

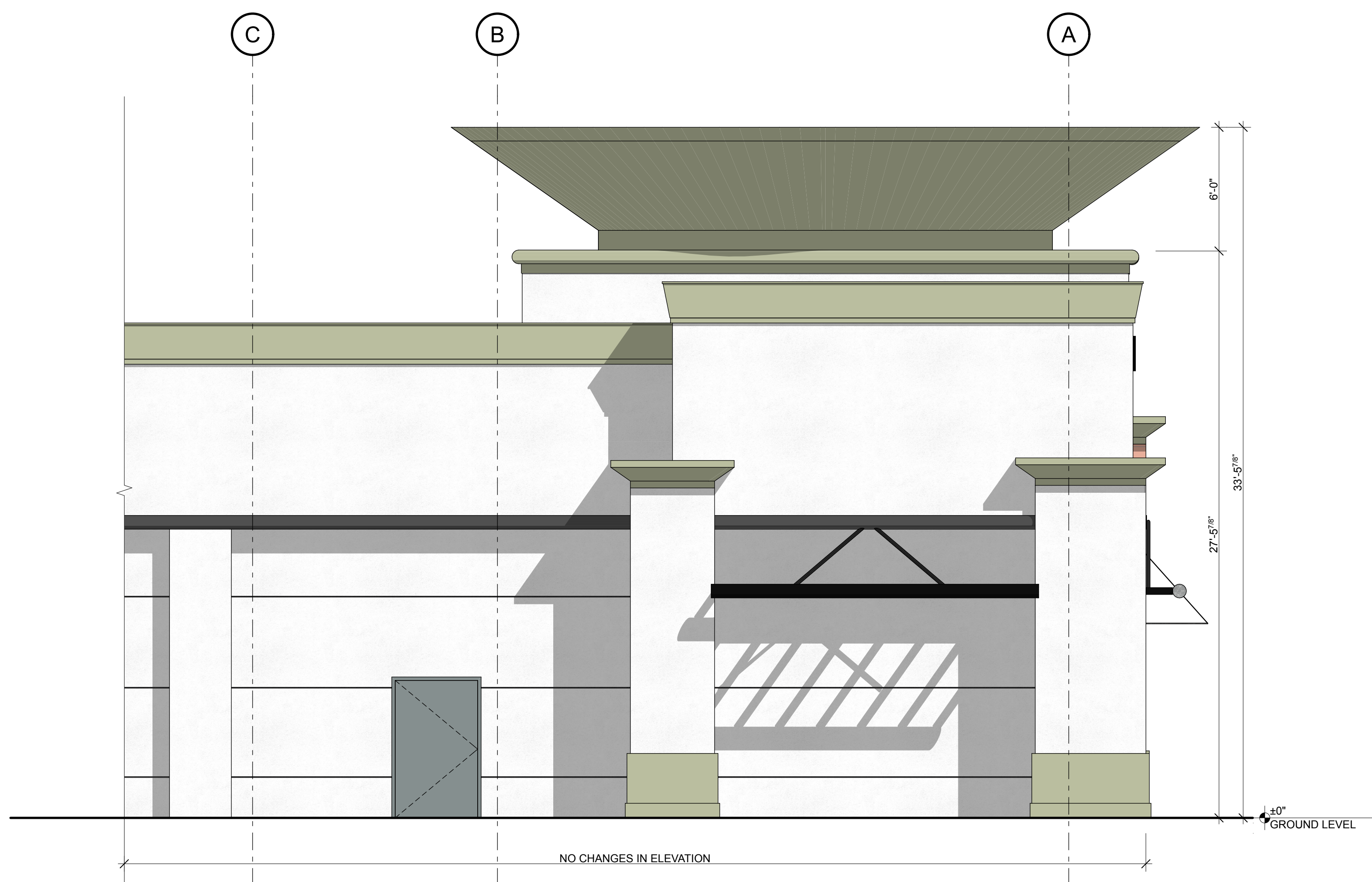
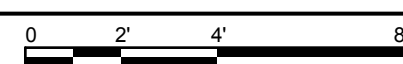
763 S. MAIN STREET, SUITE 200A, ORANGE, CA 92868

