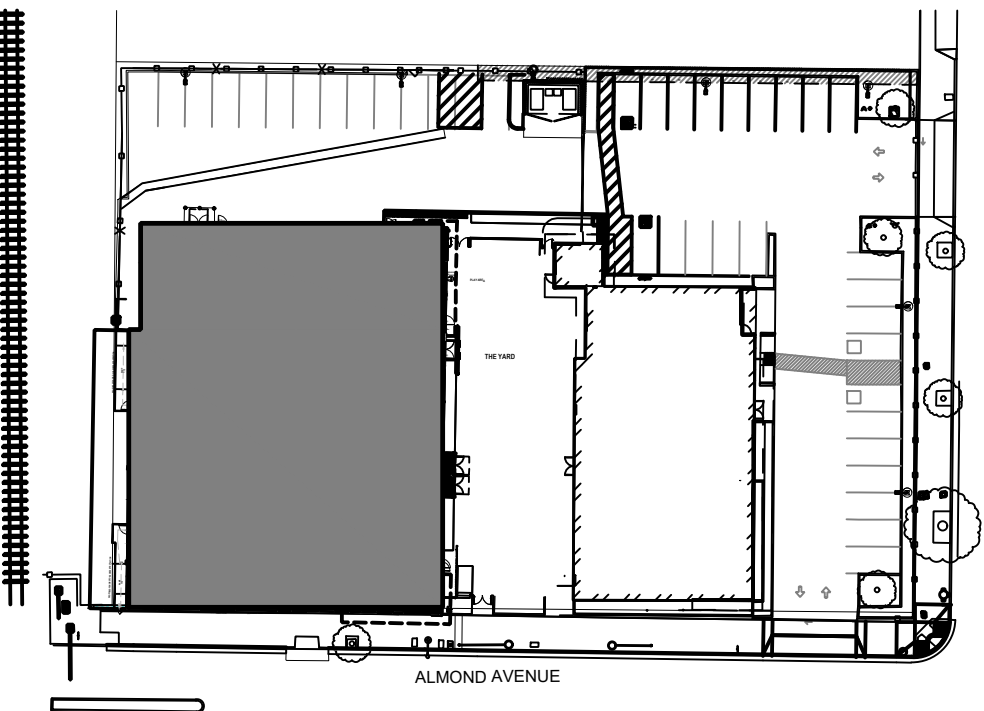
2 CANOPY



3 CANOPY OVER EGRESS



KEY PLAN



KEYNOTES

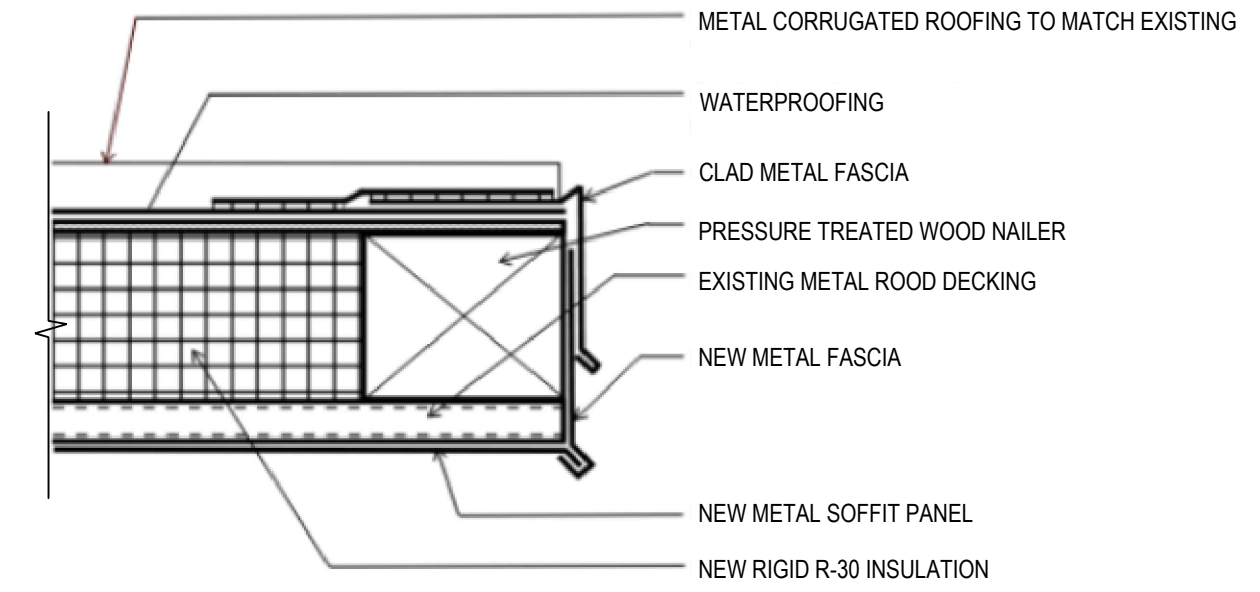
- 1 NEW HIGH ROOF - ROOFING SYSTEM - OVER CURRENT OR REPLACED CORRUGATED METAL PANEL SYSTEM WITH CONTINUOUS INSULATION PER T-24 REQUIREMENTS.
- 2 NEW LOW ROOF - ROOFING SYSTEM - OVER CURRENT OR REPLACED CORRUGATED METAL PANEL SYSTEM WITH CONTINUOUS INSULATION PER T-24 REQUIREMENTS.
- 3 NEW STANDING SEAM ROOFING OVER NEW ENTRY
- 4 NEW STANDING SEAM COVER OVER EXTERIOR EMERGENCY EGRESS AREAS
- 5 NEW MECHANICAL PLATFORM AND HVAC WITH SIDEWALL DUCTING
- 6 CONCEALED GUTTER SYSTEM W/ INTERNAL ROOF DRAIN TIED TO SD- SEE CIVIL
- 7 GUTTER (PAINTED - SEE ELEVATIONS)
- 8 EXTERIOR DOWNSPOUTS TIED TO SD SYSTEM
- 9 EXTERIOR COLLECTOR/OVERFLOW AND DOWNSPOUT-SPILL TO GRADE
- 10 DRAINAGE FROM HIGH TO LOW ROOF

ROOF ASSEMBLY

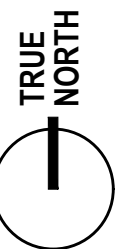
EXISTING ROOF: PAINTED METAL DECK

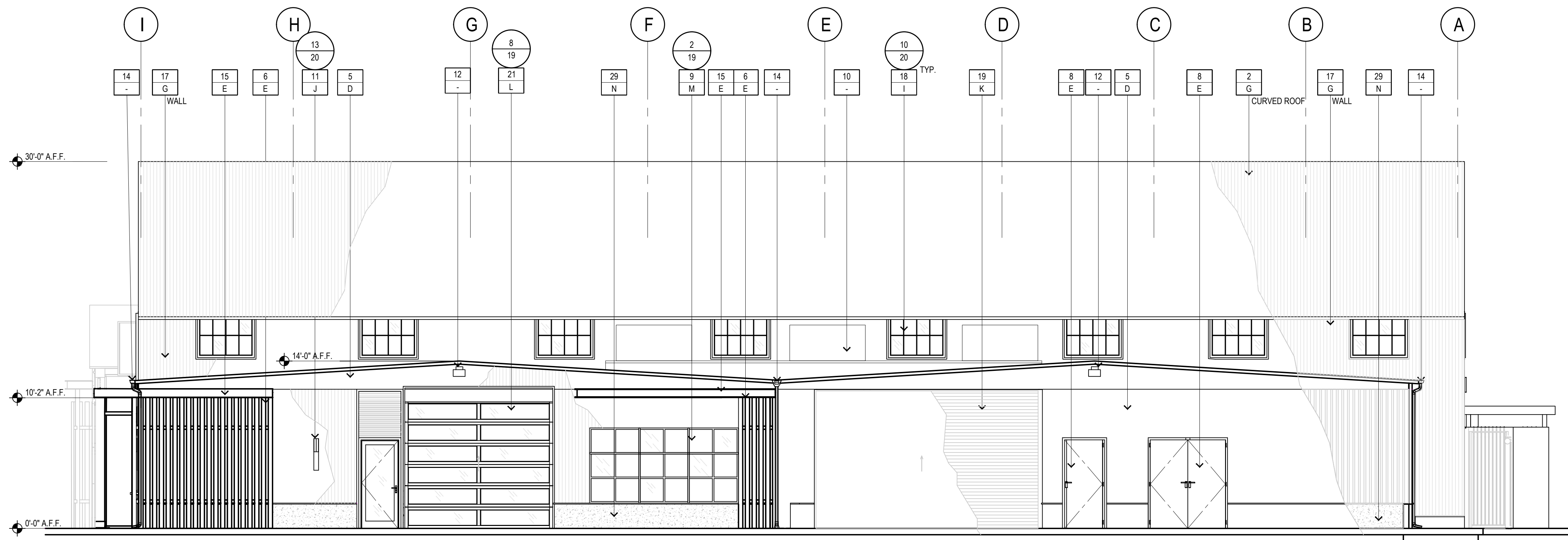
PROPOSED ROOF: NEW METAL CORRUGATED ROOFING TO MATCH EXISTING OVER NEW RIGID INSULATIONS (R-30) OVER EXISTING METAL DECK. SEE DETAIL BELOW.

NOTES: STRUCTURAL REVIEW OF EXISTING METAL DECK TO CONFIRM ITS REUSE

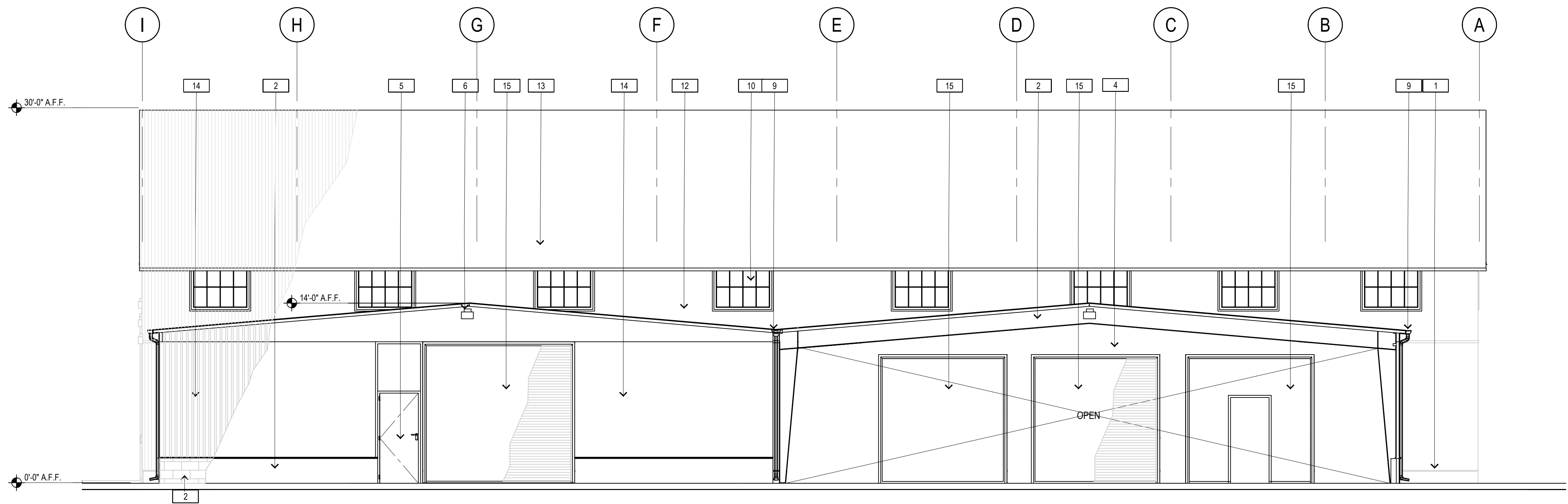


1 HIGH ROOF EVE



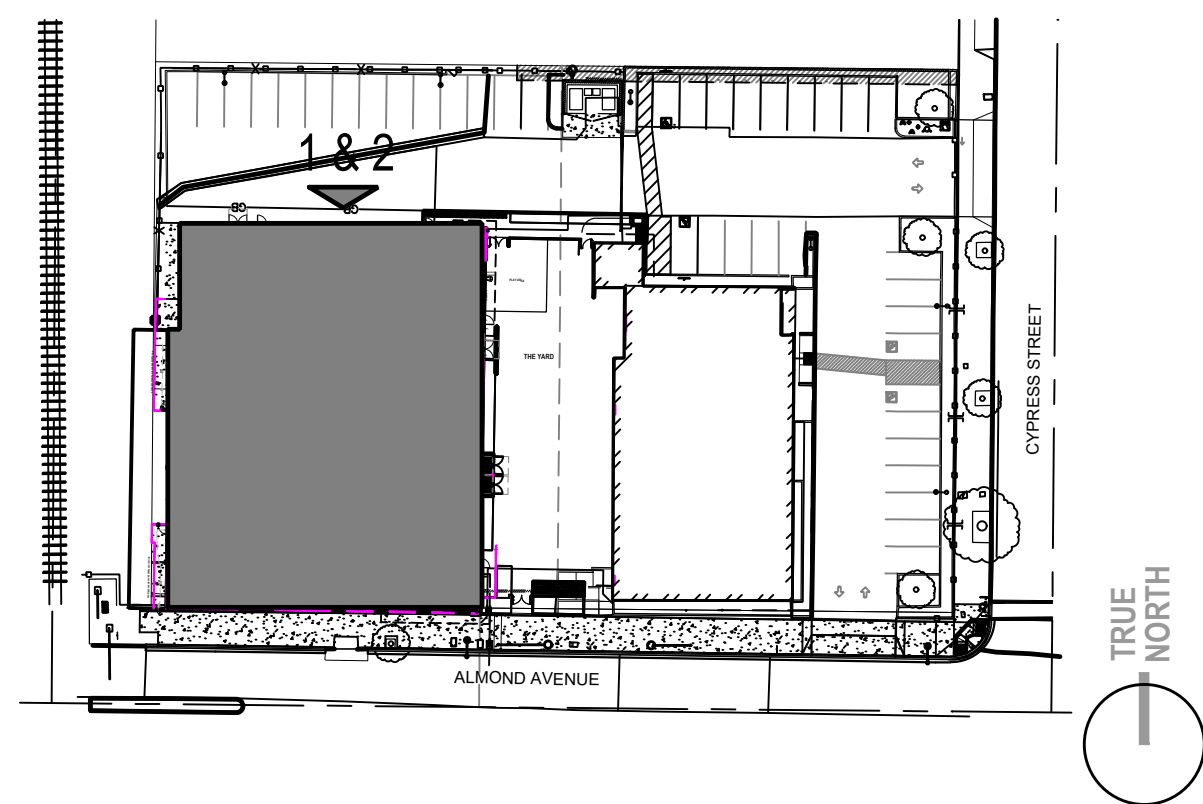


PROPOSED - NORTH ELEVATION 3/16"=1'-0" 1



EXISTING - NORTH ELEVATION 3/16"=1'-0" 2

KEY PLAN



KEYNOTE

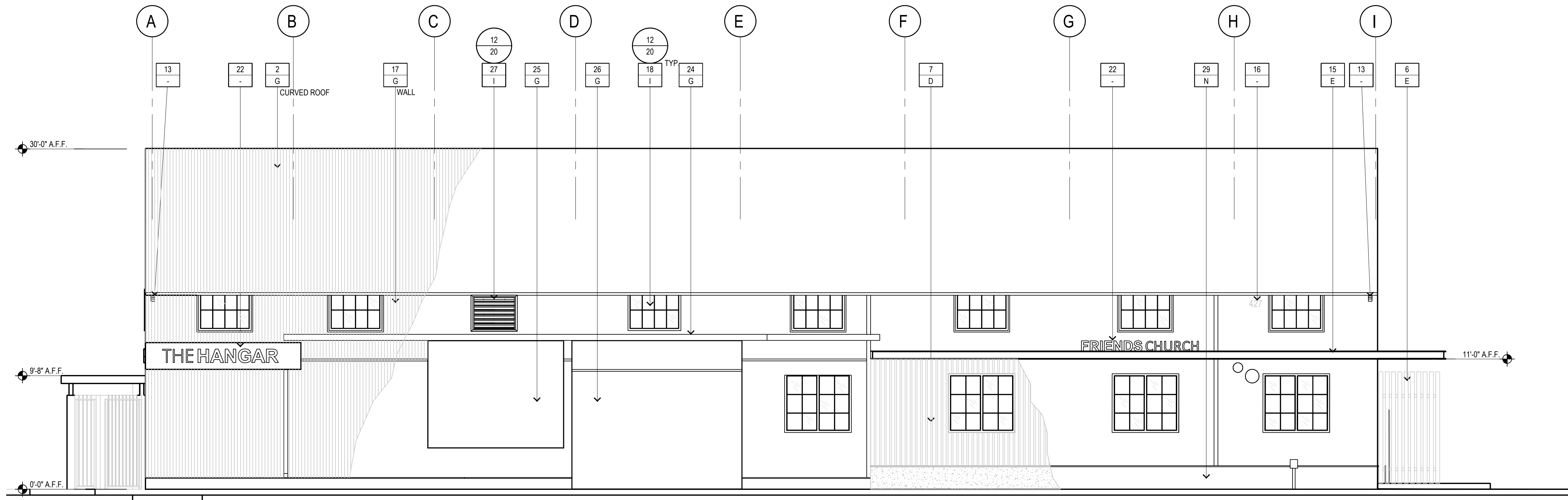
- | | | | |
|---|--------------------------------------|----|---|
| 1 | EXISTING CONCRETE BUILDING CURB | 8 | EXISTING ROLLING DOOR TO BE REMOVED |
| 2 | EXISTING CMU BUILDING STEM WALL | 9 | EXISTING GUTTER SYSTEM DOWNSPOUT |
| 3 | EXISTING PAINTED STEEL TRUSS | 10 | EXISTING WINDOWS TO REMAIN |
| 4 | EXISTING LOADING DOCK | 11 | EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN |
| 5 | EXISTING METAL DOOR | 12 | EXISTING CORRUGATED METAL WALL PANEL |
| 6 | EXISTING EXTERIOR WALL PACK | 13 | EXISTING CORRUGATED METAL PANEL ROOF SYSTEM |
| 7 | EXISTING ROLLING DOOR RAIL TO REMAIN | 14 | EXISTING VERTICAL WALL CLADDING SIDING |
| | | 15 | EXISTING OVERHEAD GARAGE DOOR |

FINISH SCHEDULE - MATERIAL

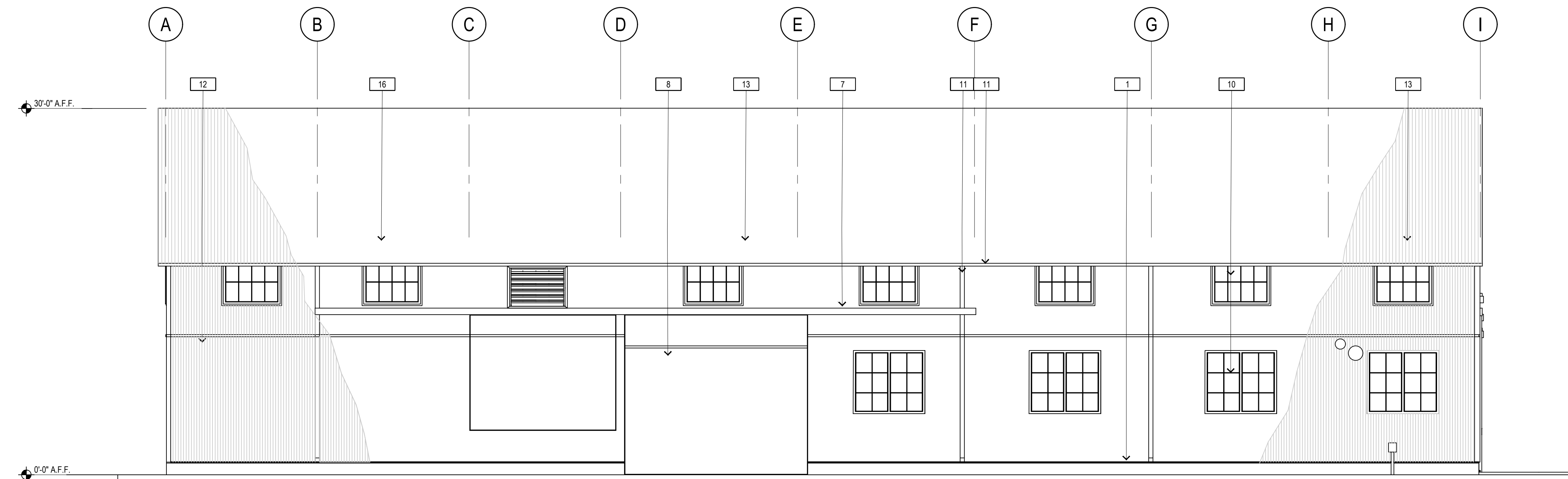
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|----|---|----|--|
| 1 | NEW STANDING SEAM METAL PANEL ROOF | 15 | NEW ROOF CANOPY |
| 2 | CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING O/ INSULATION OVER EXISTING METAL DECK | 16 | NEW ADDRESS SIGNAGE |
| 3 | NEW SMOOTH STUCCO | 17 | EXISTING PAINTED CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE- MANUFACTURER APPLIED METALLIC PAINT |
| 4 | NEW WOOD CLADDING | 18 | EXISTING FIXED WINDOW TO REMAIN-NEW PAINT |
| 5 | EXISTING PAINTED VERTICAL METAL CLADDING SIDING-REPLACE LIKE FOR LIKE- NEW PAINT | 19 | NEW ALUMINUM ROLL-UP GARAGE DOOR |
| 6 | NEW METAL SLATS-PAINTED | 20 | NEW ALUMINUM BI-FOLD WINDOWS |
| 7 | NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING | 21 | NEW ALUMINUM ROLL-UP WINDOW GARAGE DOOR |
| 8 | NEW HOLLOW METAL DOOR | 22 | NEW SIGNAGE |
| 9 | NEW STOREFRONT SYSTEM | 23 | EXISTING METAL TRIMS TO REMAIN-PAINTED |
| 10 | NEW ROOF TOP UNITS | 24 | EXISTING ROLLING DOOR RAIL TO REMAIN-NEW PAINT |
| 11 | NEW DECORATIVE WALL SCIENCE | 25 | EXISTING OVERHEAD DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 12 | NEW WALL PACK EXTERIOR LIGHT | 26 | EXISTING ROLLING DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 13 | NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE | 27 | NEW PASSIVE VENT LOUVER PAINTED |
| 14 | NEW DOWNSPOUT | 28 | EXISTING WINDOW FRAME TO REMAIN PAINTED |
| | | 29 | SMOOTH PLASTER |

FINISH SCHEDULE - FINISH

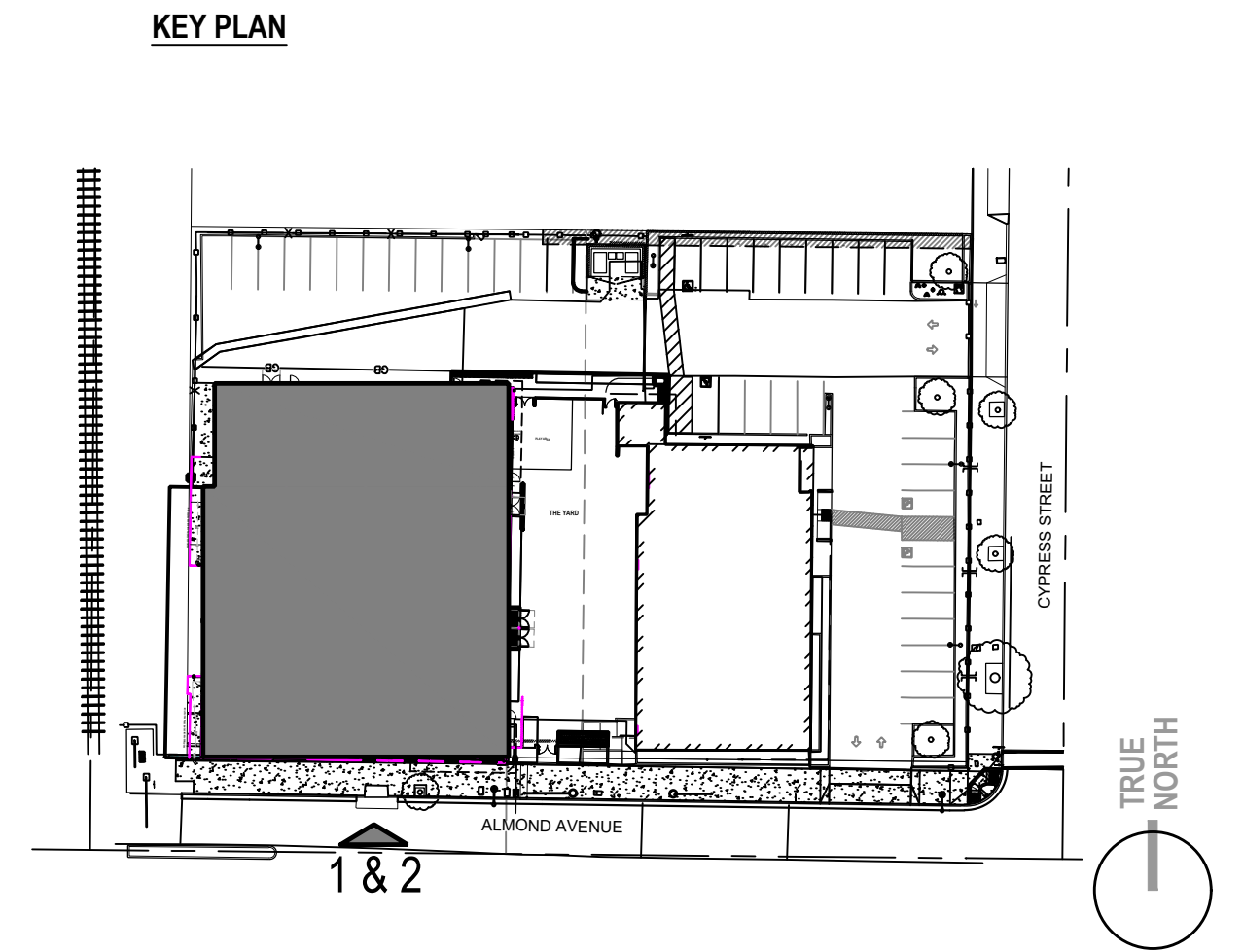
- | | | | |
|---|--|---|--|
| A | DARK BRONZE BY BERRIDGE | H | #88 STANDARD DARK BRONZE AB-7 BY ARCADIA |
| B | SMOOTH BY OMEGA | I | PAINTED: COLOR TO MATCH DARK BRONZE BY BERRIDGE |
| C | ELEGANT OAK BY TRESPA | J | LIGHT SCIENCE REGA 24 BY LIGHTOPIA |
| D | STOCK COLOR: COLOR TO MATCH DARK BRONZE BY BERRIDGE | K | OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| E | COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE | L | OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| F | RAL TO MATCH DARK BRONZE AB-7 BY ARCADIA | M | DARK BRONZE BY BOYD ARCHITECTURAL MUNTIN WINDOW SYSTEMS |
| G | NATURAL WHITE KYNAR 500/HYLAR 5000 BY BERRIDGE | N | SANTA BARBARA BY OMEGA |



PROPOSED - SOUTH ELEVATION 3/16"=1'-0" 1



EXISTING - SOUTH ELEVATION 3/16"=1'-0" 2



KEYNOTE

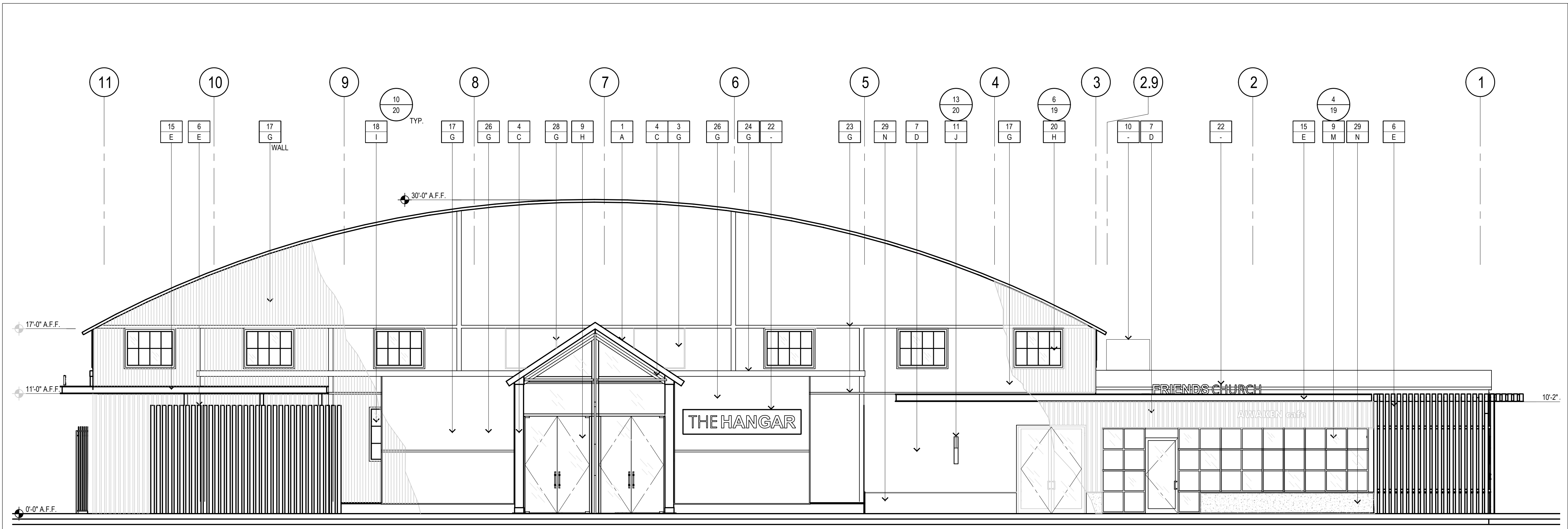
- | | |
|--|--|
| 1 EXISTING CONCRETE BUILDING CURB | 9 EXISTING GUTTER SYSTEM DOWNSPOUT |
| 2 EXISTING CMU BUILDING STEM WALL | 10 EXISTING WINDOWS TO REMAIN |
| 3 EXISTING PAINTED STEEL TRUSS | 11 EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN |
| 4 EXISTING LOADING DOCK | 12 EXISTING CORRUGATED METAL WALL PANEL |
| 5 EXISTING METAL DOOR | 13 EXISTING CORRUGATED METAL PANEL ROOF SYSTEM |
| 6 EXISTING EXTERIOR WALL PACK | 14 EXISTING VERTICAL WALL CLADDING SIDING |
| 7 EXISTING ROLLING DOOR RAIL TO REMAIN | 15 EXISTING OVERHEAD GARAGE DOOR |
| 8 EXISTING ROLLING DOOR TO BE REMOVED | 16 APPLIED ANTI-GRAFFITI PAINT/COATING TO ENTIRE WEST ELEVATION TO HORIZONTAL TRIM AT +/-11' ABOVE GRADE |

