

MONTERREY RESIDENCE  
RELOCATE, REMODEL, AND ADDITION  
629 E WASHINGTON AVE,  
ORANGE, CA 92866

FAR & SETBACK:

ADDRESS ON WASHINGTON AVE:	505 E	513 E	521 E	535 E	539 E	547 E	605 E	615 E	623 E	629 E	637 E
NUMBER OF STORIES:	1	1	2	1	1	1	1	1	2	1	1
APPROXIMATE SETBACK*:	17'	14'	16'	13'	11'	12'	17'	11'	16'	40'	24'
BED/BATH COUNT*	2/1	2/2	2/1	1/1	1/1	2/2	2/1	2/2	4/2	2/1	2/1
HOUSE FOOTPRINT (SF)	3,605	2,716	2,730	2,182	3,158	3,577	3,059	2,110	2,205	1,186	2,205
LOT SIZE (SF)	4,380	6,350	6,350	6,350	7,620	7,620	7,620	6,350	7,620	5,079	7,105
FAR	0.82	0.43	0.43	0.34	0.41	0.47	0.40	0.33	0.29	0.23	0.31

NEIGHBORHOOD SETBACK RANGE:	11' - 24'	NEIGHBORHOOD FAR RANGE:	0.31 - 0.82
PROJECT EXISTING SETBACK	40'	PROJECT EXISTING FAR:	0.23
PEOPOSED NEW SETBACK	20'	PROJECT PROPOSED FAR:	0.34

- (1) NOTE THAT THE FAR NUMBER CALCULATION IS CALCULATED FROM ALL ENCLOSED STRUCTURE BASED ON THE BEST ESTIMATE.  
(2) (3) APPROXIMATE SETBACK WERE DERIVED FROM EXISTING RECORDS THAT ARE PUBLICLY ACCESSIBLE.



ADDRESS ON WASHINGTON AVE:	504 E	514 E	524 E	532 E	540 E	548 E	604 E	610 E	622 E	630 E	268 S HARWOOD ST
NUMBER OF STORIES:	1	1	2	1	1	1	1	2	1	1	1
APPROXIMATE SETBACK*:	18'	16'	15'	15'	15'	15'	10'	10'	15'	15'	15'
BED/BATH COUNT*	3/1	2/-	2/1	6/-	3/2	3/2	1/1	2/1	3/-	2/1	1/1
SF OF HOUSE (SF)*	2,871	1,571	3,040	2,225	1,899	2,614	1,403	2,590	2,143	3,555	2,135
LOT SIZE (SF)	7,117	6,250	6,250	6,250	6,250	7,500	6,250	6,250	6,233	7,500	
FAR	0.40	0.25	0.49	0.36	0.26	0.35	0.19	0.41	0.34	0.57	0.28

NEIGHBORHOOD SETBACK RANGE:	10' - 18'	NEIGHBORHOOD FAR RANGE:	0.19 - 0.66
PROJECT EXISTING SETBACK	40'	PROJECT EXISTING FAR:	0.23
PEOPOSED NEW SETBACK	20'	PROJECT PROPOSED FAR:	0.34

CONCLUSION:

BASED ON THE NEIGHBORHOOD DIAGRAM, THE PROPERTY AT 629 E WASHINGTON AVE CURRENTLY HAS AN EXCEPTIONALLY DEEP FRONT SETBACK COMPARED TO ALL OTHER HISTORICAL STRUCTURES IN THE NEIGHBORHOOD. THE PROPOSED PLAN SEEKS TO SHIFT THE STRUCTURE FORWARD SO THAT THE FRONT SETBACK—MEASURED FROM THE FRONT PROPERTY LINE TO THE FRONT PORCH POST—IS 20 FEET. THIS DISTANCE ALIGNS WITH THE AVERAGE SETBACK RANGE OBSERVED AMONG NEIGHBORING PROPERTIES. RATHER THAN COMPROMISING THE HISTORICAL INTEGRITY OF THE AREA, WE BELIEVE THIS ADJUSTMENT WILL CREATE A MORE COHESIVE AND HARMONIOUS STREETScape THAT BETTER REFLECTS THE ESTABLISHED CHARACTER AND FRONTAGE OF THE NEIGHBORHOOD.



EXISTING SITE PLAN -  
NEIGHBORHOOD DIAGRAM

SCALE: N.T.S.



DIAL 811

CONTACT DIALERT PRIOR TO ANY EXCAVATION.  
SUBMIT A REQUEST AT LEAST TWO (2) DAYS PRIOR TO  
DIGGING.

CITY NOTES:

CITY OF ORANGE NOTES:

- COMPLETION OF PROJECT** - THE MAXIMUM TIME TO COMPLETE CONSTRUCTION ON A PROJECT IS LIMITED TO THREE (3) YEARS FROM THE DATE OF THE PERMIT FOR ALL PERMITS ISSUED AFTER AUGUST 21, 2019 AS REQUIRED BY NPMC SECTION 15.02.095
- ENCROACHMENT PERMIT** - AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHING THE PUBLIC RIGHT-OF-WAYS THE ONLY COMPANY PERMITTED TO RENT BINS IN THE CITY OF ORANGE FOR CONSTRUCTION AN DDEMOLITION PROJECTS
- ENCROACHMENT PERMIT INSPECTION BEFORE ISSUANCE OF BUILDING FINAL** - A PUBLIC WORKS DEPARTMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING PEARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WRKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTSSURROUNDING SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1-INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER (MUNI. CODES 14.24.020 & 14.08.030). SAID DETERMINATION AND THE EXTENT OF THE RECONSTRUCTION WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PUBLIC RIGHT OF WAY AT ALL TIMES DURING THE CONSTRUCTION PROJECT. A STOP WORK NOTICE MAY BE ISSUED FOR ANY DAMAGE OR UNMAINTAINED PORTION OF THE PUBLIC RIGHT OF WAY.
- ENCROACHMENT AGREEMENT REQUIRED** - AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6.
- WATER IN PUBLIC RIGHT OF WAY** - ALL WORK RELATED TO WATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-34 LICENSED PIPELINE CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR
- WASTEWATER IN PUBLIC RIGHT OF WAY** - ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.

LOT COVERAGE:

<b>ZONING INFORMATION:</b>	<b>ROOM COUNT:</b>
<b>ZONE:</b> R-1-6	<b>EXISTING</b> <b>NEW</b>
<b>SETBACKS:</b>	2-BED / 1-BATH      3-BED / 2-BATH
<b>FRONT:</b> 20' MIN. S/B	
<b>REAR:</b> 20' MIN. S/B	
<b>SIDE:</b> 5' MIN. S/B, BOTH SIDES	
<b>EXISTING DATA:</b>	LIVING = 480 SF GARAGE = 519 SF (EXIST. DETACHED 2-CAR GARAGE)
<b>LOT COVERAGE:</b> (60% MAX)	<b>PROPOSED</b>
<b>LOT SIZE</b> 5,079 SF	EXISTING 1,186 / 5,079 = 23% PROPOSED 1,620 / 5,079 = 32% < 60%
<b>FAR:</b>	GROSS FLOOR AREA / LOT AREA = (1186+519) / 5,079 = 0.34

PROJECT DATA

OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	VB
NUMBER OF STORIES:	1
LOT NO.:	24 / A
TRACT NO:	- -
A.P.N.:	390-431-13
FIRE SPRINKLERS:	NO
ZONING:	R-1-6
ROOM COUNT:	2-BED / 1-BATH (EXISTING) 3-BED / 2-BATH (PROPOSED)
VHFHSZ:	NO

ORANGE POLICE RESIDENTIAL REQUIREMENTS.

THE CITY OF ORANGE MUNICIPAL CODE SECTION 15.52 REQUIRES THAT ALL BUILDING WITHIN THE CITY MEET SPECIFIC SECURITY STANDARDS (ORD. #6-18). THE FOLLOWING ITEMS SHALL BE REQUIRED ON ANY NEW OR REMODELED RESIDENCE:

SOLID BACKING ON WOOD DOOR FRAMES AT LOCK MECHANISM  
STRIKE PLATE-16 GAUGE  
SCREWS-MINIMUM 3" IN WOOD FRAME JAMBS  
OPERABLE WINDOWS-SLIDING DOORS SHALL BE PASSED A C.M.B.S.O. FORCED ENTRY TEST  
EXTERIOR DEADBOLT DOOR LOCKS (INCLUDING DOOR FROM GARAGE TO RESIDENCE) SHALL COME FROM CURRENT CITY OF ORANGE APPROVED PRODUCTS LIST (OR EQUIVALENT)  
EXTERIOR PAIR OF DOORS REQUIRES 5/8 INCH FLUSH BOLTS AT HEAD & THRESHOLD  
MINIMUM 180" DOOR VIEWER REQUIRED AT EXTERIOR FRONT DOOR  
ADDRESS NUMBERS MINIMUM 4", ILLUMINATED DURING ALL HOURS OF DARKNESS  
(TO AID FIRST RESPONDERS, ALL ADDRESSING MUST BE EASILY VISIBLE FROM THE STREET AND PROVIDE A CLEAR PATH OF TRAVEL SHOWN FROM STREET TO ACCESSORY DWELLING UNIT)  
LIGHTING FOR MULTI-FAMILY BUILDINGS: PARKING-1 FOOT-CANDLE. WALKWAYS-50 FOOT-CANDLE

THE RECOMMENDATIONS FOR REHABILITATION AND NEW CONSTRUCTIONS MADE BY HRG SHALL BE IMPLEMENTED INTO THE PROJECT.

ABBREVIATIONS

ABV	ABOVE	EQ	EQUAL	TEMPD	TEMPERED
AFR	ABOVE FINISHED FLOOR	F.O.F.	FACE OF FINISH	T.M.E.	TO MATCH EXISTING
BLW	BELOW	F.O.S.	FOUNDATION	T.O.	TOP OF
B.O.	BOTTOM OF	FDN	FRENCH DOOR	O.H.	OVERHANG
CL	CENTER LINE	FR	FOOTING	VIF	VERIFY IN FIELD
CLG	CEILING	FTG	FOOTING	VLTD	VAULTED
CLR	CLEAR	GYP. BD.	GYPSPUM BOARD	WC	WATER CLOSET
C.TOP	COUNTERTOP	LOC	LOCATION	WD.	WOOD
Ø	DIAMETER	STD	STANDARD	WIC	WALK-IN CLOSET
EP	ELECTRICAL PANEL	SVC	SERVICE	WM	WATER METER

GENERAL NOTES:

- WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON THE PLAN.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH:**  
2022 CALIFORNIA RESIDENTIAL CODE      2022 CRC  
2022 CALIFORNIA BUILDING CODE      2022 CBC  
2022 CALIFORNIA PLUMBING CODE      2022 CPC  
2022 CALIFORNIA MECHANICAL CODE      2022 CMC  
2022 CALIFORNIA ELECTRIC CODE      2022 CEC  
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL  
2022 GREEN BUILDING STANDARDS CODE      2022 CEES  
MUNICIPAL CODE AS ADOPTED BY THE CITY OF ORANGE.
- ALL WORK TO COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
- THE PROPERTY OWNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR, SHOULD ANY DISCREPANCIES OR OTHER QUESTIONS ARISE PERTAINING TO THE WORKING DRAWINGS DURING CONSTRUCTION OR BIDDING.
- SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, SWIMMING POOL, RETAINING WALL, WALLS OVER 3 FEET, PATIO COVERS, DEMOLITION, ETC.
- SETBACKS WERE MEASURED FROM EXISTING STRUCTURES TO ASSUMED PROPERTY LINES. CONTRACTOR SHALL VERIFY ALL SETBACKS PRIOR TO CONSTRUCTION. IF THERE IS A DISCREPANCY WITH THE SETBACKS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE PROPERTY OWNER AND DESIGNER PRIOR TO CONSTRUCTION.
- FIRE SPRINKLER DRAWINGS (WHEN APPLICABLE) ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.**
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE VISIBLE AND LEGIBLE FROM THE STREET. (CBC 501.2).
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- FOR SINGLE-FAMILY DWELLINGS AND DUPLEXES ARE NOT CHECKED FOR PLUMBING, MECHANICAL AND ELECTRICAL CODE COMPLIANCE. THESE DISCIPLINES ARE SUBJECT TO FIELD INSPECTION.
- TRUSS PLANS (WHEN APPLICABLE) ARE TO BE A DEFERRED SUBMITTAL. DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED AND APPROVED BY THE REGISTERED DESIGN PROFESSIONAL AND SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.**

VICINITY MAP



(CITY / COUNTY APPROVAL STAMP HERE)

SB 407 COMPLIANCE

EFFECTIVE JAN 1, 2014, SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.

- WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
- SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.
- ALL FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. EXCEPTION KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.

**A COMPLETED AFFIDAVIT MAY BE PROVIDED TO THE BUILDING INSPECTOR AT OR BEFORE FINAL IN LIEU OF INSPECTIONS OF THESE FIXTURES.**

ARCH. SYMBOL LEGEND

	BLDG. SEC.		DEMO. NOTE
	DETAIL SEC.		KEYNOTE
	ELEVATION SEC.		REVISION NOTE

SHEET INDEX

A-1.0	COVERSHEET
A-1.1	RESIDENTIAL PROJECT SUMMARY TABLES
A-1.2	SITE PLAN - EXISTING & PROPOSED
A-2	EXISTING PLAN / DEMO
A-3	PROPOSED PLAN
A-4.0	ELEVATIONS - EXISTING
A-4.1	ELEVATIONS - PROPOSED
A-5	SECTIONS & PROPOSED ROOF PLAN

SU.1      STRUCTURAL DETAILS

SQUARE FOOT CALCULATIONS

EXISTING LIVING AREA:	608   S.F.*
PROPOSED ADDITION:	493   S.F. (NEW AREA)
TOTAL (N) LIVING AREA:	1,101   S.F.
EXISTING GARAGE AREA:	476   S.F.
TOTAL (N) AREA W/ GARAGE:	1,577   S.F.
REMODEL AREA:	279   S.F.

DISCLOSURE: SQUARE FOOT TABULATIONS WERE DERIVED FROM EXISTING RECORDS THAT ARE PUBLICLY ACCESSIBLE.

\* BASED ON THE HISTORIAN'S REPORT INCLUDED IN THE SUBMISSION PACKAGE (PAGE 10-14), THE STRUCTURE WHERE THE (E) BATH & (E) KITCHEN ARE LOCATED WAS ADDED BETWEEN 1909 AND 1922, AND LATER ENCLOSED AFTER 1950. THEREFORE, THE (E) BATH & (E) KITCHEN SHOULD BE CONSIDERED AS PART OF THE EXISTING SQUARE FOOTAGE, BRINGING THE TOTAL EXISTING LIVING AREA TO 608 SQUARE FEET (482 SF + 126 SF).

SCOPE OF WORK

- RELOCATE (482 SF):**  
1) RELOCATE EXISTING STRUCTURE TOWARDS SOUTH AND EAST (FRONT AND RIGHT), MAJOR STRUCTURE (I.E. ALL WALLS, ROOF, WINDOWS, FACADE, ETC.) TO BE REMAIN.
- REMODEL (279 SF):**  
1) REMODEL (E) BATH AND (E) KITCHEN INTO (N) KITCHEN. (126 SF)  
2) REMODEL (E) BEDROOM 1 AND (E) DINING INTO (N) DINING. (131 SF)  
3) REMODEL (E) BEDROOM 2 INCLUDING RELOCATE DOOR AND (E) CLOSET. ADD (N) DOOR OPENING TOWARDS NEW ADDITION. (22 SF)  
4) DEMO (E) UTILITY ROOM FOR W.H. REPLACE WITH TANKLESS W.H.
- ADDITION (493 SF):**  
ADD NEW ADDITION TO THE BACK OF THE HOUSE WITH RECESS ON THE WALLS. ADDITION TO BE NOT VISIBLE FROM THE FRONT TO KEEP THE HISTORIC STRUCTURAL STYLE AND FACADE.  
a) ADD (N) BATH WITH 2 SINKS, TOILET, AND TUB. (69 SF)  
b) ADD (N) BEDROOM 3 W/ (N) CLOSET. (124 SF)  
c) ADD (N) MASTER BEDROOM W/ (N) CLOSET. (173 SF)  
d) ADD (N) MASTER BATH W/ 2 SINKS, TOILET, AND SHOWER. (54 SF)  
e) EXTEND KITCHEN TOWARDS REAR AT THE SAME LOCATION OF (E) KITCHEN. (73 SF)
- GARAGE:**  
DEMCO (E) STUDIO WALL AND FIXTURES. REVERT GARAGE BACK TO ITS ORIGINAL SIZE.

