

FRIENDS CHURCH - THE HANGAR

180 S. CYPRESS, ORANGE, CA (OFFICE BUILDING)
527 W. ALMOND AVE., ORANGE, CA (WAREHOUSE BUILDING)
REVIEW PACKAGE 10-23-2024
PLANNING REVIEW PACKAGE 10-17-2025
FINAL PLANNING REVIEW PACKAGE 01-08-2026



CITY OF ORANGE DOCUMENTS: 527 W ALMOND AVE.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # HRI # Trinomial ORA
NRHP Status Code SD1

Other Listings: Reviewer: Date:

Page 1 of 4.1 *Resource Name or #: ALMOND_W_527_APN_390-661-05
(Assigned by Recorder)

P1. Other Identifier: Not for Publication Unrestricted
*P2. Location: *County: Orange and (P2s or P2d) Attach a location map as necessary.
*P3. USGS 7.5' Quad: Date: T R ; 1/4 of 1/4 of Sec : B.M.
c. Address: 527 - W ALMOND T R ; 1/4 of 1/4 of Sec : B.M.
d. UTM: (Give more than one for large and/or linear resources) Zone mE/ mN
e. Other Locational Data: Same APN as: 180 S. Cypress.
*P3a. Description: *** Property status pending review with the National Register! ***
Materials: Frame - Metal siding

*P3b. Resource Attributes: (HFB) - Industrial building
*P4. Resources Present: Building Structure Object Site Element of District Other (Isolates, etc.)

P5b. Description of Photo: 2005
(View date, accession #)

*P6. Date Constructed/ Age and Source: 1925 c
 Historic Prehistoric Both

*P7. Owner and Address: Dr. Gary, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")
Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey.

*P8. Recorded By: (Name, affiliation, and address)
Dr. Gary, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded: March, 2005

*P10. Survey Type: (Describe) Reconnaissance

*Attachments: NONE Location Map Continuation Sheet(s) Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

DPR 523A (1/95) *Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # HRI # Trinomial ORA
NRHP Status Code SD1

Page 3 of # *Resource Name or #: ALMOND_W_527_APN_390-661-05
Recorded by: *** Property status pending review with the National Register! ***
D. Geer, P. LaValley, D. Matsumoto Date Recorded: March, 2005
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423
✓ Continuation Update

Years Surveyed: 2005 Description of Photo:

Listed in National Register: --

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e. Other Locational Data: Same APN as: 180 S. Cypress.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.2)
Materials: Frame - Stucco or plaster

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P5b. Description of Photo: 2005
(View date, accession #)

P6. Date Constructed/ Age and Source: 1948
 Historic Prehistoric Both

*P7. Owner and Address: Dr. Gary, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")
Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AOGIS (1991) Historic Building Inventory Update.

*P8. Recorded By: (Name, affiliation, and address)
Dr. Gary, P. LaValley, D. Matsumoto
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DPR 523L (1/98) *Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD HRI # SD1
NRHP Status Code SD1

Page 2 of 4.1 *Resource Name or #: ALMOND_W_527_APN_390-661-05
(Assigned by Recorder)

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: IND B4. Present Use: IND

B5. Architectural Style: Industrial

B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1925 c
 Historic Prehistoric Both

*** Property status pending review with the National Register! ***

B7. Moved? No Yes Unknown Date: Original Location:

B8. Related Features:

B9. Architect or Builder: Unknown

B10. Significance: Theme: Architecture Area: City of Orange Property Type: Industrial
Period of Significance: Old Town Agriculture & Industry (c. 1880 - 1950) Applicable Criteria: AC
(Oscus importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4)

Structural Integrity:

Site Integrity:

Opportunities: Appears to be a contributor to a district that appears eligible for local listing or designation: Railroad/Facking House NCA.

B11. Additional Resource Attributes: (List attributes and codes)

B12. References: Orange Daily News.

B13. Remarks: (Continues on Pg.3)
Status change since 1991 Survey: Not previously surveyed. Sketch Map with North arrow required.

B14. Evaluator: Robert Chattle
*Date of Evaluation: September, 2005
(This space reserved for official comments.)

DPR 523B (1/95) *Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

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NRHP Status Code SD1

Page 4.1 of 4.1 *Resource Name or #: ALMOND_W_527_APN_390-661-05
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D. Geer, P. LaValley, D. Matsumoto Date Recorded: March, 2005
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423
✓ Continuation Update

2012 National Register Amendment: (Based upon 2010 Historic Resources Inventory Update)
Purpose of Amendment: Recommended Action: Amend non-contributor to NR District
Not previously listed Current Status (2011):
Recommended Status (2012): SD1

Detail: Resource located within Old Town Orange National Register Historic District boundaries. Recommend District amendment to complete district inventory.

B7. Moved? No Yes Unknown Date: Original Location:

B8. Related Features:

B9. Architect or Builder: Unknown

B10. Significance: Theme: Architecture Area: City of Orange Property Type: Commercial
Period of Significance: Old Town: Postwar Development (c. 1945-1970) Applicable Criteria: N/A
(Oscus importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4)

Structural Integrity:

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

B12. References: Orange Daily News.

B13. Remarks: (Continues on Pg.3)
Status change since 1991 Survey: None. Sketch Map with North arrow required.

B14. Evaluator: Robert Chattle
*Date of Evaluation: September, 2005
(This space reserved for official comments.)

DPR 523B (1/95) *Required Information

CITY OF ORANGE DOCUMENTS: 180 S CYPRESS ST.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # HRI # Trinomial ORA
NRHP Status Code 65

Other Listings: Reviewer: Date:

Page 1 of 3 *Resource Name or #: CYPRESS_S_180_APN_390-661-05
Recorded by: D. Geer, P. LaValley, D. Matsumoto Date Recorded: March, 2005
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423
✓ Continuation Update

Years Surveyed: 2005 Description of Photo:

Listed in National Register: --

P1. Other Identifier: Not for Publication Unrestricted
*P2. Location: *County: Orange and (P2s or P2d) Attach a location map as necessary.
*P3. USGS 7.5' Quad: Date: T R ; 1/4 of 1/4 of Sec : B.M.
c. Address: 180 - S CYPRESS T R ; 1/4 of 1/4 of Sec : B.M.
d. UTM: (Give more than one for large and/or linear resources) Zone mE/ mN
e. Other Locational Data: Same APN as: 527 W. Almond.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3)
Materials: Frame - Stucco or plaster

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P5b. Description of Photo: 2005
(View date, accession #)

P6. Date Constructed/ Age and Source: 1948
 Historic Prehistoric Both

*P7. Owner and Address: Dr. Gary, P. LaValley, D. Matsumoto
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*P9. Date Recorded: March, 2005

*P10. Survey Type: (Describe) Reconnaissance

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DPR 523L (1/98) *Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

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NRHP Status Code 65

Other Listings: Reviewer: Date:

Page 3 of 3 *Resource Name or #: CYPRESS_S_180_APN_390-661-05
Recorded by: D. Geer, P. LaValley, D. Matsumoto Date Recorded: March, 2005
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423
✓ Continuation Update

Years Surveyed: 1991, 2005 Description of Photo:

Listed in National Register: 1997

P1. Other Identifier: Not for Publication Unrestricted
*P2. Location: *County: Orange and (P2s or P2d) Attach a location map as necessary.
*P3. USGS 7.5' Quad: Date: T R ; 1/4 of 1/4 of Sec : B.M.
c. Address: 180 - S CYPRESS T R ; 1/4 of 1/4 of Sec : B.M.
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*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3)
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(View date, accession #)

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DPR 523L (1/98) *Required Information

PROJECT DIRECTORY

OWNER FRIENDS CHURCH - ORANGE 426 W Almond Ave. Orange, CA Contact: Kyle Zimmerman PH: (949) 637-7646 EM: kyle@friends.church	GENERAL CONTRACTOR CW DRIVER 2190 South Towne Center Dr Anaheim, CA 92806 Contact: Karl Kreuziger PH: (949) 444-3531 EM: kreuziger@cwdriver.com
ARCHITECT AO ARCHITECTS 144 N. Orange Street Orange, CA 92666 Contact: Jeff Rabbit PH: (714) 639-9860 EM: jeff@aoarchitects.com	CIVIL ENGINEER TAIT ENGINEERING 701 N. Parkcenter Dr Santa Ana, CA 92705 Contact: David Sloan PH: (714) 560-8643 EM: d.sloan@taite.com
STRUCTURAL ENGINEER LEI 2301 Dupont Dr Suite 150 Irvine, CA 92612 Contact: Adam Franklin PH: (949) 379-7384 EM: afrafflin@linwoodengineering.com	HISTORICAL ARCHITECT MRP PLANNING 30 Centennial Way #C Tustin, CA 92780 Contact: Mike Paar PH: (714) 923-8946 EM: mike@mrplanningco.com
MECHANICAL, ELECTRICAL & PLUMBING ENGINEER LEI 2301 Dupont Dr Suite 150 Irvine, CA 92612 Contact: Adam Franklin PH: (949) 379-7384 EM: afrafflin@linwoodengineering.com	
B11. Additional Resource Attributes: (List attributes and codes)	B12. References: Orange Daily News.
B13. Remarks: (Continues on Pg.3) Status change since 1991 Survey: None. <input type="checkbox"/> Sketch Map with North arrow required.	B14. Evaluator: Robert Chattle *Date of Evaluation: September, 2005 (This space reserved for official comments.)

SHEET NUMBER	SHEET TITLE
00	ARCHITECTURAL
00	SHEET INDEX & CITY OF ORANGE NOTES
00.1	BASIS OF DESIGN NARRATIVE - SITE & BUILDING INFO
01	PROPOSED SITE PLAN
01.2	FIRE MASTER PLAN
01.3	LIFE SAFETY PLAN
02	OVERALL EXISTING SITE PLAN
03	EAST BUILDING EXISTING FLOOR PLAN
04	EAST BUILDING PROPOSED FLOOR PLAN
05	WEST BUILDING EXISTING FLOOR PLAN
06	WEST BUILDING PROPOSED FLOOR PLAN
07	WEST BUILDING PROPOSED REFLECTED CEILING PLAN
08	WEST BUILDING PROPOSED ROOF PLAN
09	WEST BUILDING PROPOSED & EXISTING ELEVATIONS
10	WEST BUILDING PROPOSED & EXISTING ELEVATIONS
11	WEST BUILDING PROPOSED & EXISTING ELEVATIONS
12	WEST BUILDING PROPOSED & EXISTING ELEVATIONS
13	WEST BUILDING PROPOSED COLORED ELEVATIONS
14	WEST BUILDING PROPOSED COLORED ELEVATIONS
15	RENDERINGS - EXTERIOR
16	RENDERINGS - EXTERIOR
17	RENDERINGS - INTERIOR
18	RENDERINGS - INTERIOR
19	DETAIL SHEET
20	DETAIL SHEET
21	EXISTING EXTERIOR PHOTOS
22	EXISTING INTERIOR PHOTOS (WEST BUILDING)
23	COLOR & MATERIAL
24	PHOTOMETRIC PLAN
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BASIS OF DESIGN NARRATIVE

144 N. Orange Street, Orange, CA 92866 T714.639.9860 aoarchitects.com



Existing Condition Assessment and Conversion Basis of Design

Strategies for:

The Hanger – Warehouse – Friends Church – Orange

The assessment below is intended to provide data to assist construction ROM pricing for the conversion of a current warehouse into a Friends Church worship and flex space for Friends Church, Orange.

General Building Information

Address: 527 W Almond

Approximate Build: 1925 (steel construction)

Building is in Old Towne Orange Historic District- Listed as a significant resource.

Parcel Assignment: Contributing Historic Building

Slab on grade

Fully sprinklered

Passive ventilation

Building Analysis

Building Area: +/-14,800 s.f.

Type of Construction: VB, sprinklered

Occupancy: A-3

Building Conversion Considerations:

o Change of Use – CUP required

o Assembly over 500 occupants – Risk Category III

o Weather tight needs

• Interior

• Assumed exterior is historically significant.

o Acoustics

• Worship gathering area – Internal.

• Rail adjacency – External

o Historic Resources/Conservation – Overlapping historic district overlays

• Pending review on the national register

• Exterior Look and Feel

• Site issues regarding historic – district overlays

o Fire Safety

144 North Orange Street - Orange, CA 92866 -714.639.9860-714.639.5286 Fax

144 N. Orange Street, Orange, CA 92866 T714.639.9860 aoarchitects.com



Basics of Design Executive Narrative:

ARCHITECTURAL BASIS OF DESIGN NARRATIVE:

The thoughtful design will be based on the assessment and guidance provided by George Taylor Louden, AIA Historical Architecture Consulting with strict adherence to the Secretary of the Interior Historic rehabilitation Standards. George Taylor Louden has been approved by the City of Orange planning department for assessment of and reporting for this property. The report is continued herein.

Building (Historical) Rehabilitation:

Exterior Corrugated Steel Panels: The general look and feel from the exterior is to be protected/preserved or refreshed to preserve the historical look and feel of the building. The exterior corrugation will be removed and either mapped for reinstallation or replaced in kind with identical metal corrugation material. The removal will allow for the interior wall to be constructed to achieve energy efficiency as well as appropriate waterproofing necessary for the new use. Where a new material is proposed it is aligned with the same vertical ribbed articulation but stands apart from the existing emphasizing new vs historic. All significant existing horizontal banding or scarring will be maintained.

Existing Windows:

The existing windows are narrow steel sill/frame industrial windows with steel muntins. At a much more recent time a 2x wood frame with metal mesh was added to the exterior for unknown reasons. This has not aged well and would be removed and replaced with a metal frame around the existing windows to seal the windows from weather intrusion.

South Elevation: (7' 4"x6') and lower windows (4' 5"x7')

West Elevation: (7' 4"x6')

North Elevation: (8' 4"x6')

East Elevation: (8' 4"x6') and lower windows (1' 5"x7')

The existing clearstory windows on South elevation (Almond), West elevation (Railway) and North Elevation (Parking Lot) will be preserved by cleaning, repairing, sealing and installing a new metal frame surround.

Existing Windows on the East Elevation will be modified with the introduction of the new entry portal; while 4 of the clerestory (4'x5') windows and the single lower (5'x7') window will be preserved, 4 clerestory windows will be removed to allow for the proposed entry structure and new modern operable windows at the NE mezzanine. Though the new windows are modern they will be in keeping with the metal/steel muntin pattern consistent with the existing.

A new insulated wall will be built on the interior side of the exterior skin with new double pane, single lite windows (muntin less) placed in the wall aligned with the existing window locations, so that the daylighting is preserved as well as the view of the existing historic windows from the inside. This is required for the conditioned space to meet T-24 requirements.

Existing Corrugated Sliding Doors: The existing sliding warehouse doors along the South Elevation (Almond) will be preserved as preexisting has been set within the Old Towne district. They are to be preserved in the "closed" position with the exterior sliding intact. The operable door on the North Elevation will be replaced with a modern steel and glass overhead door. The southernmost sliding door on the East elevation will be preserved in the "closed" position.

144 North Orange Street - Orange, CA 92866 -714.639.9860-714.639.5286 Fax

FRIENDS CHURCH - THE HANGER 180 S. CYPRESS, ORANGE, CA

FRIENDS

144 North Orange Street - Orange, CA 92866 -714.639.9860-714.639.5286 Fax

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• Exterior Look and Feel

• Site issues regarding historic – district overlays

o Fire Safety

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Existing Condition Assessment and Conversion Basis of Design

Strategies for:

The Hanger – Warehouse – Friends Church – Orange

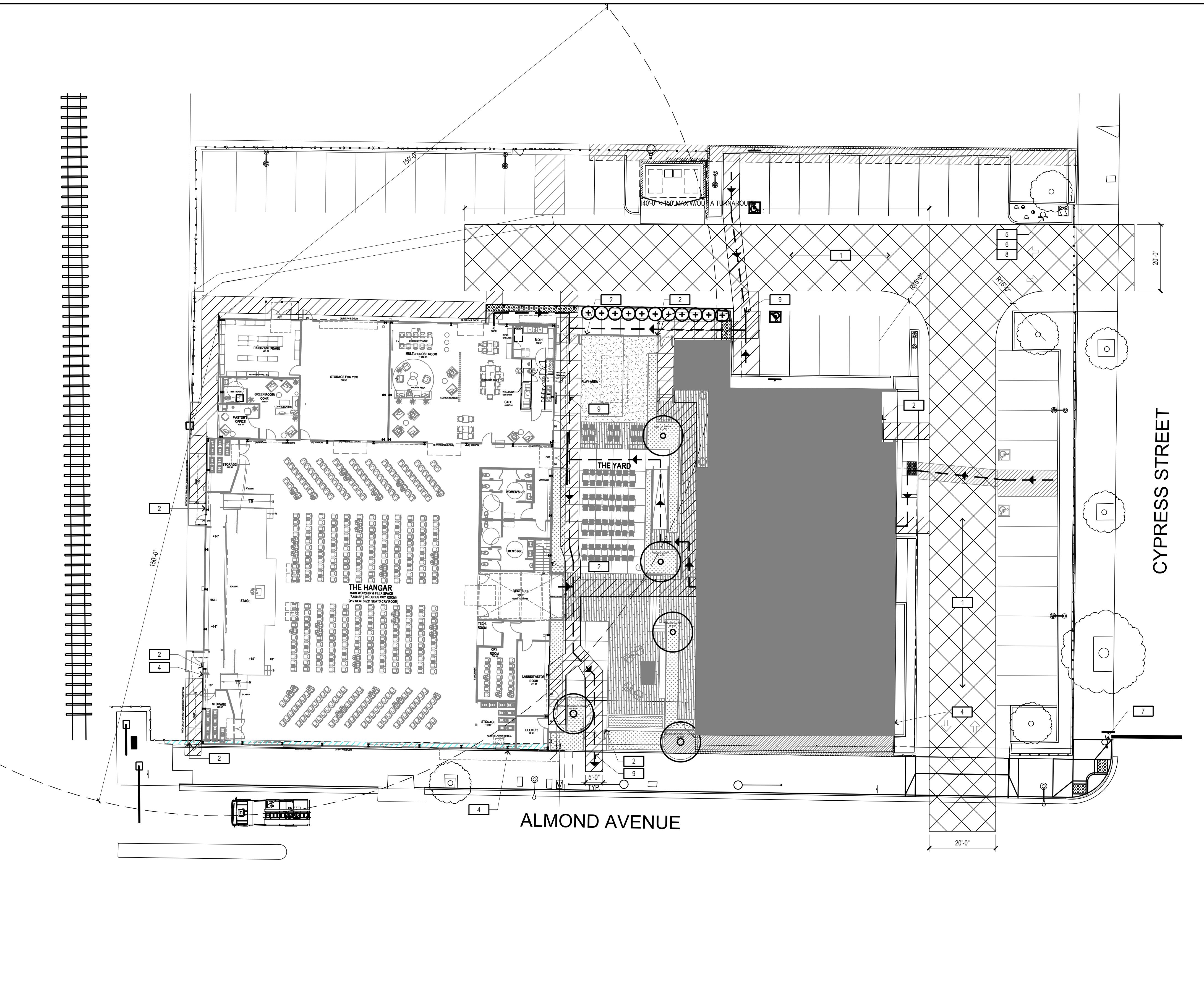
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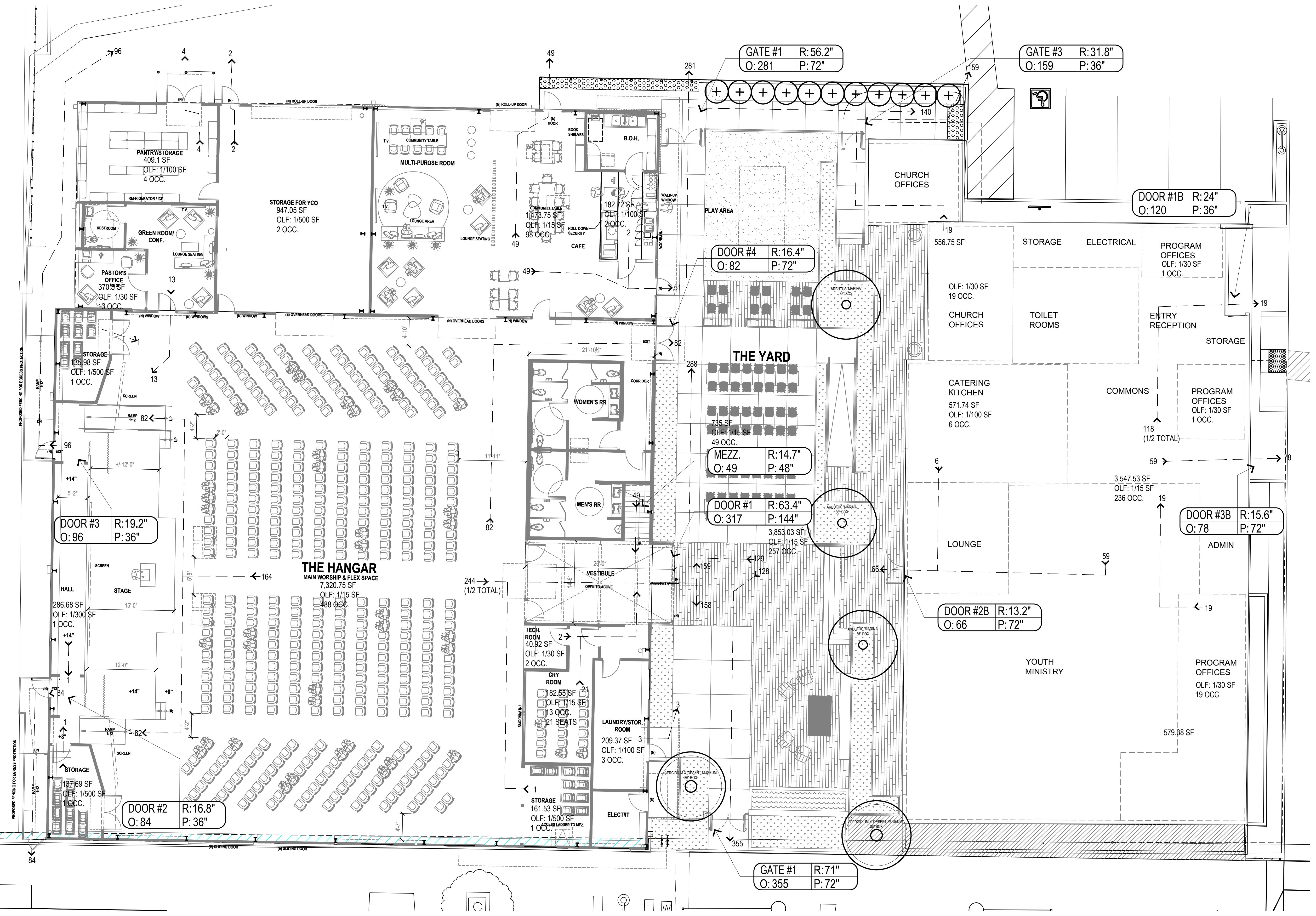
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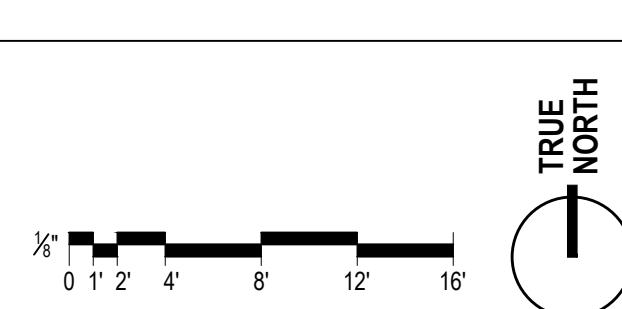
FIRE MASTER PLAN NOTES		KEY NOTES
<p>PRIOR TO PERMIT APPLICANT SHALL PROVIDE A LETTER OR STATEMENT, WET-STAMPED AND SIGNED BY A REGISTERED ENGINEER ON THE PLANS CERTIFYING THAT ANY NEW ROADWAY MEETS THE 68,000 POUND ALL WEATHER REQUIREMENT OR DENOTE THAT THE DESIGN LETTER MEETING THESE CONDITIONS WILL BE PROVIDED AT ROUGH GRADING PLAN SUBMITTAL. EMBED LETTER OR NOTE ON FMP.</p> <p>SEE CIVIL DRAWINGS FOR REQUIRED FIRE FLOW.</p>		<p>1 A MINIMUM 20-FOOT-WIDE FIRE ACCESS ROADWAY SHALL EXTEND TO WITHIN 150 FEET OF ALL FIRST FLOOR EXTERIOR WALLS OF THE PROPOSED BUILDINGS AS MEASURED ON THE EXTERIOR OF THE BUILDING. DENOTE MEASUREMENTS COMPLYING WITH THIS REQUIREMENT.</p>
<p>THE FIRE ACCESS ROADWAYS SHALL BE DESIGNED TO SUPPORT THE IMPOSED LOADS OF THE ORANGE FIRE DEPARTMENT FIRE APPARATUS WITH A TOTAL LOAD OF 68,000 POUNDS. THE FIRE APPARATUS IS DISTRIBUTED AS 46,000 POUNDS ON THE TANDEM REAR AXLES AND 22,000 POUNDS ON THE FRONT AXLE. THE FIRE ACCESS ROADWAY SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. PLACE NOTE ON FMP.</p>		<p>2 KEY BOXES AND KEY SWITCHES (KNOX DEVICES) SHALL BE PROVIDED WHERE NECESSARY TO ENSURE THAT IMMEDIATE ACCESS FOR FIREFIGHTING, RESCUE AND OTHER EMERGENCY PURPOSES IS POSSIBLE. IDENTIFY LOCATION ACCORDING TO THE FOLLOWING:</p> <p>AT A MINIMUM, KNOX DEVICES SHALL BE PROVIDED FOR THE FOLLOWING LOCATIONS:</p> <ol style="list-style-type: none"> THE MAIN ENTRY TO BUILDINGS EQUIPPED THROUGHOUT WITH A FIRE ALARM OR SPRINKLER MONITORING SYSTEM. DOORS, PERIMETER PEDESTRIAN GATES AND OTHER AREAS IDENTIFIED BY THE FIRE DEPARTMENT. AT LEAST ONE PEDESTRIAN GATE IS REQUIRED ON PERIMETER GATES. VEHICULAR GATES ON DRIVER SIDE APPROACH. ELECTRIC GATES SHALL COMPLY WITH THE REQUIREMENTS OF AN AUTOMATIC OPENING DEVICE IN COMPLIANCE WITH UL 325 AND ASTM F-2200 IN ADDITION TO THE KEY OPENING DEVICE.
<p>3 5-FOOT-WIDE FIRE ACCESS WALKWAY TO ALL OPENINGS AND EGRESS DOORS, ON THE FIRST FLOOR EXTERIOR WALLS, REQUIRED BY THE CBC AND/OR CFC.</p> <p>TREES PLANTED ALONG THE FIRE ACCESS ROADWAY AND/OR FIREFIGHTER REQUIRED WALKWAY SHALL NOT IMPEDE THE REQUIRED MINIMUM 5'-0" WALKWAY WIDTH ON THE REQUIRED FIRE APPARATUS VERTICAL CLEARANCE OF 13'-6". THE TREES SHOULD BE A TYPE THAT THE NATURAL GROWTH PATTERN WOULD ALLOW THE REQUIRED VERTICAL CLEARANCE WITHOUT RELIANCE ON REGULAR MAINTENANCE OF THE TREE CANOPIES.</p>		<p>4 BUILDING ADDRESS LOCATION - APPROVED BUILDING ADDRESS NUMBERS SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 8 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1 INCH. CFC CHAPTER 5, SECTION 505.1 AND OMC 15.52.080</p> <p>ADDITIONAL ADDRESS MARKINGS MAY BE REQUIRED TO PROVIDE DIRECTION FROM APPROACH.</p>
<p>5 DOUBLE DETECTOR BACKFLOW DEVICE - SEE ALSO CIVIL</p> <p>6 FIRE DEPARTMENT CONNECTION - SEE ALSO CIVIL</p> <p>7 PUBLIC FIRE HYDRANT LOCATION (EXISTING)</p> <p>8 NEW ON-SITE FIRE HYDRANT</p> <p>9 ACCESSIBLE PATH OF TRAVEL FROM BUILDING TO ACCESSIBLE PARKING AND TO PUBLIC RIGHT OF WAY TO NOT EXCEED 5% SLOPE IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.</p>		<p>TRUE NORTH</p>

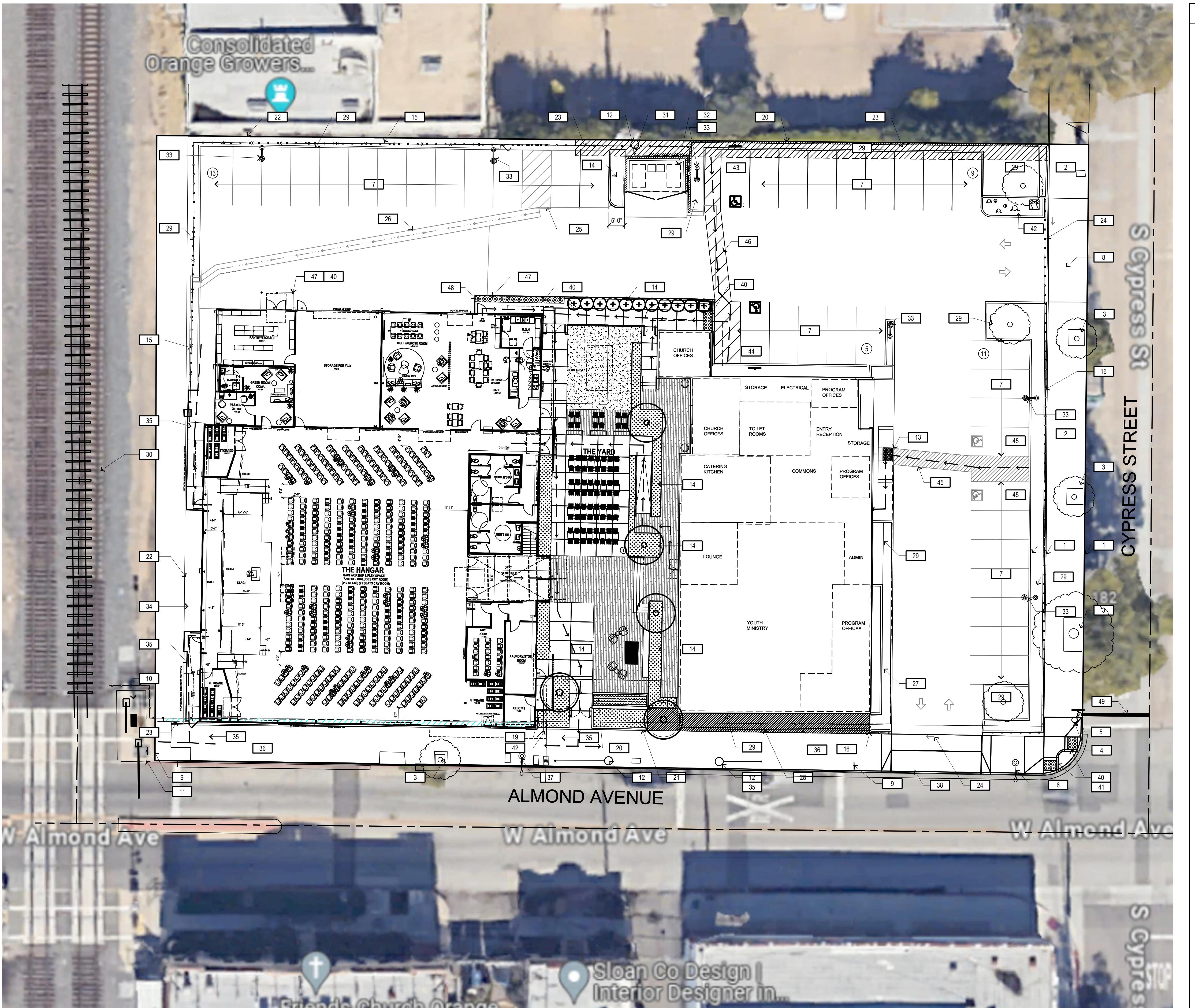




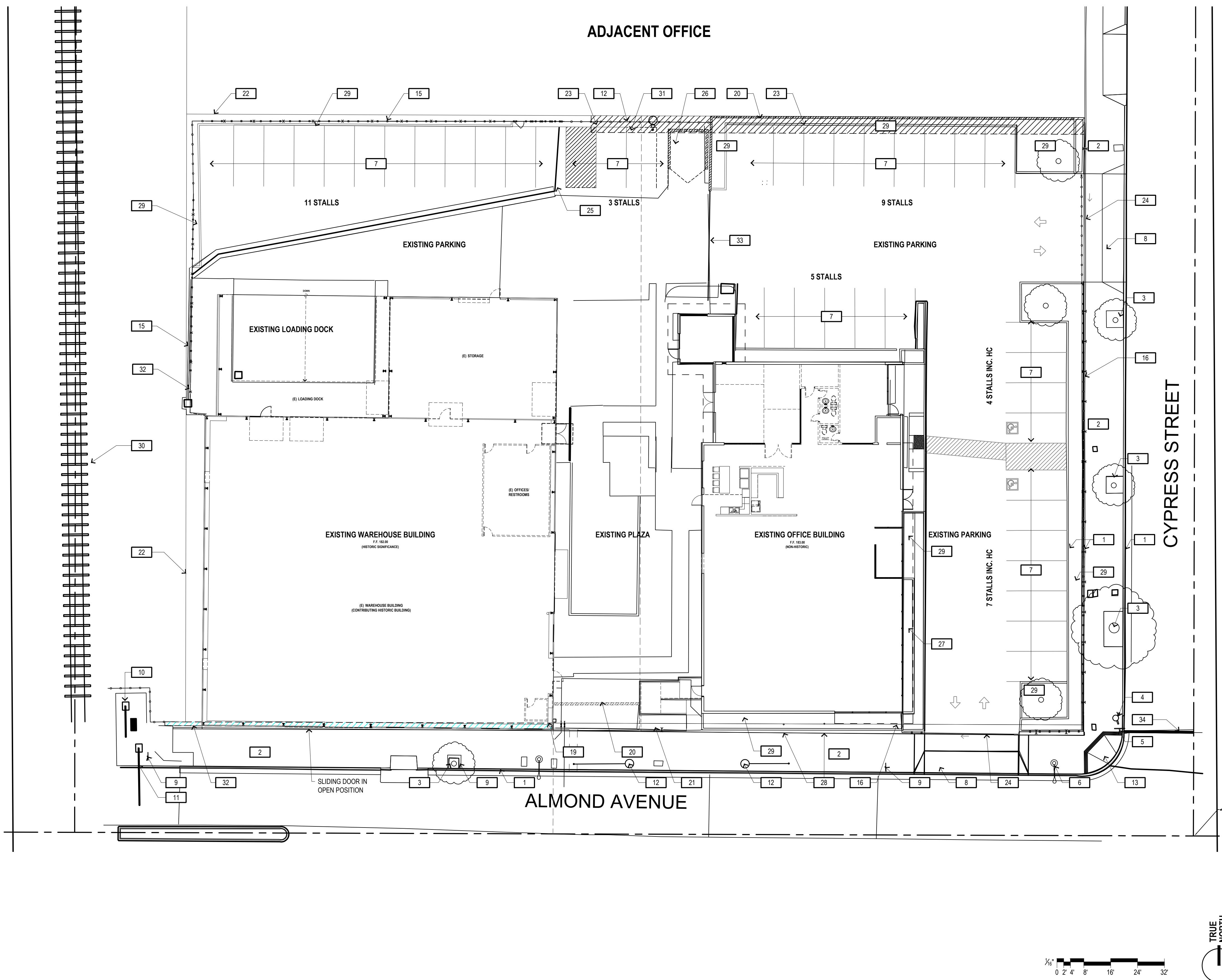
MEANS OF EGRESS GENERAL NOTES

1. THE MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF NO LESS THAN 7' - 6". PROTRUDING MAY NOT REDUCE THE HEADROOM BELOW 80 INCHES ABOVE ANY WALKING SURFACE AND NO MORE THAN 50% OF THE CEILING AREA MAY BE REDUCED.
2. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED AND LABELED AND SHALL BE ACCORDANCE WITH THE MANUFACTURES' INSTRUCTIONS AND EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH THE POWER SOURCE REQUIREMENTS IN SECTIONS 1013.6.2 WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES.
3. ANY TIME A BUILDING OR A PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN OF NOT LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE.
4. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM WHICH IS TO PROVIDE CONTINUED ILLUMINATION FOR A DURATION OF NO LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. CONTINUED IS TO BE PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT, GENERATOR AND THE INSTALLATION OF THE EMERGENCY BE INSTALLED IN ACCORDANCE WITH CHAPTER 27. (1013.6.3)
5. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT CANDLE (1 LUX) MEASURED ALONG THE EGRESS AT FLOOR LEVEL. A MAXIMUM TO MINIMUM ILLUMINATION OF 40 TO 1 SHALL NOT BE EXCEEDED (1008.3.5).
6. EXIT SIGN SHALL BE LOCATED 48" MIN. TO BOTTOM OF BRAILLE LETTERING AND 60" MAX. TO BOTTOM OF TOP SIGNAGE LETTERING ABOVE FINISH FLOOR.
7. EXIT DOORS/GATES ARE REQUIRED TO SWING IN THE DIRECTION OF TRAVEL AND BE PROVIDED WITH PANIC HARDWARE IN AREAS WITH 50 OR MORE OCCUPANTS.
8. ALL DOORS ON THE ACCESSIBLE ROUTE OR CIRCULATION PATH HAVE A MAX OPENING FORCE OF 5 POUNDS.
9. MEANS OF EGRESS LIGHTING TO BE PROVIDED WITH EMERGENCY POWER BACK-UP SUPPLY PER CBC 1008.3
10. ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTO LUMINESCENT EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL ILLUMINATED AND ALL TIMES. CBC 1013.5
11. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT
12. THE FLOOR OR LANDING ON EACH SIDE OF DOORS SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY.
13. DUCT DETECTION SHALL BE REQUIRED FOR ALL AIR HANDLING SYSTEMS THAT EXCEED 2,000 CFM'S WILL NEED TO TIE IN TO EXISTING FIRE ALARM SYSTEM