FINISH SCHEDULE - MATERIAL

- | | |
|---|---|
| 1 NEW STANDING SEAM METAL PANEL ROOF | 15 NEW ROOF CANOPY |
| 2 CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING O/ INSULATION OVER EXISTING METAL DECK | 16 NEW ADDRESS SIGNAGE |
| 3 NEW SMOOTH STUCCO | 17 EXISTING PAINTED CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE- MANUFACTURER APPLIED METALLIC PAINT |
| 4 NEW WOOD CLADDING | 18 EXISTING FIXED WINDOW TO REMAIN-NEW PAINT |
| 5 EXISTING PAINTED VERTICAL METAL CLADDING SIDING-REPLACE LIKE FOR LIKE- NEW PAINT | 19 NEW ALUMINUM ROLL-UP GARAGE DOOR |
| 6 NEW METAL SLATS-PAINTED | 20 NEW ALUMINUM BI-FOLD WINDOWS |
| 7 NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING | 21 NEW ALUMINUM ROLL-UP WINDOW GARAGE DOOR |
| 8 NEW HOLLOW METAL DOOR | 22 NEW SIGNAGE |
| 9 NEW STOREFRONT SYSTEM | 23 EXISTING METAL TRIMS TO REMAIN-PAINTED |
| 10 NEW ROOF TOP UNITS | 24 EXISTING ROLLING DOOR RAIL TO REMAIN-NEW PAINT |
| 11 NEW DECORATIVE WALL SCIENCE | 25 EXISTING OVERHEAD DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 12 NEW WALL PACK EXTERIOR LIGHT | 26 EXISTING ROLLING DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 13 NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE | 27 NEW PASSIVE VENT LOUVER PAINTED |
| 14 NEW DOWNSPOUT | 28 EXISTING WINDOW FRAME TO REMAIN PAINTED |
| | 29 SMOOTH PLASTER |

FINISH SCHEDULE - FINISH

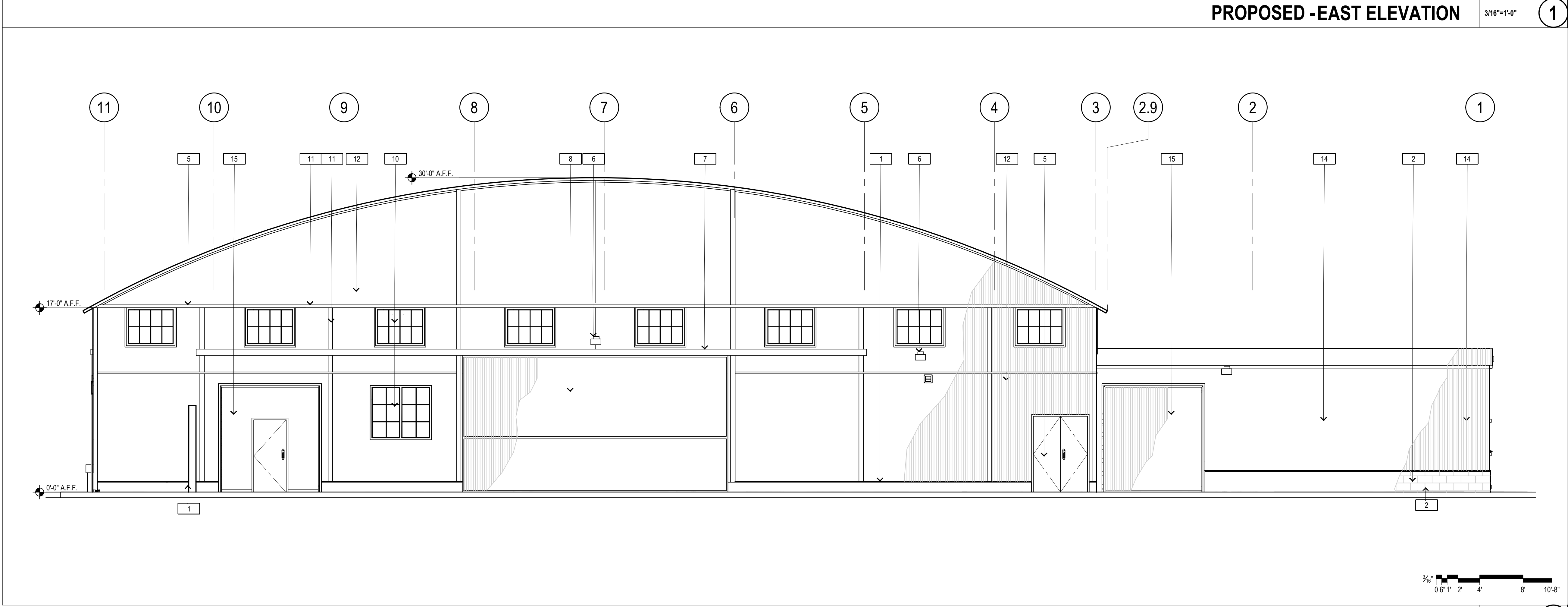
- | | |
|--|--|
| A DARK BRONZE BY BERRIDGE | H #88 STANDARD DARK BRONZE AB-7 BY ARCADIA |
| B SMOOTH BY OMEGA | I PAINTED: COLOR TO MATCH DARK BRONZE BY BERRIDGE |
| C ELEGANT OAK BY TRESPA | J LIGHT SCIENCE REGA 24 BY LIGHTOPIA |
| D STOCK COLOR: COLOR TO MATCH DARK BRONZE BY BERRIDGE | K OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| E COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE | L OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| F RAL TO MATCH DARK BRONZE AB-7 BY ARCADIA | M DARK BRONZE BY BOYD ARCHITECTURAL MUNTIN WINDOW SYSTEMS |
| G NATURAL WHITE KYNAR 500/HYLAR 5000 BY BERRIDGE | N SANTA BARBARA BY OMEGA |



PROPOSED - EAST ELEVATION

3/16"=1'-0"

1

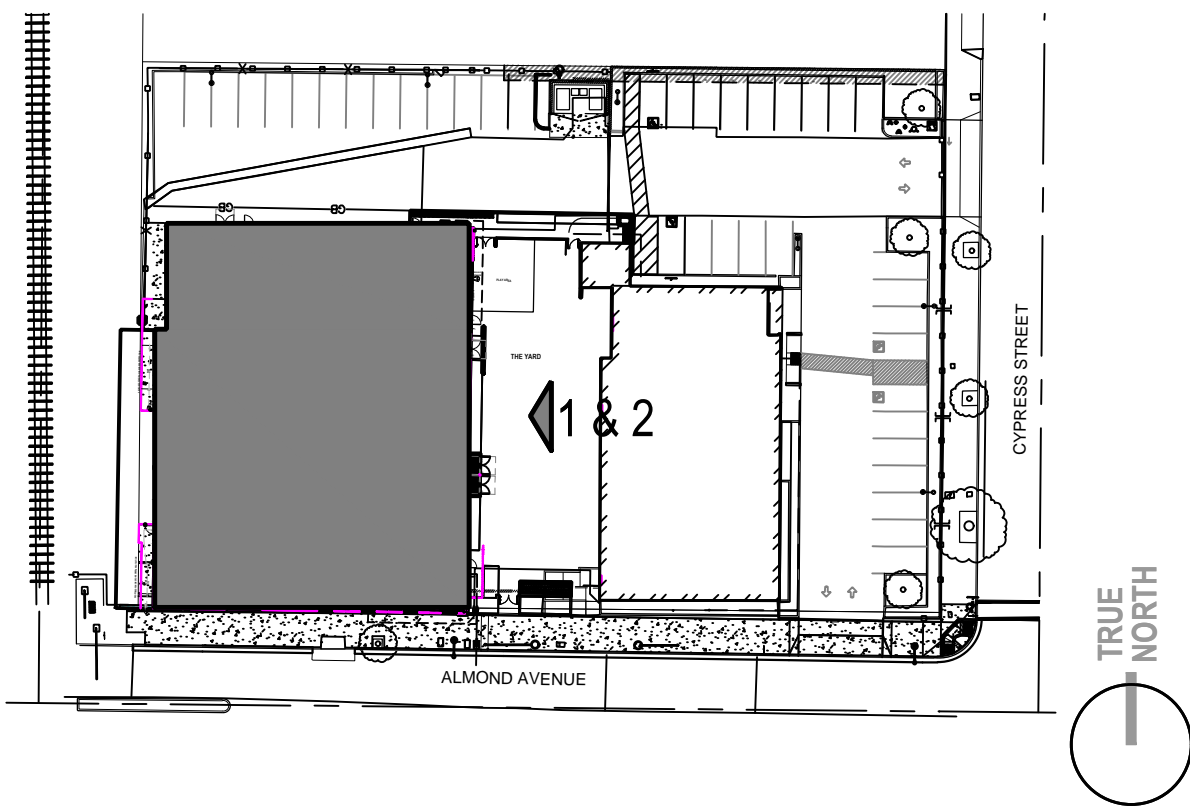


EXISTING - EAST ELEVATION

3/16"=1'-0"

2

KEY PLAN



KEYNOTE

- | | | | |
|---|--------------------------------------|----|---|
| 1 | EXISTING CONCRETE BUILDING CURB | 9 | EXISTING GUTTER SYSTEM DOWNSPOUT |
| 2 | EXISTING CMU BUILDING STEM WALL | 10 | EXISTING WINDOWS TO REMAIN |
| 3 | EXISTING PAINTED STEEL TRUSS | 11 | EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN |
| 4 | EXISTING LOADING DOCK | 12 | EXISTING CORRUGATED METAL WALL PANEL |
| 5 | EXISTING METAL DOOR | 13 | EXISTING CORRUGATED METAL PANEL ROOF SYSTEM |
| 6 | EXISTING EXTERIOR WALL PACK | 14 | EXISTING VERTICAL WALL CLADDING SIDING |
| 7 | EXISTING ROLLING DOOR RAIL TO REMAIN | 15 | EXISTING OVERHEAD GARAGE DOOR |
| 8 | EXISTING ROLLING DOOR TO BE REMOVED | 16 | APPLIED ANTI-GRAFFITI PAINT/COATING TO ENTIRE WEST ELEVATION TO HORIZONTAL TRIM AT +/-11' ABOVE GRADE |

FINISH SCHEDULE - MATERIAL

- | | | | |
|----|---|----|--|
| 1 | NEW STANDING SEAM METAL PANEL ROOF | 15 | NEW ROOF CANOPY |
| 2 | CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING O/ INSULATION OVER EXISTING METAL DECK | 16 | NEW ADDRESS SIGNAGE |
| 3 | NEW SMOOTH STUCCO | 17 | EXISTING PAINTED CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE- MANUFACTURER APPLIED METALLIC PAINT |
| 4 | NEW WOOD CLADDING | 18 | EXISTING FIXED WINDOW TO REMAIN-NEW PAINT |
| 5 | EXISTING PAINTED VERTICAL METAL CLADDING SIDING-REPLACE LIKE FOR LIKE- NEW PAINT | 19 | NEW ALUMINUM ROLL-UP GARAGE DOOR |
| 6 | NEW METAL SLATS-PAINTED | 20 | NEW ALUMINUM BI-FOLD WINDOWS |
| 7 | NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING | 21 | NEW ALUMINUM ROLL-UP WINDOW GARAGE DOOR |
| 8 | NEW HOLLOW METAL DOOR | 22 | NEW SIGNAGE |
| 9 | NEW STOREFRONT SYSTEM | 23 | EXISTING METAL TRIMS TO REMAIN-PAINTED |
| 10 | NEW ROOF TOP UNITS | 24 | EXISTING ROLLING DOOR RAIL TO REMAIN-NEW PAINT |
| 11 | NEW DECORATIVE WALL SCIENCE | 25 | EXISTING OVERHEAD DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 12 | NEW WALL PACK EXTERIOR LIGHT | 26 | EXISTING ROLLING DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 13 | NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE | 27 | NEW PASSIVE VENT LOUVER PAINTED |
| 14 | NEW DOWNSPOUT | 28 | EXISTING WINDOW FRAME TO REMAIN PAINTED |
| | | 29 | SMOOTH PLASTER |

FINISH SCHEDULE - FINISH

- | | | | |
|---|--|---|--|
| A | DARK BRONZE BY BERRIDGE | H | #88 STANDARD DARK BRONZE AB-7 BY ARCADIA |
| B | SMOOTH BY OMEGA | I | PAINTED: COLOR TO MATCH DARK BRONZE BY BERRIDGE |
| C | ELEGANT OAK BY TRESPA | J | LIGHT SCIENCE REGA 24 BY LIGHTOPIA |
| D | STOCK COLOR: COLOR TO MATCH DARK BRONZE BY BERRIDGE | K | OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| E | COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE | L | OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| F | RAL TO MATCH DARK BRONZE AB-7 BY ARCADIA | M | DARK BRONZE BY BOYD ARCHITECTURAL MUNTIN WINDOW SYSTEMS |
| G | NATURAL WHITE KYNAR 500/HYLAR 5000 BY BERRIDGE | N | SANTA BARBARA BY OMEGA |

FRIENDS

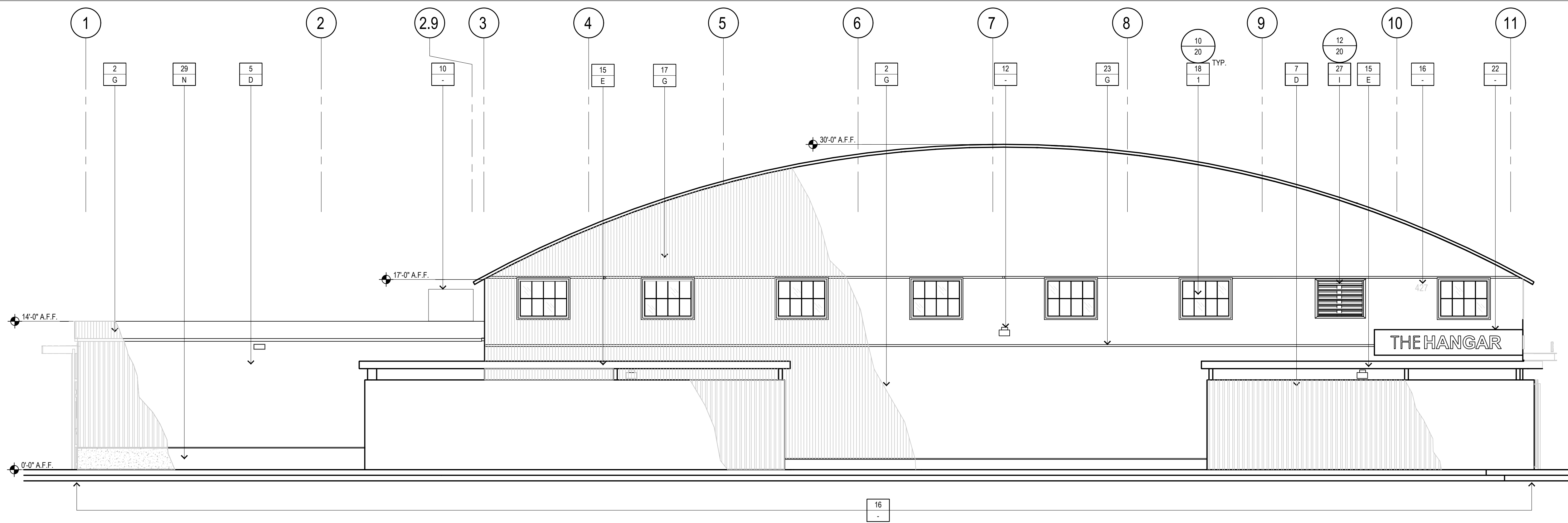
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WEST BUILDING
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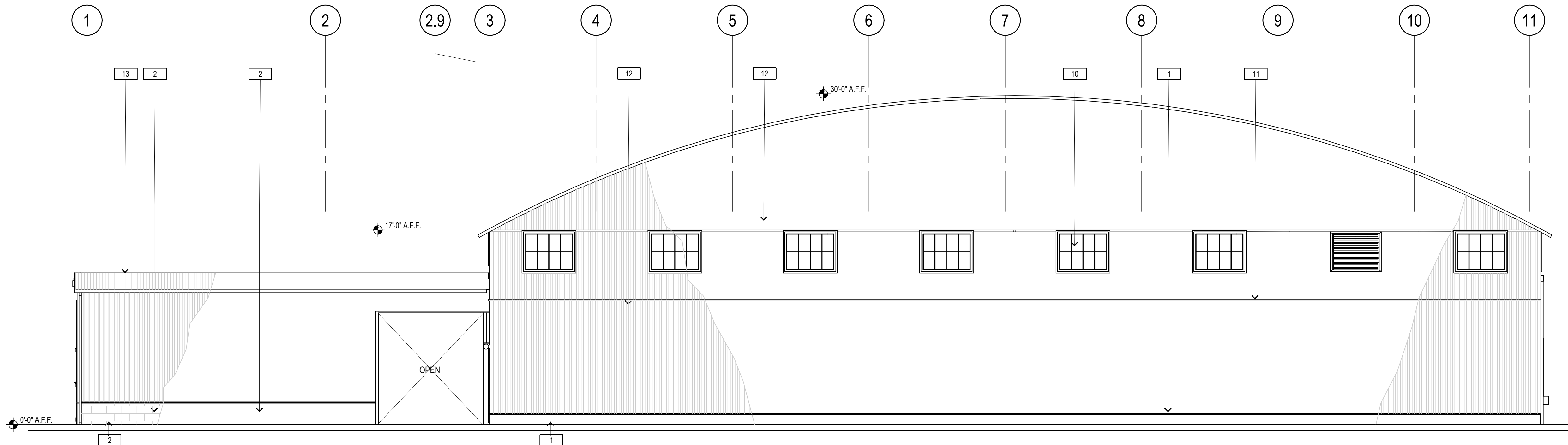
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PROPOSED - WEST ELEVATION

3/16"=1'-0"

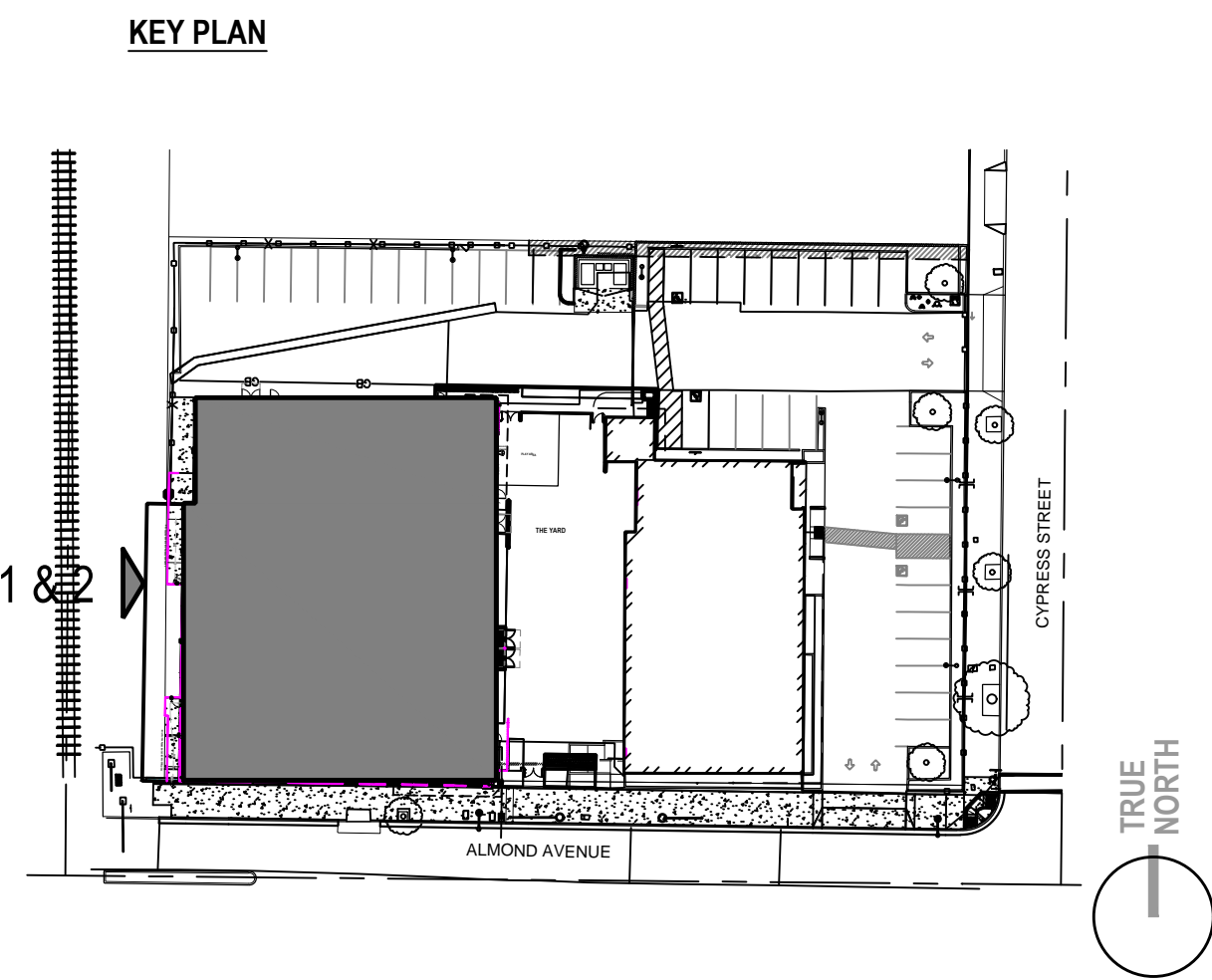
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EXISTING - WEST ELEVATION

3/16"=1'-0"

2



KEYNOTE

- | | | | |
|---|--------------------------------------|----|---|
| 1 | EXISTING CONCRETE BUILDING CURB | 9 | EXISTING GUTTER SYSTEM DOWNSPOUT |
| 2 | EXISTING CMU BUILDING STEM WALL | 10 | EXISTING WINDOWS TO REMAIN |
| 3 | EXISTING PAINTED STEEL TRUSS | 11 | EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN |
| 4 | EXISTING LOADING DOCK | 12 | EXISTING CORRUGATED METAL WALL PANEL |
| 5 | EXISTING METAL DOOR | 13 | EXISTING CORRUGATED METAL PANEL ROOF SYSTEM |
| 6 | EXISTING EXTERIOR WALL PACK | 14 | EXISTING VERTICAL WALL CLADDING SIDING |
| 7 | EXISTING ROLLING DOOR RAIL TO REMAIN | 15 | EXISTING OVERHEAD GARAGE DOOR |
| 8 | EXISTING ROLLING DOOR TO BE REMOVED | 16 | APPLIED ANTI-GRAFFITI PAINT/COATING TO ENTIRE WEST ELEVATION TO HORIZONTAL TRIM AT +/-11' ABOVE GRADE |

FINISH SCHEDULE - MATERIAL

- | | | | |
|----|---|----|--|
| 1 | NEW STANDING SEAM METAL PANEL ROOF | 15 | NEW ROOF CANOPY |
| 2 | CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING O/ INSULATION OVER EXISTING METAL DECK | 16 | NEW ADDRESS SIGNAGE |
| 3 | NEW SMOOTH STUCCO | 17 | EXISTING PAINTED CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE- MANUFACTURER APPLIED METALLIC PAINT |
| 4 | NEW WOOD CLADDING | 18 | EXISTING FIXED WINDOW TO REMAIN-NEW PAINT |
| 5 | EXISTING PAINTED VERTICAL METAL CLADDING SIDING-REPLACE LIKE FOR LIKE- NEW PAINT | 19 | NEW ALUMINUM ROLL-UP GARAGE DOOR |
| 6 | NEW METAL SLATS-PAINTED | 20 | NEW ALUMINUM BI-FOLD WINDOWS |
| 7 | NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING | 21 | NEW ALUMINUM ROLL-UP WINDOW GARAGE DOOR |
| 8 | NEW HOLLOW METAL DOOR | 22 | NEW SIGNAGE |
| 9 | NEW STOREFRONT SYSTEM | 23 | EXISTING METAL TRIMS TO REMAIN-PAINTED |
| 10 | NEW ROOF TOP UNITS | 24 | EXISTING ROLLING DOOR RAIL TO REMAIN-NEW PAINT |
| 11 | NEW DECORATIVE WALL SCIENCE | 25 | EXISTING OVERHEAD DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 12 | NEW WALL PACK EXTERIOR LIGHT | 26 | EXISTING ROLLING DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 13 | NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE | 27 | NEW PASSIVE VENT LOUVER PAINTED |
| 14 | NEW DOWNSPOUT | 28 | EXISTING WINDOW FRAME TO REMAIN PAINTED |
| | | 29 | SMOOTH PLASTER |

FINISH SCHEDULE - FINISH

- | | | | |
|---|--|---|--|
| A | DARK BRONZE BY BERRIDGE | H | #88 STANDARD DARK BRONZE AB-7 BY ARCADIA |
| B | SMOOTH BY OMEGA | I | PAINTED: COLOR TO MATCH DARK BRONZE BY BERRIDGE |
| C | ELEGANT OAK BY TRESPA | J | LIGHT SCIENCE REGA 24 BY LIGHTOPIA |
| D | STOCK COLOR: COLOR TO MATCH DARK BRONZE BY BERRIDGE | K | OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| E | COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE | L | OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
| F | RAL TO MATCH DARK BRONZE AB-7 BY ARCADIA | M | DARK BRONZE BY BOYD ARCHITECTURAL MUNTIN WINDOW SYSTEMS |
| G | NATURAL WHITE KYNAR 500/HYLAR 5000 BY BERRIDGE | N | SANTA BARBARA BY OMEGA |

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PROPOSED & EXISTING ELEVATIONS

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EAST ELEVATION

3/16"=1'-0"

1

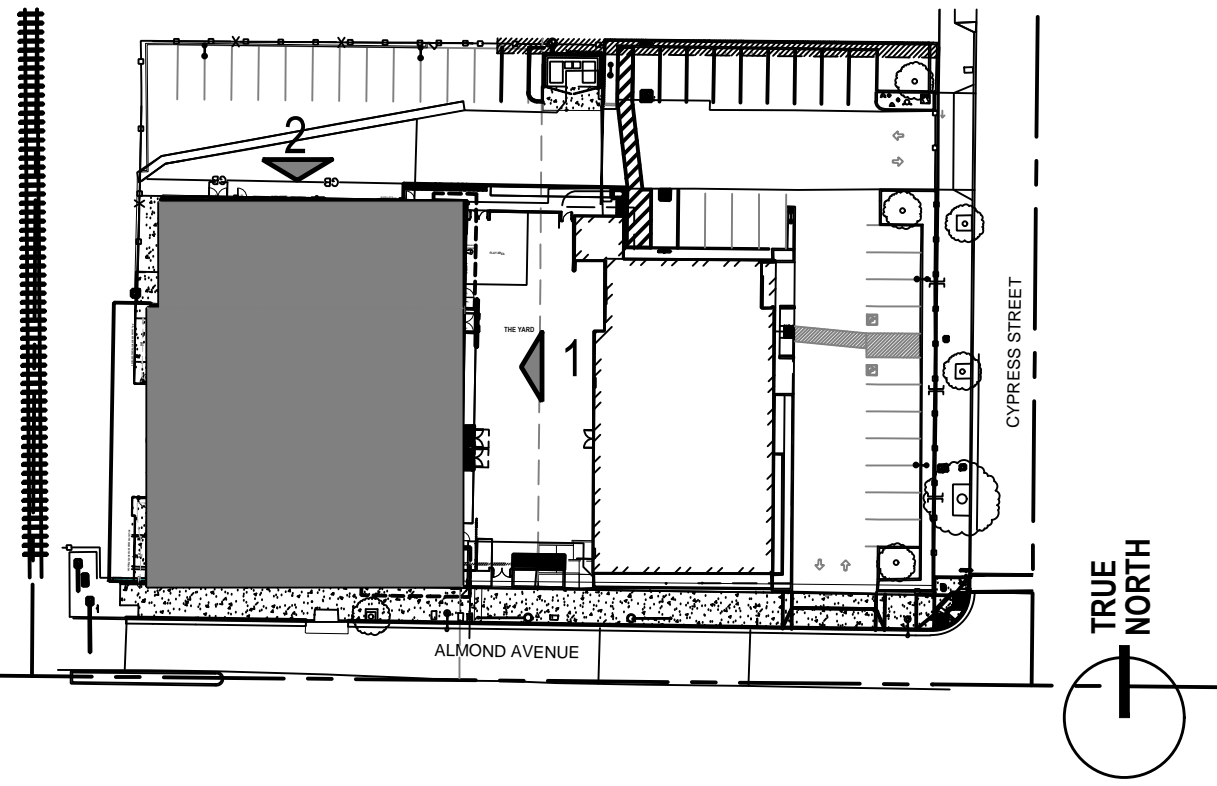


NORTH ELEVATION

3/16"=1'-0"