PREPARED BY:

TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

ENGINEER

REVISIONS	ID
"ABC" = PLAN CHECK. "123" = FIELD	
	△
	△
	△
	△
	△
	△

GENERAL  
CONTRACTOR

TBD

PREPARED BY:

MOLLY LUO

TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

PREPARED BY:

MONTERREY RESIDENCE  
629 E WASHINGTON AVE  
ORANGE, CA 92866  
(714) 417-6492

DRAWN M.L.
CHECKED W.T.
DATE 12/22/2025
SHEET SIZE TO SCALE 24" X 36"
"MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT PLAN" SHEET
A-1.0
COVERSHEET

RESIDENTIAL PROJECT SUMMARY TABLES					
EXISTING USE	PROPOSED USE	ZONING DESIGNATION	GENERAL PLAN LAND USE DESIGNATION	OVERLAY DISTRICT	
SFR	SFR	R1-6	LDR	Old Towne and NPO	
ZONING STANDARDS					
DESCRIPTION	OMC SECTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (Yes/no)
LOT AREA	17.14.070 & 17.14.080	6,000 sq ft Min	5,079 sq ft	5,079 sq ft	Yes
LOT WIDTH	17.14.070 & 17.14.080	60 ft Min	40 ft	40 ft	Yes
LOT DEPTH	17.14.070 & 17.14.080	100 ft Min	127 ft	127 ft	Yes
MAX. BUILDING HEIGHT (Note: use average finished grade as defined in the "Building Height" definition from OMC Section 17.04.023)	17.14.070 (& 17.14.100 FOR R-3 & R-4)	32 feet or 2 stories	12'-10"	12'-10"	Yes
<b>SETBACKS:</b>					
Front Yard	17.14.070 & 17.14.090	20 feet	40'-11" main residence; 34'-4" front porch	25'-4" main residence; 20'-0" front porch	Yes
Rear Yard	17.14.070 & 17.14.090	20 feet	51'-10"	50'-1"	Yes
Side Yard	17.14.070 & 17.14.090	5 feet	3'-10" left	5'-6" left	Yes
Side Yard	17.14.070 & 17.14.090	5 feet	9'-5" right	7'-9" right	Yes
<b>LOT COVERAGE</b>					
FLOOR AREA RATIO (FAR) UTILIZING GROSS FLOOR AREA (INCLUDE ALL ACCESSORY STRUCTURES)	17.14.070	N/A	0.23	0.34	Yes
Minimum Unit Size (R-3 & R-4 Zones)	17.14.130 & 17.14.140	N/A			
<b>Required Open Space:</b>					
Private	17.14.110	900 sq ft		1,502 sq ft	Yes
Common	17.14.110	N/A			
<b>LANDSCAPING:</b> For landscaping standards refer to Page 26-28 of the City of Orange Landscape Standards and Specifications					
Front Yard	16.50 & 17.12.040(E)	40 percent landscape		62%	Yes
Rear Yard	16.50 & 17.12.040(E)	N/A			
Interior Side Yard	16.50 & 17.12.040(E)	N/A			
Street Side Yard (if applicable)	16.50 & 17.12.040(E)	N/A			

When adjacent to perpendicular parking (Multi-Family only)	16.50	6 feet		N/A	
Parking area screening from a public street with 5-gallon shrubs, 3 feet on center (Multi-Family only)	16.50				
Trash Enclosures require a 4-foot wide landscape planter on at least 2 sides (Multi-Family only)	16.50				
Trees required, "unless determined otherwise through site plan and design review" (Multi-Family only)	16.50				
Trees to be removed	16.50				
Existing trees to be preserved	16.50				
Trees to be added	16.50				
25 percent of required trees shall be 24-inch box and 75 percent shall be in 15 gallon containers (Multi-Family only)	16.50				
Shrubs shall be 5-gallon except for groundcover (Multi-Family only)	16.50				
Shrubs are encouraged at the foundation lines of all building elevations seen from the street in 4-foot minimum width planters. Shrubs shall be spaced at 3 feet on center (Multi-Family only)	16.50				
Street trees required as determined by the design review process. (Multi-Family only)	16.50				
Percent of Parking Area (Multi-Family only)	16.50				
IRRIGATED AREA TOTAL	16.50				
Irrigated area added	16.50				
Irrigated area removed	16.50				
FENCE HEIGHT	17.12.070				
Front Yard	17.12.070(B)	3 feet and 6 inches	No front yard fence	No front yard fence	Yes
Interior Side Yard(s)	17.12.070(B)	6 feet	6 feet	6 feet	Yes

Street Side Yard	17.12.070(B)	N/A			
Rear Yard	17.12.070(B)	6 feet	6 feet	6 feet	Yes
PARKING	17.14.200 & 17.34	2 enclosed spaces		Provided 2 enclosed parking spaces in garage	Yes
TRASH ENCLOSURE SIZE (Multi-Family only)	16.50				
LIGHTING	17.12.030				
Kelvins	17.12.030	2,700 to 3,000			
Fixture Type/Blinder	17.12.030				
Parking lot footcandles	15.52.080(J)				

REVISIONS	ID
"ABC" = PLAN CHECK, "123" = FIELD	
	△
	△
	△
	△
	△
	△
	△

GENERAL CONTRACTOR

TBD

PREPARED BY:



MOLLY LUO

PREPARED BY:

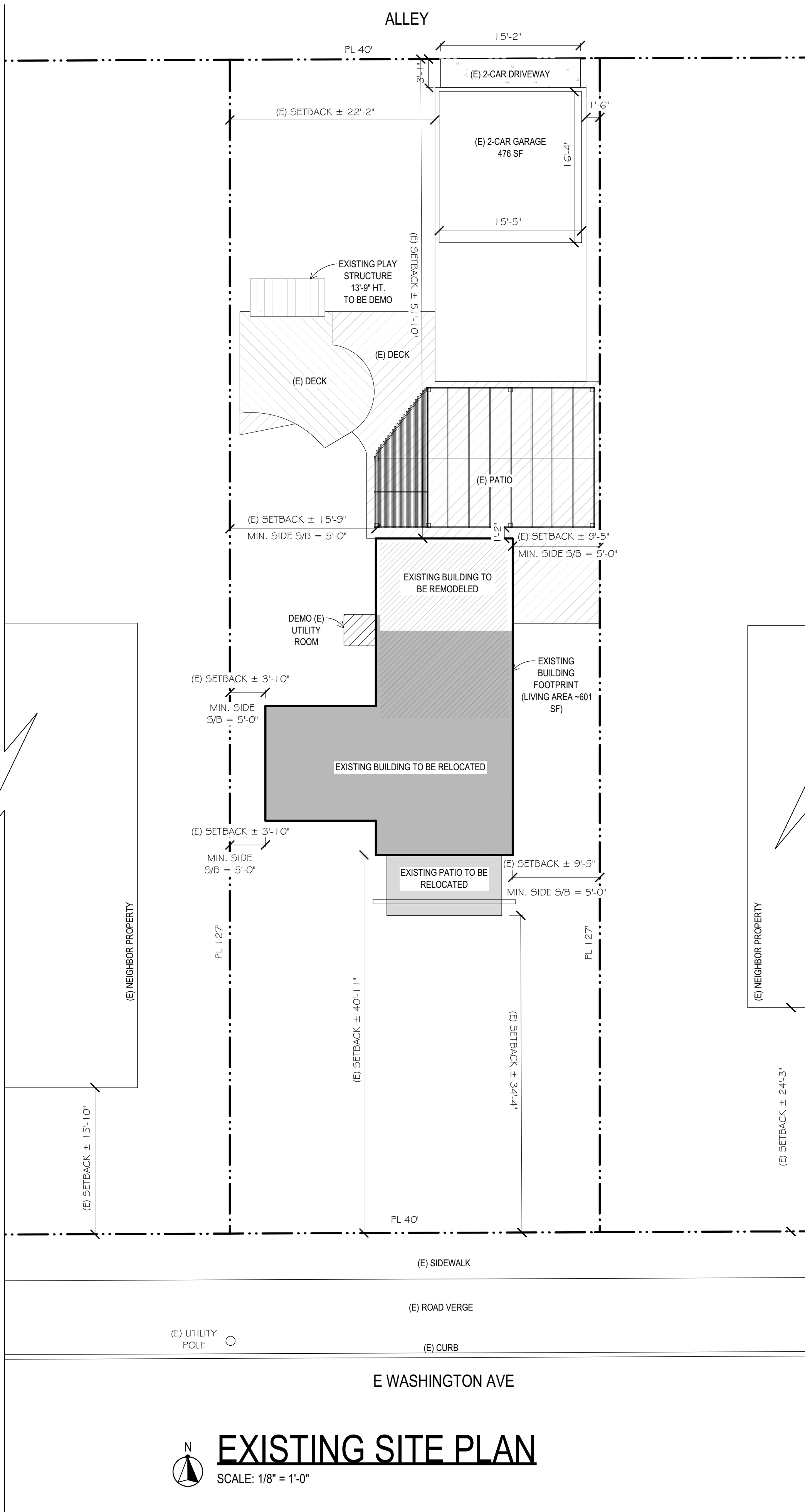
TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
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(714) 289-4652

RELOCATE, REMODEL, AND ADDITION TO:

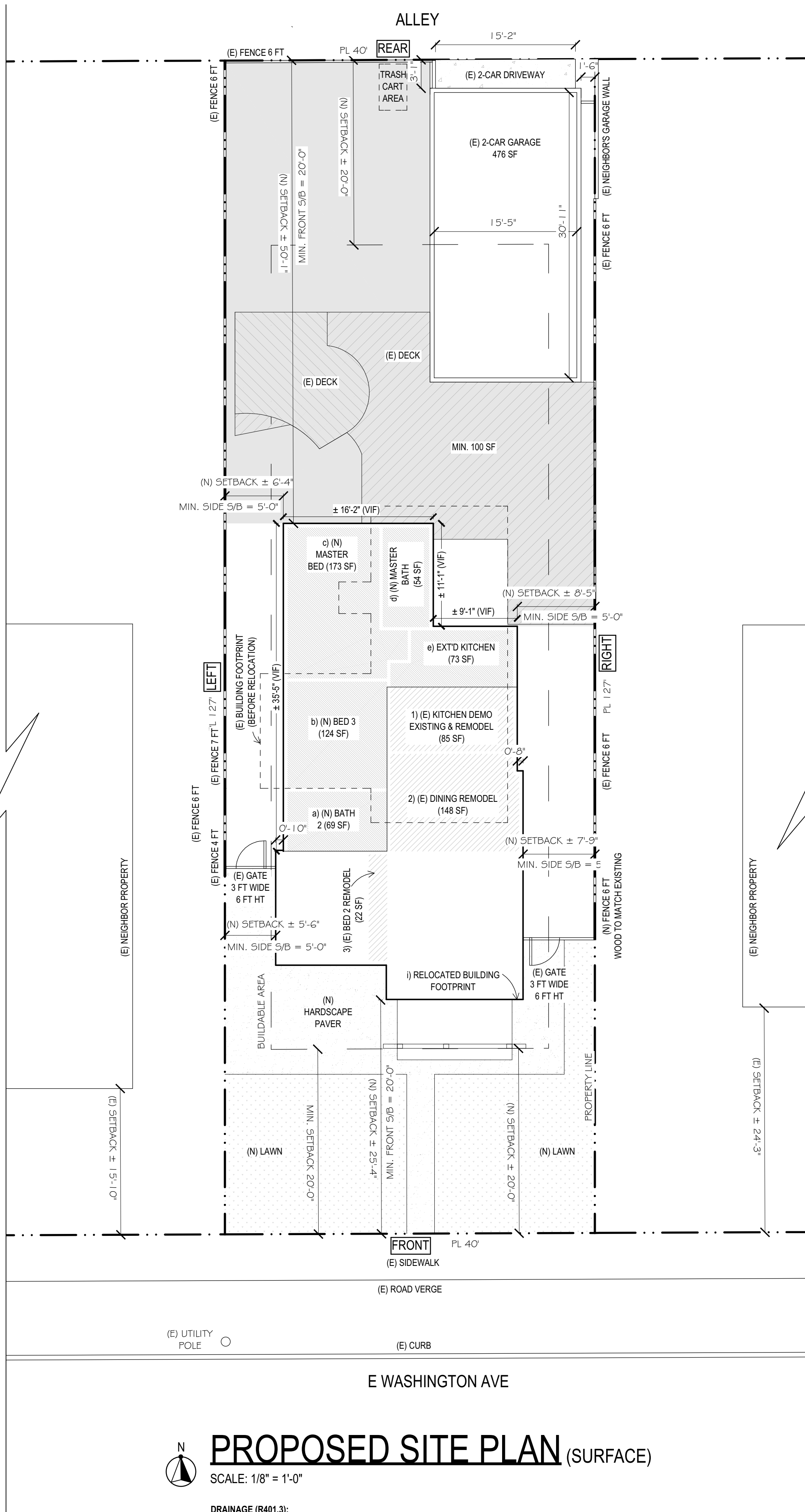
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"MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT PLAN" SHEET

A-1.1



**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"



**PROPOSED SITE PLAN (SURFACE)**  
SCALE: 1/8" = 1'-0"

## NEIGHBORHOOD PRESERVATION OVERLAY CALCS

17 28 080 NEIGHBORHOOD PRESERVATION OVERLAY  
C. OVERLAY DEVELOPMENT STANDARDS—MINISTERIAL APPROVAL. PROJECT APPLICATIONS FROM EXISTING PRIMARY RESIDENCES IN THE OVERLAY DISTRICT THAT ADD BEDROOMS OR BATHROOMS IN COMPLIANCE WITH THE CITY OF ORANGE INFILL RESIDENTIAL DESIGN GUIDELINES AND THE FOLLOWING OVERLAY DEVELOPMENT STANDARDS, SHALL BE APPROVED MINISTERIALLY BY THE COMMUNITY DEVELOPMENT DIRECTOR OR DESIGNEE.

- A MAXIMUM OF TWO BEDROOMS MAY BE CONSTRUCTED ONTO AND/OR ADDED WITHIN A PRIMARY RESIDENCE BY RECONFIGURING EXISTING SPACE. FOR PURPOSES OF CALCULATING ALLOWABLE ADDITIONAL BEDROOMS, THE NUMBER OF BEDROOMS EXISTING AS OF JANUARY 1, 2023, SHALL BE CONSIDERED THE BASELINE.
- A MAXIMUM OF TWO BATHROOMS, INCLUDING HALF-BATHROOMS, MAY BE CONSTRUCTED ONTO AND/OR ADDED TO A PRIMARY RESIDENCE BY RECONFIGURING EXISTING SPACE. FOR PURPOSES OF CALCULATING ALLOWABLE ADDITIONAL BATHROOMS, THE NUMBER OF BATHROOMS EXISTING AS OF JANUARY 1, 2023, SHALL BE CONSIDERED THE BASELINE.
- A MINIMUM OF 100 SQUARE FEET OF ADDITIONAL USABLE OPEN SPACE BEYOND THAT REQUIRED BY ORANGE MUNICIPAL CODE TABLE 17.14.070 MUST BE PROVIDED FOR EACH ADDITIONAL BEDROOM BEING PROPOSED TO THE EXISTING PRIMARY RESIDENCE.
- A MINIMUM OF 100 SQUARE FEET OF ADDITIONAL COMMON LIVING AREA MUST BE PROVIDED FOR EACH ADDITIONAL BEDROOM BEING PROPOSED TO THE EXISTING PRIMARY RESIDENCE. DWELLING UNITS THAT MAINTAIN A MINIMUM OF 800 SQUARE FEET OF COMMON LIVING AREA ARE EXEMPT FROM THE REQUIREMENT.
- A MINIMUM OF 50 CUBIC FEET OF ADDITIONAL UNIFIED INDOOR STORAGE AREA MUST BE PROVIDED FOR EACH ADDITIONAL BEDROOM BEING PROPOSED TO THE EXISTING PRIMARY RESIDENCE. SUCH STORAGE AREA MUST BE IN ADDITION TO CABINETS AND CLOSETS TYPICALLY FOUND WITHIN A DWELLING UNIT SUCH AS BEDROOM CLOSETS, LINEN CLOSETS, OR KITCHEN CABINETS.
- IN ANY SINGLE-FAMILY RESIDENTIAL DISTRICT, THE ADDITION OF ONE OR TWO NEW BEDROOMS MUST COMPLY WITH THE FOLLOWING FLOOR AREA RATIO (FAR) STANDARDS.

