



Chad Ortlieb
Principal Planner

Kirsten Shea
Sr. Assistant City Attorney

Schylar Moreno
Administrative Assistant

AGENDA

Design Review Committee April 16, 2025

5:30 PM Regular Session

City Council Chamber
300 E. Chapman Avenue
Orange, CA 92866

MARYANNE SKORPANICH
Chair

JERICO FARFAN
Vice Chair

ANNE MCDERMOTT
Committee Member

ROBERT GROSSE
Committee Member

GREG LEDESMA
Committee Member

MICHAEL LOPEZ
Committee Member

ADRIENNE GLADSON
Committee Member

Welcome to the Design Review Committee Meeting. Regular meetings of the City of Orange Design Review Committee are held the first and third Wednesday of each month at 5:30 p.m.

Agenda Information

The agenda contains a brief general description of each item to be considered. Written materials relating to an item on the agenda that are provided to the Design Review Committee (DRC) after agenda packet distribution and within 72 hours before it is to consider the item will be made available for public inspection in the City Clerk's Office located at 300 E. Chapman Avenue, Orange, during normal business hours; at the DRC meeting; and made available on the City's website at www.cityoforange.org.

Public Participation

Design Review Committee meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at www.cityoforange.org.

Pursuant to Government Code Section 54954.3, members of the public may address the Design Review Committee on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

1) In-person

To speak on an item on the agenda, complete a speaker card indicating your name, address, and identify the agenda item number or subject matter you wish to address. The card should be given to City staff prior to the start of the meeting. General comments are received during the "Public Comments" section at the beginning of the meeting. No action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker unless a different time limit is announced. It is requested that you state your name for the record, then proceed to address the Committee. All speakers shall observe civility, decorum, and good behavior.

(Continued on page 2)

2) Written Public Comments via eComment

Members of the public can submit their written comments electronically for the DRC's consideration by using the eComment feature on the Agenda page of the City's website at www.cityoforange.org. To ensure distribution to the DRC prior to consideration of the agenda, we encourage the public to submit written comments by 3:00 p.m. the day of the meeting. All written comments will be provided to DRC Members for consideration and posted on the City's website after the meeting.

3) Public Comments via recorded voicemail message

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Design Review Committee.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

ADA Requirements: In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours in advance of meeting will enable the City to make arrangements to assure accessibility to this meeting.

REMINDER: Please silence all electronic devices while DRC is in session.

APPEAL PROCEDURE

Any final determination by the Design Review Committee may be appealed, and such appeal must be filed within 7 calendar days after the action is taken. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of \$1,000.00.

The Community Development Department, upon filing of said appeal, will set petition for public hearing before the City Planning Commission at the earliest possible date.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Design Review Committee at, or prior to, the public hearing.

1. OPENING/CALL TO ORDER**1.1 PLEDGE OF ALLEGIANCE**

Vice Chair Jerico Farfan

1.2 ROLL CALL**2. PUBLIC COMMENTS**

Opportunity for members of the public to address the Committee on matters not listed on the agenda which are within the subject matter jurisdiction of the DRC, provided that NO action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker.

3. NEW BUSINESS

- 3.1. A request to install a new blade sign in the Old Towne Orange Historic District at 238 W. Chapman Avenue (Design Review No. 5163).**

Recommended Action:

Approve Design Review No. 5163.

Attachments: [Staff Report](#)
 [Attachment 1 - Vicinity Map](#)
 [Attachment 2 - DPR Form](#)
 [Attachment 3 - Project Plans](#)
 [Attachment 4 - Digital Materials Board](#)
 [Attachment 5 - Development Standards Table](#)

- 3.2. A request to construct a new commercial bank building with a drive-through ATM at 2355 N. Tustin Street (Design Review No. 5151).**

Recommended Action:

Recommend approval of Design Review No. 5151 to the Planning Commission.

Attachments: [Staff Report](#)
 [Attachment 1 - Project Plans](#)
 [Attachment 2 - Landscape Plans](#)
 [Attachment 3 - Vicinity Map](#)
 [Attachment 4 - Arborist Report](#)
 [Attachment 5 - Digital Materials Board](#)

4. ADJOURNMENT

The next Regular Design Review Committee meeting will be held on Wednesday, May 7, 2025 at 5:30 p.m., in the Council Chamber.

I, Schyler Moreno, Administrative Assistant for the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Orange Main Public Library at 407 E. Chapman Avenue, Police facility at 1107 N. Batavia, and uploaded to the City's website www.cityoforange.org.

Date posted: April 10, 2025



Agenda Item

Design Review Committee

Item #: 3.1.

4/16/2025

File #: 25-0159

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Angelo Huang, Assistant Planner

1. SUBJECT

A request to install a new blade sign in the Old Towne Orange Historic District at 238 W. Chapman Avenue (Design Review No. 5163).

2. SUMMARY

The applicant proposes to install a new non-illuminated pedestrian blade sign on the second floor of an existing non-contributing building in the Old Towne Historic District located at 238 W. Chapman Avenue.

3. RECOMMENDED ACTION

Approve Design Review No. 5163.

4. BACKGROUND INFORMATION

Applicant: Side Studio - Tobin White

Owner: 234 W. Chapman Avenue LLC - Jay Rutter

Property Location: 238 W. Chapman Avenue

General Plan Designation: Old Towne Mixed Use 24, 6-24 du/ac; 1.0-1.5 FAR (OTMIX24)

Zoning Classification: Old Towne Mixed Use 24; Santa Fe Depot Plan Area (OTMU-24 (SP))

Existing Development: An office building with a restaurant on the first floor and office space above.

Associated Application: None

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

This project includes:

- Installation of a 12.6-square-foot non-illuminated aluminum blade sign with vinyl graphic lettering. The sign dimensions are: 5 feet and 10 inches in height and 2 feet and 2 inches in width. The sign shall be secured via bolting in the mortar between the brick facade.

6. EXISTING SITE

The site is developed with two distinct structures. The building indicated as 234 W. Chapman Avenue is a contributing Victorian two-story home constructed circa 1885 and is occupied as a restaurant. The building indicated as 238 W. Chapman Avenue is a two-story brick and mortar office/retail building constructed circa 2011.

7. EXISTING AREA CONTEXT

The building is located on Chapman Avenue between Olive and Lemon Street, outside of the Downtown Plaza Core. The surrounding properties on the block consist of brick-and-mortar buildings except for the Victorian structure that shares the site. The property is part of the Santa Fe Depot Plan Area which encourages pedestrian signage along primary and secondary pedestrian pathways, such as Chapman Avenue.

8. ANALYSIS OF THE PROJECT

The non-illuminated pedestrian blade sign consists of aluminum material and vinyl graphic lettering. The size of the sign complies with the zoning standards set forth in the Orange Municipal code. The materials and location on the building comply with the Historic Preservations Design Standards (HPDS) for Old Towne.

Staff supports the design and recommends that the DRC approve the sign proposal.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 300 feet of the project on or before April 3, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15301 (Class 1 - Existing Facilities) because the project consists of adding new signage to an existing commercial property. There is no environmental public review required for a Categorical Exemption.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The proposed project is in conformance with the HPDS for Old Towne commercial signage. The sign size, placement, and materials meet the requirements set forth in the HPDS and Orange Municipal Code. As such, the new sign shall have no adverse impact on the appearance or character of the Old Towne Historic District.

2. In any National Register Historic District, the proposed work complies with the Secretary of the

Interior's standards and guidelines.

Projects found to be in conformance with the HPDS are generally considered to be in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The proposed sign is compatible with the building in its placement, size, design, and materials and will not negatively impact the streetscape of the Old Towne Historic District.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.

The proposed sign conforms to the prescriptive standards and design criteria set forth in the HPDS for Old Towne and Orange Municipal Code Section 17.36, as described above. The signage is proposed to be placed in a location appropriate for signage within a historic district and will not detract from the appearance of the property.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans (date stamped approved April 16, 2025, and in the project case file), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. After the application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting. If the Community Development Director determines that any proposed change is substantial, he may refer the plans to the Design Review Committee for subsequent review and determination.
2. The applicant agrees, as a condition of City's approval of Design Review No. 5163, to indemnify, defend, and hold harmless, at applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action or proceeding brought against the City, including, but not limited to, any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act ("CEQA") or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action or proceeding. City may, in its sole discretion, participate in the defense of any claim, action or proceeding but such participation

shall not relieve applicant of the obligations of this condition. In the event the applicant is required to defend City in connection with such claim, action or proceeding, City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgment rendered in the proceeding. Further, applicant agrees to indemnify, defend and hold harmless the City for all costs and expenses incurred in enforcing this provision.

3. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060
7. An encroachment permit from Public Works Department is required if any work during the construction of the sign will obstruct the public right-of-way.

14. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - DPR Form
- Attachment 3 - Project Plans
- Attachment 4 - Digital Materials Board
- Attachment 5 - Development Standards Table



Agenda Item

Design Review Committee

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4/16/2025

File #: 25-0159

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FROM: Angelo Huang, Assistant Planner

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2. SUMMARY

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3. RECOMMENDED ACTION

Approve Design Review No. 5163.

4. BACKGROUND INFORMATION

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Owner: 234 W. Chapman Avenue LLC - Jay Rutter

Property Location: 238 W. Chapman Avenue

General Plan Designation: Old Towne Mixed Use 24, 6-24 du/ac; 1.0-1.5 FAR (OTMIX24)

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This project includes:

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8. ANALYSIS OF THE PROJECT

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Staff supports the design and recommends that the DRC approve the sign proposal.

9. ADVISORY BOARD RECOMMENDATION

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10. PUBLIC NOTICE

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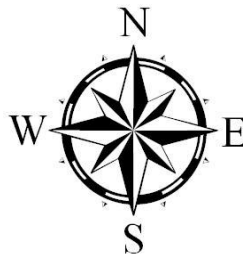
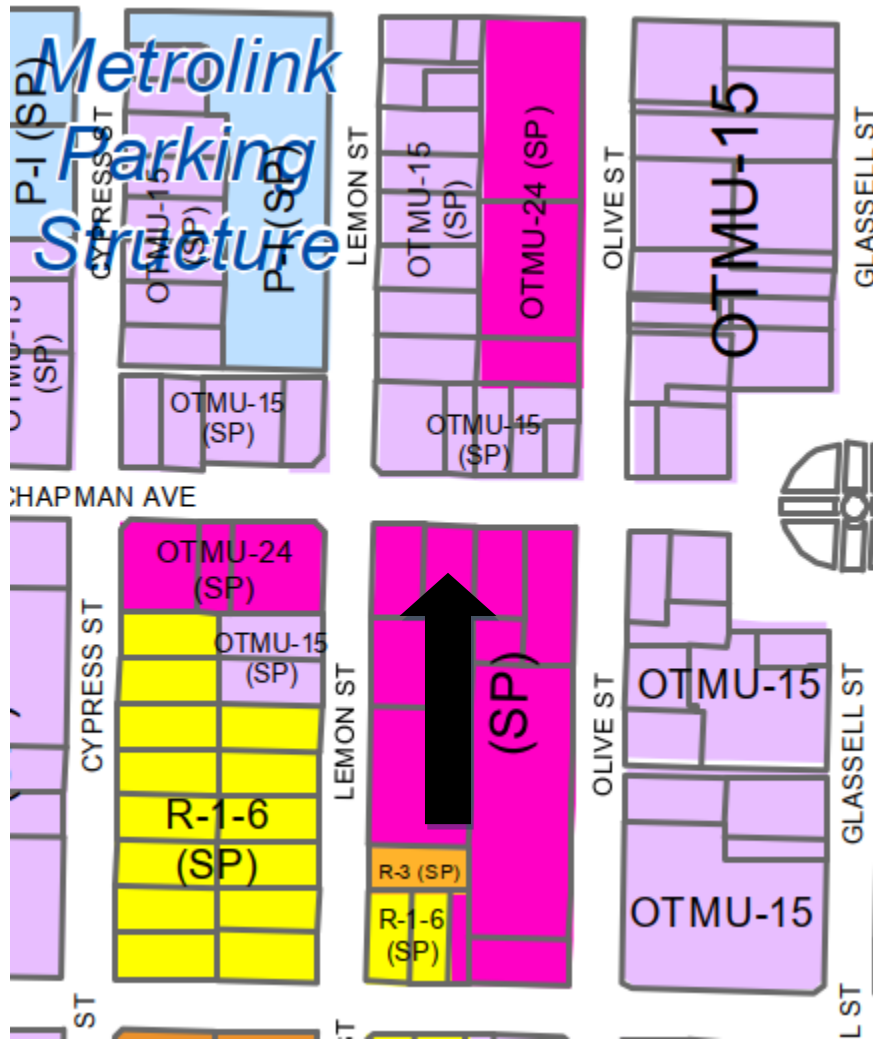
14. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - DPR Form
- Attachment 3 - Project Plans
- Attachment 4 - Digital Materials Board
- Attachment 5 - Development Standards Table

Vicinity Map

238 W. Chapman Avenue

Design Review 5163



CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 30-159844
HRI # 039210
Trinomial ORA
NRHP Status Code 1D

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 4

*Resource Name or #:
(Assigned by Recorder)

CHAPMAN_W_234__APN_390-663-18

P1. Other Identifier: See B13 Remarks

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 234 - W CHAPMAN AVE , # City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone ' mE/ mN

e. Other Locational Data: Same APN as: 238 W. Chapman.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Wood siding

What has been known historically as the Vineland Home is comprised of a two-story building with a hip roof and regularly spaced, sash windows. Ornamental brackets embellish the chimney, but other than this the building is simple and unadorned.

*P3b. Resource Attributes: (HP5)--Hotel/motel
(List attributes and codes)

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☒ Element of District ☐ District ☐ Other (Isolates, etc.)



P5b. Description of Photo: 2012
(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1885

☒ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)
D. Gest, P. LaValley, D.
Matsumoto; J. Snow

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded:

May, 2005; November, 2009

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet(s) ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # 30-159844

HRI # 039210

*NRHP Status Code 1D

Page 2 of 4

*Resource Name or #:
(Assigned by Recorder)

CHAPMAN_W_234__APN_390-663-18

B1. Historic Name: Vineland Home/Hotel

B2. Common Name:

B3. Original Use: MIX

B4. Present Use: COM

*B5. Architectural Style: Victorian

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1885 ☒ Historic ☐ Prehistoric ☐ Both

A sketch of the building reveals that it was originally built on the rear of an early-century, one-story, L-plan Victorian cottage. Since the 1982 Survey, two windows have been removed and the fire escape stairs and the open back area are enclosed. As of 2005, the house was replaced by a stucco store-front, commercial building which renders the original hotel building nearly invisible from the street. The front, mission façade was removed, and the hotel restored in 2011 to be repurposed for a commercial use.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Hotel/Residence

Period of Significance: Old Towne: Early Settlement (c. 1870 - 1920)

Applicable Criteria: AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: Excellent Condition - Restored.

Site Integrity:

Opportunities:

The Vineland Home was built in 1885 by Dr. W. F. Baily as a hotel at the rear of his own home. At that time, only one other hotel, the Orange Hotel, existed in town. The hotel contained fourteen rooms which are still used today as a boarding house. The name Vineland was chosen to reflect the then most abundant agricultural crop in Orange--vineyards. The building remains today as the oldest hotel in Orange and perhaps the oldest in Orange County. The 1886 sketch reveals that the hotel building remains in its architectural state and always was barely visible from the street due to the presence of the house in front. According to Sanborn Maps, this building served as a boarding house under several other names over the early part of the 1900s. It was the Orange Villa (1905), the Hotel Haynes (1909), and an unnamed boarding house

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News. Sanborn Maps (1905, 1909, 1922, 1950).

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

Previously known in 1991/2005 Surveys as: 222-228/226 W. Chapman. Prior to the 2011 restoration, the historic hotel was only visible from rear.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: November, 2009

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 30-159844
HRI # 039210
Trinomial ORA

Page 3 of 4

*Resource Name or #:
(Assigned by Recorder)

CHAPMAN_W_234__APN_390-663-18

Recorded by:

D. Gest, P. LaValley, D. Matsumoto; J. Snow
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: May, 2005; November, 2009

☒ Continuation ☐ Update

Years Surveyed: 1982, 1991, 2005

Description of Photo: 1991

Listed in National Register: 1997

General Plan: OTMIX-24 # of Buildings: 1

Planning Zone: OTMU-24 # of Stories: 1

Lot Acre: # of Units: 2

Principal Building Sqft: 2969

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 30-159844
HRI # 039210
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Page 4 of 4

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Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: May, 2005; November, 2009

☒ Continuation ☐ Update

B10. Significance (Continued from Pg.2):

(1922, 1950) .

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial ORA
NRHP Status Code 6Z

Other Listings: _____

Review Code: _____

Reviewer: _____

Date: _____

Page 1 of 3

*Resource Name or #: _____
(Assigned by Recorder)

CHAPMAN_W_238__APN_390-663-18

P1. Other Identifier: _____

*P2. Location:

☐ Not for Publication

☒ Unrestricted

*a. County:

Orange

and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: _____

Date: _____

T _____

R _____

1/4 of _____

1/4 of Sec _____

B.M. _____

c. Address:

238

-

W CHAPMAN

AVE, # _____

City: Orange

Zip: 92866

d. UTM: (Give more than one for large and/or linear resources)

Zone _____

' _____

mE/ _____

mN _____

e. Other Locational Data: Same APN as: 234 W. Chapman.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: _____

*P3b. Resource Attributes:

(List attributes and codes)

*P4. Resources Present:

☒ Building

☐ Structure

☐ Object

☐ Site

☒ Element of District

☐ District

☐ Other (Isolates, etc.)



P5b. Description of Photo: _____

2013

(View, date, accession #)

*P6. Date Constructed/ Age and Source:

2011

☐ Historic

☐ Prehistoric

☐ Both

*P7. Owner and Address:

*P8. Recorded by:

(Name, affiliation, and address)

City Staff

City of Orange, CDD

300 E. Chapman Ave.

Orange, CA 92866

*P9. Date Recorded:

June, 2013

*P10. Survey Type:

(Describe)

Reconnaissance

*P11. Report Citation:

(Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2013).

*Attachments:

☐ NONE

☐ Location Map

☒ Continuation Sheet(s)

☒ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record

☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other (List): _____

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or #:
(Assigned by Recorder)

CHAPMAN_W_238__APN_390-663-18

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: MIX

B4. Present Use: MIX

*B5. Architectural Style: Contemporary

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 2011 ☐ Historic ☐ Prehistoric ☐ Both

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Commercial

Period of Significance: Located in Old Towne

Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity:

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: Not surveyed.

(Sketch Map with North arrow required.)

*B14. Evaluator: City Staff

*Date of Evaluation: June, 2013

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

CHAPMAN_W_238__APN_390-663-18

Recorded by:

City Staff
City of Orange, CDD
300 E. Chapman Ave.
Orange, CA 92866

Date Recorded: June, 2013

☒ Continuation

☐ Update

Years Surveyed:

Description of Photo:

Listed in National Register:

General Plan: OTMIX-24 # of Buildings: 1

Planning Zone: OTMU-24 # of Stories: 2

Lot Acre: # of Units: 2

Principal Building Sqft:

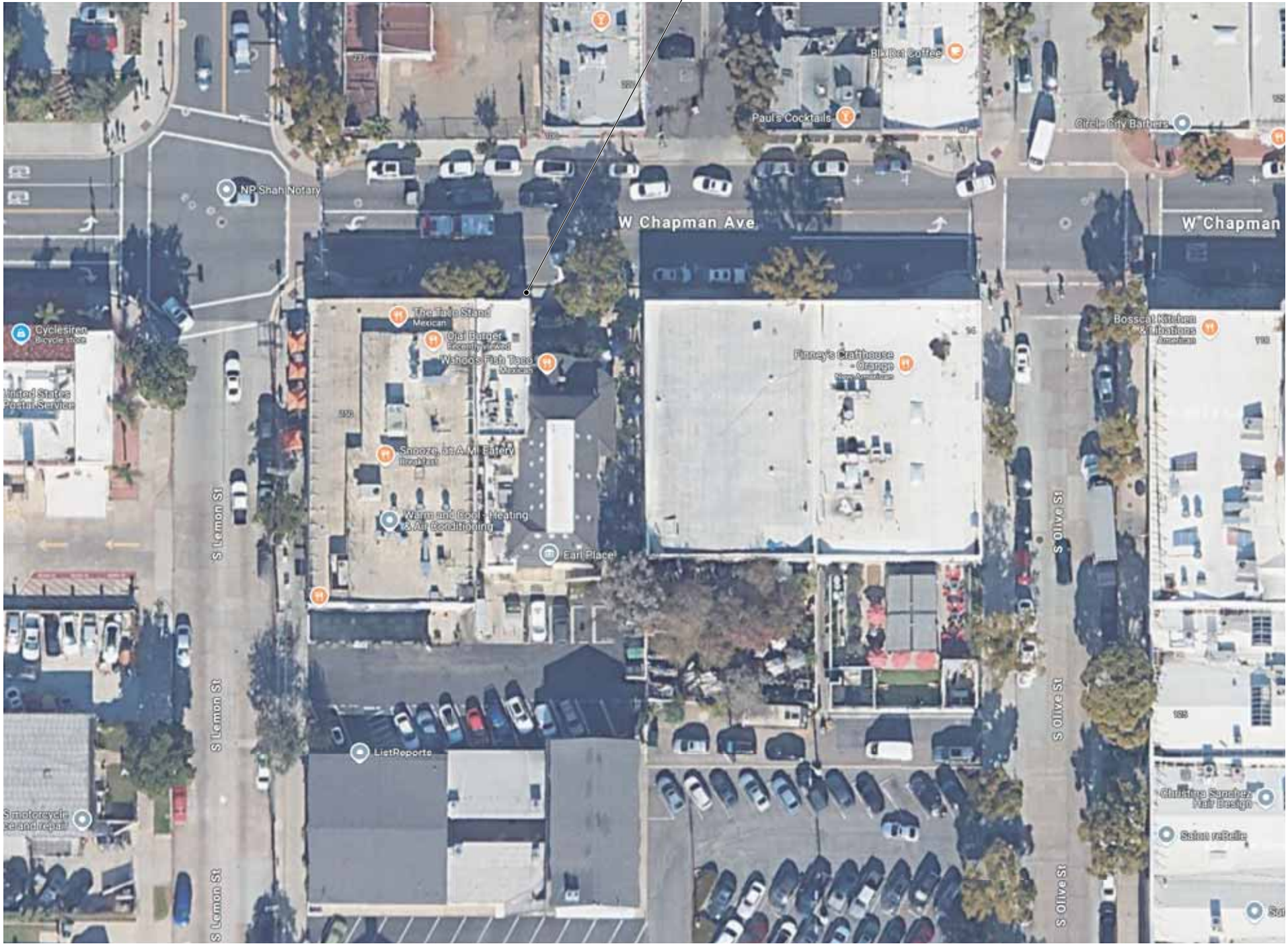
B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

SIDE STUDIO

SHOP DRAWINGS - 11.21.24



SITE PLAN
SCALE: N.T.S.