2

KEY PLAN



KEYNOTE

- | | | | |
|---|--------------------------------------|----|---|
| 1 | EXISTING CONCRETE BUILDING CURB | 9 | EXISTING GUTTER SYSTEM DOWNSPOUT |
| 2 | EXISTING CMU BUILDING STEM WALL | 10 | EXISTING WINDOWS TO REMAIN |
| 3 | EXISTING PAINTED STEEL TRUSS | 11 | EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN |
| 4 | EXISTING LOADING DOCK | 12 | EXISTING CORRUGATED METAL WALL PANEL |
| 5 | EXISTING METAL DOOR | 13 | EXISTING CORRUGATED METAL PANEL ROOF SYSTEM |
| 6 | EXISTING EXTERIOR WALL PACK | 14 | EXISTING VERTICAL WALL CLADDING SIDING |
| 7 | EXISTING ROLLING DOOR RAIL TO REMAIN | 15 | EXISTING OVERHEAD GARAGE DOOR |
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FINISH SCHEDULE - MATERIAL

- | | | | |
|----|---|----|--|
| 1 | NEW STANDING SEAM METAL PANEL ROOF | 15 | NEW ROOF CANOPY |
| 2 | CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING O/ INSULATION OVER EXISTING METAL DECK | 16 | NEW ADDRESS SIGNAGE |
| 3 | NEW SMOOTH STUCCO | 17 | EXISTING PAINTED CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE- MANUFACTURER APPLIED METALLIC PAINT |
| 4 | NEW WOOD CLADDING | 18 | EXISTING FIXED WINDOW TO REMAIN-NEW PAINT |
| 5 | EXISTING PAINTED VERTICAL METAL CLADDING SIDING-REPLACE LIKE FOR LIKE- NEW PAINT | 19 | NEW ALUMINUM ROLL-UP GARAGE DOOR |
| 6 | NEW METAL SLATS-PAINTED | 20 | NEW ALUMINUM BI-FOLD WINDOWS |
| 7 | NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING | 21 | NEW ALUMINUM ROLL-UP WINDOW GARAGE DOOR |
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| 10 | NEW ROOF TOP UNITS | 24 | EXISTING ROLLING DOOR RAIL TO REMAIN-NEW PAINT |
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| 12 | NEW WALL PACK EXTERIOR LIGHT | 26 | EXISTING ROLLING DOOR TO REMAIN (FIXED)- REPLACE CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE-NEW PAINT |
| 13 | NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE | 27 | NEW PASSIVE VENT LOUVER PAINTED |
| 14 | NEW DOWNSPOUT | 28 | EXISTING WINDOW FRAME TO REMAIN PAINTED |
| 15 | | 29 | SMOOTH PLASTER |

FINISH SCHEDULE - FINISH

- | | | | |
|---|--|---|--|
| A | DARK BRONZE BY BERRIDGE | H | #88 STANDARD DARK BRONZE AB-7 BY ARCADIA |
| B | SMOOTH BY OMEGA | I | PAINTED: COLOR TO MATCH DARK BRONZE BY BERRIDGE |
| C | ELEGANT OAK BY TRESPA | J | LIGHT SCIENCE REGA 24 BY LIGHTOPIA |
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| G | NATURAL WHITE KYNAR 500/HYLAR 5000 BY BERRIDGE | N | SANTA BARBARA BY OMEGA |

FRIENDS

FRIENDSCHURCH - THE HANGAR

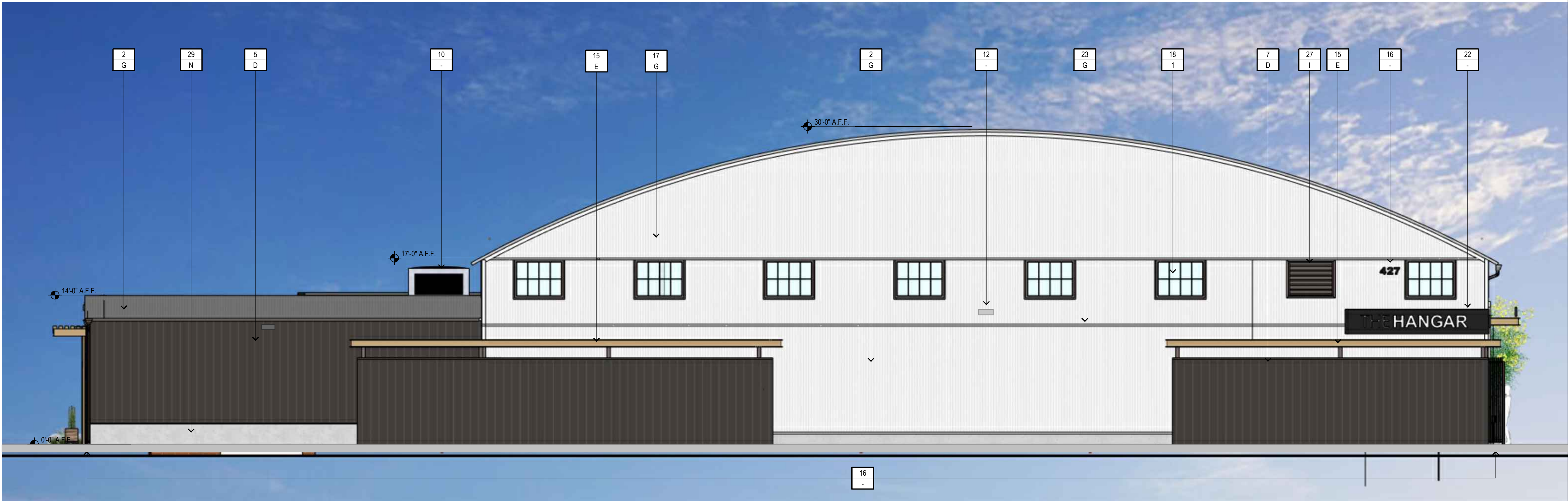
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WEST ELEVATION

3/16"=1'-0"

1

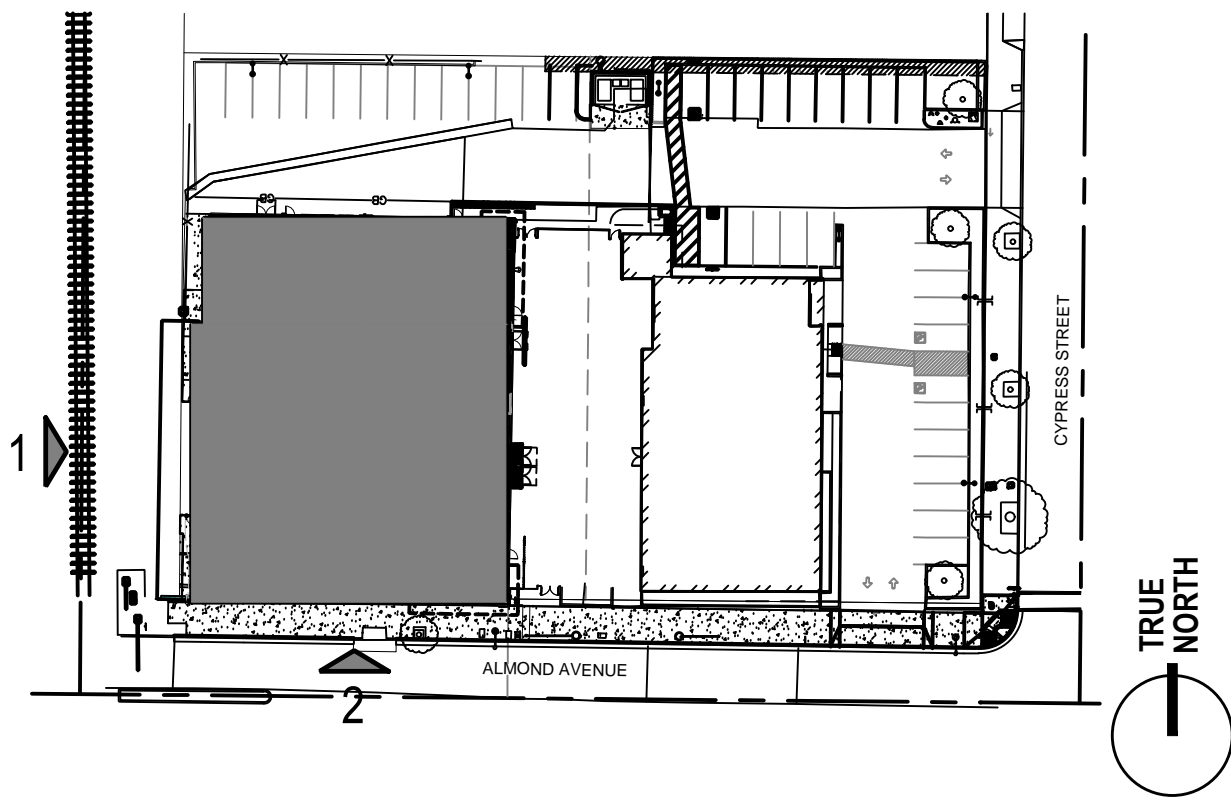


SOUTH ELEVATION

3/16"=1'-0"

2

KEY PLAN



KEYNOTE

- | | | | |
|---|--------------------------------------|----|---|
| 1 | EXISTING CONCRETE BUILDING CURB | 9 | EXISTING GUTTER SYSTEM DOWNSPOUT |
| 2 | EXISTING CMU BUILDING STEM WALL | 10 | EXISTING WINDOWS TO REMAIN |
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| 4 | EXISTING LOADING DOCK | 12 | EXISTING CORRUGATED METAL WALL PANEL |
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FINISH SCHEDULE - MATERIAL

- | | | | |
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| 1 | NEW STANDING SEAM METAL PANEL ROOF | 15 | NEW ROOF CANOPY |
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| 3 | NEW SMOOTH STUCCO | 17 | EXISTING PAINTED CORRUGATED METAL PANEL CLADDING- REPLACE LIKE FOR LIKE- MANUFACTURER APPLIED METALLIC PAINT |
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| | | 29 | SMOOTH PLASTER |

FINISH SCHEDULE - FINISH

- | | | | |
|---|--|---|--|
| A | DARK BRONZE BY BERRIDGE | H | #88 STANDARD DARK BRONZE AB-7 BY ARCADIA |
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| D | STOCK COLOR: COLOR TO MATCH DARK BRONZE BY BERRIDGE | K | OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE |
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| G | NATURAL WHITE KYNAR 500/HYLAR 5000 BY BERRIDGE | N | SANTA BARBARA BY OMEGA |

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WEST BUILDING
EXTERIOR RENDERINGS



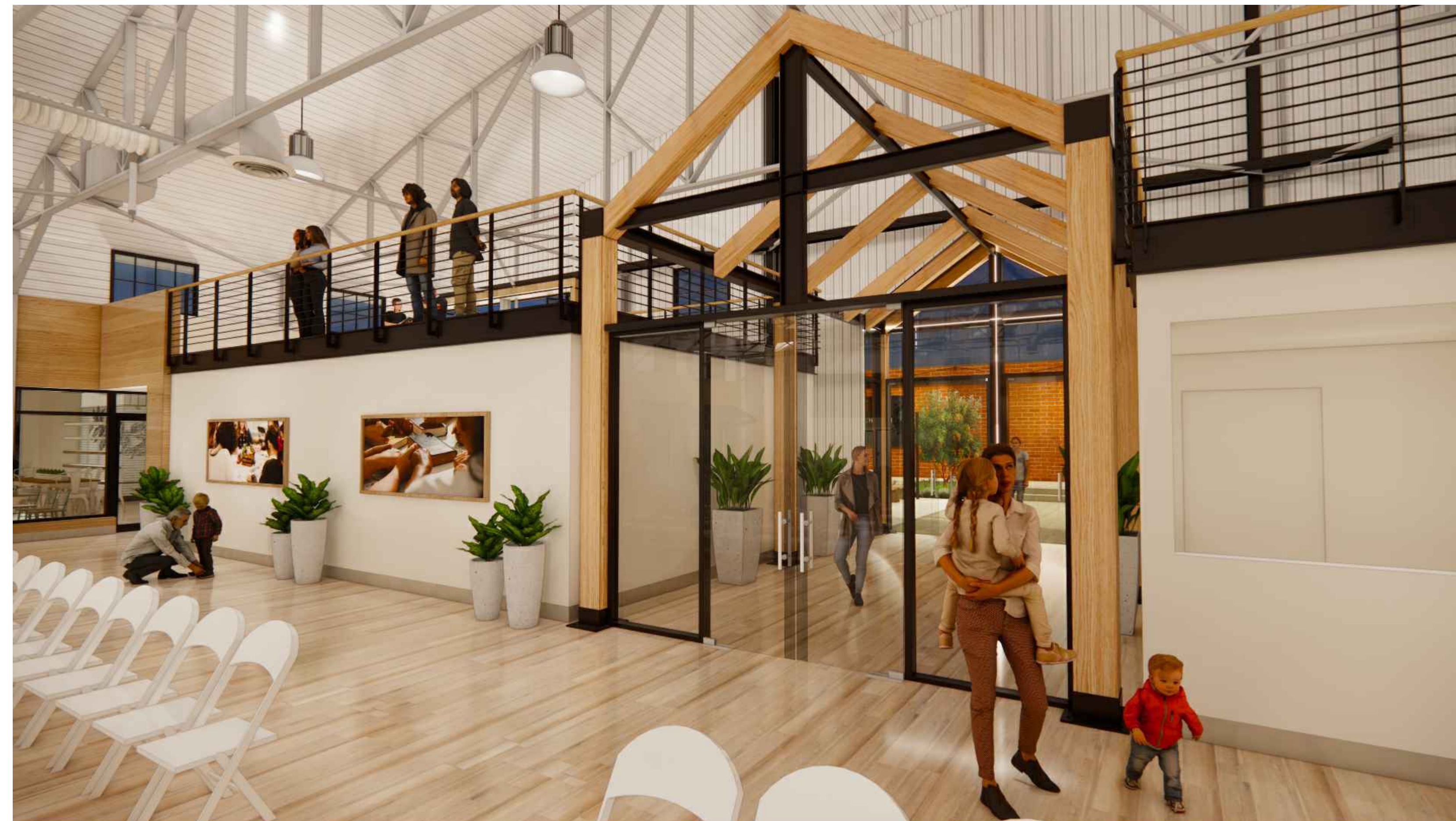
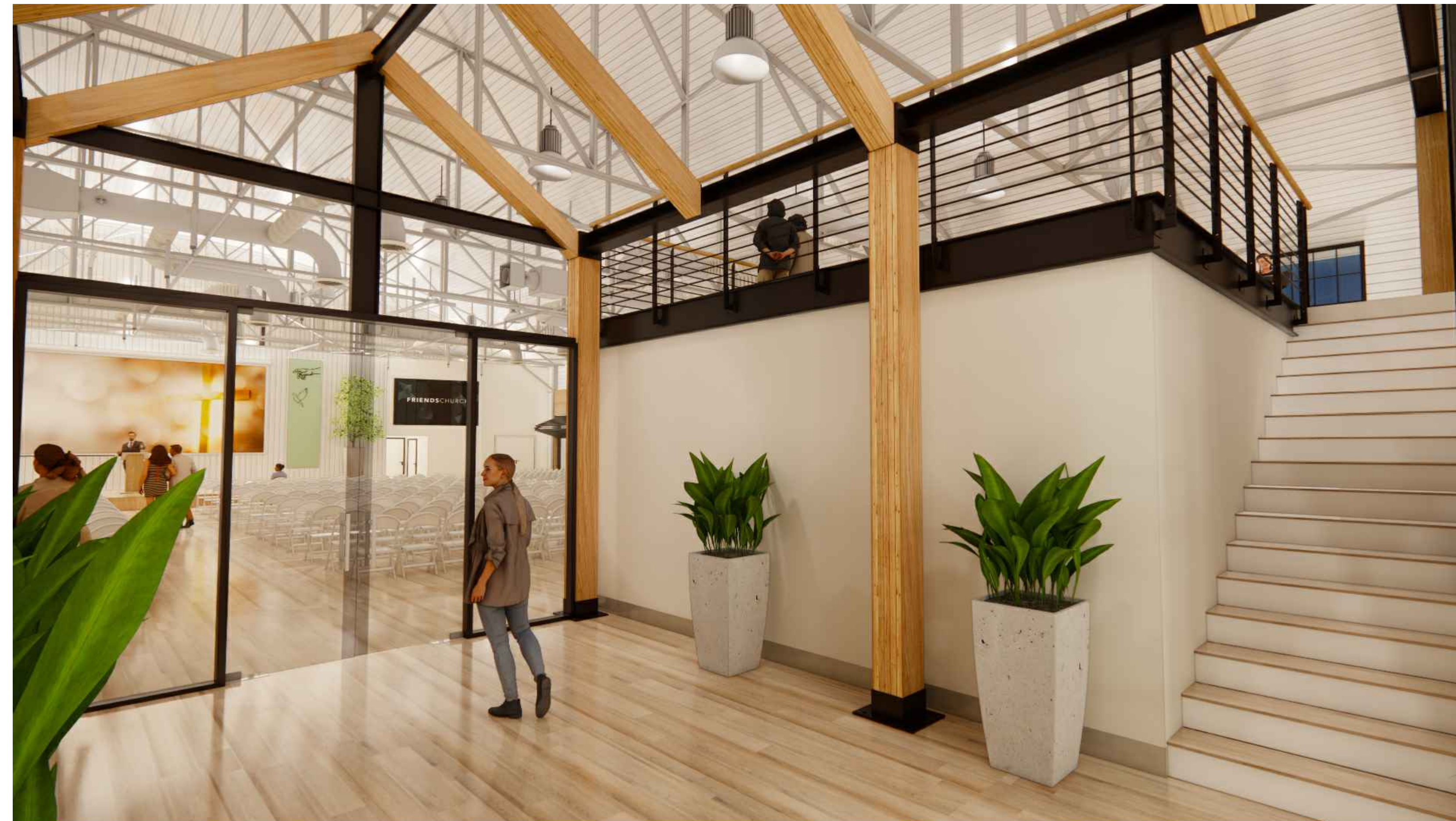
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EXTERIOR RENDERINGS

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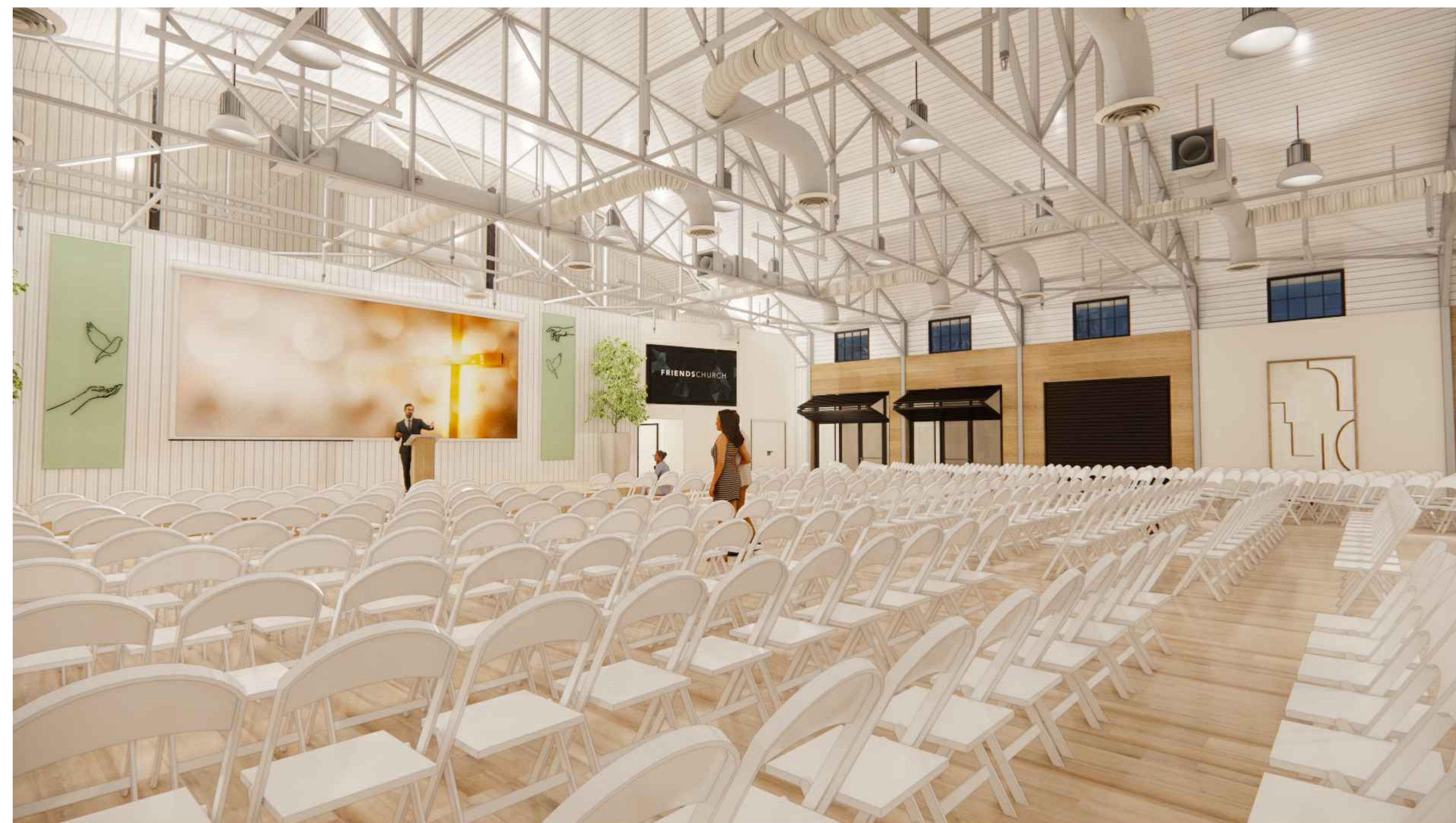
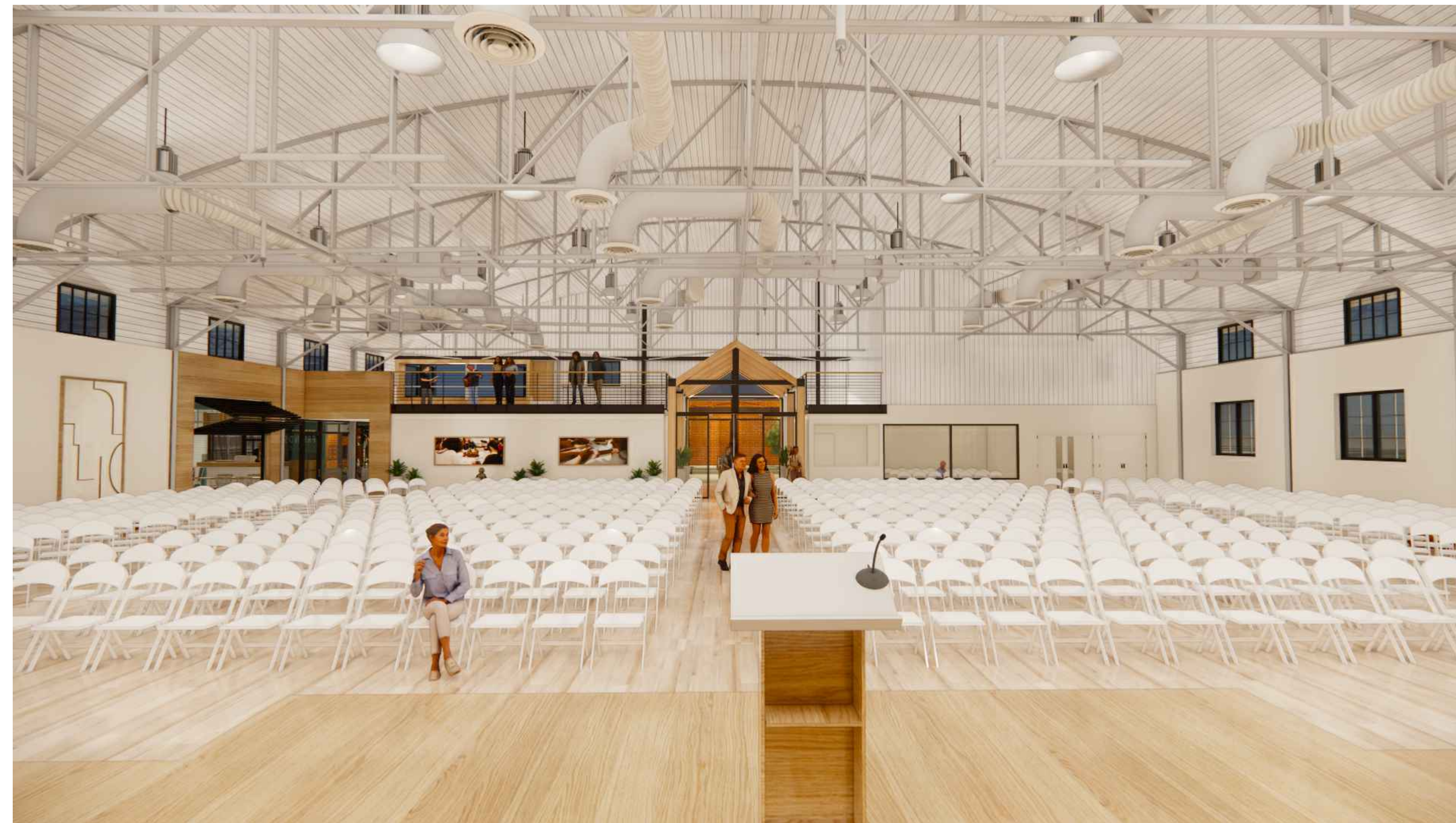
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WEST BUILDING
INTERIOR RENDERINGS



17

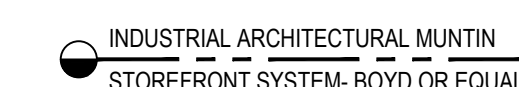
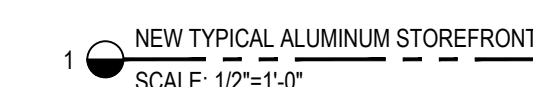
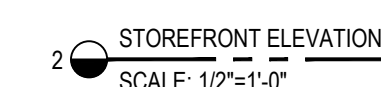
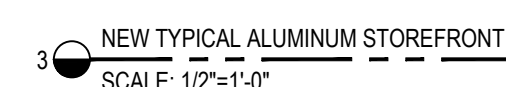
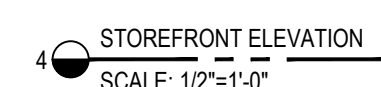
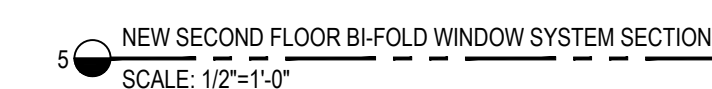
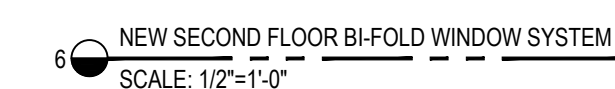
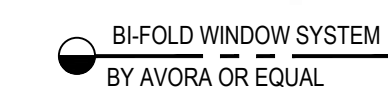
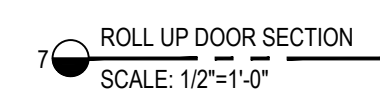
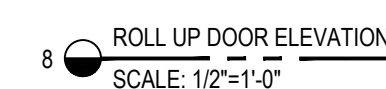
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WEST BUILDING
EXISTING SITE PHOTOS



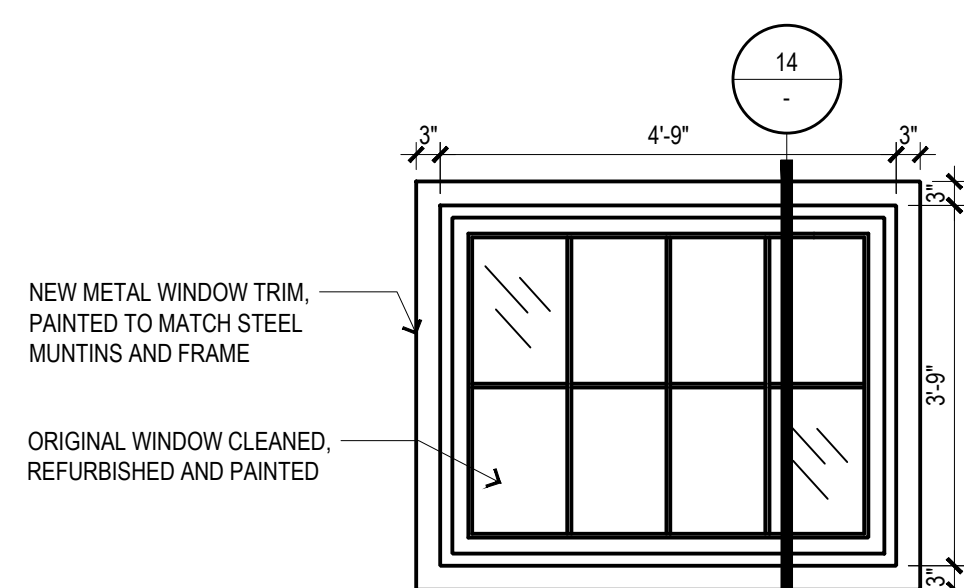


13 REGA 24 WALL SCONCE
BY LIGHTOPIA

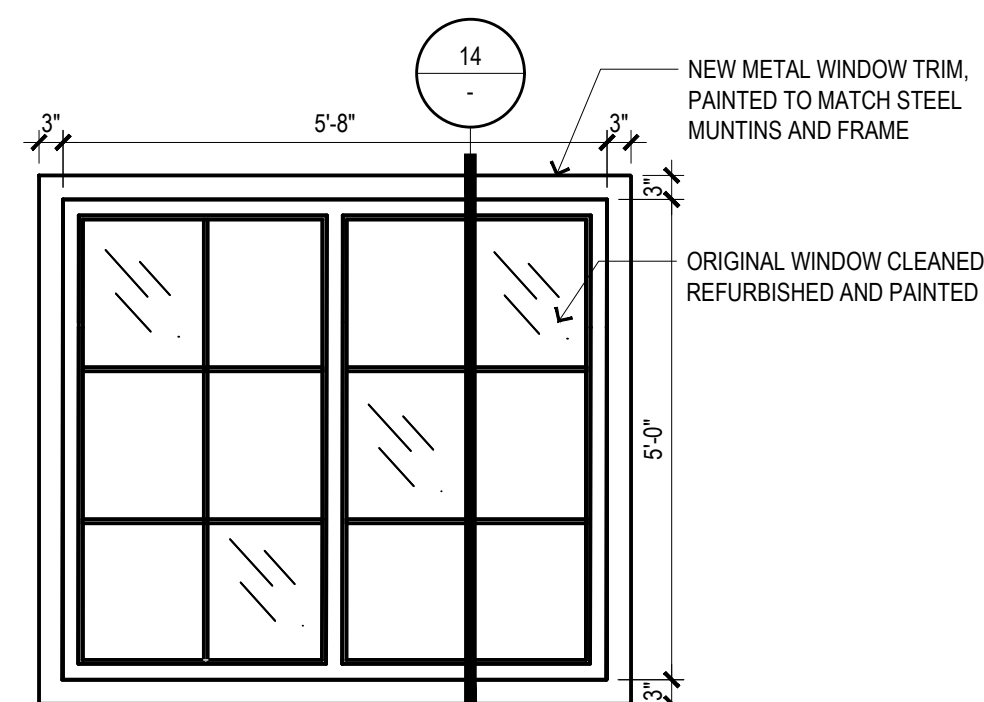
14 WALL SECTION AT EXISTING
EXTERIOR WINDOWS-TYP.