KEYNOTES		SITE LIGHTING REQUIREMENTS
1	EXISTING CURB TO REMAIN	UNCOVERED PARKING LOTS SHALL BE PROVIDED WITH A MAINTAINED MINIMUM OF ONE FOOT-CANDLE OF LIGHT ACROSS THE ENTIRE PARKING SURFACE. PROVIDE A PHOTOMETRIC PLAN FOR THE PROPOSED PARKING AREAS FOR THIS PROJECT. INCLUDE PHOTOMETRIC VALUES 10 FEET BEYOND THE EAST PROPERTY LINE. LIGHT SPILLAGE ONTO ADJACENT RESIDENTIAL AREA SHALL NOT EXCEED .50 FOOT-CANDLES OF LIGHT.
2	EXISTING SIDEWALK TO REMAIN	AISLES, PASSAGeways AND RECESSES RELATED TO AND WITHIN THE PROJECT SITE SHALL BE ILLUMINATED WITH AN INTENSITY OF AT LEAST .50 FOOT CANDLES OF LIGHT AT THE GROUND LEVEL DURING THE HOURS OF DARKNESS. LIGHTING DEVICES SHALL BE PROTECTED BY WEATHER AND VANDALISM RESISTANT COVERS.
3	EXISTING STREET TREES TO REMAIN	
4	EXISTING FIRE HYDRANT	
5	RELOCATED STOP SIGN	
6	EXISTING STREET LIGHT TO REMAIN	
7	EXISTING PARKING SPACE(S) TO REMAIN	
8	EXISTING CURBCUT TO REMAIN	CITY OF ORANGE CRIME PREVENTION NOTES
9	EXISTING RR SIGN TO REMAIN	THE PROJECT SHALL ALSO COMPLY WITH THE REQUIREMENTS CONTAINED IN THE CITY OF ORANGE MUNICIPAL CODE CHAPTER 15.52, BUILDING SECURITY CONSTRUCTION STANDARDS REFERENCE ORDINANCE #6-22.
10	EXISTING RR PEDESTRIAN ARM TO REMAIN	THIS PROJECT WILL BE SUBJECT TO MEASURES INCORPORATE THE CONCEPTS OF CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED), WHICH INVOLVES CONSIDERATIONS SUCH AS PLACEMENT AND ORIENTATION OF STRUCTURES, ACCESS AND VISIBILITY OF COMMON AREAS, PLACEMENT OF DOORS, WINDOWS, ADDRESSING, AND LANDSCAPING. CPTED PROMOTES PUBLIC SAFETY, PHYSICAL SECURITY AND ALLOWS CITIZENS THE ABILITY TO MONITOR ACTIVITY. IT IS BASED ON FIVE CONCEPTS TO PROVIDE NON-INVASIVE AND PERMANENT MEASURES TO PREVENT AND REDUCE CRIME: TERRITORIALITY, NATURAL SURVEILLANCE, ACCESS CONTROL, ACTIVITY SUPPORT, AND MAINTENANCE. THE PROJECT SHALL ALSO COMPLY WITH THE REQUIREMENTS.
11	EXISTING RR TRAFFIC ARM TO REMAIN	
12	EXISTING TELEPHONE POLE AND GUY WIRE TO REMAIN	
13	EXISTING TRUNCATED DOMES TO REMAIN	
14	NEW PLANTER - SEE LANDSCAPE PLANS	
15	EXISTING 8' HIGH COATED CHAINLINK FENCE TO REMAIN	
16	EXISTING 4' HIGH STEEL PICKET FENCE TO REMAIN	
17	NEW FIRE DEPARTMENT CONNECTION CONFIRM LOCATION ON SITE	ACCESSIBLE PATH OF TRAVEL
18	EXISTING FIRE RISER W/ VERTICAL DOUBLE CHECK BACK FLOW PREVENTION ASSEMBLY	ACCESSIBLE EGRESS UNOBSTRUCTED PATH OF TRAVEL- ACCESSIBLE (UNLESS NOTED OTHERWISE) WITH SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%.
19	EXISTING GAS METER	
20	EXISTING 8' CMU BLOCK WALL	
21	EXISTING 6' STEEL PICKET FENCE	
22	EXISTING PROPERTY LINE	
23	EXISTING EASEMENT- SEE CIVIL	
24	EXISTING OPERABLE GATE	
25	EXISTING LOADING ZONE	
26	EXISTING GUTTER/SWALE	
27	EXISTING LOW WALL PLANTER	
28	EXISTING GATE POSTS	
29	EXISTING PLANTER	
30	EXISTING TRAIN TRACKS	
31	EXISTING TELECOM RISER	
32	NEW TRASH ENCLOSURE PER CITY STD 409	
33	NEW LIGHTPOLE WITH SHIELDING (SEE NOTES AND REQUIREMENTS BELOW)	
34	EXPOSED DRAINAGE SWALE- SEE CIVIL	
35	PARKWAY DRAINAGE UNDER SIDEWALK- SEE CIVIL	
36	NEW SIDEWALK/CURB AND GUTTER- SEE CIVIL	
37	NEW LIGHT POLE IN PUBLIC RIGHT OF WAY	
38	NEW DRIVEWAY APPROACH- SEE CIVIL	
39	REMOVE STREET LIGHT FROM EXISTING POLE	
40	NEW TRUNCATED DOMES	
41	NEW CURB RAMP- SEE CIVIL	
42	NEW UTILITIES- SEE CIVIL	
43	NEW ACCESSIBLE PARKING SPACE W/ ADJACENT LOADING AREA. SEE DETAIL ON THIS SHEET	
44	NEW VAN ACCESSIBLE PARKING SPACE W/ ADJACENT LOADING AREA. SEE DETAIL ON THIS SHEET	
45	EXISTING STANDARD AND VAN ACCESSIBLE PARKING SPACE WITH ADJACENT LOADING AREA AND PATH OF TRAVEL TO REMAIN	
46	NEW ACCESSIBLE PATH OF TRAVEL STRIPING	
47	NEW PROTECTIVE BOLLARDS	
48	NEW PAINTED STEEL GUARDRAIL	
49	NEW STOP BAR- SEE CIVIL	

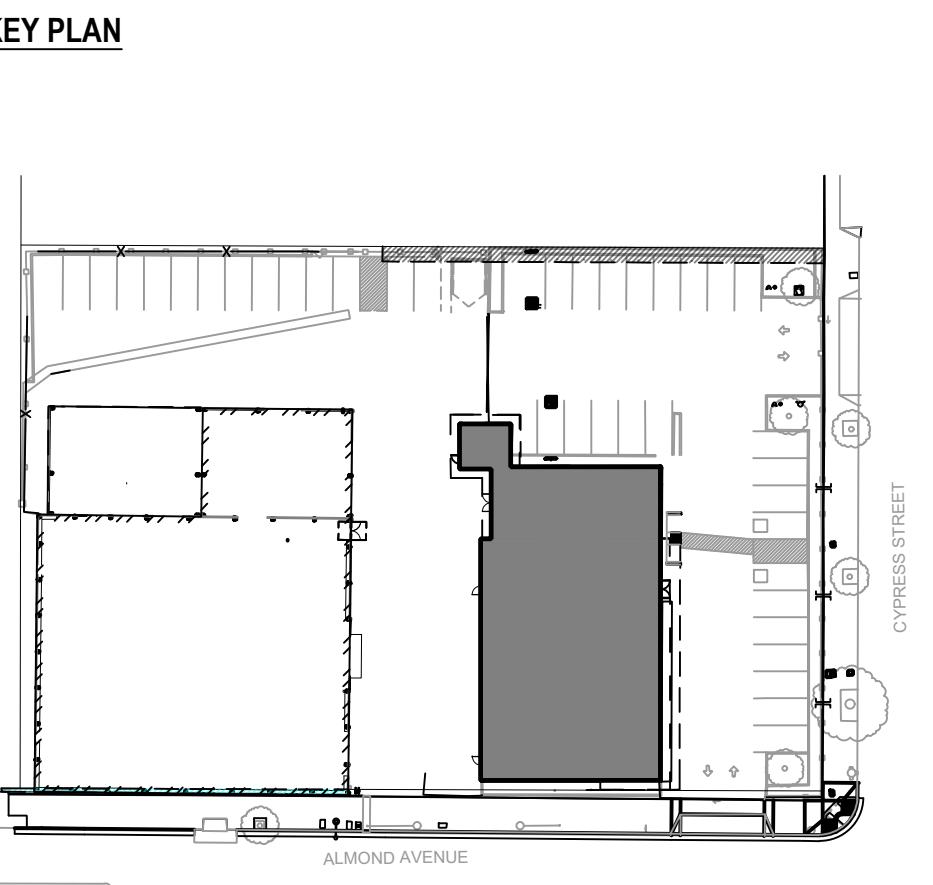
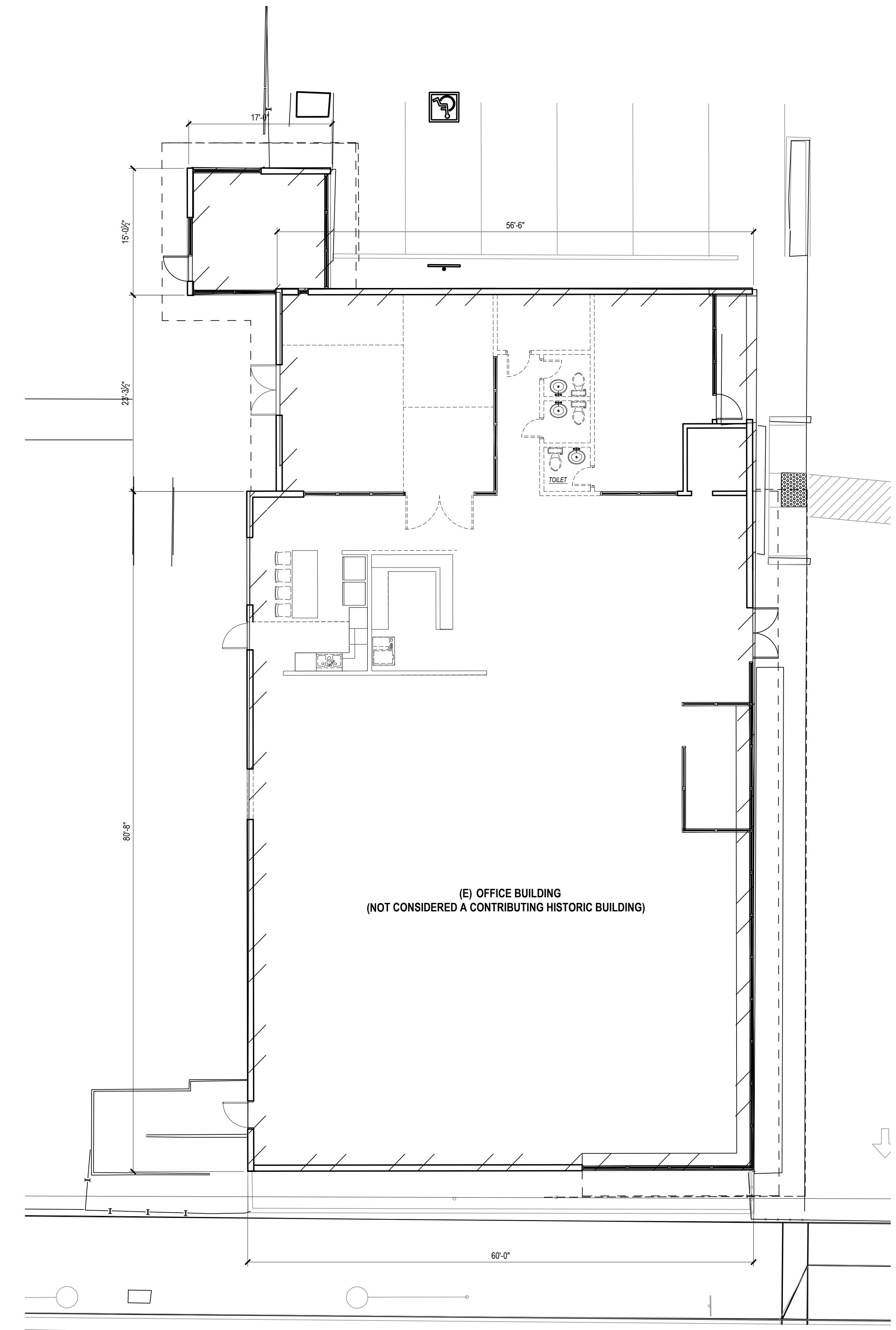


FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

**EXISTING OVERALL
SITE PLAN**

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NOTES
NO MAJOR EXTERIOR CHANGES TO THIS BUILDING, SCOPE LIMITED TO INTERIOR TO BE PROVIDED AT A LATER DATE.

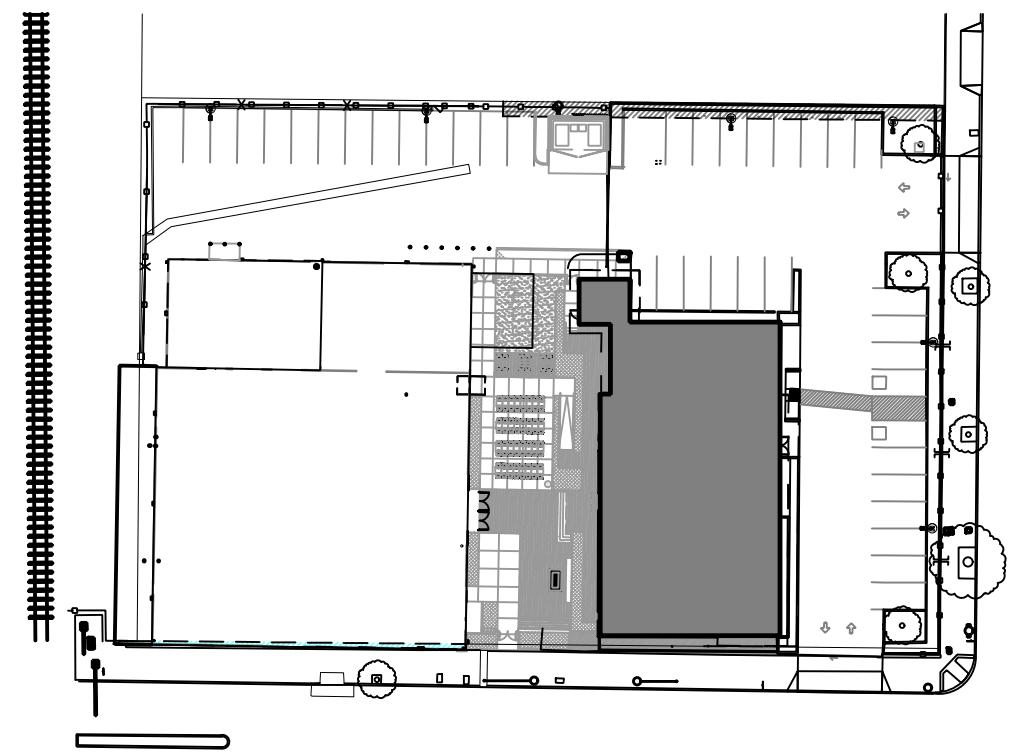
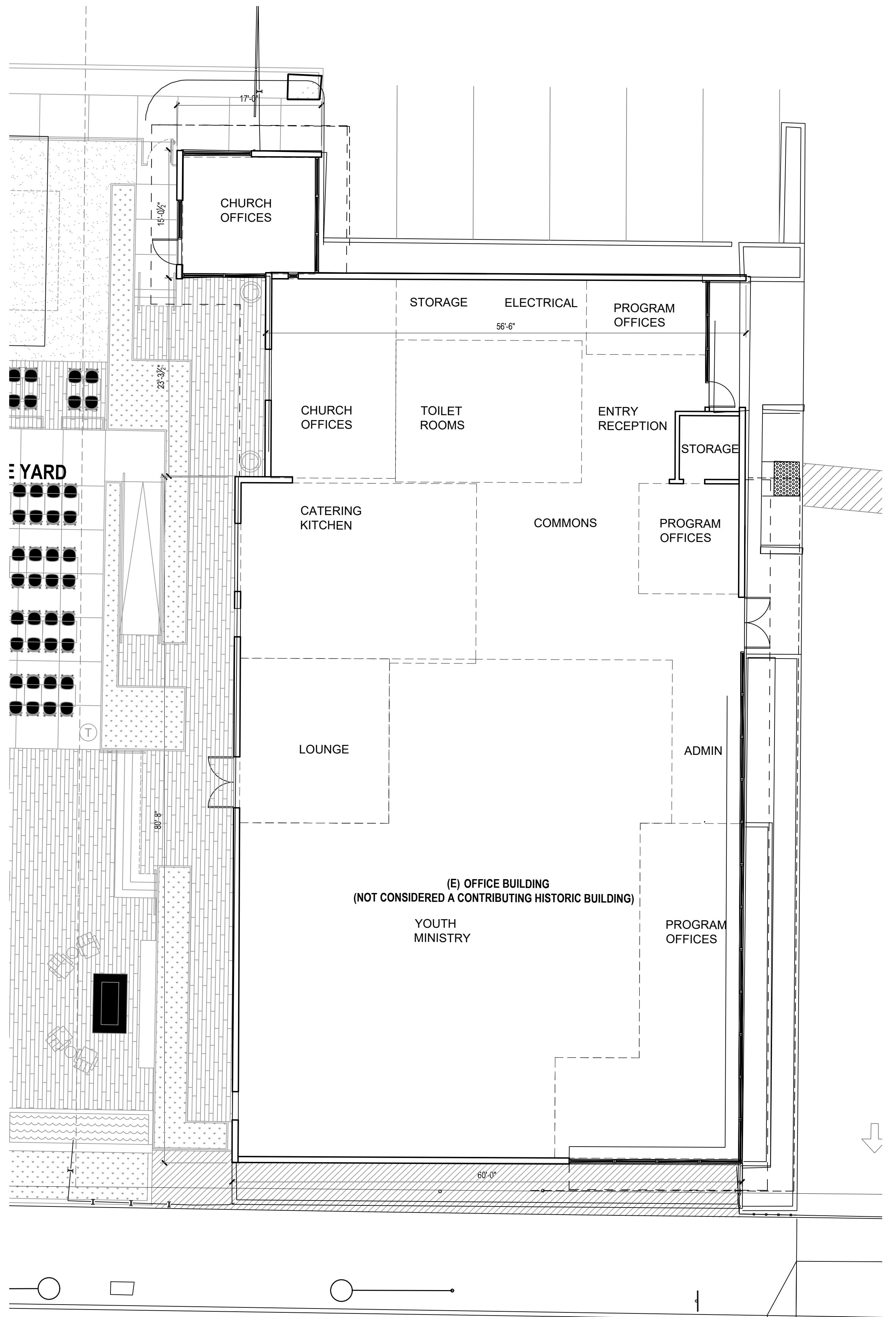
EAST BUILDING
EXISTING FLOOR PLAN



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

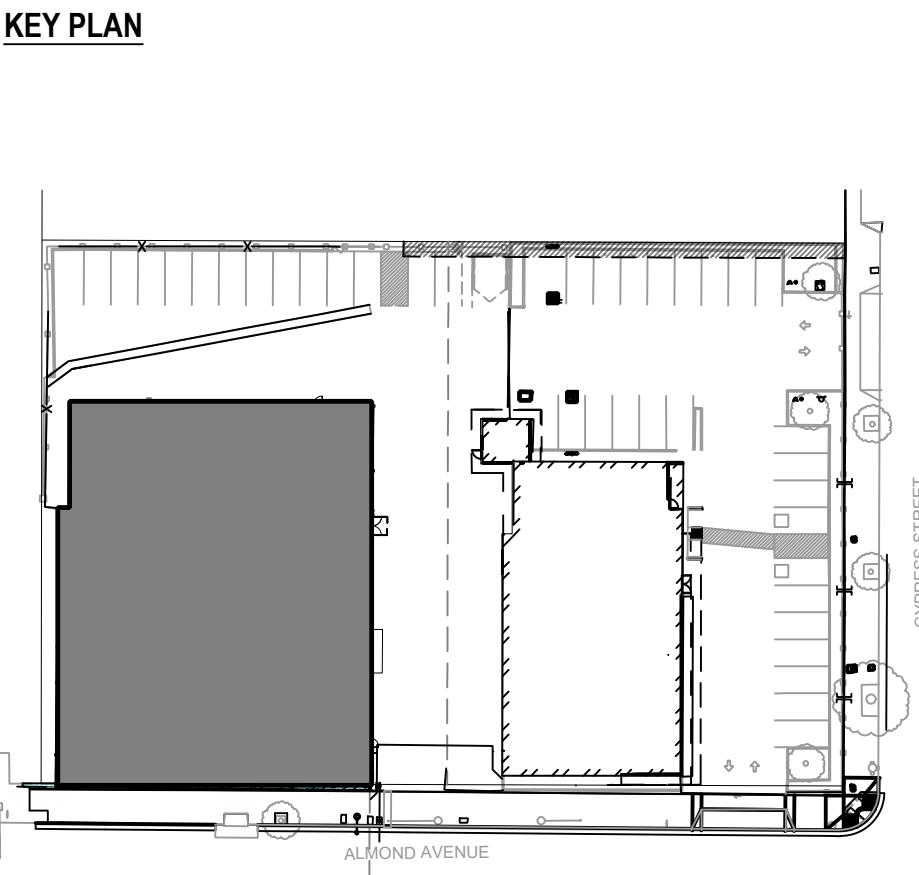
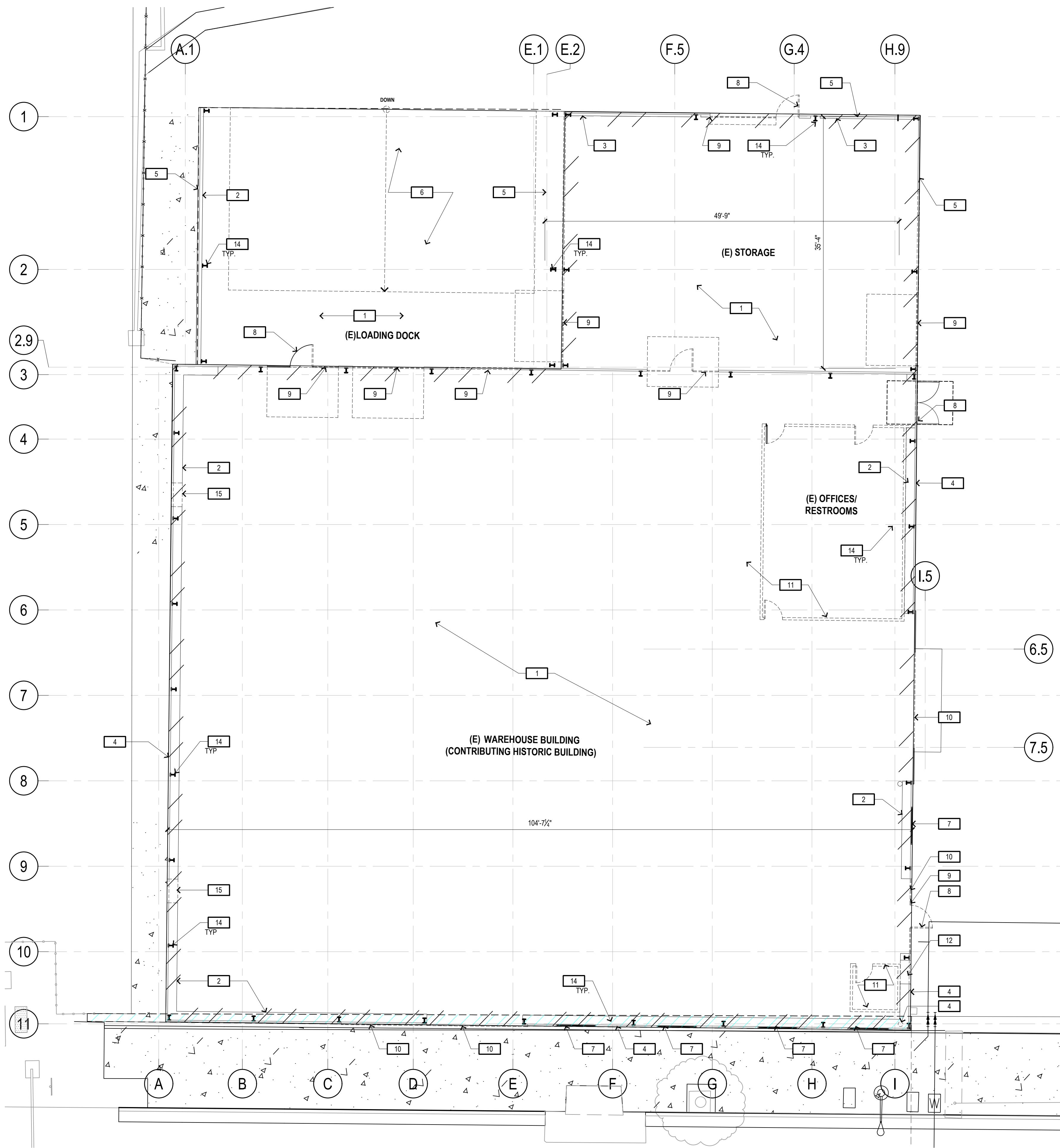
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03
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Date: 2026-01-08



NOTES

THIS IS A CONCEPT/PROELIMINARY LAYOUT OF USE TO DETERMINE OCCUPANCY AND PARKING DEMANDS.
NO MAJOR EXTERIOR CHANGES TO THIS BUILDING, SCOPE LIMITED TO INTERIOR TO BE PROVIDED AT A LATER DATE.



KEYNOTES

- 1 CONCRETE BUILDING SLAB
- 2 CONCRETE PERIMETER CURB
- 3 CMU BUILDING STEM WALL
- 4 PAINTED CORRUGATED METAL PANEL EXTERIOR CLADDING
- 5 PAINTED RIBBED METAL PANEL EXTERIOR CLADDING
- 6 LOADING DOCK TO BE PRESERVED IN PLACE
- 7 FIXED WINDOW TO BE PRESERVED IN PLACE
- 8 METAL DOOR TO BE REMOVED
- 9 OVERHEAD DOOR TO BE REMOVED, PROTECT FOR RE-USE
- 10 ROLLING DOOR TO REMAIN (FIXED IN PLACE)
- 11 INTERIOR DEMOLITION
- 12 ELECTRICAL PANEL ALL ELECTRICAL GEAR TO BE RECONFIGURED IN NEW ELECTRICAL ROOM
- 13 FIRE RISER
- 14 STEEL COLUMN (TYP.)
- 15 REMOVE PORTION OF WALL AND CURB FOR NEW EGGS- SEE PROPOSED PLAN

TRUE
NORTH

16' 12' 8' 4' 0' 1' 2'

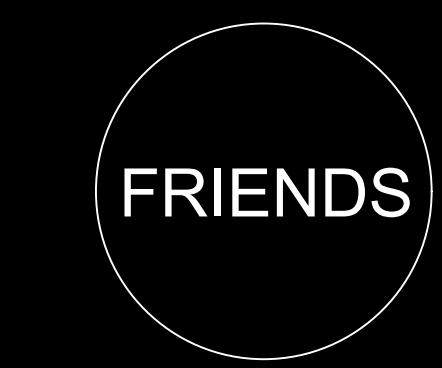
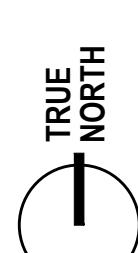
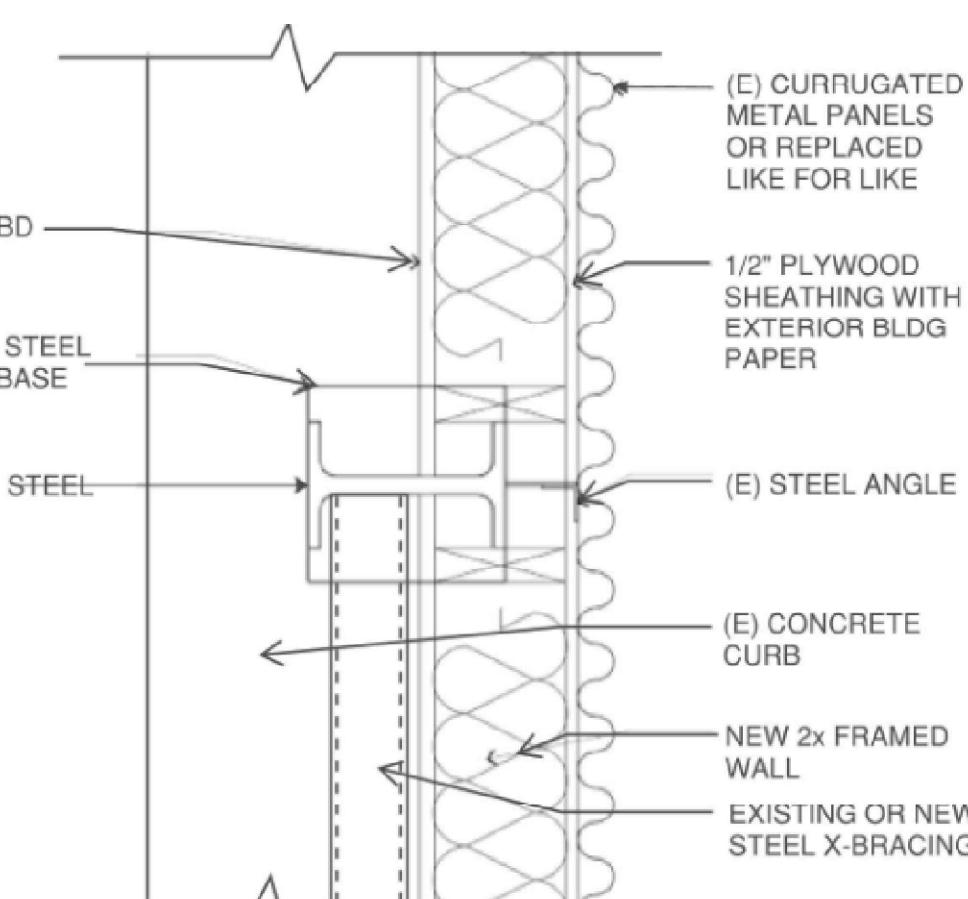
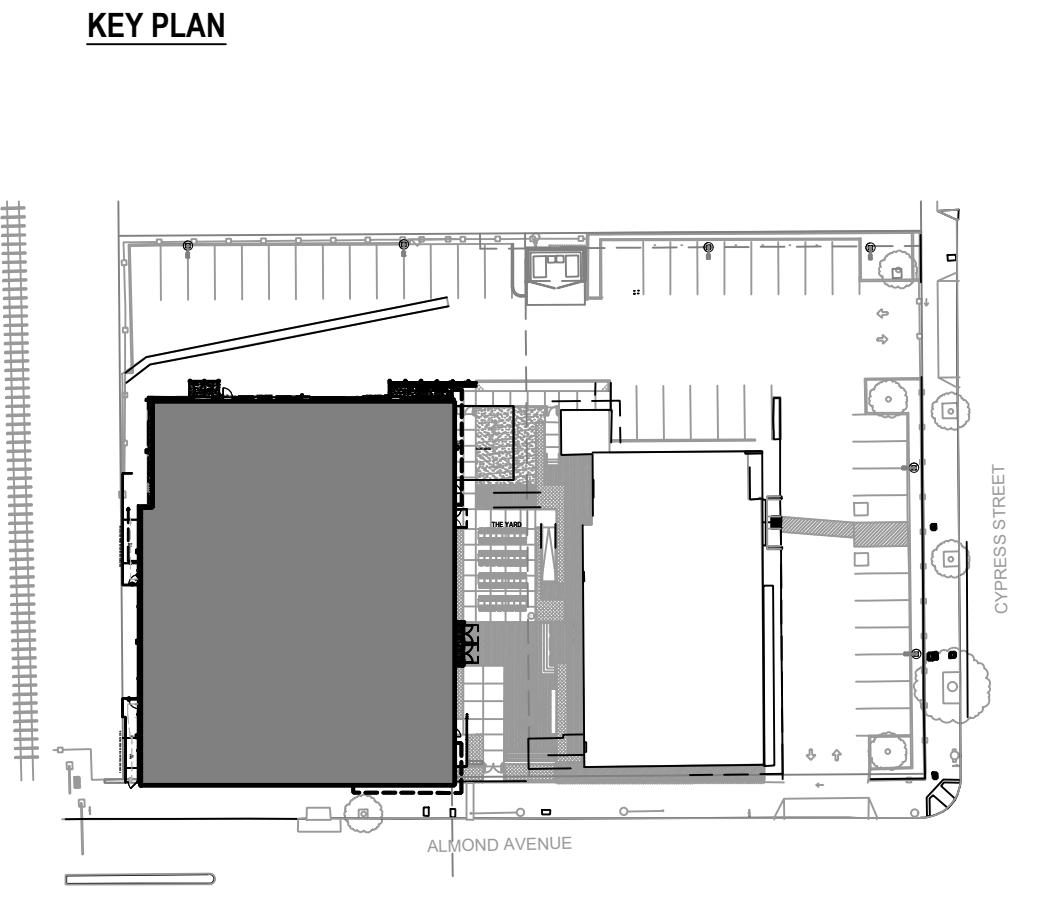
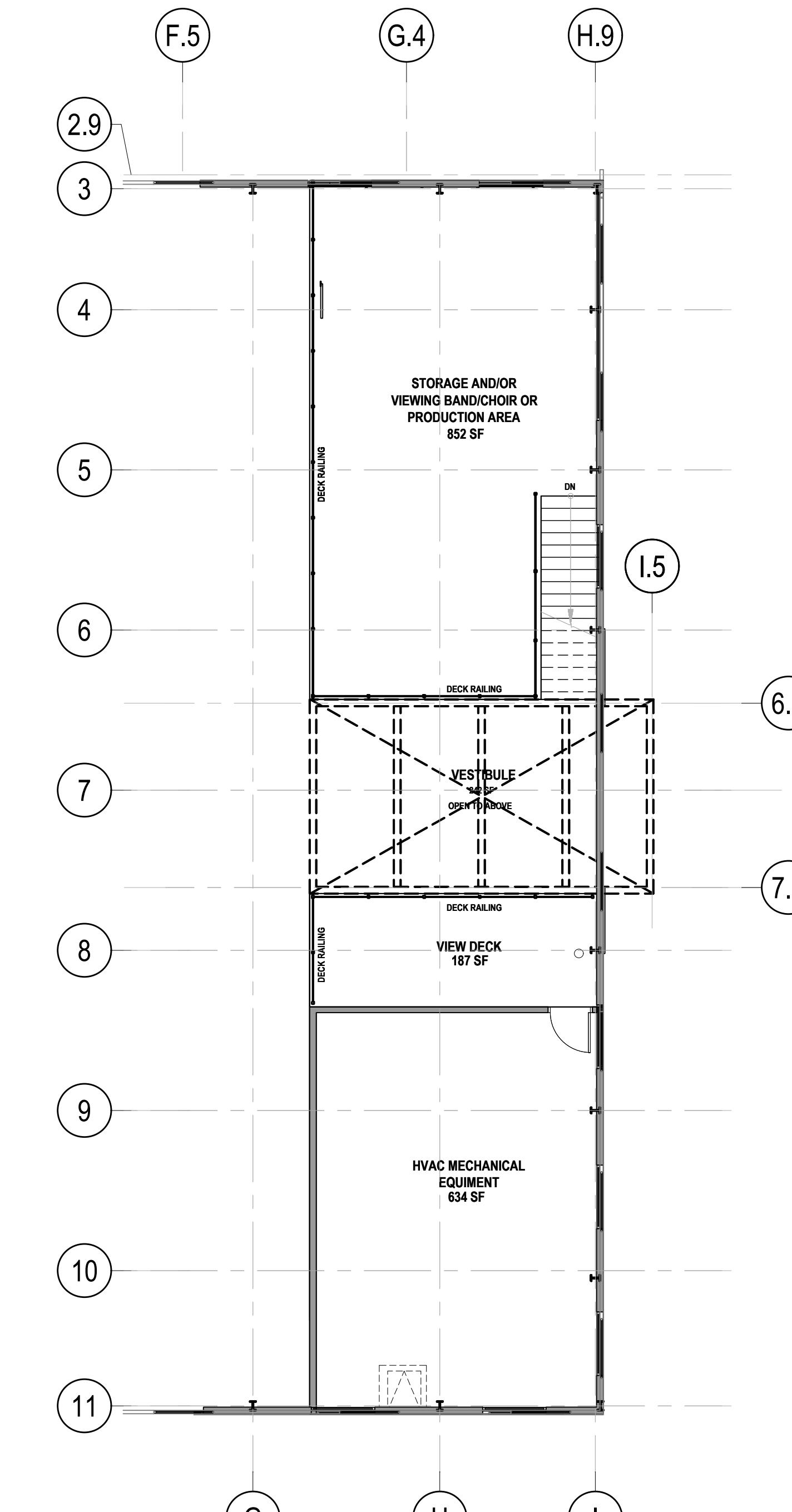
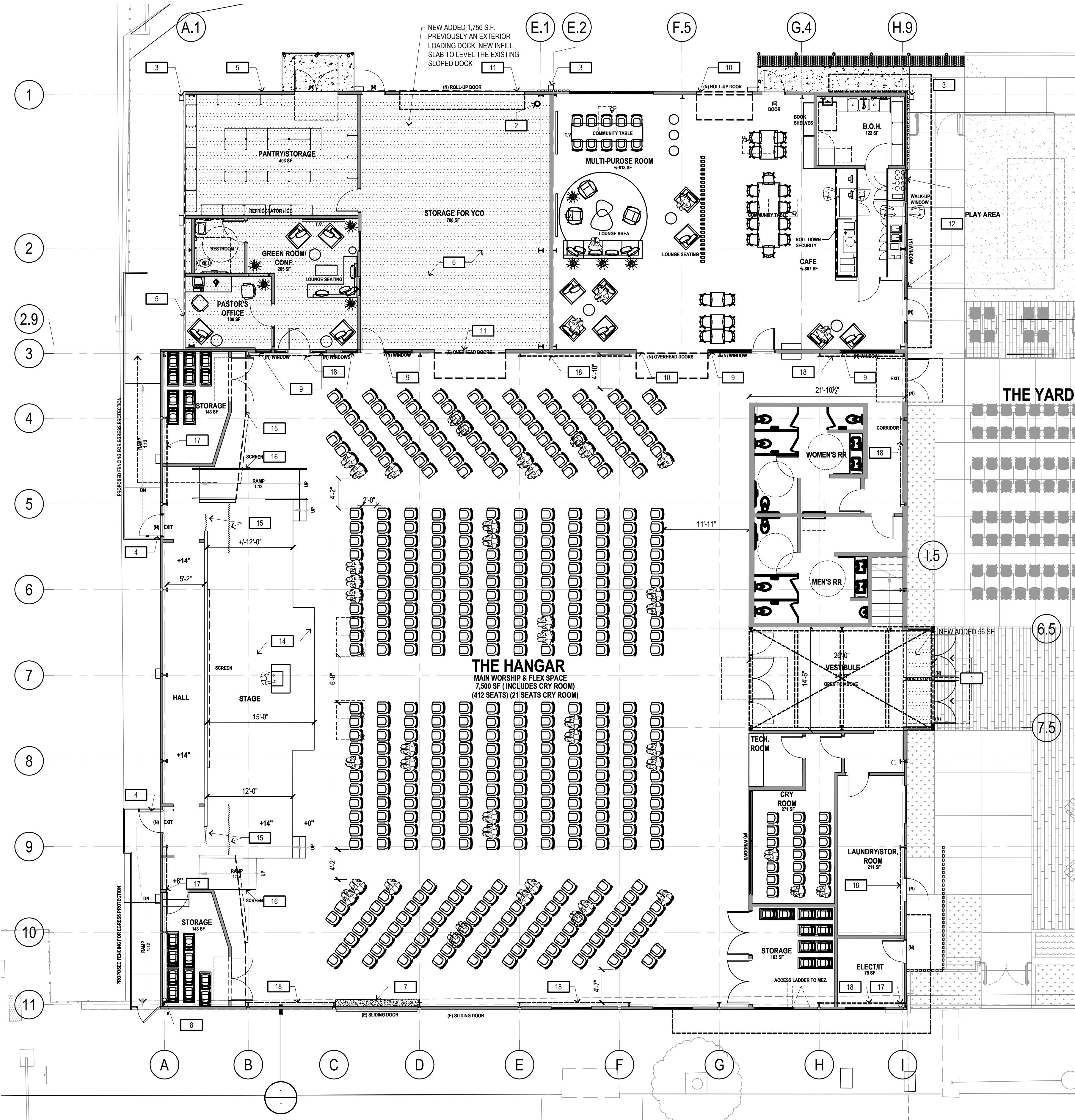