LEGEND

1. Blade Sign

NOTE TO CLIENT:

P 1.1 THIS LOCATION MARKER INDICATES SIGN THAT REQUIRES CITY APPROVED SIGN PERMIT. REVIEW LOCATION CAREFULLY. ANY CHANGES AFTER SIGN PERMIT APPROVAL WILL REQUIRE ADDITIONAL FEES FOR SIGN PERMIT RESUBMITTAL AND/OR SIGN PROGRAM MODIFICATION, IF APPLICABLE.

NOTE TO INSTALLERS:

P 1.1 THIS LOCATION MARKER INDICATES SIGN WITH CITY APPROVED SIGN PERMIT. DO NOT CHANGE LOCATION DURING INSTALL. IF LOCATION CHANGE IS REQUESTED BY CLIENT OR LANDLORD, CALL DESIGNER IN CHARGE.
DESIGNER: CARLOS D.
PHONE: 714.278.3088

The following drawings, specifications, ideas, designs, and arrangements represented thereby, are and shall remain the property of the designer, and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of the designer. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance of these restrictions.

JB3D

731 N. MAIN ST
ORANGE, CA 92868
714.744.2300

SIDE STUDIO

238 W CHAPMAN,
ORANGE, CA

CLIENT
SIDE STUDIO

CONTACT
TOBIN WHITE

REVISIONS

JOB #
24-1285

DATE
11.21.24

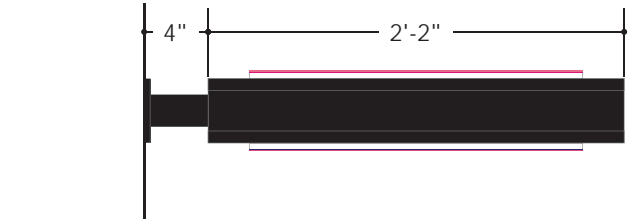
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0 - LOCATION PLAN

SCALE
AS NOTED

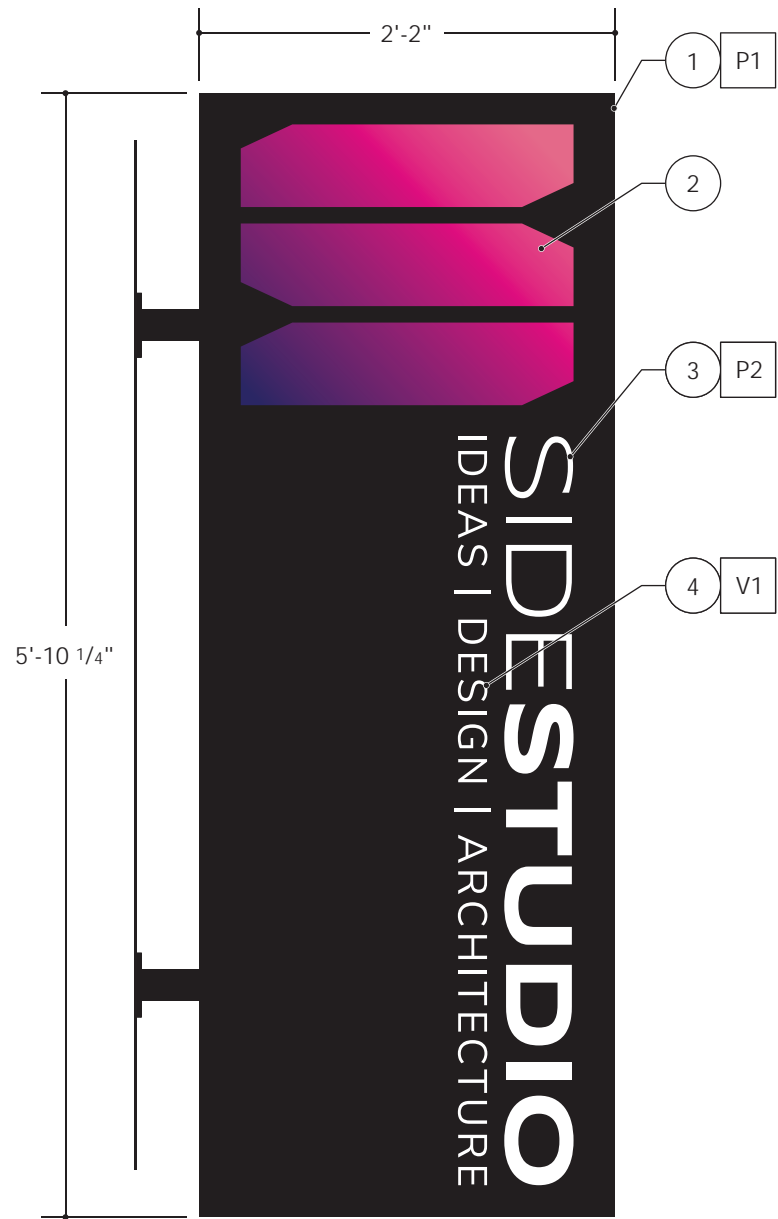
DESIGNER
CD

SHT#

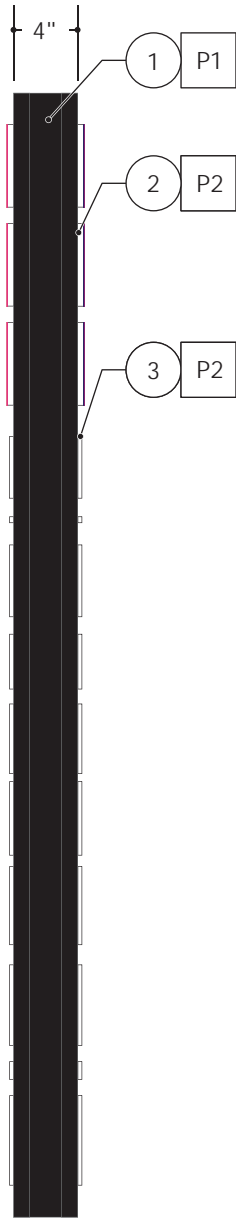
PIW/Small Jobs/24-1285 Side Studio Blade Sign/OK Drawings/1-Blade Sign.ai



PLAN VIEW
SCALE: 1"= 1'



FRONT ELEVATION VIEW
SCALE: 1"= 1'



SIDE VIEW
SCALE: 1"= 1'



BACK ELEVATION VIEW
SCALE: 1"= 1'



PROPOSED RENDERING
SCALE: N.T.S.

DESIGN NOTES:

1. NEW FABRICATED, 1/8 THICK ALUMINUM BLADE SIGN WITH REMOVABLE FACES.
2. 3/8" THICK ALUMINUM F.C.O LETTERS WITH PAINTED EDGES, DIGITAL PRINT GRAPHICS AND SATIN CLEAR COAT OVER GRAPHICS.
3. 1/4" THICK ALUMINUM F.C.O LETTERS.
4. VINYL GRAPHICS.

COLOR NOTES:

- P1. XXXXXXXXXX AKZONOBEL SATIN BLACK
- P2. XXXXXXXXXX AKZONOBEL SATIN WHITE
- V1. XXXXXXXXXX ARLON 02 WHITE VINYL

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JB3D

731 N. MAIN ST
ORANGE, CA 92868
714.744.2300

SIDE STUDIO

238 W CHAPMAN,
ORANGE, CA 92866

CLIENT
SIDE STUDIO

CONTACT
TOBIN WHITE

REVISIONS

JOB #
24-1285

DRAWING TITLE
1 - BLADE SIGN

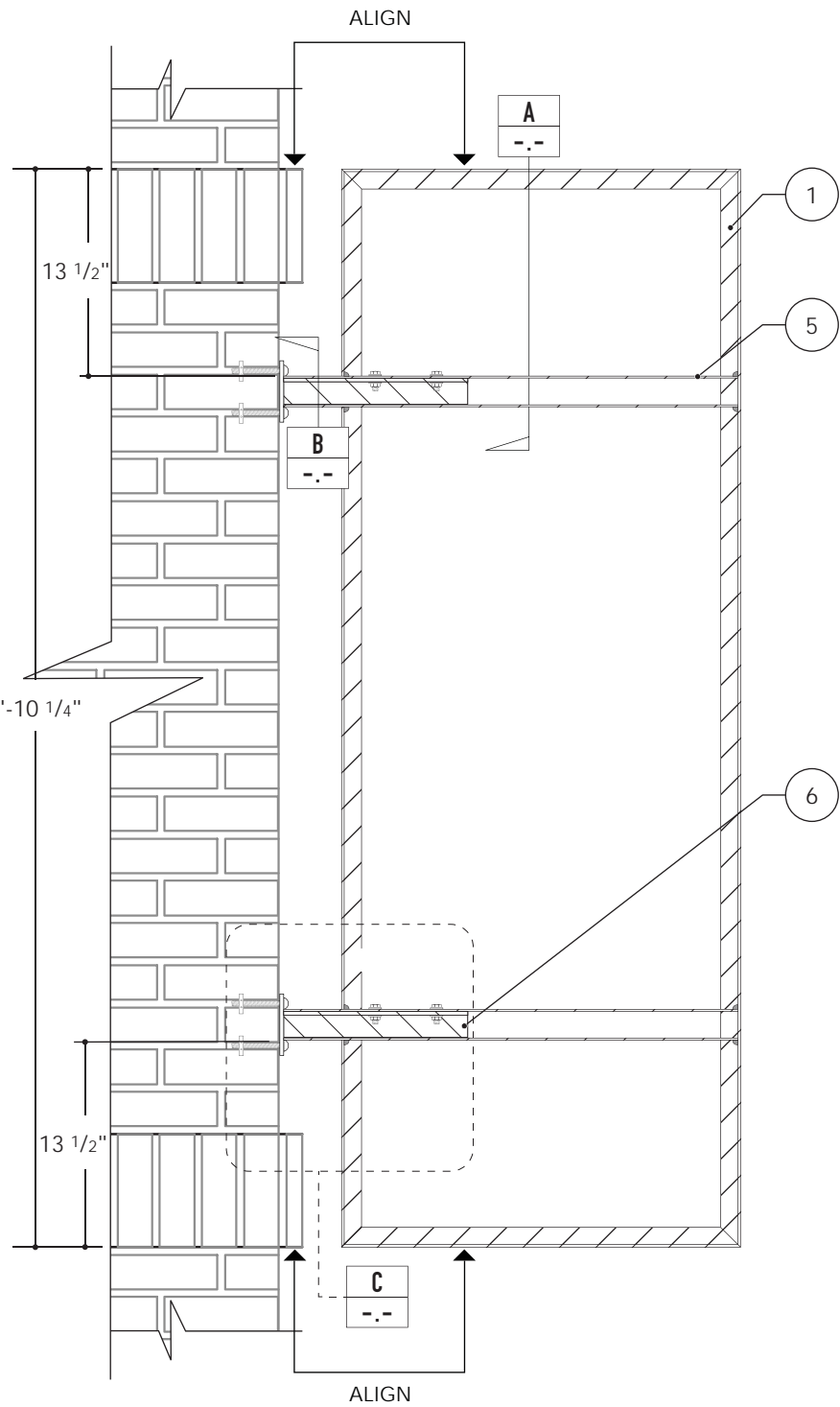
DATE
11.21.24

SCALE
AS NOTED

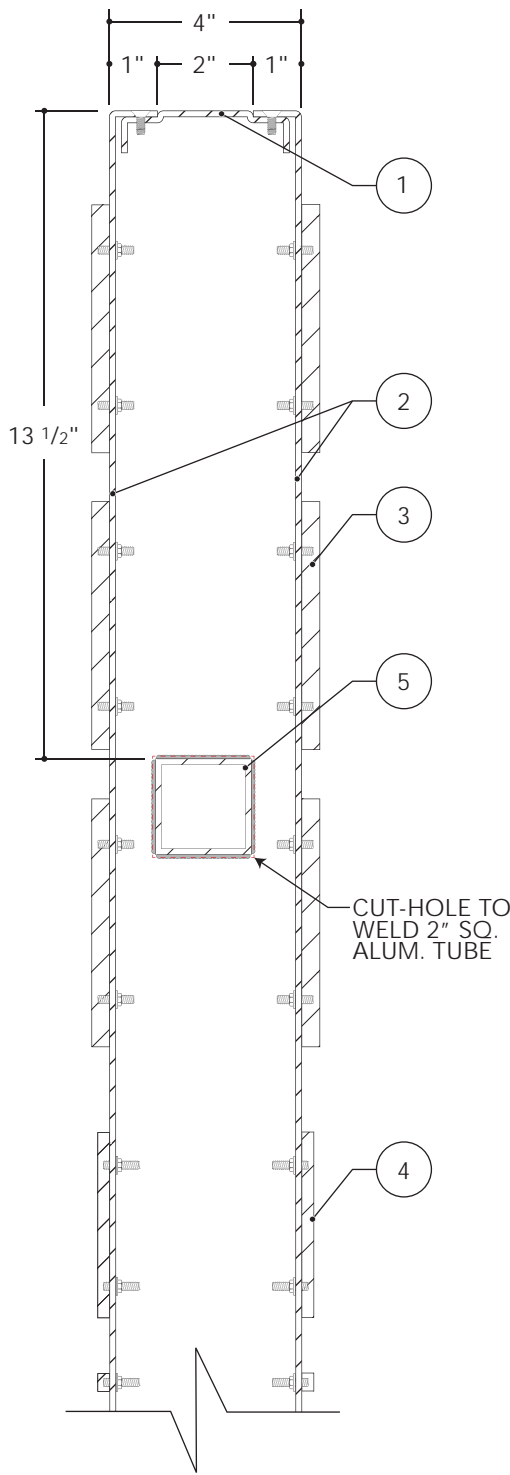
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CD

SHT#

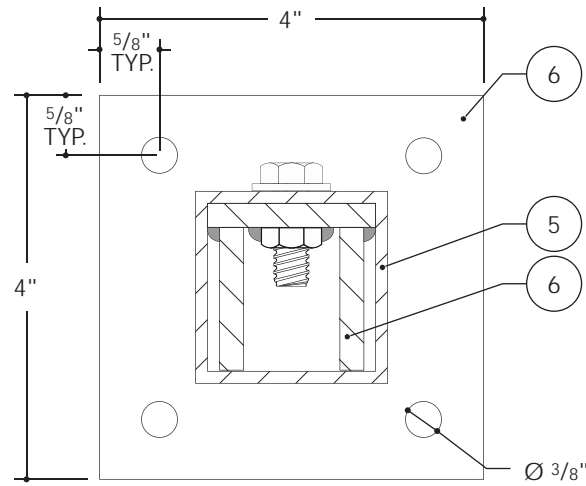
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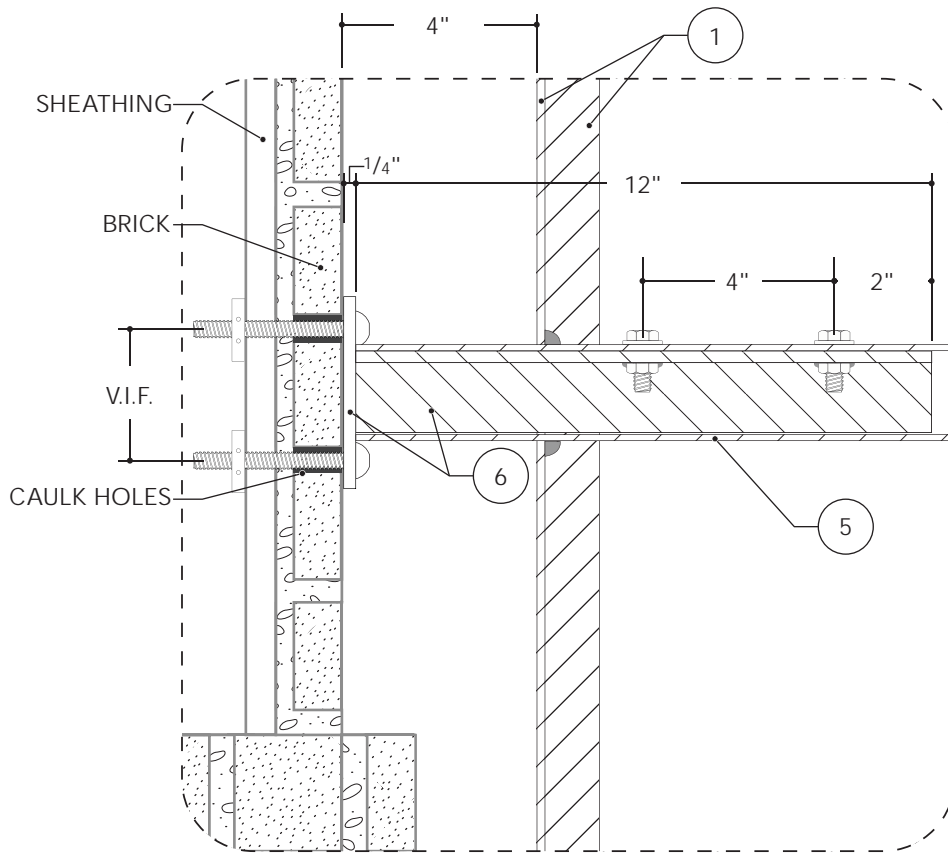
BLADE SIGN DETAILS
SCALE: 1" = 1'



A SECTION DETAIL
SCALE: 3" = 1'



B SECTION DETAIL
SCALE: HALF SIZE



C SECTION DETAIL
SCALE: 3" = 1'

DESIGN NOTES:

1. NEW FABRICATED, 1/8" THICK ALUMINUM BLADE SIGN WITH REMOVABLE FACES.
2. 1/8" THICK ALUMINUM REMOVABLE FACES WITH 1" RETURNS.
3. 3/8" THICK ALUMINUM F.C.O LETTERS ATTACHED TO FACE WITH DOUBLE SIDED TAPE, SILICONE, & SECURITY STUDS.
4. 1/4" THICK ALUMINUM F.C.O LETTERS ATTACHED TO FACE WITH DOUBLE SIDED TAPE, SILICONE, & SECURITY STUDS.
5. 2" SQ. ALUMINUM TUBE WELDED TO BLADE SIGN.
6. 12" LONG, 1/4" THICK FABRICATED STAINLESS STEEL MOUNTING BRACKET WITH CAPTIVATED NUTS.

NOTE:
***MINIMUM OF 2 SECURITY STUDS PER LETTER**

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JB3D

731 N. MAIN ST
ORANGE, CA 92868
714.744.2300

SIDE STUDIO

238 W CHAPMAN,
ORANGE, CA 92866

CLIENT
SIDE STUDIO

CONTACT
TOBIN WHITE

REVISIONS

JOB#
24-1285

DATE
11.21.24

DRAWING TITLE
1 - BLADE SIGN

SCALE
AS NOTED

DESIGNER
CD

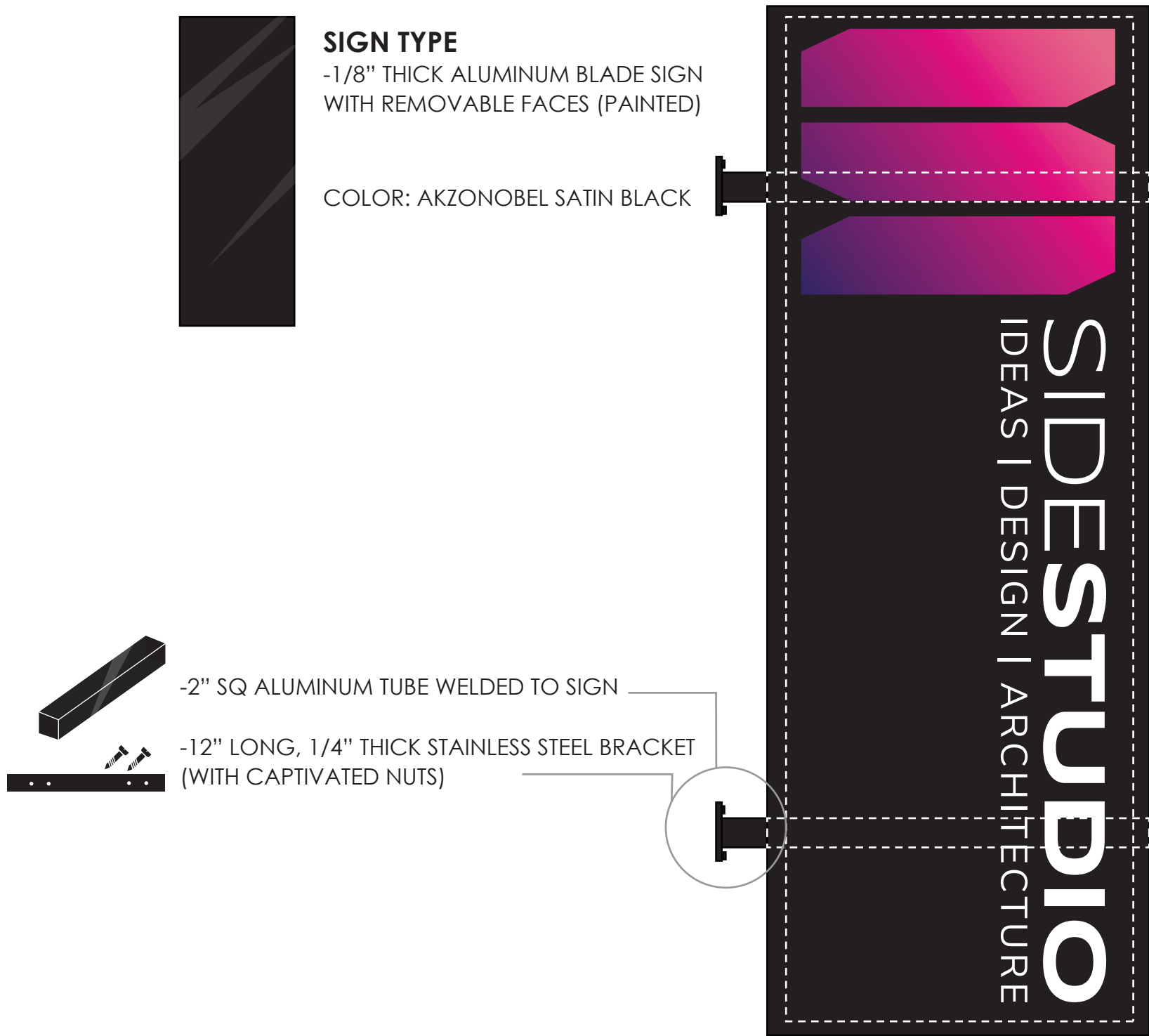
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1.1

SIDE STUDIO SIGN MATERIAL BOARD

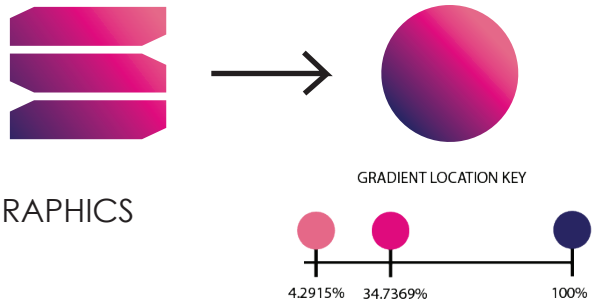
238 W Chapman Ave, Suite 200

Orange, CA 92866



LOGO SYMBOL

- 3/8" THICK ALUMINUM F.C.O.
- PAINTED EDGES
- DIGITAL PRINT GRAPHICS
- SATIN CLEAR COAT OVER GRAPHICS



LARGE TEXT

- 1/4" THICK ALUMINUM F.C.O. LETTERS



COLOR: AKZONOBEL SATIN WHITE

SUBTEXT

- VINYL GRAPHICS



COLOR: ARLON 02 WHITE VINYL

***Development Standards Reference Table
Old Towne Mixed Use 24 (OTMU-24 (SP)) Zoning District***

	Required/Permitted	Proposed	Code Section
<i>Sign Area</i>	19 square feet	12.6 square feet	17.36.080
<i>Number of signs</i>	One sign per tenant	One sign	17.36.080
<i>Sign height from floor</i>	8 feet minimum	14.5 feet	HPDS



Agenda Item

Design Review Committee

Item #: 3.2.