ORANGE POLICE NON-RESIDENTIAL REQUIREMENTS	DEFERRED SUBMITTAL	BUILDING CODES	PROJECT DATA	PROJECT TEAM	SCOPE OF WORK
Orange Police Non-Residential Requirements The City of Orange Municipal Code section 15.52 requires that all building within the city meet specific security standards (Ordinance # 6-22). The following items shall be required on any new or remodeled commercial building/tenant space. Strike plate – 16 gauge Screws– 3” in wood framed jambs Aluminum jamb reinforced Non-removable hinge pins (NRP) on old swinging doors Operable window/sliding doors shall have passed C.M.B.S.O. forced entry test Exterior doors – 16 gauge hollow metal or solid core wood Exterior door hardware shall come from current City of Orange Approved Products List One motion lever hardware, deadbolt function required on all exterior doors (unless panic <u>required</u>) Solid steel cylinder guard/approved escutcheon required Exterior pair of doors require automatic 5/8” metal flush bolts at head & threshold Double doors with panic hardware require full length astragal approved by the police department Office suite doors in multi-occupancy/tenant building to be secured as exterior doors (i.e.-deadbolt) Skylights shall be protected by rated burglary/impact glazing, or approved burglar bars HVAC or air duct/vent require burglar bars/screen on any opening exceeding 96 square inches (iron bars at least ½ in round or 1 in flat steel material spaced no more than 5 inches apart & securely fastened) Building address numbers shall be illuminated, contrast and between 9 and 12 inches in height Lighting at exterior doorways shall be maintained minimum 1 fc. at ground with vandal proof lenses Lighting on parking & access areas shall be maintained minimum 1 fc. at ground with vandal proof lenses ANY EXTERIOR CHANGES TO EXISTING BUILDING T.L.I MUST MEET SECURITY ORDINANCE REQUIREMENTS CRIME PREVENTION BUREAU (714)-744-7327 or (714) 744-7555	1.) SPRINKLERS 2.) SIGNAGE	CODES 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING CODE ORANGE COUNTY HEALTH FIRE DEPARTMENT NOTES 1.) MODIFIED FIRE SPRINKLER PLANS SHALL BE SUBMITTED FOR REVIEW, APPROVAL AND PERMIT ISSUANCE. 2.) NO FRAMING OR T-BAR APPROVALS WILL BE GRANTED WITHOUT THE FIRE DEPARTMENT APPROVAL FOR THE FIRE SPRINKLER. 3.) FIRE SPRINKLER MODIFICATIONS BY A LICENSED C-16 CONTRACTOR 4.) HOOD SUPPRESSION SYSTEM BY LICENSED C-16 CONTRACTOR 5.) CARBON DIOXIDE BEVERAGE DISPENSING SYSTEM AND ALARM, IF AGGREGATE IS GREATER THAN 100 POUNDS.	PROJECT DATA: 763 S. MAIN STREET, SUITE 200A, ORANGE, CA 92868 (805) 369-1750 CONTACT: MR. ANDREW E. ALTHAUS, AIA SITE DESCRIPTION: JURISDICTION: ORANGE COUNTY ASSESSORS PARCEL NO. 390-621-04 ZONE: UMU LOT SIZE: 108,169.5 SF PARKING PARKING STALLS: 500 (ENTIRE CENTER) H.C. PARKING: 12 STALLS PARKING RATIO: 4.6 / 1,000 SF BUILDING DESCRIPTION OCCUPANCY TYPE: B OCCUPANCY LOAD: 31 CONSTRUCTION TYPE: V-B NUMBER OF STORIES: 1 FIRE SPRINKLERS: YES SQUARE FOOTAGE (E) SQUARE FOOTAGE 3,184 SQ FT (N) SQUARE FOOTAGE 3,184 SQ FT (NO CHANGES IN FOOTPRINT OR AREA)	OWNER/CLIENT: MR. JOHN DECARRIER 763 S. MAIN STREET, SUITE 200A, ORANGE, CA 92868 (805) 369-1750 PROJECT TEAM ARCHITECT: 3 SIXTY ARCHITECTURE + DESIGN 31368 VIA COLINAS, SUITE #105 WESTLAKE VILLAGE, CA 91362 (805) 369-1750 CONTACT: MR. ANDREW E. ALTHAUS, AIA EMAIL: andrew@3sixtyarchitecture.com STRUCTURAL ENGINEERING: ALLTRADE ENGINEERING 17 EAS HIGH STREET MOORPARK, CA 93021 CONTACT: SHANE JUDD (805) 552-4000 MEP: ALLTRADE ENGINEERING 17 EAS HIGH STREET MOORPARK, CA 93021 CONTACT: KITCHEN CONSULTANT: AVANTI RESTURANT SOLUTIONS 3199 Q AIRPORT LOOP DR. COSTA MESA, CA 92626 CONTACT: TIM REED (714) 463-6901	PERMIT FOR LIQUOR LICENSE. VICINITY MAP