FRIENDS CHURCH - THE HANGAR
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WEST BUILDING
EXISTING FLOOR PLAN

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05



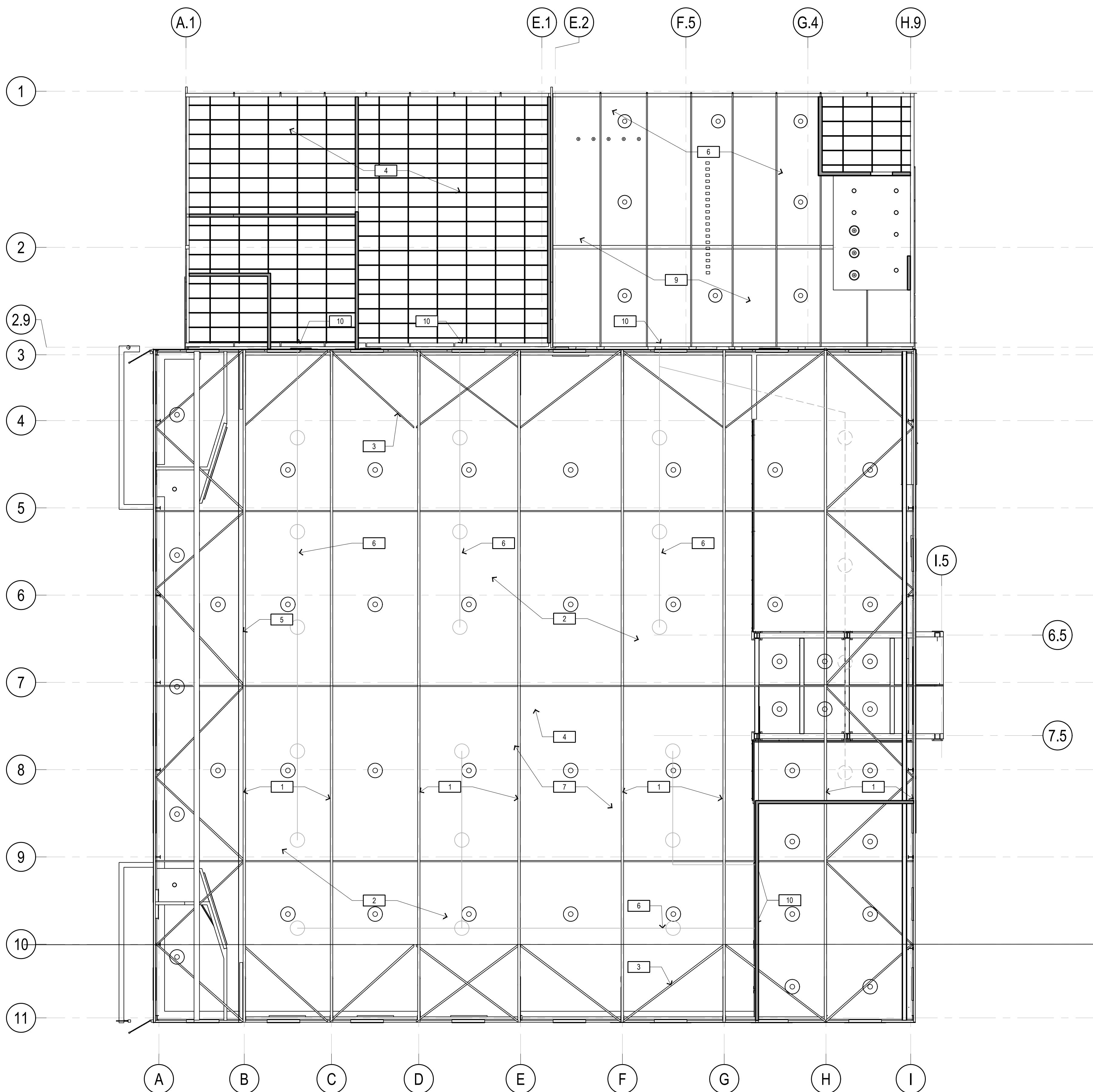
FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

WEST BUILDING
PROPOSED FLOOR PLAN

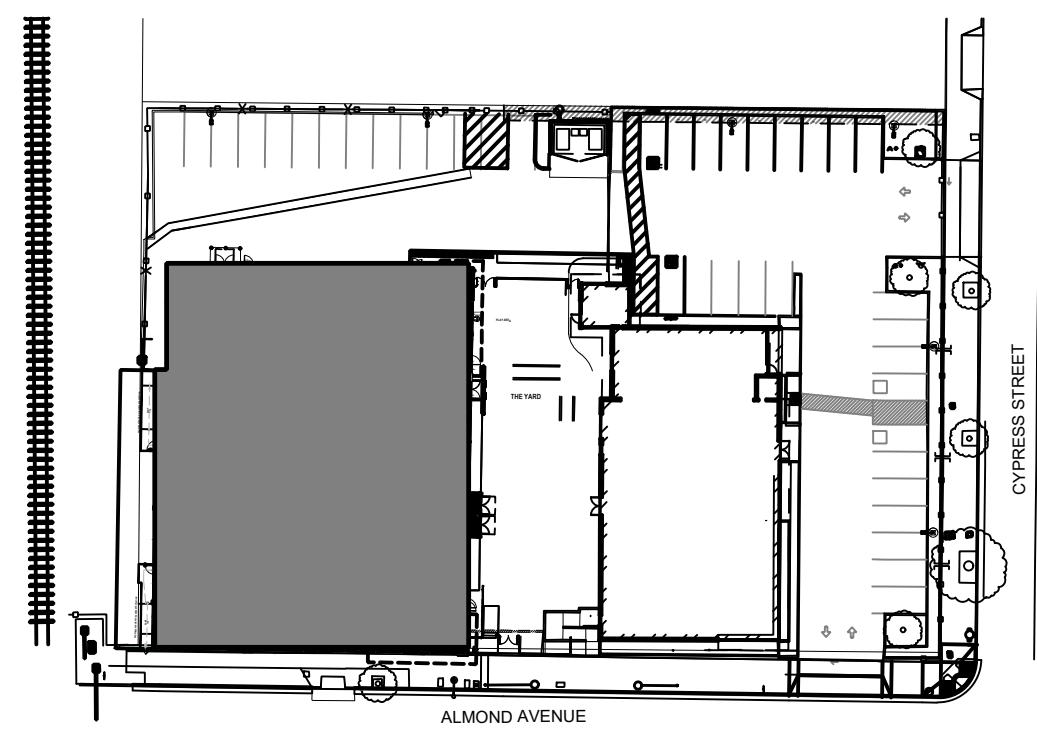
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06

Job No. 2023-0553
Date: 2026-01-08



KEY PLAN



KEYNOTES

- 1 EXISTING STEEL BARREL VAULT TRUSSES TO BE EXPOSED
- 2 ACOUSTIC SOUND BOARD OVER UNDERSIDE OF DECK
- 3 EXISTING STEEL SEISMIC BRACING TO BE EXPOSED
- 4 24"X48" ACOUSTIC CEILING TILES
- 5 NEW PARTITION RAIL FOR ROOM DIVIDER SUPPORT
- 6 NEW EXPOSED MECHANICAL DUCTING
- 7 NEW HIGHBAY LIGHTING
- 8 NEW WOOD AND STEEL DECORATIVE
- 9 EXPOSED EXISTING METAL TRUSSES WHERE ALLOWED BY HEALTH CODE
- 10 SIDE THROW DUCTING
- 11 DOWNLIGHT

1/8' 0' 1' 2' 4' 8' 12' 16'

TRUE NORTH



FRIENDS CHURCH - THE HANGAR
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WEST BUILDING
PROPOSED REFLECTED CEILING PLAN

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Job No. 2023-0553
Date: 2026-01-08

EXISTING ROOF: PAINTED METAL DECK

NOTES: STRUCTURAL REVIEW OF EXISTING METAL DECK TO CONFIRM ITS REUSE

This technical diagram illustrates a cross-section of a roof fascia and soffit assembly. The diagram shows a vertical cross-section of the roof edge, with various components labeled. From top to bottom, the labels are: METAL CORRUGATED ROOFING TO MATCH EXISTING, WATERPROOFING, CLAD METAL FASCIA, PRESSURE TREATED WOOD NAILER, EXISTING METAL ROOF DECKING, CONCEALED METAL GUTTER SYSTEM, NEW METAL FASCIA, NEW METAL SOFFIT PANEL, and NEW RIGID R-30 INSULATION. The diagram shows how the new metal fascia and soffit are attached to the existing metal roof decking and how the new insulation and paneling are installed beneath the new fascia.

② HIGH ROOF EVE W/ GUTTER

10' 6" A.F.F.

10"

STAND ROOFING

COUNTER CORRU, WALL P

STEEL

METAL

METAL

CORRU, WALL P

CANOPY

③ STEEL

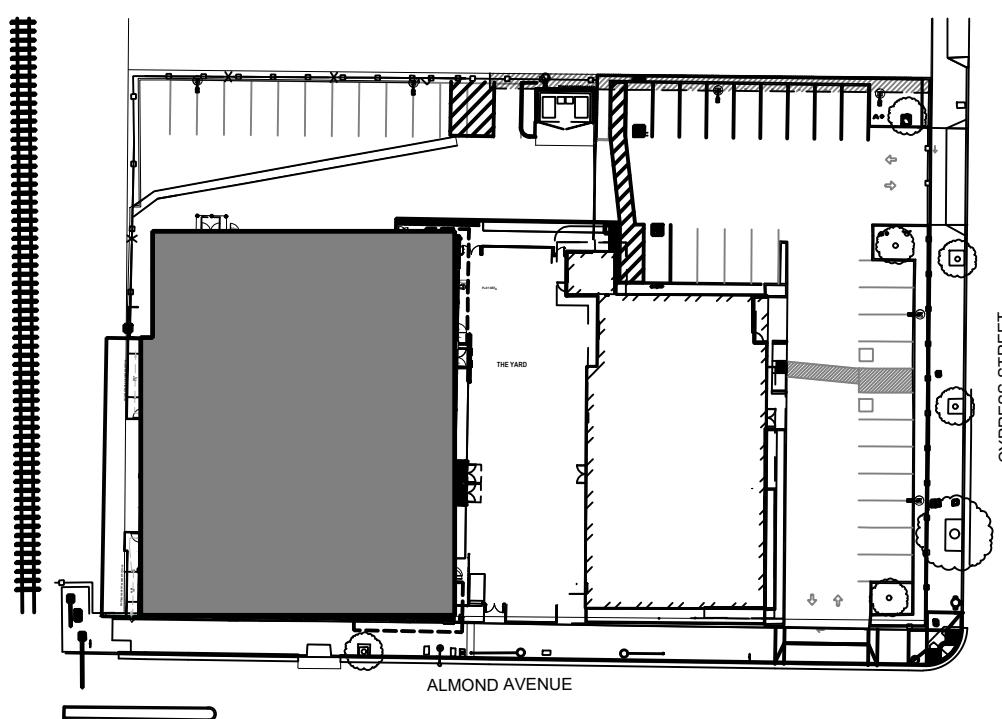
This technical diagram illustrates a cross-section of a steel canopy support structure. The vertical height of the structure is marked as 10' 6" A.F.F. (Above Finish Face). The diagram labels the following components from top to bottom:

- STANDING SEAM METAL ROOFING
- COUNTER FLASHING AT CORRUGATED METAL WALL PANEL
- STEEL
- METAL FRAMING
- METAL SOFFIT PANEL
- CORRUGATED METAL WALL PANEL
- STEEL CHANNEL
- CORRUGATED METAL WALL PANEL
- STEEL CANOPY SUPPORT

The diagram shows the relationship between these components, including the steel canopy support at the base, the corrugated metal wall panels, the steel channel, and the various metal framing and panel layers above.

④ CANOPY OVER EGRESS

KEY PLAN



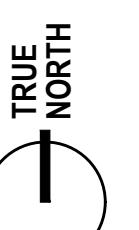
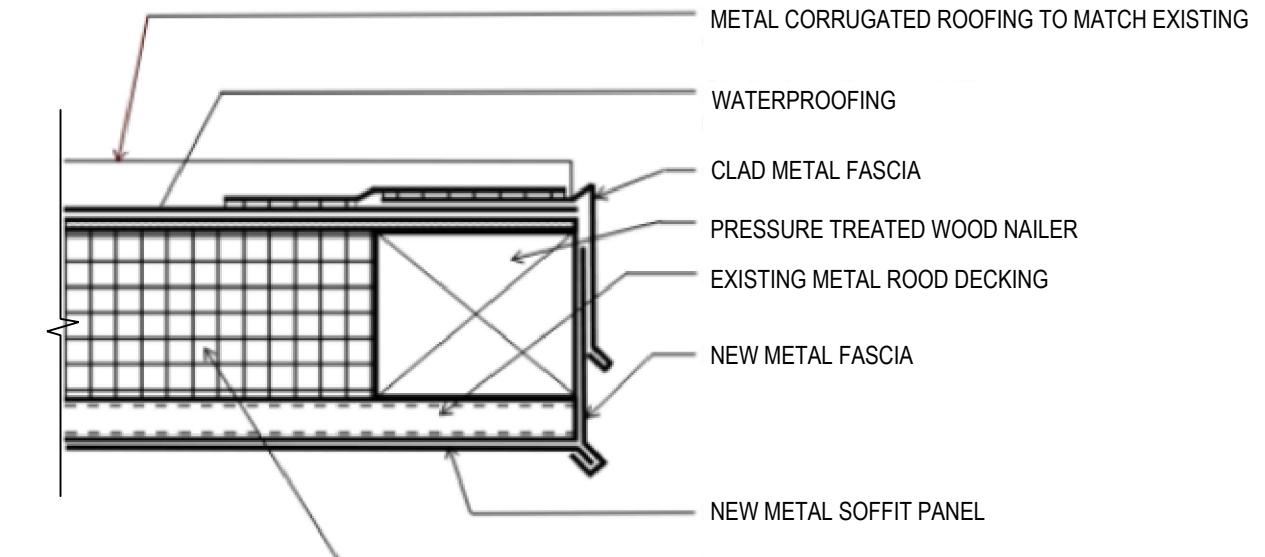
KEYNOTES

- 1 NEW HIGH ROOF - ROOFING SYSTEM - OVER CURRENT OR REPLACED CORRUGATED METAL PANEL SYSTEM WITH CONTINUOUS INSULATION PER T-24 REQUIREMENTS.
- 2 NEW LOW ROOF - ROOFING SYSTEM - OVER CURRENT OR REPLACED CORRUGATED METAL PANEL SYSTEM WITH CONTINUOUS INSULATION PER T-24 REQUIREMENTS.
- 3 NEW STANDING SEAM ROOFING OVER NEW ENTRY
- 4 NEW STANDING SEAM COVER OVER EXTERIOR EMERGENCY EGRESS AREAS
- 5 NEW MECHANICAL PLATFORM AND HVAC WITH SIDEWALL DUCTING
- 6 CONCEALED GUTTER SYSTEM W/ INTERNAL ROOF DRAIN TIED TO SD- SEE CIVIL
- 7 GUTTER (PAINTED - SEE ELEVATIONS)
- 8 EXTERIOR DOWNSPOUTS TIED TO SD SYSTEM
- 9 EXTERIOR COLLECTOR/OVERFLOW AND DOWNSPOUT-SPILL TO GRADE
- 10 DRAINAGE FROM HIGH TO LOW ROOF

ROOF ASSEMBLY

EXISTING ROOF: PAINTED METAL DECK

NOTES: STRUCTURAL REVIEW OF EXISTING METAL DECK TO CONFIRM ITS REUSE

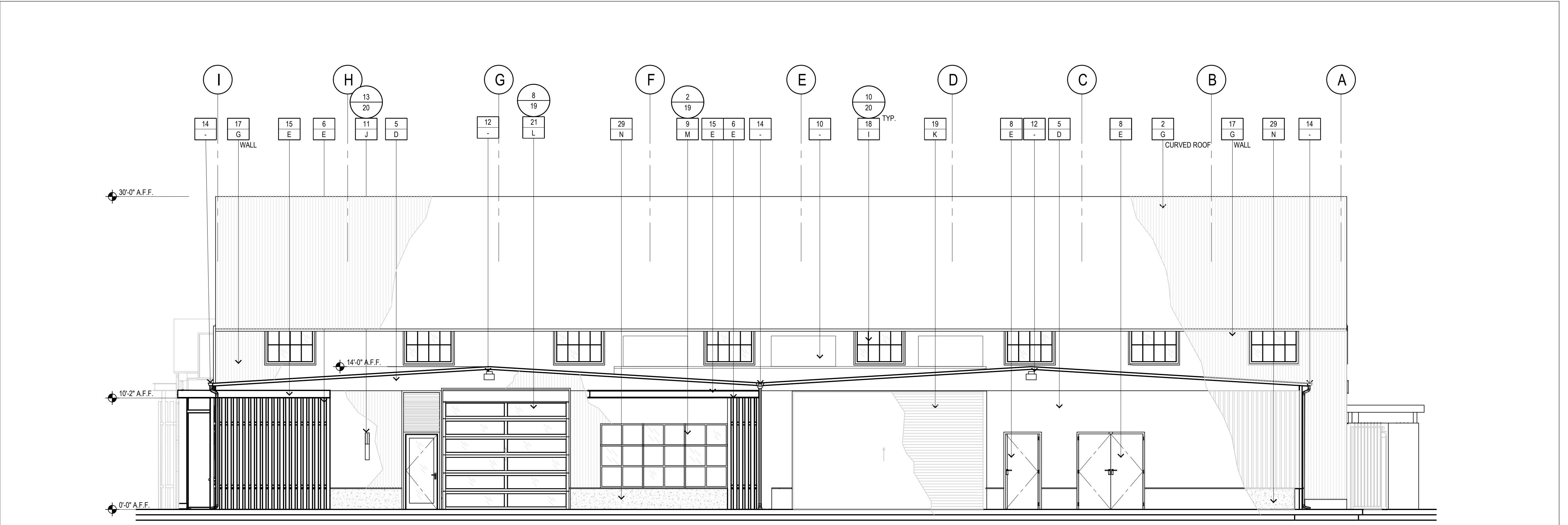


FRIENDS

FRIENDS CHURCH - THE HANGAR

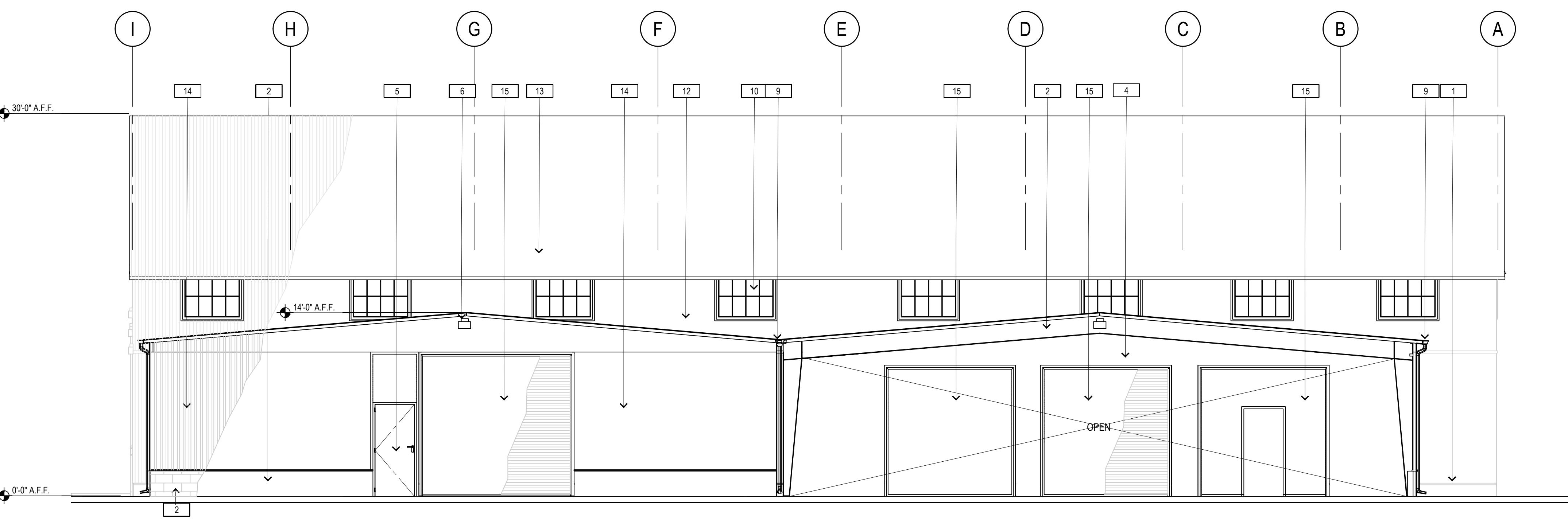
WEST BUILDING PROPOSED ROOF PLAN

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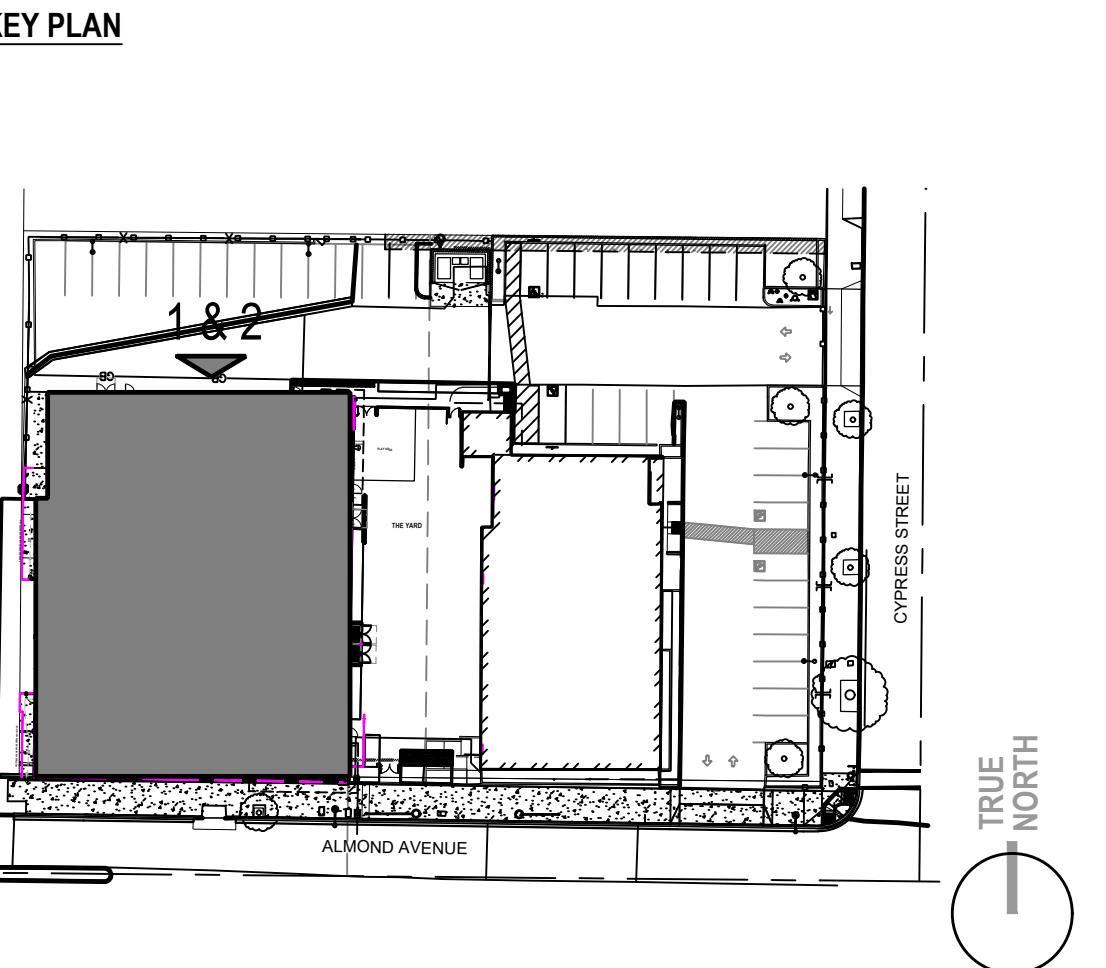
PROPOSED - NORTH ELEVATION

3/16"-1'-0" 1



EXISTING - NORTH ELEVATION

3/16"-1'-0" 2



KEYNOTE

- 1 EXISTING CONCRETE BUILDING CURB
- 2 EXISTING CMU BUILDING STEM WALL
- 3 EXISTING PAINTED STEEL TRUSS
- 4 EXISTING LOADING DOCK
- 5 EXISTING METAL DOOR
- 6 EXISTING EXTERIOR WALL PACK
- 7 EXISTING ROLLING DOOR RAIL TO REMAIN
- 8 EXISTING ROLLING DOOR TO BE REMOVED
- 9 EXISTING GUTTER SYSTEM DOWNSPOUT
- 10 EXISTING WINDOWS TO REMAIN
- 11 EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN
- 12 EXISTING CORRUGATED METAL WALL PANEL
- 13 EXISTING CORRUGATED METAL PANEL ROOF SYSTEM
- 14 EXISTING VERTICAL WALL CLADDING SIDING
- 15 EXISTING OVERHEAD GARAGE DOOR

FINISH SCHEDULE - MATERIAL

- 1 NEW STANDING SEAM METAL PANEL ROOF
- 2 CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING OR INSULATION OVER EXISTING METAL DECK
- 3 NEW SMOOTH STUCCO
- 4 NEW WOOD CLADDING
- 5 EXISTING PAINTED VERTICAL METAL CLADDING SIDING-REPLACE LIKE FOR LIKE-NEW PAINT
- 6 NEW METAL SLATS-PAINTED
- 7 NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING
- 8 NEW HOLLOW METAL DOOR
- 9 NEW STOREFRONT SYSTEM
- 10 NEW ROOF TOP UNITS
- 11 NEW DECORATIVE WALL SCONCE
- 12 NEW WALL PACK EXTERIOR LIGHT
- 13 NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE
- 14 NEW DOWNSPOUT
- 15 NEW ROOF CANOPY
- 16 NEW ADDRESS SIGNAGE
- 17 EXISTING PAINTED CORRUGATED METAL PANEL CLADDING-REPLACE LIKE FOR LIKE-MANUFACTURER APPLIED METALLIC PAINT
- 18 EXISTING FIXED WINDOW TO REMAIN-NEW PAINT
- 19 NEW ALUMINUM ROLL-UP GARAGE DOOR
- 20 NEW ALUMINUM BI-FOLD WINDOWS
- 21 NEW ALUMINUM ROLL-UP WINDOW GARAGE DOOR
- 22 NEW SIGNAGE
- 23 EXISTING METAL TRIMS TO REMAIN-PAINTED
- 24 EXISTING ROLLING DOOR RAIL TO REMAIN-NEW PAINT
- 25 EXISTING OVERHEAD DOOR TO REMAIN (FIXED)-REPLACE CORRUGATED METAL PANEL CLADDING-REPLACE LIKE FOR LIKE-NEW PAINT
- 26 EXISTING ROLLING DOOR TO REMAIN (FIXED)-REPLACE CORRUGATED METAL PANEL CLADDING-REPLACE LIKE FOR LIKE-NEW PAINT
- 27 NEW PASSIVE VENT LOUVER PAINTED
- 28 EXISTING WINDOW FRAME TO REMAIN PAINTED
- 29 SMOOTH PLASTER

FINISH SCHEDULE - FINISH

- A DARK BRONZE BY BERRIDGE
- B SMOOTH BY OMEGA
- C ELEGANT OAK BY TRESPA
- D STOCK COLOR: COLOR TO MATCH DARK BRONZE BY BERRIDGE
- E COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE
- F RAL TO MATCH DARK BRONZE AB-7 BY ARCADIA
- G NATURAL WHITE KYNAR 500/HYLAR 5000 BY BERRIDGE
- H #88 STANDARD DARK BRONZE AB-7 BY ARCADIA
- I PAINTED: COLOR TO MATCH DARK BRONZE BY BERRIDGE
- J LIGHT SCONCE REGA 24 BY LIGHTTOPIA
- K OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE
- L OVERHEAD DOOR CO. COLOR TO MATCH SHERWIN WILLIAMS RAL 1011 BROWN BEIGE
- M DARK BRONZE BY BOYD ARCHITECTURAL MUNIN WINDOW SYSTEMS
- N SANTA BARBARA BY OMEGA



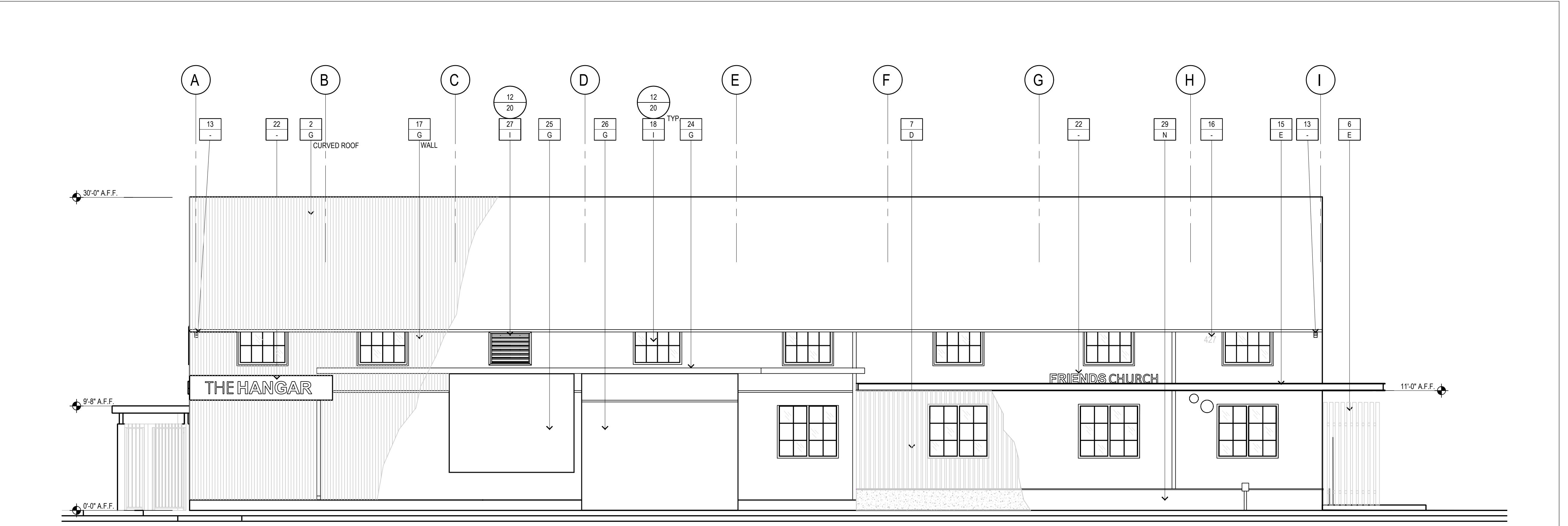
FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

WEST BUILDING
PROPOSED & EXISTING ELEVATIONS

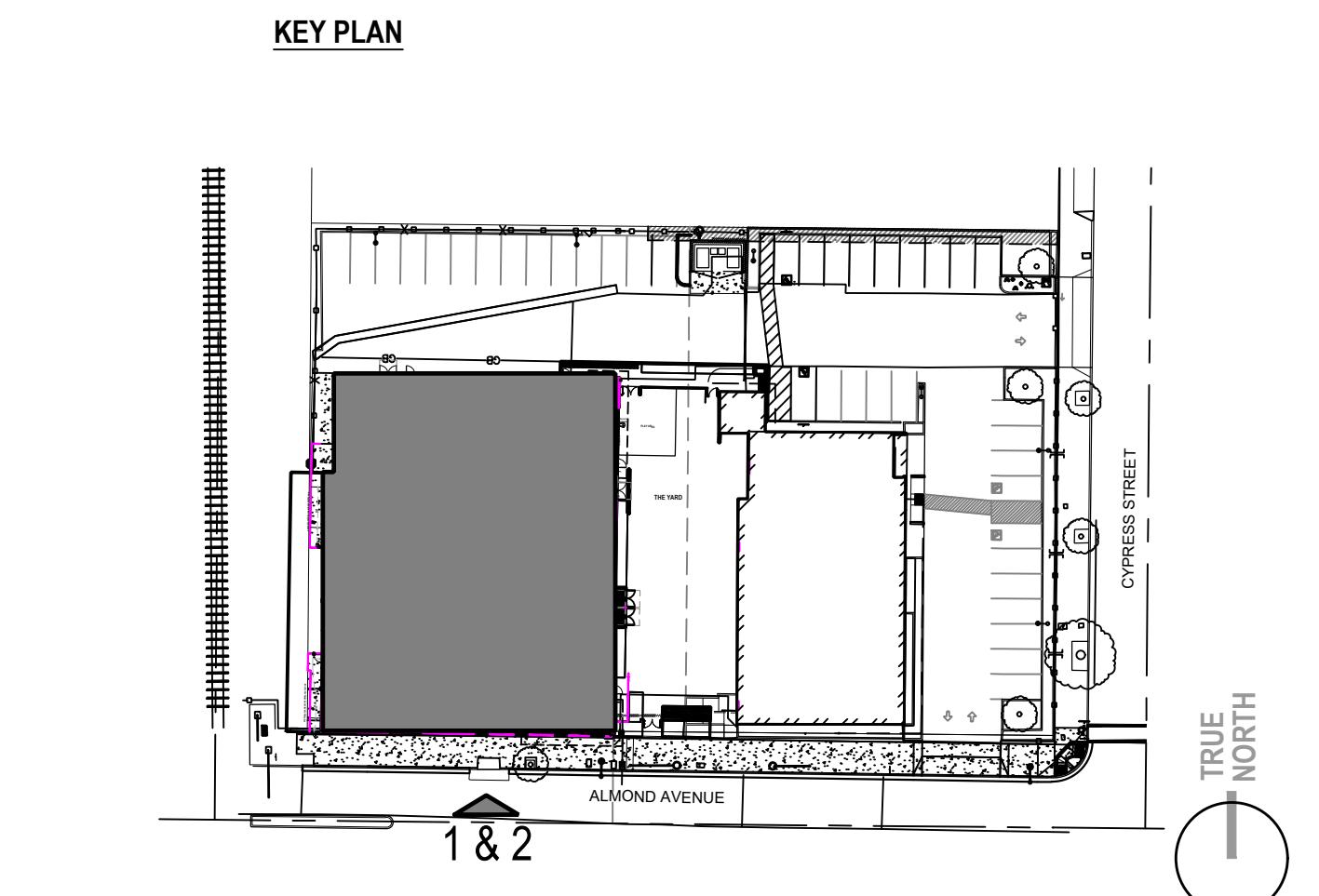
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Job No. 2023-0553
Date: 2026-01-08



PROPOSED - SOUTH ELEVATION 3/16"=1'-0"



KEYNOTE

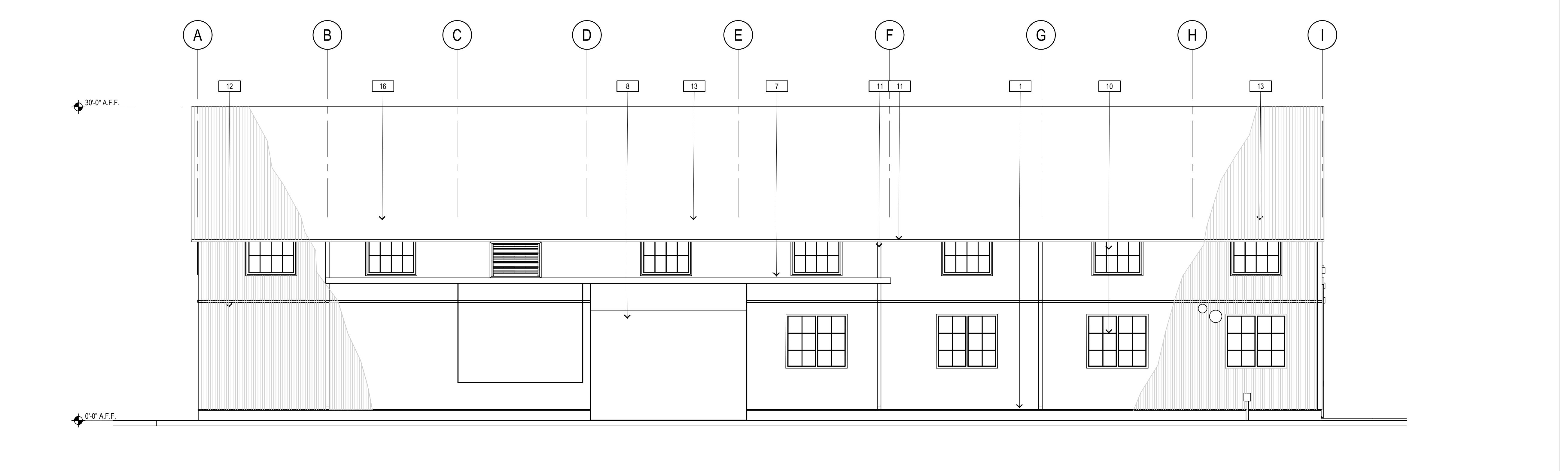
- 1 EXISTING CONCRETE BUILDING CURB
- 2 EXISTING CMU BUILDING STEM WALL
- 3 EXISTING PAINTED STEEL TRUSS
- 4 EXISTING LOADING DOCK
- 5 EXISTING METAL DOOR
- 6 EXISTING EXTERIOR WALL PACK
- 7 EXISTING ROLLING DOOR RAIL TO REMAIN
- 8 EXISTING ROLLING DOOR TO BE REMOVED
- 9 EXISTING GUTTER SYSTEM DOWNSPOUT
- 10 EXISTING WINDOWS TO REMAIN
- 11 EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN
- 12 EXISTING CORRUGATED METAL WALL PANEL
- 13 EXISTING CORRUGATED METAL PANEL ROOF SYSTEM
- 14 EXISTING VERTICAL WALL CLADDING SIDING
- 15 EXISTING OVERHEAD GARAGE DOOR
- 16 APPLIED ANTI-GRAFFITI PAINT/COATING TO ENTIRE WEST ELEVATION TO HORIZONTAL TRIM AT +/-11' ABOVE GRADE

FINISH SCHEDULE - MATERIAL

- 1 NEW STANDING SEAM METAL PANEL ROOF
- 2 CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING O INSULATION OVER EXISTING METAL DECK
- 3 NEW SMOOTH STUCCO
- 4 NEW WOOD CLADDING
- 5 EXISTING PAINTED VERTICAL METAL CLADDING SIDING-REPLACE LIKE FOR LIKE-NEW PAINT
- 6 NEW METAL SLATS-PAINTED
- 7 NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING
- 8 NEW HOLLOW METAL DOOR
- 9 NEW STOREFRONT SYSTEM
- 10 NEW ROOF TOP UNITS
- 11 NEW DECORATIVE WALL SCONCE
- 12 NEW WALL PACK EXTERIOR LIGHT
- 13 NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE
- 14 NEW DOWNSPOUT
- 15 NEW ROOF CANOPY
- 16 NEW ADDRESS SIGNAGE
- 17 EXISTING PAINTED CORRUGATED METAL PANEL CLADDING-REPLACE LIKE FOR LIKE-MANUFACTURER APPLIED METALLIC PAINT
- 18 EXISTING FIXED WINDOW TO REMAIN-NEW PAINT
- 19 NEW ALUMINUM ROLL-UP GARAGE DOOR
- 20 NEW ALUMINUM BI-FOLD WINDOWS
- 21 NEW ALUMINUM ROLL-UP WINDOW GARAGE DOOR
- 22 NEW SIGNAGE
- 23 EXISTING METAL TRIMS TO REMAIN-PAINTED
- 24 EXISTING ROLLING DOOR RAIL TO REMAIN-NEW PAINT
- 25 EXISTING OVERHEAD DOOR TO REMAIN (FIXED)-REPLACE CORRUGATED METAL PANEL CLADDING-REPLACE LIKE FOR LIKE-NEW PAINT
- 26 EXISTING ROLLING DOOR TO REMAIN (FIXED)-REPLACE CORRUGATED METAL PANEL CLADDING-REPLACE LIKE FOR LIKE-NEW PAINT
- 27 NEW PASSIVE VENT LOUVER PAINTED
- 28 EXISTING WINDOW FRAME TO REMAIN PAINTED
- 29 SMOOTH PLASTER