4/16/2025

File #: 25-0169

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Angelo Huang, Assistant Planner

1. SUBJECT

A request to construct a new commercial bank building with a drive-through ATM at 2355 N. Tustin Street (Design Review No. 5151).

2. SUMMARY

A proposal to construct a 5,372-square-foot bank building with a drive-through ATM, parking lot, and landscaping at 2355 N. Tustin Street.

3. RECOMMENDED ACTION

Recommend approval of Design Review No. 5151 to the Planning Commission.

4. BACKGROUND INFORMATION

Applicant/Owner: BTProp4, LLC - Stephen Thorp

Property Location: 2355 N. Tustin Street

General Plan Designation: General Commercial Max 1.0 FAR (GC)

Zoning Classification: Limited Business Tustin Redevelopment Project Area (C-TR)

Existing Development: Parking Lot

Associated Application: Conditional Use Permit No. 3230, Minor Site Plan No. 1174

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

This project includes:

New Building

A new 5,372-square-foot rectilinear building with a modern façade featuring charcoal stucco, decorated aluminum panel walls, and a span of glazing at the north building entrance. The building exhibits a flat roof with varying parapet heights, with a low parapet of 17 feet 9 inches surrounding the building and a high parapet of 20 feet at the northeast corner. Light fixtures are attached to the building.

Site Improvements

The project includes a reconfigured parking lot with 21 code-compliant off-street parking spaces and eight existing compact parking spaces. The parking lot will be illuminated by six light poles.

Landscaping

The proposed landscaping plan includes the preservation of 13 existing trees, the removal of six trees, and the planting of 27 new trees, resulting in a total of 40 trees on the site, which meets the number of required trees per the City's landscape guidelines. The new landscaping will feature 24-inch-box trees and 5-gallon shrubs, enhancing the overall aesthetic appeal of the site. Irrigation plans are not provided at this time and are not required until building plan check.

Drive-through ATM

The project also includes a drive-through ATM for the prospective bank tenant that will occupy the new building.

The development standards table is located on Sheet C101 of the project plans (Attachment 1).

6. EXISTING SITE

The site is 37,867 square feet and consists of parking and landscaping that was part of contiguous parking area serving the former Best Buy store at 2375 N. Tustin Street. This site is an independent parcel from the former Best Buy property located at 2375 N. Tustin Street.

7. EXISTING AREA CONTEXT

The area consists of commercial buildings and uses along the North Tustin Street commercial corridor, across the street from the former Village at Orange Mall, and two multi-family developments are located northeast and southeast of the site.

8. ANALYSIS OF THE PROJECT

The project provides design complimentary to the Tustin Street Design Standards and is appropriate to the North Tustin Street commercial corridor in that rectilinear form with varying materials are used on the building. The site is adequately landscaped and code compliance is achieved. No issues have been identified and staff recommends approval of the project.

9. ADVISORY BOARD RECOMMENDATION

On September 4, 2024, and December 4, 2024, the City's interdepartmental Staff Review Committee (SRC) reviewed the proposed plans and supplemental documents. On March 3, 2025, the SRC found the plans code compliant and recommends Design Review Committee (DRC) approval of the project.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 400 feet of the project on or before April 3, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of the construction of a new, small (<10,000 square foot in urbanized area) structure zoned for such use, not involving the significant

use of hazardous substances, where all necessary public services are available, and where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC recommend that the Planning Commission approve the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.G.3).

The proposed commercial building project enhances the appearance of the site and the surrounding streetscape. The site adheres to the Tustin Street Design Standards in that the project's design focuses on creating a visually appealing and cohesive aesthetic. The new building features a consistent and integrated design theme that aligns with community standards. It includes an exterior design with colors, and materials that promote an area-compatible appearance. The flat roof, stucco, and metal façade compliment the adjacent property to the north, creating a sense of continuity. Furthermore, the proposed landscaping complements the building design and seamlessly integrates with neighboring sites, while also creating a unified entryway into the adjacent property at 2375 N. Tustin.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans (date stamped approved [Reserved for Planning Commission decision date], 2025, and in the project case file), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. After the application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting. If the Community Development Director determines that any proposed change is substantial, he may refer the plans to the Design Review Committee for subsequent review and determination.
2. The applicant agrees, as a condition of City's approval of Conditional Use Permit No. 3230, Design Review No. 5151, and Minor Site Plan No. 1174, to indemnify, defend, and hold harmless, at applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action or proceeding brought against the City, including, but not limited to, any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act

("CEQA") or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action or proceeding. City may, in its sole discretion, participate in the defense of any claim, action or proceeding but such participation shall not relieve applicant of the obligations of this condition. In the event the applicant is required to defend City in connection with such claim, action or proceeding, City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgment rendered in the proceeding. Further, applicant agrees to indemnify, defend and hold harmless the City for all costs and expenses incurred in enforcing this provision.

3. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.
4. The final approved conditions of approval shall be reprinted on the construction documents when submitting to the Building Division for the plan check process.
5. Building permits shall be obtained for all construction work, as required by the City of Orange, Community Development Department's Building and Safety Services. Failure to obtain the required building permits may be cause for revocation of this entitlement.
6. In conjunction with construction, all activity will be limited to the hours between 7:00 a.m. and 8:00 p.m. Monday through Saturday. No construction activity will be permitted on Sundays and Federal holidays.
7. Any graffiti shall be removed within 72 hours from the time the City of Orange Notice of Violation is received by the applicant/property owner.
8. Glare from any new or remodeled lighting on the premise shall be installed in such a way to direct, control, and screen the lighting to prevent off site light spillage onto adjoining properties and shall not be a nuisance to any point beyond the exterior boundaries of the property or cause illumination in residential districts in excess of 0.5 foot-candles. Prior to certificate of occupancy, the applicant shall contact the Orange Police Crime Prevention Bureau and set an appointment on-site to test all lighting to ensure it meets OMC standards.

9. In conjunction with the operation of the business, all loading areas and the trash enclosure shall be maintained and kept clean and free of debris.
10. Conditional Use Permit No. 3230, Design Review No. 5151, and Minor Site Plan No. 1174 shall become void if not vested within two years from the date of approval. Time extensions may be granted as specified in Title 17 of the Orange Municipal Code.

Police Department:

11. Security and design measures that employ defensible space concepts shall be utilized in development and construction plans. These measures incorporate the concepts of Crime Prevention through Environmental Design (CPTED), which involves considerations such as placement and orientation of structures, access and visibility of common areas, placement of doors, windows, addressing, and landscaping. CPTED promotes public safety, physical security and allows citizens the ability to monitor activity. It is based on five concepts to provide non-invasive and permanent measures to prevent and reduce crime: territoriality, natural surveillance, access control, activity support, and maintenance. The project shall also comply with the requirements contained in the City of Orange Municipal Code Chapter 15.52, Building Security Construction Standards reference Ordinance #6-22.

Subdivision:

12. Site grading shall conform to the latest California Building Code Section 1804. The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of 5% for pervious surfaces, and 2% for impervious surfaces, at a minimum distance of 10 feet. (prior to grading permit)
13. Show all structural BMPs for water quality purpose on Grading Plan. Water quality features shown on the Grading Plan must match WQMP. (prior to grading permit)
14. Prior to building foundation construction, a Certificate Letter of Line and Grade shall be submitted to Public Works Construction Inspector demonstrating that the site grading and pad elevation are completed according to the grading plan. (prior to grading permit)
15. An arborist report and tree removal permit will be required prior to any tree removal.
16. The applicant shall show all sewer and storm drain lines on the Grading Plan. Other utility lines, such as water lines, may also be shown on Grading Plan for reference. (prior to grading permit)

17. Trash receptacle locations and details shall be included on the Grading Plan. The trash storage area shall be constructed per Public Works Standard Plan 409. (prior to grading permit)
18. Upon submittal of the grading plan for plan check, the applicant shall a deposit to cover plan check and inspection services related to the grading activities. (prior to grading permit)
19. Any soil imported or exported shall require a Transportation Permit from Public Works Traffic Division. (prior to grading permit)
20. The contractor shall obtain a Grading Permit from Public Works Department prior to start of any site demolition, clearing and grubbing, and grading. (prior to grading permit)
21. Prior to grading permit issuance, a Drainage Assessment Letter shall be submitted for review and approval by Public Works. The Hydrology Study/Report shall comply with the Orange County Hydrology Manual and Addenda (OCHM). Design Storm Frequency at a minimum, shall be 10-year storm (25-year in a sump condition), and a 100-year storm event. Proposed improvements shall comply with freeboard requirements per OCHM and County Local Drainage Manuals.
22. Plans preparation and submittals shall be per Development Services Plan Preparation Guidelines and Checklist, and Checklist for Submittal Packages. (prior to grading permit).
23. The applicant shall submit a grading plan in compliance with City standards for review and approval by the Public Works Director. All grading and improvements on the subject property shall be made in accordance with the Manual of Grading and Standard Plans and Specifications to the satisfaction of the Public Works Director. The applicant may be required to include Phased Erosion and Sediment Control Plans, Site Demolition Plan, and Utility Plan as parts of the grading plan. (prior to grading permit)
24. Pavement restorations on streets, under Moratorium or with a Pavement Condition Index of 75 or greater, shall be done per Instruction 15 of the Encroachment Permit. (prior to issuance of certificate of occupancy)
25. The plans shall show that sanitary sewer system connecting from the buildings to public mainline shall be private and maintained by the property owner. (prior to certificate of occupancy)
26. The applicant shall repair any cracked, uneven, or damaged public sidewalk, curb and gutter along property frontage. (prior to issuance of certificate of occupancy).

- 27. All private ways shall conform to Engineering Standard Plan 108. (prior to grading permit)
- 28. Utilities serving the development, such as electric, cable television, street lighting and communication shall be installed underground, completed and approved by the appropriate utility provider. (prior to issuance of certificate of occupancy)
- 29. All works within public right-of-way and public utility easements will require Encroachment Permits, including sidewalk and driveway constructions and utility main and lateral constructions. (prior to grading permit)

Water:

- 30. Prior to issuance of encroachment permit, the applicant must prepare and provide product material submittals consistent with the water improvement plans for all proposed public water system facilities to the Water Division per the City of Orange Standard Specifications and Plans for the Construction of Water System for review and approval.
- 31. Plans submitted during plan check must show that the minimum separation requirements are met and that each of the various designer's plan sets match. The applicant's consultant preparing the improvement and utility plans must coordinate their plans with the consultants preparing the landscape, architectural, surface water quality management, fire master and/or fire suppression plans so that all designs are consistent.
- 32. Plans submitted during plan check must show that the water improvement plans are consistent with the fire suppression plans and or fire master plan. The applicant's consultant preparing the water improvement plans must coordinate their plans with the consultant preparing the fire suppression plans and/or fire master plan so that their designs concur.
- 33. Prior to approval of a water improvement plan, the applicant must satisfy all water main connection, plan check, and inspections charges as determined by the Water Division.
- 34. Prior to issuance of building permit, for the first phase of work, the applicant will be responsible for obtaining approval of all necessary encroachment permits from affected agencies for all public water construction work.
- 35. Prior to issuance of building permit, construction documents must show that permanent signs, awning, surface water quality management features or other structures are not built over water mains, laterals, services, meters, or fire hydrants as required by the Water Division.
- 36. Prior to issuance of building permit, the applicant must submit construction documents that show that an eight-foot minimum clearance is provided between City water mains, laterals, services, meters, fire hydrants, signs, or trees or other substantial shrubs and plants as required by the Water Division. The Water Division will review and approve the construction

documents.

37. Prior to issuance of building permit, the applicant must submit construction documents must show that a six-foot minimum horizontal clearance and a one foot minimum vertical clearance would be maintained between City water mains, laterals, services, meters, fire hydrants and all other utilities, except sewer. The Water Division will review and approve the construction documents.
38. Prior to issuance of building permit, the applicant must submit construction documents must show that the installation of sewer mains in the vicinity of water mains is done per the Department of Public Works Water Division Standard No. 113 and will be approved by the Water Division.
39. Prior to issuance of building permit, the Water Division will approve the type and location of landscaping services, fire services, and backflow prevention devices for proposed City services.
40. Prior to issuance of certificate of occupancy, the applicant will be responsible for the installation of necessary fire hydrants and fire services as approved by the Fire Department and Water Division.
41. Prior to issuance of any grading permit or building permit, the applicant will be responsible for the installation and/or relocation of the proposed or existing public water system facilities to a location and of a design per the improvement plans approved by the Water Division.
42. Prior to issuance of any grading permit, the applicant must construct all public and/or private improvements to the satisfaction of the Water Division. The applicant may be required to enter into an agreement with the City of Orange, and post security in a form and amount acceptable to the City Engineer and/or Water Division to ensure construction of said improvements.
43. Prior to issuance of any grading permit or building permit, the applicant must submit improvement plans to the Water Division for review and approval for any new fire hydrants, domestic water services, fire services, landscape services, backflow prevention devices, and any other proposed improvements or relocations affecting the public water system facilities.

Traffic:

44. In addition to other impact fees that may be applicable, the proposed project will be responsible for paying Transportation Systems Improvement Program (TSIP) fees based on the net change in land uses (proposed project minus existing credits), prior to issuance of building permit. For a complete list of development fees that may be applicable, please visit the City of Orange website:

<https://www.cityoforange.org/our-city/departments/community-development/building-and->

14. ATTACHMENTS

- Attachment 1 - Project Plans
- Attachment 2 - Landscape Plans
- Attachment 3 - Vicinity Map
- Attachment 4 - Arborist Report
- Attachment 5 - Digital Materials Board



Agenda Item

Design Review Committee

Item #: 3.2.

4/16/2025

File #: 25-0169

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Angelo Huang, Assistant Planner

1. SUBJECT

A request to construct a new commercial bank building with a drive-through ATM at 2355 N. Tustin Street (Design Review No. 5151).

2. SUMMARY

A proposal to construct a 5,372-square-foot bank building with a drive-through ATM, parking lot, and landscaping at 2355 N. Tustin Street.

3. RECOMMENDED ACTION

Recommend approval of Design Review No. 5151 to the Planning Commission.

4. BACKGROUND INFORMATION

Applicant/Owner: BTProp4, LLC - Stephen Thorp

Property Location: 2355 N. Tustin Street

General Plan Designation: General Commercial Max 1.0 FAR (GC)

Zoning Classification: Limited Business Tustin Redevelopment Project Area (C-TR)

Existing Development: Parking Lot

Associated Application: Conditional Use Permit No. 3230, Minor Site Plan No. 1174

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

This project includes:

New Building

A new 5,372-square-foot rectilinear building with a modern façade featuring charcoal stucco, decorated aluminum panel walls, and a span of glazing at the north building entrance. The building exhibits a flat roof with varying parapet heights, with a low parapet of 17 feet 9 inches surrounding the building and a high parapet of 20 feet at the northeast corner. Light fixtures are attached to the building.

Site Improvements

The project includes a reconfigured parking lot with 21 code-compliant off-street parking spaces and eight existing compact parking spaces. The parking lot will be illuminated by six light poles.

Landscaping

The proposed landscaping plan includes the preservation of 13 existing trees, the removal of six trees, and the planting of 27 new trees, resulting in a total of 40 trees on the site, which meets the number of required trees per the City's landscape guidelines. The new landscaping will feature 24-inch-box trees and 5-gallon shrubs, enhancing the overall aesthetic appeal of the site. Irrigation plans are not provided at this time and are not required until building plan check.

Drive-through ATM

The project also includes a drive-through ATM for the prospective bank tenant that will occupy the new building.

The development standards table is located on Sheet C101 of the project plans (Attachment 1).

6. EXISTING SITE

The site is 37,867 square feet and consists of parking and landscaping that was part of contiguous parking area serving the former Best Buy store at 2375 N. Tustin Street. This site is an independent parcel from the former Best Buy property located at 2375 N. Tustin Street.

7. EXISTING AREA CONTEXT

The area consists of commercial buildings and uses along the North Tustin Street commercial corridor, across the street from the former Village at Orange Mall, and two multi-family developments are located northeast and southeast of the site.

8. ANALYSIS OF THE PROJECT

The project provides design complimentary to the Tustin Street Design Standards and is appropriate to the North Tustin Street commercial corridor in that rectilinear form with varying materials are used on the building. The site is adequately landscaped and code compliance is achieved. No issues have been identified and staff recommends approval of the project.

9. ADVISORY BOARD RECOMMENDATION

On September 4, 2024, and December 4, 2024, the City's interdepartmental Staff Review Committee (SRC) reviewed the proposed plans and supplemental documents. On March 3, 2025, the SRC found the plans code compliant and recommends Design Review Committee (DRC) approval of the project.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 400 feet of the project on or before April 3, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of the construction of a new, small (<10,000 square foot in urbanized area) structure zoned for such use, not involving the significant

use of hazardous substances, where all necessary public services are available, and where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC recommend that the Planning Commission approve the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.G.3).

The proposed commercial building project enhances the appearance of the site and the surrounding streetscape. The site adheres to the Tustin Street Design Standards in that the project's design focuses on creating a visually appealing and cohesive aesthetic. The new building features a consistent and integrated design theme that aligns with community standards. It includes an exterior design with colors, and materials that promote an area-compatible appearance. The flat roof, stucco, and metal façade compliment the adjacent property to the north, creating a sense of continuity. Furthermore, the proposed landscaping complements the building design and seamlessly integrates with neighboring sites, while also creating a unified entryway into the adjacent property at 2375 N. Tustin.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans (date stamped approved [Reserved for Planning Commission decision date], 2025, and in the project case file), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. After the application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting. If the Community Development Director determines that any proposed change is substantial, he may refer the plans to the Design Review Committee for subsequent review and determination.
2. The applicant agrees, as a condition of City's approval of Conditional Use Permit No. 3230, Design Review No. 5151, and Minor Site Plan No. 1174, to indemnify, defend, and hold harmless, at applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action or proceeding brought against the City, including, but not limited to, any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act

("CEQA") or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action or proceeding. City may, in its sole discretion, participate in the defense of any claim, action or proceeding but such participation shall not relieve applicant of the obligations of this condition. In the event the applicant is required to defend City in connection with such claim, action or proceeding, City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgment rendered in the proceeding. Further, applicant agrees to indemnify, defend and hold harmless the City for all costs and expenses incurred in enforcing this provision.

3. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.
4. The final approved conditions of approval shall be reprinted on the construction documents when submitting to the Building Division for the plan check process.
5. Building permits shall be obtained for all construction work, as required by the City of Orange, Community Development Department's Building and Safety Services. Failure to obtain the required building permits may be cause for revocation of this entitlement.
6. In conjunction with construction, all activity will be limited to the hours between 7:00 a.m. and 8:00 p.m. Monday through Saturday. No construction activity will be permitted on Sundays and Federal holidays.
7. Any graffiti shall be removed within 72 hours from the time the City of Orange Notice of Violation is received by the applicant/property owner.
8. Glare from any new or remodeled lighting on the premise shall be installed in such a way to direct, control, and screen the lighting to prevent off site light spillage onto adjoining properties and shall not be a nuisance to any point beyond the exterior boundaries of the property or cause illumination in residential districts in excess of 0.5 foot-candles. Prior to certificate of occupancy, the applicant shall contact the Orange Police Crime Prevention Bureau and set an appointment on-site to test all lighting to ensure it meets OMC standards.

9. In conjunction with the operation of the business, all loading areas and the trash enclosure shall be maintained and kept clean and free of debris.
10. Conditional Use Permit No. 3230, Design Review No. 5151, and Minor Site Plan No. 1174 shall become void if not vested within two years from the date of approval. Time extensions may be granted as specified in Title 17 of the Orange Municipal Code.

Police Department:

11. Security and design measures that employ defensible space concepts shall be utilized in development and construction plans. These measures incorporate the concepts of Crime Prevention through Environmental Design (CPTED), which involves considerations such as placement and orientation of structures, access and visibility of common areas, placement of doors, windows, addressing, and landscaping. CPTED promotes public safety, physical security and allows citizens the ability to monitor activity. It is based on five concepts to provide non-invasive and permanent measures to prevent and reduce crime: territoriality, natural surveillance, access control, activity support, and maintenance. The project shall also comply with the requirements contained in the City of Orange Municipal Code Chapter 15.52, Building Security Construction Standards reference Ordinance #6-22.