Lot Area (sf)	Max FAR	Max FAR for One New Bedroom	Max FAR for Two New Bedrooms
<10,000	0.30	0.35	0.40
10,000-12,000	0.30	0.45	0.40

- PROJECT APPLICATIONS INVOLVING EXTERIOR MODIFICATIONS TO PRIMARY RESIDENCES LOCATED IN A HISTORIC DISTRICT SHALL ALSO BE SUBJECT TO DESIGN REVIEW BY THE DESIGN REVIEW COMMITTEE.

## CALCULATION:

1 & 2. ROOM COUNT:  
EXISTING: 2-BED / 1-BATH  
NEW: 3-BED / 2-BATH

- A MINIMUM OF 100 SQUARE FEET OF ADDITIONAL USABLE OPEN SPACE BEYOND THAT REQUIRED BY ORANGE MUNICIPAL CODE TABLE 17.14.070 (MIN. 900 SF OPEN SPACE FOR R1-6 ZONE, MUST BE PROVIDED FOR EACH ADDITIONAL BEDROOM BEING PROPOSED TO THE EXISTING PRIMARY RESIDENCE. THE SHADED AREA (1202 SF) TO BE DESIGNATED TO THE OPEN SPACE. IT'S MORE THAN 1000 SF.

- THE PROPOSED PLAN ADDED 1 ADDITIONAL BEDROOM, SO THE PROPOSED PLAN SHOULD PROVIDE 100 SF ADDITIONAL COMMON LIVING AREA. PLEASE SEE THE CALCS BELOW:

	LIVING	DINING	TOTAL COMMON LIVING SPACE
EXISTING	197 SF	62 SF	259 SF
PROPOSED	214 SF	148 SF	362 SF PROVIDED MORE THAN 100 SF COMMON LIVING AREA (PLEASE SEE SHEET A-2, A-3 FOR LIVING ROOM & DINING SQUARE FOOTAGE.)

- THE PROPOSED PLAN ADDED 1 ADDITIONAL BEDROOM, SO THE PROPOSED PLAN SHOULD PROVIDE 50 CUBIC FOOT OF COMMON STORAGE AREA. THE COMMON STORAGE AREA IS LOCATED BETWEEN BEDROOM 3 AND KITCHEN. PLEASE SEE A-4 FOR LOCATION AND DIMENSION. THE COMMON STORAGE IS 4'-7" LONG BY 1'-7" DEEP BY 7'-0" TALL, TOTAL 51 CUBIC FOOTAGE

- GROSS FLOOR AREA / LOT AREA = (1186+519) / 5,079 = 0.34 <0.40

- TO BE SUBMITTED TO DRC.

REVISIONS	ID
"ABC" - PLAN CHECK	"123" - FIELD

GENERAL CONTRACTOR

PREPARED BY:

TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

PREPARED BY:

RELOCATE, REMODEL, AND ADDITION TO:  
MONTERREY RESIDENCE  
629 E WASHINGTON AVE  
ORANGE, CA 92866  
(714) 417-6492

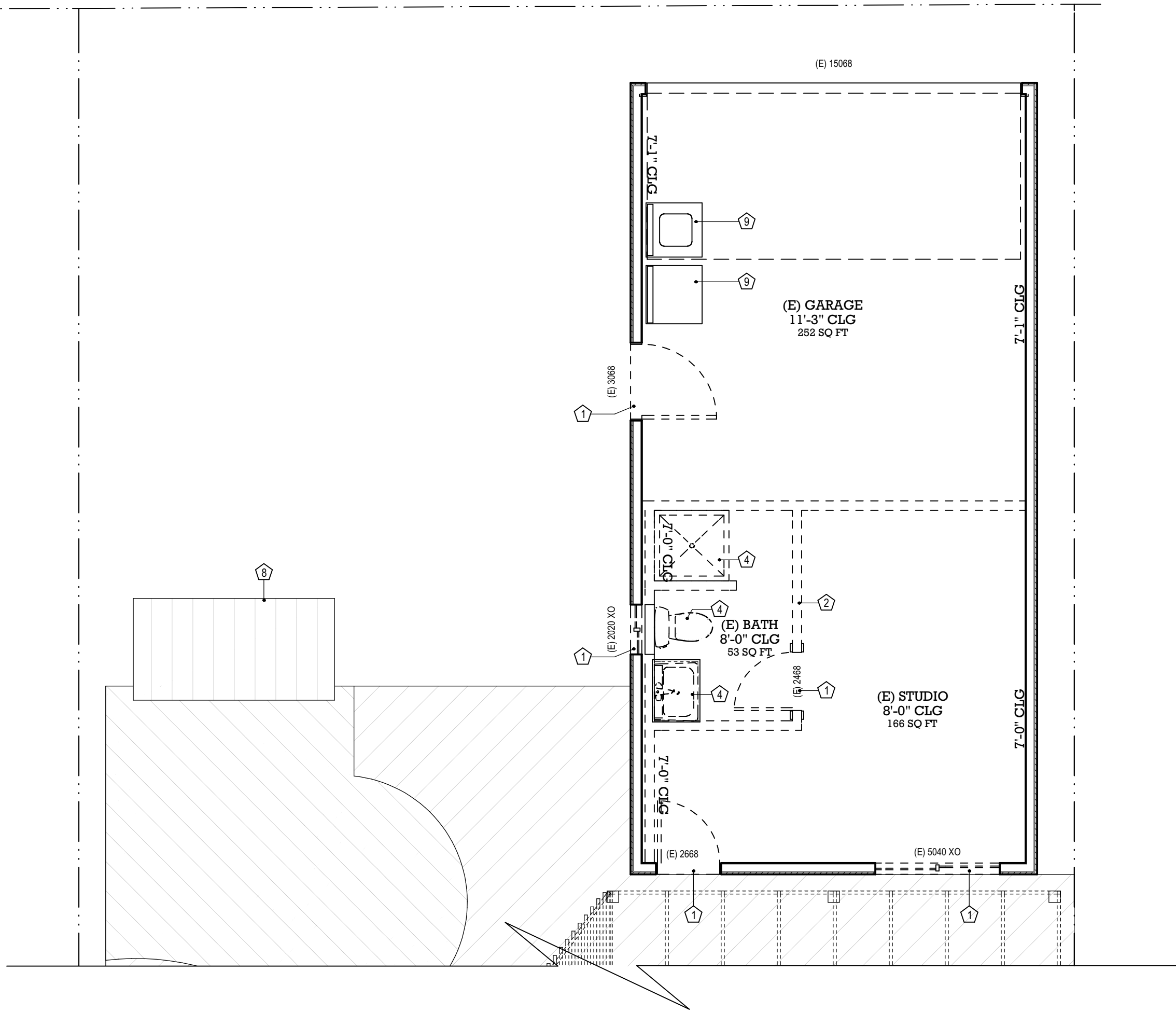
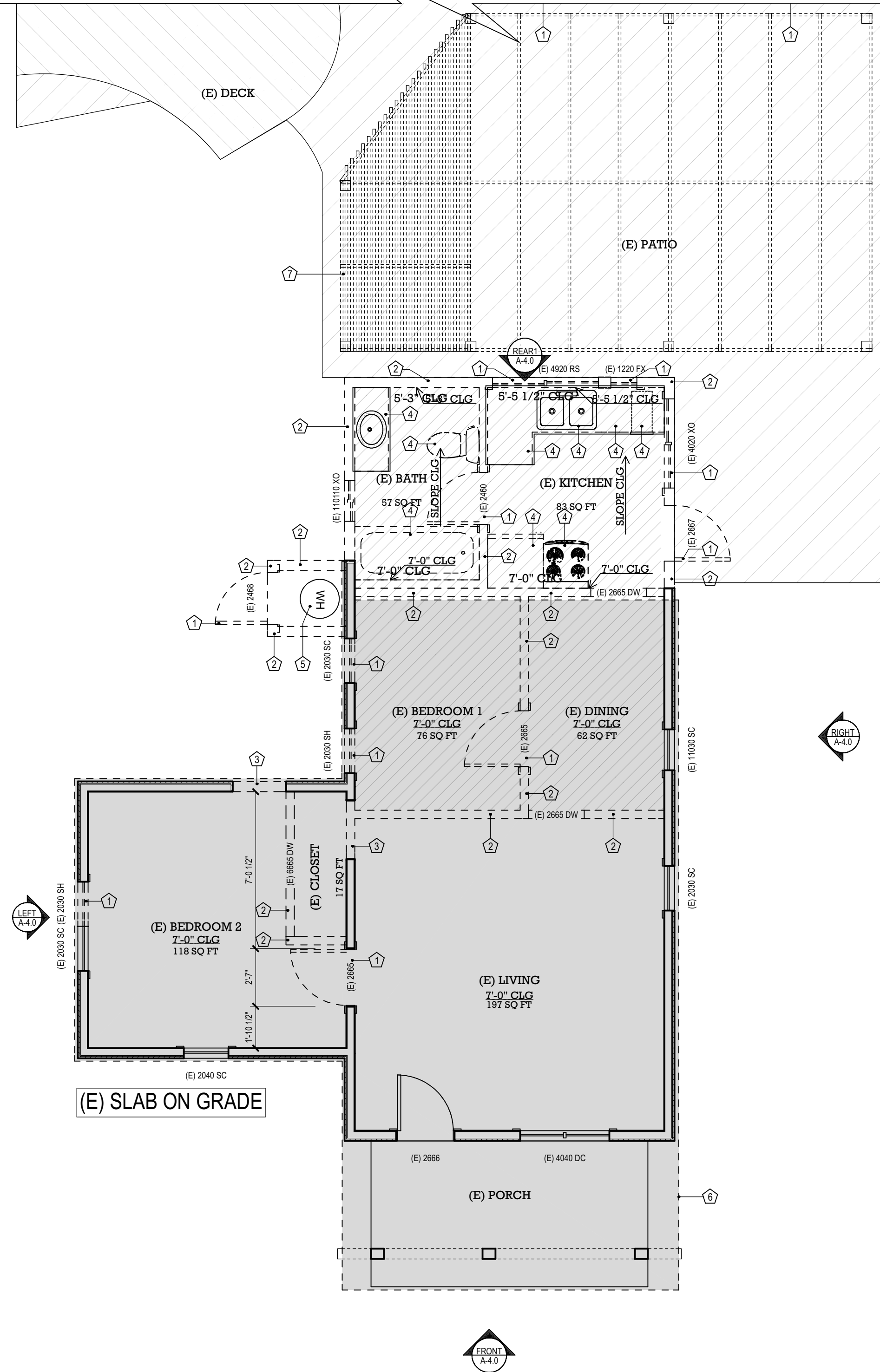
DRAWN M.L.
CHECKED W.T.
DATE 12/2/2025
SHEET SIZE TO SCALE 24" X 36"
"MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT PLAN" SHEET

A-1.2

SITE PLAN - EXISTING &



**DIMENSION NOTE:** DIMENSIONS SHALL BE VERIFIED IN FIELD. IN THE CASE THAT DIMENSIONS ARE TO BE ADJUSTED DUE TO CERTAIN FACTORS (SUCH AS HIDDEN CONDITIONS, FIELD VERIFICATION, ETC.), TOLERANCES ARE PROVIDED WITH "±" AS GUIDELINES TO PRESERVE INTENDED DESIGN. FOR SIGNIFICANT CHANGES IN DIMENSIONS, CONTRACTOR TO CONTACT DESIGNER AND/OR ENGINEER THROUGH RFI'S (REQUEST FOR INFORMATION) TO MAKE NECESSARY CHANGES AND TO CONFORM WITH THE STRUCTURAL INTEGRITY OF APPROVED PLANS.



### DEMO KEYNOTES

CALLOUT	QTY	DESCRIPTION	NOTES
1	16	DEMO DOOR/WINDOW, EXIST.	HDR TO REMAIN, U.N.O. SEE STRUCT.
2	17	DEMO WALL	VERIFY IN FIELD, SEE STRUCT.
3	2	PROVIDE OPENING FOR WINDOW/DOOR	VERIFY NON-SHEAR, SEE STRUCT. FOR HEADER SIZE
4	12	DEMO FIXTURES/APPLIANCES	
5	1	REPLACE W.H.	SEE PROPOSED FOR NEW LOCATION
6	1	EXISTING HOUSE & PORCH (SHADED AREA) TO BE REMAIN AND TO BE RELOCATED	SEE PROPOSED FOR NEW LOCATION
7	1	DEMO EXISTING PATIO	
8	1	DEMO PLAY STRUCTURE	
9	2	RELOCATE FIXTURE	



### EXISTING FLOOR PLAN - DEMO

SCALE: 1/4" = 1'-0"

EXISTING HOUSE BUILT IN 1914



**DIAL 811**

CONTACT DIGALERT PRIOR TO ANY EXCAVATION.  
SUBMIT A REQUEST AT LEAST TWO (2) DAYS PRIOR TO DIGGING.

(CITY / COUNTY APPROVAL STAMP HERE)

REVISIONS	ID
"ABC" - PLAN CHECK, "123" - FIELD	△
	△
	△
	△
	△
	△

GENERAL CONTRACTOR

TBD

PREPARED BY:

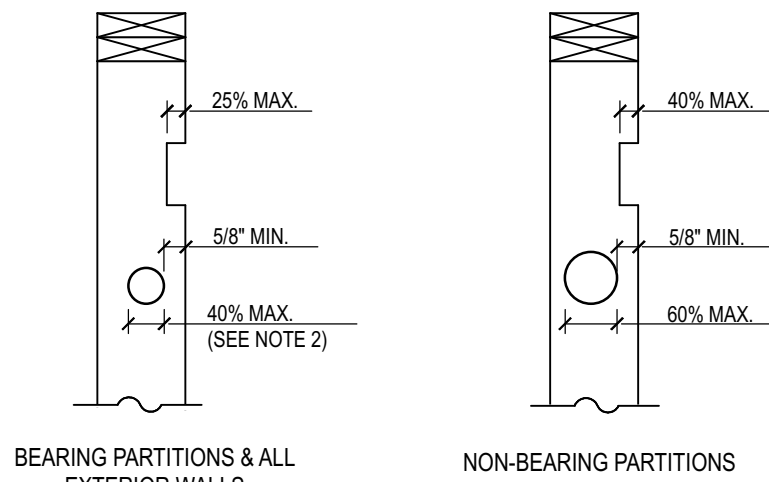
MOLLY LUO

### WALL LEGEND

	EXISTING 2X WALLS TO REMAIN
	EXISTING 2X WALLS TO BE REMOVED
	2X WD. STUDS @ 16" O.C. INTERIOR SIDE: 1/2" THK. GYP. BD. FINISH. BATH SIDE - PROVIDE MOISTURE RESISTANT-TYPE 1/2" THK. GYP. BD. ON EXTERIOR SIDE (WHERE STUCCO IS USED) - PROVIDE EXTERIOR PLASTER FINISH OVER 2 LAYERS GRADE D BUILDING PAPER (FELT) OVER PLYWOOD SHEATHING, INSULATION PER T-24
	1 HR. FIRE RATED WALL: 2X4 WD. STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYP. BD. FINISH ON BOTH SIDES. BATH SIDE: PROVIDE 1/2" GYP. BD. MOISTURE RESISTANT TYPE, 2X6 WD. STUDS ON PLUMBING WALL SIDE WHERE REQ'D.
	GUARD RAIL/SOLID LOW WALL: MIN. HT. 42". SEE PLAN FOR TYPE.
	2X INFILL WD. STUDS @ 16" O.C., TO MATCH ADJACENT WALL FINISH AS

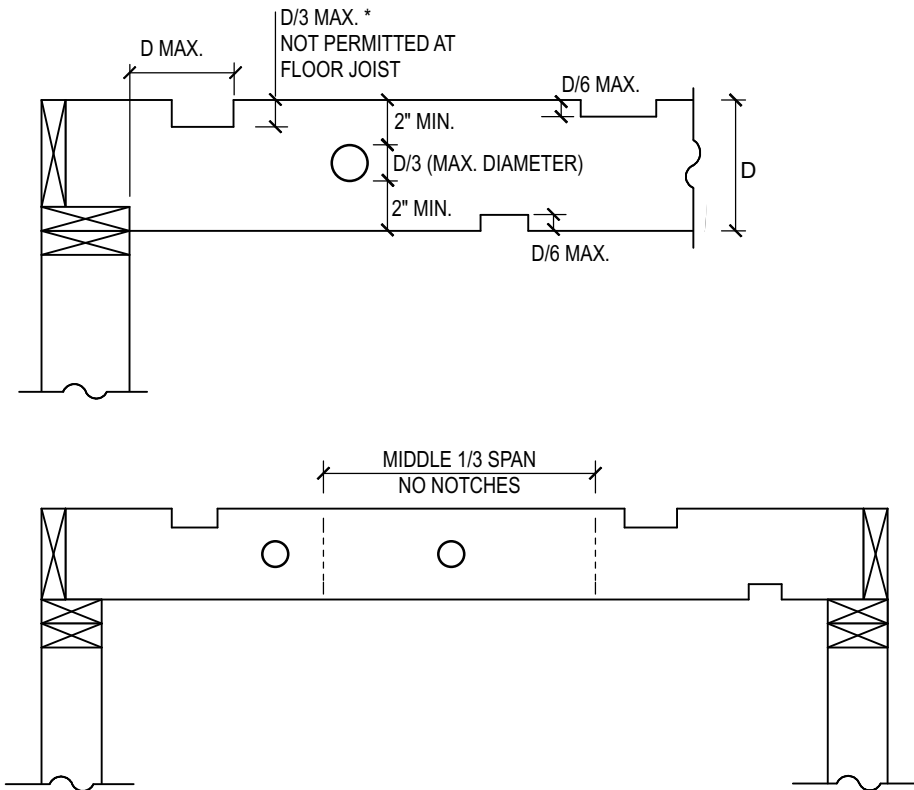
### UTILITY LEGEND

	SMOKE DETECTOR (HARDWIRED W/ BATTERY BACKUP)
	CARBON MONOXIDE/SMOKE DETECTOR COMBO (HARDWIRED W/ BATTERY BACKUP)
	HVAC



- NOTES:**
- BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION AS A CUT OR NOTCH.
  - BORED HOLES IN BEARING STUDS MAY BE INCREASED TO 60% IF STUDS ARE DOUBLED; NO MORE THAN TWO SUCCESSIVE DOUBLE STUDS MAY BE BORED.