FINISH SCHEDULE - FINISH

- A DARK BRONZE BY BERRIDGE
- B SMOOTH BY OMEGA
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- F RAL TO MATCH DARK BRONZE AB-7 BY ARCADIA
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- M DARK BRONZE BY BOYD ARCHITECTURAL MUNTIN WINDOW SYSTEMS
- N SANTA BARBARA BY OMEGA



EXISTING - SOUTH ELEVATION 3/16"=1'-0"



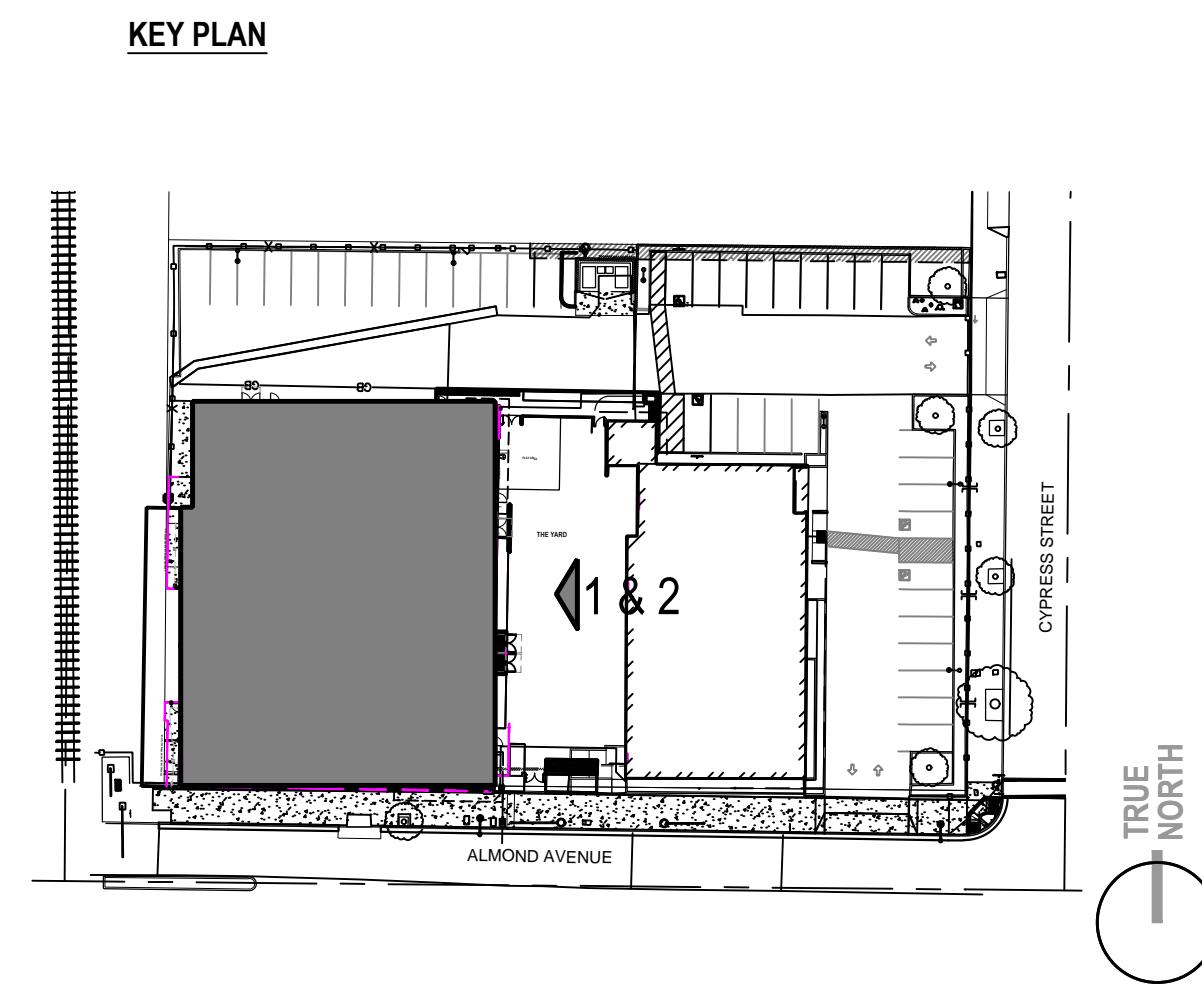
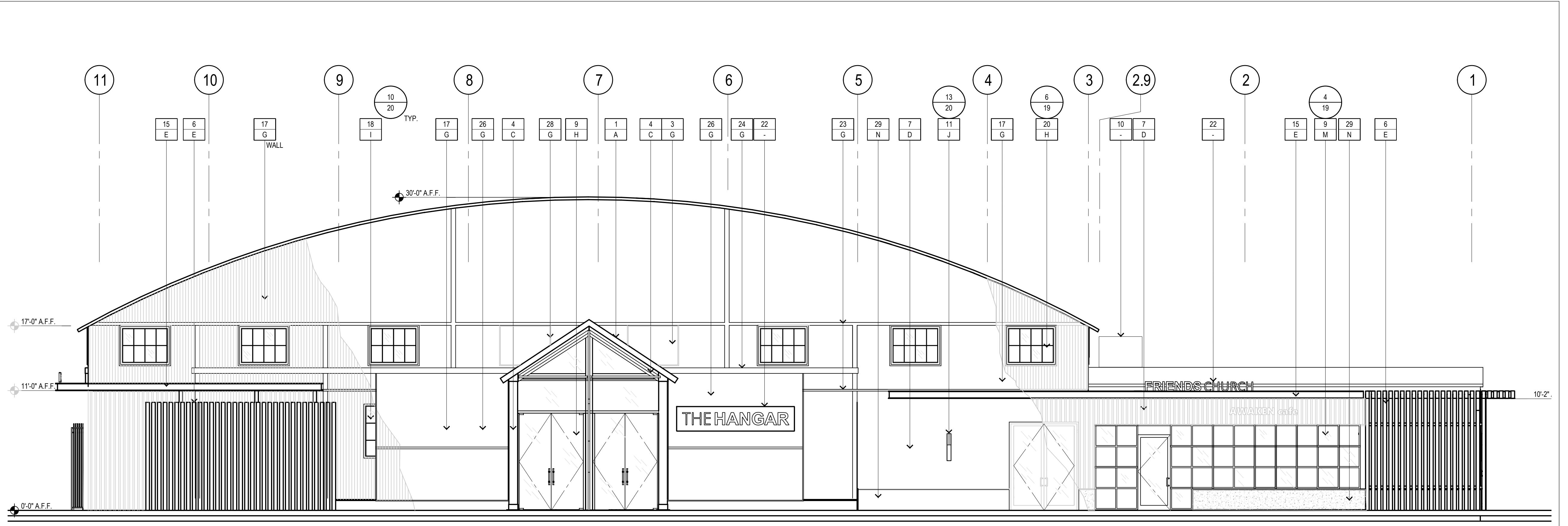
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WEST BUILDING
PROPOSED & EXISTING ELEVATIONS

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Job No. 2023-0553
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KEYNOTE	
1	EXISTING CONCRETE BUILDING CURB
2	EXISTING CMU BUILDING STEM WALL
3	EXISTING PAINTED STEEL TRUSS
4	EXISTING LOADING DOCK
5	EXISTING METAL DOOR
6	EXISTING EXTERIOR WALL PACK
7	EXISTING ROLLING DOOR RAIL TO REMAIN
8	EXISTING ROLLING DOOR TO BE REMOVED
9	EXISTING GUTTER SYSTEM DOWNSPOUT
10	EXISTING WINDOWS TO REMAIN
11	EXISTING VERTICAL/HORIZONTAL TRIM TO REMAIN
12	EXISTING CORRUGATED METAL WALL PANEL
13	EXISTING CORRUGATED METAL PANEL ROOF SYSTEM
14	EXISTING VERTICAL WALL CLADDING SIDING
15	EXISTING OVERHEAD GARAGE DOOR
16	APPLIED ANTI-GRAFFITI PAINT/COATING TO ENTIRE WEST ELEVATION TO HORIZONTAL TRIM AT +/- 11' ABOVE GRADE

FINISH SCHEDULE - MATERIAL

1	NEW STANDING SEAM METAL PANEL ROOF
2	CORRUGATED PANEL ROOF SYSTEM TO MATCH EXISTING Q INSULATION OVER EXISTING METAL DECK
3	NEW SMOOTH STUCCO
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7	NEW PAINTED VERTICAL METAL CLADDING SIDING TO MATCH EXISTING
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9	NEW STOREFRONT SYSTEM
10	NEW ROOF TOP UNITS
11	NEW DECORATIVE WALL SCONCE
12	NEW WALL PACK EXTERIOR LIGHT
13	NEW DOWNSPOUT FROM CONCEALED GUTTER SYSTEM-INTERNALIZED BELOW ROOF LINE
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27	NEW PASSIVE VENT LOUVER PAINTED
28	EXISTING WINDOW FRAME TO REMAIN PAINTED
29	SMOOTH PLASTER

FINISH SCHEDULE - FINISH

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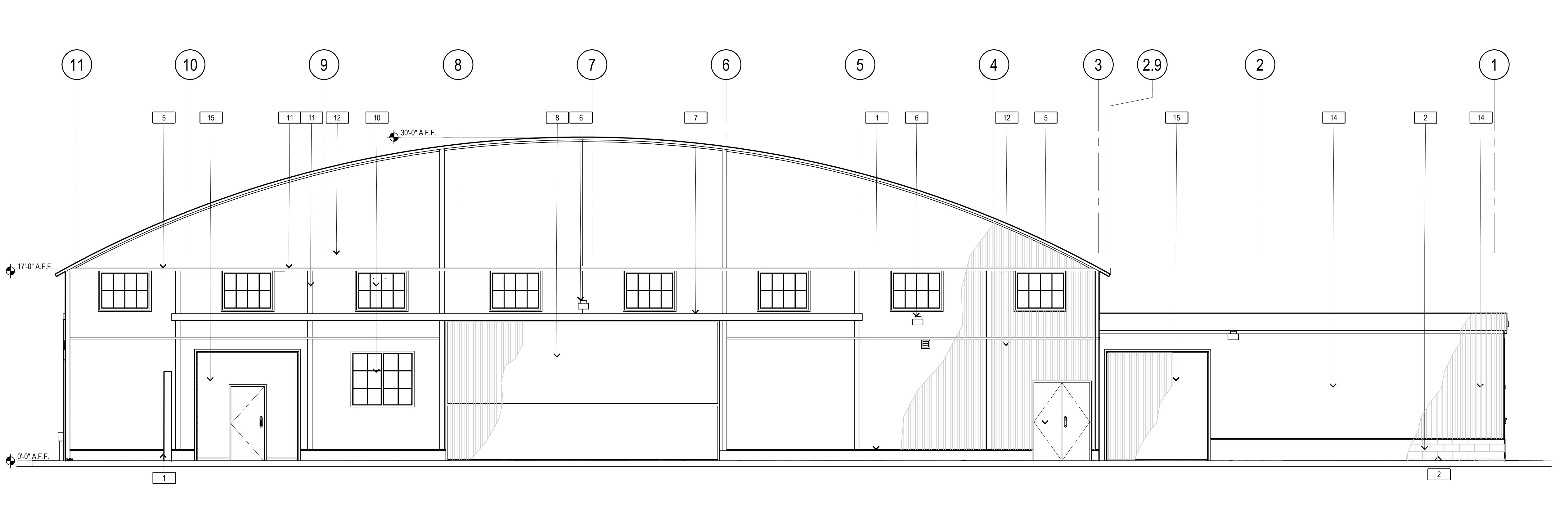
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WEST BUILDING
PROPOSED & EXISTING ELEVATIONS

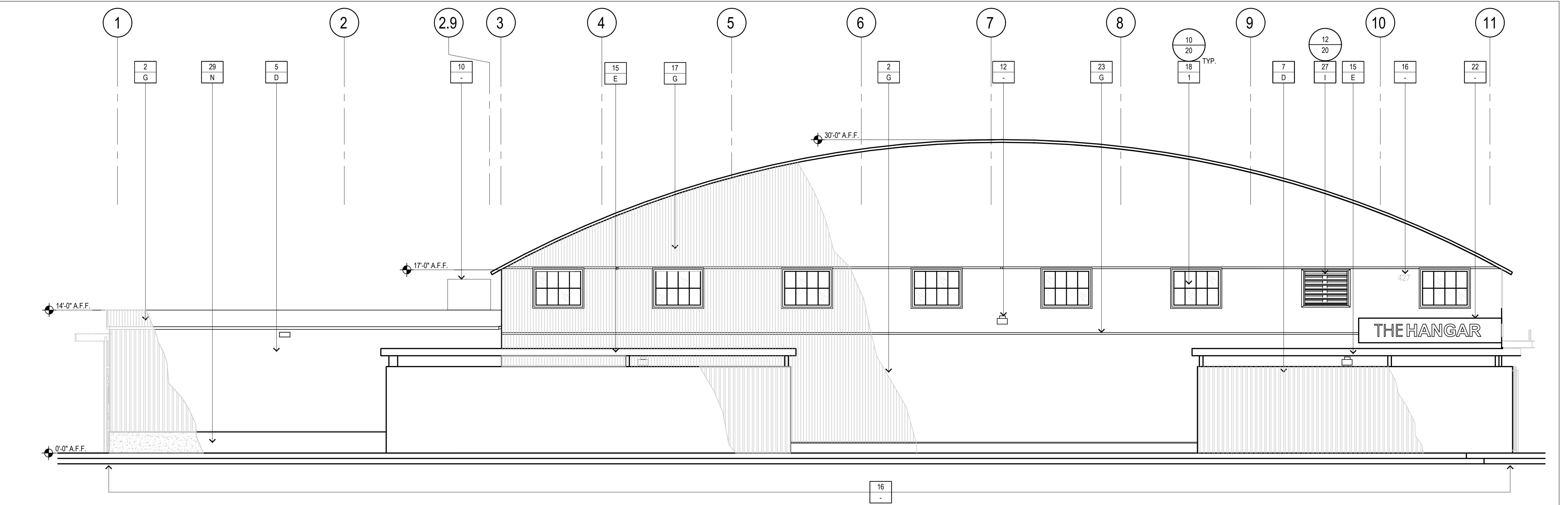
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Job No. 2023-0553
Date: 2026-01-08

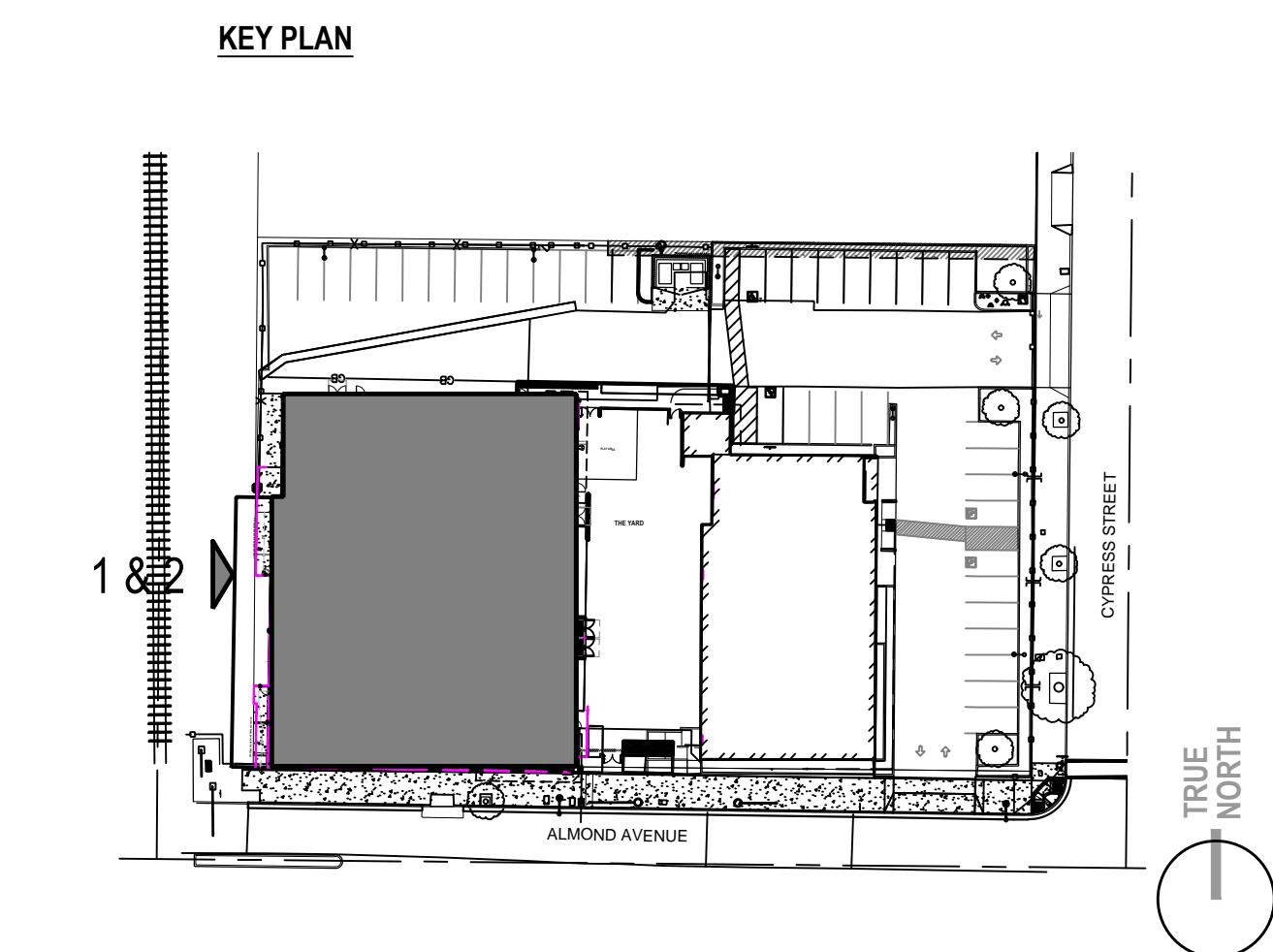


3/16"=1'-0" 2



PROPOSED - WEST ELEVATION

3/16"=1'-0"



KEYNOTE

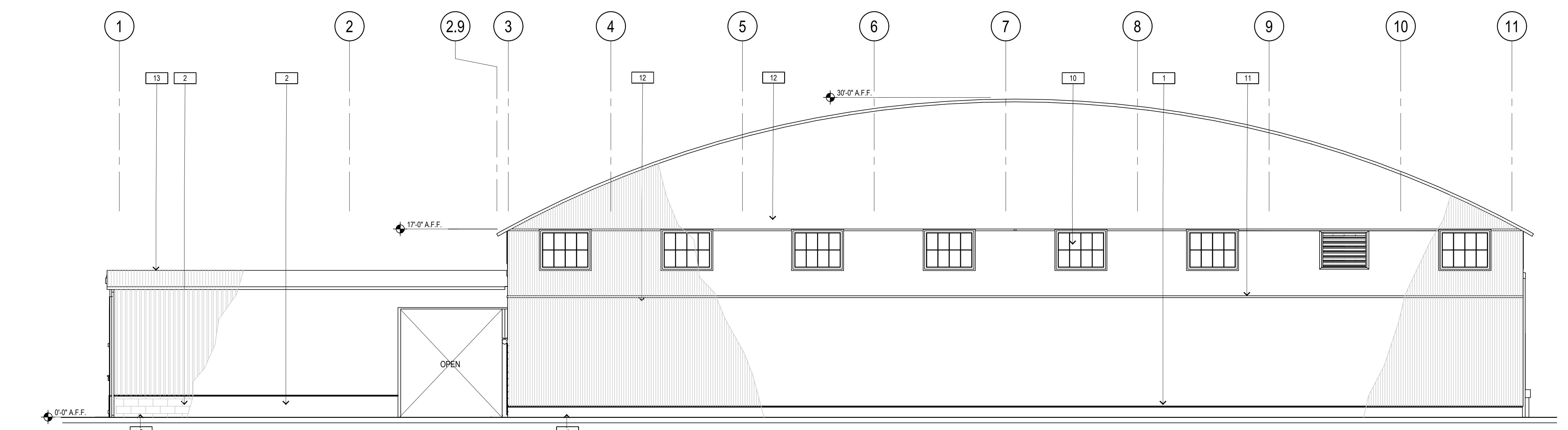
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FINISH SCHEDULE - FINISH

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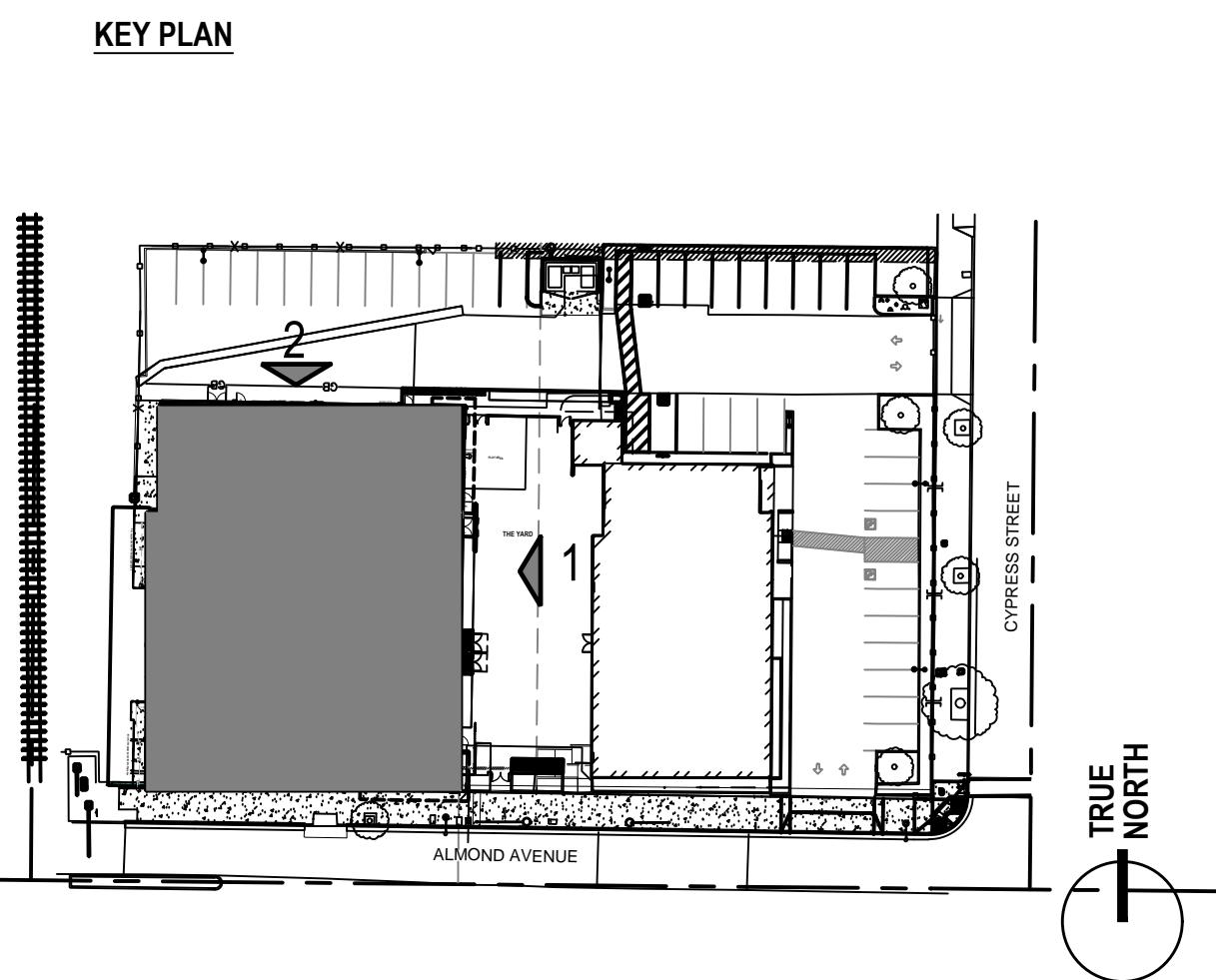
EXISTING - WEST ELEVATION

3/16"=1'-0"



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

WEST BUILDING
PROPOSED & EXISTING ELEVATIONS



KEYNOTE	
1	EXISTING CONCRETE BUILDING CURB DOWNSPOUT
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28	EXISTING WINDOW FRAME TO REMAIN PAINTED
29	SMOOTH PLASTER

FINISH SCHEDULE - FINISH

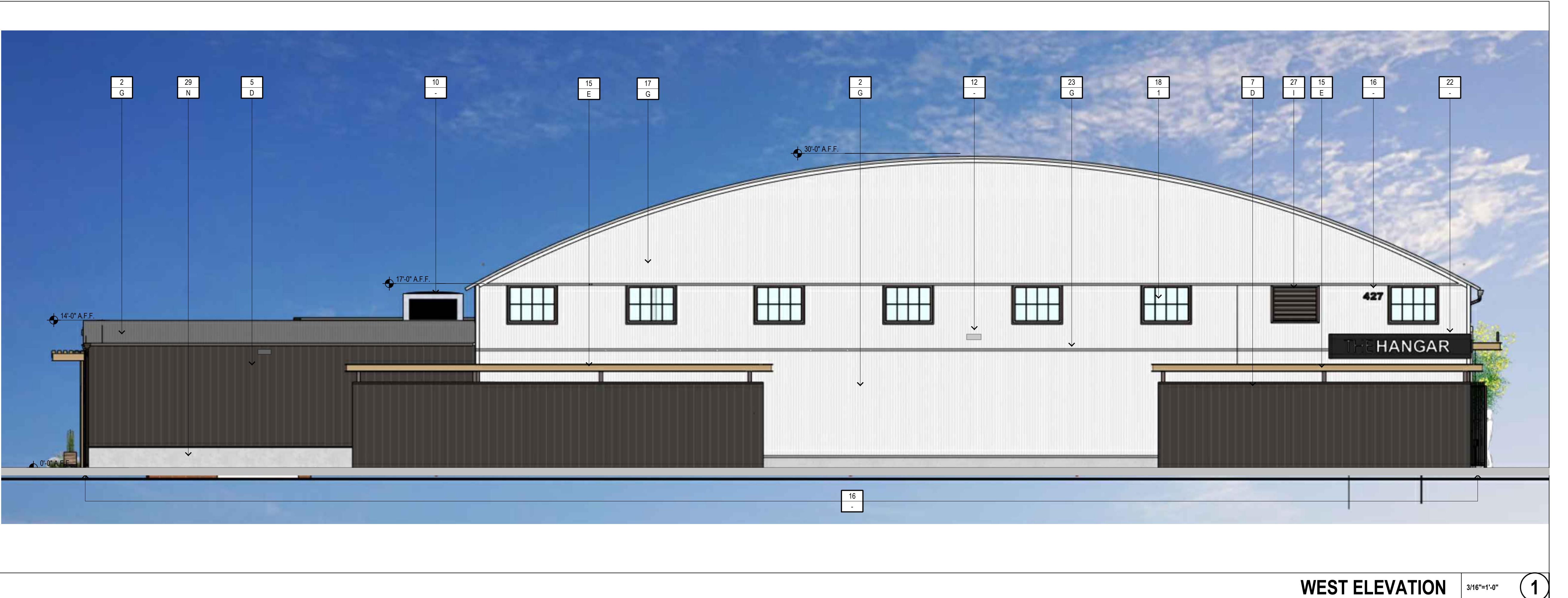
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NORTH ELEVATION 3/16"=1'-0" 2

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WEST BUILDING
PROPOSED ELEVATIONS - COLORED

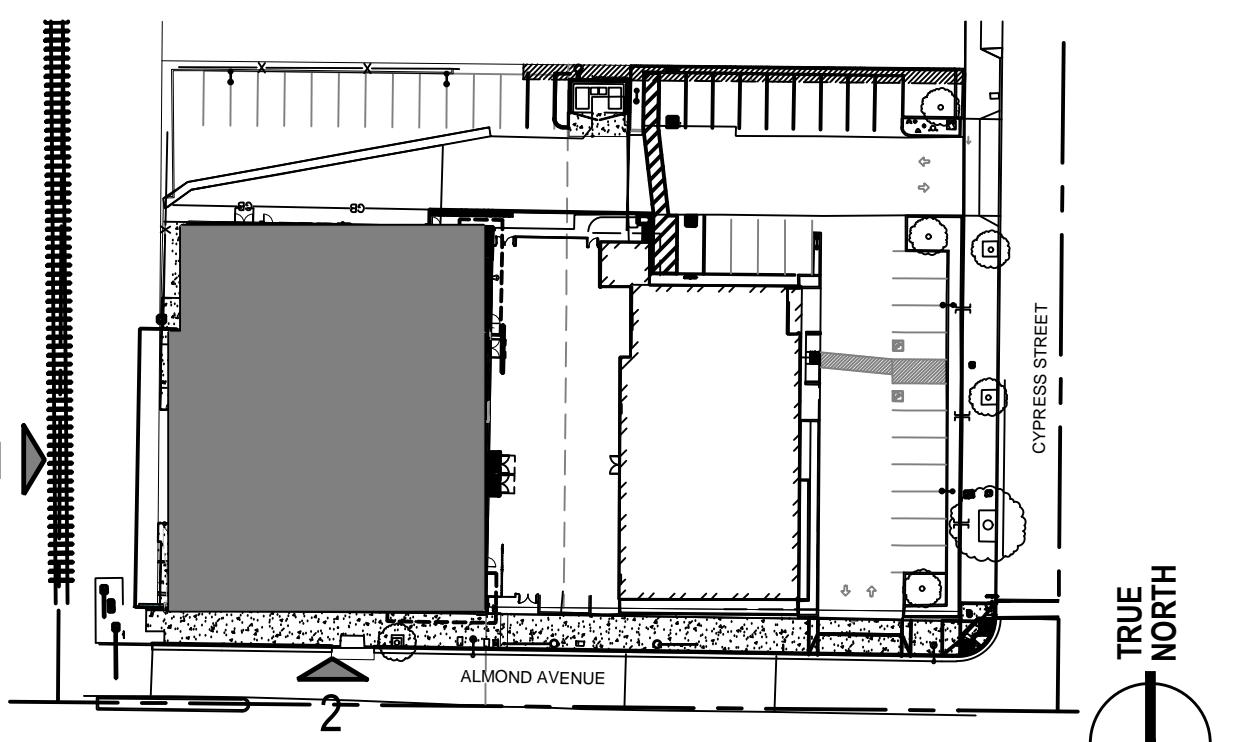


WEST ELEVATION 3/16"=1'-0" 1



SOUTH ELEVATION 3/16"=1'-0" 2

KEY PLAN



KEYNOTE

1	EXISTING CONCRETE BUILDING CURB
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FRIENDSCHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

WEST BUILDING
PROPOSED ELEVATIONS - COLORED



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WEST BUILDING
EXTERIOR RENDERINGS

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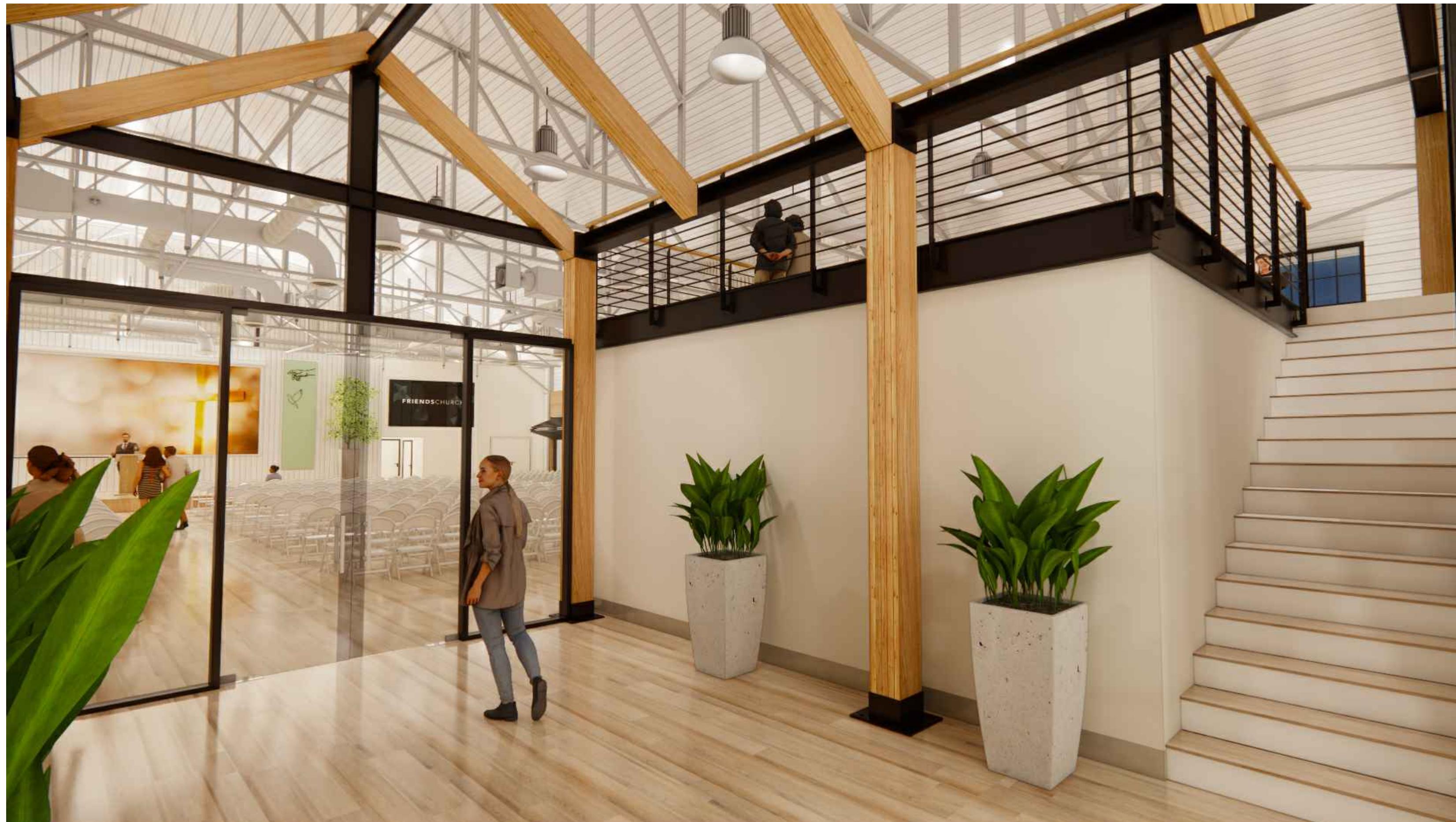
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Date 2026-01-08



FRIENDS CHURCH - THE HANGAR

180 S. CYPRESS, ORANGE, CA

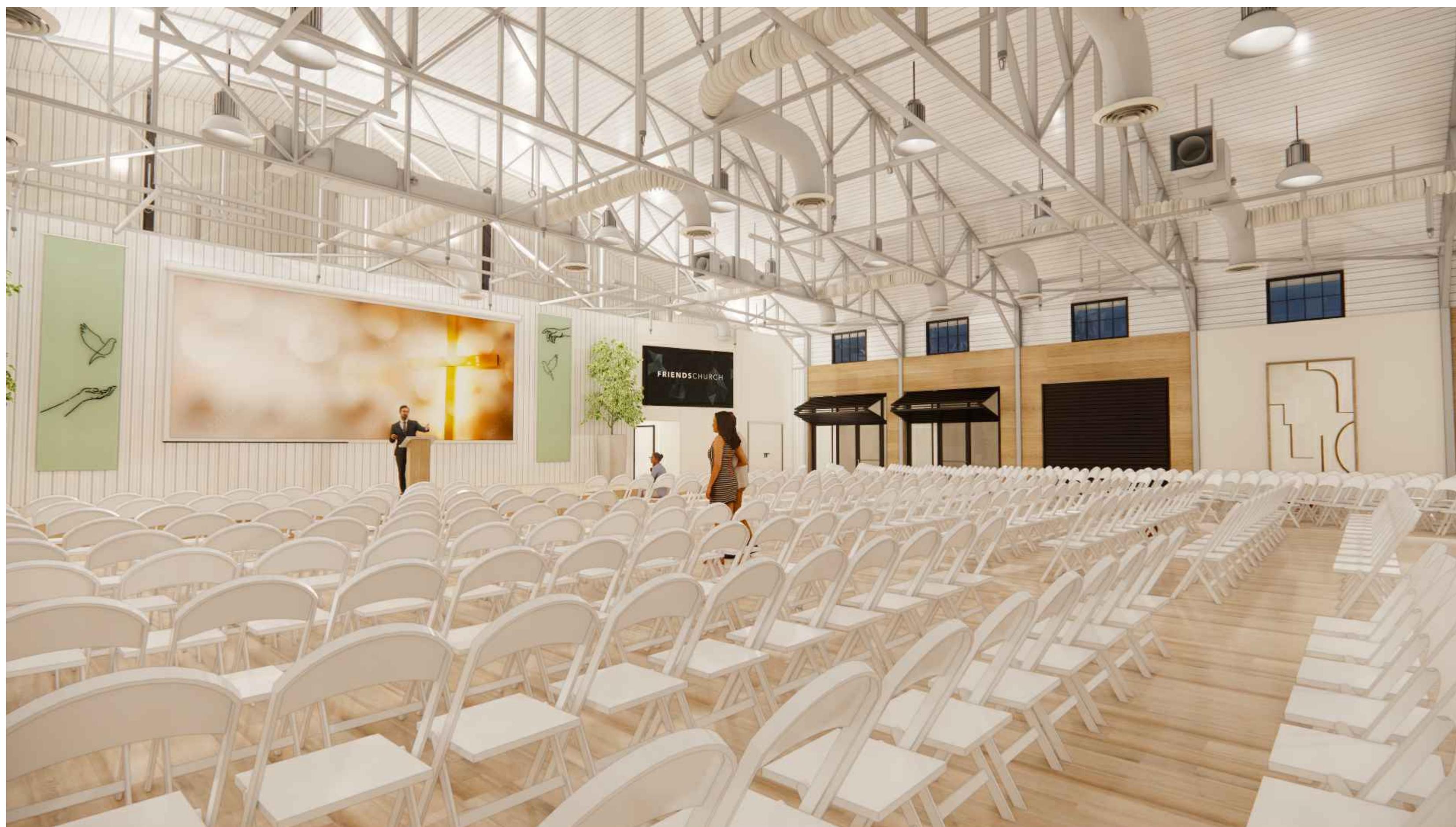
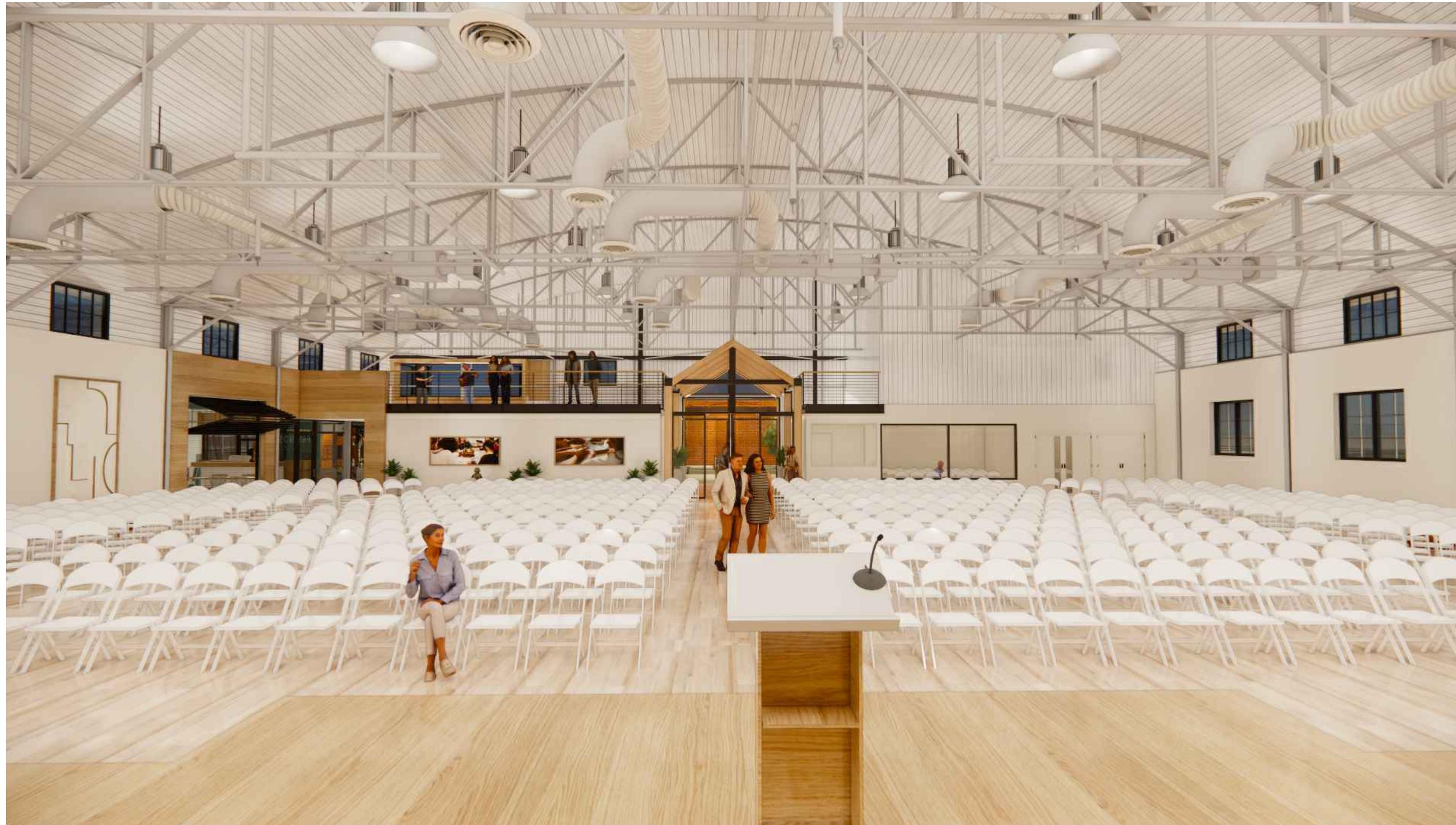
WEST BUILDING
EXTERIOR RENDERINGS