Subdivision:

12. Site grading shall conform to the latest California Building Code Section 1804. The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of 5% for pervious surfaces, and 2% for impervious surfaces, at a minimum distance of 10 feet. (prior to grading permit)
13. Show all structural BMPs for water quality purpose on Grading Plan. Water quality features shown on the Grading Plan must match WQMP. (prior to grading permit)
14. Prior to building foundation construction, a Certificate Letter of Line and Grade shall be submitted to Public Works Construction Inspector demonstrating that the site grading and pad elevation are completed according to the grading plan. (prior to grading permit)
15. An arborist report and tree removal permit will be required prior to any tree removal.
16. The applicant shall show all sewer and storm drain lines on the Grading Plan. Other utility lines, such as water lines, may also be shown on Grading Plan for reference. (prior to grading permit)

17. Trash receptacle locations and details shall be included on the Grading Plan. The trash storage area shall be constructed per Public Works Standard Plan 409. (prior to grading permit)
18. Upon submittal of the grading plan for plan check, the applicant shall a deposit to cover plan check and inspection services related to the grading activities. (prior to grading permit)
19. Any soil imported or exported shall require a Transportation Permit from Public Works Traffic Division. (prior to grading permit)
20. The contractor shall obtain a Grading Permit from Public Works Department prior to start of any site demolition, clearing and grubbing, and grading. (prior to grading permit)
21. Prior to grading permit issuance, a Drainage Assessment Letter shall be submitted for review and approval by Public Works. The Hydrology Study/Report shall comply with the Orange County Hydrology Manual and Addenda (OCHM). Design Storm Frequency at a minimum, shall be 10-year storm (25-year in a sump condition), and a 100-year storm event. Proposed improvements shall comply with freeboard requirements per OCHM and County Local Drainage Manuals.
22. Plans preparation and submittals shall be per Development Services Plan Preparation Guidelines and Checklist, and Checklist for Submittal Packages. (prior to grading permit).
23. The applicant shall submit a grading plan in compliance with City standards for review and approval by the Public Works Director. All grading and improvements on the subject property shall be made in accordance with the Manual of Grading and Standard Plans and Specifications to the satisfaction of the Public Works Director. The applicant may be required to include Phased Erosion and Sediment Control Plans, Site Demolition Plan, and Utility Plan as parts of the grading plan. (prior to grading permit)
24. Pavement restorations on streets, under Moratorium or with a Pavement Condition Index of 75 or greater, shall be done per Instruction 15 of the Encroachment Permit. (prior to issuance of certificate of occupancy)
25. The plans shall show that sanitary sewer system connecting from the buildings to public mainline shall be private and maintained by the property owner. (prior to certificate of occupancy)
26. The applicant shall repair any cracked, uneven, or damaged public sidewalk, curb and gutter along property frontage. (prior to issuance of certificate of occupancy).

- 27. All private ways shall conform to Engineering Standard Plan 108. (prior to grading permit)
- 28. Utilities serving the development, such as electric, cable television, street lighting and communication shall be installed underground, completed and approved by the appropriate utility provider. (prior to issuance of certificate of occupancy)
- 29. All works within public right-of-way and public utility easements will require Encroachment Permits, including sidewalk and driveway constructions and utility main and lateral constructions. (prior to grading permit)

Water:

- 30. Prior to issuance of encroachment permit, the applicant must prepare and provide product material submittals consistent with the water improvement plans for all proposed public water system facilities to the Water Division per the City of Orange Standard Specifications and Plans for the Construction of Water System for review and approval.
- 31. Plans submitted during plan check must show that the minimum separation requirements are met and that each of the various designer's plan sets match. The applicant's consultant preparing the improvement and utility plans must coordinate their plans with the consultants preparing the landscape, architectural, surface water quality management, fire master and/or fire suppression plans so that all designs are consistent.
- 32. Plans submitted during plan check must show that the water improvement plans are consistent with the fire suppression plans and or fire master plan. The applicant's consultant preparing the water improvement plans must coordinate their plans with the consultant preparing the fire suppression plans and/or fire master plan so that their designs concur.
- 33. Prior to approval of a water improvement plan, the applicant must satisfy all water main connection, plan check, and inspections charges as determined by the Water Division.
- 34. Prior to issuance of building permit, for the first phase of work, the applicant will be responsible for obtaining approval of all necessary encroachment permits from affected agencies for all public water construction work.
- 35. Prior to issuance of building permit, construction documents must show that permanent signs, awning, surface water quality management features or other structures are not built over water mains, laterals, services, meters, or fire hydrants as required by the Water Division.
- 36. Prior to issuance of building permit, the applicant must submit construction documents that show that an eight-foot minimum clearance is provided between City water mains, laterals, services, meters, fire hydrants, signs, or trees or other substantial shrubs and plants as required by the Water Division. The Water Division will review and approve the construction

documents.

37. Prior to issuance of building permit, the applicant must submit construction documents must show that a six-foot minimum horizontal clearance and a one foot minimum vertical clearance would be maintained between City water mains, laterals, services, meters, fire hydrants and all other utilities, except sewer. The Water Division will review and approve the construction documents.
38. Prior to issuance of building permit, the applicant must submit construction documents must show that the installation of sewer mains in the vicinity of water mains is done per the Department of Public Works Water Division Standard No. 113 and will be approved by the Water Division.
39. Prior to issuance of building permit, the Water Division will approve the type and location of landscaping services, fire services, and backflow prevention devices for proposed City services.
40. Prior to issuance of certificate of occupancy, the applicant will be responsible for the installation of necessary fire hydrants and fire services as approved by the Fire Department and Water Division.
41. Prior to issuance of any grading permit or building permit, the applicant will be responsible for the installation and/or relocation of the proposed or existing public water system facilities to a location and of a design per the improvement plans approved by the Water Division.
42. Prior to issuance of any grading permit, the applicant must construct all public and/or private improvements to the satisfaction of the Water Division. The applicant may be required to enter into an agreement with the City of Orange, and post security in a form and amount acceptable to the City Engineer and/or Water Division to ensure construction of said improvements.
43. Prior to issuance of any grading permit or building permit, the applicant must submit improvement plans to the Water Division for review and approval for any new fire hydrants, domestic water services, fire services, landscape services, backflow prevention devices, and any other proposed improvements or relocations affecting the public water system facilities.

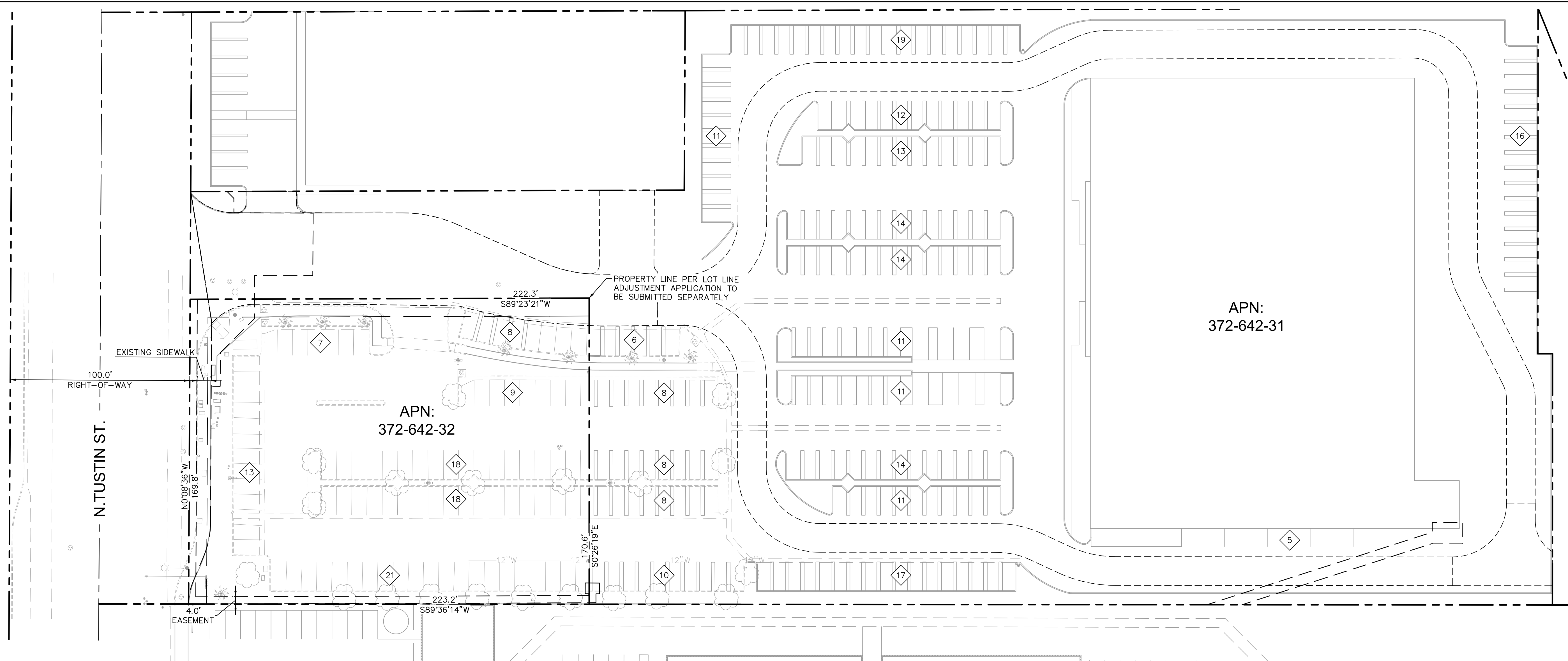
Traffic:

44. In addition to other impact fees that may be applicable, the proposed project will be responsible for paying Transportation Systems Improvement Program (TSIP) fees based on the net change in land uses (proposed project minus existing credits), prior to issuance of building permit. For a complete list of development fees that may be applicable, please visit the City of Orange website:

<https://www.cityoforange.org/our-city/departments/community-development/building-and->

14. ATTACHMENTS

- Attachment 1 - Project Plans
- Attachment 2 - Landscape Plans
- Attachment 3 - Vicinity Map
- Attachment 4 - Arborist Report
- Attachment 5 - Digital Materials Board



PROJECT TEAM

OWNER
STEPHEN THORP
BURNHAM WARD
860 NEWPORT CENTER DR, STE. 100
NEWPORT BEACH, CA 92660
(949) 992-2400
STHORP@BURNHAM-WARD.COM

ARCHITECT
JAMIE PHAM
BICKEL GROUP ARCHITECTURE
3600 SW BIRCH ST, STE. 120
NEWPORT BEACH, CA 92660
(949) 698-3320
JPHAM@BICKELGRP.COM

SITE INFORMATION

ADDRESS: 2355 N TUSTIN ORANGE, CA
ASSESSOR'S PARCEL NUMBER: 372-642-32







APN 372-642-31 PARKING COUNT

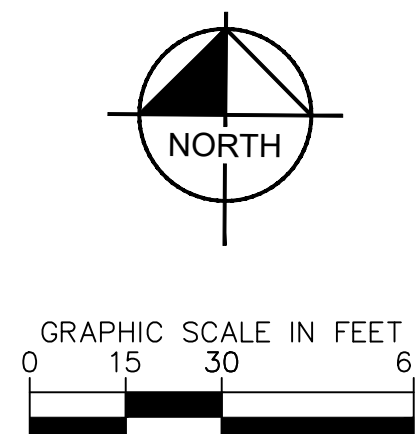
REQUIRED PARKING: 1 SPACE PER 250 SF OF GFA =
48,008 SF/250 = 192 SPACES

GROSS FLOOR AREA: 48,008 SF

EXISTING PARKING: 208 SPACES

LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	BUILDING SETBACK
	CENTERLINE
	RIGHT-OF-WAY
	PARKING STALL COUNT

[illegible]

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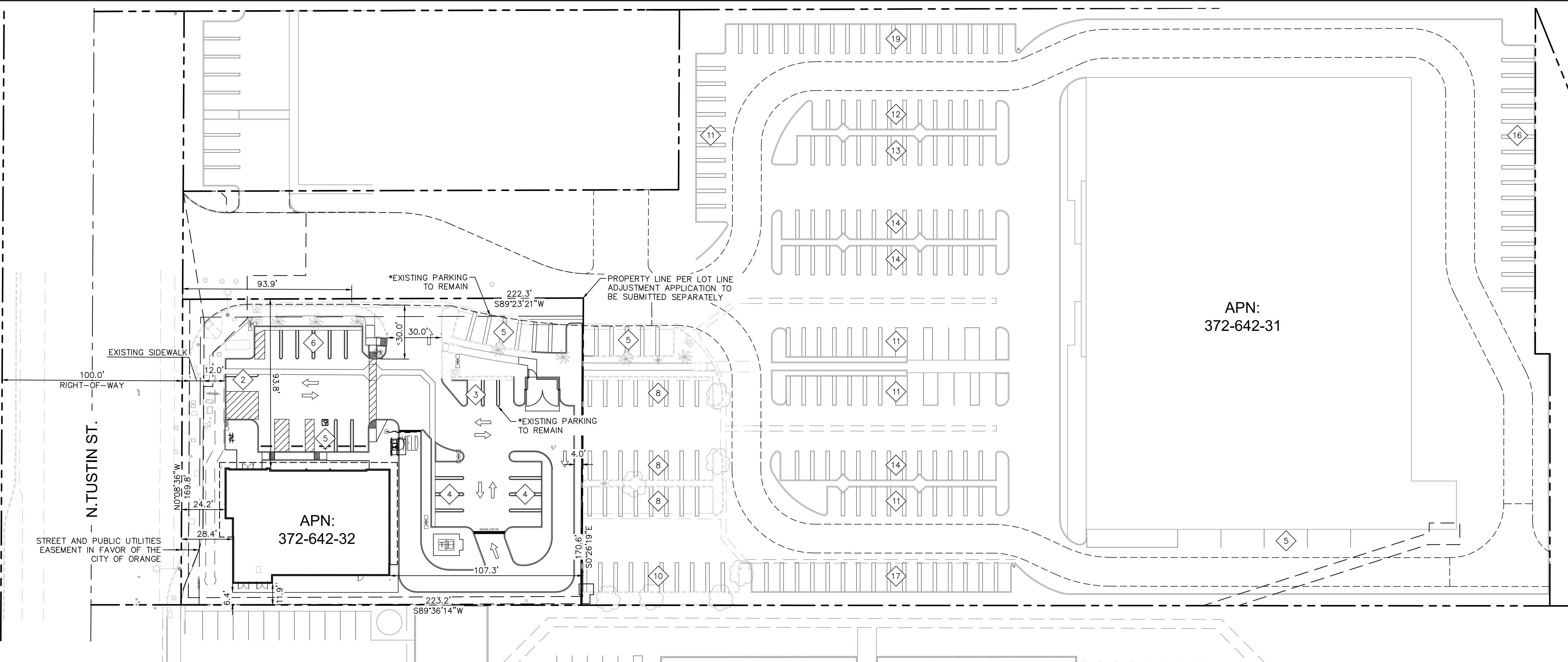
KHA PROJECT 194705001	DATE 1/28/2025	SCALE AS SHOWN	DESIGNED BY IV	DRAWN BY KV	CHECKED BY AZ
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OVERALL EXISTING CONDITIONS PLAN

2355 N TUSTIN
ORANGE, CA

SHEET NUMBER
C100

Plotted By: Zuwaga, Ahmed Sheet Set: KHA Layout: OVERALL PROPOSED SITE PLAN March 12, 2025 11:08:27am K:\ORA_LDEV\094688005 - BofA Orange\CAD\PlanSheets\Entitlement\OVERALL SITE PLAN.dwg
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EXISTING USE	PROPOSED USE	ZONING DESIGNATION	GENERAL PLAN LAND USE DESIGNATION	OVERLAY DISTRICT	GROSS FLOOR AREA (GFA)
COMMERCIAL	BANK/FINANCIAL INSTITUTION	C-TR	GC	N/A	5,372 SF
ZONING STANDARDS					
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (YES/NO)	
LOT AREA	-	34,080 SF; 0.78 AC	37,867 SF; 0.87 AC	N/A	
MAX BUILDING HEIGHT	32 FT	N/A	20 FT	YES	
SETBACKS					
FRONT YARD	10 FT	24 FT	24.2 FT	YES	
REAR YARD	0 FT	0 FT	107.3 FT	YES	
SIDE YARD (INTERIOR)	0 FT	0 FT	11.9 FT	YES	
SIDE YARD (STREET SIDE)	10 FT	15 FT	93.8 FT	YES	
FLOOR AREA RATIO (FAR) UTILIZING GROSS FLOOR AREA	1.0 MAX	0.0	(5,372 SF)/(37,867 SF) = 0.14	YES	
LANDSCAPING					
FRONT YARD	10 FT	12 FT	12 FT	YES	
REAR YARD	4 FT, OR 6 FT IF ADJACENT TO PERPENDICULAR PARKING	0	4 FT	YES	
SIDE YARD (INTERIOR)	4 FT, OR 6 FT IF ADJACENT TO PERPENDICULAR PARKING	6 FT	6.4 FT	YES	
SIDE YARD (STREET SIDE)					
WHEN ADJACENT TO PERPENDICULAR PARKING	6 FT	6 FT	6 FT	YES	
PARKING AREA SCREENING FROM A PUBLIC STREET WITH 5-GALLON SHRUBS, 3 FEET ON CENTER	N/A	N/A	SCREENING PROVIDED ALONG WEST SIDE OF PROPERTY	YES	
TRASH ENCLOSURES REQUIRE A 4-FOOT-WIDE LANDSCAPE PLANTER ON AT LEAST TWO SIDES	(2) 4' WIDE	N/A	(1) 6 FT WIDE, (1) 17.5 FT WIDE	YES	
TREES REQUIRED, *UNLESS DETERMINED OTHERWISE THROUGH SITE PLAN REVIEW	39	19	40	YES	
TREES TO BE REMOVED	N/A	N/A	6	N/A	
TREES TO BE ADDED	N/A	N/A	27	N/A	
EXISTING TREES TO BE PRESERVED	N/A	13	13	N/A	

ZONING STANDARDS				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (YES/NO)
25% OF REQUIRED TREES SHALL BE 24-INCH BOX AND 75% SHALL BE IN 15-GALLON CONTAINERS	MINIMUM SIZE: 25% 24-INCH BOX & 75% 15-GALLON CONTAINERS	SOME EXISTING TREES TO REMAIN	MINIMUM SIZE: 24" BOX	YES
SHRUBS SHALL BE 5-GALLON EXCEPT FOR GROUND COVER	MINIMUM SIZE: 5-GALLON	EXISTING SHRUBS TO REMAIN	MINIMUM SIZE: 5-GALLON	YES
SHRUBS ARE ENCOURAGED AT THE FOUNDATION LINES OF ALL BUILDING ELEVATIONS SEEN FROM THE STREET IN A 5-FOOT MINIMUM WIDTH PLANTER. SHRUBS SHALL BE PLACED 3 FEET ON CENTER.	N/A	N/A	YES	YES
STREET TREES REQUIRED AS DETERMINED BY THE DESIGN REVIEW PROCESS	N/A	N/A	N/A	N/A
PERCENT OF PARKING AREA	N/A	N/A	68%	YES
IRRIGATED AREA TOTAL	N/A	N/A	9,371	N/A
IRRIGATED AREA ADDED	N/A	N/A	3,524	N/A
IRRIGATED AREA REMOVED	N/A	N/A	1,103	N/A
FENCE HEIGHT				
FRONT YARD	42 IN	-	-	N/A
INTERIOR SIDE YARD(S)	42 IN	42 IN	42 IN	YES
STREET SIDE YARD	42 IN	-	-	N/A
REAR YARD	8 FT MIN, 10 FT MAX	N/A	8 FT	YES
OFF STREET PARKING SPACES REQUIRED*	1 SPACES PER 250 SF OF GFA = 5,372/250 = 21.49 = 21 SPACES	94	21	YES
ACCESSIBLE PARKING SPACES REQUIRED	1	0	1	YES
DRIVE AISLE WIDTH	25 FT	25 FT	25 FT	YES
DRIVE AISLE ENTRY WIDTH AND DEPTH	30 FT X 30 FT	30 FT X 30 FT	30 FT X 30 FT	YES
LOADING ZONE	N/A	-	-	YES**
BICYCLE RACKS	1	0	1	YES
MOTORCYCLE PARKING SQUARE FEET	50 SF	0	117 SF	YES
TRASH ENCLOSURE SIZE	19 FT X 6 FT 10 IN	N/A	19 FT X 6 FT 10 IN	YES
LIGHTING				
KELVINS	N/A	4000K	4000K	YES
FIXTURE TYPE/BLINDER	N/A	HID SHOEBOX	LID	YES
PARKING LOT FOOT CANDLES	1 FOOT CANDLE	MIN: 0.6 FC MAX: 3.5 FC	MIN: 3.9 FC MAX: 7.4 FC	YES

LEGEND	
---	PROPERTY LINE
---	EXISTING EASEMENT
---	BUILDING SETBACK
---	CENTERLINE
---	RIGHT-OF-WAY
XX	PARKING STALL COUNT

DEFERRED SUBMITTALS

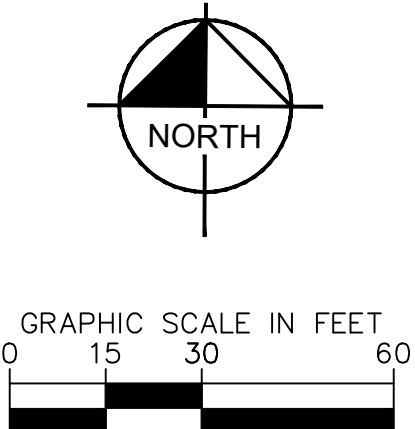
DEFERRED SUBMITTALS FOR THIS PROJECT SHALL INCLUDE (BUT NOT LIMITED TO) THE FOLLOWING:

- FIRE SPRINKLER PLANS
- FIRE UNDERGROUND PLANS
- FIRE SPRINKLER MONITORING SYSTEM PLANS

REQUIRED FIRE FLOW	
TYPE OF CONSTRUCTION PER BUILDING CODE:	TYPE IIB
FIRE-FLOW CALCULATION AREA:	AREA: 5,372 S.F.
FIRE-FLOW BASED ON FIRE FLOW CALCULATION AREA:	1,500 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%):	1,500 GPM
TOTAL FIRE FLOW REQUIRED (MINIMUM 1,500 GPM):	1,500 GPM

* EXISTING PARKING SPACES ON THE PARCEL ARE LESS THAN THE STANDARD 9' X 18' AS REQUIRED PER OMC SECTION 17.34.110. (21) STANDARD DIMENSION PARKING SPACES ARE PROPOSED WITH THIS PROJECT. (8) NON STANDARD DIMENSION PARKING SPACES ARE INTENDED TO REMAIN AS COMPACT SPACES.

** LOADING ZONE IS IDENTIFIED WITHIN THE LIMITS OF PROPOSED PARKING SPACES AS LOADING SPACE IS NOT ANTICIPATED TO BE USED AS PART OF REGULAR SITE OPERATIONS.