8 ROLL UP DOOR ELEVATION
SCALE: 1/2"=1'-0"

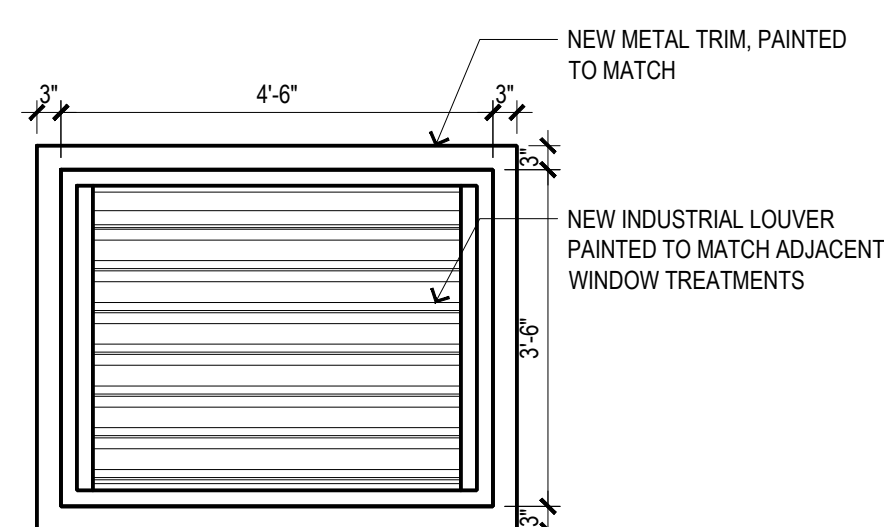
9 ROLL UP DOOR SECTION
SCALE: 1/2"=1'-0"



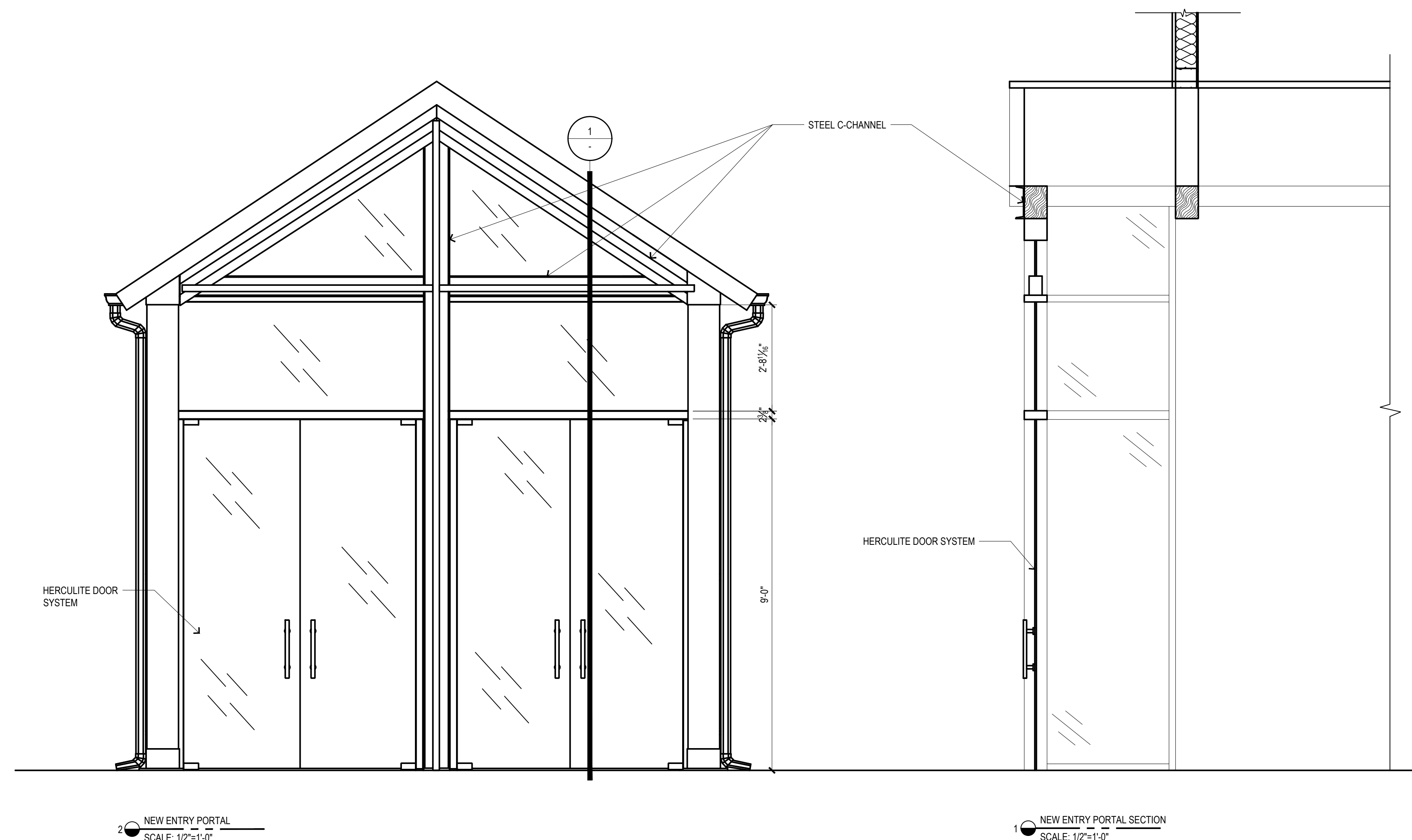
10 EXISTING FIXED WINDOW
SCALE: 1/2"=1'-0"



11 EXISTING FIXED WINDOW
SCALE: 1/2"=1'-0"



12 EXISTING FIXED WINDOW
SCALE: 1/2"=1'-0"



2 NEW ENTRY PORTAL
SCALE: 1/2"=1'-0"

1 NEW ENTRY PORTAL SECTION
SCALE: 1/2"=1'-0"

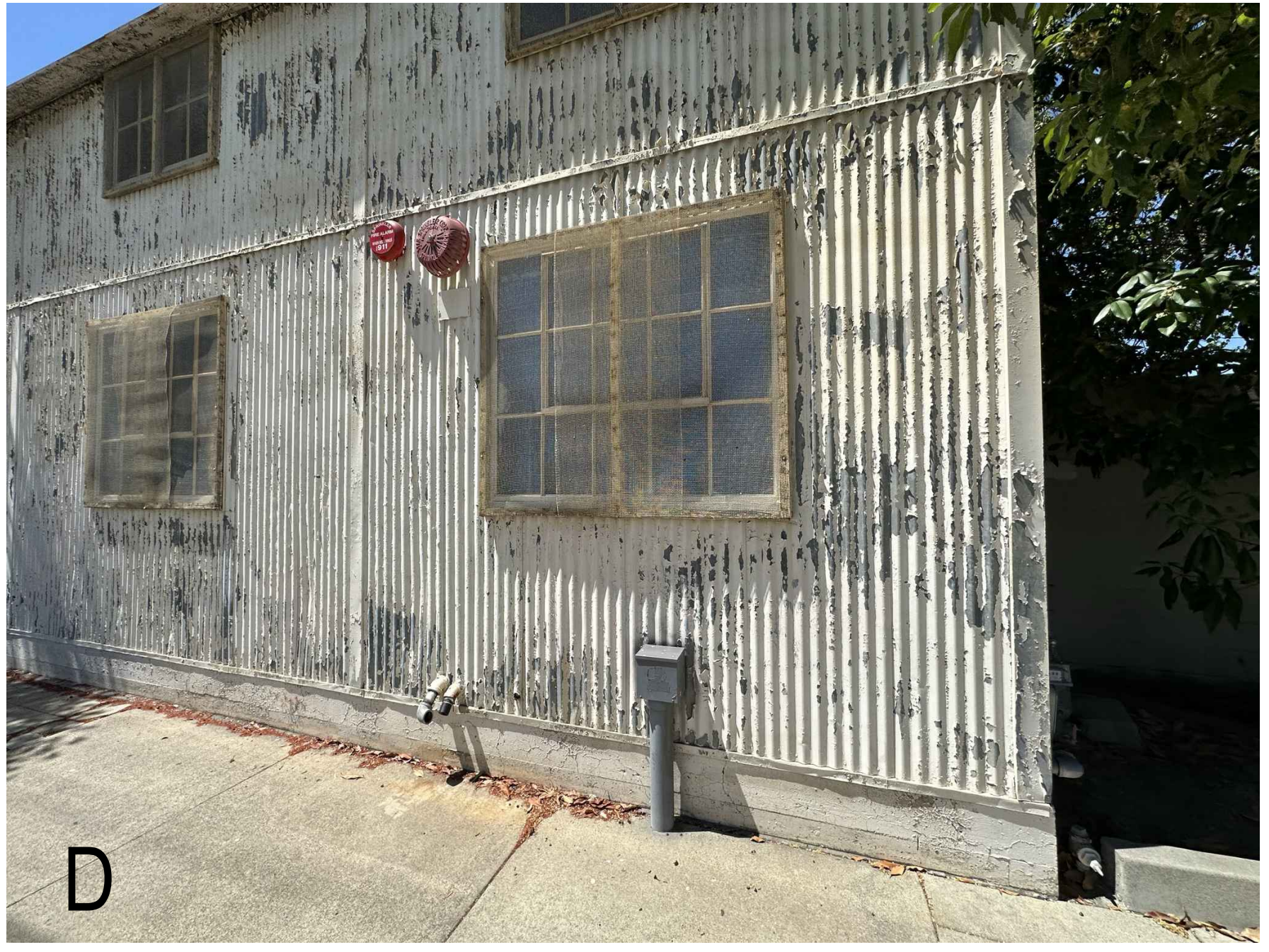
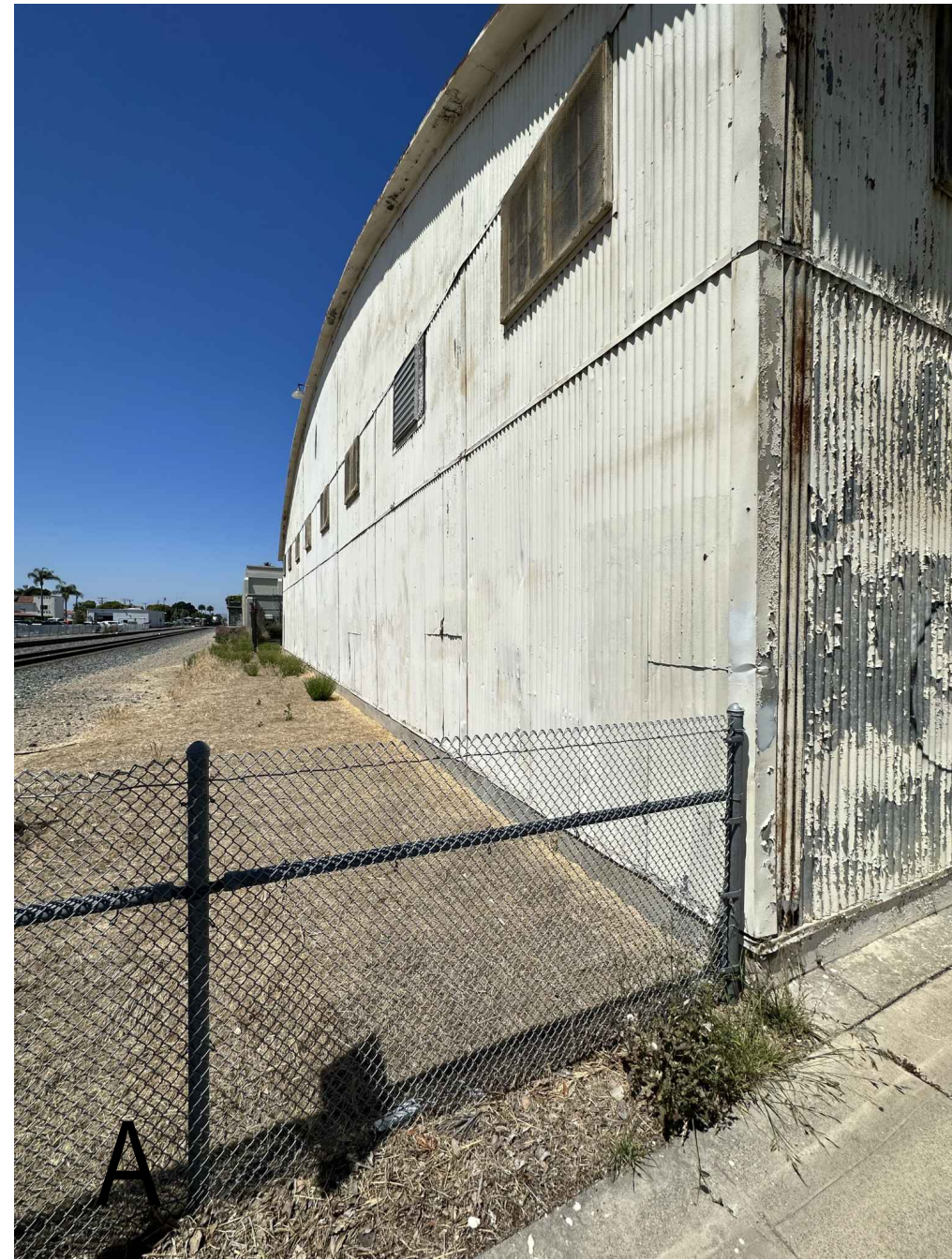
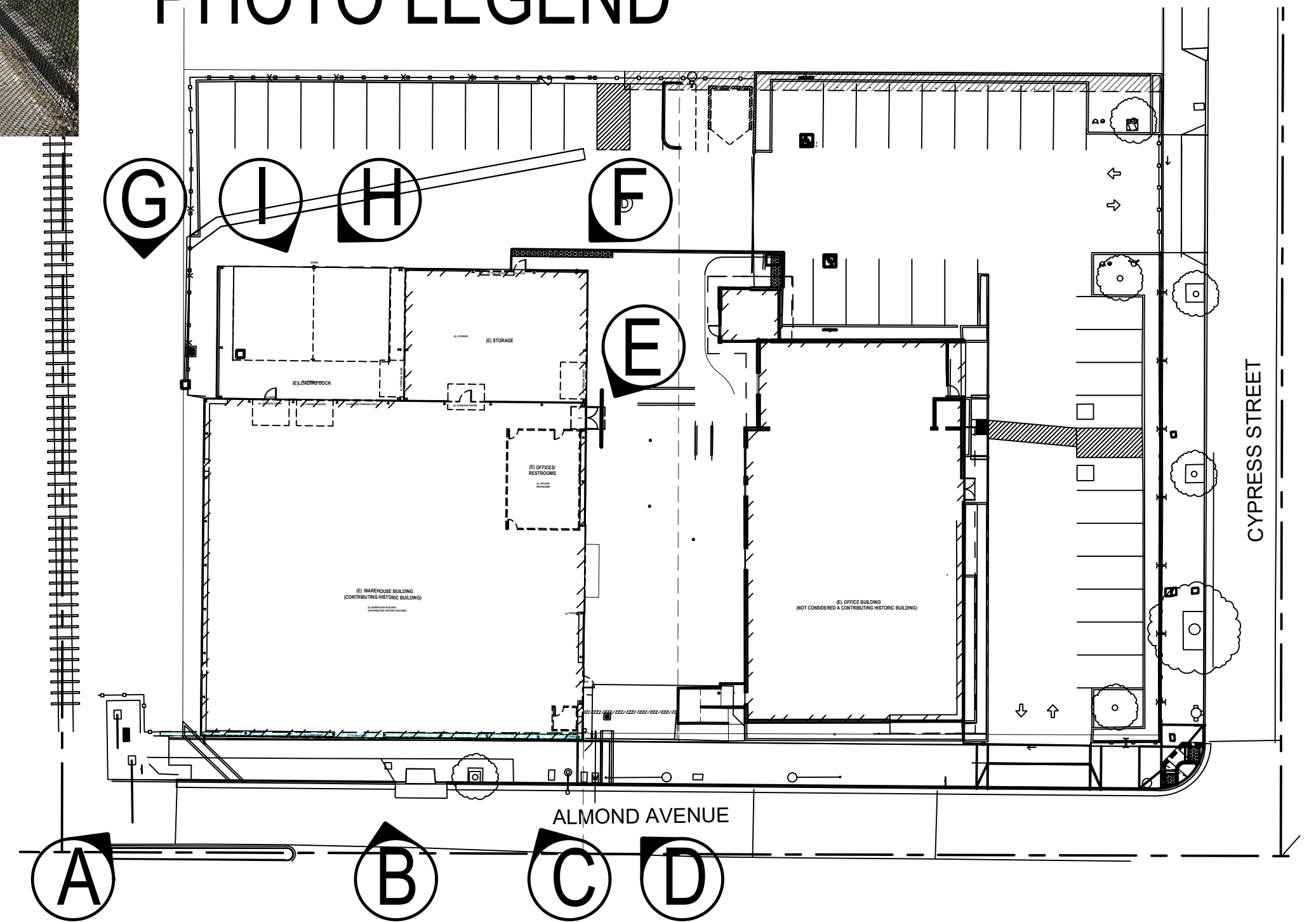
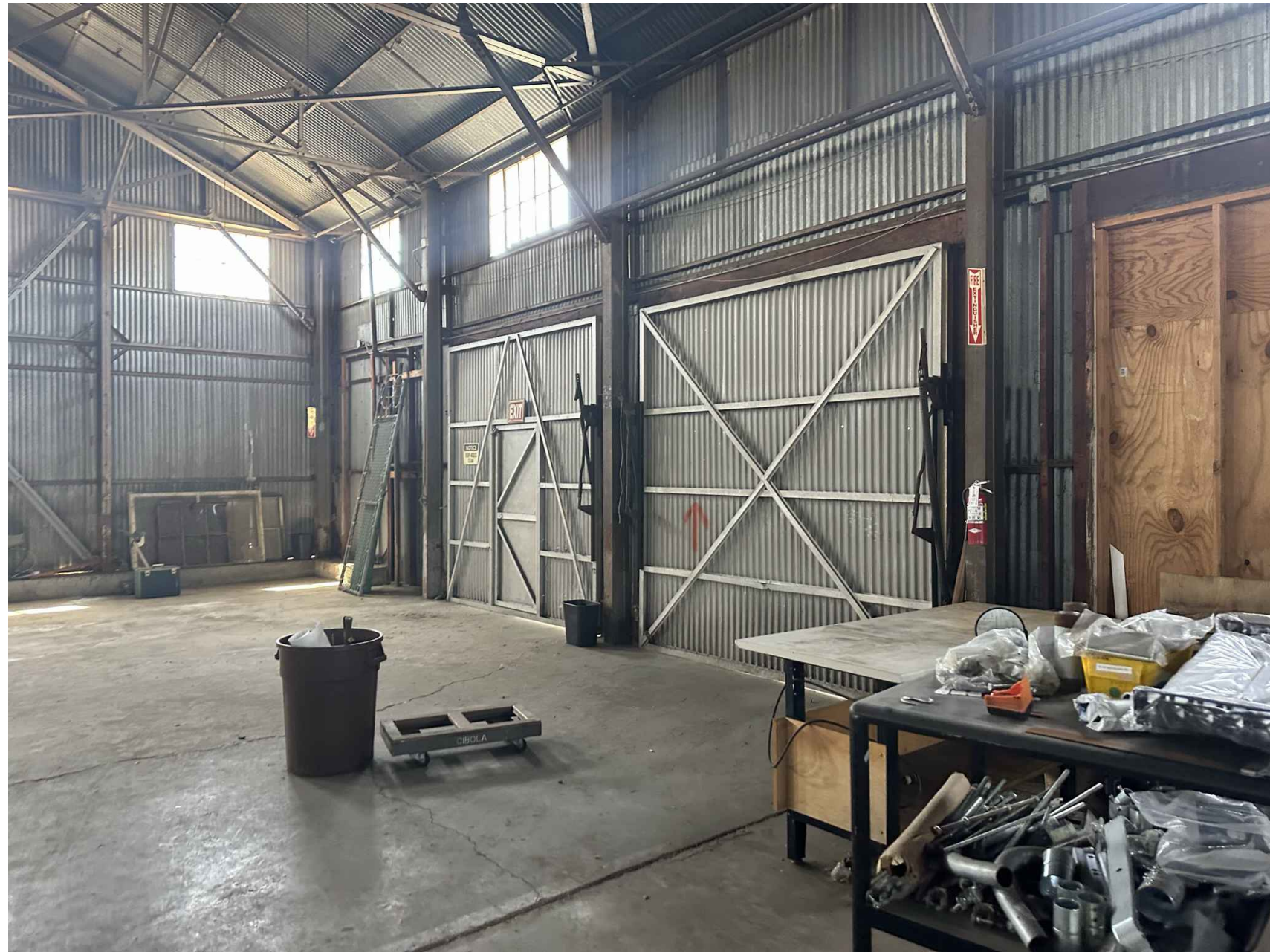


PHOTO LEGEND





A



B

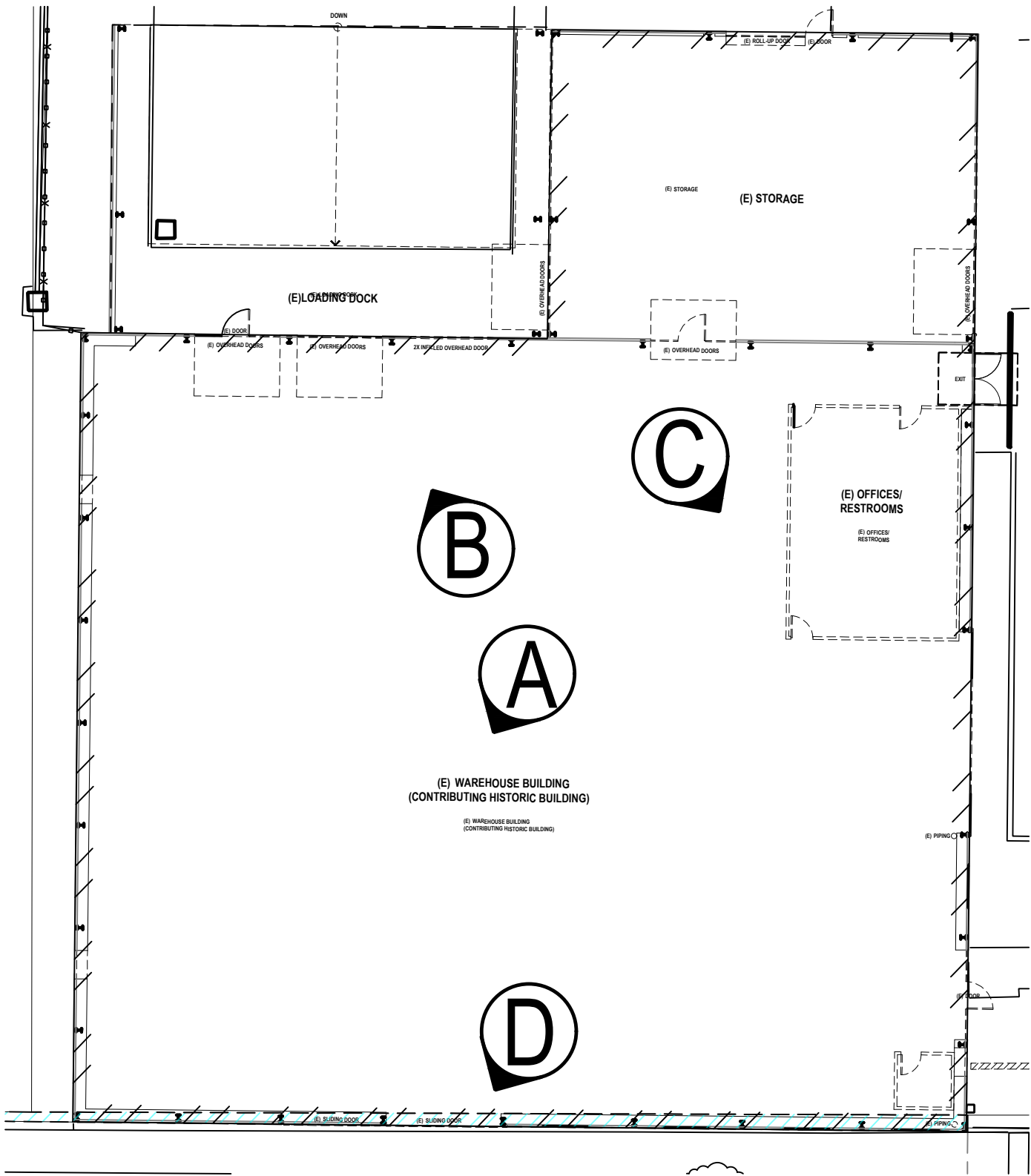


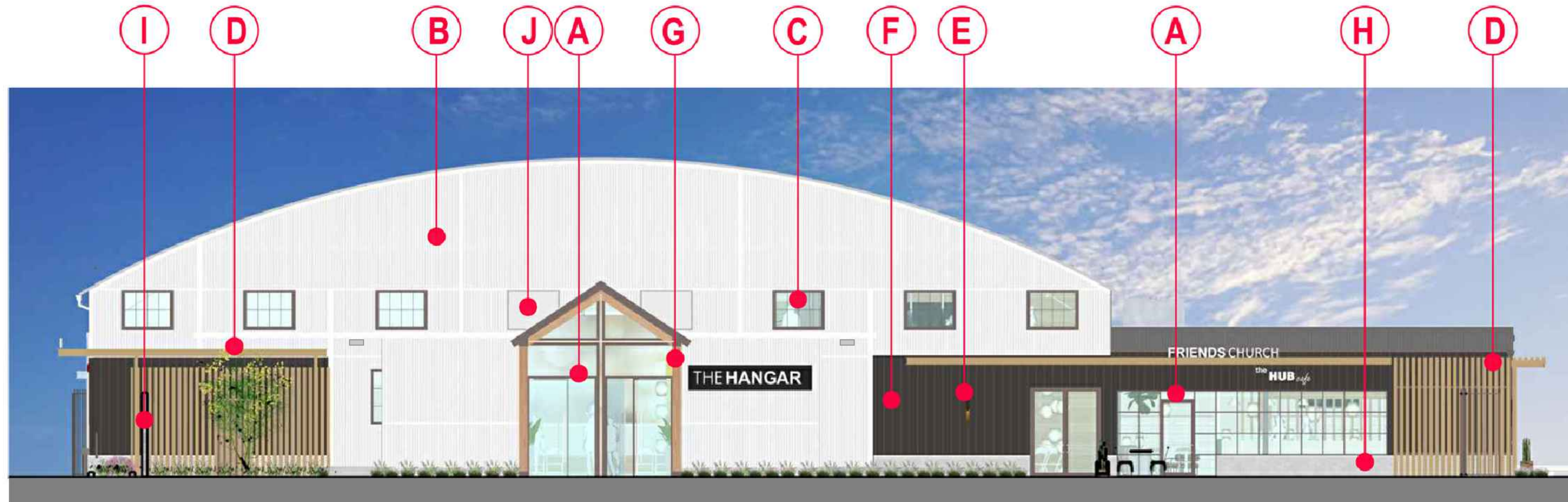
C



D

PHOTO LEGEND



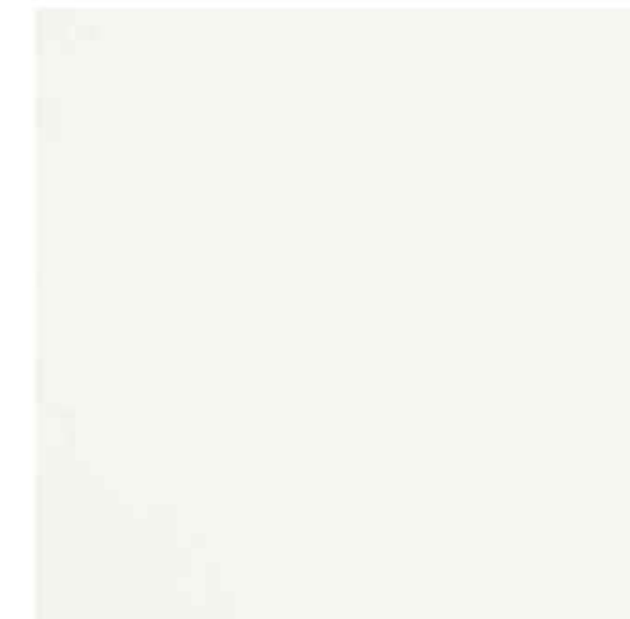


A. STOREFRONT



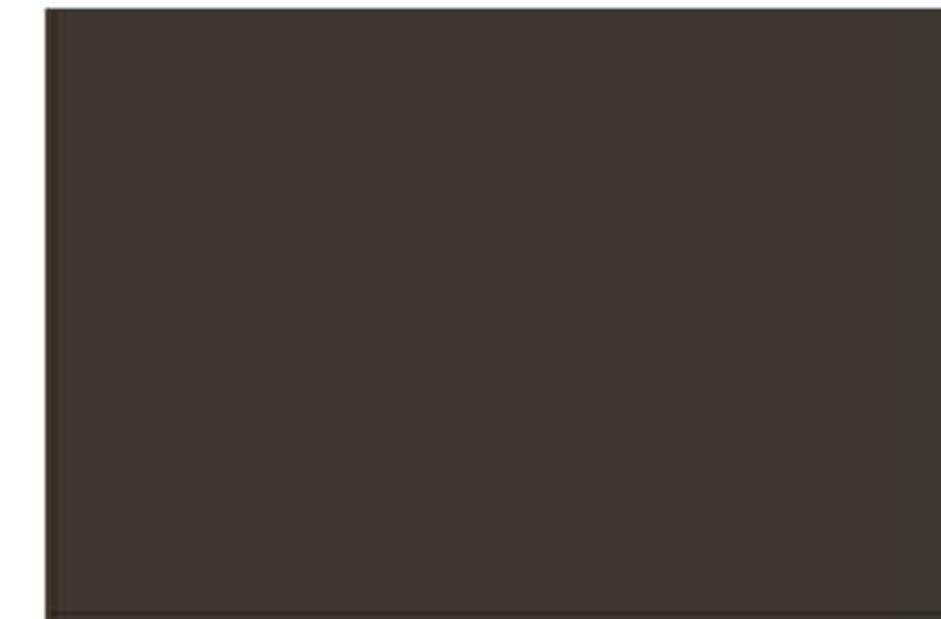
MANUF: ARCADIA
COLOR: MEDIUM BRONZE
LOCATION: STOREFRONT