FRIENDS CHURCH - THE HANGAR

180 S. CYPRESS, ORANGE, CA

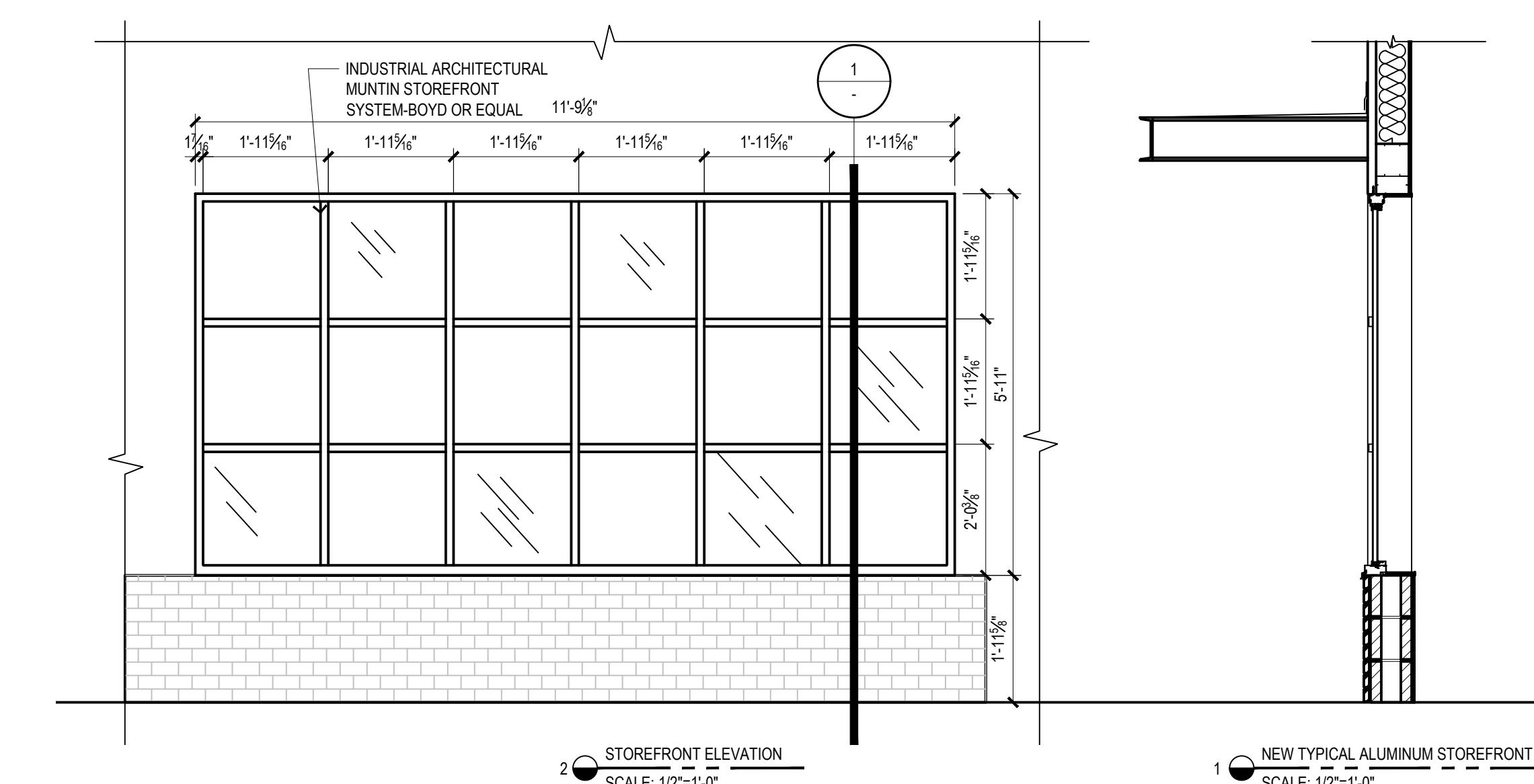
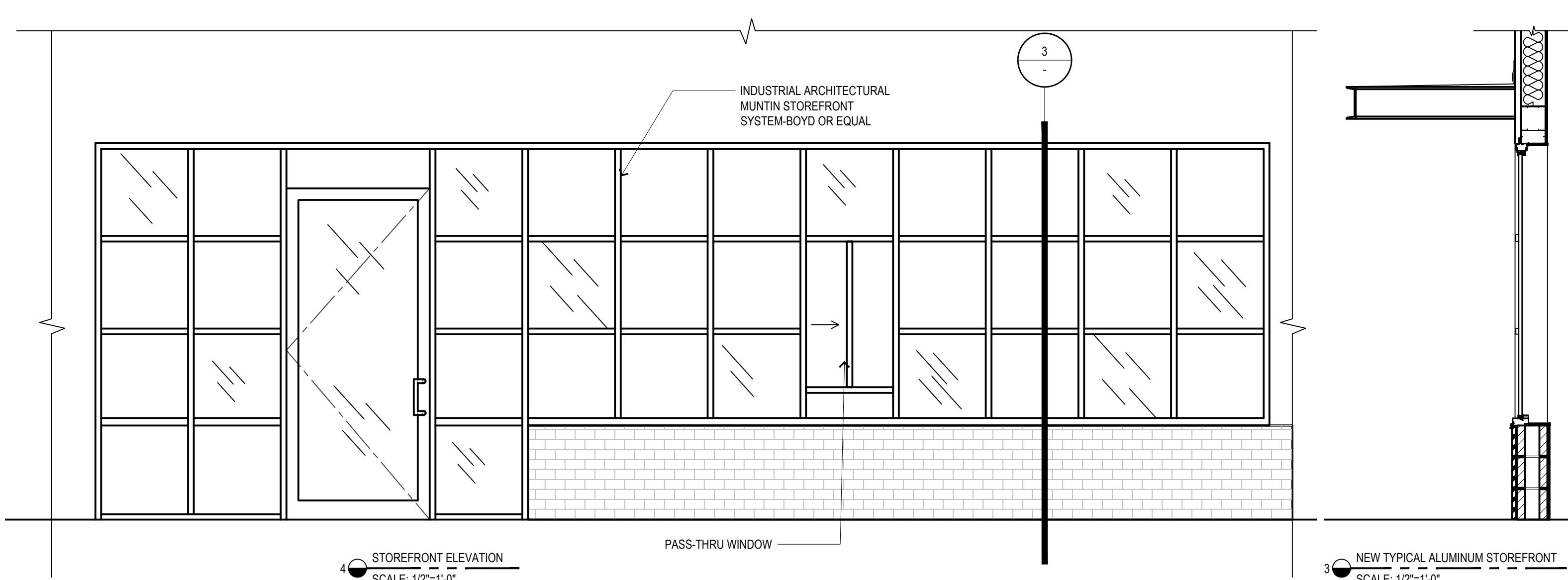
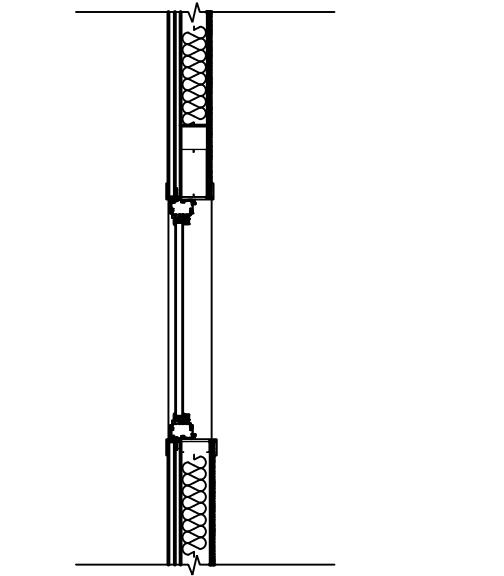
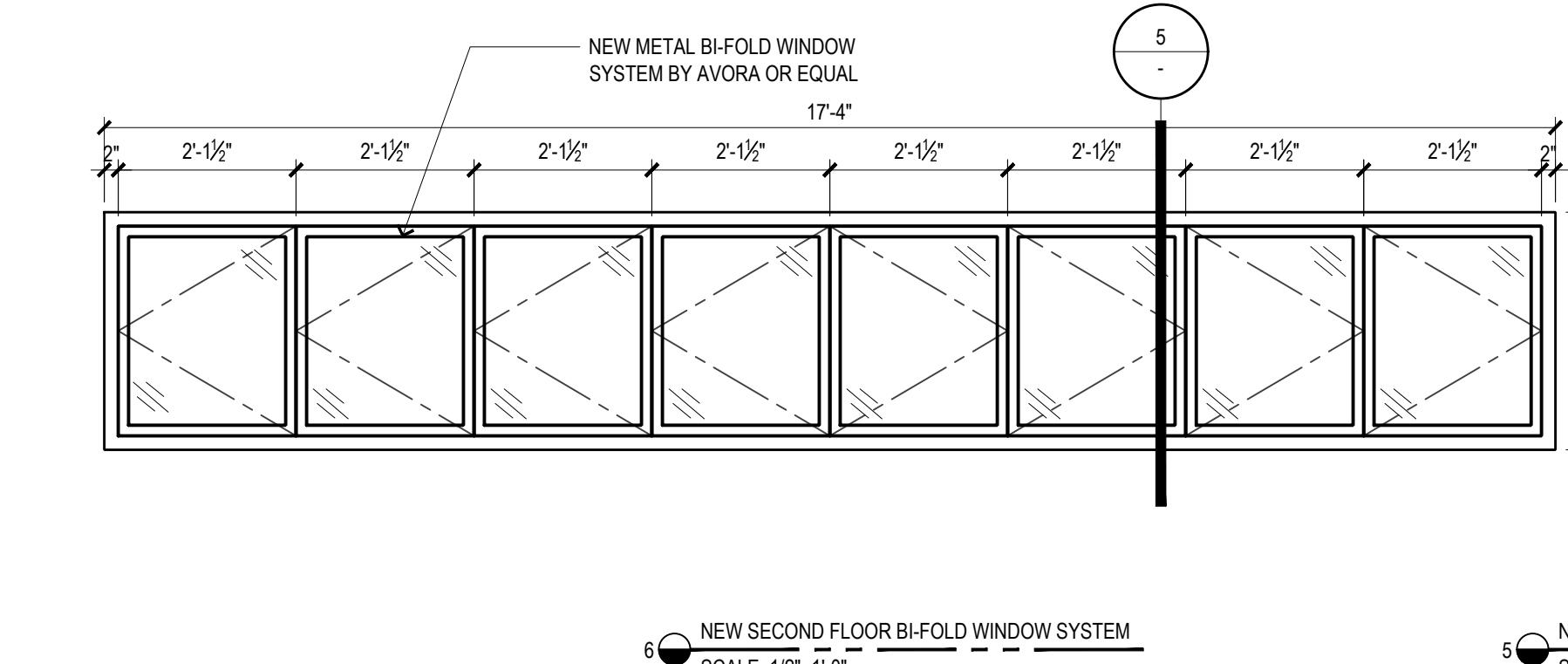
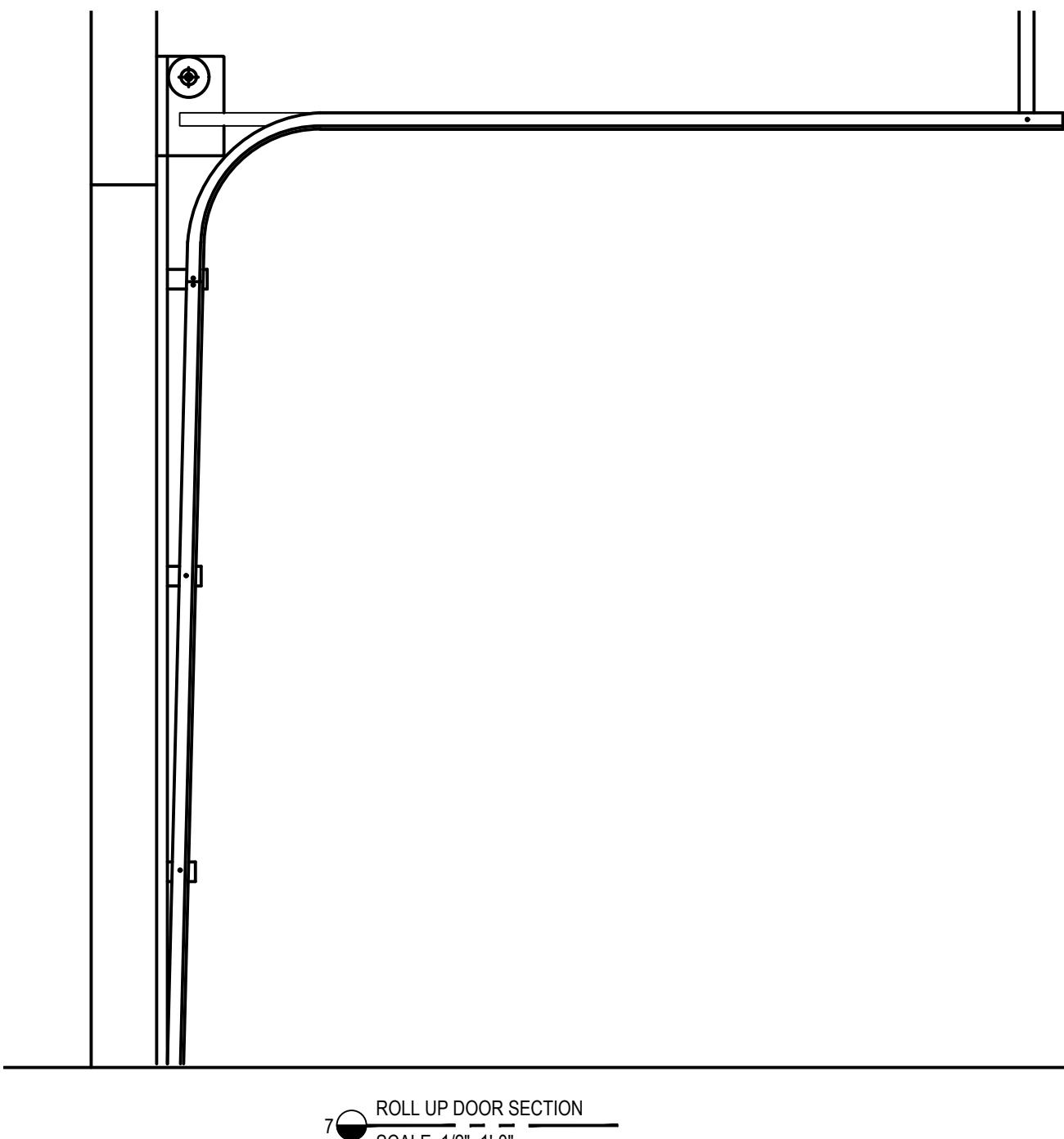
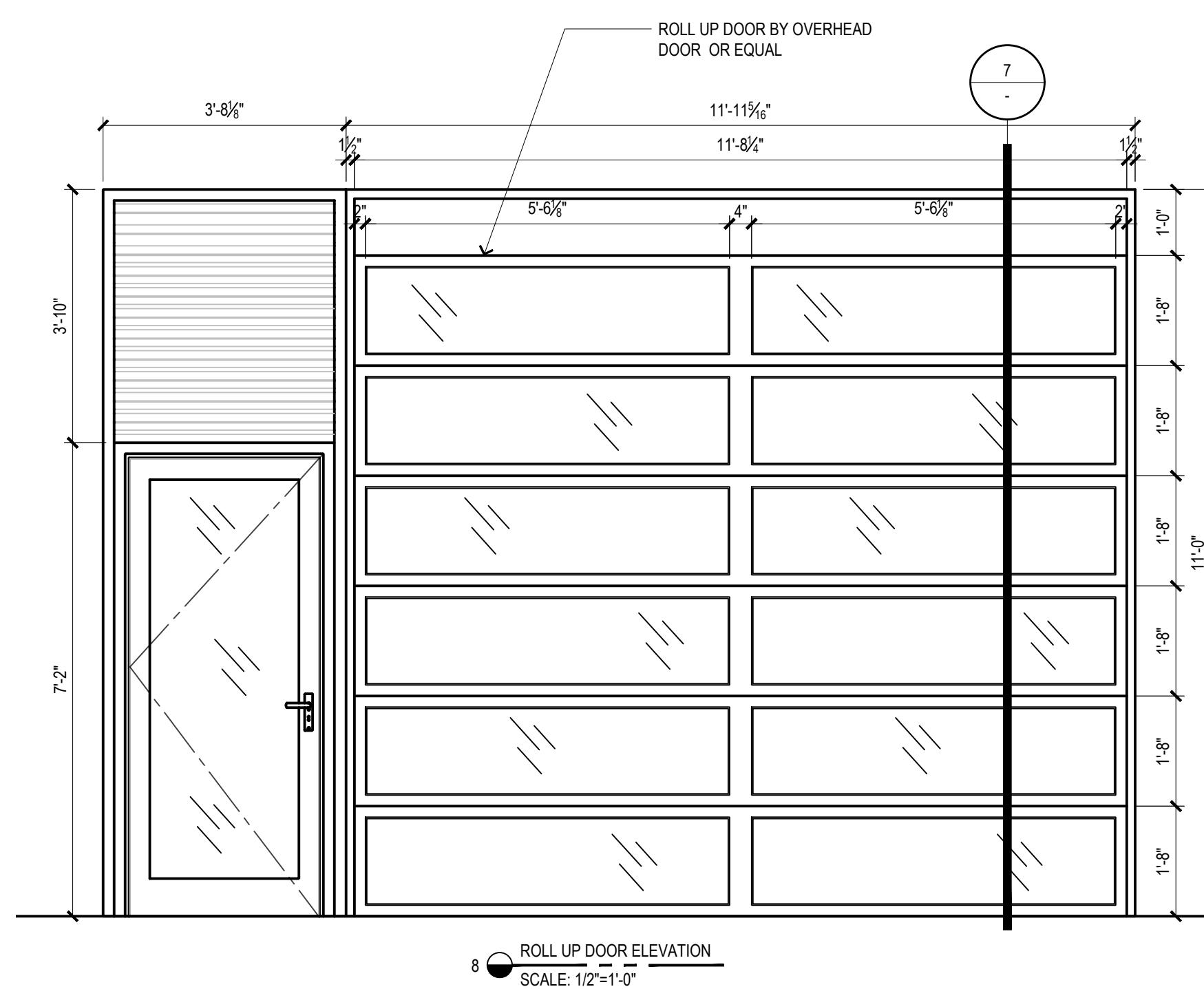
WEST BUILDING
INTERIOR RENDERINGS



FRIENDS CHURCH - THE HANGAR

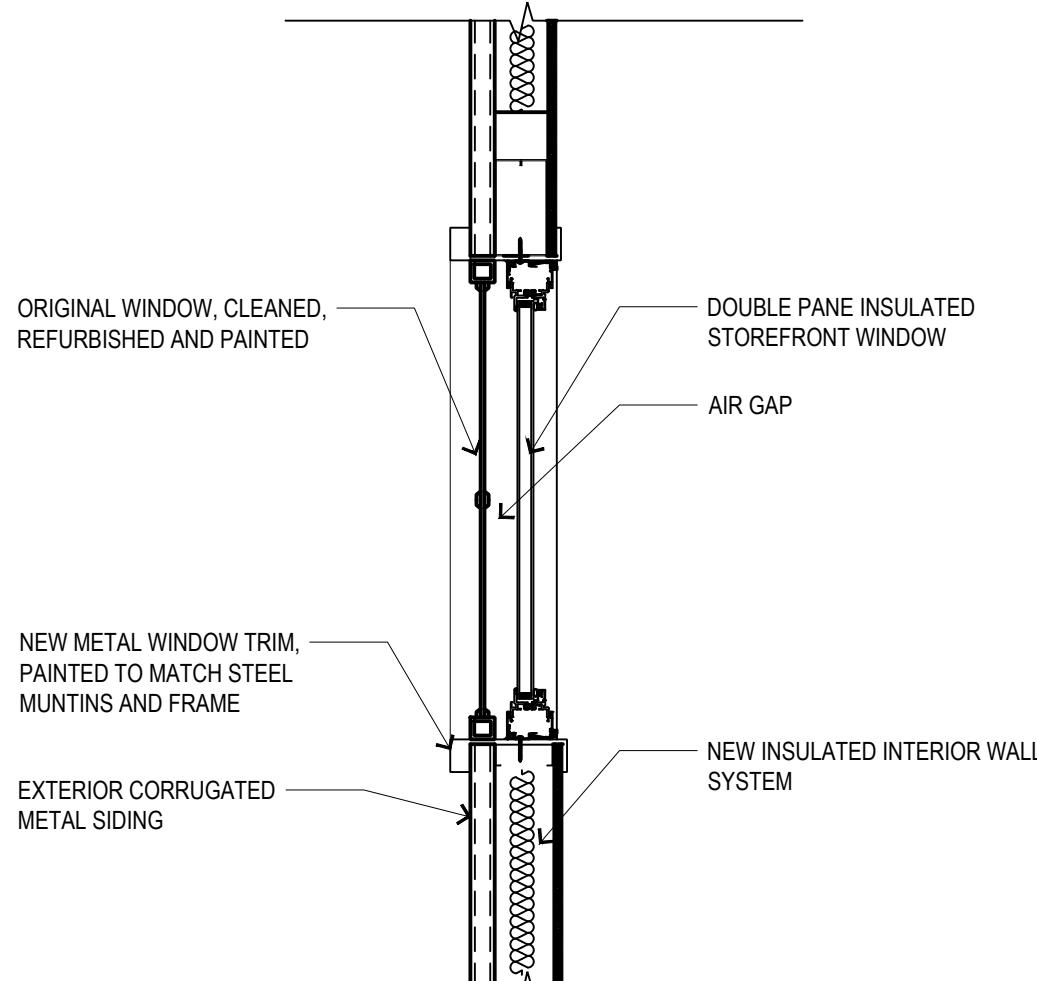
180 S. CYPRESS, ORANGE, CA

WEST BUILDING
EXISTING SITE PHOTOS

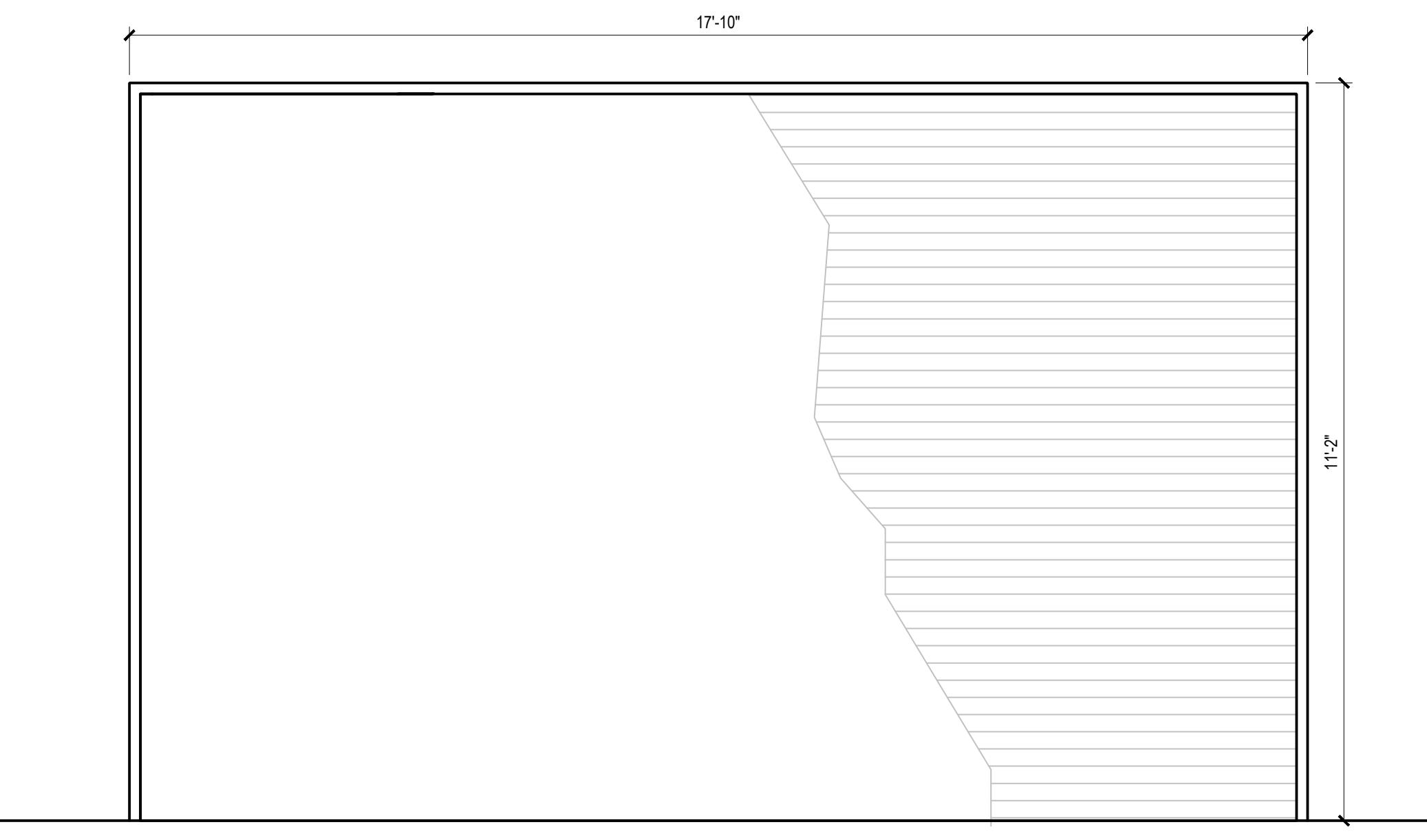




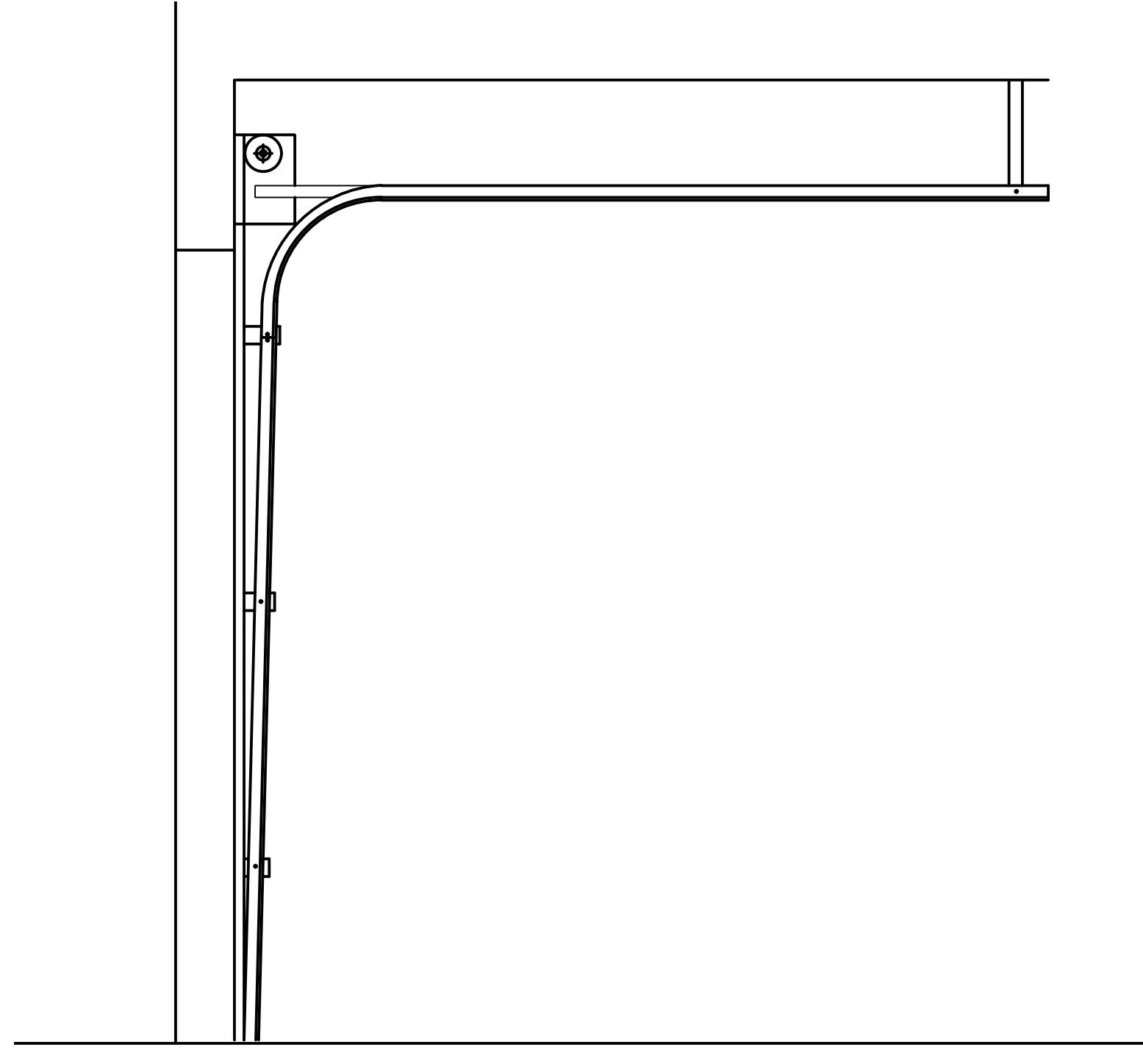
13 REGA 24 WALL SCONCE
BY LIGHTOPIA



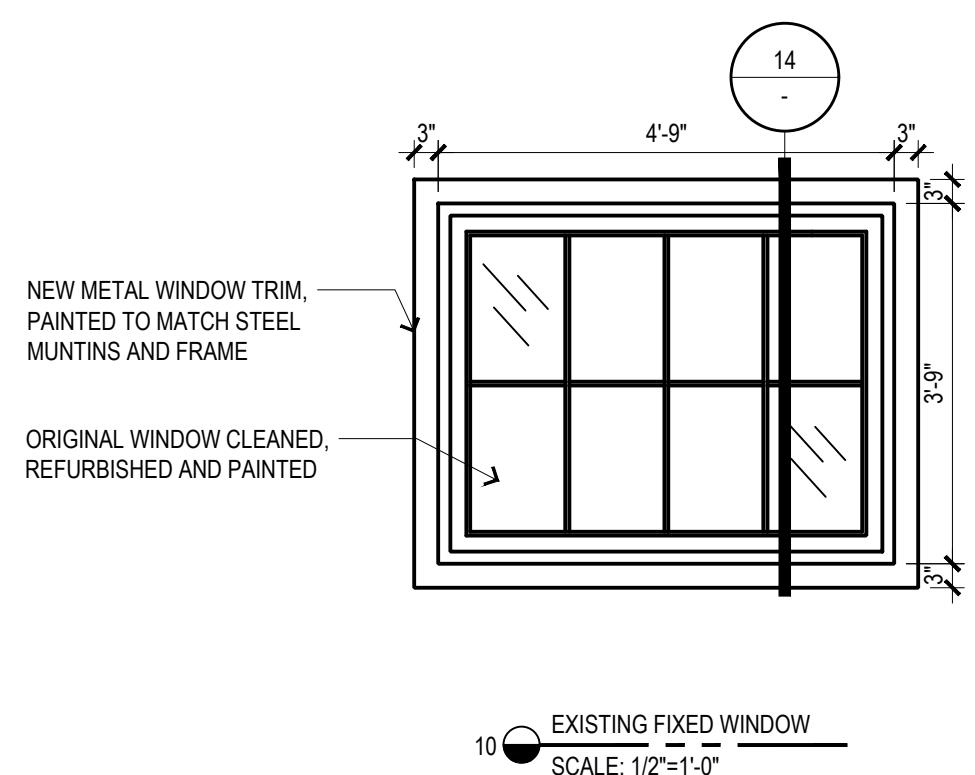
14 WALL SECTION AT EXISTING
EXTERIOR WINDOWS-TYP.