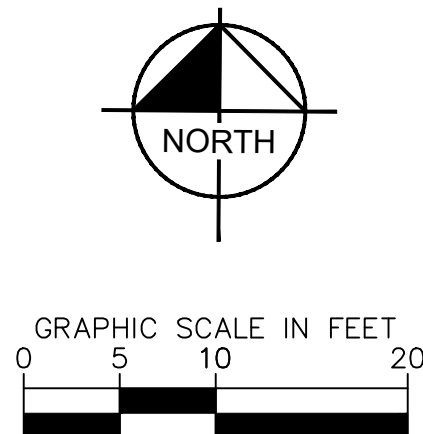
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WWW.KIMLEY-HORN.COM

OVERALL
PROPOSED SITE
PLAN

2355 N TUSTIN
ORANGE, CA

SHEET NUMBER
C101

REVISIONS		DATE	BY



1. KNOX BOX ACCESS SHALL BE PROVIDED AT THE MAIN ENTRY TO BUILDING EQUIPPED THROUGHOUT WITH A FIRE ALARM OR SPRINKLER MONITORING SYSTEM.
2. A. THE FIRE DEPARTMENT CONNECTION SHALL NOT BE AFFIXED TO THE BUILDING.

B. THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED AT LEAST 40 FEET AWAY FROM THE BUILDING.

C. THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED ON THE ADDRESS SIDE OF THE BUILDING.

D. THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED WITHIN 40 FEET OF A HYDRANT ON THE SAME SIDE OF THE STREET AS THE HYDRANT.

E. THE FIRE DEPARTMENT CONNECTION SHALL NOT PROVIDE PRESSURE TO AN ON-SITE HYDRANT.

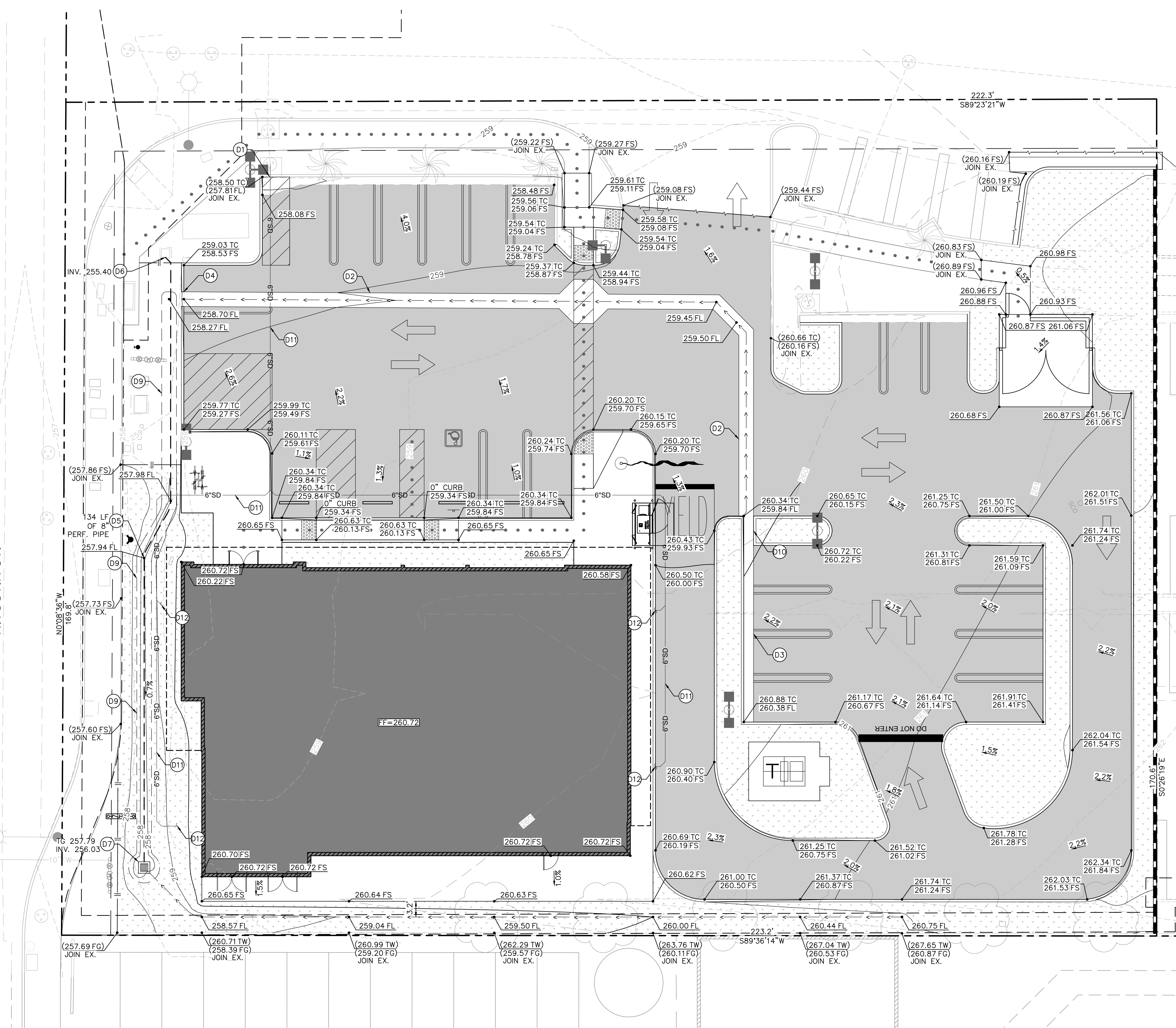
F. THE LOCATION OF THE FIRE DEPARTMENT CONNECTION SHALL BE APPROVED BY THE FIRE DEPARTMENT.

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Plotted By: Zuawa, Ahmed Sheet Set: KHA Layout: C300 PROPOSED GRADING PLAN January 28, 2025 06:07:09pm K:\ORA_LDEV\094688005 - BofA Orange\CAD\PlanSheets\Entitlement\GRADING AND DRAINAGE.dwg
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N. TUSTIN ST.

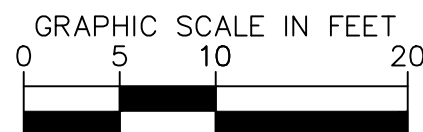
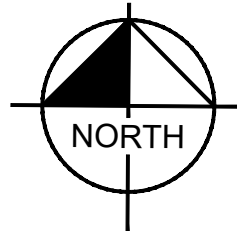
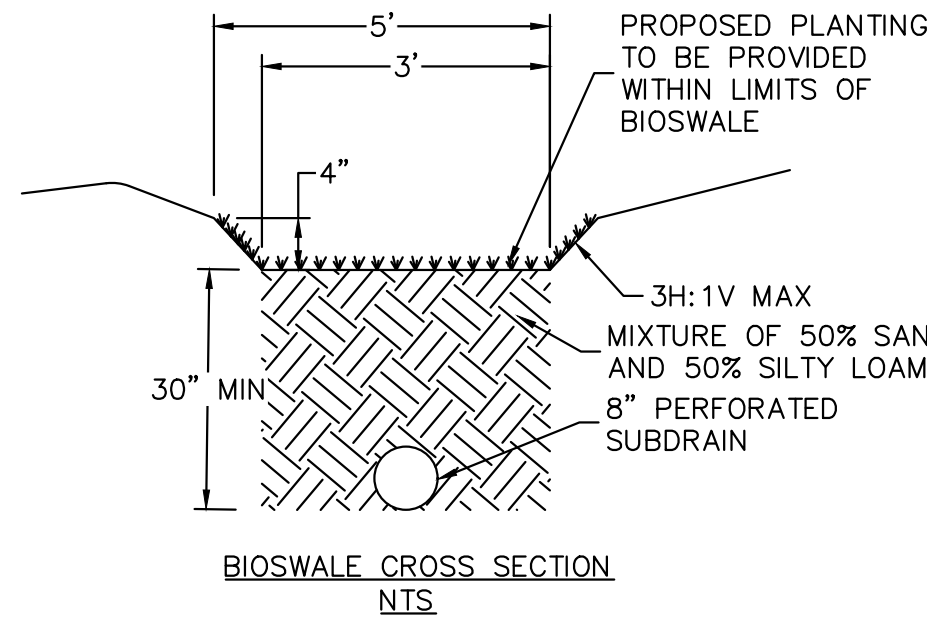


LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- CENTERLINE
- BUILDING OVERHANG
- CIVIL LIMIT OF WORK LINE
- ACCESSIBLE PATH OF TRAVEL
- LIMITS OF GRADING
- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED RIDGE LINE
- PROPOSED GRADE BREAK
- PROPOSED FLOW LINE
- FINISH FLOOR ELEVATION
- FINISHED GRADE
- FLOWLINE
- LIP OF GUTTER
- TOP OF CURB
- TOP OF GRATE
- FINISH SURFACE
- EXISTING GRADE
- PROPOSED GRADE
- DIRECTION OF SLOPE
- PROPOSED LANDSCAPE

DRAINAGE NOTES

- (D1) EXISTING CURB OPENING CATCH BASIN
- (D2) PROPOSED CONCRETE VALLEY GUTTER
- (D3) PROPOSED 6" CURB AND GUTTER
- (D4) PROPOSED 3" CURB CUT
- (D5) PROPOSED 8" PERFORATED PVC PIPE
- (D6) CONNECT TO EXISTING CATCH BASIN
- (D7) 18"X18" GRATE INLET WITH NON-TRAFFIC GRATE
- (D8) PROTECT EXISTING SWALE IN PLACE
- (D9) PROPOSED 3" WIDE BIOSWALE. SEE TYPICAL SECTION HEREON
- (D10) PROPOSED 2" CURB CUT
- (D11) PROPOSED STORM DRAIN LINE, SIZE PER PLAN
- (D12) BUILDING STORM DRAIN POINT OF CONNECTION. REFER TO MEP PLAN FOR CONTINUATION.



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PROPOSED GRADING
PLAN

2355 N TUSTIN
ORANGE, CA

SHEET NUMBER
C300

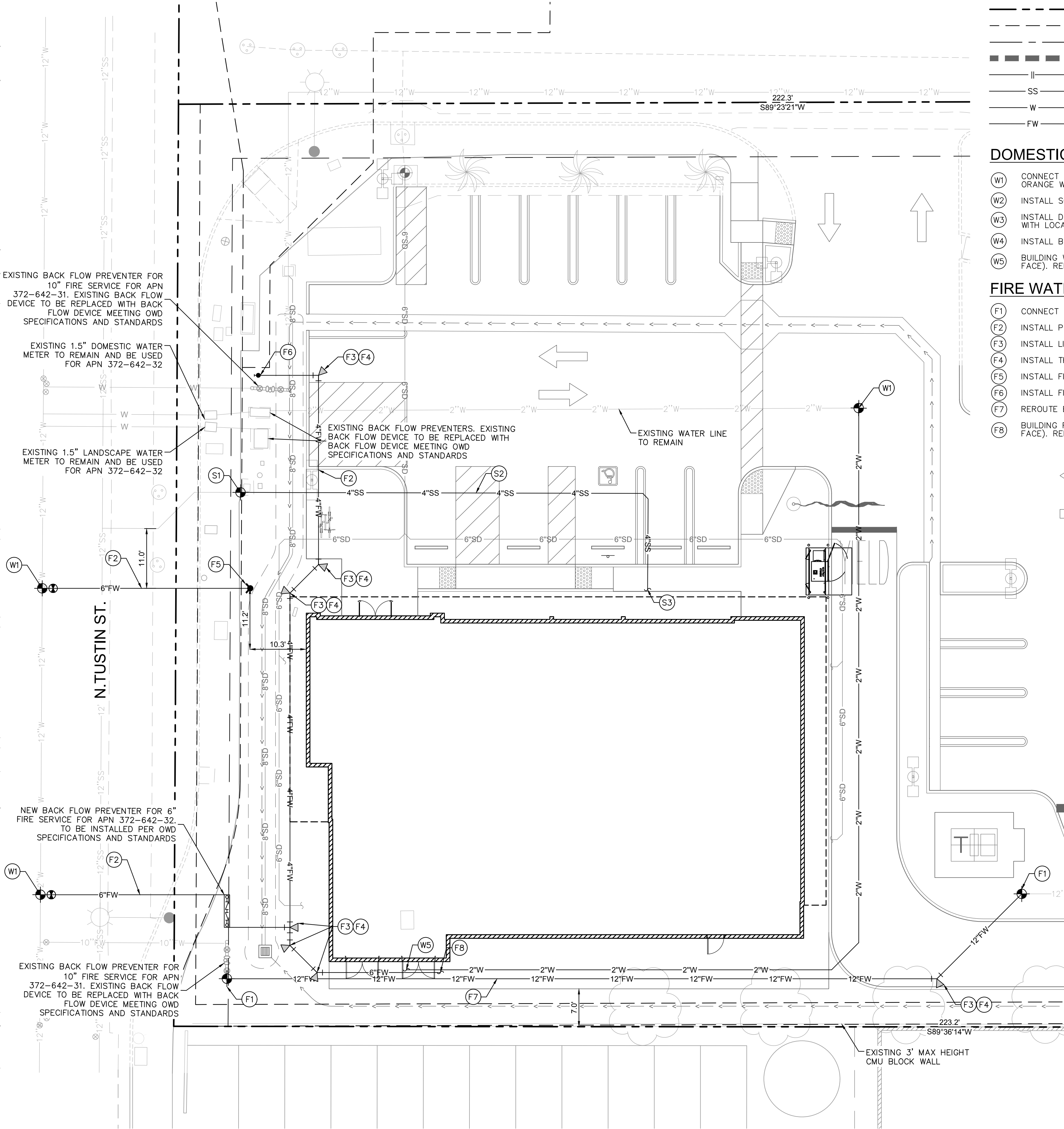
REVISIONS

DATE

BY

No.

Plotted By: Zuawwa, Ahmed Sheet Set: KHA Layout: PROPOSED UTILITY PLAN February 21, 2025 04:23:36pm K:\ORA_LOEVA\094886005 - BofA Orange\CAD\PlanSheets\Entitlement\C300 PRELIMINARY UTILITY PLAN.dwg
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LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- CENTERLINE
- CIVIL LIMIT OF WORK LINE
- LIMITS OF GRADING
- PROPOSED SANITARY SEWER PIPE
- PROPOSED WATER PIPE
- PROPOSED FIRE WATER PIPE

DOMESTIC WATER

- W1 CONNECT TO EXISTING WATER MAIN. COORDINATE TAP WITH ORANGE WATER DIVISION
- W2 INSTALL SCHEDULE 80 PVC DOMESTIC WATER PIPE. SIZE PER PLAN
- W3 INSTALL DOMESTIC WATER METER. SIZE PER PLAN. COORDINATE WITH LOCAL WATER PURVEYOR
- W4 INSTALL BACK FLOW PREVENTER
- W5 BUILDING WATER POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO MEP PLAN FOR CONTINUATION

FIRE WATER

- F1 CONNECT TO EXISTING FIRE WATER LINE
- F2 INSTALL PVC C900, CLASS 200, FIRE WATER LINE. SIZE PER PLAN
- F3 INSTALL LINE SIZE PVC C-900 BEND. ANGLE PER PLAN
- F4 INSTALL THRUST BLOCK
- F5 INSTALL FIRE HYDRANT PER ORANGE WATER DIVISION STANDARDS
- F6 INSTALL FIRE DEPARTMENT CONNECTION
- F7 REROUTE EXISTING 12" FIRE WATER LINE
- F8 BUILDING FIRE WATER POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO MEP PLAN FOR CONTINUATION

SEWER

- S1 CONNECT TO EXISTING SANITARY SEWER STUB AT PROPERTY LINE
- S2 INSTALL SDR-35 PVC SEWER LATERAL. SIZE PER PLAN
- S3 BUILDING SEWER POINT OF CONNECTION (5-FT FROM BUILDING FACE). REFER TO MEP PLAN FOR CONTINUATION

IRRIGATION

NOTE: SEPARATE METERED WATER SERVICE AND BACKFLOW DEVICE TO BE PROVIDED FOR IRRIGATION LINE. FINAL LOCATION TO BE DETERMINED DURING PERMIT SUBMITTAL.

REQUIRED FIRE FLOW

TYPE OF CONSTRUCTION PER BUILDING CODE:	TYPE IIB
FIRE-FLOW CALCULATION AREA:	AREA: 5,372 S.F.
FIRE-FLOW BASED ON FIRE FLOW CALCULATION AREA:	1,500 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%):	1,500 GPM
TOTAL FIRE FLOW REQUIRED:	1,500 GPM



CITY OF ORANGE

WATER DIVISION PHONE: (714) 288-2475 FAX: (714) 744-2973 www.cityoforange.org

HYDRANT PRESSURE INQUIRY

The information presented in this document is provided as a courtesy and may be used for reference purposes only. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

Date: 10/1/2024

Location: 2355 N Tustin St, Orange, CA, 92865

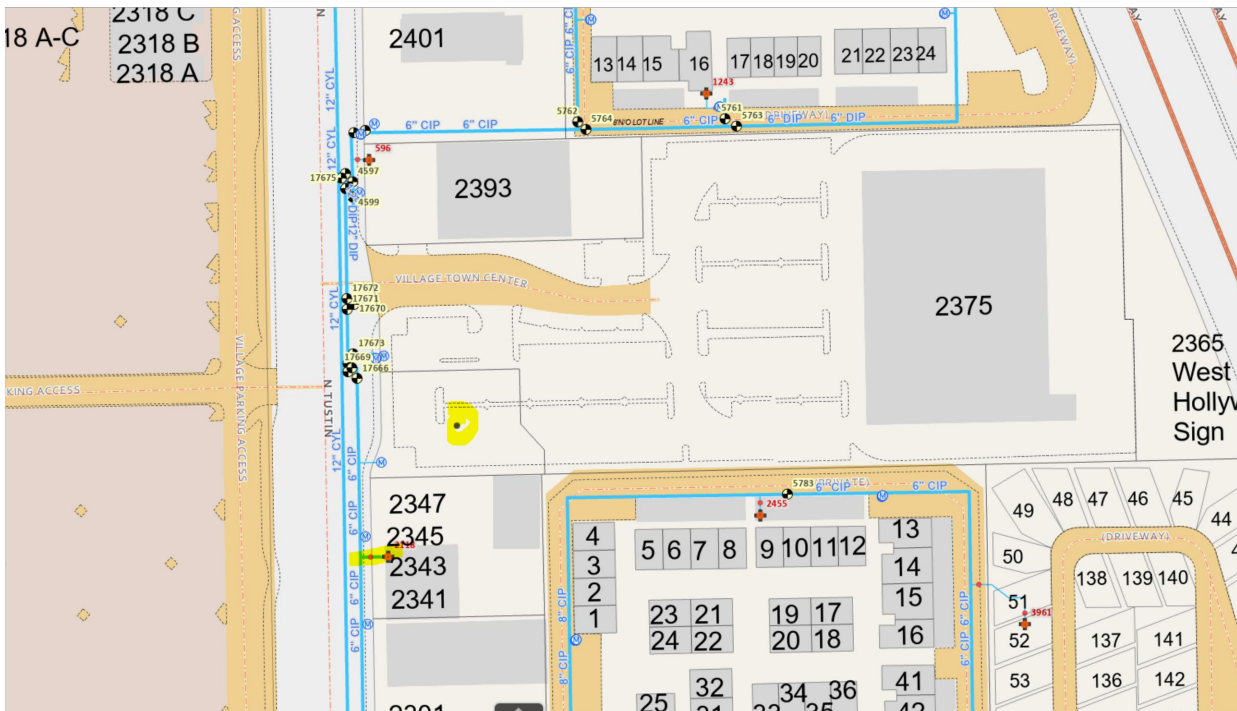
Information provided by: Chris Mielke

The City does not collect or provide pressure information for individual addresses or private systems.

The information that is provided is the latest available data from nearby City of Orange hydrant(s). This information is collected when hydrants go through a routine flushing. This is rough information and may only be used for reference purposes only. It cannot be used for official design calculations and submittals and it is not valid for design of fire systems.

Hydrant #	Flush Performed (Month-YY)	Static Pressure (PSI)	Residual Pressure (PSI)	Observed Flow (GPM)	Flow at 20 PSI (GPM)	Time Flush (Min)
2118	Nov-23	50	48	1163.938143	5023.647756	1

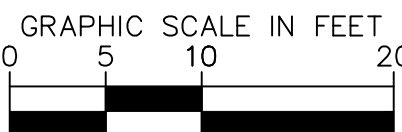
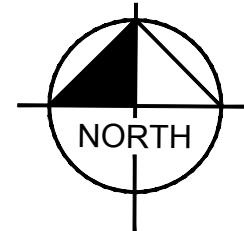
Please see the below map for hydrant reference.



The information presented in this document is not valid for design of fire systems. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

WATER DIVISION • 189 S. WATER STREET • ORANGE, CA 92866-1591

\\civ-file-vml\FW\Water\Engineering\Requests\Hydrant Pressure Inquiries\Hydrant Pressure Inquiry.docx



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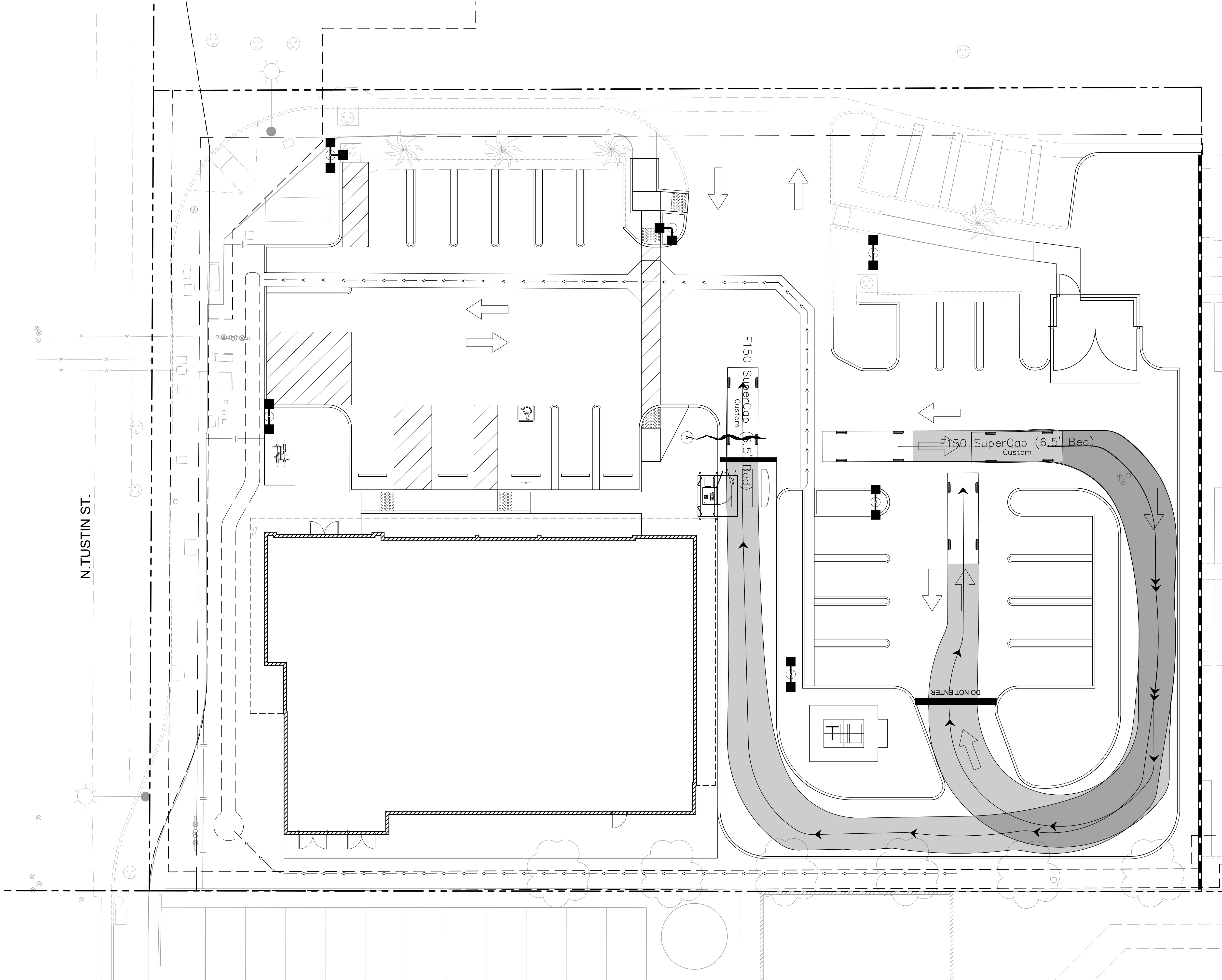
PROPOSED UTILITY
PLAN

2355 N TUSTIN
ORANGE, CA

SHEET NUMBER
C400

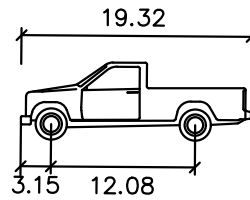
REVISIONS	DATE	BY
No.		