B. PAINT



MANUF: BERRIDGE
COLOR: NATURAL WHITE
FINISH:
LOCATION: WALLS & ROOF

C. PAINT



MANUF: SHERWIN WILLIAMS
COLOR: TO MATCH DARK BRONZE BY BERRIDGE
FINISH: SEMI-GLOSS
NOTE: PAINT EXISTING FRAMES

D. POWDER COATING



MANUF: SHERWIN WILLIAMS
COLOR: RAL 1011 BROWN BEIGE
FINISH: GLOSSY
LOCATION: CANOPY & SLATS

E. WALL SCONCE



MANUF: LUMENS
STYLE: REGA LED 18"
COLOR: BRONZE

F. METAL PANEL SYSTEMS



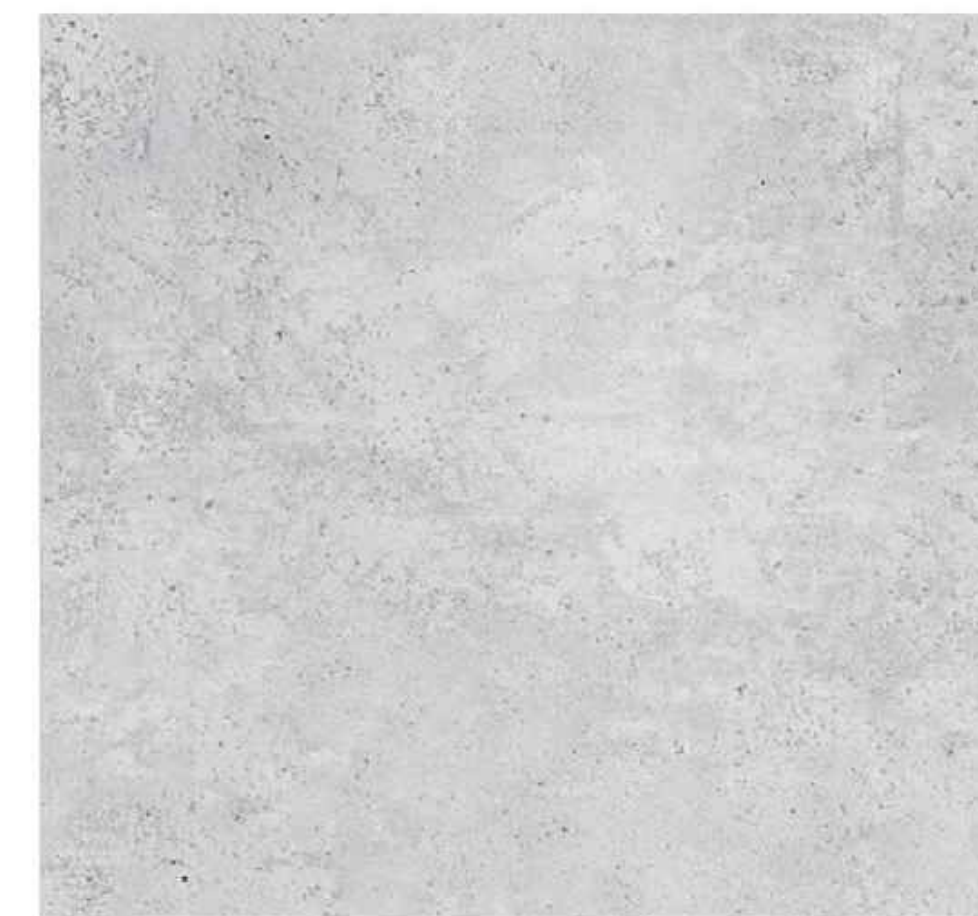
MANUF: BERRIDGE
COLOR: DARK BRONZE
TYPE: TO MATCH EXISTING
LOCATION: WALL CLADDING

G. FIBER CEMENT



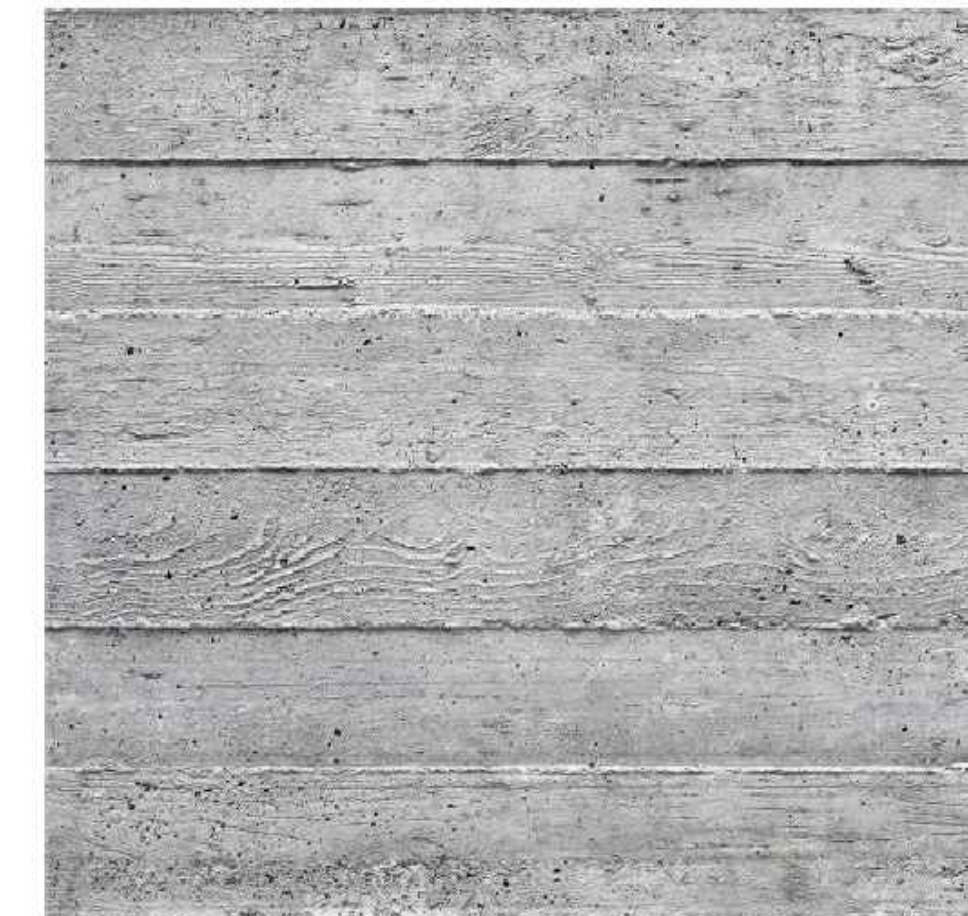
MANUF: NICHHA
COLOR: VINTAGEWOOD
LOCATION: ENTRY

H. CONCRETE SMOOTH PLASTER



MANUF: OMEGA
COLOR: SANTA BARBARA
LOCATION: WALL BASE

I. POURED IN CONCRETE



MANUF: TBD
COLOR: CONCRETE
LOCATION: PLANTER WALL

J. SMOOTH STUCCO



MANUF: OMEGA
COLOR: 1C005 OMEGA WHITE
LOCATION: WINDOW INSET



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

WEST BUILDING
COLOR & MATERIAL

AO Architecture.
Design.
Relationships.
www.aoarchitects.com

23

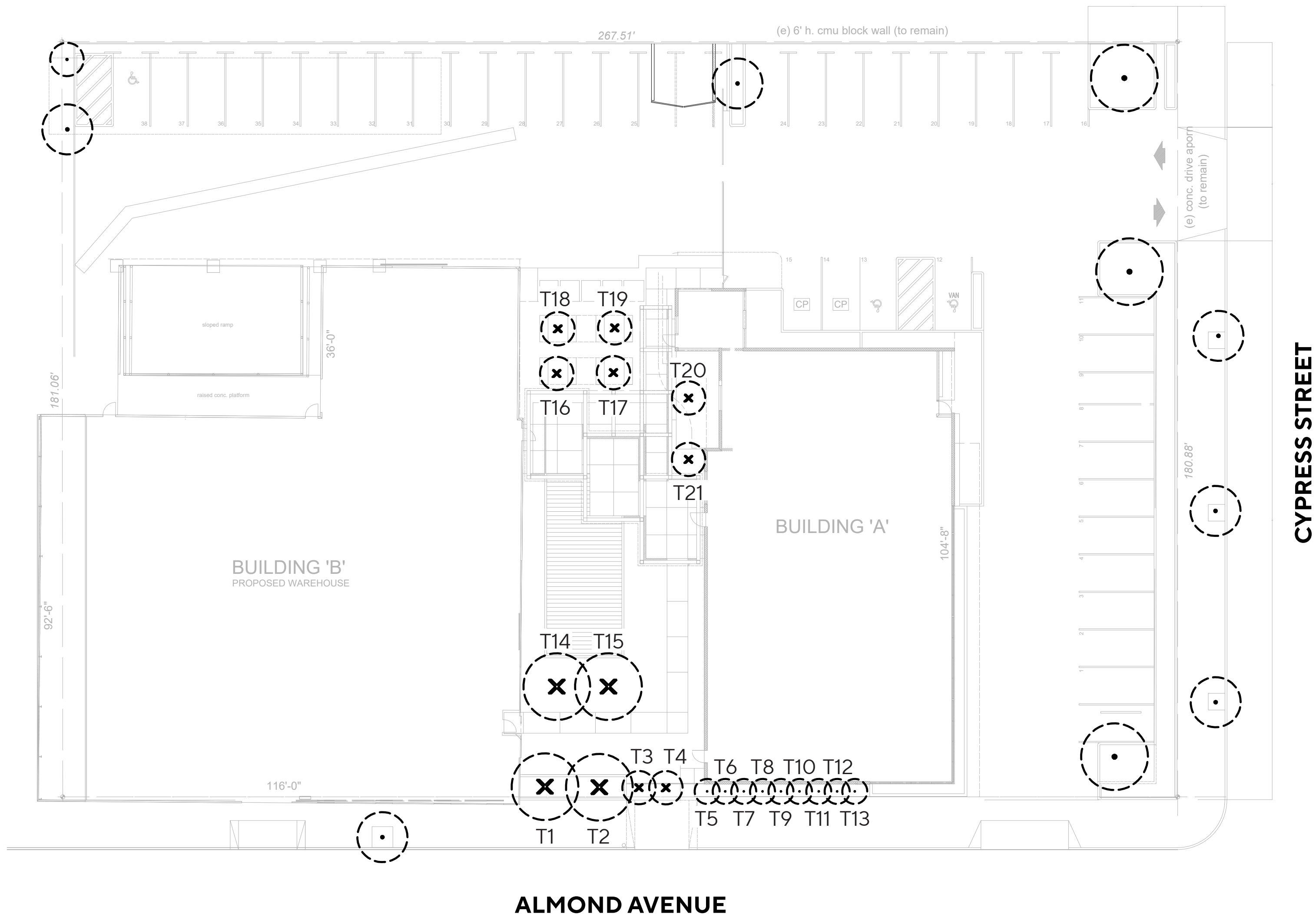
Job No. 2023-0553
Date: 2026-01-08

ALMOND AVENUE

CYPRESS STREET

CYPRESS STREET

[illegible]



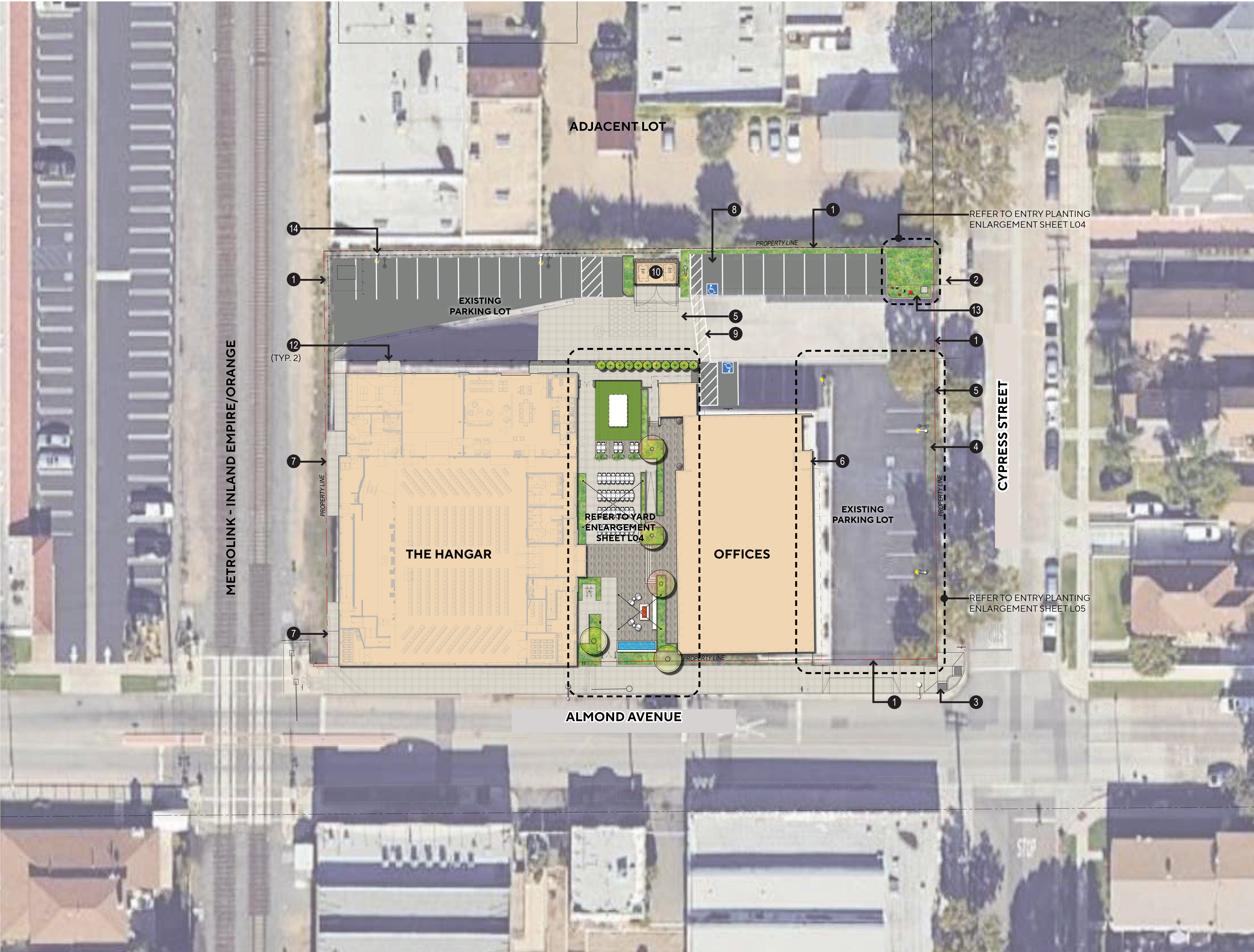
TREE LEGEND		
SYMBOL	BOTANICAL NAME COMMON NAME	DESCRIPTION
T1	LOPHOSTEMON CONFERTUS BRISBANE BOX TREE	TO BE REMOVED
T2	LOPHOSTEMON CONFERTUS BRISBANE BOX TREE	TO BE REMOVED
T3	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO BE REMOVED
T4	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO BE REMOVED
T5	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T6	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T7	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T8	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T9	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T10	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T11	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T12	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T13	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T14	LIQUIDAMBAR STYRACIFLUA SWEET GUM	TO BE REMOVED
T15	LIQUIDAMBAR STYRACIFLUA SWEET GUM	TO BE REMOVED
T16	LAGERSTROEMIA INDICA CRAPE MYRTLE	TO BE REMOVED
T17	LAGERSTROEMIA INDICA CRAPE MYRTLE	TO BE REMOVED
T18	LAGERSTROEMIA INDICA CRAPE MYRTLE	TO BE REMOVED
T19	LAGERSTROEMIA INDICA CRAPE MYRTLE	TO BE REMOVED
T20	CITRUS X LIMON LEMON TREE	TO BE REMOVED
T21	CITRUS RETICULATA TANGERINE TREE	TO BE REMOVED
T22	CALLISTEMON CITRINUS LEMON TREE	TO BE REMOVED



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

THE YARD
EXISTING SITE PLAN



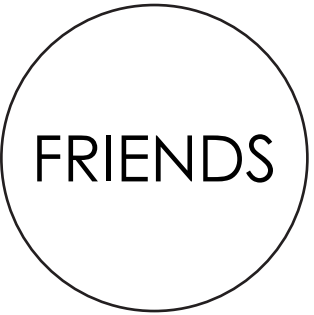


KEYNOTE LEGEND	
1	PROPERTY LINE
2	EXISTING PUBLIC SIDEWALK TO REMAIN - PROTECT IN-PLACE
3	PROPOSED CURB RAMP PER CIVIL ENGINEER
4	EXISTING PLANTING AREA TO REMAIN - PROTECT IN-PLACE
5	EXISTING FENCE AND GATE TO BE REMOVED
6	EXISTING PAVING TO REMAIN - PROTECT IN-PLACE
7	SOUND ATTENUATION WALL PER ARCHITECT
8	A.D.A. PARKING STALLS PER CIVIL ENGINEER - TYPICAL.
9	STRIPED CROSSWALK PER CIVIL ENGINEER
10	TRASH ENCLOSURE PER ARCHITECT
11	NEW PUBLIC SIDEWALK
12	BOLLARDS PER CIVIL
13	PLANTING AREA - REFER TO PLANTING PLANS
14	PROPOSED LIGHTING - REFER TO ARCHITECT'S PLANS

PROJECT SUMMARY	
OVERALL SITE AREA	46,107.87 SF (1.06 acres)
EXISTING LANDSCAPE AREA	5,236.33 SF (11.35%)
PROPOSED LANDSCAPE AREA	3,499.44 SF
LANDSCAPE COVERAGE	8%
EXISTING LANDSCAPE AREA REFURBISHED TO WATER EFFICIENT PLANT MATERIAL/IRRIGATION	
AREA DEDICATED TO WATER FEATURE	78.48 SF (17%)

IRRIGATION DESIGN NOTES
THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

GENERAL DESIGN NOTES
1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS. 2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF BRE A REQUIREMENTS. 3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY) SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF BREA REQUIREMENTS. 4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS. 5. NOTIFY COMMUNITY SERVICES DEPARTMENT, (714) 532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48-HOUR NOTICE REQUIRED.

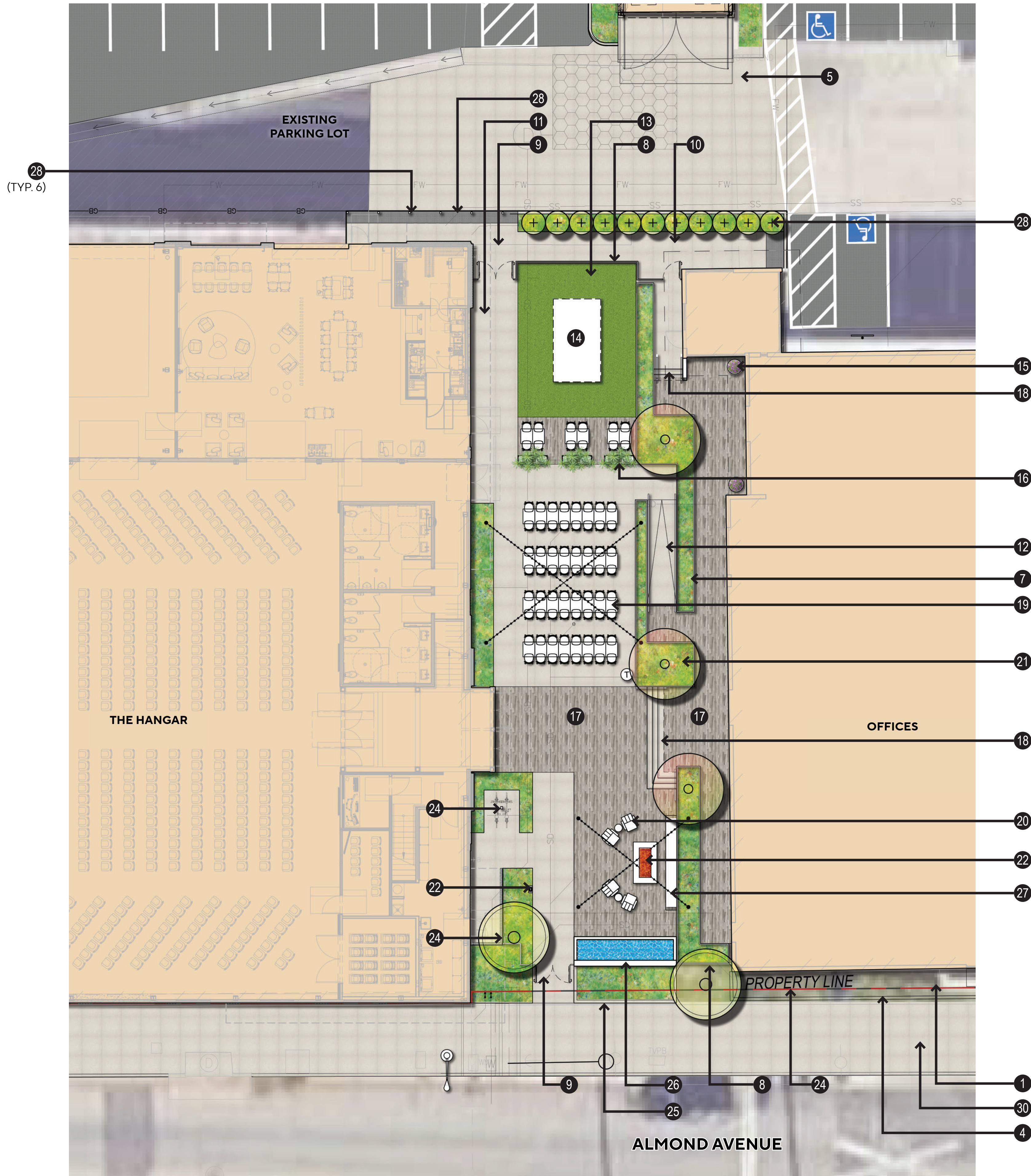


FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

THE YARD
OVERALL LANDSCAPE SITE PLAN



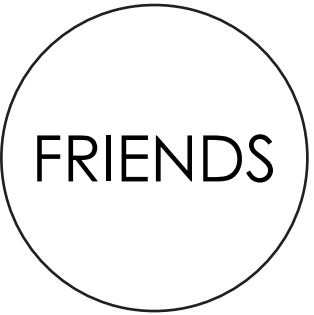
L02
Scale 1" = 20'
Job No. 2023-0553
Date 2026-01-05



KEYNOTE LEGEND	
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2	EXISTING PUBLIC SIDEWALK TO REMAIN - PROTECT IN-PLACE
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4	EXISTING PLANTING AREA TO REMAIN - PROTECT IN-PLACE
5	EXISTING FENCE AND GATE TO REMAIN - PROTECT IN-PLACE
6	EXISTING PAVING TO REMAIN - PROTECT IN-PLACE
7	24" HIGH WEATHERING STEEL PLANTER WALL - TYPICAL.
8	6'-0" TUBE STEEL FENCE
9	6'-0" WIDE TUBE STEEL DOUBLE GATE
10	3'-0" WIDE TUBE STEEL GATE
11	CAST-IN-PLACE CONCRETE PAVING - TYPICAL.
12	ADA RAMP WITH HANDRAILS ON BOTH SIDES. SLOPE NOT TO EXCEED 8.33%.
13	PLAY SAFE ARTIFICIAL TURF WITH FOAM PADDING AND WOOD FIBER INFILL.
14	PLAY STRUCTURE
15	DECORATIVE POTTERY - TYPICAL.
16	DECORATIVE LINEAR PLANTERS - TYPICAL
17	PORCELAIN TILE
18	CAST-IN-PLACE CONCRETE STEPS WITH ADA-COMPLIANT HANDRAILS ON BOTH SIDES
19	OUTDOOR DINING FURNITURE PER INTERIOR DESIGNER - TYPICAL.
20	LOUNGE FURNITURE PER INTERIOR DESIGNER - TYPICAL.
21	PLANTING AREA - REFER TO PLANTING PLANS
22	GAS FIRE TABLE AND EMERGENCY STOP ON PEDESTAL
23	WATER FEATURE - WATER FEATURE CONSULTANT
24	DECORATIVE WOOD SLAT SCREEN WALL PER ARCHITECT
25	RAISED CURB AT PLANTING AREA
26	6'-0" HIGH WEIR WALL/SCREEN WALL WITH SIGNAGE
27	WALL-MOUNTED BENCH
28	TRUNCATED DOME PAVERS
29	NEW STREET LIGHT STANDARD PER OTHER
30	NEW PUBLIC SIDEWALK
31	BOLLARDS PER CIVIL
32	BIKE RACK - CAPACITY 2