**BEARING & NON-BEARING WALLS NOTCHING & HOLES** (ICRC R602.5, R602.6, & R602.6.1)  
SCALE: N.T.S.



**RAFTER, CEILING & FLOOR JOIST NOTCHING & HOLES** (ICRC R602.5, R602.6, & R602.6.1)  
SCALE: N.T.S.

**POST TENSION NOTE:**  
CONTRACTOR TO VERIFY EXISTING SLAB IS NOT POST TENSION BEFORE CUTTING OR DRILLING. IN THE EVENT THAT POST TENSION SLAB EXISTS, CONTRACTOR TO VERIFY THE LOCATIONS OF POST TENSION SLAB CABLES BEFORE CUTTING OR DRILLING.

**NOTCHING & BORED HOLE LIMITATION (R602.6):**  
CONTRACTOR TO VERIFY EXISTING STRUCTURE AND SHALL COMPLY WITH MIN. AND MAX. TOLERANCES FOR CUTTING, NOTCHING, AND BORING OF FRAMING WOOD MEMBERS INCLUDING, BUT NOT LIMITED TO:  
1. MECHANICAL PENETRATIONS OF WOOD SHEAR WALL PANELS.  
2. MECHANICAL PENETRATIONS OF TOP AND SILL PLATES OF WOOD SHEAR WALLS.  
3. NOTCHING AND BORING OF JOISTS & WALL STUDS

**PROTECT EXISTING UNDERGROUND UTILITIES:**  
CONTRACTOR TO VERIFY EXISTING LOCATIONS OF UNDERGROUND UTILITY (ELECTRICAL, GAS, WATER) PRIOR TO EXCAVATION.  
1. CONTACT **DIGALERT** PRIOR TO ANY EXCAVATION. DIAL 811.  
2. **PROTECT IN PLACE:** PROTECT UTILITIES IN PLACE, UNLESS ABANDONED, AND MAINTAIN THE UTILITY IN SERVICE, UNLESS OTHERWISE SPECIFIED.

TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

RELOCATE, REMODEL, AND ADDITION TO:  
MONTERREY RESIDENCE  
629 E WASHINGTON AVE  
ORANGE, CA 92866  
(714) 417-6492

DRAWN M.L.
CHECKED W.T.
DATE 12/2/2025
SHEET SIZE TO SCALE 24" X 36"
"MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT PLAN" SHEET

**A-2**

EXISTING PLAN / DEMO

	#	PROPOSED KEYNOTES				ICC-ESR
		CALLOUT	QTY	ITEM	MIN. REQ'S	
FURNITURE/APPLANCE		[1]	1	(N) 42" ELECTRIC COOKTOP	INSTALL PER MFR. SEE CONTRACTOR/OWNER NOTES.	
		[2]	1	(N) SINK W/ TRASH DISPOSAL	INSTALL PER MFR. SEE CONTRACTOR/OWNER NOTES.	
		[3]	1	(N) REFRIGERATOR	INSTALL PER MFR. SEE CONTRACTOR/OWNER NOTES.	
		[4]	4	(N) SINK, LAVATORY	INSTALL PER MFR. SEE CONTRACTOR/OWNER NOTES.	
FLOORING		[5]	1	(N) TUB, PREFAB	PROVIDE MIN. 60" NONABSORBENT SURFACE ON ADJACENT WALLS. INSTALL PER MFR. SEE CONTRACTOR/OWNER NOTES.	
		[6]	1	(N) SHOWER, PREFAB	INSTALL PER MFR. SEE CONTRACTOR/OWNER NOTES.	
		[7]	2	(N) TOILET	PROVIDE MIN. 15" CLR. FROM WALL TO CTR. OF TOILET, MIN. 24" CLR. FRONT-TO-WALL.	
		[8]	2	(R) RELOCATE FIXTURE	INSTALL PER MFR. SEE CONTRACTOR/OWNER NOTES.	
CEILING		[9]	4	(N) HVAC MINI SPLIT, WALL MOUNT	INSTALL PER MFR. CONTRACTOR/HOMEOWNER TO VERIFY LOCATION.	
		[10]	2	(N) HVAC MINI SPLIT, CEILING CASSETTE	INSTALL PER MFR. CONTRACTOR/HOMEOWNER TO VERIFY LOCATION.	
		[11]	2	(N) AC CONDENSING UNIT FOR MINI SPLIT	INSTALL PER MFR. INSTALL ON CONCRETE OR PLASTIC PAD. VERIFY CLEARANCES TO OTHER OUTDOOR UTILITIES.	
		[12]	1	(N) TANKLESS WATER HEATER, OUTDOOR	INSTALL PER MFR. TO BE LOCATED OUTSIDE. VERIFY CLEARANCES TO OTHER OUTDOOR UTILITIES.	
CABINETS		[13]	4	(N) CABINETS, LOWERS	SEE CONTRACTOR/OWNER NOTES.	
		[14]	2	(N) CABINETS, FULL HEIGHT	SEE CONTRACTOR/OWNER NOTES.	
		[15]	1	(N) CABINETS, UPPERS	SEE CONTRACTOR/OWNER NOTES.	
		[16]	1	(N) ISLAND	SEE CONTRACTOR/OWNER NOTES.	
FRAMING		[17]	1	(N) 36" LOW WALL W/ GLASS WALL ON TOP	VERIFY IN FIELD.	
		[18]	1	(N) GLASS SLIDING DOOR	VERIFY IN FIELD.	
		[19]	3	(N) FAUX BEAM OR TRUSS	TO BE VERIFIED W/ ENGINEER	
		[20]	1	(N) 2030 SC	REPLACE (E) 2030 SH WINDOW LIKE-FOR-LIKE TO RESTORE THE ORIGINAL EXTERIOR.	
FIN		[21]	2	(E) (R) EXTERIOR LANDING, OUTSWINGING DOOR	PROVIDE WIDTH AS OBTAINABLE PANELS, & MIN. 36" IN THE DIRECTION OF TRAVEL. AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 1 1/2" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR SWING OVER THE LANDING.	
		[22]	1	(E) (R) EXTERIOR LANDING, SLIDING/INSWING DOOR	PROVIDE WIDTH AS OBTAINABLE PANELS, & MAX. 36" IN THE DIRECTION OF TRAVEL. AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.	

**CONSTRUCTION OWNER NOTES:**

1. PRIOR TO PURCHASING ANY CABINETRY, PLEASE VERIFY FINAL WALL DIMENSIONS, (INCLUDING FINISHED FRIEDLAND) THE MEASUREMENTS ON THIS PLAN MAY VARY FROM THE MEASUREMENTS ON THE FIELD. VERIFY EXISTING SITE CONDITIONS, ENGINEERING BEAM/SILL, CALL OUTS, AND FLOOR ADJUSTMENTS.

2. CONTRACTOR TO VERIFY ALL SIZES OF FINAL CHOSEN APPLIANCES, DOORS, AND FIXTURES. IF ALLOTTED SPACE NEED TO BE ADJUSTED, PLEASE INFORM DESIGN/ENGINEER TO VERIFY THAT IT DOES NOT AFFECT STRUCTURE. IN THE CASE IT AFFECTS STRUCTURE, ALL NECESSARY DOCUMENTATION TO BE SUBMITTED TO THE CITY AND/or FIELD INSPECTOR UPON REQUEST.

3. CONTRACTOR TO VERIFY ALL FINAL DOOR SELECTIONS. CONTRACTOR TO FOUNDATION POOL. CONTRACTOR TO COORDINATE WITH FRAMER JAMB SIZE & TRACK STYLE TO ALLOW FOR ADEQUATE SPACE. INSTALL PER MFR.

DOOR SPECIFICATION		
MANUFACTURER: COLOR:	MILGARD OR EQUAL (TO MATCH EXISTING) EXT. WOOD WHITE/ INT. WOOD WHITE (TO MATCH EXISTING)	
WINDOW SPECIFICATION		EASEMENT NOTE
MANUFACTURER: COLOR:	MILGARD OR EQUAL (TO MATCH EXISTING) EXT. WOOD WHITE/ INT. WOOD WHITE (TO MATCH EXISTING)	ACCORDING TO THE TITLE REPORT NO EASEMENT WAS FOUND

MASTER SCHEDULE											
DOOR SCHEDULE											
D#											
NO.	QTY	LABEL	WIDTH	HEIGHT	TYPE	TEMP/D	FIRE	FLR	ROOM NAME	COMMENTS	
D01	1	(N) 2668	30"	80"	HINGED			1	(E) LIVING/(E) BEDROOM 2		
D02	1	(N) 2668	30"	80"	HINGED			1	(N) MASTER BED/(N) KITCHEN		
D03	1	(N) 2668	30"	80"	HINGED			1	(E) DINING ROOM/(N) BED 3		
D04	1	(N) 2668	30"	80"	POCKET			1	(E) BEDROOM 2/(N) BATH 2		
D05	1	(N) 2668	30"	80"	POCKET			1	(N) MASTER BATH/(N) MASTER BED		
D06	1	(N) 2668	30"	80"	POCKET			1	(N) BED 3/(N) BATH 2		
D07	1	(N) 6068	60"	80"	DOUBLE HINGED			1	(N) KITCHEN		
D08	1	(N) 6868	80"	80"	SLIDER			1	(N) CLOSET/(N) MASTER BED		
D09	1	(N) 4068	48"	80"	SLIDER			1	(N) CLOSET/(N) BED 3		
D10	1	(N) 6068	72"	80"	DOUBLE HINGED			1	(N) MASTER BED		
D11	1	(N) 3068	36"	80"	HINGED			1	(E) GARAGE		
D12	1	(N) 2668	30"	80"	HINGED			1	(E) GARAGE		
D13	1	(N) 4068	48"	80"	SLIDER			1	(N) STORAGE/(N) KITCHEN		

**CONTRACTOR NOTES:**  
1 CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING MATERIALS.  
2 (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT

W#

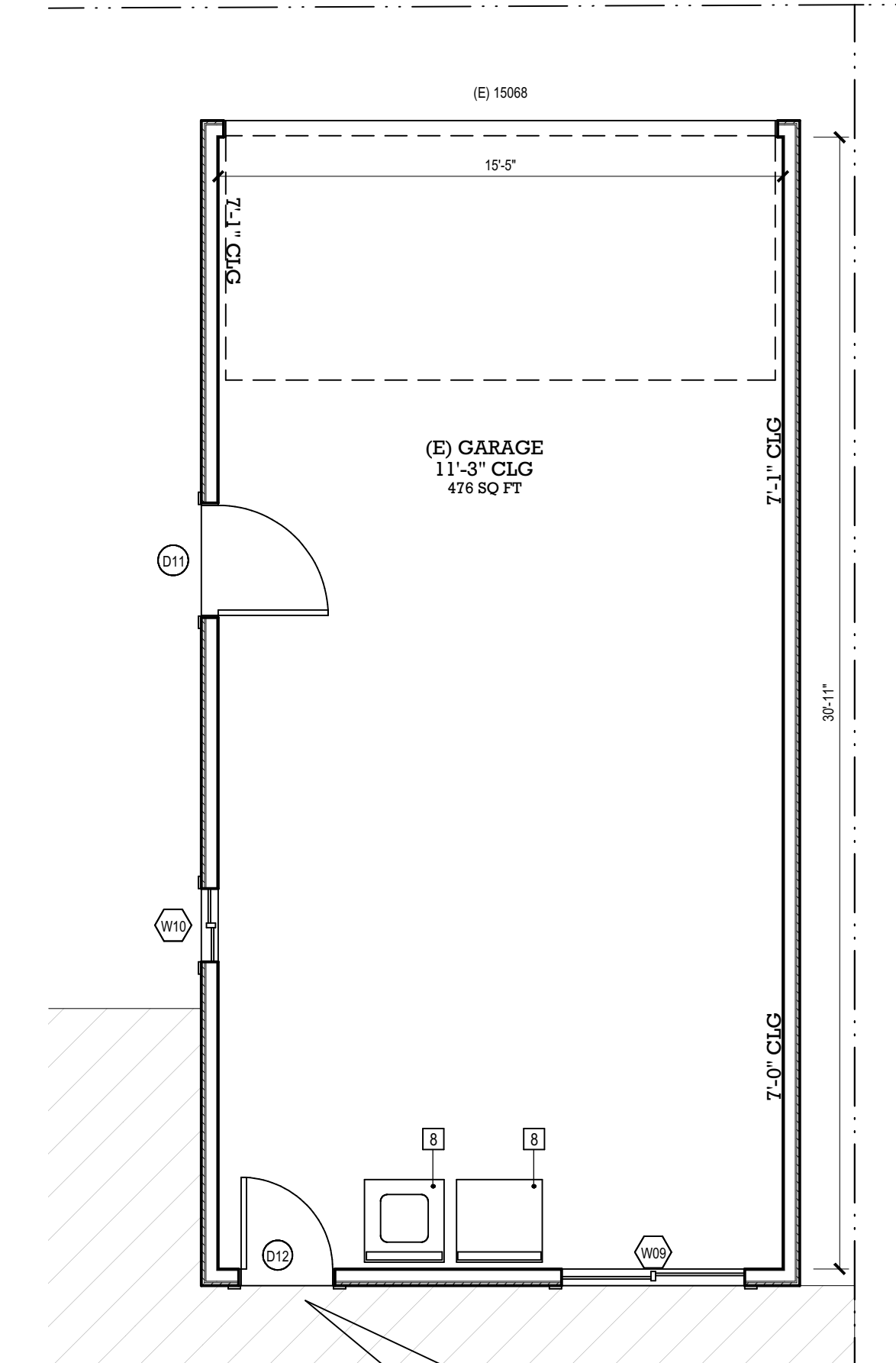
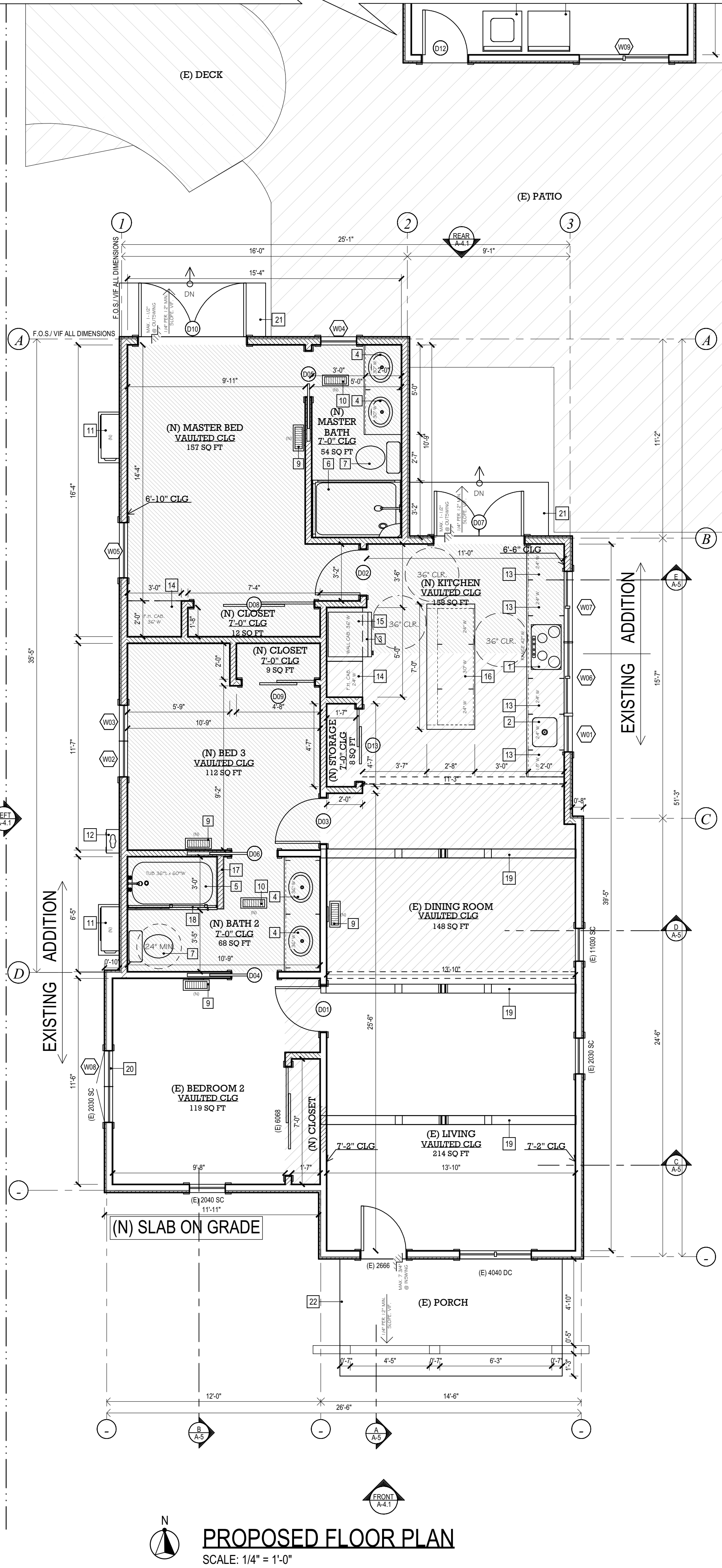
WINDOW SCHEDULE