Plotted By: Zuawa, Ahmed Sheet Set: KHA Layout: VEHICULAR TURNING MOVEMENT January 28, 2025 06:07:26pm K:\ORA_LDEV\094688005 - B61A Orange\CAD\PlanSheets\Entitlement\VEHICULAR TURNING MOVEMENT.dwg
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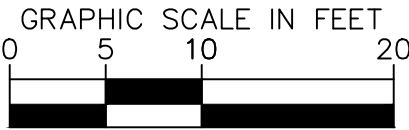
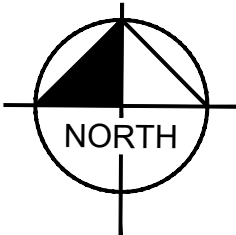


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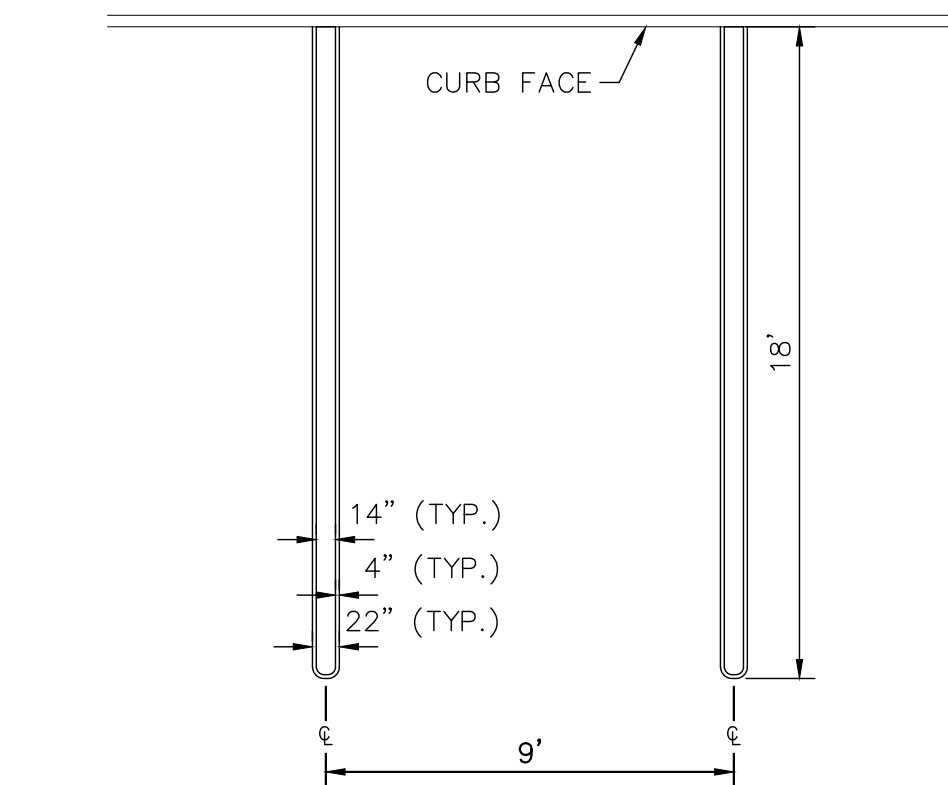
- PROPERTY LINE
- EXISTING EASEMENT
- BUILDING SETBACK
- CENTERLINE
- BUILDING OVERHANG
- CIVIL LIMIT OF WORK LINE



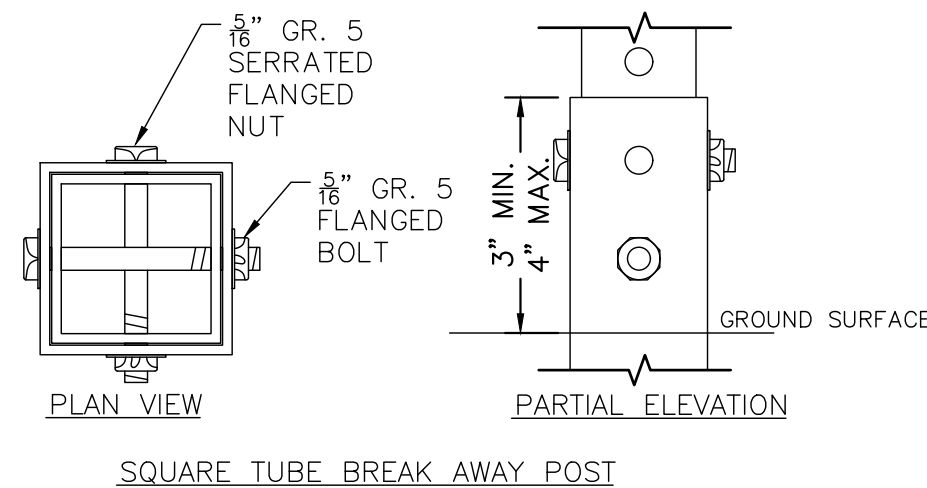
F150 SuperCab (6.5' Bed)
feet
Width : 6.50
Track : 6.50
Lock to Lock Time : 6.0
Steering Angle : 31.5



KHA PROJECT 194705001	DATE 1/28/2025	SCALE AS SHOWN	DESIGNED BY IV	DRAWN BY KV	CHECKED BY AZ	VEHICULAR TURNING MOVEMENT	2355 N TUSTIN ORANGE, CA	SHEET NUMBER C500	No.	REVISIONS	DATE	BY
Kimley»Horn										© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 1100 W TOWN AND COUNTRY ROAD, SUITE 700, ORANGE, CA 92668 PHONE: 714-939-1030 FAX: 714-938-9488 WWW.KIMLEY-HORN.COM		



STANDARD 90° PARKING STALL STRIPING



NOTES:

1. GALVANIZED SQUARE TUBE

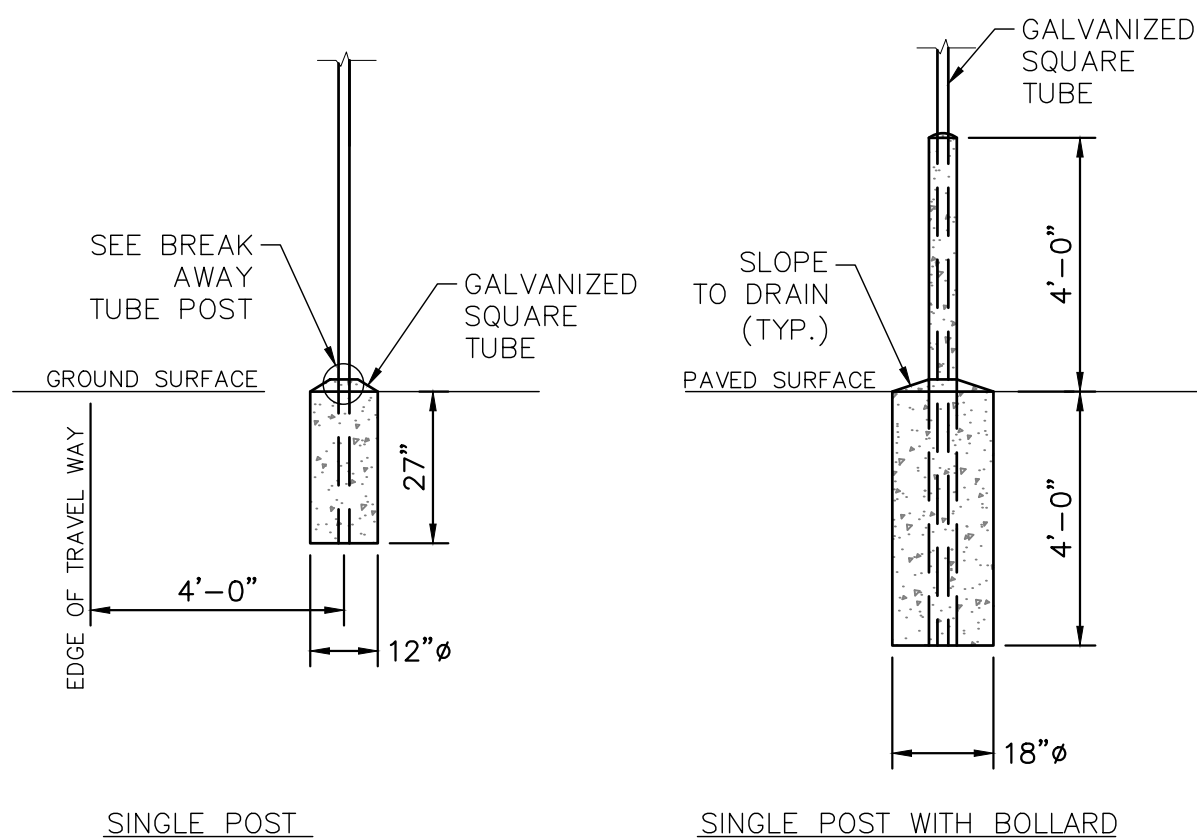
POST TUBES - 2"x2"x3/16" 14ga
POST TUBE SHALL MEET ASTM A1011 GRADE 50.
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.

ANCHOR TUBE - 2-1/4"x2-1/4"x3/16" 14ga
HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER
ASTM A123.

THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE
A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27"
DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.

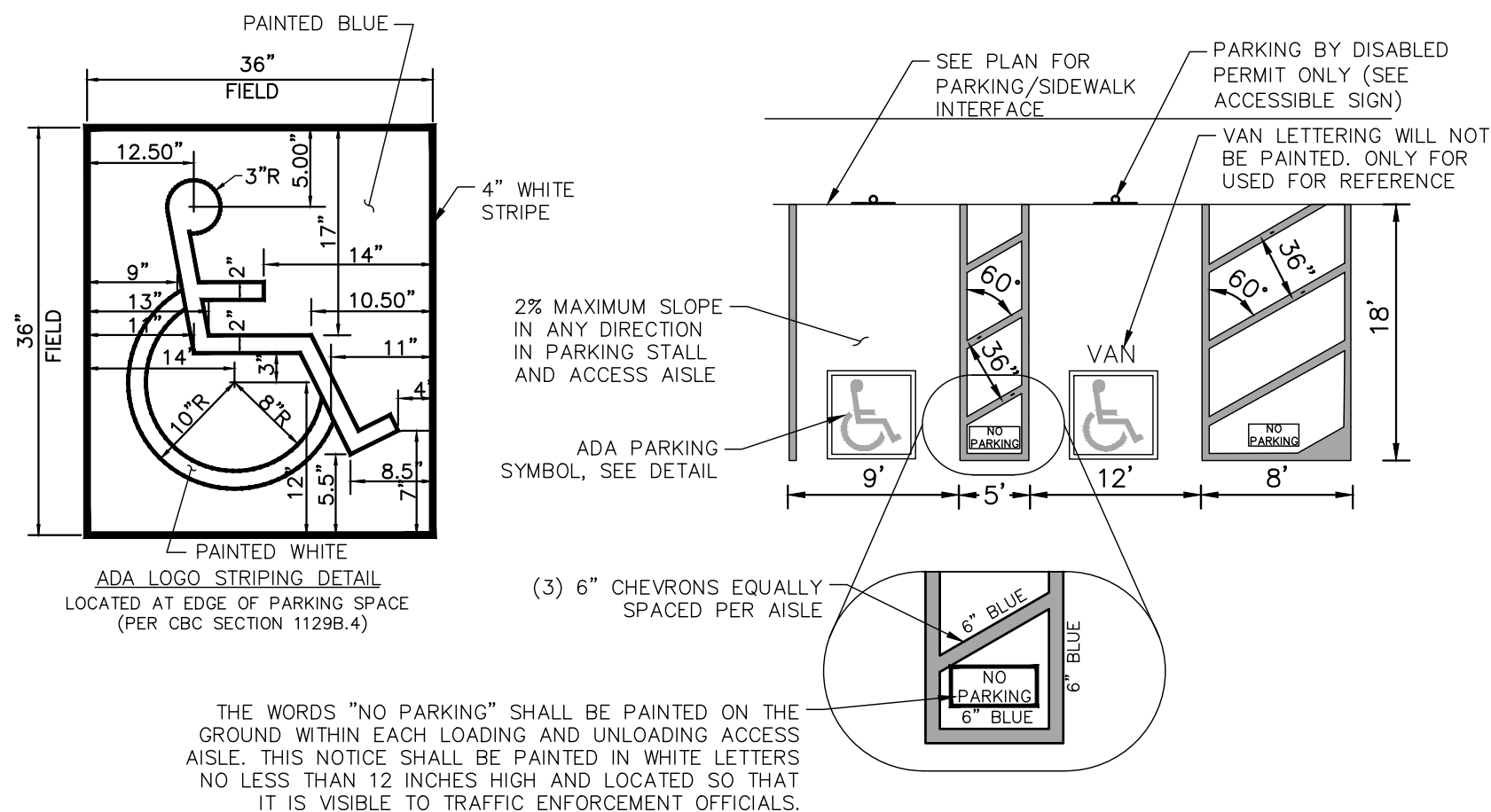
SIGN BASE DETAIL

N.T.S.



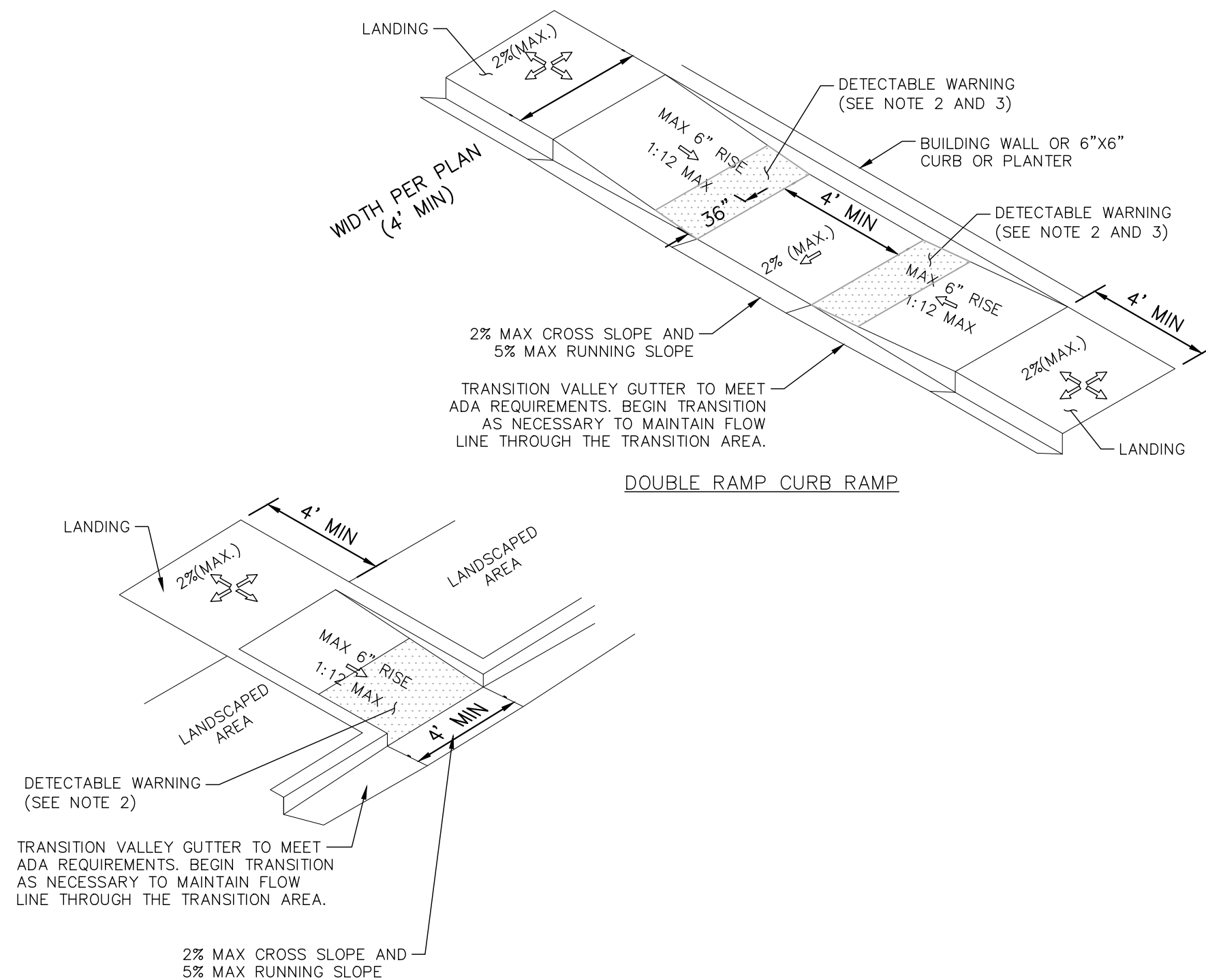
SINGLE POST

SINGLE POST WITH BOLLARD



ACCESSIBLE PARKING STRIPING

N.T.S.



DOUBLE RAMP CURB RAMP

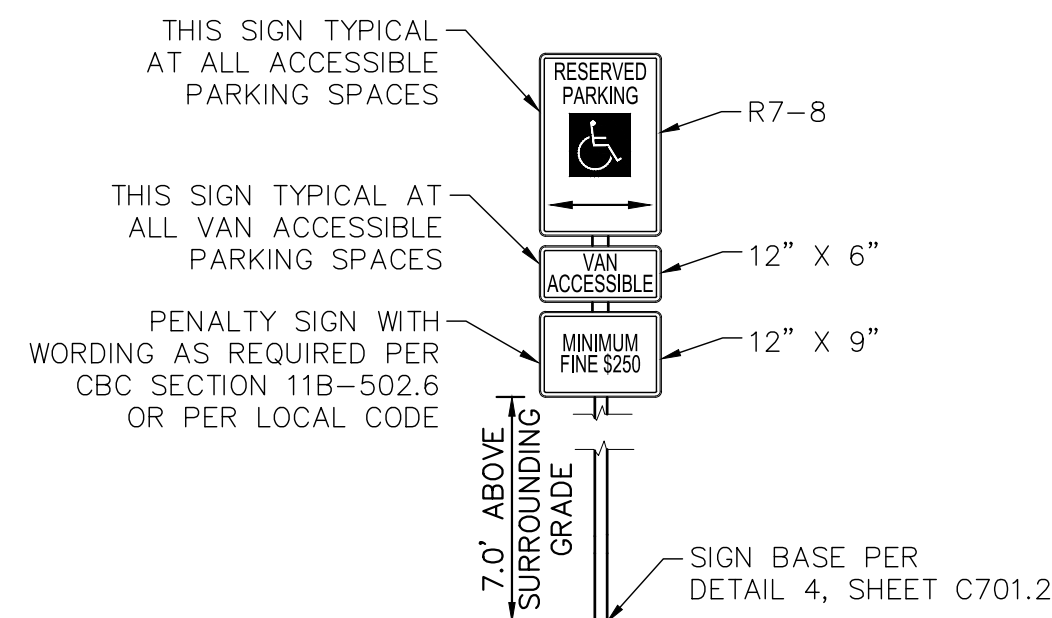
IN-LINE CURB RAMP

- NOTES:

1. ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICHEVER ARE MORE STRINGENT.
2. CURB RAMPS SHALL HAVE A DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE CURB RAMP AND 3' DEEP. GROOVED SURFACES ON OUTDOOR CURB RAMPS ARE NOT PERMITTED. VERIFY LOCAL REQUIREMENTS WITH THE BUILDING DEPARTMENT. REFER TO TRUNCATED DOMES DETAIL AND REQUIREMENTS IN THE CALIFORNIA BUILDING CODE.
3. PARALLEL CURB RAMPS SHALL HAVE A DETECTABLE WARNING EXTENDING 36" DEEP ALONG THE FLUSH TRANSITION BETWEEN STREET AND SIDEWALK. REFER TO TRUNCATED DOMES DETAIL.
4. PUBLIC SIDEWALK CURB RAMPS CONSTRUCTED WITHIN A PUBLIC RIGHT- OF -WAY, IN ABSENCE OF LOCAL ROADWAY GUIDELINES, SHALL MEET OR EXCEED LOCAL REGULATIONS.
5. CURB RAMP SURFACES (FLARES AND RAMP) SHALL HAVE A DIFFERENT TEXTURE FROM THE SURROUNDING PAVEMENT.
6. CURB RAMPS SHALL BE CONCRETE WITH STRENGTH OF 2500 PSI.
7. INSTALL 1/4" EXPANSION JOINT FILLER MATERIAL BETWEEN A NEW CURB RAMP AND THE EXISTING SIDEWALKS.
8. WATER PONDING WITHIN THE CURB RAMP LIMITS IS NOT ALLOWED.
9. NO GRADE BREAK IS ALLOWED ALONG THE RAMP SURFACE.
10. CROSS SLOPE OF THE CURB RAMP SURFACE SHALL BE LESS THAN 2%.
11. TRANSITION CHANGE IN ELEVATION IS NOT TO EXCEED 1/2" WITHIN AN ACCESSIBLE ROUTE.
12. DIAGONAL CURB RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.