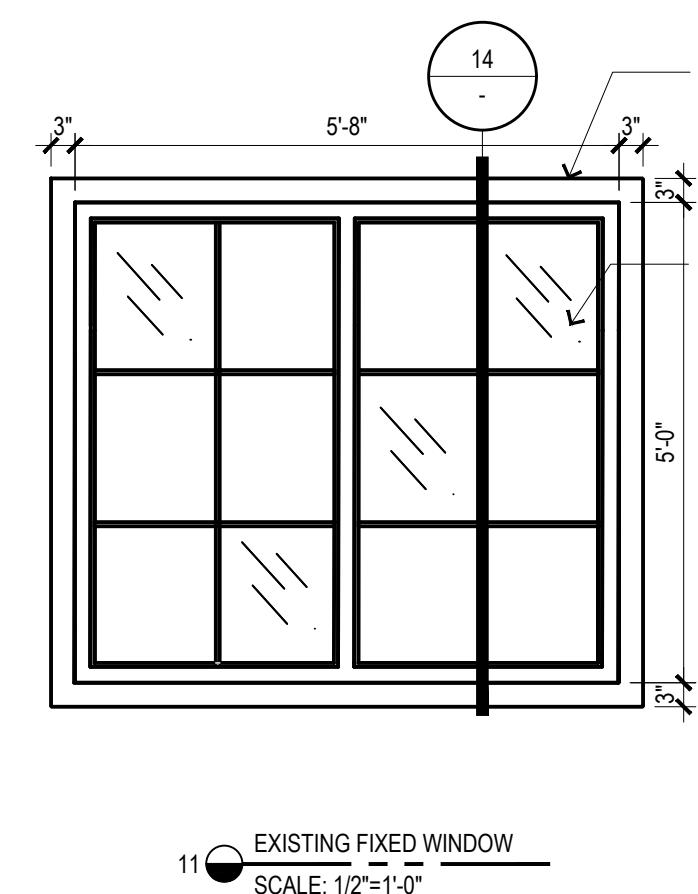
8 ROLL UP DOOR ELEVATION
SCALE: 1/2=1'-0"



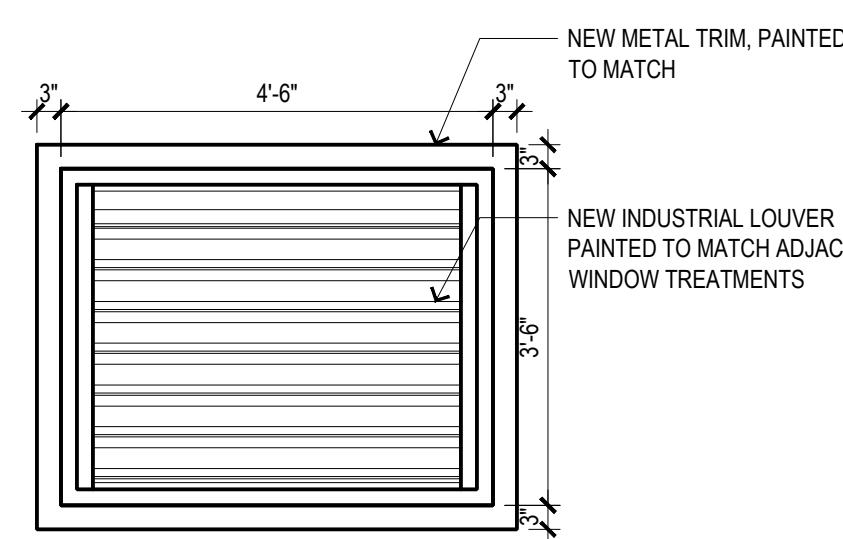
9 ROLL UP DOOR SECTION
SCALE: 1/2=1'-0"



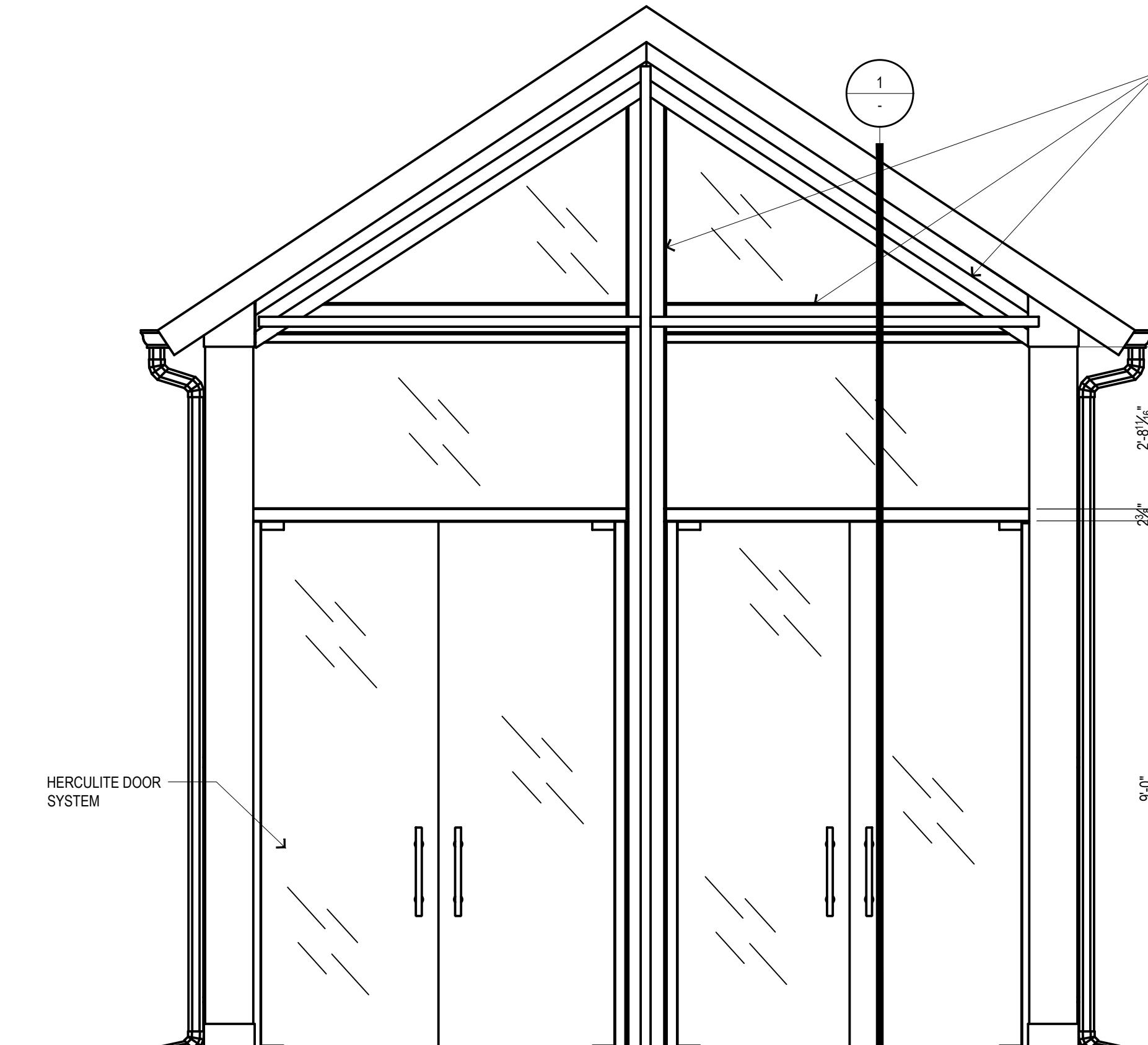
10 EXISTING FIXED WINDOW
SCALE: 1/2=1'-0"



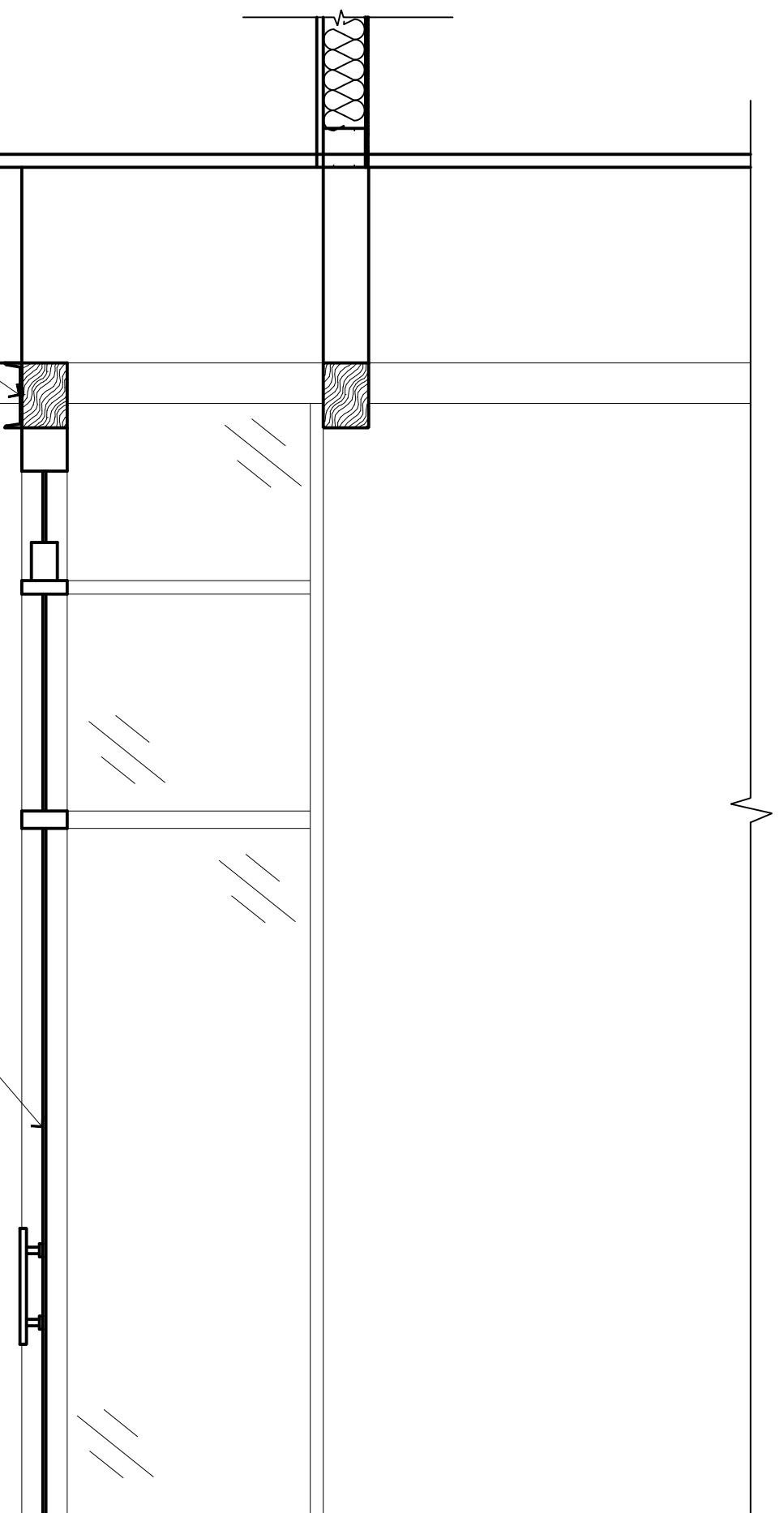
11 EXISTING FIXED WINDOW
SCALE: 1/2=1'-0"



12 EXISTING FIXED WINDOW
SCALE: 1/2=1'-0"



2 NEW ENTRY PORTAL
SCALE: 1/2=1'-0"



1 NEW ENTRY PORTAL SECTION
SCALE: 1/2=1'-0"



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

DETAILS

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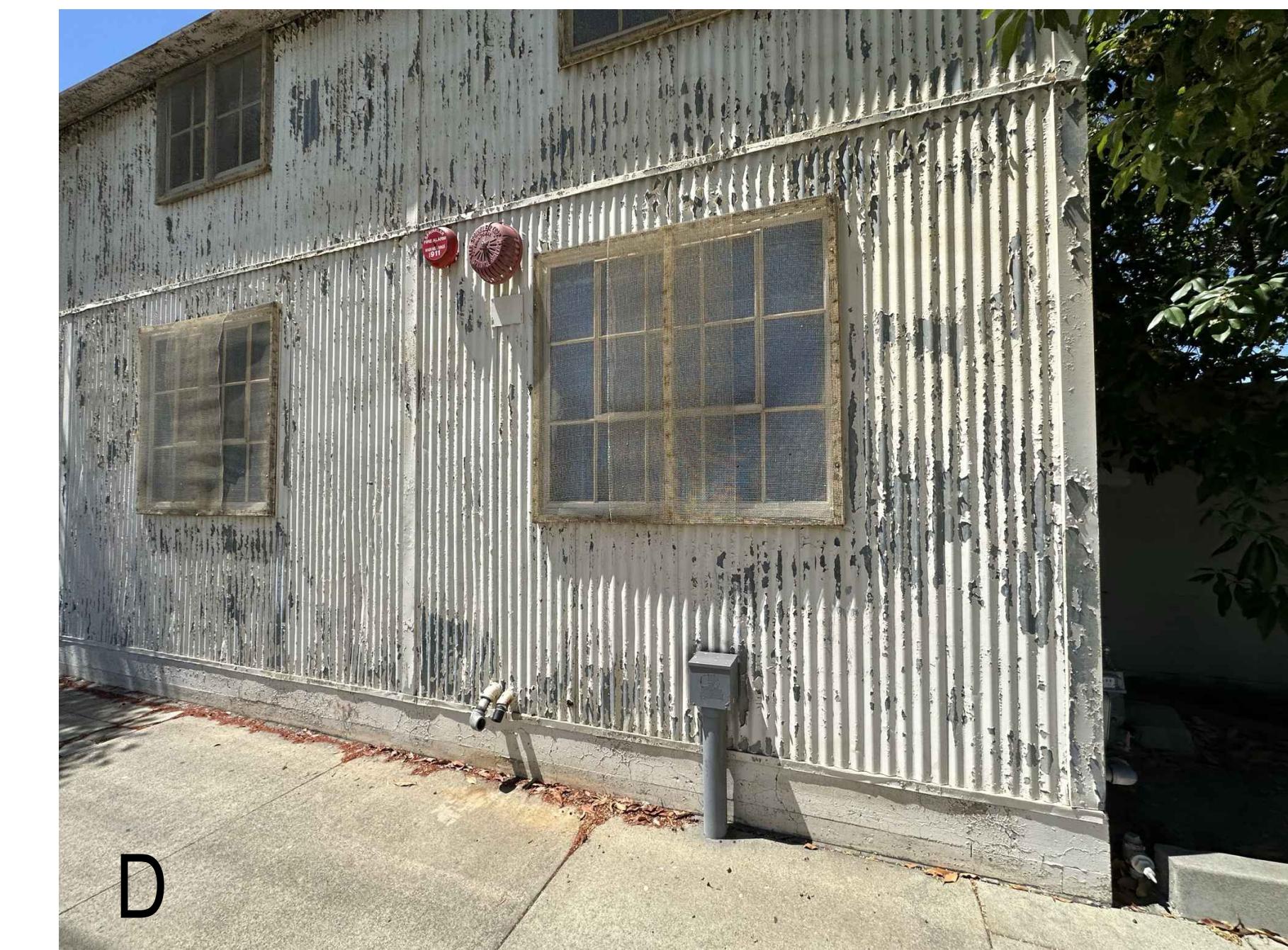
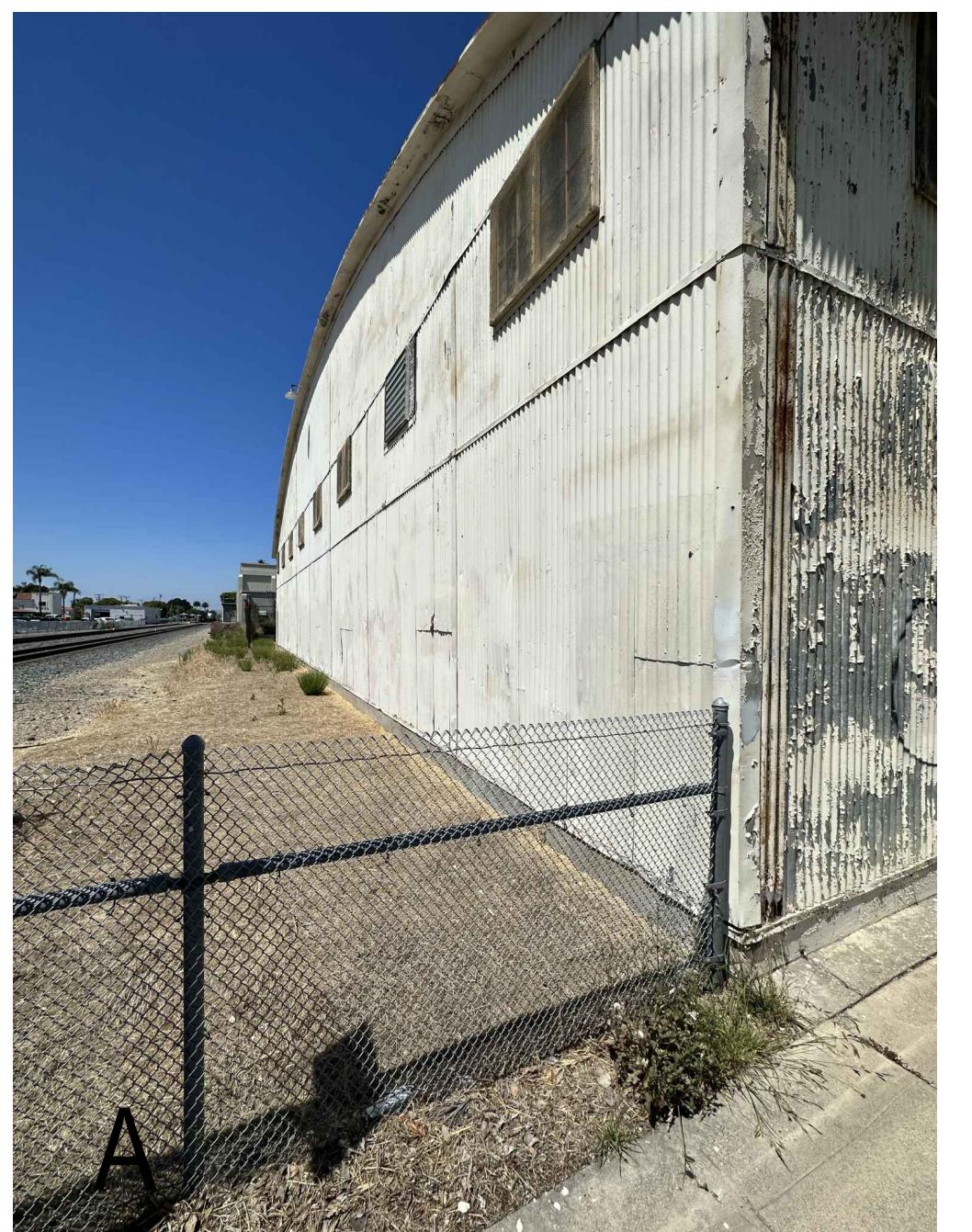
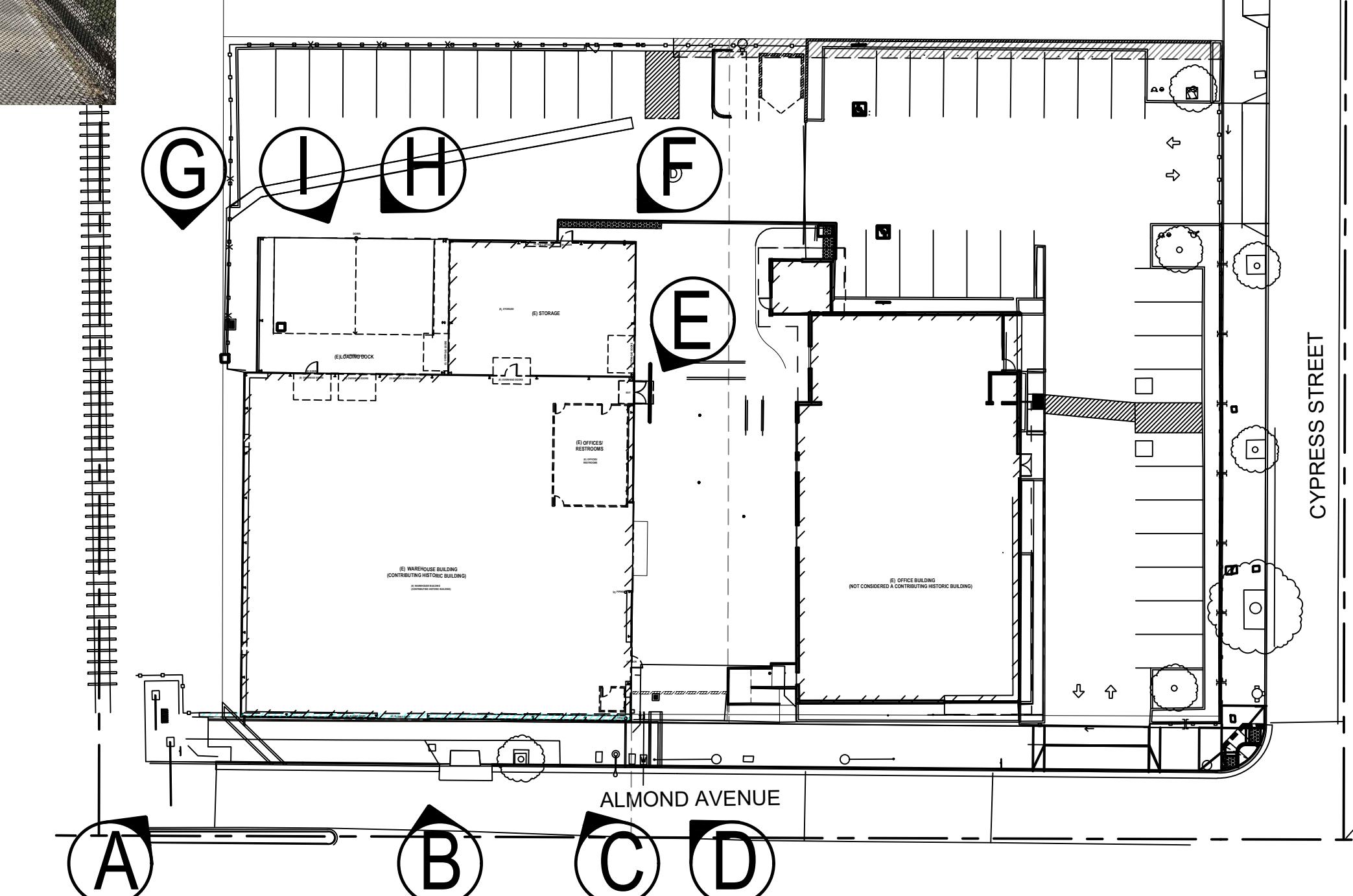


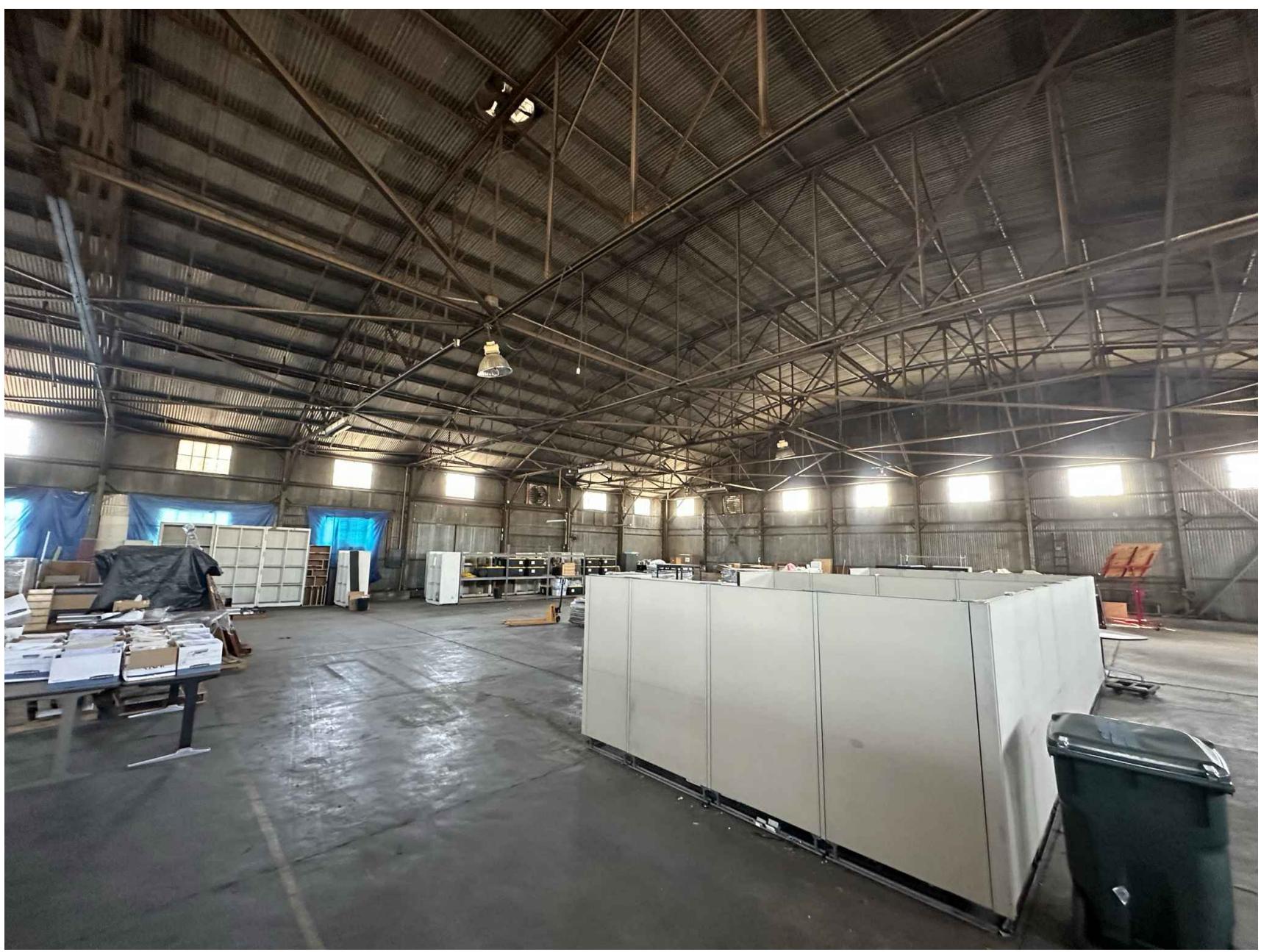
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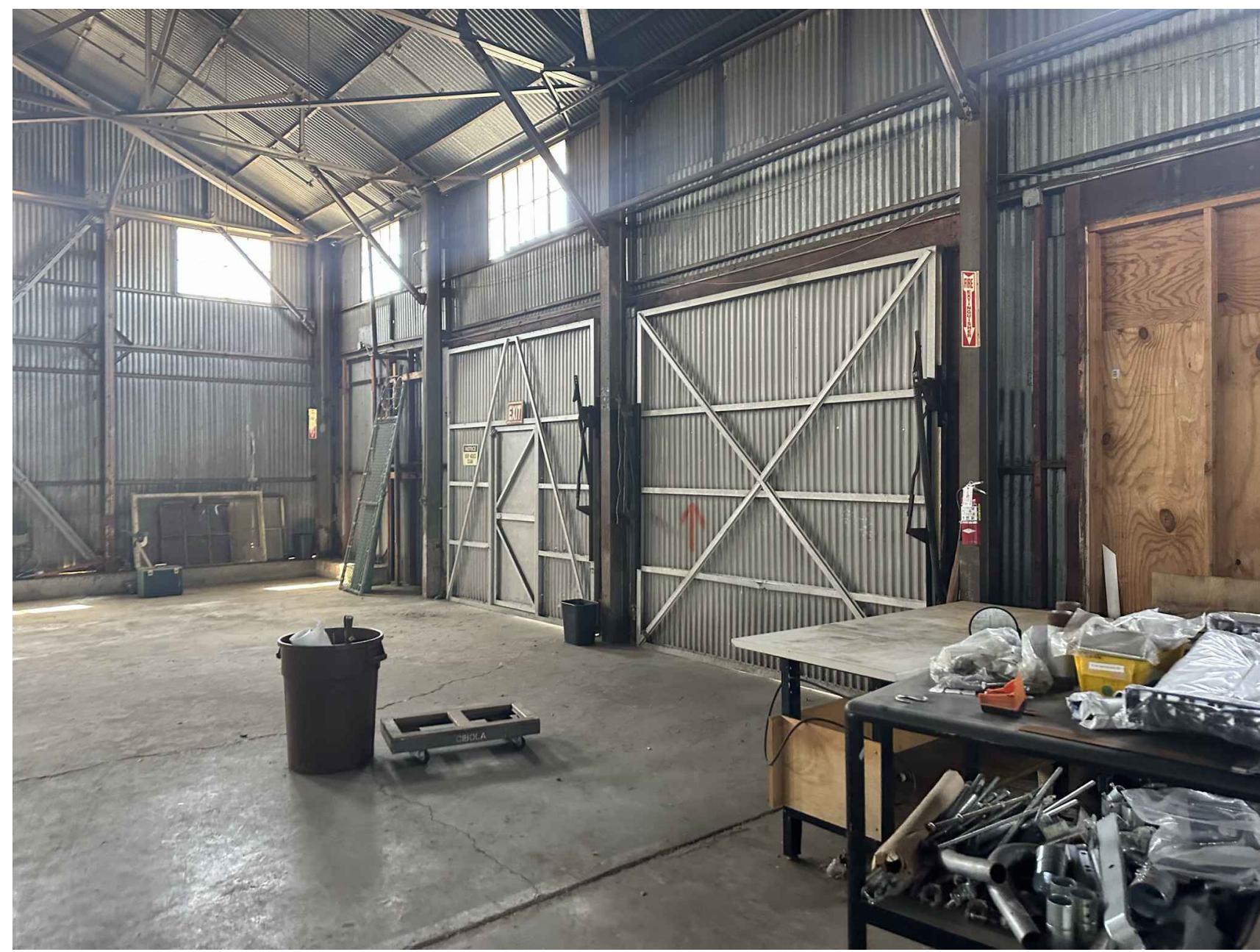
FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

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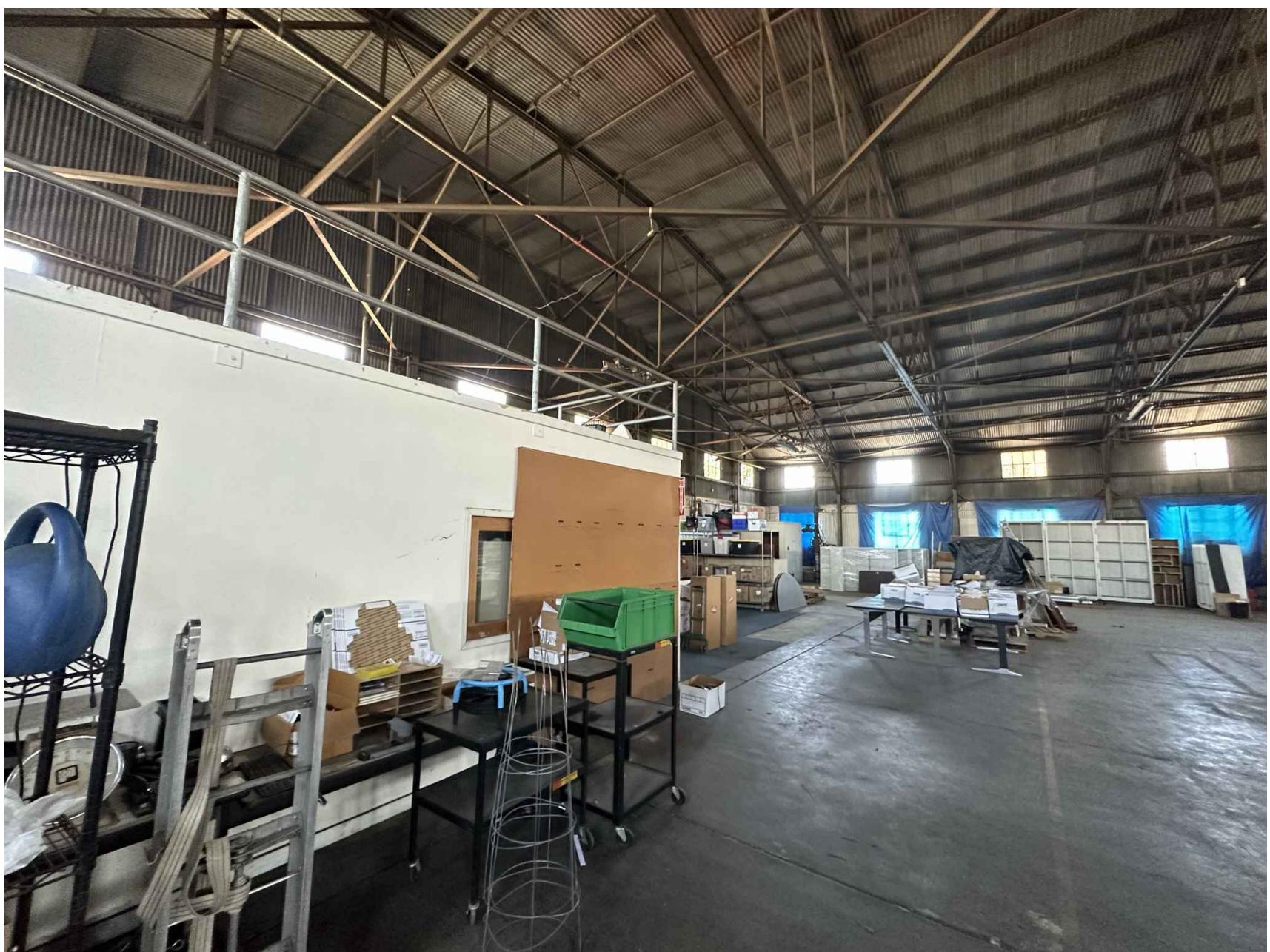
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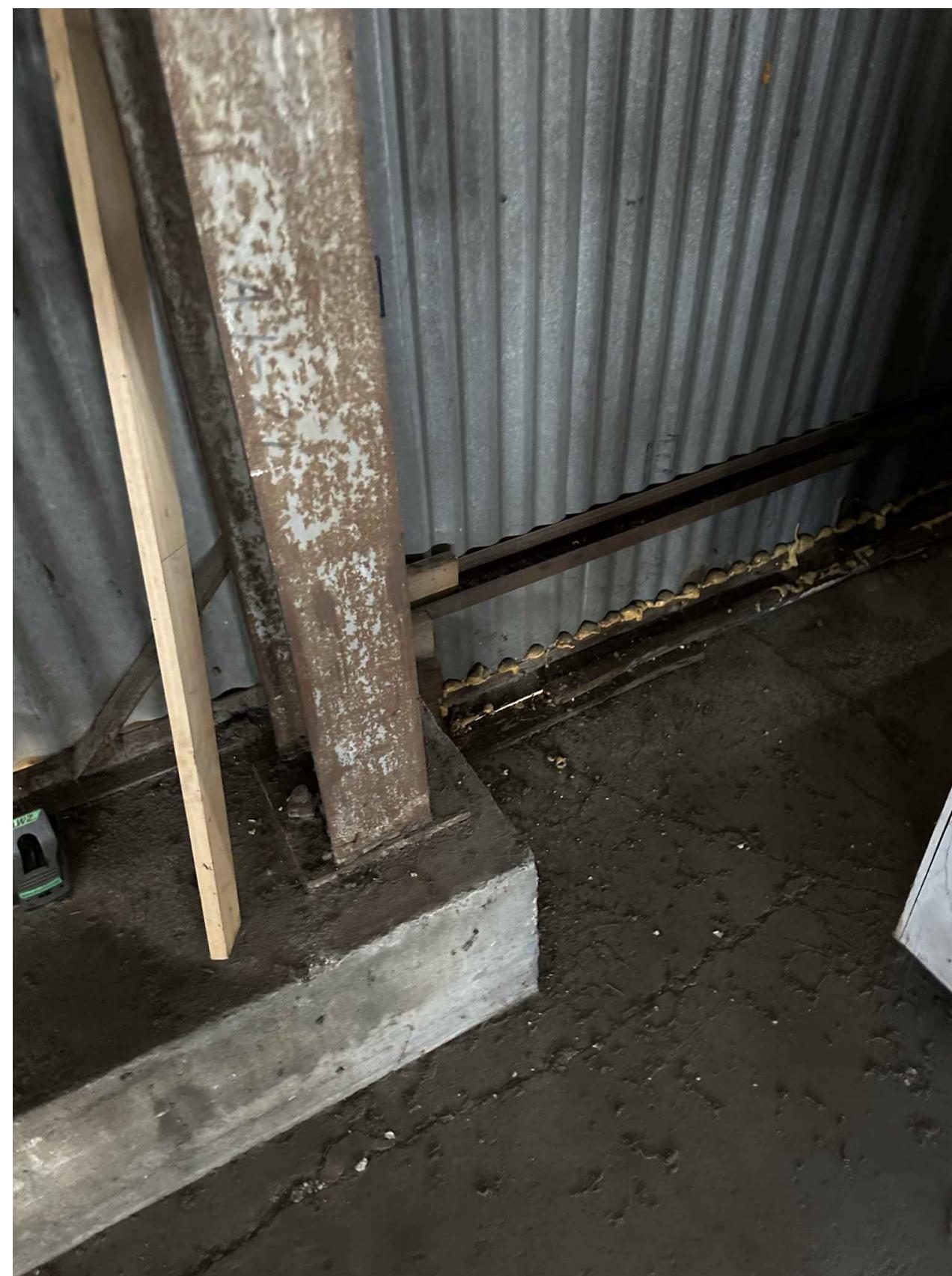
A



B

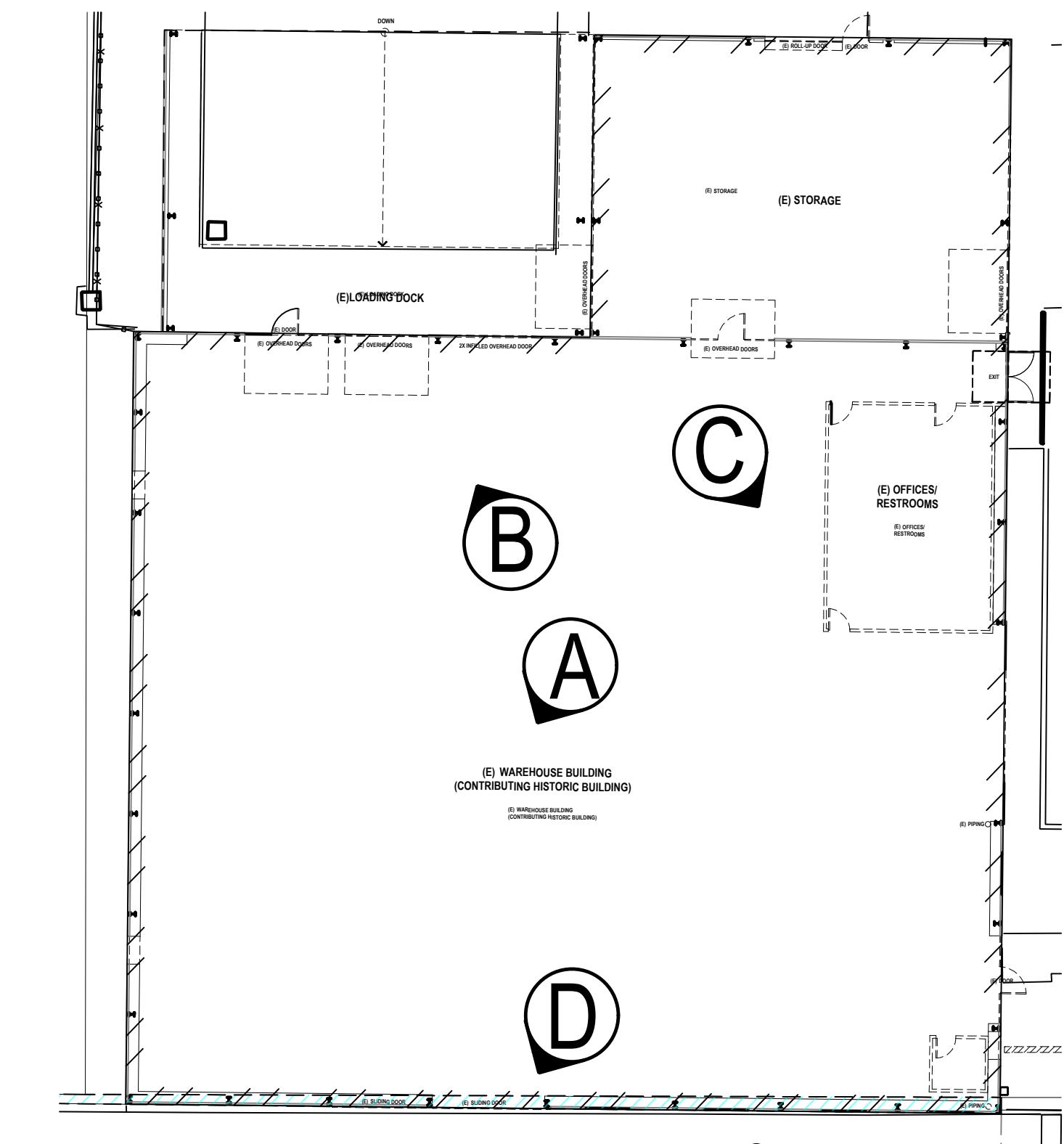


C



D

PHOTO LEGEND

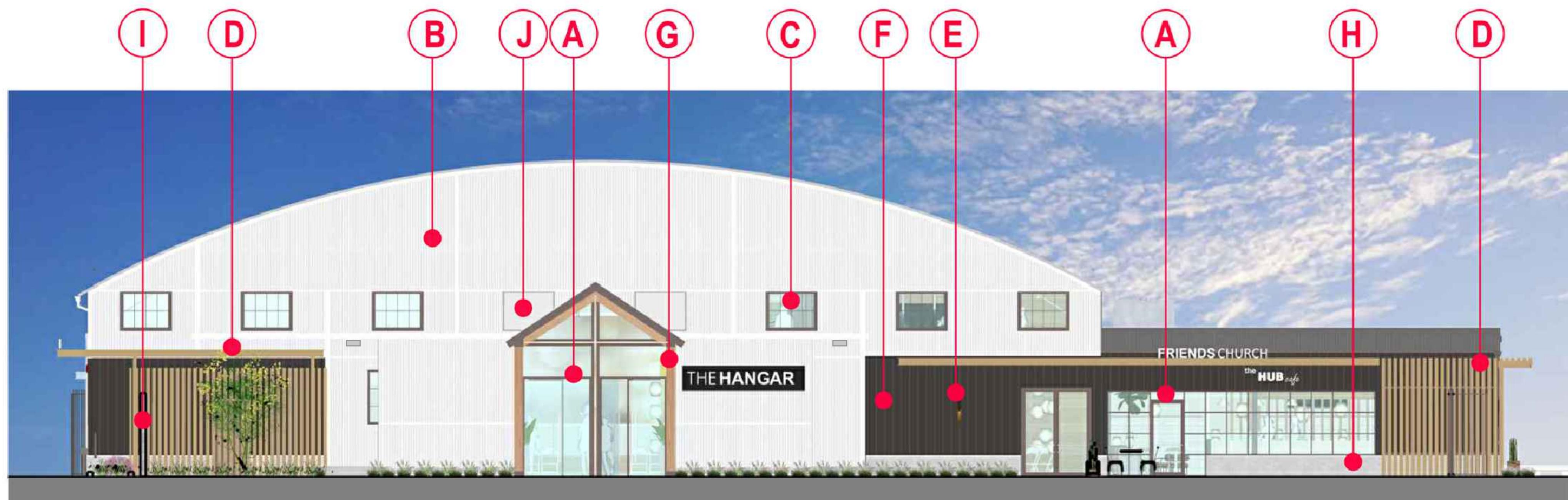


FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

WEST BUILDING
EXISTING INTERIOR PHOTOS

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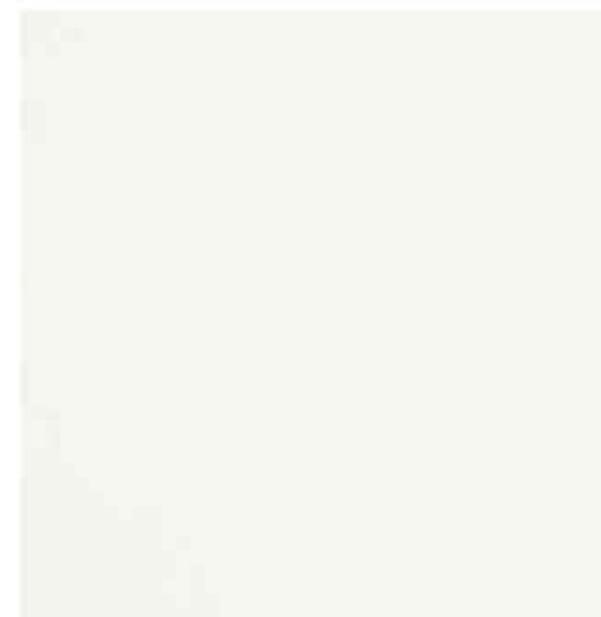