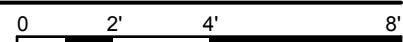
B EXTERIOR ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



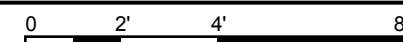
C EXTERIOR ELEVATION (WEST) NO CHANGES

SCALE: 1/4" = 1'-0"



A EXTERIOR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



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STATE OF CALIFORNIA
EX-2020
REGISTERED ARCHITECT
AL THALUS
EXP. NOV. 30, 2025

ROSE BAKERY CAFE
763 S. MAIN STREET, SUITE 200A,,
ORANGE, CA 92868

REVISIONS	DATE	REVISIONS	DATE
1. SUBMITTAL	02/10/25	2. SUBMITTAL	04/15/25
3. SUBMITTAL	04/15/25	4. SUBMITTAL	08/15/25

Date: 8/15/25
Job: Project No. 24-28
Scale: AS NOTED

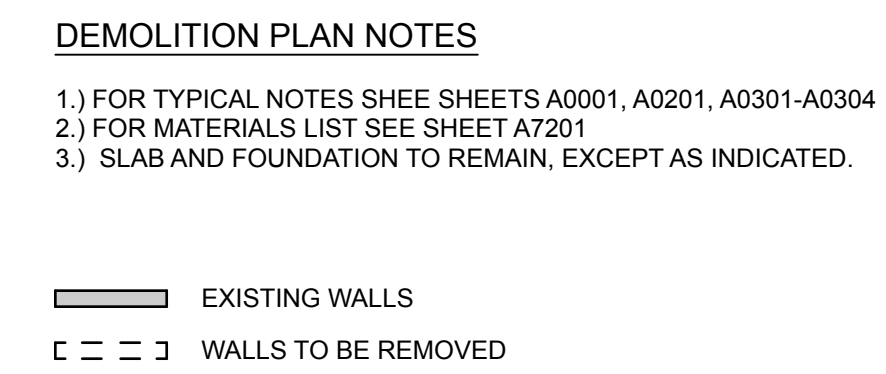
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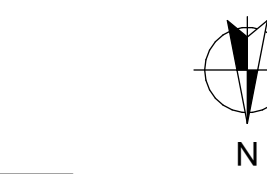
A5101

Plotted On: 8/15/25

EXTERIOR ELEVATIONS



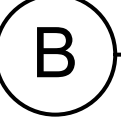
SCALE: 1/4" = 1'-0"



SCALE: 1/4" =



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

- XX — INDICATES WALL TYPE, SEE SHEET A8001 FOR WALL TYPE DESCRIPTION
- A — INDICATES ALIGN FINISH FACES



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703 S. MAIN STREET, SUITE 200A,, ORANGE, CA 92668

2ND FLOOR DIMENSION PLAN

DATE	REVISION
02/10/25	R & S SUBMITTAL
04/21/25	HEALTH DEPARTMENT & BAS SUBMITTAL
04/28/25	HEALTH DEPARTMENT RESUBMITTAL
05/15/25	CUP / LUP SUBMITTAL