NO.	QTY	LABEL	WIDTH	HEIGHT	U-FACT.	SHGC	TEMP'D	EGRESS	HEAD	SILL	FLR	ROOM NAME	COMMENTS
W01	1	(N) 2025 SC	24"	29"	0.3	0.23			70"	41"	1	(N) KITCHEN	
W02	1	(N) 2030 SC	24"	36"	0.3	0.23			77"	41"	1	(N) BED 3	
W03	1	(N) 2030 SH	24"	36"	0.3	0.23			77"	41"	1	(N) BED 3	
W04	1	(N) 2060 DH	24"	72"	0.3	0.23	YES		80"	8"	1	(N) MASTER BATH	
W05	1	(N) 3138 SH	37"	44"	0.3	0.23			74"	30"	1	(N) MASTER BED	
W06	1	(N) 4025 LS	48"	29"	0.3	0.23			70"	41"	1	(N) KITCHEN	
W07	1	(N) 4025 RS	48"	29"	0.3	0.23			70"	41"	1	(N) KITCHEN	
W08	1	(R) 2030 SC	24"	36"	0.3	0.23			77"	41"	1	(E) BEDROOM 2	
W09	1	(N) 5040 XO	60"	48"	0.3	0.23			80"	32"	1	(E) GARAGE	
W10	1	(N) 2020 XO	24"	24"	0.3	0.23			72"	48"	1	(E) GARAGE	






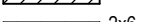




**CONTRACTOR NOTES:**  
1. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING WINDOWS  
2. (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT

**WINDOW ABBREVIATIONS:**




AW	AWNING
DC	DOUBLE CASEMENT
DH	DOUBLE HUNG
FX	FIXED/PICTURE
SC	SINGLE CASEMENT
SH	SINGLE HUNG
OX	SLIDING (X=OPERABLE, VIEW FROM OUTSIDE)
XO	SLIDING (X=OPERABLE, VIEW FROM OUTSIDE)
XOX	DOUBLE VENT SLIDING



## WALL LEGEND

	EXISTING 2X WALLS TO REMAIN
	EXISTING 2X WALLS TO BE REMOVED
 2x4	2X WD. STUDS @ 16" O.C. INTERIOR SIDE; 1/2" THK. GYP. BD. FINISH. BATH SIDE - PROVIDE MOISTURE RESISTANT TYPE 1/2" THK. GYP. BD. ON EXTERIOR SIDE (WHERE STUCCO IS USED) - PROVIDE EXTERIOR PLASTER FINISH OVER 2 LAYERS GRADE D BUILDING PAPER (FELT) OVER PLYWOOD SHEATHING; INSULATION PER T-24
 2x6	
	1 HR. FIRE RATED WALL: 2X4 WD. STUDS @ 16" O.C. WITH 5/8" TYPE 'X' GYP. BD. FINISH ON BOTH SIDES. BATH SIDE: PROVIDE 1/2" GYP. BD. MOISTURE RESISTANT TYPE; 2X6 WD. STUDS ON PLUMBING WALL SIDE WHERE REQ'D.
SD, RL/SOLID GLASS 	GUARD RAIL/SOLID LOW WALL: MIN. HT. 42". SEE PLAN FOR TYPE.
	2X INFILL WD. STUDS @ 16" O.C., TO MATCH ADJACENT WALL FINISH AS  
	

### UTILITY LEGEND

	SMOKE DETECTOR (HARDWIRED W/ BATTERY BACKUP)
	CARBON MONOXIDE/SMOKE DETECTOR COMBO (HARDWIRED W/ BATTERY BACKUP)
	HVAC

## SMOKE DETECTOR NOTES:

- 1. SMOKE DETECTORS** - SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN (A) ALL SLEEPING ROOM, (B) OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, (C) ON EACH LEVEL OF THE BUILDING, (D) IN ALL COMMON AREAS AND HABITABLE AREAS, (E) IN THE SPLIT LEVEL HOME, AND (F) NO INTERVENING DOOR BETWEEN ADJACENT LEVELS. THE SMOKE ALARM ON THE UPPER LEVEL WILL NOT BE REQUIRED.
- 2. WRINGING** - SMOKE DETECTORS/ CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING (HARDWIRED) AND BE EQUIPPED WITH A BATTERY BACKUP. (A) ALL NEWLY INSTALLED AND MAINTAINED; (B) OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS (C) ON EVERY OCCUPABLE LEVEL OF A DWELLING UNIT, INCLUDING BASEMENTS, (C) WHERE THE DETECTOR IS NOT USED IN THE BATHROOM, (D) IN THE BATHROOM, A CARBON MONOXIDE SHALL BE INSTALLED WITHIN THE BEDROOM. PER 2022 CIRC 315.8
- 3. COMBINATION ALARM** - COMBINATION CARBON MONOXIDE AND SMOKE DETECTORS SHALL BE PERMITTED TO BE USED IN ALL LEVELS OF THE BUILDING. CARBON MONOXIDE DETECTORS OR CARBON MONOXIDE DETECTORS PER CIRC 315.4.3.3.6.5.6
- 4. REPLACEMENT** - ANY EXISTING SMOKE ALARMS THAT ARE OLDER THAN 10 YEARS NEED TO BE REPLACED WITH NEW.

## SPRINKLER COMPLIANCE:

PER 2014 AND 2014.5, ALL EXISTING REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT OR BEFORE JAN. 1, 1994 WITH WATER-CONSERVING PLUMBING FIXTURES.

1. WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
2. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.
3. ALL FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. EXCEPTION KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.

A COMPLETED AFFIDAVIT MAY BE PROVIDED TO THE BUILDING INSPECTOR AT OR BEFORE FINAL IN LIEU OF INSPECTIONS OF THESE FIXTURES.

REVISIONS	ID
"ABC" = PLAN CHECK. "123" = FIELD	△
	△
	△
	△
	△
	△

GENERAL  
CONTRACTOR

**PREPARED BY:**

1

**TRUPLANS**  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

**PREPARED BY:**

MODEL, AND ADDITION TO:  
MONTERREY RESIDENCE  
 629 E WASHINGTON AVE  
 ORANGE, CA 92866  
 (714) 417-6492

DRAWN M.L.
CHECKED W.T.
DATE 12/2/2025
SHEET SIZE TO SCALE 24" X 36"
"MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT.PLAN"
SHEET

**A-3**

## PROPOSED PLAN

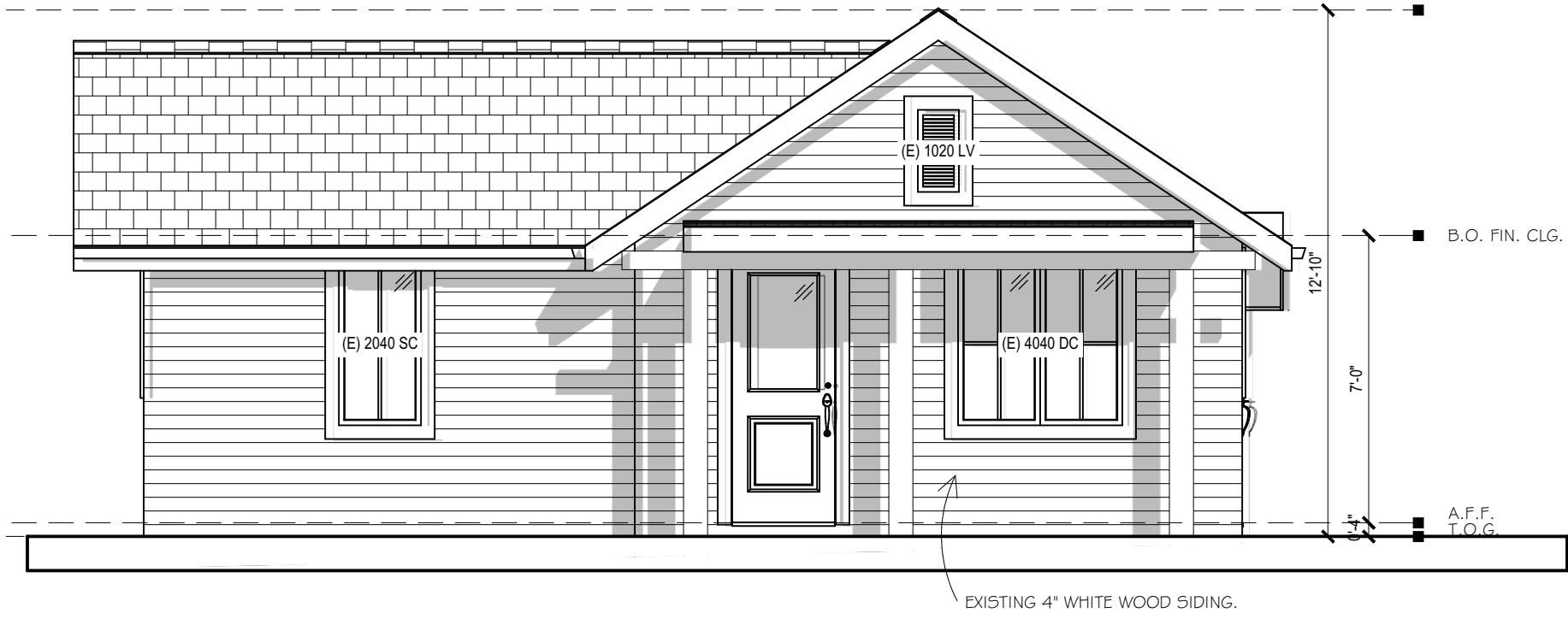


# DIAL 811

CONTACT DIGALERT PRIOR TO ANY EXCAVATION  
SUBMIT A REQUEST AT LEAST TWO (2) DAYS PRIOR  
DIGGING.

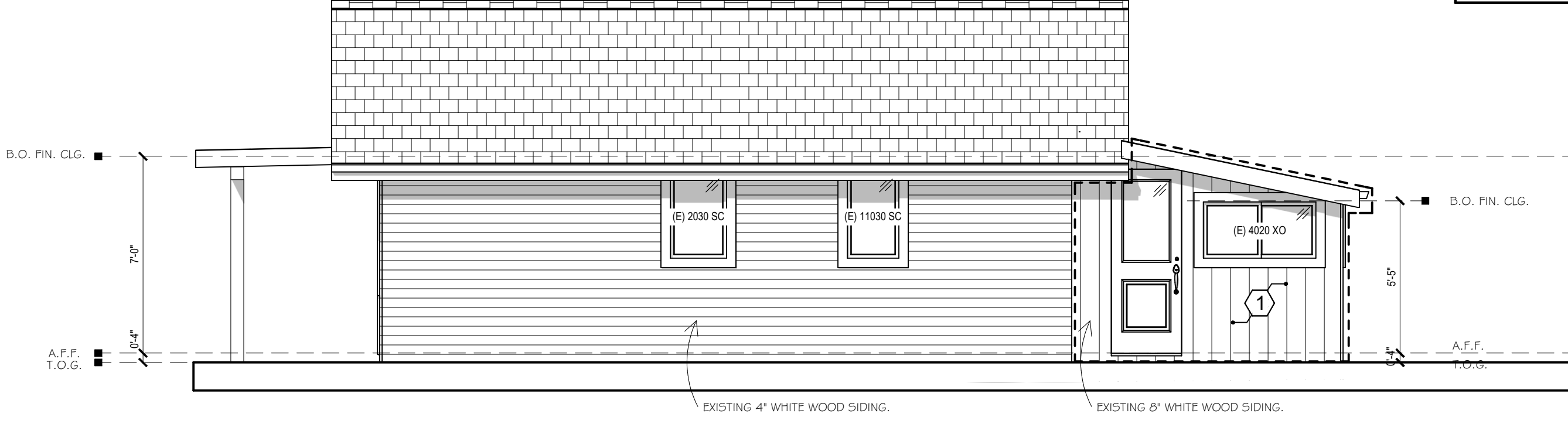
**DIMENSION NOTE:** DIMENSIONS SHALL BE VERIFIED IN FIELD. IN THE CASE THAT DIMENSIONS ARE TO BE ADJUSTED DUE TO CERTAIN FACTORS (SUCH AS HIDDEN CONDITIONS, FIELD VERIFICATION, ETC.), TOLERANCES ARE PROVIDED WITH "±" AS GUIDELINES TO PRESERVE INTENDED DESIGN. FOR SIGNIFICANT CHANGES IN DIMENSIONS, CONTRACTOR TO CONTACT DESIGNER AND/OR ENGINEER THROUGH RFI'S (REQUEST FOR INFORMATION) TO MAKE NECESSARY CHANGES AND TO CONFORM WITH THE STRUCTURAL INTEGRITY OF APPROVED PLANS.