A. STOREFRONT



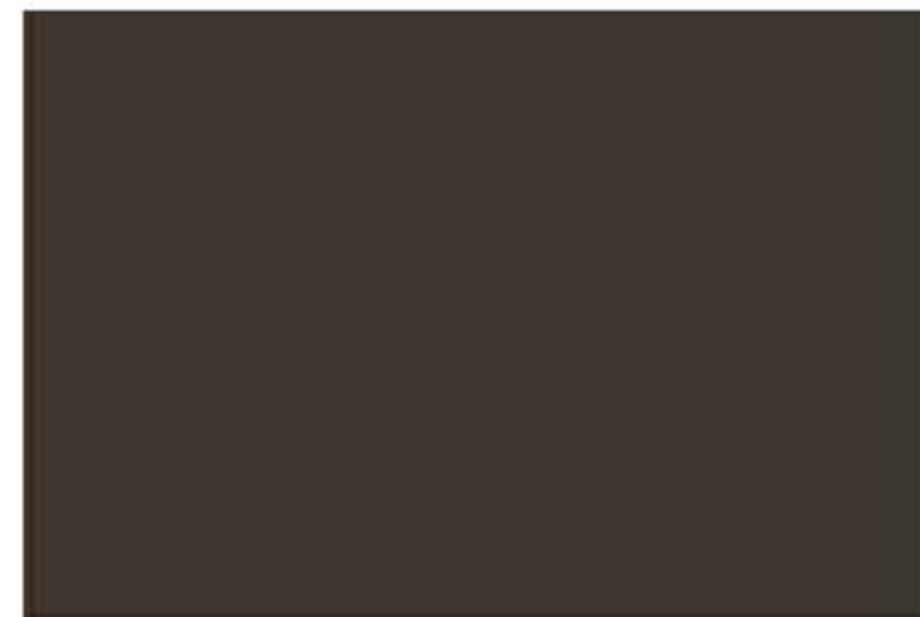
MANUF: ARCADIA
COLOR: MEDIUM BRONZE
LOCATION: STOREFRONT

B. PAINT



MANUF: BERRIDGE
COLOR: NATURAL WHITE
FINISH:
LOCATION: WALLS & ROOF

C. PAINT



MANUF: SHERWIN WILLIAMS
COLOR: TO MATCH DARK BRONZE BY BERRIDGE
FINISH: SEMI-GLOSS
NOTE: PAINT EXISTING FRAMES

D. POWDER COATING



MANUF: SHERWIN WILLIAMS
COLOR: RAL 1011 BROWN BEIGE
FINISH: GLOSSY
LOCATION: CANOPY & SLATS

E. WALL SCONCE



MANUF: LUMENS
STYLE: REGA LED 18"
COLOR: BRONZE

F. METAL PANEL SYSTEMS



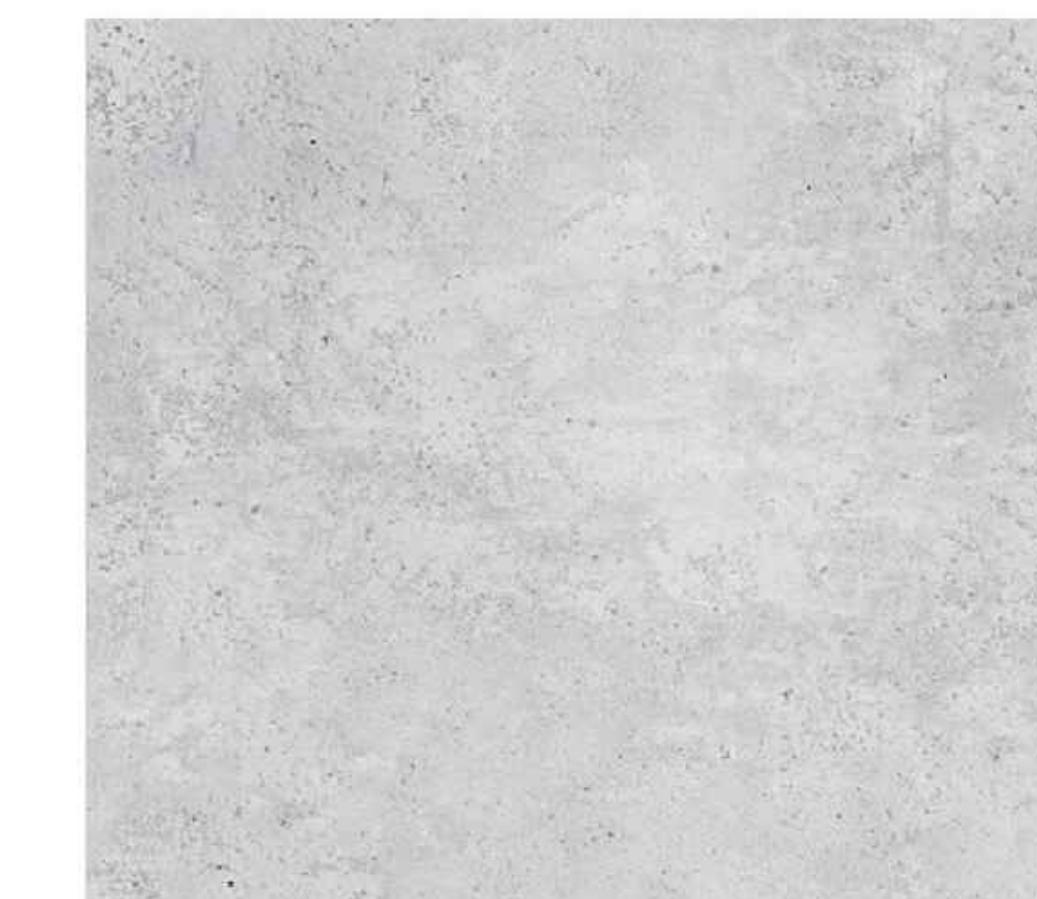
MANUF: BERRIDGE
COLOR: DARK BRONZE
TYPE: TO MATCH EXISTING
LOCATION: WALL CLADDING

G. FIBER CEMENT



MANUF: NICHIA
COLOR: VINTAGEWOOD
LOCATION: ENTRY

H. CONCRETE SMOOTH PLASTER



MANUF: OMEGA
COLOR: SANTA BARBARA
LOCATION: WALL BASE

I. POURED IN CONCRETE



MANUF: TBD
COLOR: CONCRETE
LOCATION: PLANTER WALL

J. SMOOTH STUCCO



MANUF: OMEGA
COLOR: 1C005 OMEGA WHITE
LOCATION: WINDOW INSET



RAIL ROAD /

This architectural site plan illustrates a building complex on Cypress Street. The plan includes a main building with a blue outline and a central vertical corridor. A red 'X' is drawn over the central corridor area. A blue box highlights a section of the building. A red arrow points to a specific area on the right side. A legend in the bottom right corner identifies 'E1 OFFICE BUILDING' and 'NOT CONSIDERED A CONSTRUCTION'. The plan also shows a network of streets, including Cypress Street, and various utility and structural details.

ALMOND AVE

CYPRESS STREET

Luminous Schedule									
Symbol	Qty	Label	Arrangement	Description	LSP	Luminous	Luminous	Total	Watts
①	1	100	Single	L100A: 100W power LED-A60-A60	1	100W	100W	100	100W
②	1	100	Single	L100B: 100W power LED	1	100W	100W	100	100W
③	1	100	Single	VS100A: 100W 1xT8, 1xT5, 2xT5, 2xT5, 1xT5	1	94.12	100W	100	94.12W
④	1	100	Single	VS100B: 100W 1xT8, 1xT5, 2xT5, 2xT5, 1xT5	1	94.12	100W	100	94.12W
⑤	1	100	Single	EP-100G: 100W 1xT8	1	94.12	100W	100	94.12W
⑥	1	100	Single	EP-100G: 100W 1xT8	1	94.12	100W	100	94.12W
⑦	1	100	Single	TA100T: 100W 1xT8, 1xT5, 2xT5, 2xT5, 1xT5	1	94.12	100W	100	94.12W
⑧	1	100	Single	TA100B: 100W 1xT8, 1xT5, 2xT5, 2xT5, 1xT5	1	94.12	100W	100	94.12W
⑨	1	100	Single	L100A: 100W power LED-A60-A60	1	100W	100W	100	100W
⑩	1	100	Single	L100B: 100W power LED	1	100W	100W	100	100W

**FRIENDS CHURCH- THE HANGER
180 S. CYPRESS STREET
ORANGE CA**

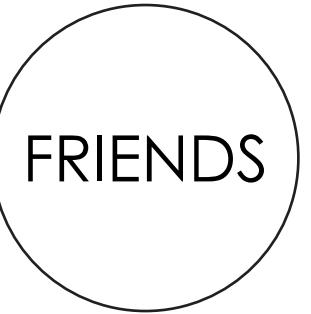
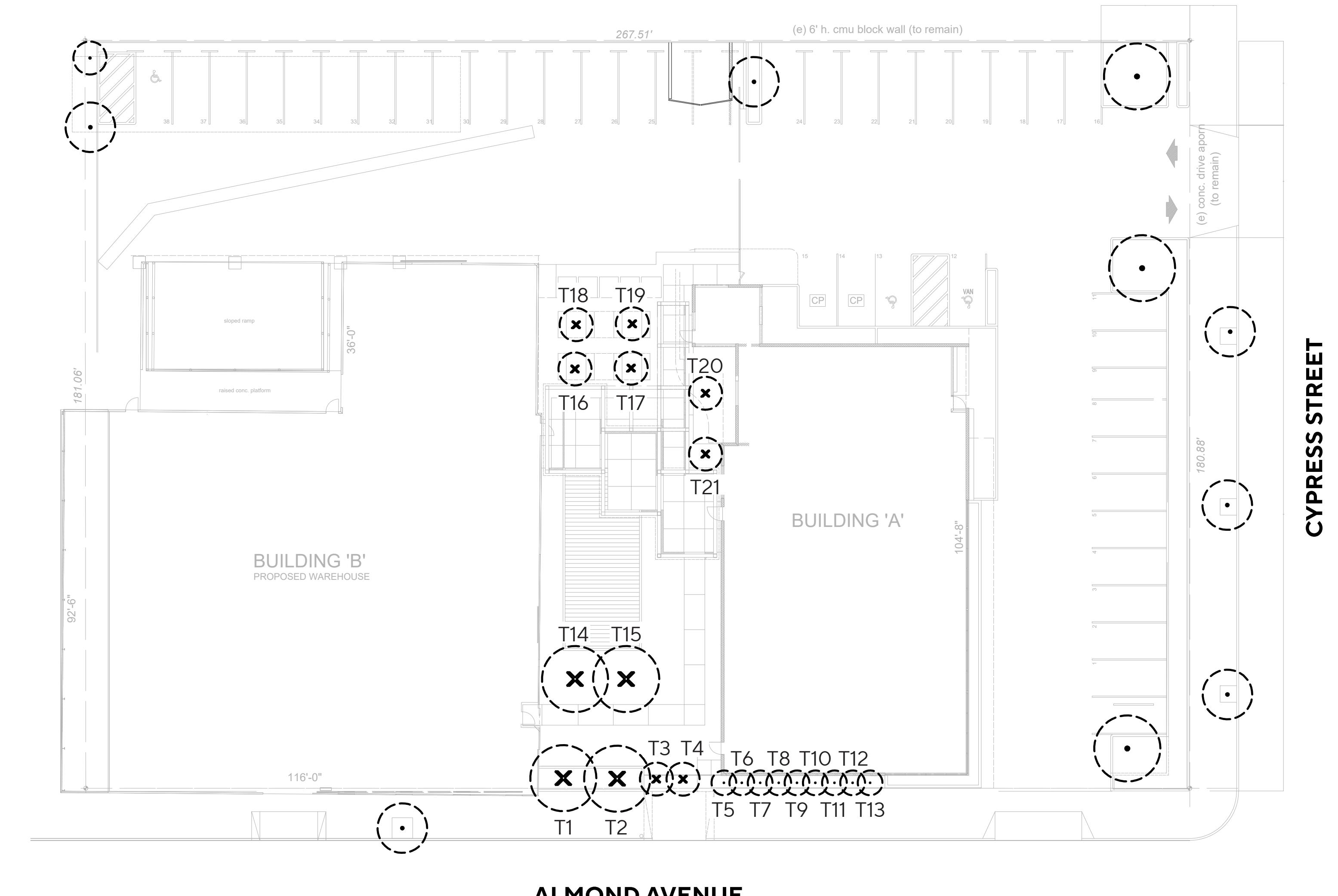
PHOTOMETRICS

performance lighting systems.

www.performanceitg.com
5 Jenner Suite 130, Irvine CA 92618

Page M of 1

METROLINK - INLAND EMPIRE/ORANGE



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

THE YARD
EXISTING SITE PLAN

AO Architecture.
Design.
Relationships.

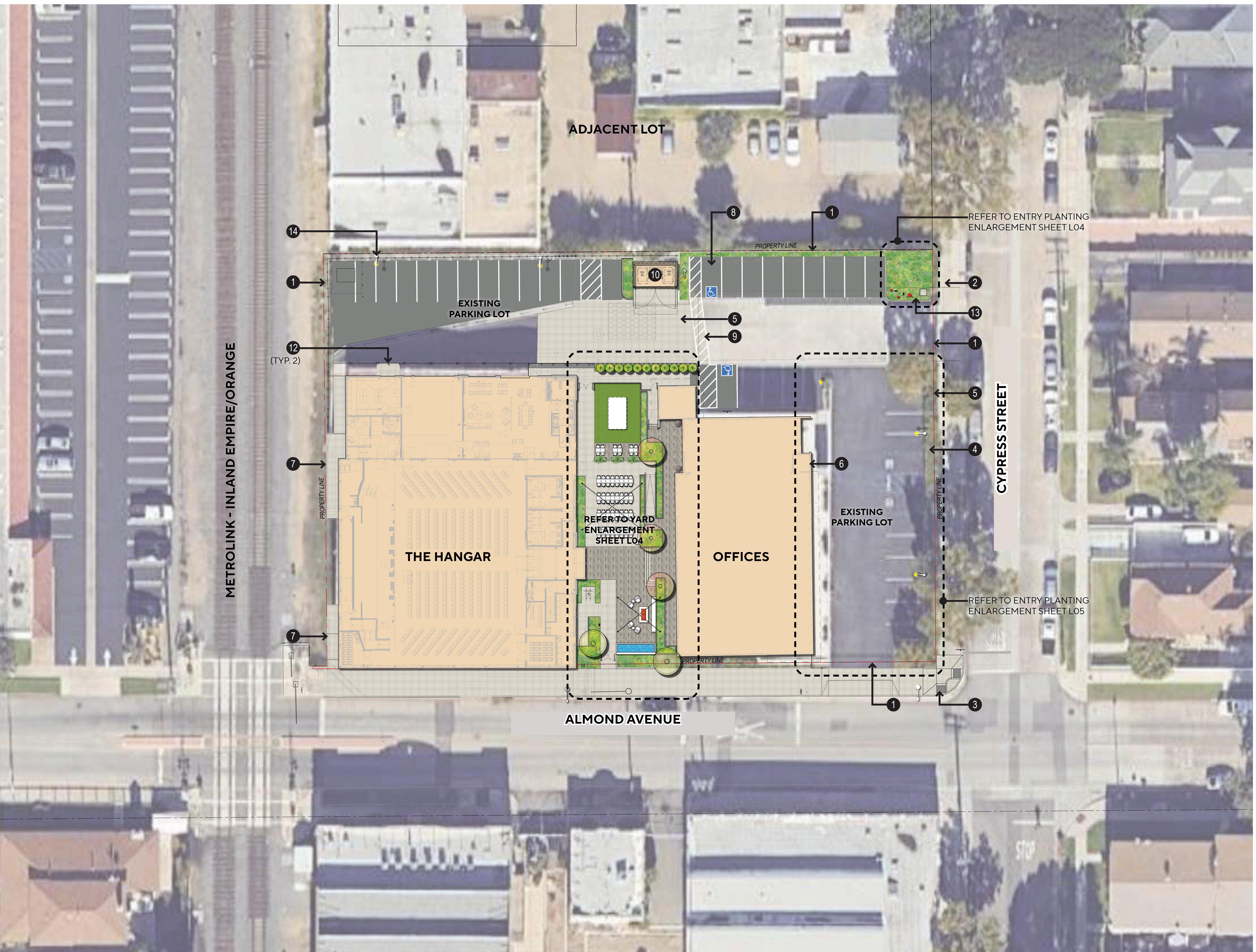
Scale
Job No.
Date
2023-0553
2026-01-05

TREE LEGEND		
SYMBOL	BOTANICAL NAME COMMON NAME	DESCRIPTION
T1	LOPHOSTEMON CONFERTUS BRISBANE BOX TREE	TO BE REMOVED
T2	LOPHOSTEMON CONFERTUS BRISBANE BOX TREE	TO BE REMOVED
T3	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO BE REMOVED
T4	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO BE REMOVED
T5	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T6	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T7	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T8	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T9	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T10	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T11	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T12	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T13	PODOCARPUS GRACILIOR AFRICAN FERN PINE	TO REMAIN. PROTECT IN-PLACE
T14	LIQUIDAMBAR STYRACIFLUA SWEET GUM	TO BE REMOVED
T15	LIQUIDAMBAR STYRACIFLUA SWEET GUM	TO BE REMOVED
T16	LAGERSTROEMIA INDICA CRAPÉ MYRTLE	TO BE REMOVED
T17	LAGERSTROEMIA INDICA CRAPÉ MYRTLE	TO BE REMOVED
T18	LAGERSTROEMIA INDICA CRAPÉ MYRTLE	TO BE REMOVED
T19	LAGERSTROEMIA INDICA CRAPÉ MYRTLE	TO BE REMOVED
T20	CITRUS X LIMON LEMON TREE	TO BE REMOVED
T21	CITRUS RETICULATA TANGERINE TREE	TO BE REMOVED
T22	CALLISTEMON CITRINUS LEMON TREE	TO BE REMOVED



L01

Scale
Job No.
Date
2023-0553
2026-01-05



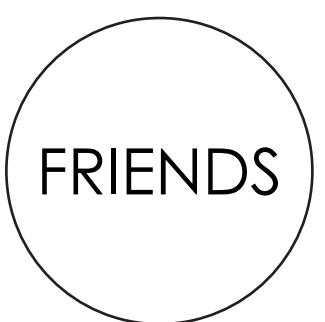
KEYNOTE LEGEND	
1	PROPERTY LINE
2	EXISTING PUBLIC SIDEWALK TO REMAIN - PROTECT IN-PLACE
3	PROPOSED CURB RAMP PER CIVIL ENGINEER
4	EXISTING PLANTING AREA TO REMAIN - PROTECT IN-PLACE
5	EXISTING FENCE AND GATE TO BE REMOVED
6	EXISTING PAVING TO REMAIN - PROTECT IN-PLACE
7	SOUND ATTENUATION WALL PER ARCHITECT
8	A.D.A. PARKING STALLS PER CIVIL ENGINEER - TYPICAL.
9	STRIPED CROSSWALK PER CIVIL ENGINEER
10	TRASH ENCLOSURE PER ARCHITECT
11	NEW PUBLIC SIDEWALK
12	BOLLARDS PER CIVIL
13	PLANTING AREA - REFER TO PLANTING PLANS
14	PROPOSED LIGHTING - REFER TO ARCHITECT'S PLANS

PROJECT SUMMARY	
OVERALL SITE AREA	46,107.87 SF (1.06 acres)
EXISTING LANDSCAPE AREA	5,236.33 SF (11.35%)
PROPOSED LANDSCAPE AREA	3,499.44 SF
LANDSCAPE COVERAGE	8%
EXISTING LANDSCAPE AREA REFURBISHED TO WATER EFFICIENT PLANT MATERIAL/IRRIGATION	
AREA DEDICATED TO WATER FEATURE	78.48 SF (.17%)

IRRIGATION DESIGN NOTES
THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

GENERAL DESIGN NOTES

1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF BREA REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY) SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF BREA REQUIREMENTS.
4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS.
5. NOTIFY COMMUNITY SERVICES DEPARTMENT, (714) 532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48-HOUR NOTICE REQUIRED.

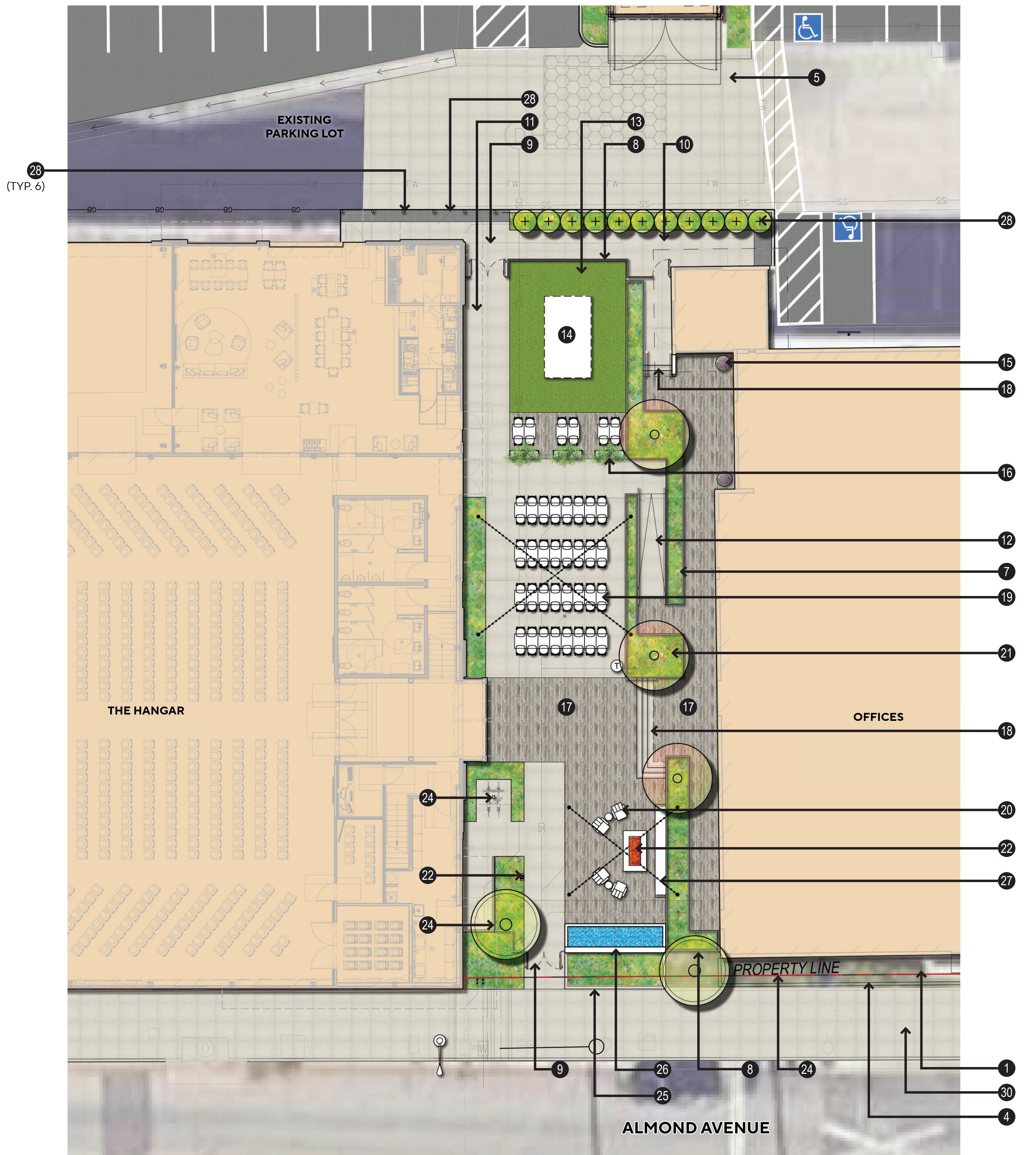


FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

THE YARD
OVERALL LANDSCAPE SITE PLAN

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Design.
Relationships.

L02
Scale
Job No.
Date
1" = 20'
2023-0553
2023-01-05



KEYNOTE LEGEND

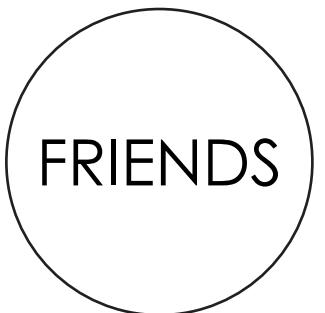
1	PROPERTY LINE
2	EXISTING PUBLIC SIDEWALK TO REMAIN - PROTECT IN-PLACE
3	EXISTING CURB RAMPS TO REMAIN - PROTECT IN-PLACE
4	EXISTING PLANTING AREA TO REMAIN - PROTECT IN-PLACE
5	EXISTING FENCE AND GATE TO REMAIN - PROTECT IN-PLACE
6	EXISTING PAVING TO REMAIN - PROTECT IN-PLACE
7	24" HIGH WEATHERING STEEL PLANTER WALL - TYPICAL.
8	6'-0" TUBE STEEL FENCE
9	6'-0" WIDE TUBE STEEL DOUBLE GATE
10	3'-0" WIDE TUBE STEEL GATE
11	CAST-IN-PLACE CONCRETE PAVING - TYPICAL.
12	ADA RAMP WITH HANDRAILS ON BOTH SIDES. SLOPE NOT TO EXCEED 8.33%.
13	PLAY SAFE ARTIFICIAL TURF WITH FOAM PADDING AND WOOD FIBER INFILL.
14	PLAY STRUCTURE
15	DECORATIVE POTTERY - TYPICAL.
16	DECORATIVE LINEAR PLANTERS - TYPICAL
17	PORCELAIN TILE
18	CAST-IN-PLACE CONCRETE STEPS WITH ADA-COMPLIANT HANDRAILS ON BOTH SIDES
19	OUTDOOR DINING FURNITURE PER INTERIOR DESIGNER - TYPICAL.
20	LOUNGE FURNITURE PER INTERIOR DESIGNER - TYPICAL.
21	PLANTING AREA - REFER TO PLANTING PLANS
22	GAS FIRE TABLE AND EMERGENCY STOP ON PEDESTAL
23	WATER FEATURE - WATER FEATURE CONSULTANT
24	DECORATIVE WOOD SLAT SCREEN WALL PER ARCHITECT
25	RAISED CURB AT PLANTING AREA
26	6'-0" HIGH WEIR WALL/SCREEN WALL WITH SIGNAGE
27	WALL-MOUNTED BENCH
28	TRUNCATED DOME PAVERS
29	NEW STREET LIGHT STANDARD PER OTHER
30	NEW PUBLIC SIDEWALK
31	BOLLARDS PER CIVIL
32	BIKE RACK - CAPACITY 2

IRRIGATION DESIGN NOTES

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5. NOTIFY COMMUNITY SERVICES DEPARTMENT, (714) 532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48-HOUR NOTICE REQUIRED.

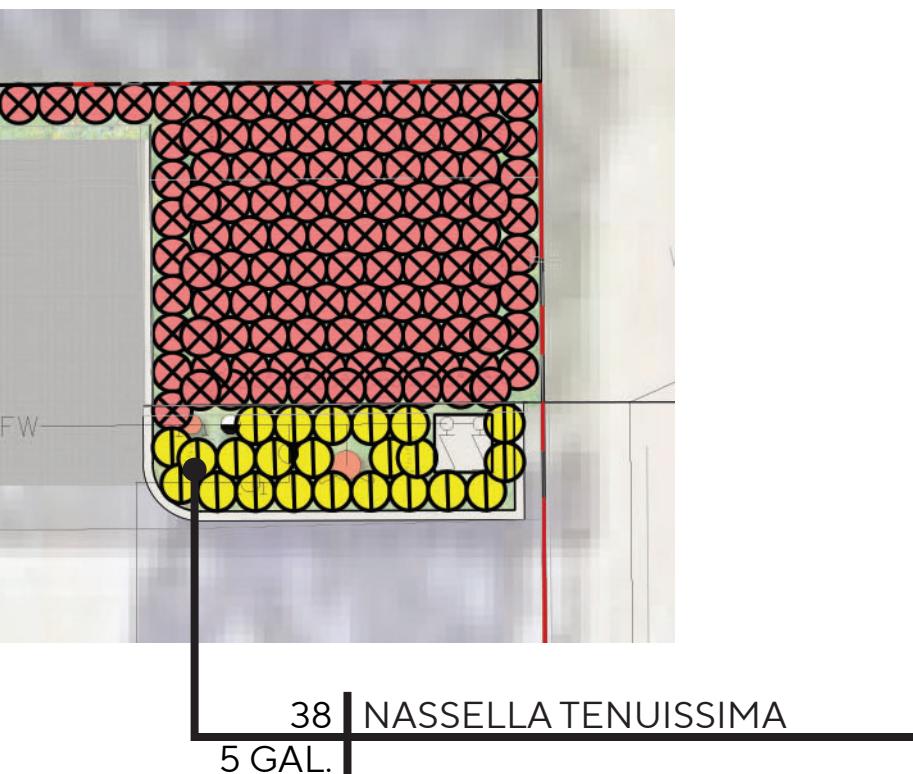


FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

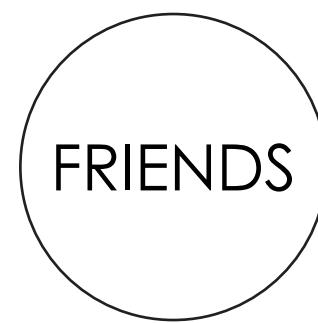
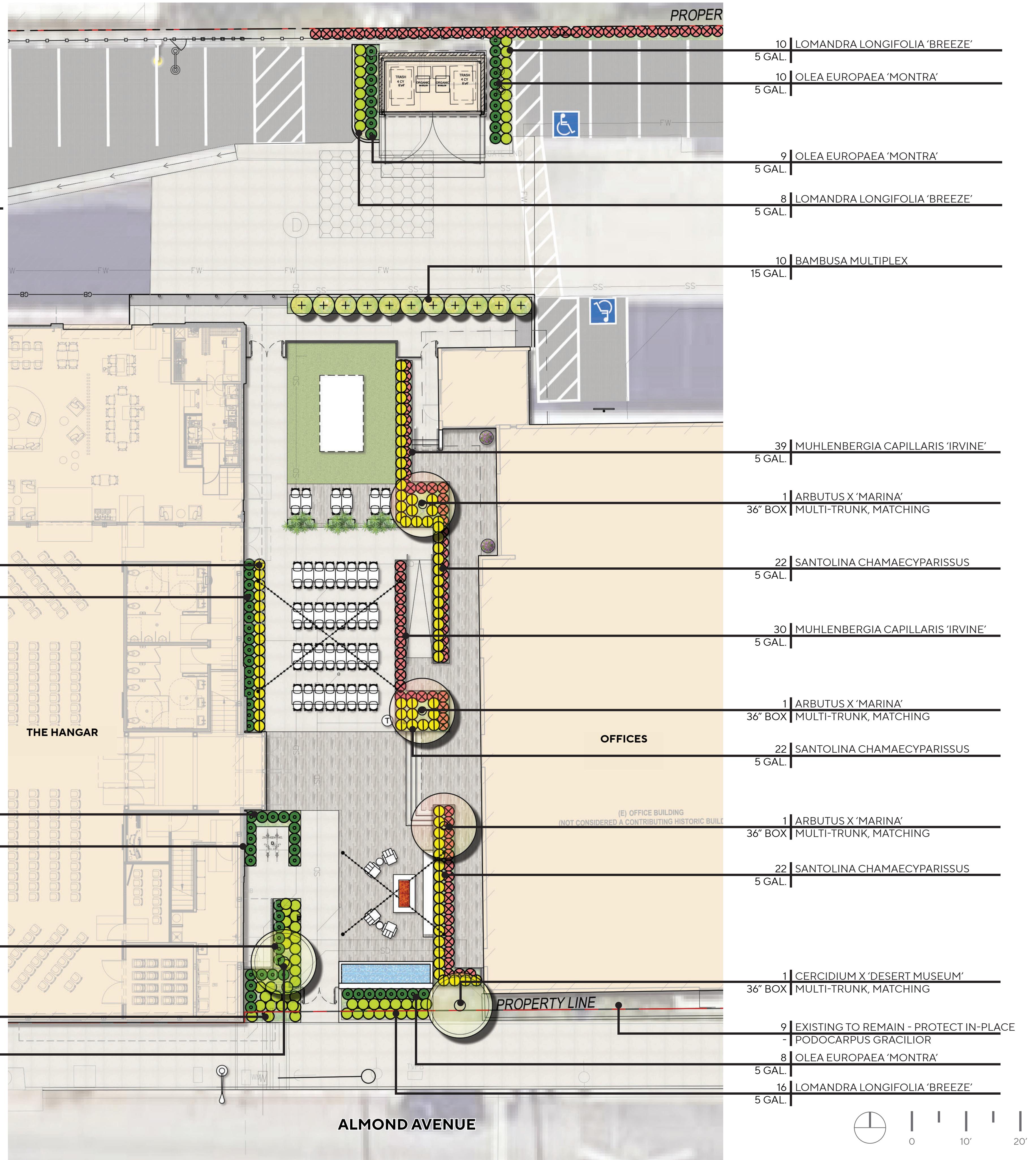
THE YARD
SITE PLAN ENLARGEMENT

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L03



ENTRY PLANTING ENLARGEMENT



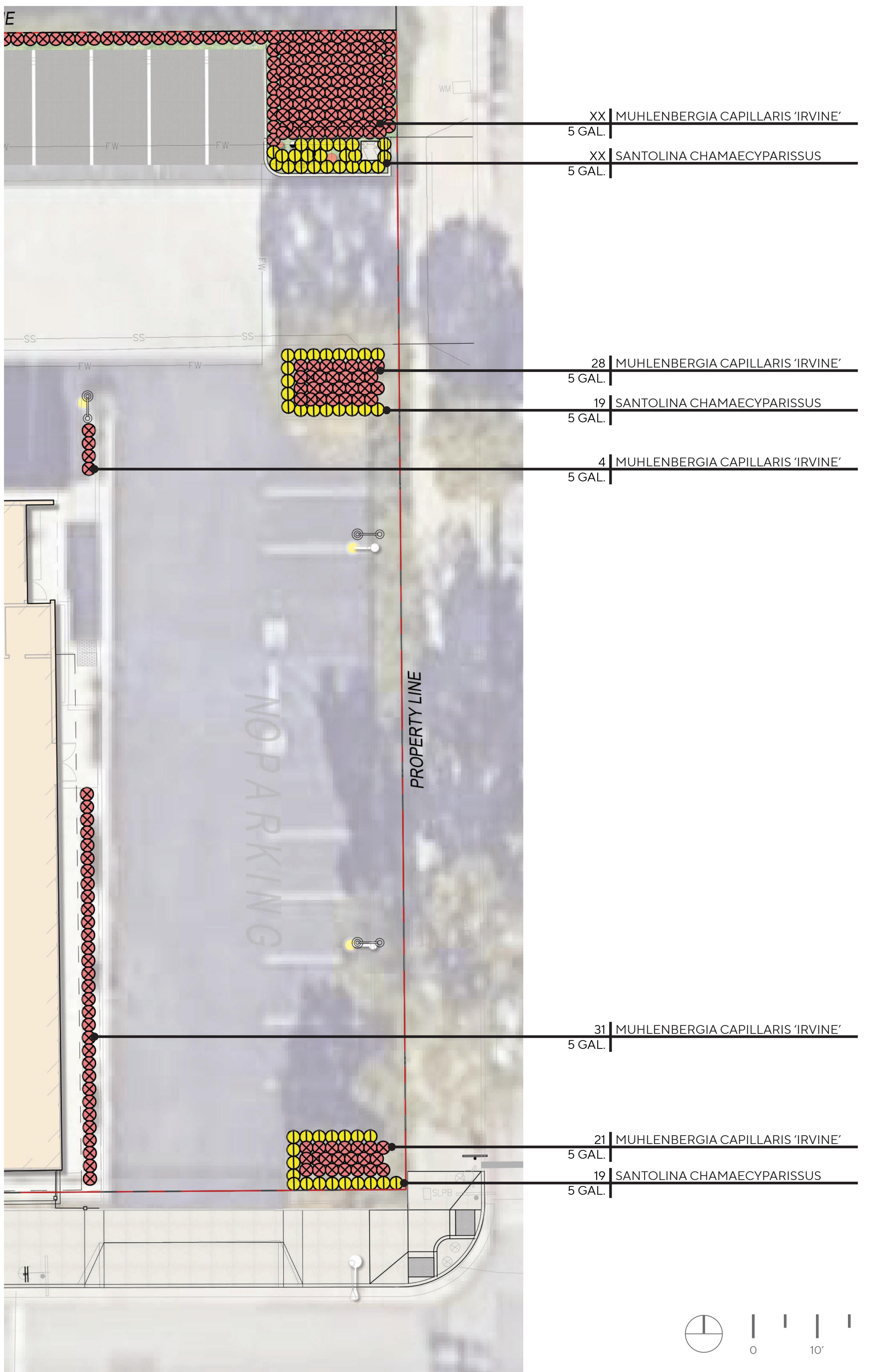
FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

TREE LEGEND				
SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	QTY.	WUCOLS
	ARBUTUS X 'MARINA' (MARINA STRAWBERRY TREE)	36" BOX	3	L
	BAMBUSA MULTIPLEX (CLUMPING BAMBOO)	36" BOX	10	VL
	CERCIDIUM X 'DESERT MUSEUM' (DESERT MUSEUM PALO VERDE)	36" BOX	2	VL

SHRUB LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
	LOMANDRA LANGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	57
	MUHLENBERGIA CAPILLARIS 'IRVINE'	PLUMETASTIC PINK MUHLY GRASS	5 GAL	69
	OLEA EUROPAEA 'MONTRA'	DWARF OLIVE	15 GAL	60
	SANTOLINA CHAMAECYPARISSUS	LAVENDER-COTTON	1 GAL	85

PLANTING DESIGN NOTES
THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF ORANGE GUIDELINES. NOTIFY COMMUNITY SERVICES DEPARTMENT, (714) 532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48-HOUR NOTICE REQUIRED. ALL TREES TO BE MAINTAINED AT THEIR FULL CANOPY.