date: 8/15/25

scale: AS NOTED

Project No. 24-28

AS NOTED

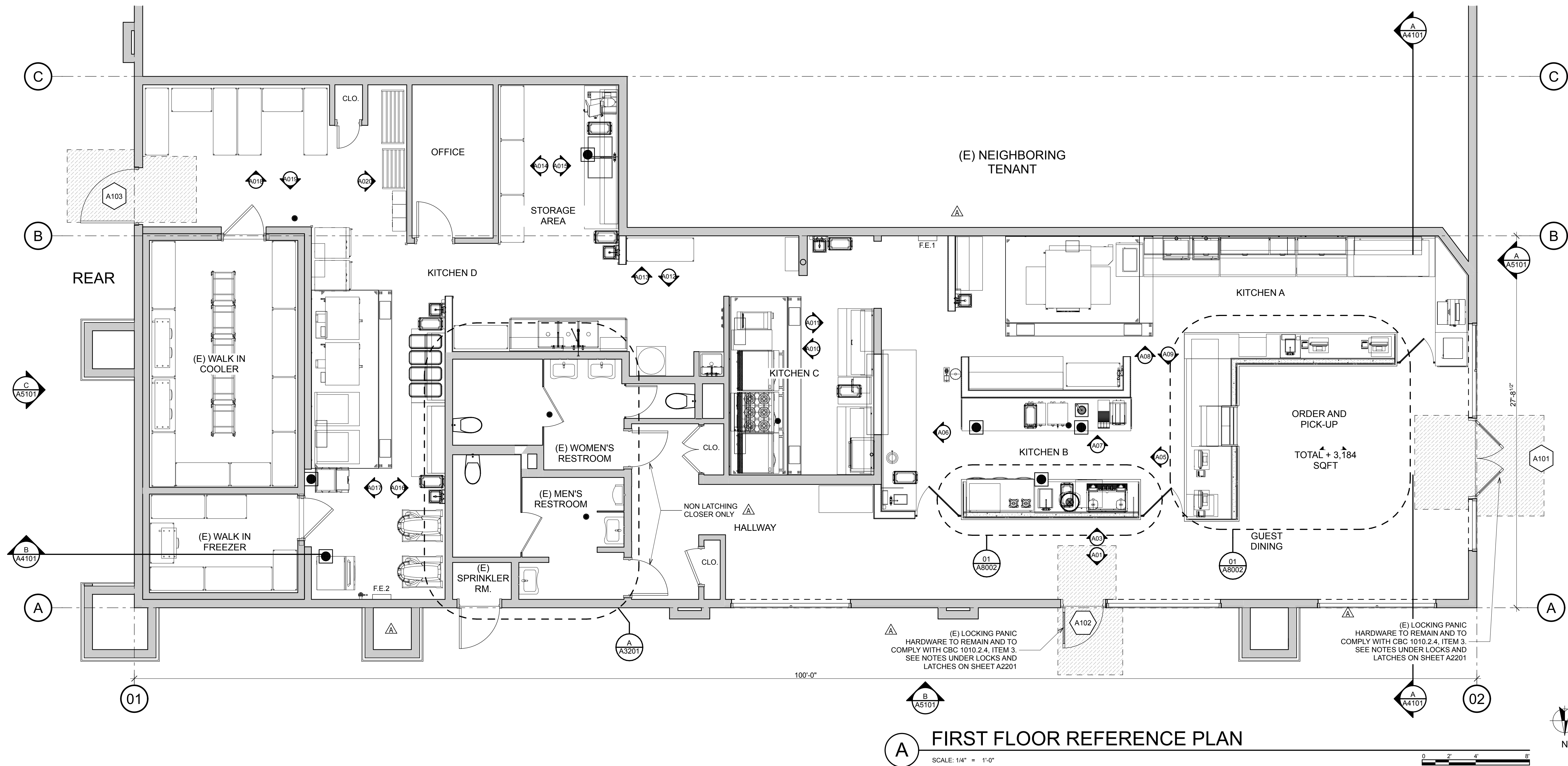
1" = 4'-0"

THE ABOVE DIMENSIONS DO NOT
 GUARANTEE OR INDICATE EXACTLY THE
 DIMENSIONS. NO ONE SHALL BE RELIED UPON
 FOR DIMENSION, AFFECTING ALL
 SCALES.