(CITY / COUNTY APPROVAL STAMP HERE)



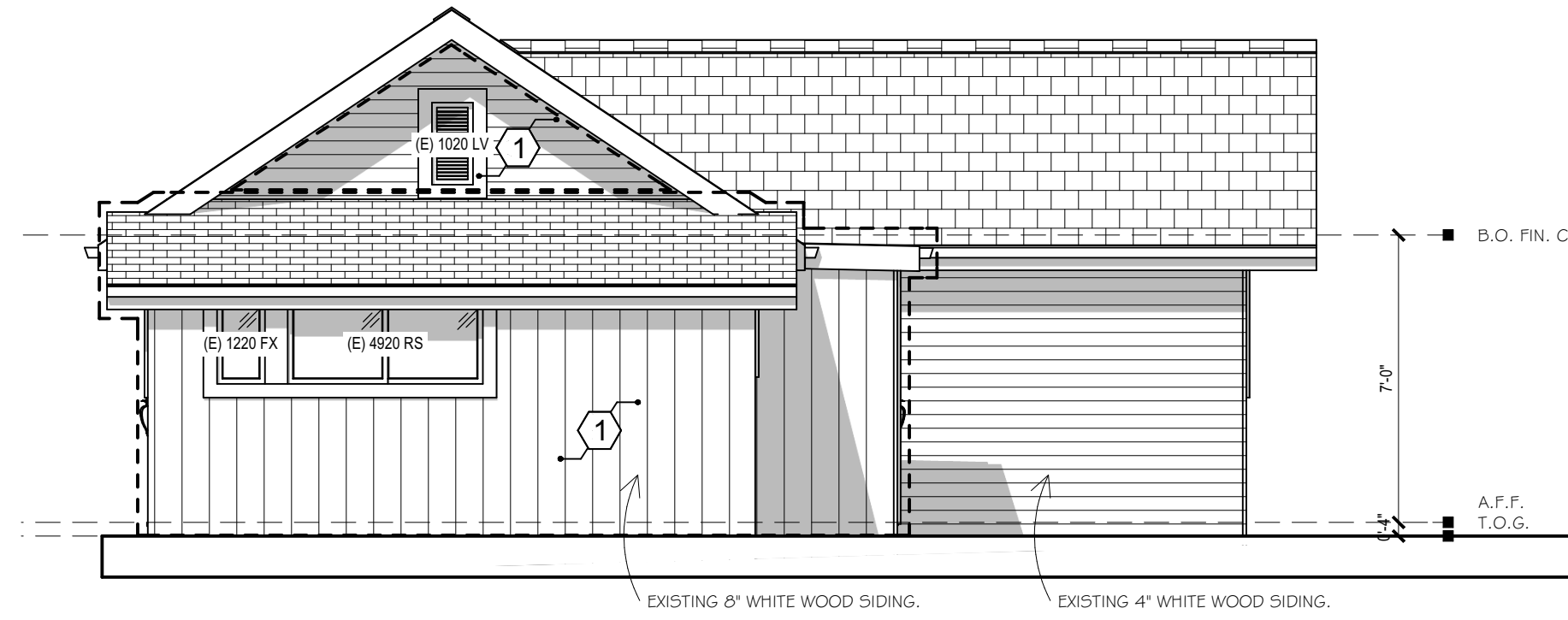
EXISTING SOUTH ELEVATION (NO CHANGE)

SCALE: 1/4" = 1'-0"



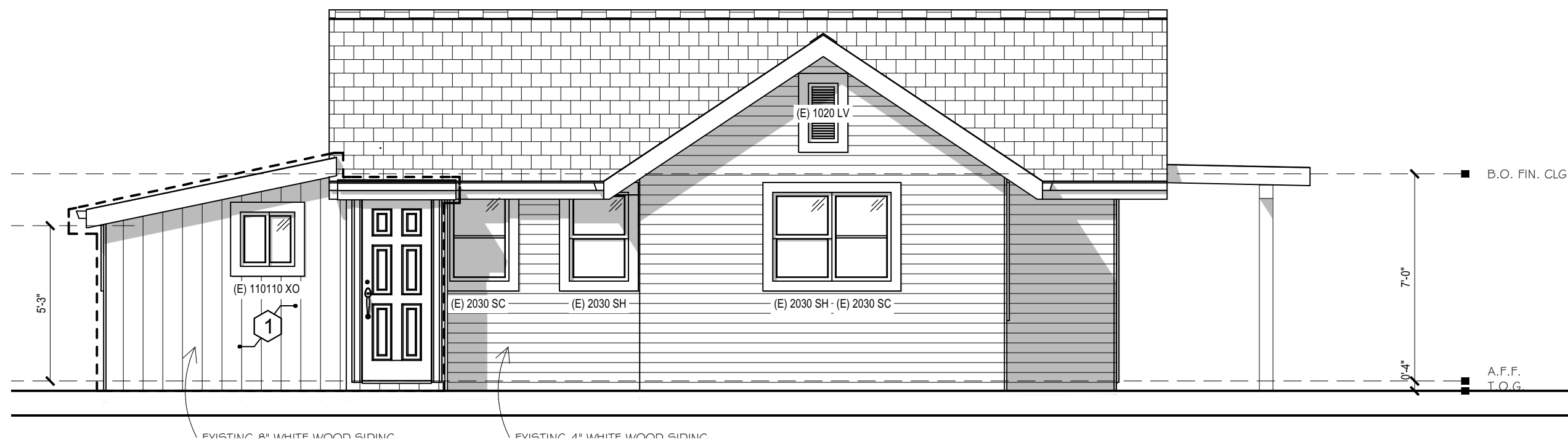
EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

~ FOR REFERENCE ONLY ~ USE MASTER SCHEDULE LIST ON SHEET A-3 FOR FIELD REVISION UPDATES.

DOOR SCHEDULE

NO.	QTY	LABEL	WIDTH	HEIGHT	TYPE	TEMP'D	FIRE	FLR	ROOM NAME	COMMENTS
D01	1	(N) 2668	30"	80"	HINGED			1	(E) LIVING/(E) BEDROOM 2	
D02	1	(N) 2668	30"	80"	HINGED			1	(N) MASTER BED/(N) KITCHEN	
D03	1	(N) 2668	30"	80"	HINGED			1	(E) DINING ROOM/(N) BED 3	
D04	1	(N) 2668	30"	80"	POCKET			1	(E) BEDROOM 2/(N) BATH 2	
D05	1	(N) 2668	30"	80"	POCKET			1	(N) MASTER BATH/(N) MASTER BED	
D06	1	(N) 2668	30"	80"	POCKET			1	(N) BED 3/(N) BATH 2	
D07	1	(N) 5068	60"	80"	DOUBLE HINGED			1	(N) KITCHEN	
D08	1	(N) 6068	80"	80"	SLIDER			1	(N) CLOSET/(N) MASTER BED	
D09	1	(N) 4068	48"	80"	SLIDER			1	(N) CLOSET/(N) BED 3	
D10	1	(N) 6068	72"	80"	DOUBLE HINGED			1	(N) MASTER BED	
D11	1	(N) 3068	36"	80"	HINGED			1	(E) GARAGE	
D12	1	(N) 2668	30"	80"	HINGED			1	(E) GARAGE	
D13	1	(N) 4068	48"	80"	SLIDER			1	(N) STORAGE/(N) KITCHEN	

1 ALL GLAZING IN DOORS SHALL BE TEMPERED  
2 DOOR PANEL DESIGN TO BE DETERMINED BY DESIGNER/ OR OWNER (U.N.O. - I.E. FIRE-RATED DOORS)  
3 SOLID OR HOLLOW CORE TO BE DETERMINED BY DESIGNER/ OR OWNER (U.N.O. - I.E. FIRE-RATED DOORS)  
4 FIRE-RATED DOORS TO BE 1-3/8" SOLID CORE DOOR, 1-3/8" THICK SOLID/HONEYCOMB STEEL DOOR, OR MIN. 20-MIN RATED, TO BE EQUIPPED W/ SELF-CLOSING, TIGHT FITTING, SELF-LATCHING HARDWARE  
5 SEE G-1 FOR SECURITY ORDINANCE (WHEN APPLICABLE PER CITY ORDINANCE)

CONTRACTOR NOTES:  
1. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING MATERIALS.  
2. (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT

WINDOW SCHEDULE

NO.	QTY	LABEL	WIDTH	HEIGHT	U-FACT.	SHGC	TEMP'D	EGRESS	HEAD	SILL	FLR	ROOM NAME	COMMENTS
W01	1	(N) 2025 SC	24"	29"	0.3	0.23			70"	41"	1	(N) KITCHEN	
W02	1	(N) 2030 SC	24"	36"	0.3	0.23			77"	41"	1	(N) BED 3	
W03	1	(N) 2030 SH	24"	36"	0.3	0.23			77"	41"	1	(N) BED 3	
W04	1	(N) 2060 DH	24"	72"	0.3	0.23	YES		80"	8"	1	(N) MASTER BATH	
W05	1	(N) 3138 SH	37"	44"	0.3	0.23			74"	30"	1	(N) MASTER BED	
W06	1	(N) 4025 LS	48"	29"	0.3	0.23			70"	41"	1	(N) KITCHEN	
W07	1	(N) 4025 RS	48"	29"	0.3	0.23			70"	41"	1	(N) KITCHEN	
W08	1	(R) 2030 SC	24"	36"	0.3	0.23			77"	41"	1	(E) BEDROOM 2	
W09	1	(N) 5040 XO	60"	48"	0.3	0.23			80"	32"	1	(E) GARAGE	
W10	1	(N) 2020 XO	24"	24"	0.3	0.23			72"	48"	1	(E) GARAGE	

WINDOW NOTES:  
1. ALL GLAZING SHALL BE LOW-E, DUAL PANE GLASS  
2. ALL GLAZING SHALL HAVE U-FACTOR: MAX 0.3 AND SHGC FACTOR: MAX 0.23  
3. ALL NEW WINDOWS TO BE WOOD AND TO MATCH THE EXISTING WINDOWS.

CONTRACTOR NOTES:  
1. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING WINDOWS.  
2. (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT

WINDOW ABBREVIATIONS:  
AW AWNING  
DC DOUBLE CASEMENT  
DH DOUBLE HUNG  
FX FIXED/PICTURE  
SC SINGLE CASEMENT  
SH SINGLE HUNG  
OX SLIDING (X=OPERABLE, VIEW FROM OUTSIDE)  
XO SLIDING (X=OPERABLE, VIEW FROM OUTSIDE)  
XOX DOUBLE VENT SLIDING

DEMO LEGEND:

- ① DEMO (FOR WINDOWS & DOORS: EXIST. HEADER TO REMAIN, U.N.O.)  
② EXISTING TO REMAIN

PROPOSED LEGEND:

- D# NEW CONSTRUCTION QB REPLACEMENT DOORS (SEE DOOR SCHEDULE) - COLOR, STYLE TO MATCH  
W# NEW CONSTRUCTION QB REPLACEMENT WINDOWS (SEE WINDOW SCHEDULE) - COLOR, TYPE, STYLE TO MATCH  
A WALL INFILL QB NEW WALL (TO MATCH FINISH - COLOR, TYPE, TEXTURE - ON INTERIOR AND EXTERIOR)  
PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEATHG WHERE STUCCO IS USED IN EXTR WALLS.

- B EXISTING QB NEW LANDING (SEE PLAN)  
C NEW 42" MIN. GUARD RAIL (SEE PLAN FOR TYPE) (ANY OPENING SHALL NOT ALLOW A 4"Ø SPHERE TO PASS THROUGH)  
E EGRESS  
R NEW ROOFING (COLOR, TYPE, TEXTURE TO MATCH EXISTING)  
S NEW SKYLIGHT (TEMPERED, 4" MIN. CURB, PROVIDE FLASHING)  
T TEMPERED GLASS  
U UTILITY (RELOCATE QB NEW - SEE PLAN FOR TYPE)  
V NEW VENTS (SEE PLAN FOR SIZE, PROVIDE FLASHING)  
W PROVIDE WEEP SCREED 4" MIN ABOVE SOIL (OR 2" MIN ABOVE PAVEMENT SLAB)

TRIM LEGEND:

- ① (N) 2X WOODEN TRIM (PRIME COATED) (COLOR, TEXTURE - TO MATCH EXISTING - U.N.O.)

GENERAL CONTRACTOR

TBD

PREPARED BY:

MOLLY LUO

PREPARED BY:

TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

RELOCATE, REMODEL, AND ADDITION TO:

MONTERREY RESIDENCE  
629 E WASHINGTON AVE  
ORANGE, CA 92866  
(714) 417-6492

DRAWN

M.L.

CHECKED

W.T.

DATE

12/22/2025

SHEET SIZE TO SCALE

24" X 36"

"MONTERREY (O) - 1ST SUBMIT -

5TH ATTEMPT PLAN"

SHEET

A-4.0

ELEVATIONS - EXISTING



**DIMENSION NOTE:** DIMENSIONS SHALL BE VERIFIED IN FIELD. IN THE CASE THAT DIMENSIONS ARE TO BE ADJUSTED DUE TO CERTAIN FACTORS (SUCH AS HIDDEN CONDITIONS, FIELD VERIFICATION, ETC.), TOLERANCES ARE PROVIDED WITH "±" AS GUIDELINES TO PRESERVE INTENDED DESIGN. FOR SIGNIFICANT CHANGES IN DIMENSIONS, CONTRACTOR TO CONTACT DESIGNER AND/OR ENGINEER THROUGH RFI'S (REQUEST FOR INFORMATION) TO MAKE NECESSARY CHANGES AND TO CONFORM WITH THE STRUCTURAL INTEGRITY OF APPROVED PLANS.

(CITY / COUNTY APPROVAL STAMP HERE)

REVISIONS	ID
"ABC" - PLAN CHECK, "123" - FIELD	△
	△
	△
	△
	△
	△

GENERAL  
CONTRACTOR

TBD

PREPARED BY:

*Sam*

MOLLY LUO

PREPARED BY:

TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

RELOCATE, REMODEL, AND ADDITION TO:

MONTERREY RESIDENCE  
629 E WASHINGTON AVE  
ORANGE, CA 92866  
(714) 417-6492

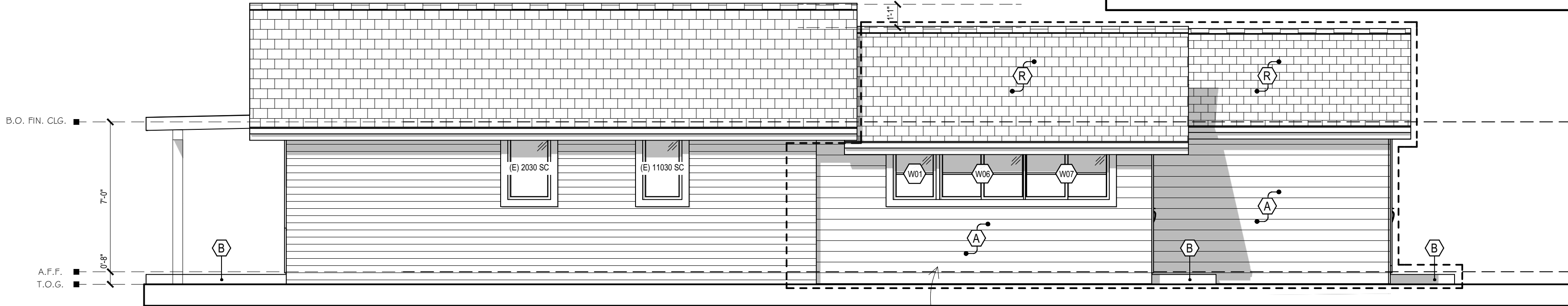
DRAWN M.L.
CHECKED W.T.
DATE 12/2/2025
SHEET SIZE TO SCALE 24" X 36"
"MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT PLAN" SHEET