IRRIGATION DESIGN NOTES
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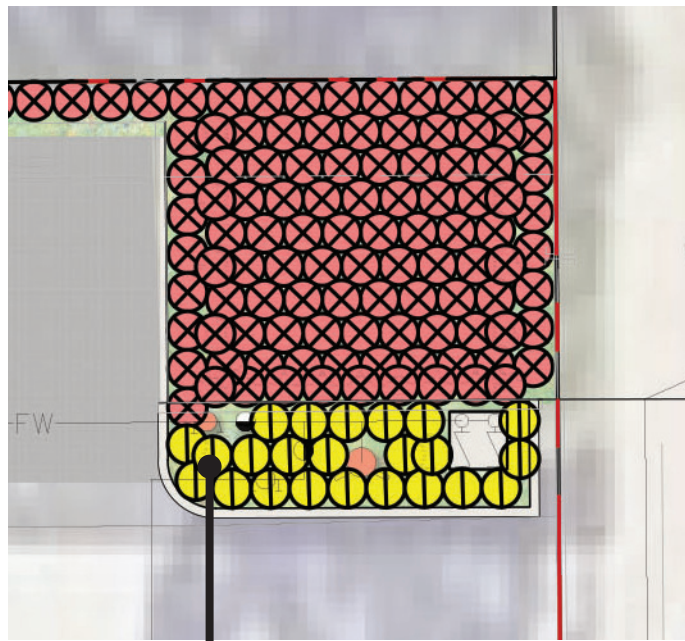
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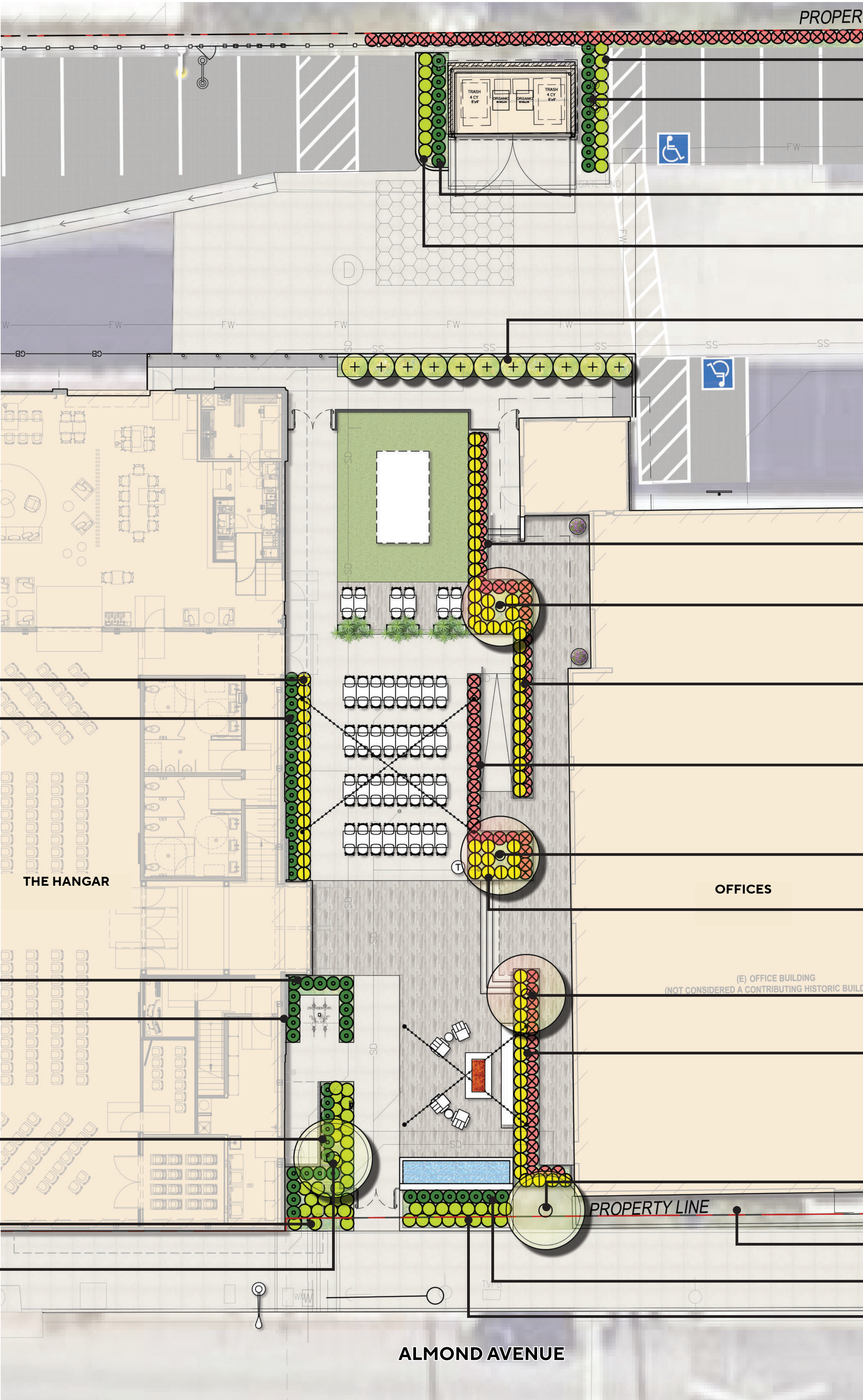
FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

THE YARD
SITE PLAN ENLARGEMENT





ENTRY PLANTING ENLARGEMENT



- 10 | LOMANDRA LONGIFOLIA 'BREEZE'
5 GAL.
- 10 | OLEA EUROPAEA 'MONTRA'
5 GAL.
- 9 | OLEA EUROPAEA 'MONTRA'
5 GAL.
- 8 | LOMANDRA LONGIFOLIA 'BREEZE'
5 GAL.
- 10 | BAMBUSA MULTIPLEX
15 GAL.
- 39 | MUHLENBERGIA CAPILLARIS 'IRVINE'
5 GAL.
- 1 | ARBUTUS X 'MARINA'
36" BOX | MULTI-TRUNK, MATCHING
- 22 | SANTOLINA CHAMAECYPARISSUS
5 GAL.
- 30 | MUHLENBERGIA CAPILLARIS 'IRVINE'
5 GAL.
- 1 | ARBUTUS X 'MARINA'
36" BOX | MULTI-TRUNK, MATCHING
- 22 | SANTOLINA CHAMAECYPARISSUS
5 GAL.
- 1 | ARBUTUS X 'MARINA'
36" BOX | MULTI-TRUNK, MATCHING
- 22 | SANTOLINA CHAMAECYPARISSUS
5 GAL.
- 1 | CERCIDIUM X 'DESERT MUSEUM'
36" BOX | MULTI-TRUNK, MATCHING
- 9 | EXISTING TO REMAIN - PROTECT IN-PLACE
- PODOCARPUS GRACILIOR
5 GAL.
- 8 | OLEA EUROPAEA 'MONTRA'
5 GAL.
- 16 | LOMANDRA LONGIFOLIA 'BREEZE'
5 GAL.

TREE LEGEND					
SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	QTY.	WUCOLS	DESCRIPTION
	ARBUTUS X 'MARINA' (MARINA STRAWBERRY TREE)	36" BOX	3	L	MULTI-TRUNK, MATCHING
	BAMBUSA MULTIPLEX (CLUMPING BAMBOO)	36" BOX	10	VL	HEDGE
	CERCIDIUM X 'DESERT MUSEUM' (DESERT MUSEUM PALO VERDE)	36" BOX	2	VL	MULTI-TRUNK, MATCHING

SHRUB LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
	LOMANDRA LANGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	57
	MUHLENBERGIA CAPILLARIS 'IRVINE'	PLUMETASTIC PINK MUHLY GRASS	5 GAL	69
	OLEA EUROPAEA 'MONTRA'	DWARF OLIVE	15 GAL	60
	SANTOLINA CHAMAECYPARISSUS	LAVENDER-COTTON	1 GAL	85

PLANTING DESIGN NOTES

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF ORANGE GUIDELINES.

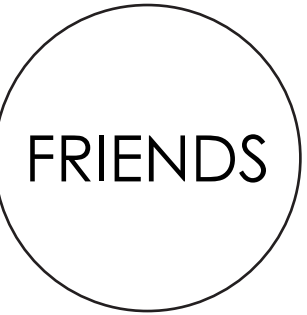
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CLIMATE ZONES FACTOR

WATER USE ABBREVIATIONS ARE AS FOLLOWS:

H = HIGH WATER NEEDS
M = MEDIUM WATER NEEDS
L = LOW WATER NEEDS
VL = VERY LOW WATER NEEDS

SUNSET ZONE: 23
USDA HARDINESS ZONE: 10b
WUCOLS REGION: SOUTH COASTAL, REGION 3

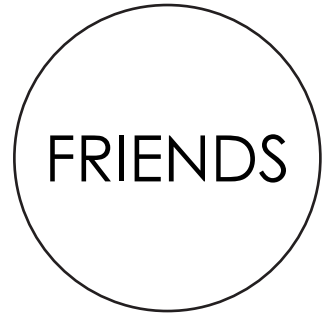


FRIENDS CHURCH - THE HANGAR

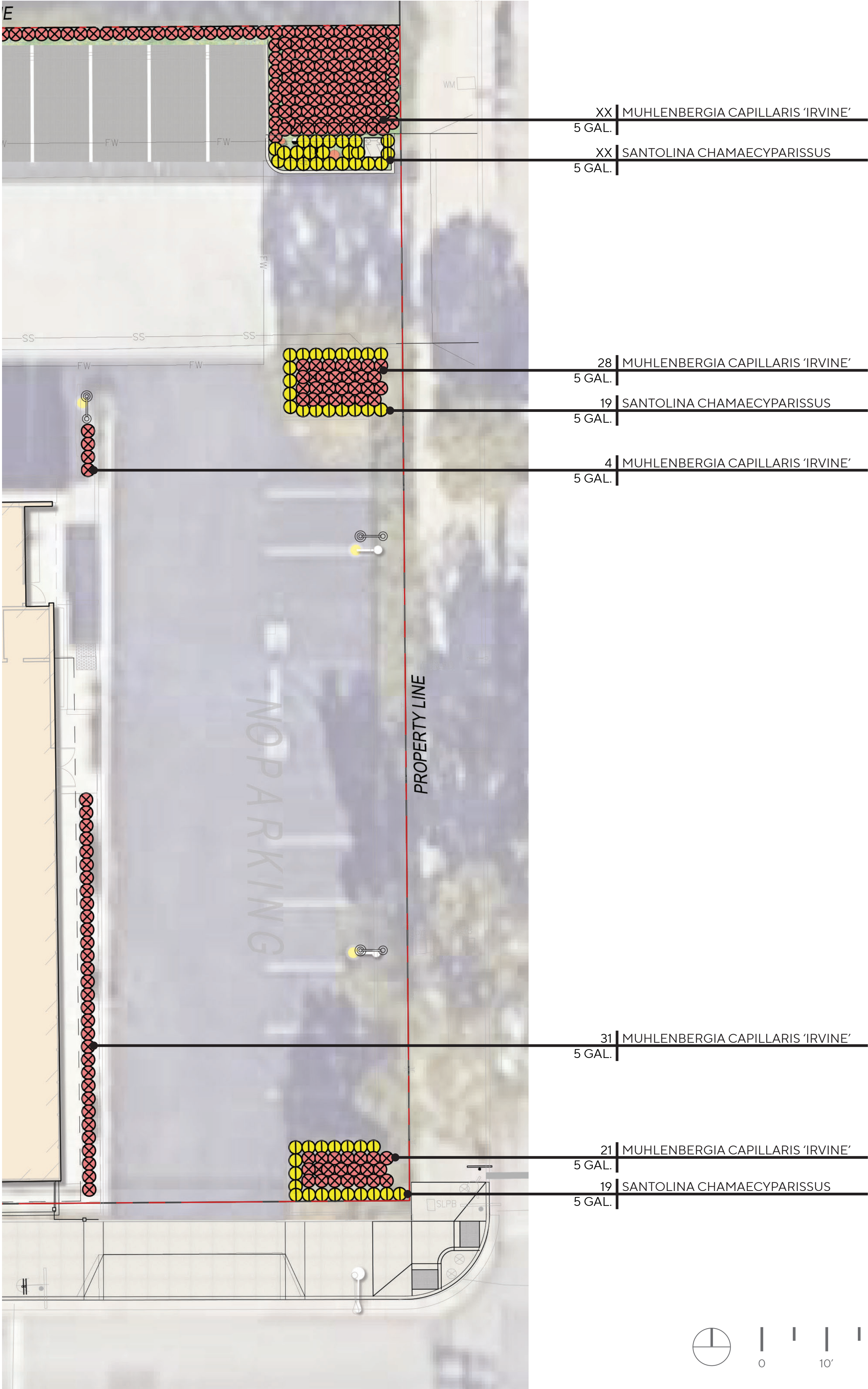
180 S. CYPRESS, ORANGE, CA

THE YARD PLANTING PLAN





FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA



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VL = VERY LOW WATER NEEDS

SUNSET ZONE: 23
USDA HARDINESS ZONE: 10b
WUCOLS REGION: SOUTH COASTAL, REGION 3

TREE IMAGES



ARBUTUS MARINA
(STRAWBERRY TREE)
HEIGHT: 20' - 30'
SPREAD: 15' - 20'
WUCOLS: M/L
FULL SUN

BAMBUSA MULTIPLEX
(CLUMPING BAMBOO)
HEIGHT: 10' - 25'
SPREAD: 4' - 6'
WUCOLS: M
FULL SUN

CERCIDIUM X 'DESERT MUSEUM'
(DESERT MUSEUM PALO VERDE)
HEIGHT: 25'
SPREAD: 25'
WUCOLS: VL
FULL SUN

SHRUB IMAGES



LOMANDRA LONGIFOLIA 'BREEZE'
(DWARF MAT RUSH)
HEIGHT: 3'
SPREAD: 3'
WUCOLS: L
FULL SUN

MUHLENBERGIA CAPILLARIS 'IRVINE'
(PLUMETASTIC PINK MUHLY GRASS)
HEIGHT: 3' - 4'
SPREAD: 3' - 4'
WUCOLS: L
FULL SUN TO PARTIAL SHADE

OLEA EUROPAEA 'MONTRA'
(LITTLE OLLIE DWARF OLIVE)
HEIGHT: 6'
SPREAD: 6'
WUCOLS: L
FULL SUN

SANTOLINA CHAMAECYPARISSUS
(LAVENDER-COTTON)
HEIGHT: 1'-3'
SPREAD: 2'-3'
WUCOLS: L
FULL SUN

WATER FEATURES



PLAY STRUCTURES



FIRE TABLE



RAISED PLANTER WALLS & BENCH



IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA

THE HANGAR - FRIENDS CHURCH

CONCEPTUAL GRADING PLAN

AREA SUMMARY:

± 48,569 S.F. / ± 1.11 ACRES

ASSESSOR'S PARCEL NUMBER:

COUNTY OF ORANGE:

APN: 390-661-05

BENCHMARK:

BM ID: SA-281-75
DESCRIPTION: 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "SA-281-75", SET IN THE SOUTHWEST CORNER OF A 4 FT. BY 15 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF THE INTERSECTION OF BATAVIA STREET AND CHAPMAN AVENUE, 66 FT. EASTERLY OF THE CENTERLINE OF BATAVIA STREET AND 32.5 FT. NORTHERLY OF THE CENTERLINE OF CHAPMAN. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 171.70 FEET (NAVD 1988)

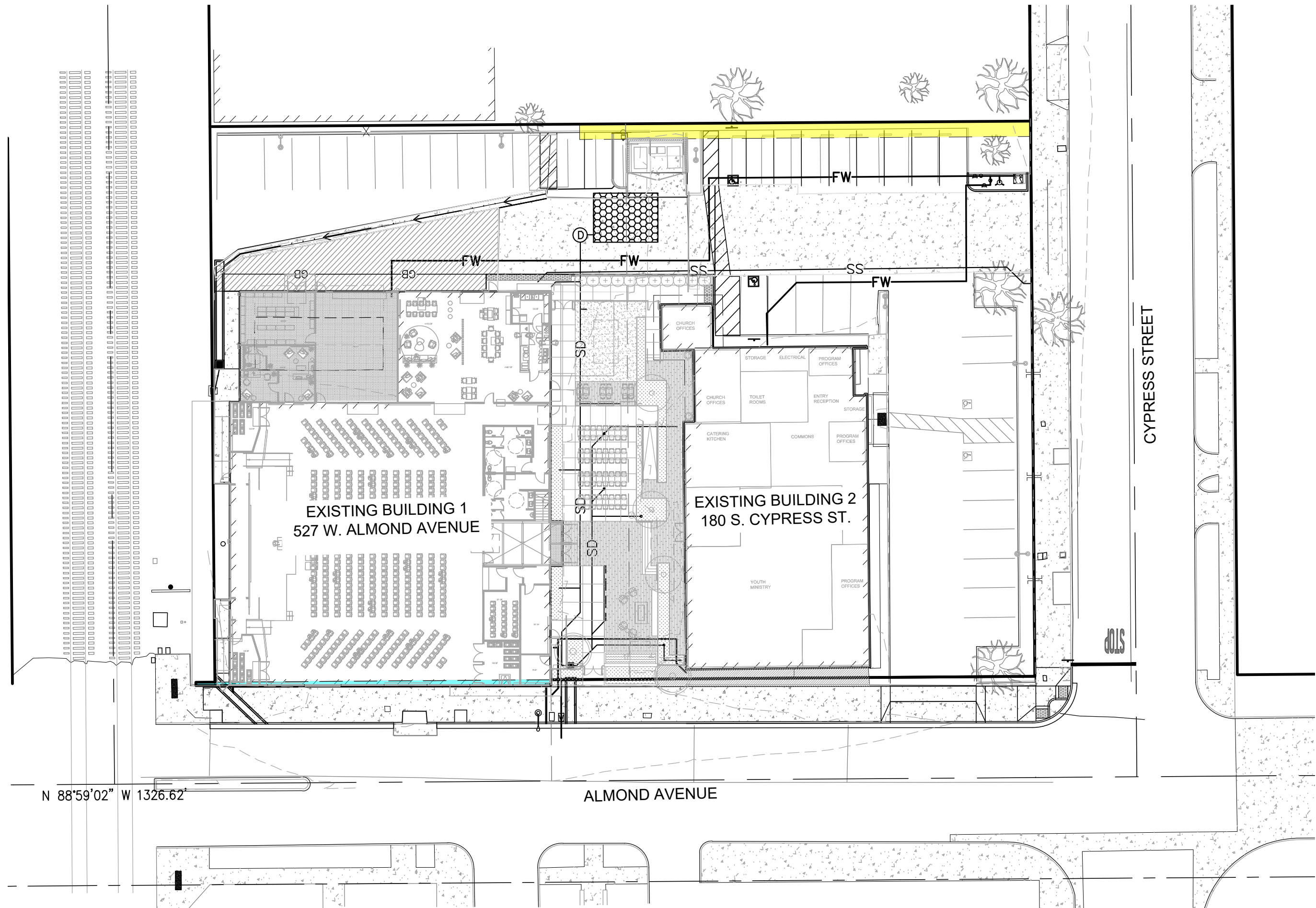
BASIS OF BEARINGS:

THE CENTERLINE OF ALMOND AVENUE BEING N 88°59'02" W BASED ON THE ORANGE COUNTY REAL TIME NETWORK (OCRTN)

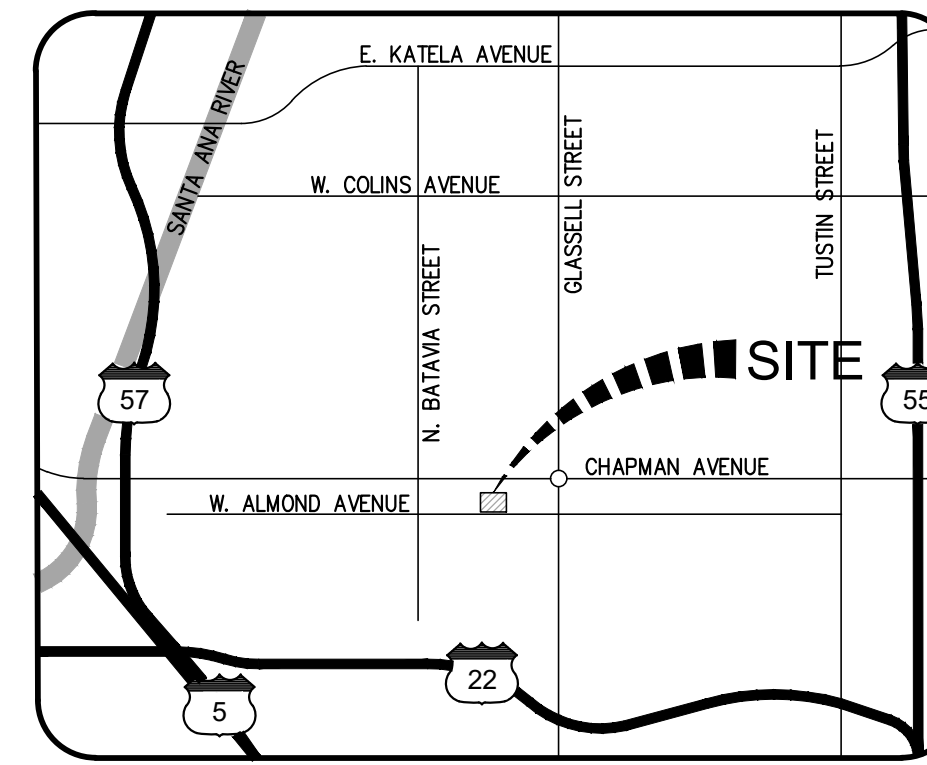
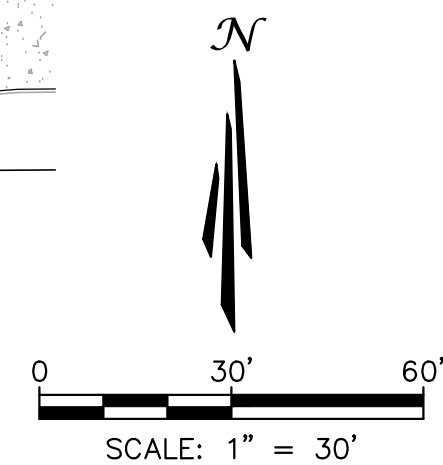
FLOOD ZONE:

PER FEMA WEBSITE:

ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD)
MAP NUMBER: 06059C0161J
EFFECTIVE DATE: DECEMBER 3, 2009



INDEX MAP
1"=30'



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET TITLE	SHEET NUMBER
TITLE SHEET	1
TOPOGRAPHIC ENCUMBRANCE & LIMIT OF IMPACT PLAN	2
CONCEPTUAL GRADING PLAN	3
CONCEPTUAL GRADING PLAN	4
CONCEPTUAL UTILITY PLAN	5
CONCEPTUAL BMP PLAN	6

APPLICANT

FRIENDS CHURCH - ORANGE
426 W ALMOND AVE.
ORANGE, CA 92866
KYLE ZIMMERMAN 949.637.7646
KYLEZ@FRIENDS.CHURCH

CIVIL

TAIT & ASSOCAITES
701 N. PARKCENTER DR.
SANTA ANA, CA 92705
(714) 560-8200

ARCHITECT

AO ARCHITECTS
144 S. ORANGE ST.
ORANGE, CA 92866
JEFF RABBITT 714.639.9860
JEFF@ARCHITECTSORANGE.COM

LANDSCAPE ARCHITECT

AO ARCHITECTS
144 S. ORANGE ST.
ORANGE, CA 92866
JEFF RABBITT 714.639.9860
JEFF@ARCHITECTSORANGE.COM

GENERAL CONTRACTOR

C.W. DRIVER
2190 S. TOWNE CENTER PLACE
ANAHEIM, CA 92806
KARL KREUTZIGER 949.444.3531
KKREUTZIGER@CWDOWNER.COM

UTILITY COMPANIES

AT&T
1452 EDINGER AVE, 3RD FLOOR
TUSTIN, CA 92780
CONTACT: NICOLE MARTEL
PHONE: (714) 227-0021
EMAIL: NM8255A@ATT.COM

CITY OF ORANGE WATER DIVISION
189 S WATER STREET
ORANGE, CA 92866-1591
PHONE: (714) 288-2541

SOUTHERN CALIFORNIA EDISON
CONTACT: DANIEL B
PHONE: (626) 664-5148

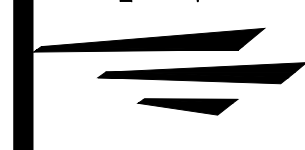
SOUTHERN CALIFORNIA GAS
COMPANY
1919 S STATE COLLEGE BLVD
ANAHEIM, CA 92806
CONTACT: JASON SUM
PHONE: (310) 687-2011
EMAIL: JSUM@SOCALGAS.COM

LAND AREA

48,804 ± S.F. / 1.120386 ± ACRES (GROSS)

NO.	DESCRIPTION	BY	DATE
1	1ST PLANNING SUBMITTAL		11/12/24
2	2ND PLANNING SUBMITTAL		02/04/25
3	3RD PLANNING SUBMITTAL		04/09/25

ENGINEERING ENVIRONMENTAL BUILDING LAND	DESIGNER	DATE
TAIT & ASSOCAITES	TAIT & ASSOCAITES	11/12/24
701 North Parkcenter Drive Santa Ana, CA 92705 p: 714.560.8200 www.tait.com	701 N. PARKCENTER DR. SANTA ANA, CA 92705 (714) 560-8200	11/12/24



TITLE SHEET	THE HANGAR FRIENDS CHURCH 527 W ALMOND AVE / 180 S CYPRESS ORANGE, CA 92866
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DATE: 2/5/2025 CHECKED: [Signature] DATE: 2/5/2025 REVISION #: DATE: JOB NO: SP9122S	1 OF 6
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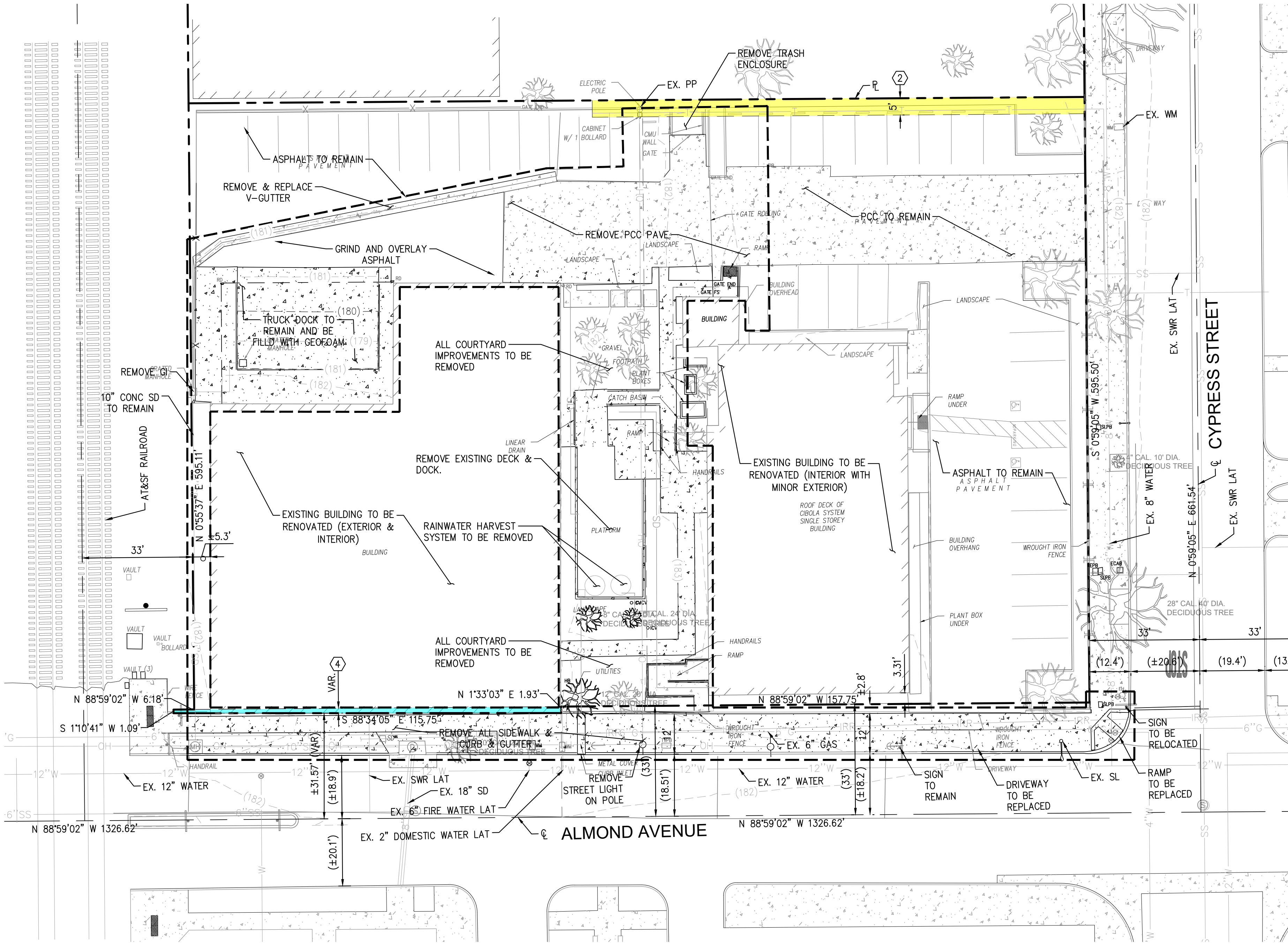


UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.



LEGEND

- LIMIT OF IMPACT/DEMOLITION
- - - CENTERLINE
- PROPERTY LINE/RIGHT OF WAY
- EXISTING CURB
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WATER
- EXISTING FIRE WATER
- EXISTING GAS

ABBREVIATION

- CL CENTER LINE
- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- AC ASPHALT CONCRETE
- PP POWER POLE
- WM WATER METER
- WV WATER VALVE
- SS SANITARY SEWER
- SD STORM DRAIN
- W WATER
- FW FIRE WATER
- FH FIRE HYDRANT
- EX. EXISTING
- EXISTING FIRE HYDRANT

TITLE REPORT:

TITLE COMPANY: FIDELITY NATIONAL TITLE
TITLE ORDER NO.: FBDO-2401694
COMMITMENT DATE: OCTOBER 2, 2024
TITLE OFFICER: TEAM ANDREW MARGO
EMAIL: THEATEAM@FNF.COM

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOTS 8, 9, 10, 11, 12 AND 13, ALL IN BLOCK B OF CHUBBS ADDITION TO THE TOWN OF ORANGE, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 12, PAGE 86 OF MISCELLANEOUS RECORDS OF LOS ANGELES COUNTY, CALIFORNIA.