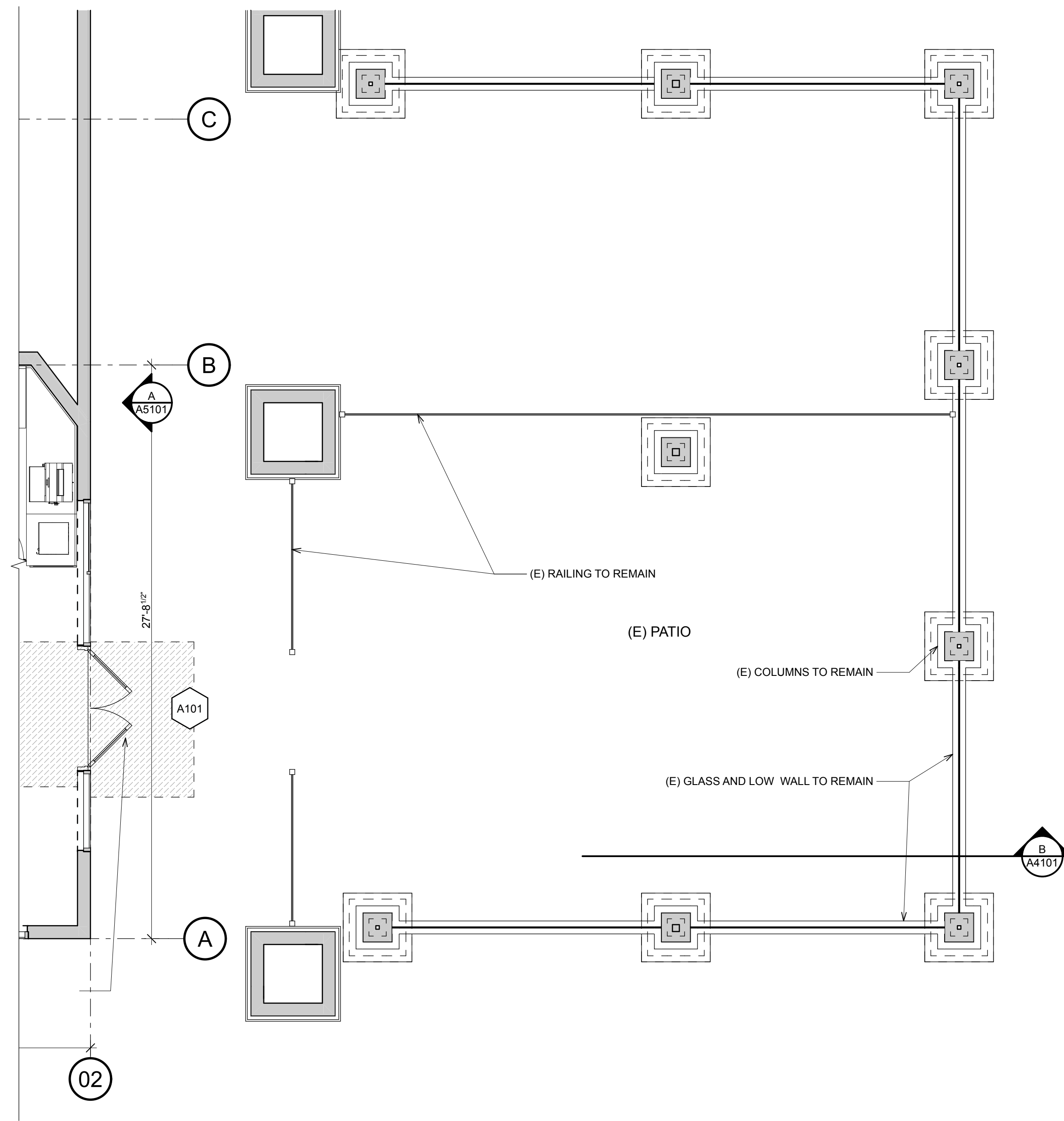


A2401

Plotted On: 8/15/25



B FIRST FLOOR REFERENCE PLAN (PATIO)
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

- 1.) FOR TYPICAL NOTES SEE SHEETS A0001, A0201, A0301-A0304
- 2.) FOR MATERIALS LIST SEE SHEET A2201
- 3.) REFER TO "ARCHITECTURAL DIMENSIONS" ON SHEET A0101 FOR DIMENSIONS STANDARDS
- 4.) FOR WALL TYPES SEE SHEET A8001
- 5.) ALL FLOOR FINISHES TERMINATE AT THRESHOLDS UNLESS NOTED OTHERWISE
- 6.) ALL WALLS TO BE A MINIMUM 1-HOUR RATING & EXTEND TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS NOTED OTHERWISE
- 7.) FACE OF STUD AT ANGLED WALL LOCATIONS ARE DIMENSIONED @ 0'-0" & 4'-0"
- 8.) ALL FLOOR FINISHES TERMINATE AT DOOR THRESHOLDS, UNLESS NOTED OTHERWISE
- 9.) SEE FLOOR PLANS AND REFLECTED CEILING PLANS FOR CONSTRUCTED ELEMENTS (AND DIMENSIONS) THAT HAVE ALIGNMENTS TO FINISHES
- 10.) THE FINAL NUMBER AND LOCATION OF ALL FIRE EXTINGUISHERS SHALL BE DETERMINED BY THE LOCAL AREA FIRE INSPECTOR.