A-4.1

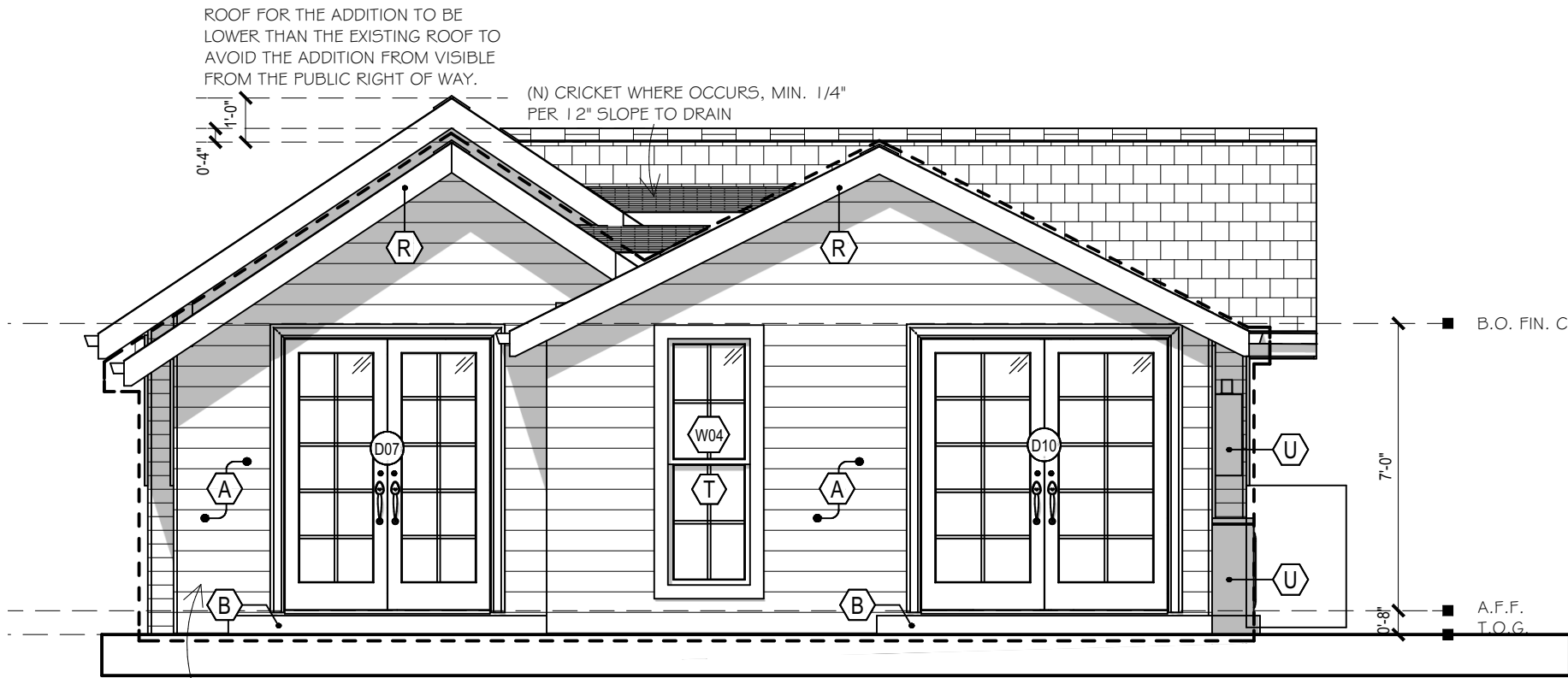
ELEVATIONS - PROPOSED



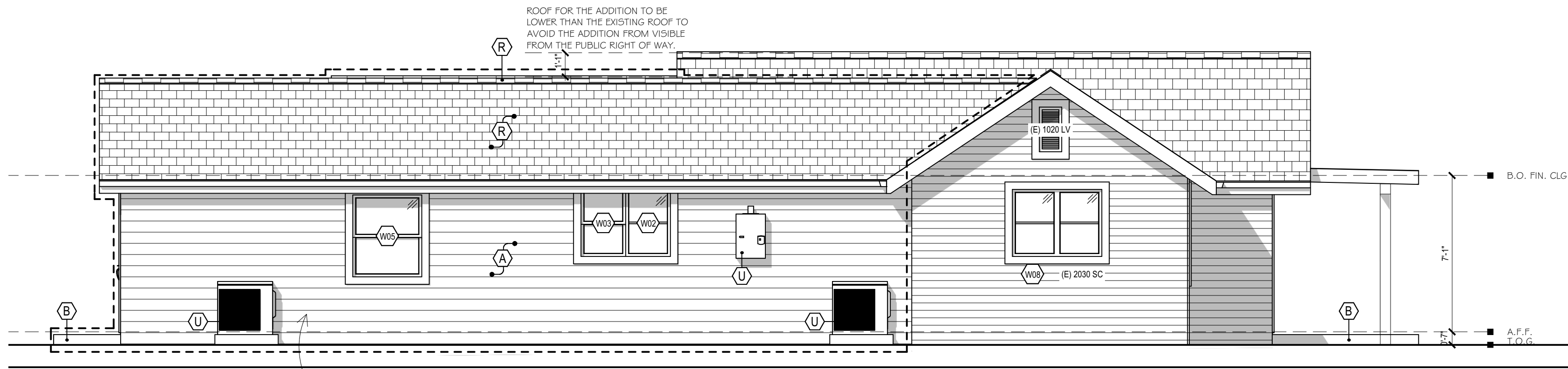
PROPOSED SOUTH ELEVATION (NO CHANGE)  
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

#### WINDOW SPECIFICATION

MANUFACTURER: MILGARD OR EQUAL (TO MATCH EXISTING)  
COLOR: EXT. WOOD WHITE/ INT. WOOD WHITE (TO MATCH EXISTING)

#### DEMO LEGEND:

- ① DEMO (FOR WINDOWS & DOORS; EXIST. HEADER TO REMAIN, U.N.O.)  
② EXISTING TO REMAIN

#### PROPOSED LEGEND:

- Ⓓ# NEW CONSTRUCTION QB REPLACEMENT DOORS (SEE DOOR SCHEDULE) - COLOR, STYLE TO MATCH  
⒱# NEW CONSTRUCTION QB REPLACEMENT WINDOWS (SEE WINDOW SCHEDULE) - COLOR, TYPE, STYLE TO MATCH  
Ⓐ WALL INFILL QB NEW WALL (TO MATCH FINISH - COLOR, TYPE, TEXTURE - ON INTERIOR AND EXTERIOR)  
PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEATHG WHERE STUCCO IS USED IN EXTR WALLS.  
Ⓑ EXISTING QB NEW LANDING (SEE PLAN)  
Ⓒ NEW 42" MIN. GUARD RAIL (SEE PLAN FOR TYPE) (ANY OPENING SHALL NOT ALLOW A 4"Ø SPHERE TO PASS THROUGH)  
Ⓔ EGRESS  
Ⓔ NEW ROOFING (COLOR, TYPE, TEXTURE TO MATCH EXISTING)  
Ⓔ NEW SKYLIGHT (TEMPERED, 4" MIN. CURB, PROVIDE FLASHING)  
Ⓔ TEMPERED GLASS  
Ⓔ UTILITY (RELOCATE QB NEW - SEE PLAN FOR TYPE)  
Ⓔ NEW VENTS (SEE PLAN FOR SIZE, PROVIDE FLASHING)  
Ⓔ PROVIDE WEEP SCREED 4" MIN ABOVE SOIL (OR 2" MIN ABOVE PAVEMENT SLAB)  
Ⓔ (N) 2X WOODEN TRIM (PRIME COATED) (COLOR, TEXTURE - TO MATCH EXISTING - U.N.O.)

#### TRIM LEGEND:

~ FOR REFERENCE ONLY ~ USE MASTER SCHEDULE LIST ON SHEET A-3 FOR FIELD REVISION UPDATES.

#### DOOR SCHEDULE

NO.	QTY	LABEL	WIDTH	HEIGHT	TYPE	TEMPD	FIRE	FLR	ROOM NAME	COMMENTS
D01	1	(N) 2668	30"	80"	HINGED				(E) LIVING/(E) BEDROOM 2	
D02	1	(N) 2668	30"	80"	HINGED				(N) MASTER BED/(E) LIVING	
D03	1	(N) 2668	30"	80"	HINGED				(E) LIVING/(N) BED 3	
D04	1	(N) 2668	30"	80"	POCKET				(E) BEDROOM 2/(N) BATH 2	
D05	1	(N) 2668	30"	80"	POCKET				(N) MASTER BATH/(N) MASTER BED	
D06	1	(N) 2668	30"	80"	POCKET				(N) BED 3/(N) BATH 2	
D07	1	(N) 5068	60"	80"	DOUBLE HINGED				(E) LIVING	
D08	1	(N) 6068	80"	80"	SLIDER				(N) CLOSET/(N) MASTER BED	
D09	1	(N) 4068	48"	80"	SLIDER				(N) BED 3/(N) CLOSET	
D10	1	(N) 6068	72"	80"	DOUBLE HINGED				(N) MASTER BED	

#### DOOR NOTES:

- 1 ALL GLAZING IN DOORS SHALL BE TEMPERED  
2 DOOR PANEL DESIGN TO BE DETERMINED BY DESIGNER/ OR OWNER  
3 SOLID OR HOLLOW CORE TO BE DETERMINED BY DESIGNER/ OR OWNER (U.N.O. - I.E. FIRE-RATED DOORS)  
4 FIRE-RATED DOORS TO BE 1-3/8" SOLID CORE DOOR, 1-3/8" THICK SOLID/HONEYCOMB STEEL DOOR, OR MIN. 20-MIN RATED, TO BE EQUIPPED W/ SELF-CLOSING, TIGHT FITTING, SELF-LATCHING HARDWARE  
5 SEE G-1 FOR SECURITY ORDINANCE (WHEN APPLICABLE PER CITY ORDINANCE)

#### CONTRACTOR NOTES:

- 1 CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING MATERIALS.  
2 (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT

#### WINDOW SCHEDULE

NO.	QTY	LABEL	WIDTH	HEIGHT	SHGC	TEMPD	EGRESS	HEAD	SILL	FLR	ROOM NAME	COMMENTS	FIRE	FLR
W01	1	(N) 2025 SC	24"	29"	0.3	0.23		70"	41"	1	(E) LIVING			1
W02	1	(N) 2030 SC	24"	36"	0.3	0.23		77"	41"	1	(N) BED 3			1
W03	1	(N) 2030 SH	24"	36"	0.3	0.23		77"	41"	1	(N) BED 3			1
W04	1	(N) 2060 DH	24"	72"	0.3	0.23	YES	80"	8"	1	(N) MASTER BATH			1
W05	1	(N) 3138 SH	37"	44"	0.3	0.23		74"	30"	1	(N) MASTER BED			1
W06	1	(N) 4025 LS	48"	29"	0.3	0.23		70"	41"	1	(E) LIVING			1
W07	1	(N) 4025 RS	48"	29"	0.3	0.23		70"	41"	1	(E) LIVING			1
W08	1	(R) 2030 SC	24"	36"	0.3	0.23		77"	41"	1	(E) BEDROOM 2			1

#### WINDOW NOTES:

- 1 ALL GLAZING SHALL BE LOW-E, DUAL PANE GLASS  
2 ALL GLAZING SHALL HAVE U-FACTOR: MAX 0.3 AND SHGC FACTOR: MAX 0.23  
3 FENESTRATIONS SHALL HAVE TEMPORARY AND PERMANENT LABELS FOR VERIFICATION OF PERFORMANCE TO BE DETERMINED BY DESIGNER/ OR OWNER  
4 NEW SECOND-STORY BATHROOM WINDOWS ARE PROVIDED WITH OBSCURED GLASS  
5 NEW SECOND-STORY BATHROOM WINDOWS EITHER HAVE A MINIMUM SILL HEIGHT OF 48" OR 60" FROM FINISHED FLOOR  
6 SEE G-1 FOR SECURITY ORDINANCE (WHEN APPLICABLE PER CITY ORDINANCE)

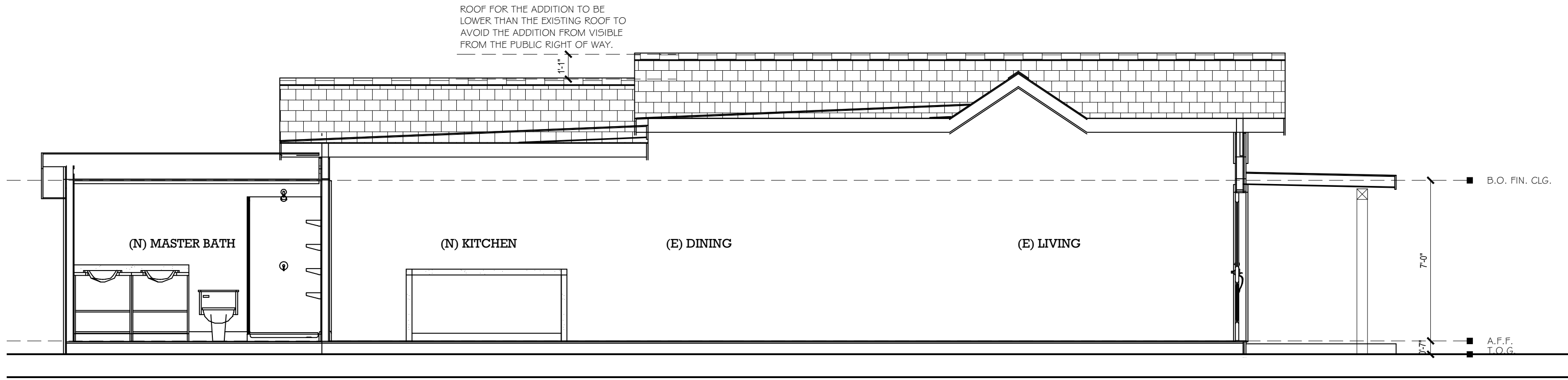
#### CONTRACTOR NOTES:

- 1 CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZE PRIOR TO PURCHASING MATERIALS.  
2 (E) = EXISTING, (N) = NAIL-ON/ NEW CONSTRUCTION, (R) = RETROFIT/ REPLACEMENT

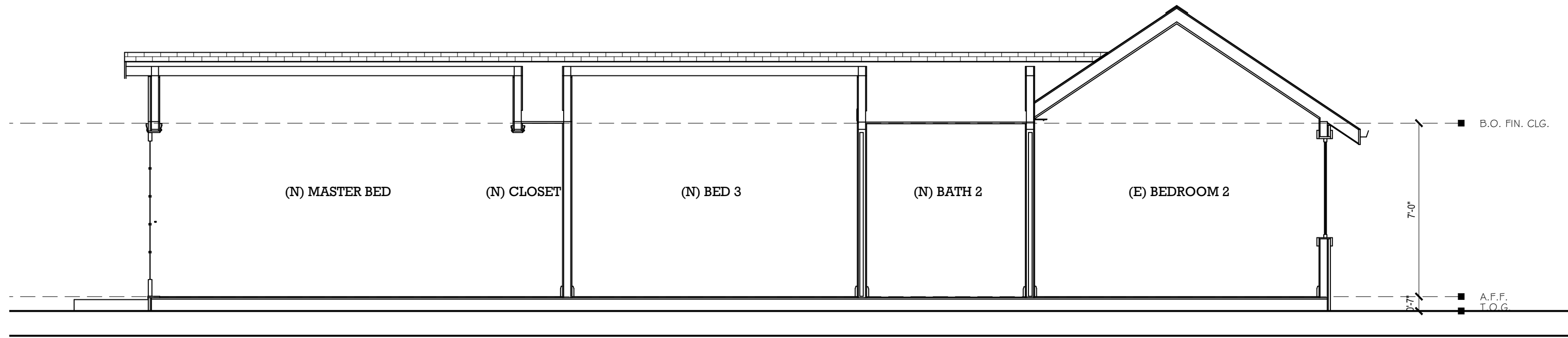
#### WINDOW ABBREVIATIONS:

- AW AWNING  
C CASEMENT  
FIRE-RATED DOORS TO BE 1-3/8" SOLID CORE DOOR/ 1-3/8" THICK SOLID/HONEYCOMB STEEL DOOR, OR MIN. 20-MIN RATED, TO BE EQUIPPED W/ SELF-CLOSING, TIGHT FITTING, SELF-LATCHING HARDWARE  
OX SLIDING (X=OPERABLE, VIEW FROM OUTSIDE)  
SC SINGLE CASEMENT  
SL SLIDING (X=OPERABLE, VIEW FROM OUTSIDE)  
S SEE G-1 FOR SECURITY ORDINANCE (WHEN APPLICABLE PER CITY ORDINANCE)