TOGETHER WITH THAT PORTION OF ALMOND AVENUE, VACATED BY RESOLUTION NO. 10409 OF THE CITY OF ORANGE, A CERTIFIED COPY THEREOF BEING RECORDED DECEMBER 18, 2009 AS INSTRUMENT NO. 2009000679759, OF OFFICIAL RECORDS.

APN: 390-661-05

TITLE EXCEPTIONS:

INDICATES SHOWN HEREON, NUMBERED ACCORDING TO THE ABOVE REFERENCED PRELIMINARY TITLE REPORT.

A-B PROPERTY TAXES.

- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- EASEMENT(S) GRANTED TO: THE PACIFIC TELEPHONE & TELEGRAPH COMPANY
PURPOSE: PUBLIC UTILITIES
RECORDING APRIL 26, 1967
RECORDING NO.: BOOK 8235, PAGE 254, OF OFFICIAL RECORDS
- THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT. REDEVELOPMENT AGENCY: THE CITY OF ORANGE
RECORDING DATE: DECEMBER 3, 2001
RECORDING NO.: 20010869583, OF OFFICIAL RECORDS
- EASEMENTS FOR PUBLIC UTILITY FACILITIES, SANITARY SEWERS, STORM DRAINS AND INCIDENTAL PURPOSES OVER THAT PORTION OF THE LAND LYING WITHIN VACATED ALMOND AVENUE, AS RESERVED IN RESOLUTION NO. 10409 OF THE CITY COUNCIL OF THE CITY OF ORANGE, A CERTIFIED COPY OF WHICH RECORDED DECEMBER 18, 2009 AS INSTRUMENT NO. 2009000679759, OF OFFICIAL RECORDS.

A DEED OF TRUST TO SECURE AN INDEBTEDNESS
DATED: JANUARY 29, 2010
RECORDING NO.: 2010000050857, OF OFFICIAL RECORDS

AN AGREEMENT TO MODIFY THE TERMS AND PROVISIONS OF SAID DEED OF TRUST AS THEREIN PROVIDED
EXECUTED BY: CYPRESS ALMOND, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND COMERICA BANK
RECORDING DATE: APRIL 26, 2021
RECORDING NO.: 2021000278143, OF OFFICIAL RECORDS

AN ASSIGNMENT OF ALL THE MONEYS DUE, OR TO BECOME DUE AS RENTAL, AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY DEED OF TRUST SHOWN AS ITEM NO. 5
DATED: FEBRUARY 1, 2010
RECORDING NO.: 2010000050855, OF OFFICIAL RECORDS

A DEED OF TRUST TO SECURE AN INDEBTEDNESS
DATED: FEBRUARY 15, 2012
RECORDING DATE: FEBRUARY 17, 2012
RECORDING NO.: 2012000091914, OF OFFICIAL RECORDS

AN ASSIGNMENT OF THE BENEFICIAL INTEREST UNDER SAID DEED OF TRUST
RECORDING DATE: FEBRUARY 17, 2012
RECORDING NO.: 2012000091915, OF OFFICIAL RECORDS

AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: SUBORDINATION AGREEMENT
LESSOR: CYPRESS ALMOND, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
LESSEE: CIBOLA SYSTEMS CORPORATION, A CALIFORNIA CORPORATION

RECORDING DATE: FEBRUARY 17, 2012
RECORDING NO.: 2012000091917, OF OFFICIAL RECORDS

AN AGREEMENT RECORDED FEBRUARY 17, 2012 AS INSTRUMENT NO. 2012000091917, OF OFFICIAL RECORDS, WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT
ENTITLED: DEED OF TRUST WITH ASSIGNMENT OF RENTS
RECORDING DATE: FEBRUARY 17, 2012
RECORDING NO.: 2012000091915, OF OFFICIAL RECORDS

THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN

MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: THIRD PARTY LENDER AGREEMENT
DATED: FEBRUARY 15, 2012
RECORDING NO.: 2012000091918, OF OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. IN ORDER TO DELETE THE SURVEY EXCEPTION SHOWN ABOVE, A SATISFACTORY SURVEY OF THE SUBJECT LAND, WHICH COMPLIES WITH THE MINIMUM STANDARDS FOR LAND SURVEYS MADE FOR TITLE INSURANCE PURPOSES, IS TO BE FURNISHED TO THE COMPANY. THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS AS DISCLOSED BY THE SURVEY, OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION.

ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.

MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.

ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE. THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.

THE TRANSACTION CONTEMPLATED IN CONNECTION WITH THIS REPORT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE COMPANY'S CORPORATE UNDERWRITING DEPARTMENT. THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS OR MAKE FURTHER REQUIREMENTS AFTER SUCH REVIEW.

AREA SUMMARY:

± 48,569 S.F. / ± 1.11ACRES

ASSESSOR'S PARCEL NUMBER:

COUNTY OF ORANGE:

APN: 390-661-05

BENCHMARK:

BM ID: SA-281-75
DESCRIPTION: 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "SA-281-75", SET IN THE SOUTHWEST CORNER OF A 4 FT. BY 15 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTLY CORNER OF THE INTERSECTION OF BATAVIA STREET AND CHAPMAN AVENUE, 66 FT. EASTERLY OF THE CENTERLINE OF BATAVIA AND 32.5 FT. NORTHERLY OF THE CENTERLINE OF CHAPMAN. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 171.70 FEET (NAVD 1988)

BASIS OF BEARINGS:

THE CENTERLINE OF ALMOND AVENUE BEING N 88°59'02" W BASED ON THE ORANGE COUNTY REAL TIME NETWORK (OCRTN)

FLOOD ZONE:

PER FEMA WEBSITE:

ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD)
MAP NUMBER: 060500161J
EFFECTIVE DATE: DECEMBER 3, 2009

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

ENGINEER'S NOTE:

THE DEPICTED PROPERTY LINES ARE RECORD PROPERTY LINES AND DO NOT REPRESENT A BOUNDARY SURVEY. THE PURPOSE OF THIS EXHIBIT IS TO REVIEW THE PROPOSED SITE IMPACTS WITH AN OVERLAY OF THE RECORD BOUNDARY AND ENCUMBRANCES AS IDENTIFIED IN THE NOTED TITLE REPORT.

TOPOGRAPHIC ENCUMBRANCE & LIMIT OF IMPACT PLAN

THE HANGAR
FRIENDS CHURCH
527 W ALMOND AVE / 180 S CYPRESS
ORANGE, CA 92866

DATE: 11/12/2024
CHECKED: 02/04/25
DATE: 11/12/2024
REVISION #:
DATE:
JOB NO: SP91225

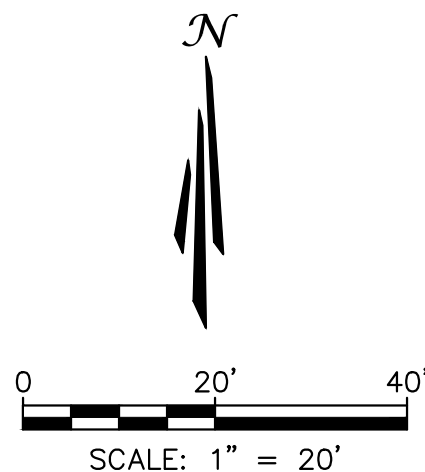
NO	DESCRIPTION	BY	DATE
1	1ST PLANNING SUBMITTAL		11/12/24
2	2ND PLANNING SUBMITTAL		02/04/25
3	3RD PLANNING SUBMITTAL		04/09/25
NOI	DESCRIPTION		

701 North Parkcenter Drive
Santa Ana, CA 92705
p: 714.580.8200
www.tait.com

ENGINEERING ENVIRONMENTAL BUILDING LAND
SURVEYING PLANNING RECORDS

Denver
Boulder
Atlanta

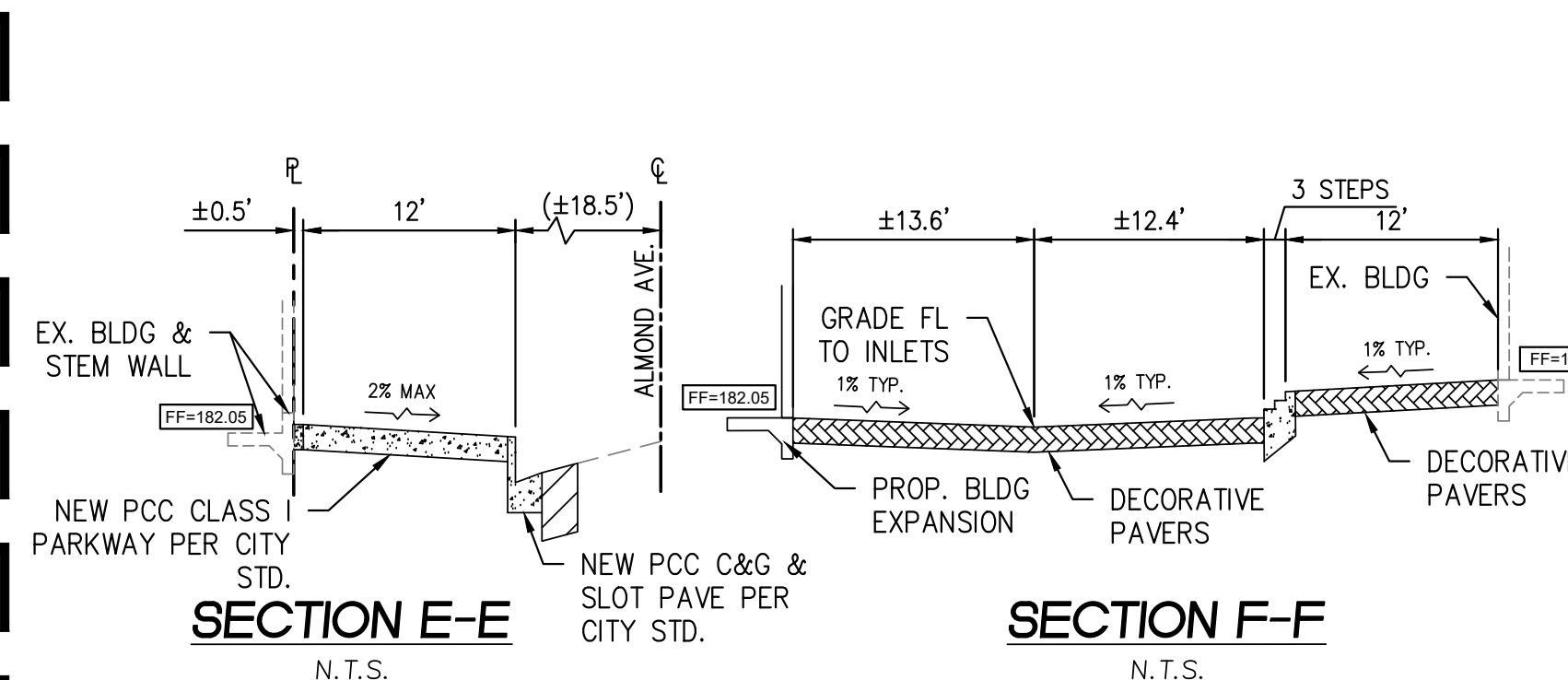
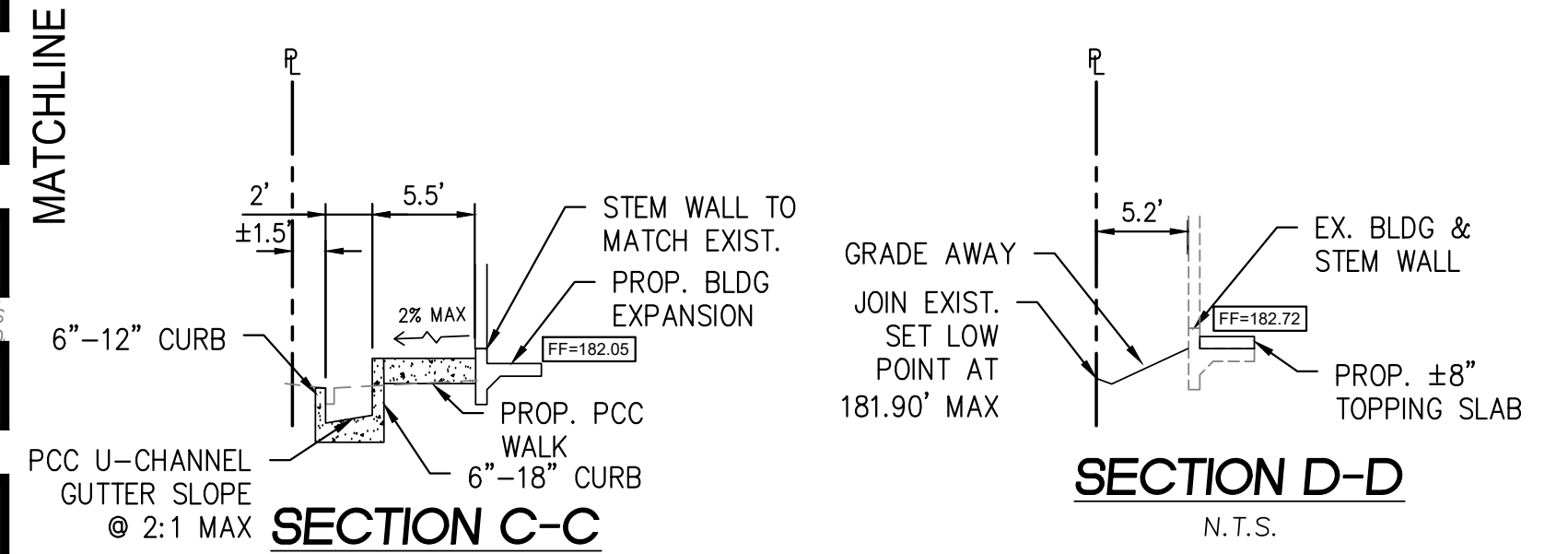
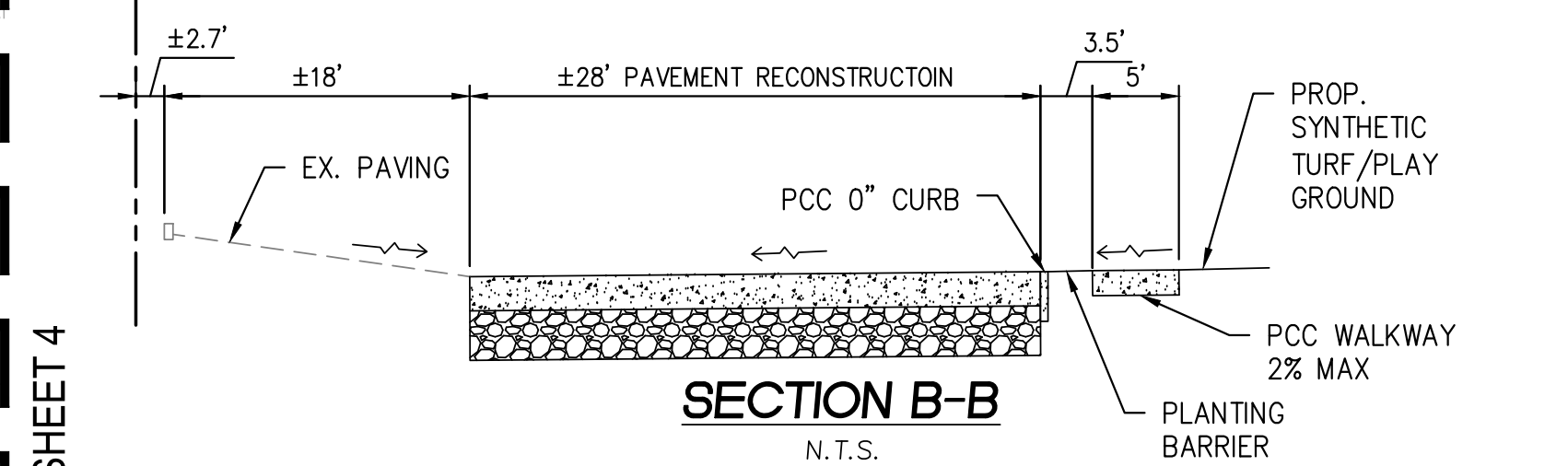
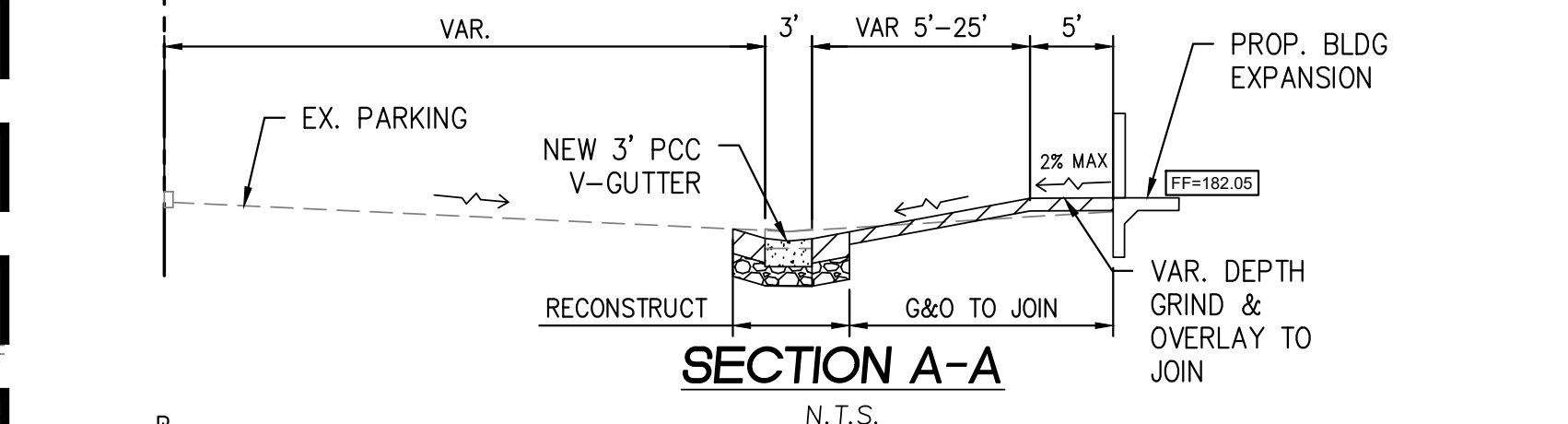
Since 1944



AT&SF RAILWAY

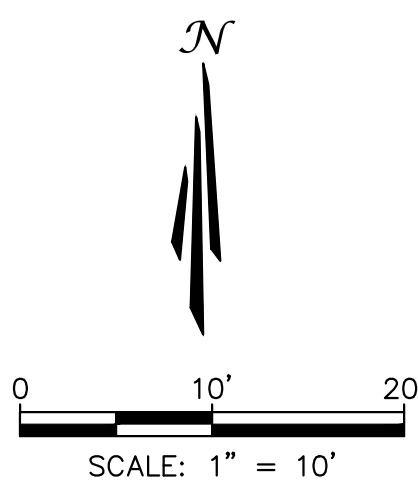
ALMOND AVENUE

LEGEND & ABBREVIATIONS	
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	CENTERLINE
---	RIGHT OF WAY
---	PROPERTY LINE
---	EASEMENT LINE
---	PROPOSED CURB
---	EXISTING CURB
---	RIDGE LINE/ GRADE BREAK
---	PROPOSED FIRE WATER LINE
---	PROPOSED SANITARY SEWER
---	PROPOSED WATER
---	PROPOSED STORM DRAIN
---	EXISTING SANITARY SEWER
---	EXISTING STORM DRAIN
---	EXISTING WATER
---	ACCESSIBLE PATH OF TRAVEL
---	FIRE ACCESS ROAD/EASEMENT
BOL	BOLLARD
CF	CURB FACE
CL	CENTER LINE
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
DW	DOMESTIC WATER
EX.	EXISTING
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FINISHED SURFACE
PL	PROPERTY LINE
PP	POWER POLE
PROP.	PROPOSED
R/W	RIGHT-OF-WAY
RW	RECLAIMED WATER
SD	STORM DRAIN
SS	SANITARY SEWER
SWLK	SIDEWALK
TC	TOP OF CURB
TG	TOP OF GRATE
WM	WATER METER



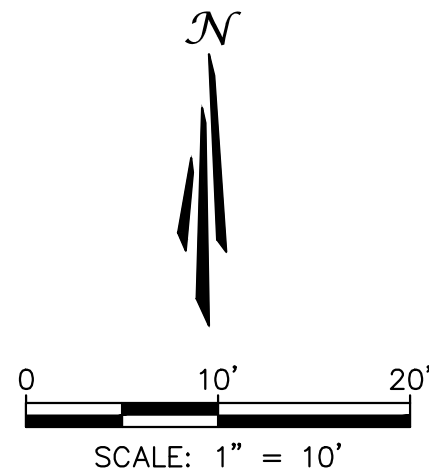
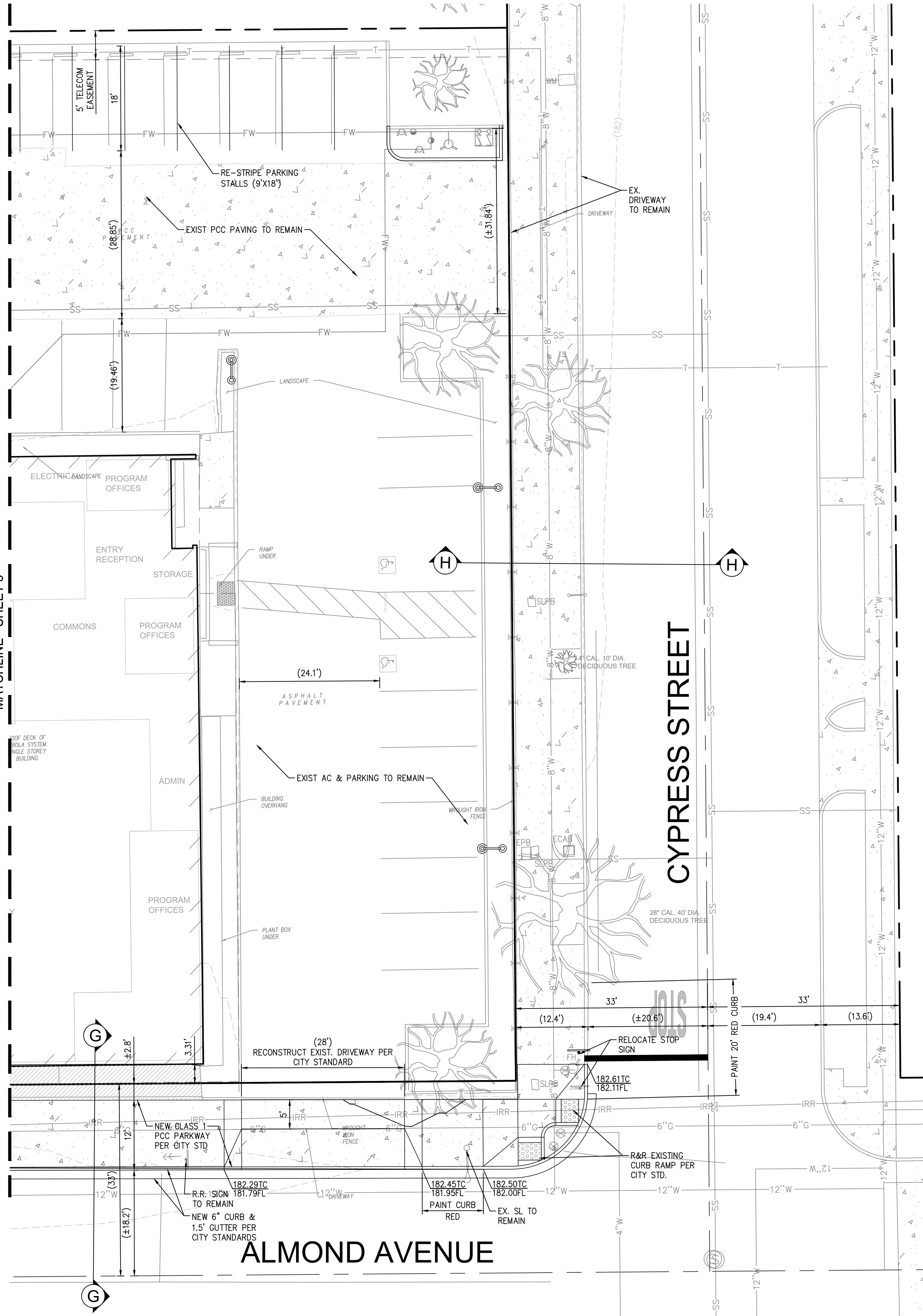
CONCEPTUAL GRADING & DRAINAGE NOTES

** SEE SHEET 4 FOR GRADING AND DRAINAGE NOTES

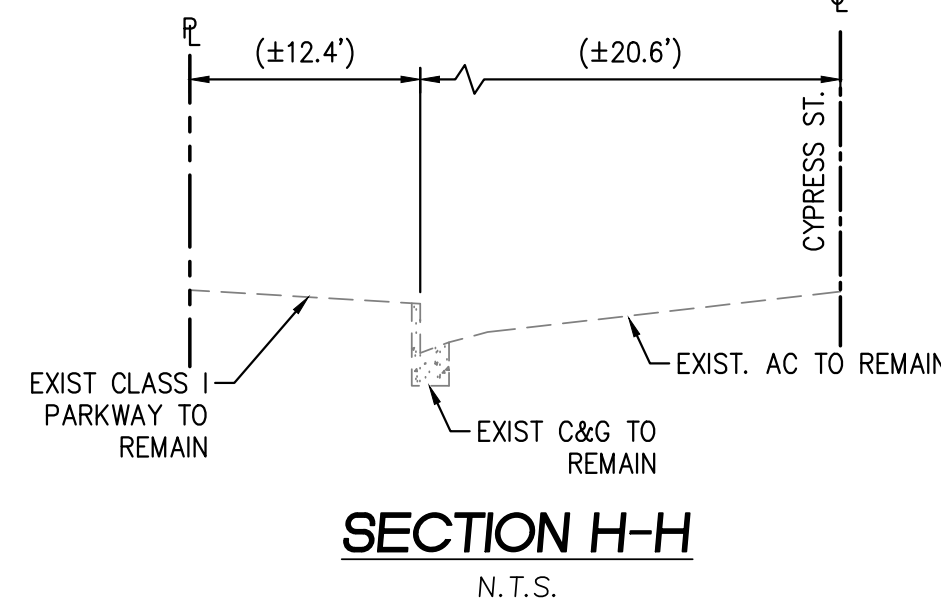
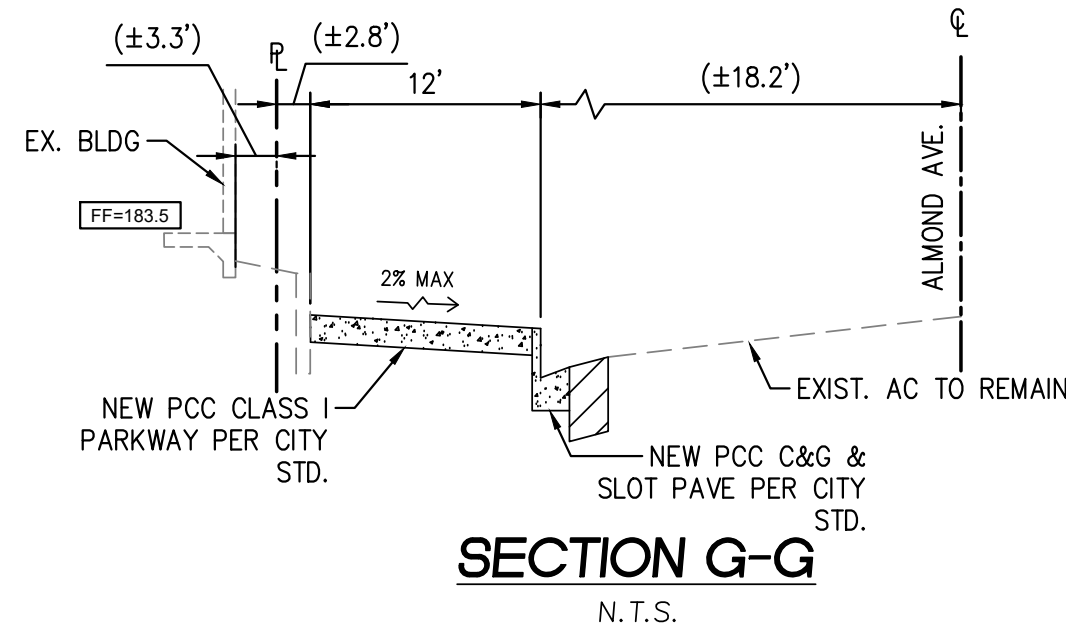


CONCEPTUAL GRADING PLAN	
THE HANGAR FRIENDS CHURCH 527 W ALMOND AVE / 180 S CYPRESS ORANGE, CA 92666	
DATE: 4/9/2025 CHECKED: D. SLOAN DATE: 4/9/2025 REVISION #: DATE: JOB NO: SP91225	11/12/24 1ST PLANNING SUBMITTAL 02/04/25 2ND PLANNING SUBMITTAL 04/09/25 3RD PLANNING SUBMITTAL
NO. DESCRIPTION	REVISIONS
BY	DATE
TAIT & ASSOCIATES ENGINEERING ENVIRONMENTAL BUILDING LAND SANTA ANA, CA 92705 P: 714.580.8200 WWW.TAIT.COM SINCE 1944	
701 North Parkcenter Drive Santa Ana, CA 92705 p: 714.580.8200 www.tait.com ENGINEERING ENVIRONMENTAL BUILDING LAND SANTA ANA, CA 92705 P: 714.580.8200 WWW.TAIT.COM SINCE 1944	
K:\Drawings\SP\SP91225 - Orange\ENG\Conceptual Plans\SP1225_CG.dwg PLOTED: 4/10/2025 5:47:05 AM BY David Sloan PAGES: 10 OF 10	

MATCHLINE - SHEET 3



LEGEND & ABBREVIATIONS			
	EXISTING CONTOURS	BOL	BOLLARD
	PROPOSED CONTOURS	CF	CURB FACE
	CENTERLINE	CL	CENTER LINE
	RIGHT OF WAY	DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
	PROPERTY LINE	DW	DOMESTIC WATER
	EASEMENT LINE	EX.	EXISTING
	PROPOSED CURB	FF	FINISH FLOOR
	EXISTING CURB	FH	FIRE HYDRANT
	RIDGE LINE/ GRADE BREAK	FL	FLOWLINE
	PROPOSED FIRE WATER LINE	FS	FINISHED SURFACE
	PROPOSED SANITARY SEWER	PL	PROPERTY LINE
	PROPOSED WATER	PP	POWER POLE
	PROPOSED STORM DRAIN	PROP.	PROPOSED
	EXISTING SANITARY SEWER	R/W	RIGHT-OF-WAY
	EXISTING STORM DRAIN	RW	RECLAIMED WATER
	EXISTING WATER	SD	STORM DRAIN
	EXISTING WATER	SS	SANITARY SEWER
	ACCESSIBLE PATH OF TRAVEL	SWLK	SIDEWALK
	FIRE ACCESS ROAD/EASEMENT	TC	TOP OF CURB
		TG	TOP OF GRATE
		WM	WATER METER



GRADING NOTES

- WESTERLY TRIBUTARY:
- ASPHALT GRIND AND OVERLAY WILL BE REQUIRED ALONG THE NORTHERLY FACE OF THE WAREHOUSE BUILDING TO BLEND THE EXPANDED BUILDING FOOTPRINT TO THE EXISTING GRADES. DRAINAGE PATTERNS ALONG THE NORTH OF THE STRUCTURE WILL BE MAINTAINED WITH SURFACE RUNOFF BEING DIRECTED TO THE WESTERLY PROPERTY LINE.
 - THE FFE OF THE WESTERN EGRESS DOORS WILL BE RAISED BY 8" IN ORDER TO PROVIDE SEPARATION FROM THE SECONDARY OVERFLOW DRAINAGE COURSE THAT IS LOCATED ALONG THE RAILROAD RIGHT OF WAY. EGRESS PATHS WILL BE RAISED ABOVE EXISTING GRADE AND JOIN PATHS OF TRAVEL ALONG THE NORTH AND SOUTH.