- EXISTING WALLS
— NEW WALLS
F.E.1 INDICATES FIRE EXTINGUISHER CABINET
XX INDICATES INTERIOR ELEVATION, SEE SHEET A6001-A6002

LOCKS AND LATCHES

- CBC 1010.2.4, ITEM 3
1.) THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED.
2.) A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. THE SIGN SHALL BE IN LETTERS 1 INCH (25 MM) HIGH ON A CONTRASTING BACKGROUND.
3.) THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.

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STATE OF CALIFORNIA

REGISTERED ARCHITECT

EXPIRATION DATE: 11/30/2025

AL THALUS

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763 S. MAIN STREET, SUITE 200A,,
ORANGE, CA 92868

REVISIONS	DATE	REVISIONS
1. SUBMITTAL	02/10/25	2. SUBMITTAL
3. SUBMITTAL	04/15/25	4. SUBMITTAL
5. SUBMITTAL	04/28/25	6. SUBMITTAL
7. SUBMITTAL	08/15/25	8. SUBMITTAL

Date: 8/15/25
Job: Project No. 24-28
Scale: AS NOTED

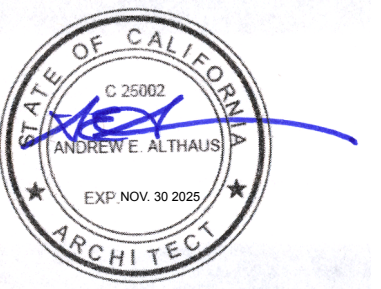
IF THE ABOVE DIMENSION DOES NOT MATCH THE ONE INDICATED IN THE DRAWING, THE DIMENSION SHOWN IN THE DRAWING WILL HAVE BEEN ENLARGED OR REDUCED. AFFECTING ALL UNLABLED SCALERS.