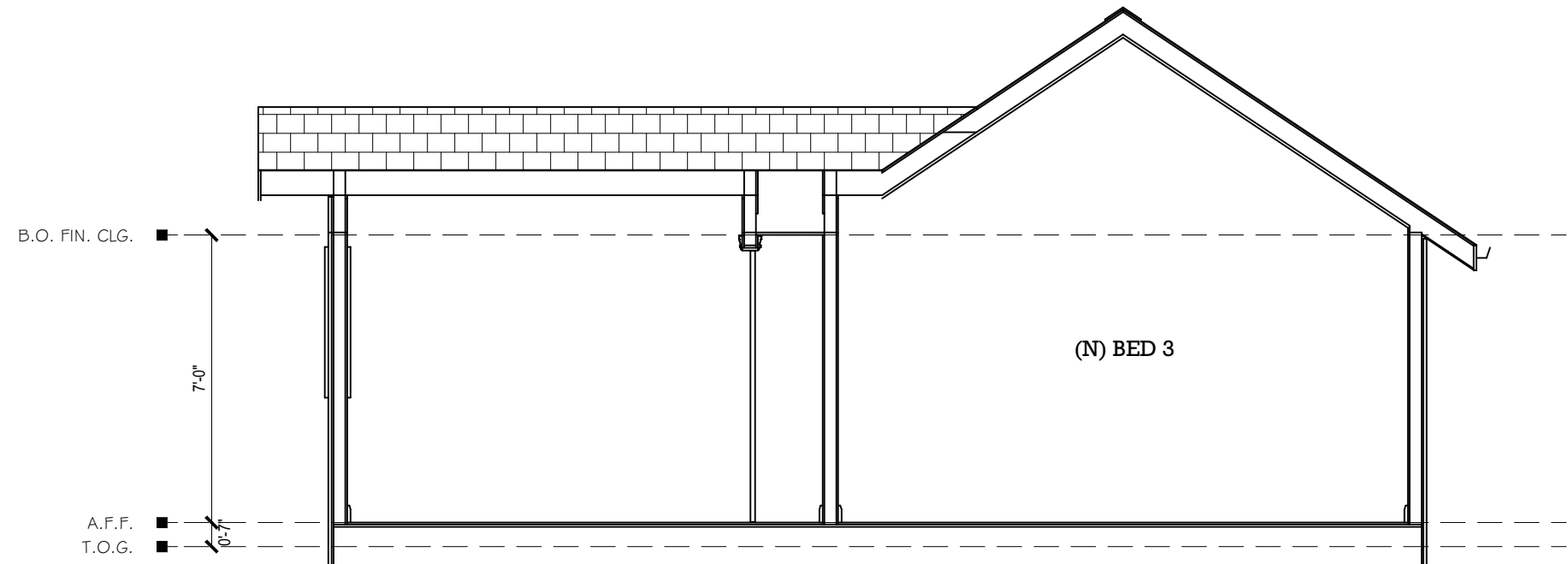
**DIMENSION NOTE:** DIMENSIONS SHALL BE VERIFIED IN FIELD. IN THE CASE THAT DIMENSIONS ARE TO BE ADJUSTED DUE TO CERTAIN FACTORS (SUCH AS HIDDEN CONDITIONS, FIELD VERIFICATION, ETC.), TOLERANCES ARE PROVIDED WITH "±" AS GUIDELINES TO PRESERVE INTENDED DESIGN. FOR SIGNIFICANT CHANGES IN DIMENSIONS, CONTRACTOR TO CONTACT DESIGNER AND/OR ENGINEER THROUGH RFI'S (REQUEST FOR INFORMATION) TO MAKE NECESSARY CHANGES AND TO CONFORM WITH THE STRUCTURAL INTEGRITY OF APPROVED PLANS.



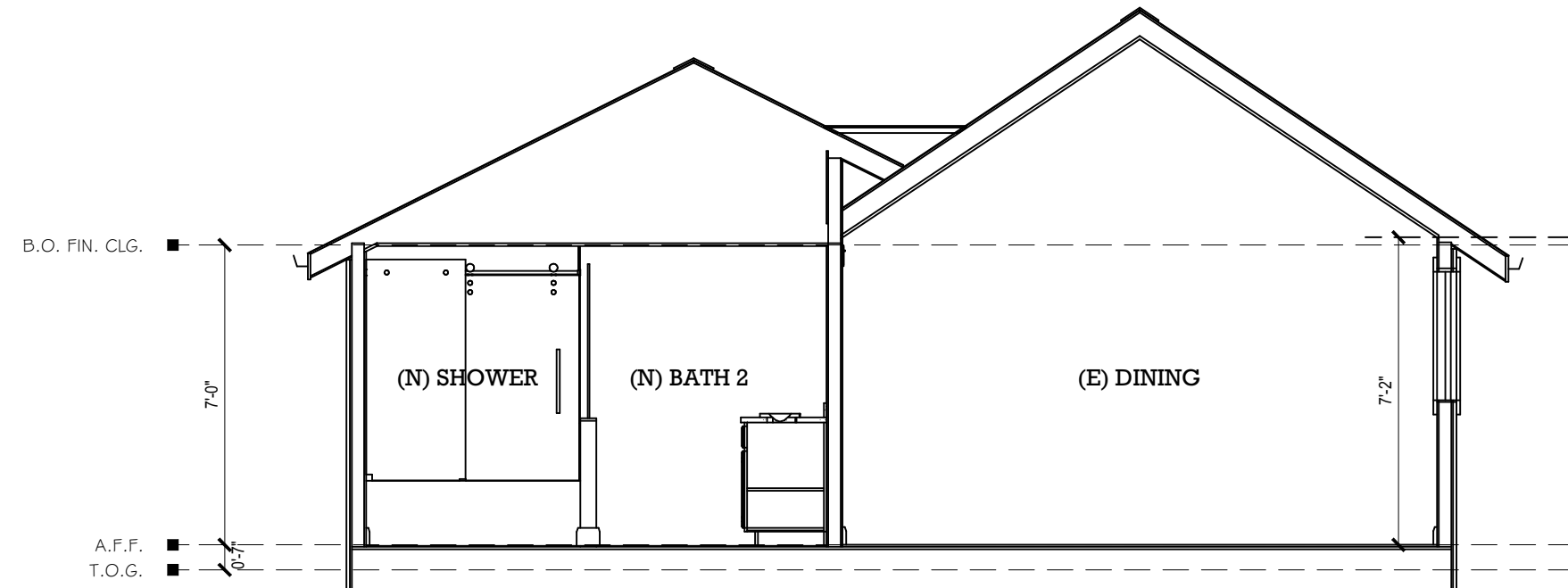
**A**  
A-5  
SECTION A  
SCALE: 1/4" = 1'-0"



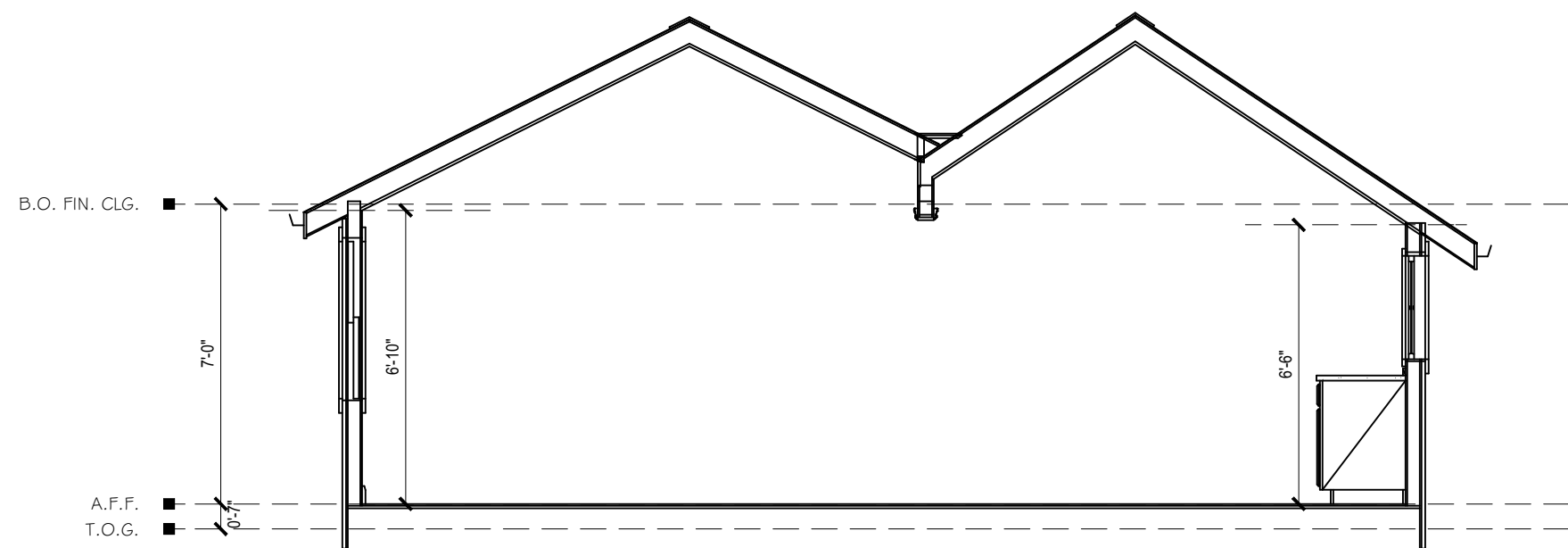
**B**  
A-5  
SECTION B  
SCALE: 1/4" = 1'-0"



**C**  
A-5  
SECTION C  
SCALE: 1/4" = 1'-0"



**D**  
A-5  
SECTION D  
SCALE: 1/4" = 1'-0"



**E**  
A-5  
SECTION E  
SCALE: 1/4" = 1'-0"

## ROOF LEGEND

DEMO ROOF  
ROOF TO REMAIN  
NEW ROOF

### UPPER VENTING

RIDGE VENT  
ROOF LOUVER  
GABLE END VENT

### EAVE VENTING

EAVE VENT  
ROOF LOUVER

(CITY / COUNTY APPROVAL STAMP HERE)

REVISIONS	ID
"ABC" - PLAN CHECK, "123" - FIELD	△
	△
	△
	△
	△
	△

GENERAL  
CONTRACTOR

TBD

PREPARED BY:

*Molly Luo*

MOLLY LUO

PREPARED BY:

TRUPLANS  
630 S. GLASSEL ST. SUITE 201  
ORANGE, CA 92866  
(714) 289-4652

RELOCATE, REMODEL, AND ADDITION TO:

MONTERREY RESIDENCE  
629 E WASHINGTON AVE  
ORANGE, CA 92866  
(714) 417-6492

DRAWN M.L.
CHECKED W.T.
DATE 12/2/2025
SHEET SIZE TO SCALE 24" X 36"
"MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT PLAN" SHEET

**A-5**

SECTIONS & PROPOSED ROOF

## ROOF SPECIFICATION

### SLOPED ROOF SPECIFICATIONS

PRODUCT NAME: GAF SHINGLES (TO MATCH EXISTING)  
MANUFACTURER: GAF (OR EQUAL)  
ICC-ESR: 1475 (SEE SHEET A-5 FLASHING DETAILS)  
ROOF ASSEMBLY: CLASS A

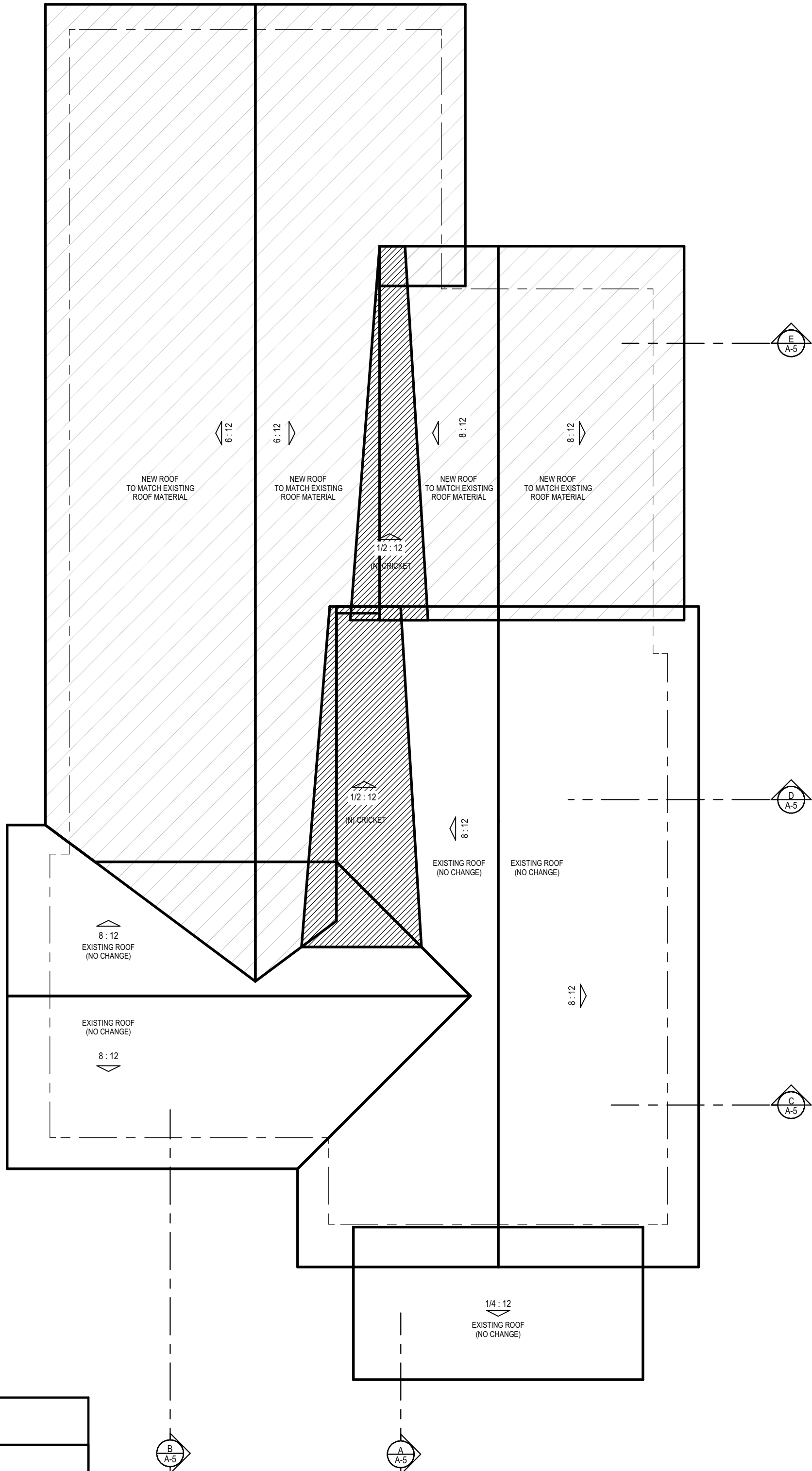
**PROVIDE RADIANT BARRIER OVER CDX OR PLY**

\* PROVIDE 2-LAYERS OF UNDERLAYMENT FOR SLOPES LESS THAN 4:12

## EAVE NOTES

### EAVE NOTES:

- NO EAVES 2' FROM THE PROPERTY LINE** - EAVES ARE NOT PERMITTED IN GROUP R-3/U OCCUPANCIES CLOSER THAN 2' TO THE PROPERTY LINE
- 1-HOUR FIRE RESISTANCE-RATED CONSTRUCTION OR HEAVY TIMBER:** (A) REQUIRED FOR PROJECTIONS IN NON-SPRINKLERS STRUCTURES LOCATED BETWEEN 2' AND 5' FROM THE PROPERTY LINE; (B) REQUIRED FOR PROJECTIONS IN SPRINKLERED STRUCTURES LOCATED BETWEEN 2' AND 3' FROM PROPERTY LINE.
- ZERO HOUR RATING WHEN FIREBLOCKED:** THE ROOF EAVE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO ZERO (0) HOURS ON THE UNDERSIDE OF THE EAVE IF SOLID FIRE BLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING TABLE R302.1(1) AND (2)



## PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISIONS	*ABC* = PLAN CHECK, *121* = FIELD	ID
		△
		△
		△
		△
		△
		△
GENERAL CONTRACTOR		TBD
PREPARED BY:		
TRUPLAN		MOLLY LUO
630 S. GLASSEL ST. SUITE 201 ORANGE, CA 92866 (714) 289-4652		
RELOCATE, REMODEL, AND ADDITION TO:		MOLLY LUO
MONTERREY RESIDENCE 629 E WASHINGTON AVE ORANGE, CA 92866 (714) 417-6492		
DRAWN M.L.		ARCHITECTURAL DETAILS
CHECKED W.T.		
DATE 12/2/2025		
SHEET SIZE TO SCALE 24" X 36"		
*MONTERREY (O) - 1ST SUBMIT - 5TH ATTEMPT PLAN* SHEET		AD-1