ACCESSIBLE RAMP DETAIL

N.T.S.

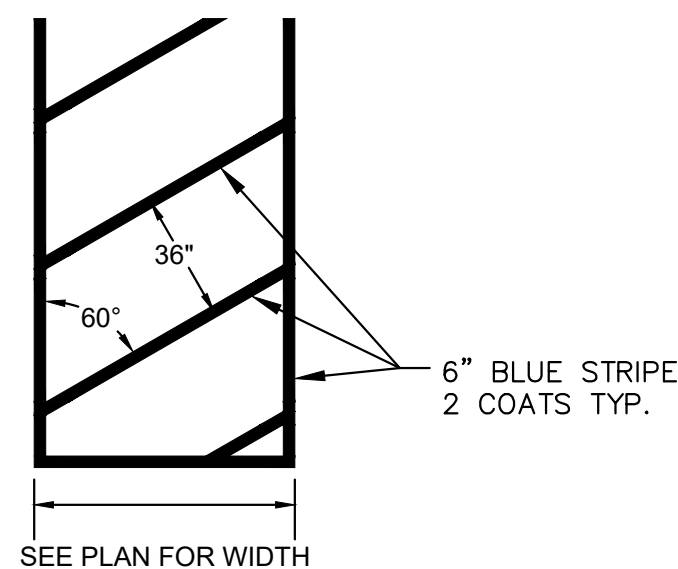


- NOTES:

1. SIGNS SHALL CONFORM WITH THE MOST CURRENT CALIFORNIA MUTCD STANDARDS.
2. SIGNS SHALL BE MOUNTED ON A POST PER DETAIL 4.

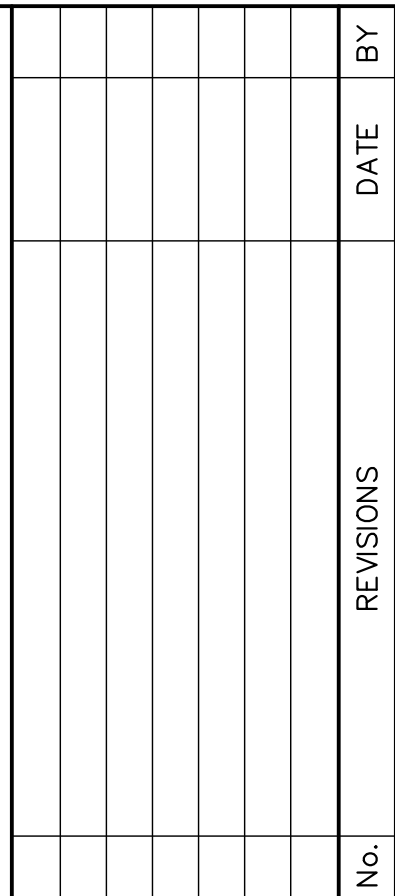
ACCESSIBLE PARKING SIGN DETAIL

N.T.S.



ADA PATH-OF-TRAVEL STRIPING

N.T.S.



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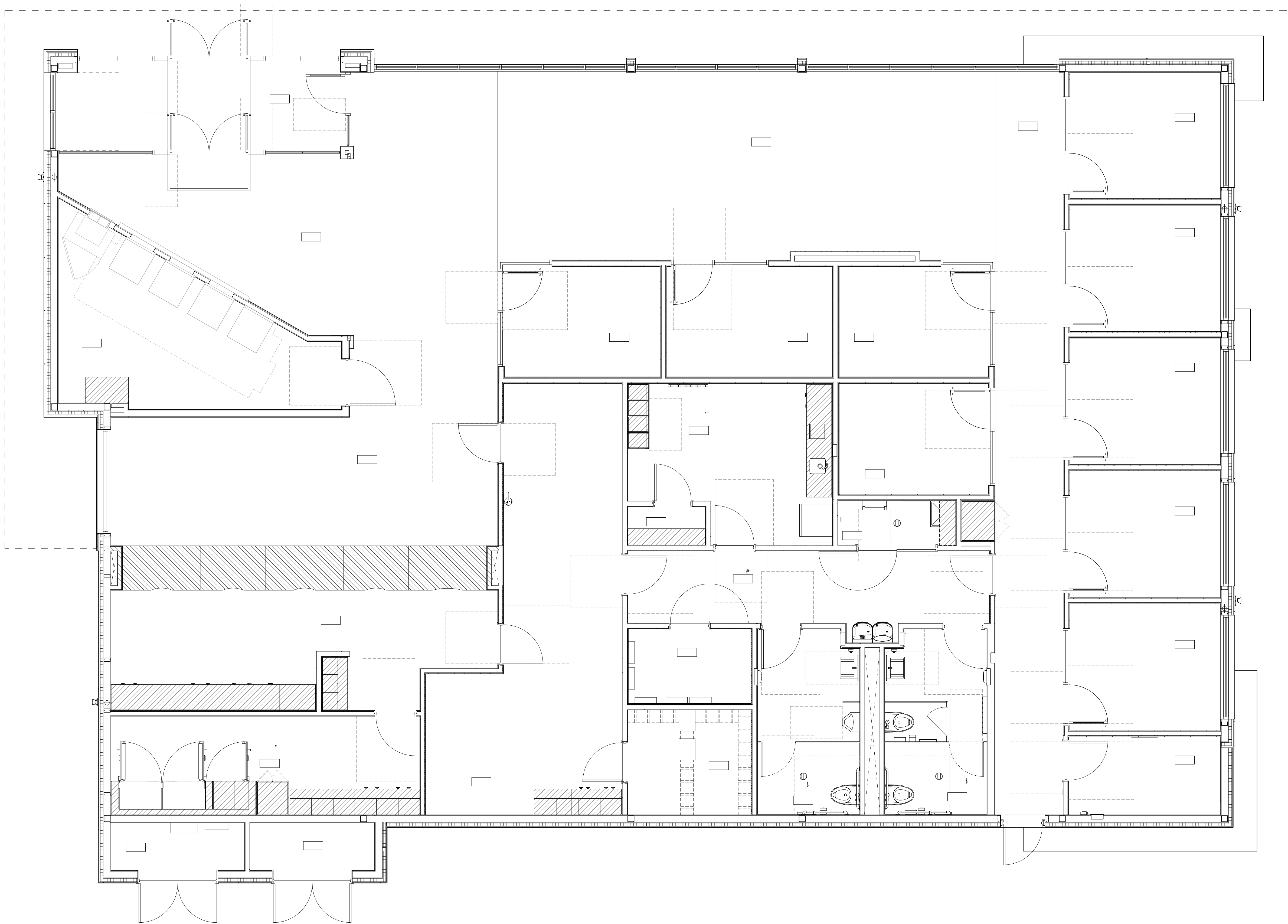
KHA PROJECT 194705001
DATE 1/28/2025
SCALE AS SHOWN
DESIGNED BY IV
DRAWN BY KV
CHECKED BY AZ

DETAILS

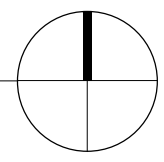
2355 N TUSTIN
ORANGE, CA

SHEET NUMBER

C600



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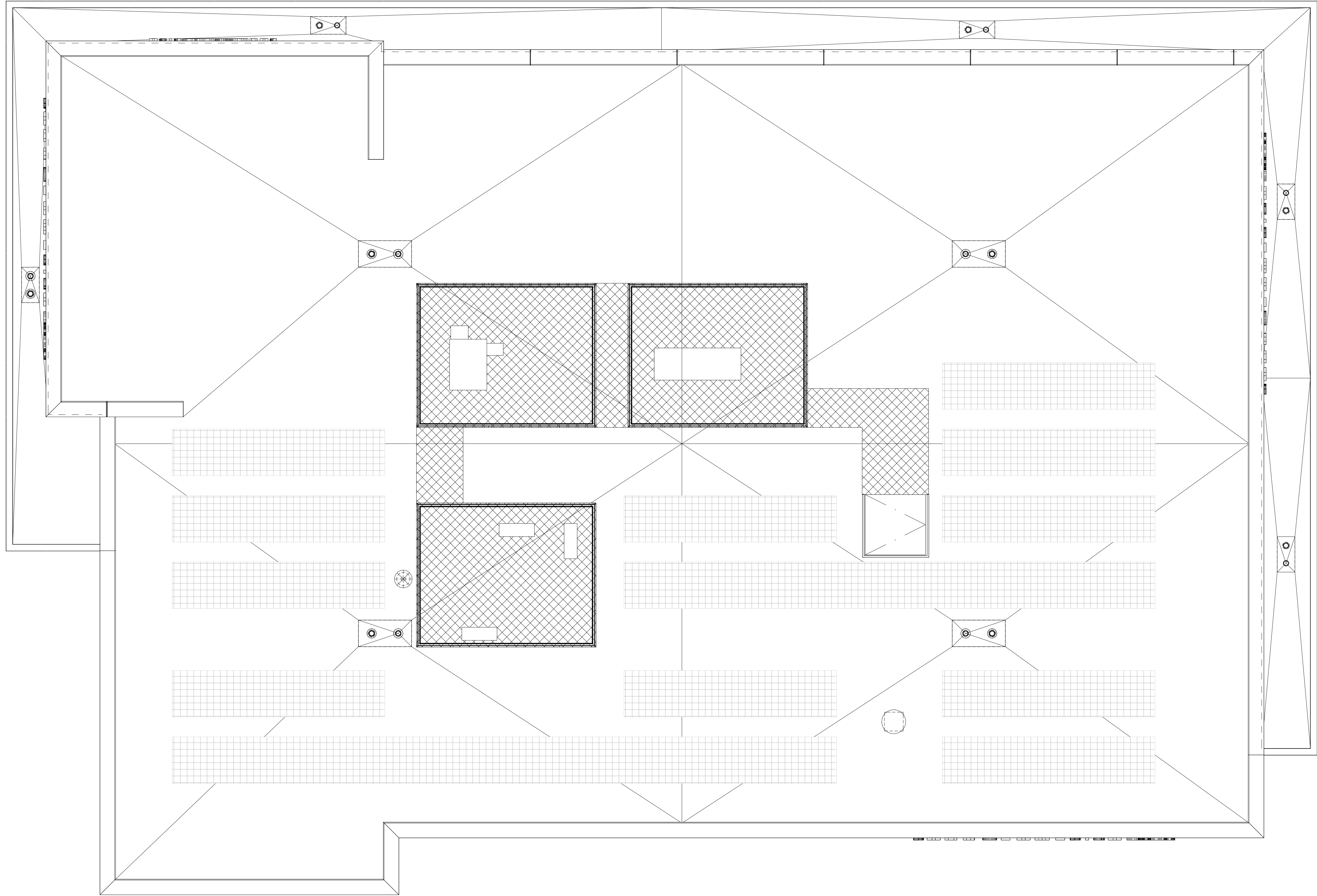
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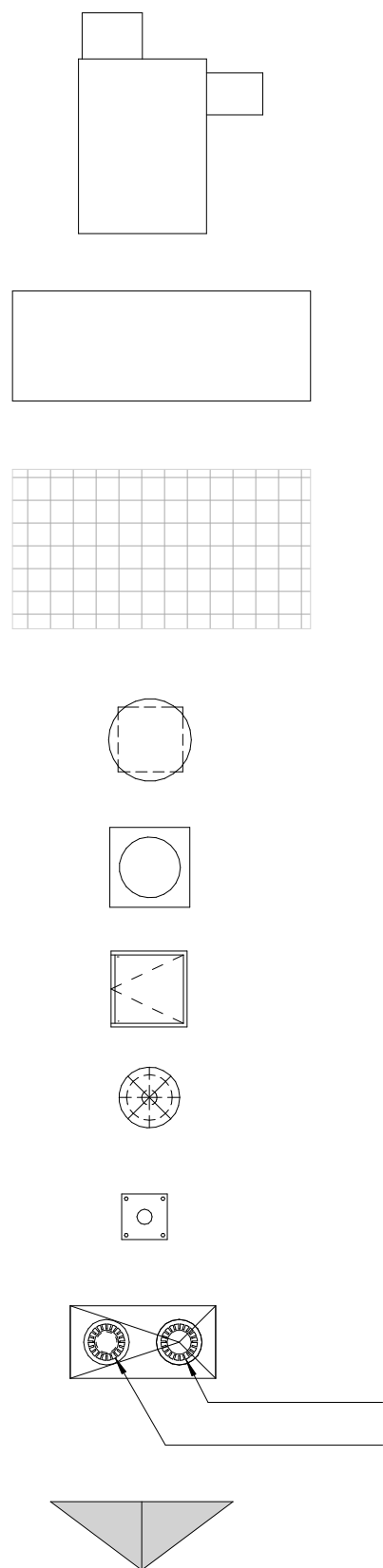
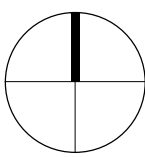
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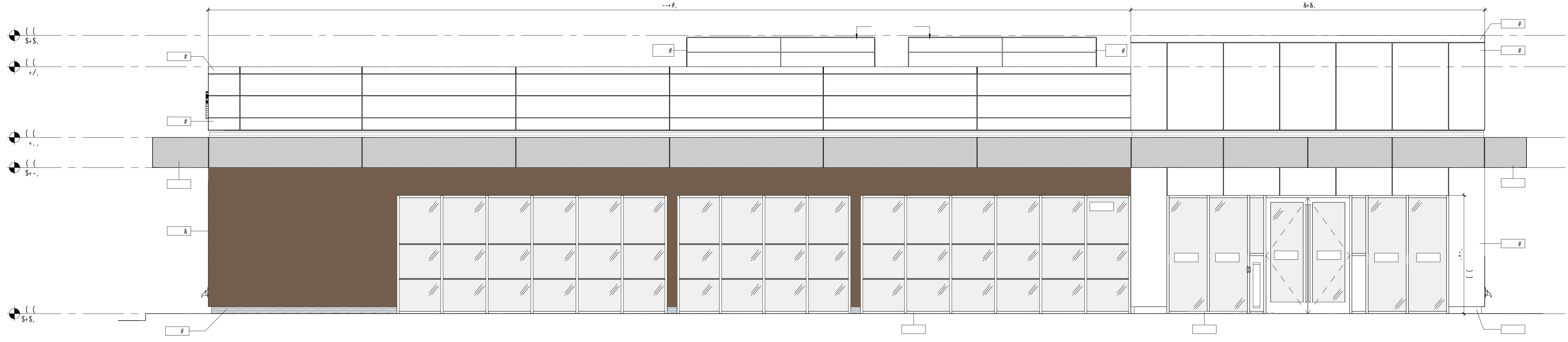
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IA | INTERIOR ARCHITECTS

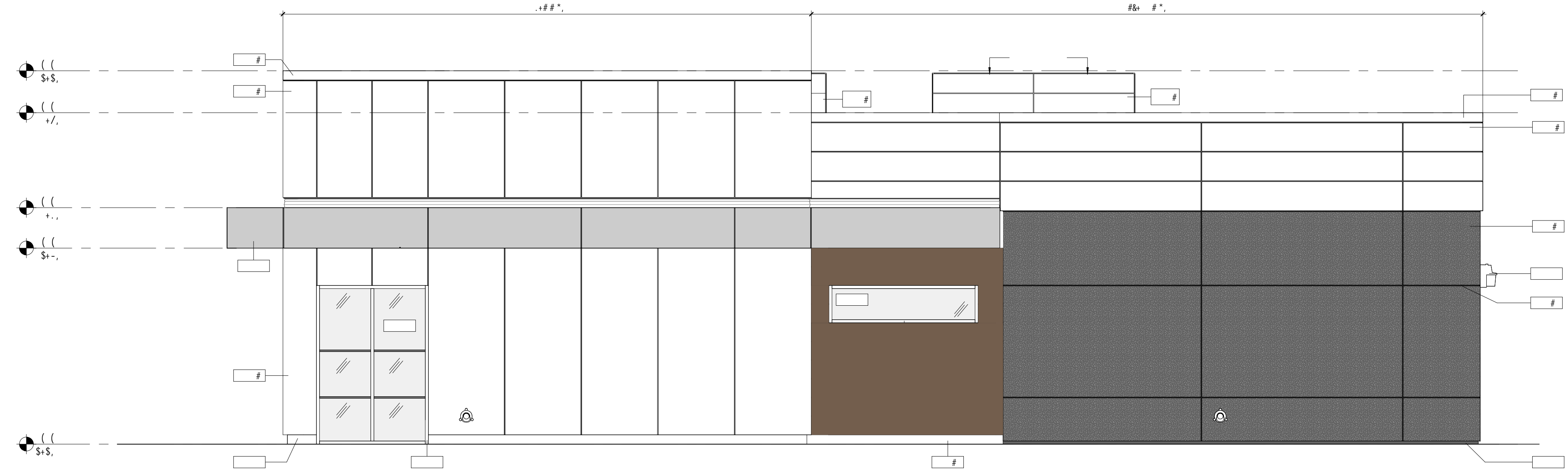
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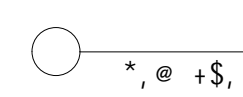
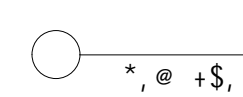
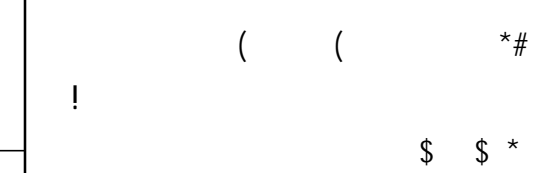
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NOTES:

A FULLY AUTOMATED DRIP IRRIGATION SYSTEM WILL BE PROVIDED.
VERIFY ST. TREE REQUIREMENTS WITH THE PUBLIC WORKS DEPT.
REFER TO ARBORIST REPORT REGARDING EXISTING TREES




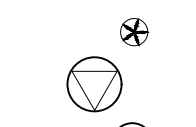




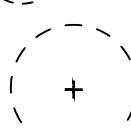



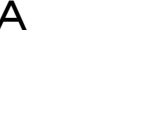
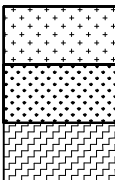


TREE CALCULATIONS

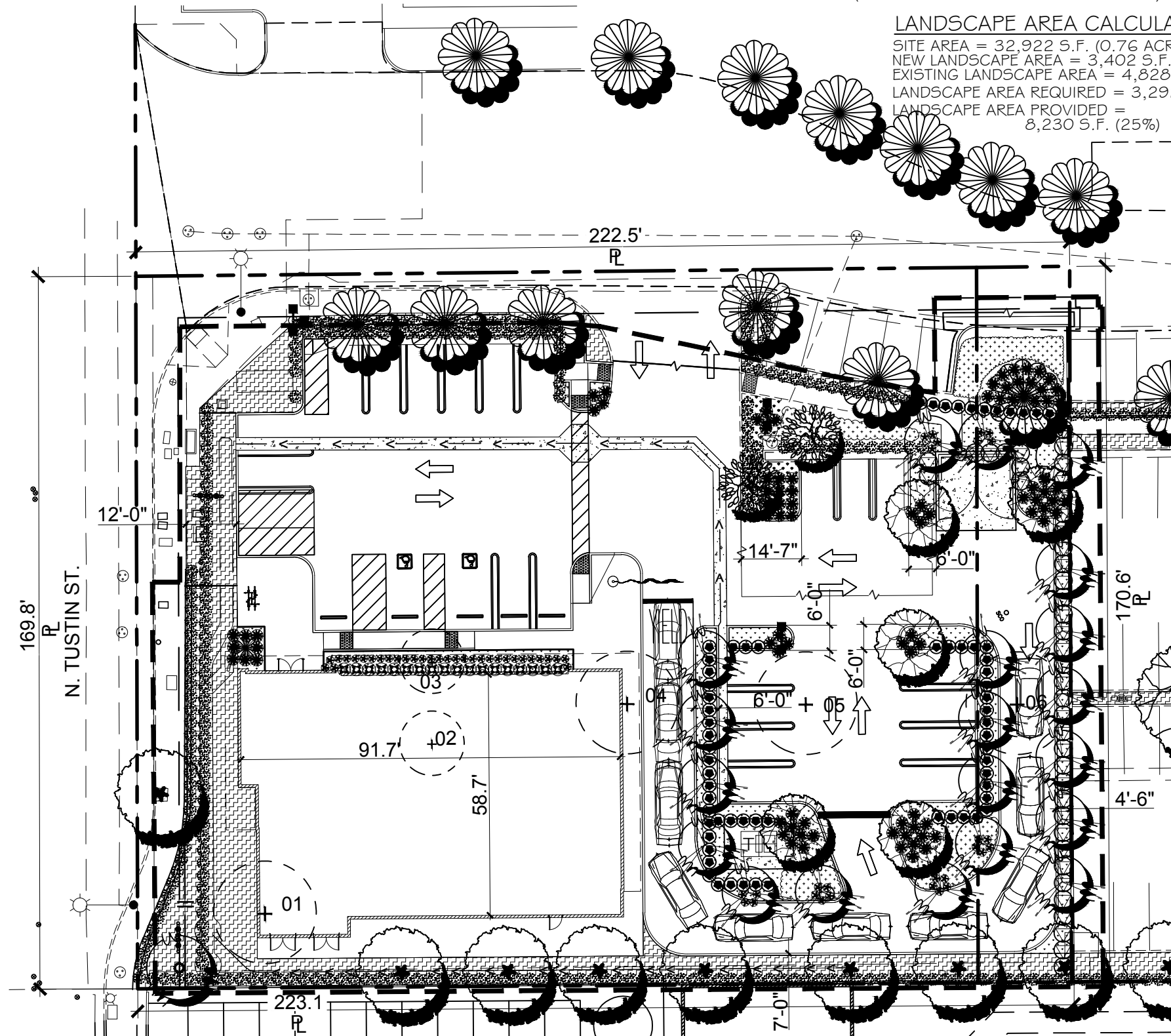
PROPERTY LINES TOTAL L.F. (225.5+169.8+223+170.6) = 786 L.F.
BUILDING PERIMETER TOTAL L.F. = (68.0+91.5+59.5+94.0) = 313 L.F.
PARKING STALL ROWS TOTAL L.F. (60+64+61+35+36+36) = 292 L.F.
TOTAL L.F. FOR ALL 3 CATEGORIES = 1,391 L.F.
TREES REQUIRED (1,391 / 36) = 39 (10-24" BOX & 29 -15 GAL)
TREES PROPOSED = 40 (27-24" BOX & 13 EXISTING SPECIMENS)