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A2201

Plotted On: 8/15/25

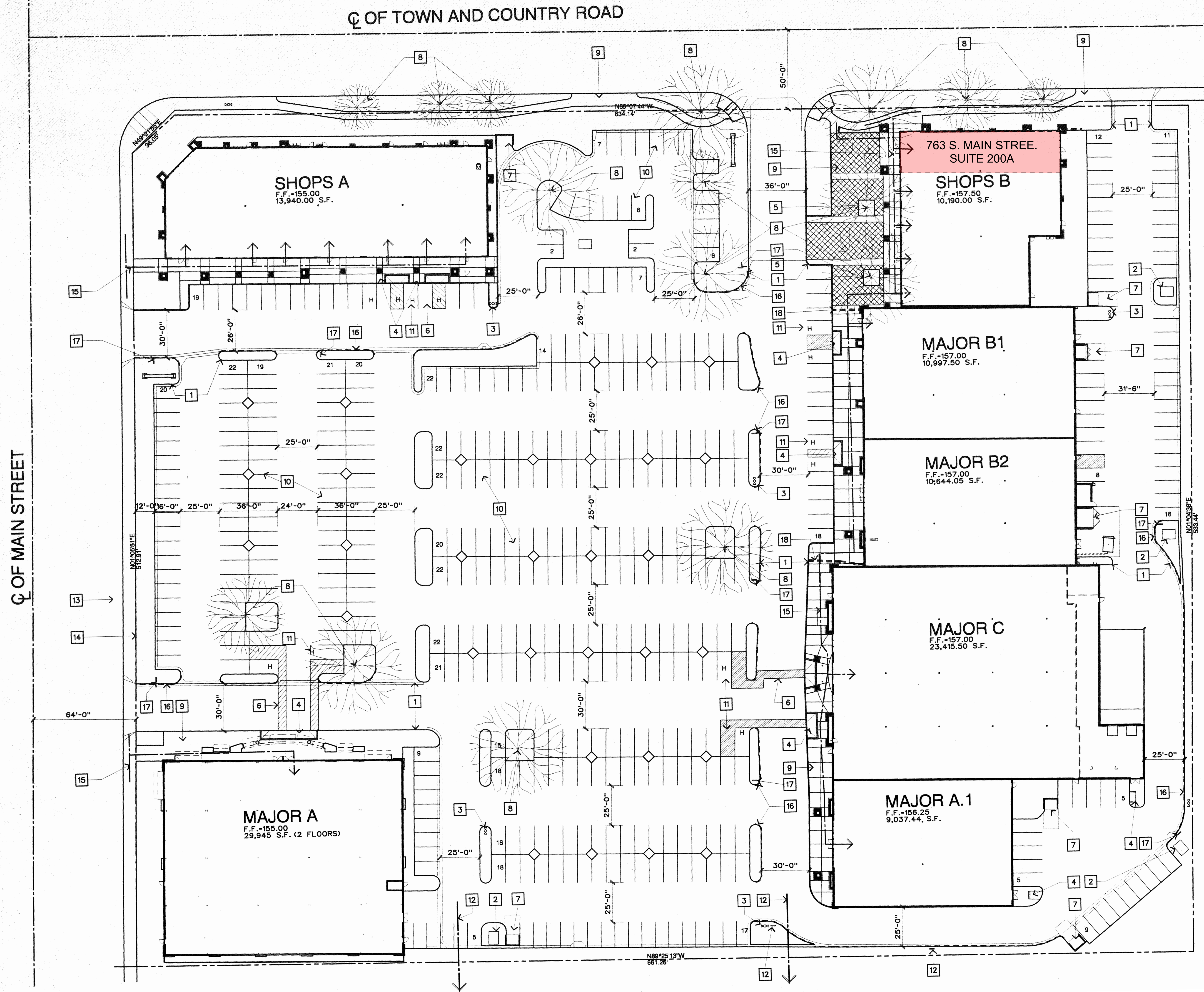
FIRST FLOOR REFERENCE PLAN



ROOF REFERENCE PLAN

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.



KEYNOTES

- 1 CONCRETE CURB PER CIVIL DRAWINGS.
- 2 ELECTRICAL TRANSFORMER LOCATION, REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
- 3 FIRE HYDRANT LOCATION, REFER TO CIVIL DRAWINGS.
- 4 HANDICAP RAMP PER CIVIL DRAWINGS.
- 5 TREE WELL PER LANDSCAPE DRAWINGS.
- 6 HANDICAP STRIPING PER CIVIL DRAWINGS.
- 7 TRASH ENCLOSURE PER CITY OF ORANGE STANDARDS.
- 8 EXISTING TREE TO REMAIN.
- 9 CONCRETE WALK, REFER TO CIVIL DRAWINGS.
- 10 TYPICAL PARKING STALL, REFER TO CIVIL DRAWINGS.
- 11 INDICATES HANDICAP PARKING STALL. SEE CIVIL SHEET 4 OF 11 FOR DETAIL.
- 12 LINE INDICATES FUTURE ACCESS TO ADJOINING SITE.
- 13 EXISTING PROPERTY LINE.
- 14 NEW PROPERTY LINE.
- 15 DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WALK TO STORE ENTRIES PER STATE TITLE 24 SECTION 1114.B.1.1
- 16 DASHED LINE INDICATES FIRE LANE STRIPPING PER CIVIL DRAWINGS DETAIL 9 SHEET 4 OF 11.
- 17 FIRE LANE SIGNAGE PER DETAIL 7/A.1.1.
- 18 ROOF DRAIN LEADER BELOW SIDEWALK AND THRU CURB.

NOTES

1. REFER TO CIVIL ENGINEERING DRAWINGS FOR MORE INFORMATION.
2. REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION AND EXIST. TREE ADN ROOT PROTECTION DURING GRADING AND CONSTRUCTION.
3. FIRE SUPPRESSION SYSTEM PLANS MUST BE REVIEWED AND APPROVED BY THE CITY OF ORANGE FIRE DEPARTMENT PRIOR TO THE INSTALLATION OF ANY FIRE SUPPRESSION OR WARNING SYSTEM.

SITE INFORMATION

TOTAL BUILDING S.F.:	108,169.5 S.F.
TOTAL PARKING:	500 STALLS
PARKING RATIO:	4.6 / 1,000 S.F.
H.C. PARKING:	12 STALLS

360°
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STATE OF CALIFORNIA
2020
REGISTERED ARCHITECT
EXPI. NOV. 30, 2025

ARCHITECT

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ORANGE, CA 92868

REVISIONS	DATE	REVISIONS
1	02/10/25	
2	04/15/25	
3	04/28/25	
4	08/15/25	

DATE: 8/15/25
Job: Project No. 24-28
Scale: AS NOTED

1" = 1' ACTUAL

IF THE ABOVE DIMENSION DOES NOT MATCH THE ONE INDICATED EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL UNLABLED SCALERS.

SITE REFERENCE PLAN

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SITE REFERENCE PLAN

NOT TO SCALE

0 1/2" 1" 2"

N

A1101

Plotted On: 8/15/25