CENTRAL TRIBUTARY:

- EXISTING COURTYARD IMPROVEMENTS WILL BE FULLY REMOVED WITH THE TRUCK DOCK PROTECTED IN PLACE TO THE MAXIMUM EXTENT POSSIBLE. GRATED INLETS, SLOT DRAINS, AND SUBDRAIN SYSTEMS WILL BE UTILIZED TO CAPTURE SURFACE RUNOFF AND DIRECT THE RUNOFF TO A CATCH BASIN LOCATED AT THE SOUTHERLY CORNER OF THE COURTYARD (SEE DRAINAGE AND WATER QUALITY SECTION FOR FURTHER DETAIL)
- THE FFE OF THE EASTERLY OFFICE BUILDING IS APPROXIMATELY 1.5' HIGHER THAN THE WAREHOUSE BUILDING. STAIRS AND ADA COMPLIANT RAMPS WILL BE UTILIZED TO COMBINE PATHS OF TRAVEL FROM THE EASTERLY OFFICE BUILDING TO THE WAREHOUSE.
- ADA PARKING STALLS WILL BE STRIPED AND DESIGNATED AT THE NORTHEAST CORNER OF THE COURTYARD TO SERVICE THE PROPOSED HANGER STRUCTURE. GRADING AND ADA COMPLIANCE REVIEW WILL BE CONDUCTED ON THE EXISTING STALLS TO CONFIRM IF GRADING IMPROVEMENTS ARE REQUIRED TO ACHIEVE REQUIRED GRADS.

EASTERN TRIBUTARY:

- NO MODIFICATIONS OR GRADING IMPROVEMENTS ARE PROPOSED WITHIN THE EASTERN TRIBUTARY

PUBLIC STREET IMPROVEMENTS:

- EXISTING SIDEWALK AND CURB AND GUTTER WILL BE REMOVED AND REPLACED ALONG THE ENTIRE FRONTAGE OF ALMOND AVENUE. NEW SIDEWALK WILL BE CONSTRUCTED PER CLASS I PARKWAY CITY OF ORANGE STANDARDS.
- EXISTING DRIVEWAY ALONG ALMOND AVENUE WILL BE RECONSTRUCTED PER CITY STANDARDS
- EXISTING CURB RAMP AT THE NORTHWEST CORNER OF ALMOND & CYPRESS WILL BE RECONSTRUCTED.
- EXISTING STREET LIGHT ON POWER POLE WILL BE REMOVED AND A NEW STREET LIGHT, PULL BOX, AND CONDUIT WILL BE INSTALLED ON ALMOND AVENUE PER CITY STANDARDS.

STREET IMPROVEMENTS ON CYPRESS STREET WILL REMAIN UNCHANGED.

DRAINAGE NOTES

- PROPOSED SITE DRAINAGE WILL MATCH EXISTING DRAINAGE PATTERNS AND DISCHARGE ALL SITE RUNOFF TO THE CURB AND GUTTER OF ALMOND AVENUE. FURTHER HYDROLOGY AND HYDRAULIC STUDIES WILL BE REQUIRED TO VERIFY ADEQUACY OF EXISTING DRAINAGE SYSTEMS AND TO CONFIRM THE HGL OF ANTICIPATED LARGE STORM EVENTS. THE CONCEPTS BELOW OUTLINE THE APPROACH THAT WILL BE TAKEN WITHIN EACH TRIBUTARY:

WESTERLY TRIBUTARY:

- PRIMARY CAPTURE OF DRAINAGE WILL BE IN EXISTING 24" GRATED IN LET AT WESTERN EDGE OF PROPERTY WHICH FLOWS TO A 10" CONCRETE PIPE AND SUBSEQUENT 18"/21" CMP ARCH CULVERT UNDER THE RAILROAD.
- SECONDARY CAPTURE AND FLOOD PROTECTION WILL BE PROVIDED ALONG THE WESTERN PROPERTY LINE WITH A HIGH FLOW PARKWAY DRAIN CONNECTING ANY RUNOFF NOT CAPTURED IN THE STORM DRAIN TO THE CURB AND GUTTER ALONG ALMOND STREET.

CENTRAL TRIBUTARY:

- ALL DRAINAGE CAPTURED VIA INLETS AND ROOF DRAINS WILL BE DIRECTED TO THE 24" GRATED INLET LOCATED AT THE SOUTHERN EDGE OF THE COURTYARD. WATER QUALITY FLOWS WILL BE DIVERTED FROM THIS INLET TO THE ULTIMATE WATER QUALITY TREATMENT SYSTEM (SEE BELOW).
- PEAK FLOW RUNOFF FROM SMALL AND LARGE STORM EVENTS WILL THEN BE DESIGNED TO SPILL OUT OF THE 24" GRATED INLET TO THE PROPOSED 24" PARKWAY DRAIN TOWARDS ALMOND AVENUE.
- DEPENDING ON RESULTS OF THE HYDROLOGY REPORT AND PRE/POST RUNOFF ANALYSIS, THE EXISTING TRUCK DOCK VOID SPACE MAY CONTINUE TO BE UTILIZED FOR PEAK FLOW MITIGATION MEASURES. FURTHER STUDIES ARE PENDING AND WILL BE SUBMITTED TO THE CITY DURING PERMITTING PHASE.

EASTERN TRIBUTARY:

- NO MODIFICATIONS OR GRADING IMPROVEMENTS ARE PROPOSED WITHIN THE EASTERN TRIBUTARY

WATER QUALITY NOTES

- SEE SHEET 6 FOR THE PROJECT BMP PLAN. THE PROPOSED PROJECT WILL RECONSTRUCT AND GRADE MORE THAN 5,000 SF OF IMPERVIOUS AREA AND WILL BE SUBJECT TO IMPLEMENTATION OF WATER QUALITY IMPROVEMENTS.

NO.	DESCRIPTION	BY	DATE
1	1ST PLANNING SUBMITTAL		11/12/24
2	2ND PLANNING SUBMITTAL		02/04/25
3	3RD PLANNING SUBMITTAL		04/09/25

701 North Parkcenter Drive
Santa Ana, CA 92705
p: 714.580.8200
www.tait.com

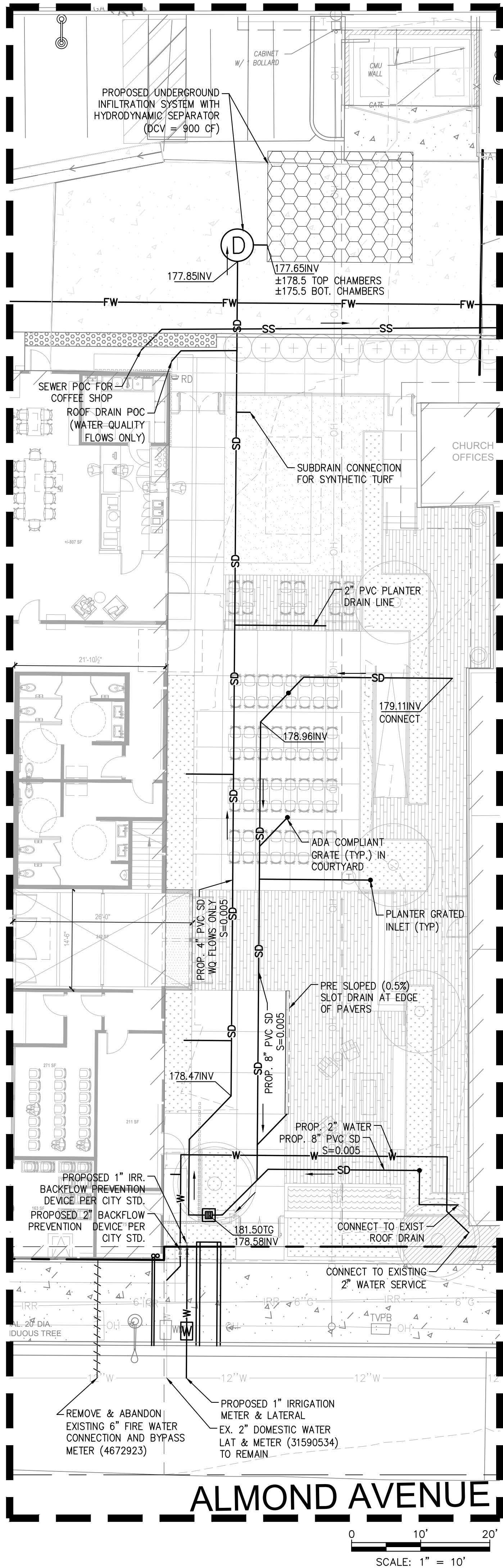
TAIT
& ASSOCIATES
Since 1944

ENGINEERING ENVIRONMENTAL BUILDING LAND
Sacramento Santa Clara San Luis Obispo
Denver Boulder Boise Atlanta

CONCEPTUAL GRADING PLAN

THE HANGER
FRIENDS CHURCH
527 W ALMOND AVE / 180 S CYPRESS
ORANGE, CA 92666

DATE: 4/9/2025	JOB NO: SP9122S
CHECKED: 4/9/2025	
DATE: 4/9/2025	
REVISION #:	
DATE:	



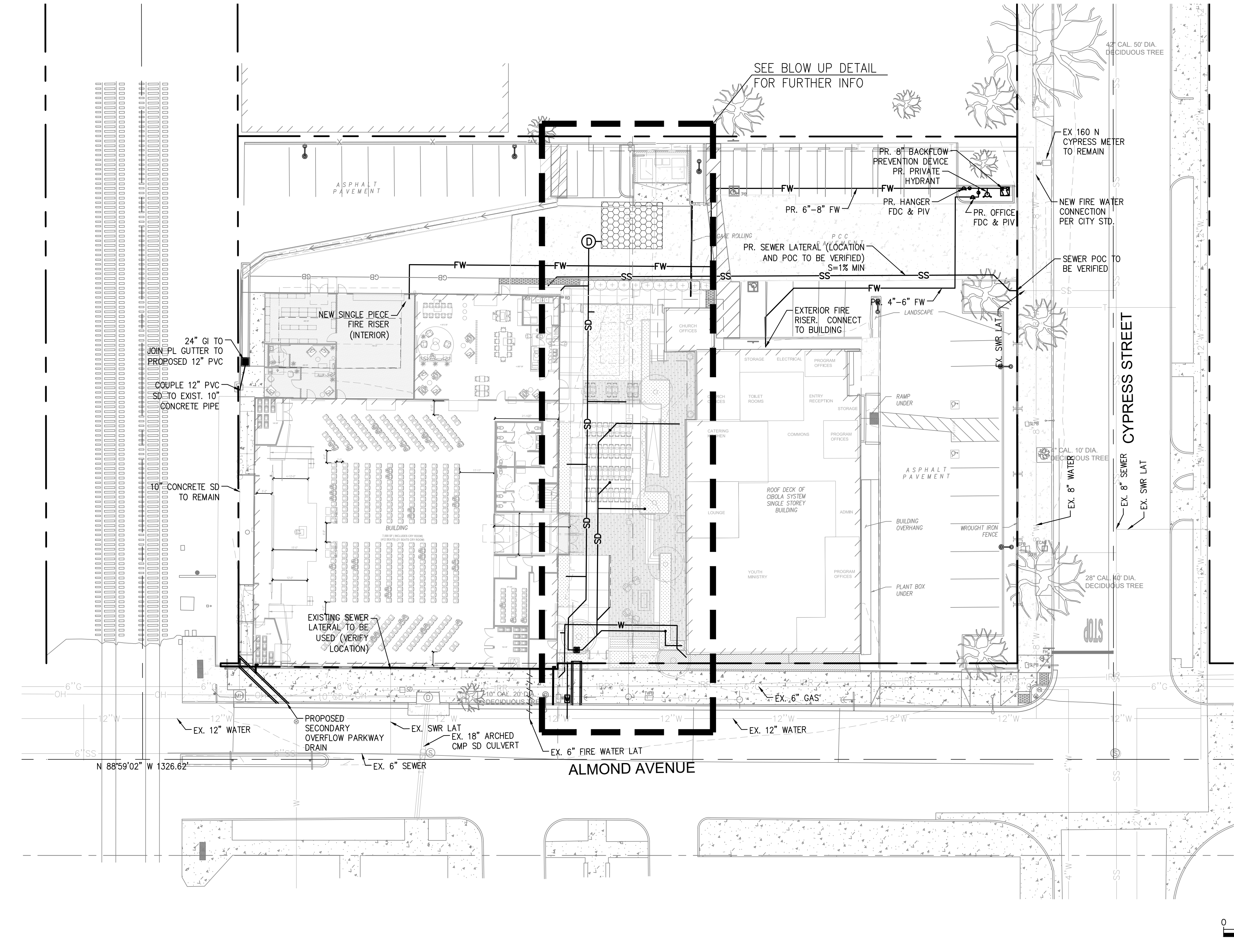
SITE UTILITY NOTES

- DOMESTIC WATER SYSTEM**
- BOTH STRUCTURES ON THE EXISTING SITE ARE SERVICED BY A SINGLE, 2" WATER METER LOCATED ON ALMOND AVENUE.
 - EXISTING 2" SERVICES WILL BE INTERCEPTED AFTER THE METER AND WILL BE DIRECTED TO A NEW 2" BACKFLOW DEVICE. SERVICES WILL THEN BE ROUTED ON SITE AND RECONNECTED TO THE TWO EXISTING STRUCTURES.

- FIRE WATER SYSTEM**
- THE HANGAR BUILDING IS CURRENTLY SERVICED BY A DIRECT FIRE WATER CONNECTION AND UNDERGROUND CHECK VALVE ON ALMOND AVENUE. THE OFFICE BUILDING IS CURRENTLY UN-SPRINKLERED.
 - EXISTING FIRE WATER SERVICE ON ALMOND AVENUE IS PROPOSED FOR ABANDONMENT PER CITY STANDARDS AND A NEW 6" - 8" FIRE WATER CONNECTION IS PROPOSED ON CYPRESS STREET (PENDING FINAL HYDRAULIC ANALYSIS).
 - A NEW BACKFLOW PREVENTION DEVICES AND PRIVATE FIRE HYDRANT WILL BE CONSTRUCTED ON SITE PER ORANGE FIRE CLEARANCE REQUIREMENTS
 - A DEDICATED FIRE WATER CONNECTION WILL BE CONSTRUCTED FOR EACH BUILDING WITH ASSOCIATED PIV AND FDC TO SERVICES THE PROPOSED SPRINKLER SYSTEMS.

- IRRIGATION WATER SYSTEM**
- NO DEDICATED IRRIGATION METER OR BACKFLOW DEVICE CURRENTLY EXISTS ON SITE.
 - THE PROPOSED DEVELOPMENT WILL INSTALL A SINGLE, 1" IRRIGATION METER AND BACKFLOW PREVENTION DEVICE TO SERVICE THE PROPOSED LANDSCAPING IMPROVEMENTS.

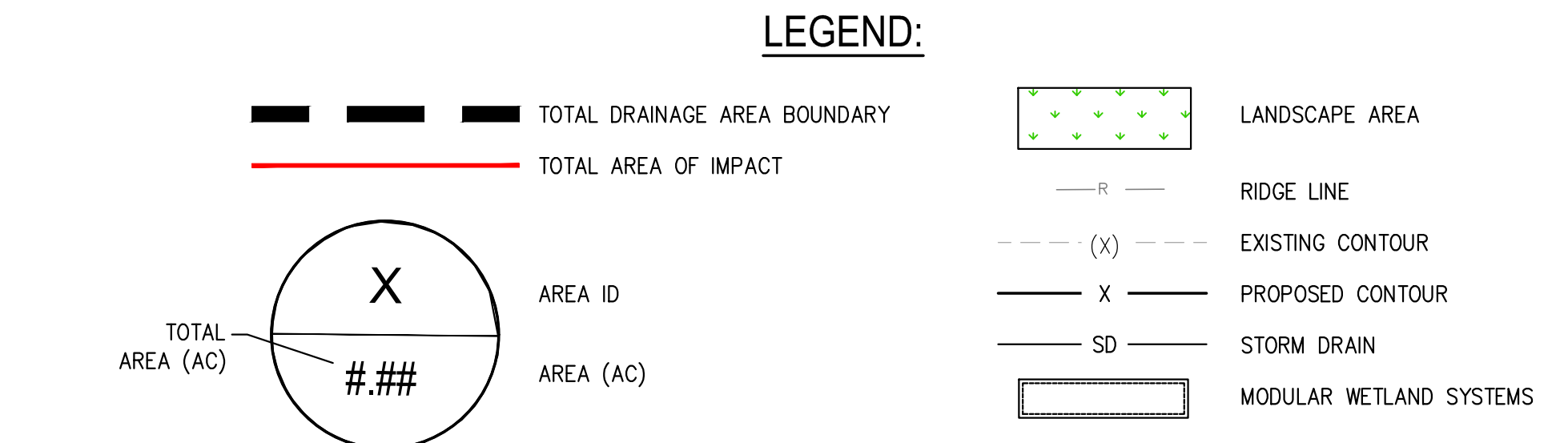
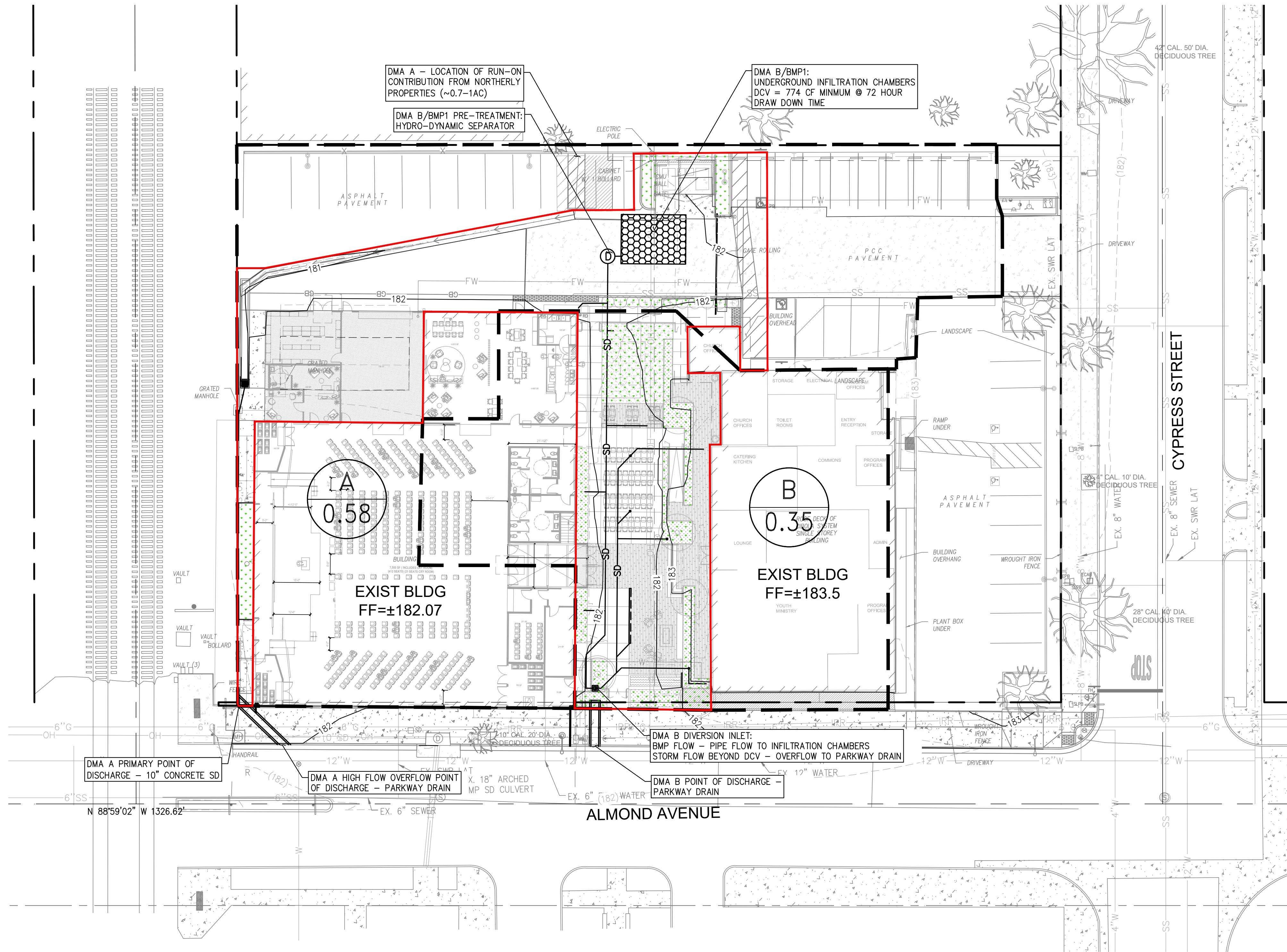
- SEWER SYSTEM**
- THE HANGAR BUILDING IS CURRENTLY SERVICED BY A SEWER LATERAL ON ALMOND AVENUE WHICH CONNECTS TO AN EXISTING 6" VCP SEWER MAIN THAT FLOWS WESTERLY.
 - THE OFFICE BUILDING IS CURRENTLY SERVICED BY A SEWER LATERAL ON CYPRESS STREET WHICH CONNECTS TO AN EXISTING 8" VCP SEWER MAIN.
 - EXISTING SEWER LATERALS FOR BOTH STRUCTURES ARE PROPOSED FOR REUSE. UTILITY LOCATING WILL BE REQUIRED TO CONFIRM THE LOCATION AND DEPTH OF THE EXISTING SEWER LATERALS.
 - PENDING POTENTIAL DEPTH CONSTRAINTS, A NEW SEWER LATERAL HAS BEEN SHOWN TO CONNECT THE COFFEE SHOP PLUMBING TO THE EXISTING SEWER MAIN ON CYPRESS STREET. THE ON-SITE SEWER WILL CONNECT TO AN EXISTING SEWER LATERAL FOR THE SITE WHICH WAS USED TO SERVICE PRIOR IMPROVEMENTS ON THE OFFICE PROPERTY.



LEGEND & ABBREVIATIONS

---	CENTERLINE	BOL	BOLLARD
---	PROPERTY LINE	CB	CATCH BASIN
---	PROPOSED CURB	CF	CURB FACE
---	EXISTING CURB	CL	CENTER LINE
FW	PROPOSED FIRE WATER LINE	DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
SD	PROPOSED STORM DRAIN	DW	DOMESTIC WATER
SS	EXISTING SANITARY SEWER	EX.	EXISTING
---	EXISTING STORM DRAIN	FDC	FIRE DEPARTMENT CONNECTION
W	EXISTING WATER	FF	FINISH FLOOR
FW	EXISTING FIRE WATER	FH	FIRE HYDRANT
G	EXISTING GAS	FL	FLOWLINE
---	EXISTING FIRE HYDRANT	FS	FINISHED SURFACE
---	PROPOSED FIRE HYDRANT	FW	FIRE WATER
---	PROPOSED DCDA	INV	INVERT
---	PROPOSED PIV	PIV	POST INDICATOR VALVE
---	PROPOSED FDC	P	PROPERTY LINE
---	PROPOSED STORM DRAIN MANHOLE	PP	POWER POLE
---	PROPOSED STORM DRAIN GRATE	PROP.	PROPOSED
---	FIRE ACCESS ROAD/EASEMENT	R/W	RIGHT-OF-WAY
		RW	RECLAIMED WATER
		SD	STORM DRAIN
		SS	SANITARY SEWER
		SWLK	SIDEWALK
		TC	TOP OF CURB
		TG	TOP OF GRATE
		WM	WATER METER

NO	DESCRIPTION	BY	DATE
1	1ST PLANNING SUBMITTAL		11/12/24
2	2ND PLANNING SUBMITTAL		02/04/25
3	3RD PLANNING SUBMITTAL		04/09/25



DESIGN CAPTURE VOLUME									
DMA	DMA AREA (Ac)	DMA IMPACT area (sf)	DMA IMPACT Area (ac)*	85th percentile depth (in)	Pervious Area (sf)	Impervious Area (sf)	Percent Impervious	Runoff Coefficient	DCV (cf)
A	0.58	8,930	0.21	0.8	495	8,435	94%	0.8584	511
B	0.35	5,570	0.13	0.8	1,428	4,142	74%	0.7077	263
Total	0.93	14,500	0.33	--	1,923	12,577	87%		774

- WATER QUALITY NOTES**
- GEOTECHNICAL REVIEW AND INFILTRATION STUDIES ARE PENDING. PRELIMINARY REVIEW HAS INDICATED GROUNDWATER IS APPROXIMATELY 10-20' BELOW GRADE AND MAY BE FEASIBLE HOWEVER, ADEQUATE CLEARANCE FROM EXISTING STRUCTURES AND PROPERTY LINES MAY RESULT IN AN INFEASIBILITY DETERMINATION. FOR THE PURPOSE OF THIS SUBMITTAL, A SCHEMATIC FOOTPRINT FOR A 900 CUBIC FOOT, OPEN BOTTOM INFILTRATION SYSTEM HAS BEEN SHOWN.
 - SHOULD INFILTRATION BE DEEMED INFEASIBLE, PROPRIETARY FLOW BASED WATER QUALITY TREATMENT SYSTEMS WILL BE RECOMMENDED WITH POST TREATMENT WATER QUALITY FLOWS BEING PUMPED DIRECTLY TO THE CURB FACE VIA A NEW CURB DRAIN.
 - DRAINAGE MANAGEMENT AREA NOTES:
 - DM A: DRAINAGE RECEIVES RUN-ON CONTRIBUTION FROM NORTHERLY PARCELS AND SURFACE FLOWS TO WESTERN PROPERTY LINE. DRAINAGE IS CAPTURED BY GRATED INLET AND CONVEYED TO PUBLIC STORM DRAIN SYSTEM VIA 10" CONCRETE STORM DRAIN PIPE. DUE TO LACK OF SPACE AND ABILITY TO OBTAIN CLEARANCES FROM EXISTING STRUCTURES, BMPs ARE NOT PROPOSED FOR DMA A AND THE REQUIRED DCV WILL BE CAPTURED AS PART OF AN EQUIVALENT TRANSFER IN DMA B.
 - DM B: DRAINAGE IS CAPTURED BY AREA/TRENCH/ROOF DRAINS AND DIRECTED TO A HYDRO-DYNAMIC SEPARATOR AND INFILTRATION CHAMBER VIA STORM DRAIN SYSTEM SIZED TO CONVEY THE 2 YEAR STORM. STORMS IN EXCESS OF THE 2 YEAR STORM WILL SPILL AT THE SOUTHERN PROPERTY LINE FROM A GRATED INLET AND WILL DISCHARGE TO THE PUBLIC CURB AND GUTTER ON ALMOND AVENUE VIA PARKWAY DRAIN. NOTE - DUE TO THE FACT THAT DMA B (0.35 AC) IS LARGER THAN THE TOTAL PROJECT DISTURBED AREA OF 0.33 AC, BMP 1 HAS BEEN OVERSIZED IN ORDER TO TREAT THE ENTIRE PROJECT DCV DUE TO CONSTRAINTS IN DMA A.