LANDSCAPE AREA CALCULATIONS

SITE AREA = 32,922 S.F. (0.76 ACRES)
NEW LANDSCAPE AREA = 3,402 S.F.
EXISTING LANDSCAPE AREA = 4,828 S.F.
LANDSCAPE AREA REQUIRED = 3,292 S.F.
LANDSCAPE AREA PROVIDED = 8,230 S.F. (25%)

PLANT PALETTE

SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY
NEW TREES				
	MAGONIA GRANDIFLORA	SOUTHERN MAGNOLIA	24" BOX MATCH EXIST VARIETY	5
	CHILOPSIS L. 'BURGUNDY'	DESERT WILLOW	24" BOX MATCH EXIST VARIETY	20
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	1
	PHOENIX ROBELLINI	PYGMY DATE PALM	24" BOX - 3 TRUNK MIN 5' MULTI-TRUNK	1
NEW SHRUBS				
	NANDINA 'GULF STREAM'	HEAVENLY BAMBOO	5 GAL	18
	DIANELLA T. 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	83
	ELEAGNUS PUNGENS	SILVERBERRY	5 GAL	41
	LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET	5 GAL	66
	LOMANDRA L. BREEZE	DWARF MAT RUSH	5 GAL	79
EXIST PLANTS				
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	EXISTING PROTECT-IN-PLACE	8- AVG. CANOPY DIA 20'
	MAGONIA GRANDIFLORA	SOUTHERN MAGNOLIA	EXISTING PROTECT-IN-PLACE	2- AVG. CANOPY DIA 12'
	PHOENIX DACTYLIFERA	DATE PALM	EXISTING PROTECT-IN-PLACE	5- AVG. TRUNK HT.25'
	LIGUSTRUM J. 'TEXANUM' RAPHIOLEPIS INDICA	TEXAS PRIVET INDIA HAWTHORN	EXISTING PROTECT-IN-PLACE	MATURE MATURE
REMOVED TREES				
	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	EXISTING	02 TRNK DIA. - 4" 03 TRNK DIA. - 3.5"
	RHUS LANCEA	AFRICAN SUMAC	EXISTING	01 TRNK DIA. - 16" 04#06 TRNK DIA. - 18" 05 TRNK DIA. - 11"
GROUND COVER				
	CEANOTHUS 'YANKEE POINT'	YANKEE POINT CREEPER	1 GAL @ 24" O.C.	
	AGUINAGA PRODUCTS	'FOREST FLOOR'		
	EXISTING PLANTING & IRRIGATION	PROTECT-IN-PLACE		



BICKEL GROUP ARCHITECTURE
BICKEL GROUP INCORPORATED
3600 BIRCH STREET, SUITE 120
NEWPORT BEACH, CA 92660
P: 949.757.0411 F: 949.757.0511
www.bickelgrp.com

COMMERCIAL BUILDING
2355 N. TUSTIN STREET
ORANGE CALIFORNIA, CALIFORNIA

PRELIMINARY
LANDSCAPE PLAN

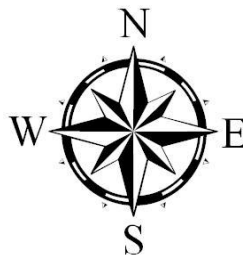
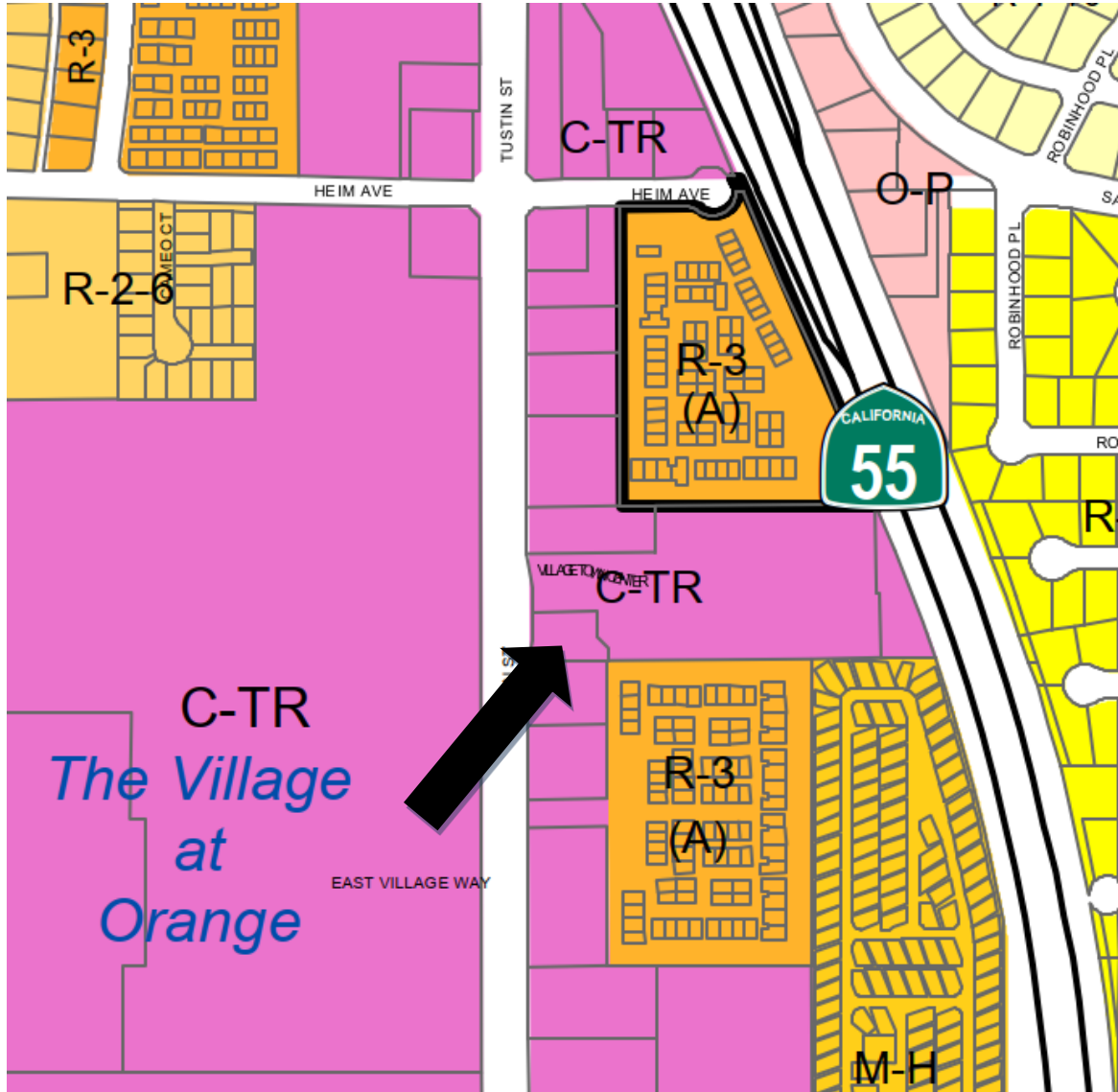
Scale: 1" = 30'
January 22, 2025

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Vicinity Map

2355 N. Tustin Street

Design Review 5151



CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT

Steve F. Andresen / Arborist Services

5516 Inspiration Drive ISA WE-2170A
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(951) 288-3798 sa.arboristservices@outlook.com

January 22, 2025

Jamie Pham
Bickel Group Architecture
3600 Birch Street, Suite 120
Newport Beach, CA 92660

RE: Arborist Report – Revision No.1
City of Orange Conditional Use Permit No. 3230-24, Major Site Plan Review No. 1174-24, and Design Review No. 5151-24
Village Town Center Commercial Building
2355 N. Tustin Avenue, Orange California
APN: 372-642-32

Dear Mr. Phan,

The purpose of the Arborist Report ("Report") is to comply with City of Oange requirements for you to obtain a tree removal permit ("Permit") for the proposed new construction of a 5,330 square foot commercial building "(Project)". The Project is located at 2355 N. Tustin Avenue, Orange California ("Property") referenced above. The Project as planned will require the removal of six (6) existing trees ("Trees").

SCOPE OF WORK

This Report summarizes my visual inspection of the Trees. I am a certified arborist in California # WE-2170A with the International Society of Arboriculture ("ISA") and qualified to make this Report. The scope shall address the following:

- On-site visual inspections of existing trees
- Identify trees with common and botanical names.
- Provide general specifications: DBH (*Diameter at breast height*), overall tree height and width. Provide a site map with existing tree locations.
- Provide comments as to their current health and condition using a letter grade system A – E
- Trees number tagged using round metal ID tags.

SUMMARY

I conducted my original a site visit to inspect the Trees on Saturday, November 2, 2024, at approximately 12:00 PM. Subsequently, the Project expanded, and an additional Tree is now part of this Report. I inspected the additional Tree on Friday, January 17, 2025, at approximately 10:00 AM ("Date of Inspection").

The Property is an improved commercial center with an existing vacant building. The Project is located at the southeasterly corner of the Property adjacent to its entrance off N. Tustin Street, which is a commercial corridor bound by Meats Avenue, East Heim Avenue, and the Costa Mesa Freeway (SR 55). Parking lot improvements include raised planter beds with a variety of trees. I am unable to determine from my visual inspection if a licensed landscape contractor has continuously maintained the Trees since their original planting. There is irrigation to the Trees and evidence of tree care such as pruning.

FINDINGS

Tree Inventory and Letter Grades for Condition and Aesthetic Quality

The tree inventory includes tree height and width measured in feet and the diameter of the tree at breast height measured in inches, as well as a letter grading system. The grading system utilizes letters A to E to indicate the trees' current health and aesthetic quality with a comment for each tree, as necessary. The following is a description of each grade:

- A: Tree in an outstanding condition. A tree with an "A" grade will have an excellent trunk and branch structure, vigorous new growth, and healthy leaf color.
- B: Tree in good condition. A tree with a "B" grade will have good trunk and branch structure with slight defects that may not adversely impact the trees long term condition. Leaf color and general health are good.
- C: Tree in an average condition. Most trees growing in a landscape setting are in average condition. Trees may have branching and trunk defects from improper pruning and maintenance practices. In general, letter "C" grade trees are healthy and will continue to grow in the landscape.
- D: Tree in below average condition. A tree with a "D" grade will have a poor trunk and branch structure, limb and leaf die back with stunted growth and overall plant stress.

E: Tree in severe decline and recommend. Some "E" graded trees may appear healthy but upon further inspection can have major trunk and structural defects warranting removal.

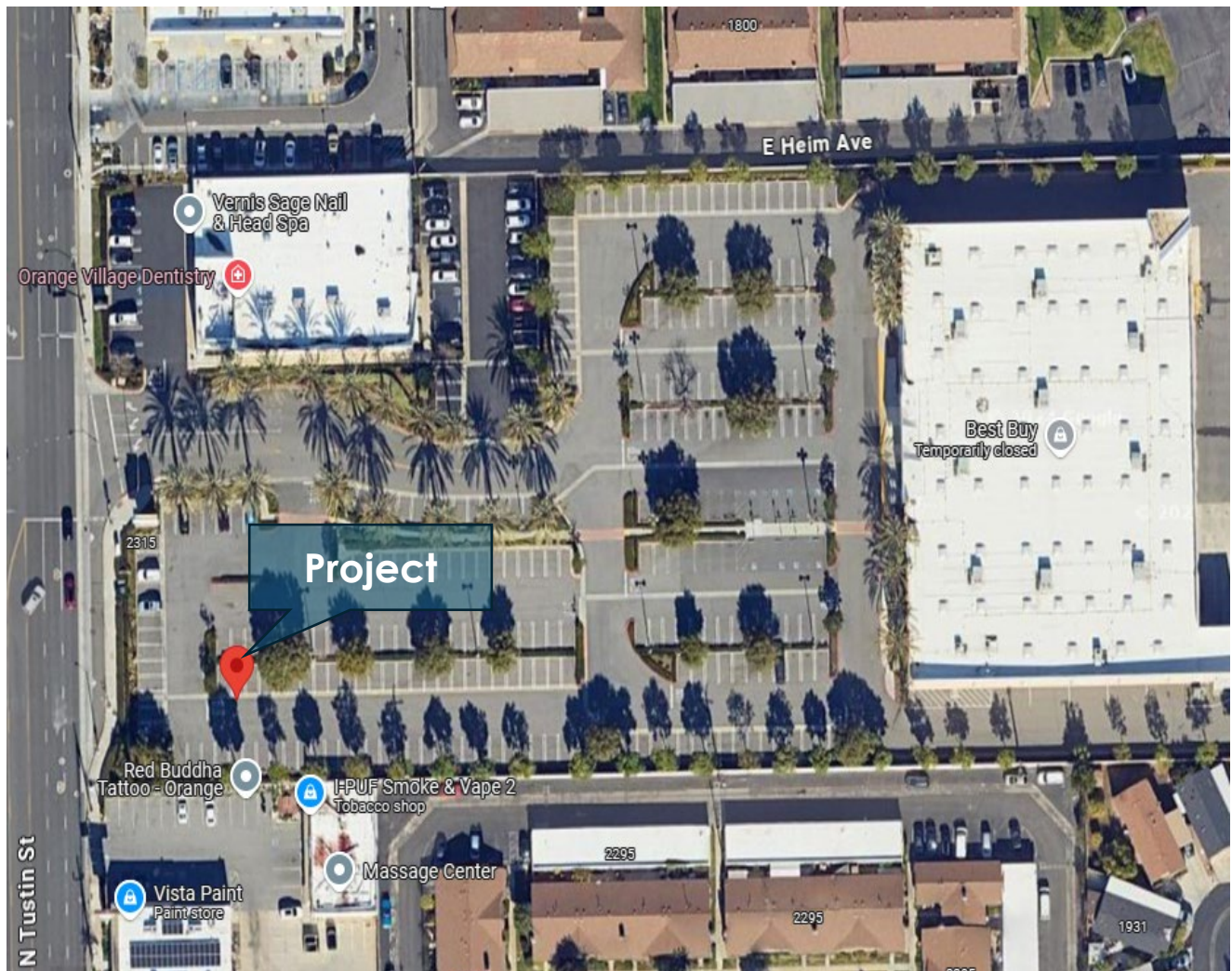
TREE INVENTORY

Tag ID#	Species	Common Name	Height (Feet)	Spread (Feet)	DBH (Inches)	Health Grade	Aesthetic Grade	Comments
1	<i>Rhus lancea</i>	AFRICAN SUMAC	18	20	16	C	C	Average
2	<i>Magnolia</i>	MAGNOLIA	13	8	4	D	D	Below average
3	<i>Magnolia</i>	MAGNOLIA	12	8	3.5	D	D	Below average
4	<i>Rhus lancea</i>	AFRICAN SUMAC	25	25	18	C	C	Average
5	<i>Rhus lancea</i>	AFRICAN SUMAC	19	16	11	C	C	Average
6	<i>Rhus lancea</i>	AFRICAN SUMAC	18	15	12.5	C	C	Average

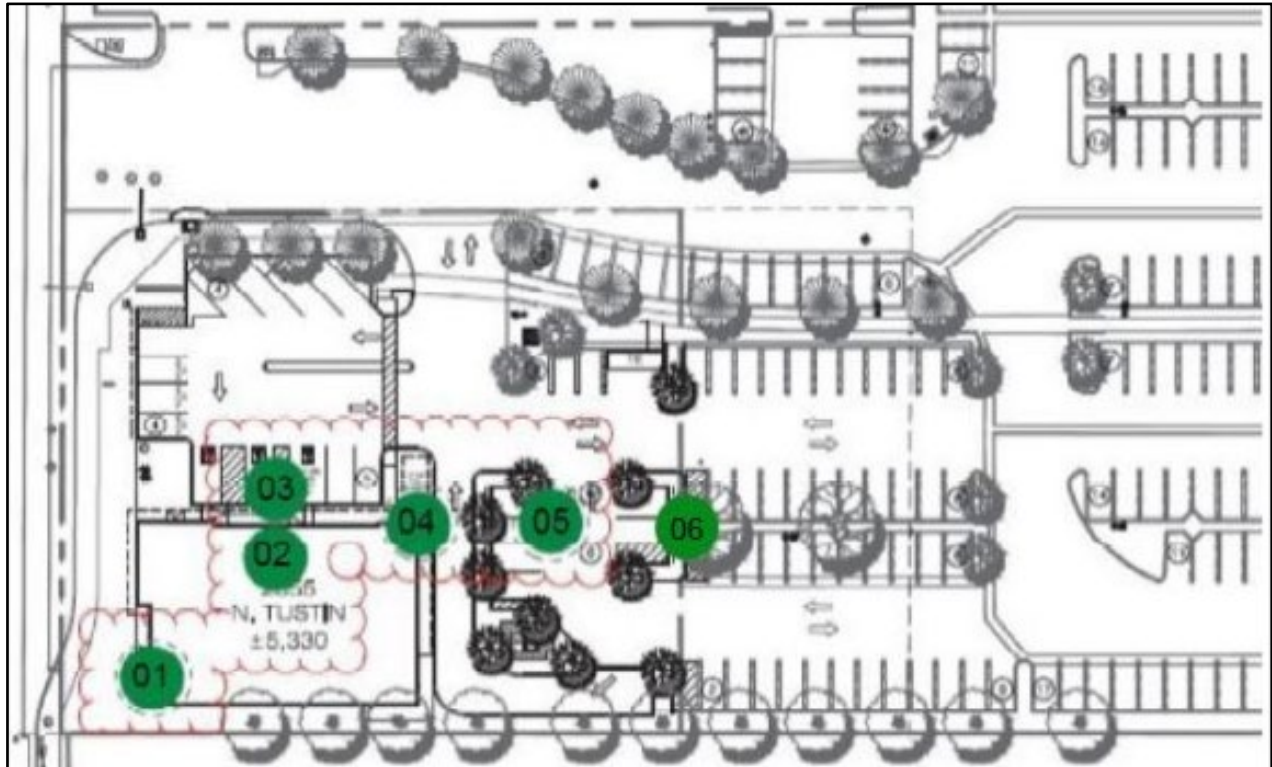
CONCLUSION

There are two species of trees located within the Project area. Those Project tree species are *Rhus lancea* (AFRICAN SUMAC) and MAGNOLIA. The African Sumac trees are a hardy variety and able to withstand neglect. As such, the African Sumac are in average condition for the species and growing conditions. The Magnolia trees can decline over time if not properly monitored and maintained and as such, are graded in below average condition.

Location Map (Google 11/5/24)



Proposed Site Plan with Tree locations



Magnolia – Tree #2



Rhus lancea – Tree #4



CLOSING

Thank you for the opportunity to provide this Report for your Project. Should you have any questions or require additional information, please feel free to contact me at any time.

QUALIFICATIONS AND LIMITING CONDITIONS

I am a certified arborist in California # WE-2170A with the International Society of Arboriculture and qualified to make this report.

My inspection was a visual examination based on the condition of the Trees at the Date of Inspection.

QUESTIONS AND COMMENTS

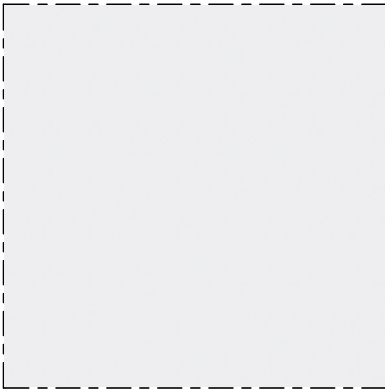
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Steve F. Andresen
Certified Arborist / Traq Qualified



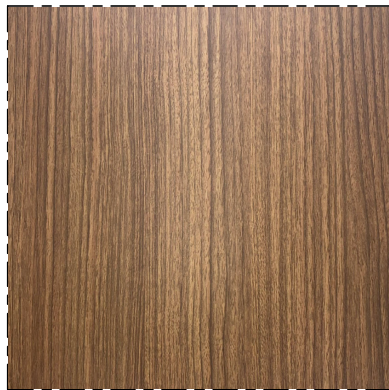
EPS-1: ALUMINUM WALL SYSTEM
MANUFACTURER: CITADEL - ENVELOPE 2000 RAINSCREEN
COLOR: CLEAR ANODIZED SATIN



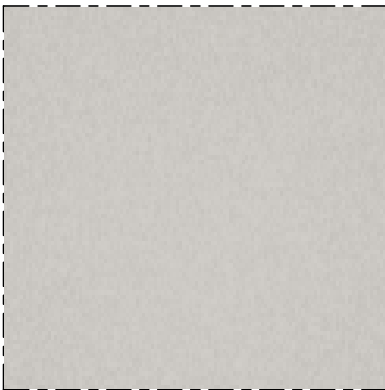
EPS-3: ALUMINUM WALL SYSTEM
MANUFACTURER: CITADEL - ENVELOPE 2000 RAINSCREEN
COLOR: ARCTIC WHITE SATIN



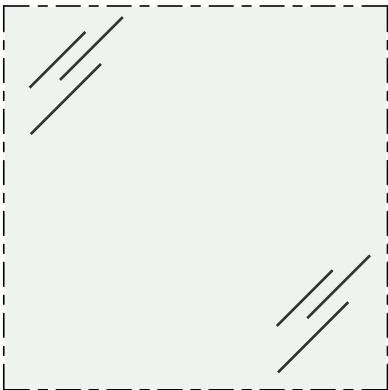
PT-3: STUCCO FINISH - PAINTED
MANUFACTURER: ARMOURWALL 3000 STUCCO - BENJAMIN MOORE
COLOR: CHARCOAL SLATE FLAT HC-178



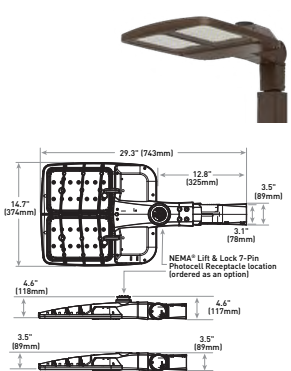
EPS-5: ALUMINUM WALL SYSTEM
MANUFACTURER: PURE + FREEFORM
COLOR: ROMA NOCE SATIN SN043



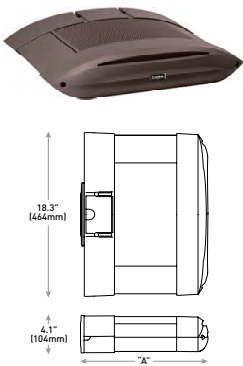
AF-2: ALUMINUM STOREFRONT
MANUFACTURER: OLD CASTLE
COLOR: CLEAR ANODIZED ALUMINUM



GL-2: GLAZING
MANUFACTURER: VIRACON
COLOR: 1" CLEAR INSULATING



OSQ: POLE MOUNTED LIGHT FIXTURE
MANUFACTURER: CREE LIGHTING
COLOR: BRONZE



EDGE: WALL MOUNTED LIGHT FIXTURE
MANUFACTURER: CREE LIGHTING
COLOR: BRONZE

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