CLIMATE ZONES FACTOR
WATER USE ABBREVIATIONS ARE AS FOLLOWS:
H = HIGH WATER NEEDS
M = MEDIUM WATER NEEDS
L = LOW WATER NEEDS
VL = VERY LOW WATER NEEDS
SUNSET ZONE: 23
USDA HARDINESS ZONE: 10b
WUCOLS REGION: SOUTH COASTAL, REGION 3



TREE LEGEND				
SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE	QTY.	WUCOLS
	ARBUTUS X 'MARINA' (MARINA STRAWBERRY TREE)	36" BOX	3	L
	BAMBUA MULTIPLEX (CLUMPING BAMBOO)	36" BOX	10	VL
	CERCIDIUM X 'DESERT MUSEUM' (DESERT MUSEUM PALO VERDE)	36" BOX	2	VL

SHRUB LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
	LOMANDRA LANGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	57
	MUHLENBERGIA CAPILLARIS 'IRVINE'	PLUMETASTIC PINK MUHLY GRASS	5 GAL	69
	OLEA EUROPAEA 'MONTRA'	DWARF OLIVE	15 GAL	60
	SANTOLINA CHAMAECYPRASSUS	LAVENDER-COTTON	1 GAL	85

PLANTING DESIGN NOTES

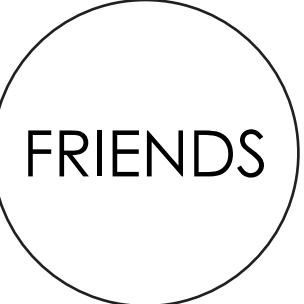
THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF ORANGE GUIDELINES. NOTIFY COMMUNITY SERVICES DEPARTMENT, (714) 532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48-HOUR NOTICE REQUIRED. ALL TREES TO BE MAINTAINED AT THEIR FULL CANOPY.

CLIMATE ZONES FACTOR

WATER USE ABBREVIATIONS ARE AS FOLLOWS:

H = HIGH WATER NEEDS
M = MEDIUM WATER NEEDS
L = LOW WATER NEEDS
VL = VERY LOW WATER NEEDS

SUNSET ZONE: 23
USDA HARDINESS ZONE: 10b
WUCOLS REGION: SOUTH COASTAL, REGION 3



FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

THE YARD
PLANTING PLAN

AO Architecture.
Design.
Relationships.

L05
Scale
Job No.
Date
2026-01-05

TREE IMAGES



ARBUTUS MARINA
(STRAWBERRY TREE)
HEIGHT: 20' - 30'
SPREAD: 15' - 20'
WUCOLS: M/L
FULL SUN



BAMBUA MULTIPLEX
(CLUMPING BAMBOO)
HEIGHT: 10' - 25'
SPREAD: 4' - 6'
WUCOLS: M
FULL SUN



CERCIDIUM X 'DESERT MUSEUM'
(DESERT MUSEUM PALO VERDE)
HEIGHT: 25'
SPREAD: 25'
WUCOLS: VL
FULL SUN

SHRUB IMAGES



LOMANDRA LONGIFOLIA 'BREEZE'
(DWARF MAT RUSH)
HEIGHT: 3'
SPREAD: 3'
WUCOLS: L
FULL SUN



MUHLENBERGIA CAPILLARIS 'IRVINE'
(PLUMETASTIC PINK MUHY GRASS)
HEIGHT: 3' - 4'
SPREAD: 3' - 4'
WUCOLS: L
FULL SUN TO PARTIAL SHADE



OLEA EUROPAEA 'MONTRA'
(LITTLE OLLIE DWARF OLIVE)
HEIGHT: 6'
SPREAD: 6'
WUCOLS: L
FULL SUN



SANTOLINA CHAMAECYPARISSUS
(LAVENDER-COTTON)
HEIGHT: 1' - 3'
SPREAD: 2' - 3'
WUCOLS: L
FULL SUN

WATER FEATURES



PLAY STRUCTURES



FIRE TABLE



RAISED PLANTER WALLS & BENCH



FRIENDS

FRIENDS CHURCH - THE HANGAR
180 S. CYPRESS, ORANGE, CA

THE YARD
PLANTING & PRECEDENT IMAGERY

AO Architecture.
Design.
Relationships.

L06

Scale
Job No.
Date

2023-0553
2023-01-05

IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA

THE HANGAR - FRIENDS CHURCH CONCEPTUAL GRADING PLAN

AREA SUMMARY:

± 48,569 S.F. / ± 1.11ACRES

ASSESSOR'S PARCEL NUMBER:

COUNTY OF ORANGE:

APN: 390-661-05

BENCHMARK:

BM ID: SA-281-75
DESCRIPTION: 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "SA-281-75", SET IN THE SOUTHWEST CORNER OF A 4 FT. BY 15 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF THE INTERSECTION OF BATAVIA STREET AND CHAPMAN AVENUE, 66 FT. EASTERLY OF THE CENTERLINE OF BATAVIA AND 32.5 FT. NORTHERLY OF THE CENTERLINE OF CHAPMAN. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 171.70 FEET (NAVD 1988)

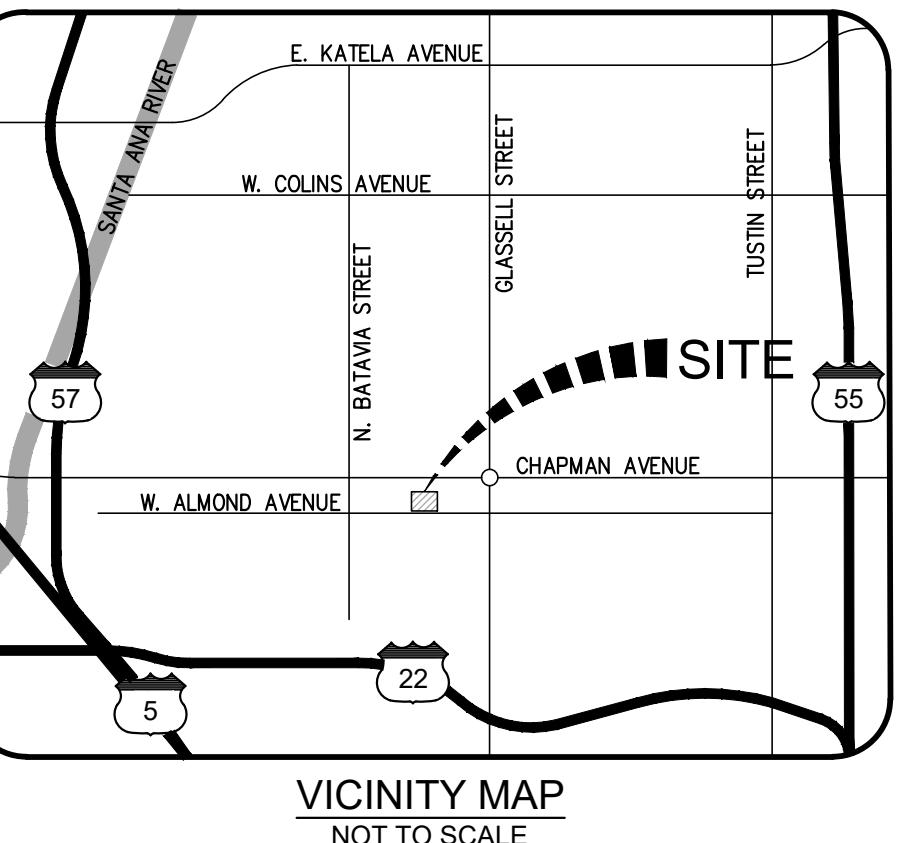
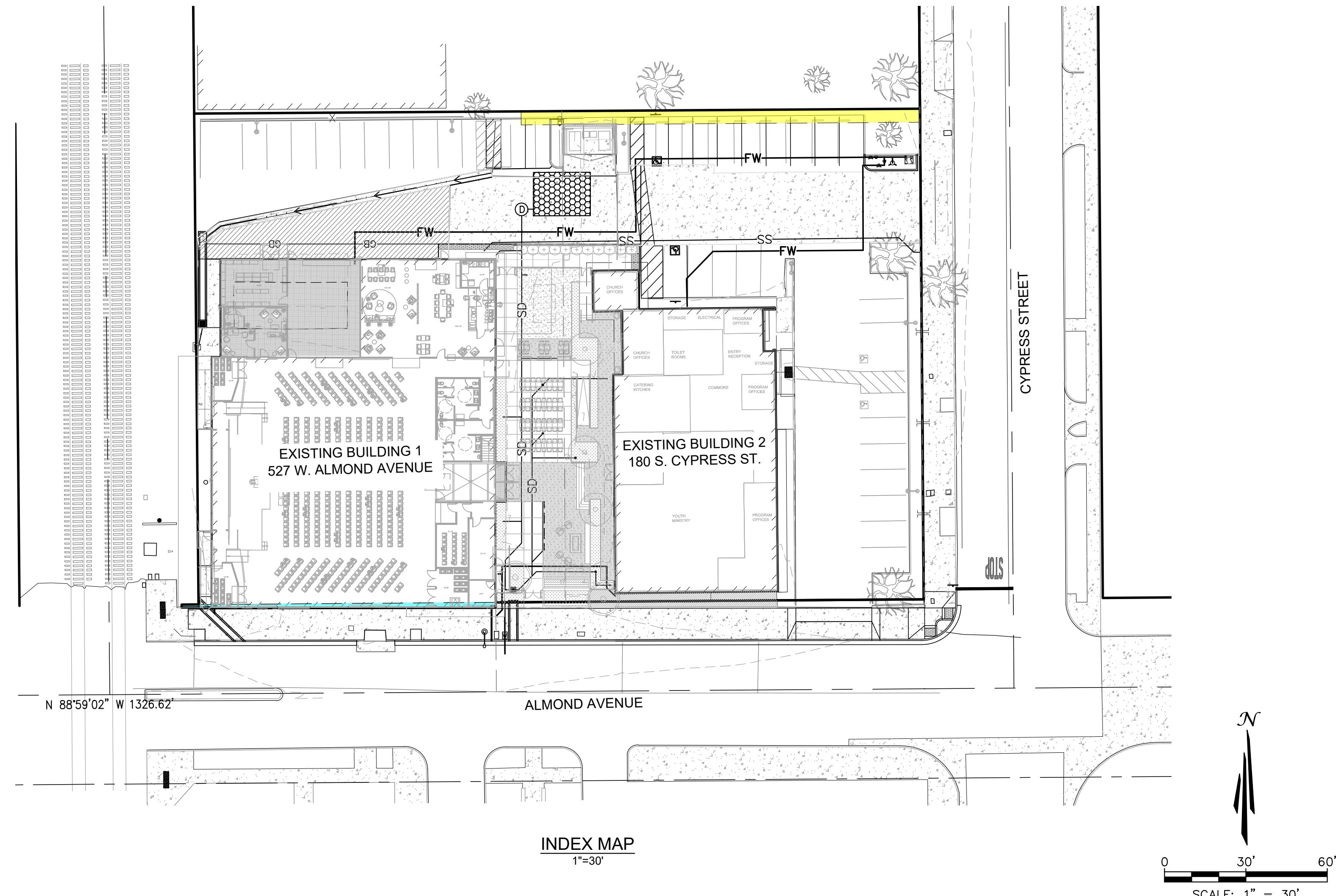
BASIS OF BEARINGS:

THE CENTERLINE OF ALMOND AVENUE BEING N 88°59'02" W BASED ON THE ORANGE COUNTY REAL TIME NETWORK (OCRTN)

FLOOD ZONE:

PER FEMA WEBSITE:

ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD)
MAP NUMBER: 06059C0161J
EFFECTIVE DATE: DECEMBER 3, 2009



SHEET INDEX

SHEET TITLE	SHEET NUMBER
TITLE SHEET	1
TOPOGRAPHIC ENCUMBRANCE & LIMIT OF IMPACT PLAN	2
CONCEPTUAL GRADING PLAN	3
CONCEPTUAL GRADING PLAN	4
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CONCEPTUAL BMP PLAN	6

1	1ST PLANNING SUBMITTAL	11/12/24
2	2ND PLANNING SUBMITTAL	02/04/25
3	3RD PLANNING SUBMITTAL	04/05/25
NO	DESCRIPTION	REVISIONS
	BY	DATE

701 North Parkcenter Drive Santa Ana, CA 92705	www.tait.com
KYLE ZIMMERMAN 949.637.7646 KYLEZ@FRIENDS.CHURCH	

TAIT	701 N. PARKCENTER DR. SANTA ANA, CA 92705 (714) 560-8200
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TITLE SHEET	THE HANGAR FRIENDS CHURCH 527 W ALMOND AVE./180 S CYPRESS ORANGE, CA 92866
DATE: 2/25/2025 CHECKED: 2/25/2025 REVISION #: 1 DATE: 2/25/2025 JOB NO: SP9122S	

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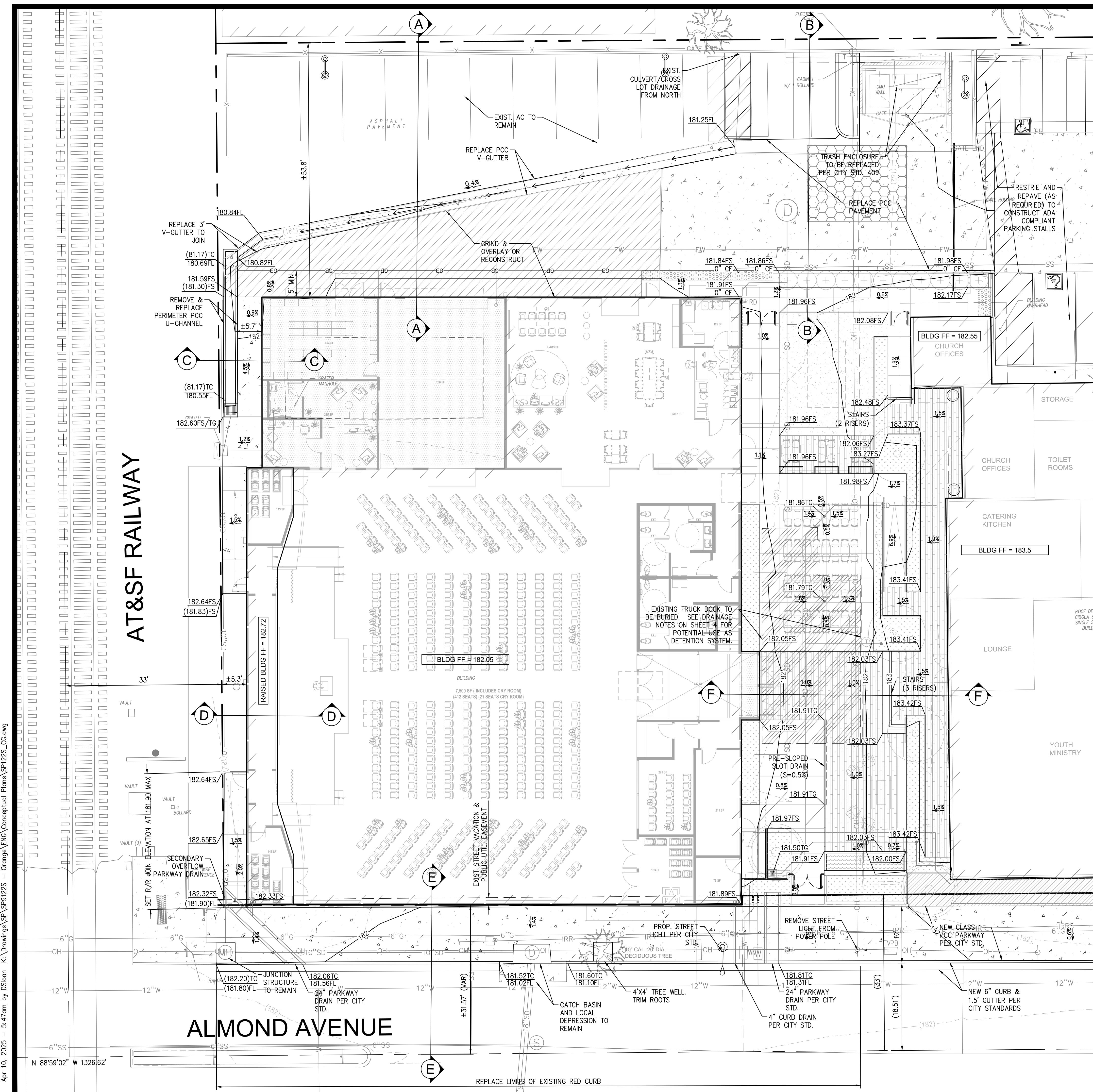


UNAUTHORIZED CHANGES & USES

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES OF THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARE OF THESE PLANS PRIOR TO CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THOSE UNDERGROUND UTILITIES TO BE USED PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.



CONCEPTUAL GRADING & DRAINAGE NOTES

** SEE SHEET 4 FOR GRADING AND DRAINAGE NOTES

NO.	DESCRIPTION	REVISIONS	DATE	BY
1	1ST PLANNING SUBMITTAL		11/12/24	
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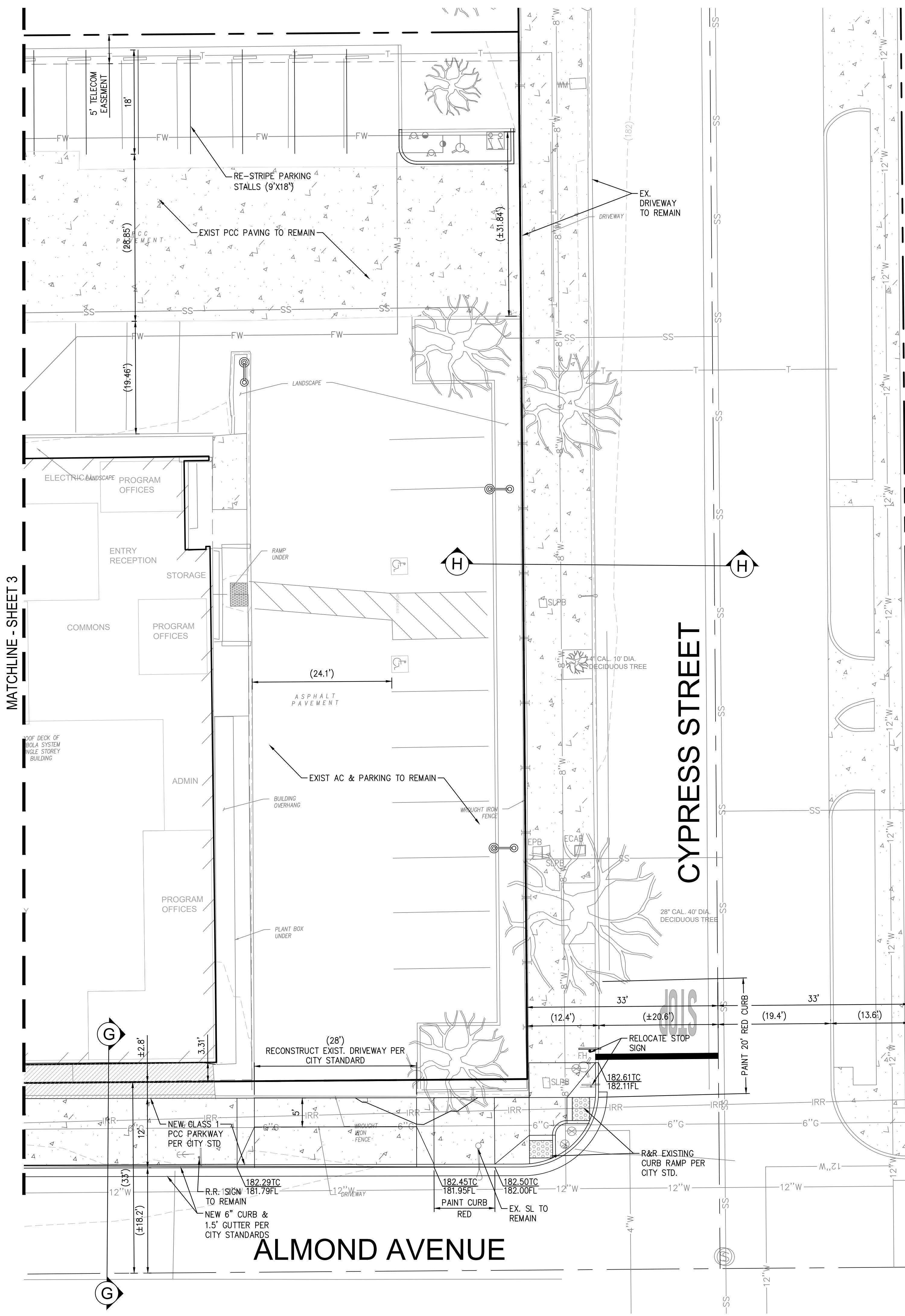
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	Engineering Environmental Building Land			
	Denver			
	Bosse			
	Atlanta			

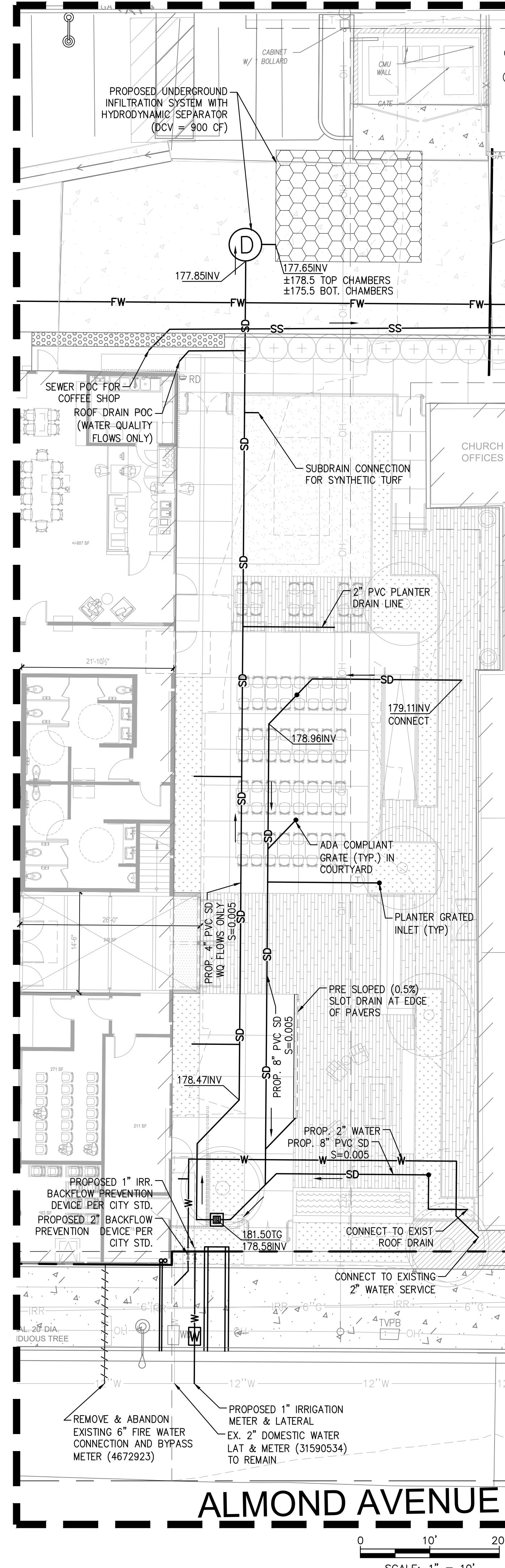
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CONCEPTUAL GRADING PLAN
THE HANGAR FRIENDS CHURCH
527 W ALMOND AVE / 180 S CYPRESS
ORANGE, CA 92866

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SITE UTILITY NOTES

- BOTH STRUCTURES ON THE EXISTING SITE ARE SERVICED BY A SINGLE, 2" WATER METER LOCATED ON ALMOND AVENUE.
- EXISTING 2" SERVICES WILL BE INTERCEPTED AFTER THE METER AND WILL BE DIRECTED TO A NEW 2" BACKFLOW DEVICE. SERVICES WILL THEN BE ROUNTED ON SITE AND RECONNECTED TO THE TWO EXISTING STRUCTURES.

FIRE WATER SYSTEM

- THE HANGAR BUILDING IS CURRENTLY SERVICES BY A DIRECT FIRE WATER CONNECTION AND UNDERGROUND CHECK VALVE ON ALMOND AVENUE. THE OFFICE BUILDING IS CURRENTLY UN-SPRINKLERED.
- EXISTING FIRE WATER SERVICE ON ALMOND AVENUE IS PROPOSED FOR ABANDONMENT PER CITY STANDARDS AND A NEW 6" - 8" FIRE WATER CONNECTION IS PROPOSED ON CYPRESS STREET (PENDING FINAL HYDRAULIC ANALYSIS).
- A NEW BACKFLOW PREVENTION DEVICES AND PRIVATE FIRE HYDRANT WILL BE CONSTRUCTED ON SITE PER ORANGE FIRE CLEARANCE REQUIREMENTS
- A DEDICATED FIRE WATER CONNECTION WILL BE CONSTRUCTED FOR EACH BUILDING WITH ASSOCIATED PIV AND FDC TO SERVICES THE PROPOSED SPRINKLER SYSTEMS.

IRRIGATION WATER SYSTEM

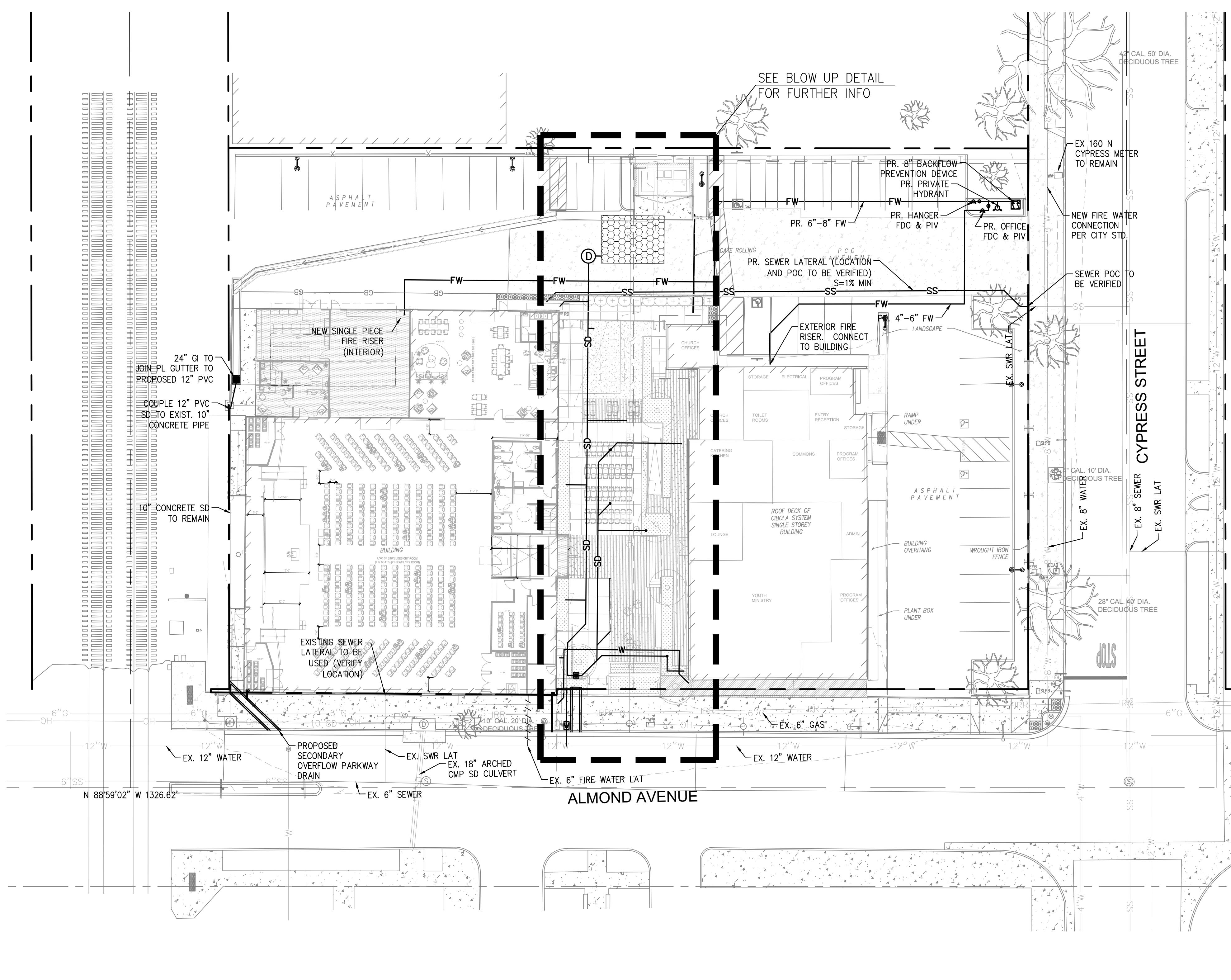
- NO DEDICATED IRRIGATION METER OR BACKFLOW DEVICE CURRENTLY EXISTS ON SITE.
- THE PROPOSED DEVELOPMENT WILL INSTALL A SINGLE, 1" IRRIGATION METER AND BACKFLOW PREVENTION DEVICE TO SERVICE THE PROPOSED LANDSCAPING IMPROVEMENTS.

SEWER SYSTEM

- THE HANGAR BUILDING IS CURRENTLY SERVICED BY A SEWER LATERAL ON ALMOND AVENUE WHICH CONNECTS TO AN EXISTING 6" VCP SEWER MAIN THAT FLOWS WESTERLY.
- THE OFFICE BUILDING IS CURRENTLY SERVICED BY A SEWER LATERAL ON CYPRESS STREET WHICH CONNECTS TO AN EXISTING 8" VCP SEWER MAIN.
- EXISTING SEWER LATERALS FOR BOTH STRUCTURES ARE PROPOSED FOR REUSE. UTILITY LOCATING WILL BE REQUIRED TO CONFIRM THE LOCATION AND DEPTH OF THE EXISTING SEWER LATERALS.
- PENDING POTENTIAL DEPTH CONSTRAINTS, A NEW SEWER LATERAL HAS BEEN SHOWN TO CONNECT THE COFFEE SHOP PLUMBING TO THE EXISTING SEWER MAIN ON CYPRESS STREET. THE ON-SITE SEWER WILL CONNECT TO AN EXISTING SEWER LATERAL FOR THE SITE WHICH WAS USED TO SERVICE PRIOR IMPROVEMENTS ON THE OFFICE PROPERTY.

LEGEND & ABBREVIATIONS

— — — — —	CENTERLINE	BOL	BOLLARD
— — — — —	PROPERTY LINE	CB	CATCH BASIN
— — — — —	PROPOSED CURB	CF	CURB FACE
— — — — —	EXISTING CURB	CL	CENTER LINE
— FW — — —	PROPOSED FIRE WATER LINE	DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
— SD — — —	PROPOSED STORM DRAIN	DW	DOMESTIC WATER
— SS — — —	EXISTING SANITARY SEWER	EX.	EXISTING
— — — — —	EXISTING STORM DRAIN	FDC	FIRE DEPARTMENT CONNECTION
— — — — —	EXISTING WATER	FF	FINISH FLOOR
— FW — — —	EXISTING FIRE WATER	FH	FIRE HYRANT
— — — — —	EXISTING GAS	FL	FLOWLINE
○ ○ ○ ○ ○	EXISTING FIRE HYDRANT	FS	FINISHED SURFACE
○ ○ ○ ○ ○	PROPOSED FIRE HYDRANT	FW	FIRE WATER
○ ○ ○ ○ ○	PROPOSED DCDA	INV	INVERT
● ● ● ● ●	PROPOSED PIV	PIV	POST INDICATOR VALVE
○ ○ ○ ○ ○	PROPOSED FDC	R	PROPERTY LINE
○ ○ ○ ○ ○	PROPOSED STORM DRAIN MANHOLE	PP	POWER POLE
○ ○ ○ ○ ○	PROPOSED STORM DRAIN GRATE	PROP.	PROPOSED
— — — — —	FIRE ACCESS ROAD/EASEMENT	R/W	RIGHT-OF-WAY
— — — — —		RW	RECLAIMED WATER
— — — — —		SD	STORM DRAIN
— — — — —		SS	SANITARY SEWER
— — — — —		SWLK	SIDEWALK
— — — — —		TC	TOP OF CURB
— — — — —		TG	TOP OF GRATE
— — — — —		WM	WATER METER



CONCEPTUAL UTILITY PLAN

THE HANGAR
FRIENDS CHURCH
180 ALMOND AVE. / 180 S CYPRESS
ORANGE, CA 92866

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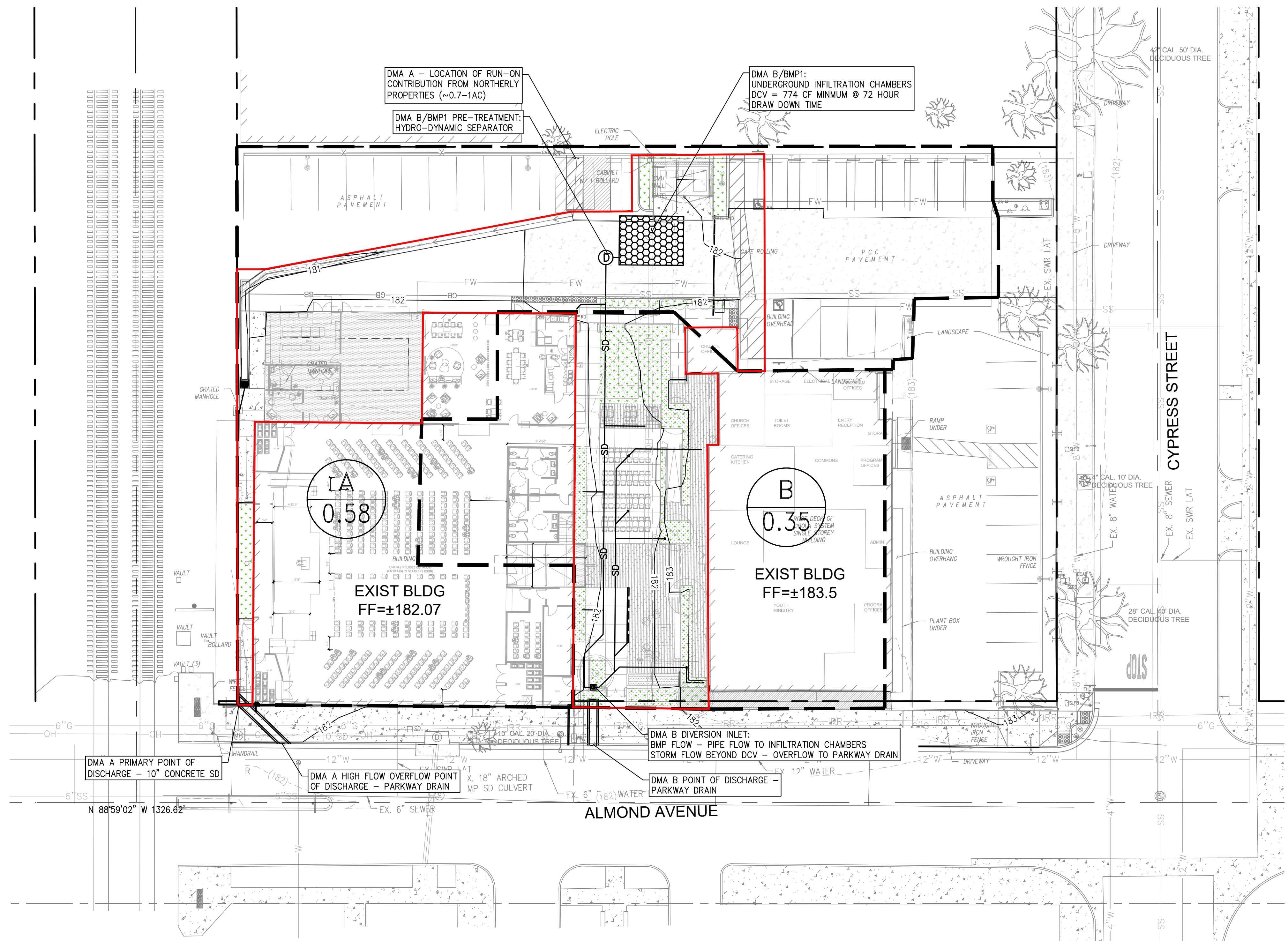
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NO.	DESCRIPTION	BY	DATE
2	2ND PLANNING SUBMITTAL	--	02/04/25
3	3RD PLANNING SUBMITTAL	--	04/09/25



WATER QUALITY NOTES

- GEOTECHNICAL REVIEW AND INFILTRATION STUDIES ARE PENDING. PRELIMINARY REVIEW HAS INDICATED GROUNDWATER IS APPROXIMATELY 10-20' BELOW GRADE AND MAY BE FEASIBLE; HOWEVER, ADEQUATE CLEARANCE FROM EXISTING STRUCTURES AND PROPERTY LINES MAY RESULT IN AN INFEASIBILITY DETERMINATION. FOR THE PURPOSE OF THIS SUBMITTAL, A SCHEMATIC FOOTPRINT FOR A 900 CUBIC FOOT, OPEN BOTTOM INFILTRATION SYSTEM HAS BEEN SHOWN.
- SHOULD INFILTRATION BE DEEMED INFEASIBLE, PROPRIETARY FLOW BASED WATER QUALITY TREATMENT SYSTEMS WILL BE RECOMMENDED WITH POST TREATMENT WATER QUALITY FLOWS BEING PUMPED DIRECTLY TO THE CURB FACE VIA A NEW CURB DRAIN.
- DRAINAGE MANAGEMENT AREA NOTES:
 - DMA A: DRAINAGE RECEIVES RUN-ON CONTRIBUTION FROM NORTHERLY PARCELS AND SURFACE FLOWS TO WESTERN PROPERTY LINE. DRAINAGE IS CAPTURED BY GRATED INLET AND CONVEYED TO PUBLIC STORM DRAIN SYSTEM VIA 10" CONCRETE STORM DRAIN PIPE. DUE TO LACK OF SPACE AND ABILITY TO OBTAIN CLEARANCES FROM EXISTING STRUCTURES, BMPs ARE NOT PROPOSED FOR DMA A AND THE REQUIRED DCV WILL BE CAPTURED AS PART OF AN EQUIVALENT TRANSFER IN DMA B.
 - DMA B: DRAINAGE IS CAPTURED BY AREA/TRENCH/ROOF DRAINS AND DIRECTED TO A HYDRO-DYNAMIC SEPARATOR AND INFILTRATION CHAMBER VIA STORM DRAIN SYSTEM SIZED TO CONVEY THE 2 YEAR STORM. STORMS IN EXCESS OF THE 2 YEAR STORM WILL SPILL AT THE SOUTHERN PROPERTY LINE FROM A GRATED INLET AND WILL DISCHARGE TO THE PUBLIC CURB AND GUTTER ON ALMOND AVENUE VIA PARKWAY DRAIN. NOTE - DUE TO THE FACT THAT DMA B (0.35 AC) IS LARGER THAN THE TOTAL PROJECT DISTURBED AREA OF 0.33 AC, BMP 1 HAS BEEN OVERSIZED IN ORDER TO TREAT THE ENTIRE PROJECT DCV DUE TO CONSTRAINTS IN DMA A.

CONCEPTUAL BMP PLAN

TAIT

THE HANGAR
FRIENDS CHURCH
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ORANGE, CA 92866

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