



AGENDA

MARYANNE SKORPANICH
Chair

JERICO FARFAN
Vice Chair

ANNE MCDERMOTT
Committee Member

ROBERT GROSSE
Committee Member

GREG LEDESMA
Committee Member

MICHAEL LOPEZ
Committee Member

VACANT
Committee Member

Chad Ortlieb
Principal Planner

Mike Vigliotta
City Attorney

Schylar Moreno
Administrative Assistant

Design Review Committee November 06, 2024

5:30 PM Regular Session

City Council Chamber
300 E. Chapman Avenue
Orange, CA 92866

Welcome to the Design Review Committee Meeting. Regular meetings of the City of Orange Design Review Committee are held the first and third Wednesday of each month at 5:30 p.m.

Agenda Information

The agenda contains a brief general description of each item to be considered. Written materials relating to an item on the agenda that are provided to the Design Review Committee (DRC) after agenda packet distribution and within 72 hours before it is to consider the item will be made available for public inspection in the City Clerk's Office located at 300 E. Chapman Avenue, Orange, during normal business hours; at the DRC meeting; and made available on the City's website at www.cityoforange.org.

Public Participation

Design Review Committee meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at www.cityoforange.org.

Pursuant to Government Code Section 54954.3, members of the public may address the Design Review Committee on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

1) In-person

To speak on an item on the agenda, complete a speaker card indicating your name, address, and identify the agenda item number or subject matter you wish to address. The card should be given to City staff prior to the start of the meeting. General comments are received during the "Public Comments" section at the beginning of the meeting. No action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker unless a different time limit is announced. It is requested that you state your name for the record, then proceed to address the Committee. All speakers shall observe civility, decorum, and good behavior.

(Continued on page 2)

2) Written Public Comments via eComment

Members of the public can submit their written comments electronically for the DRC's consideration by using the eComment feature on the Agenda page of the City's website at www.cityoforange.org. To ensure distribution to the DRC prior to consideration of the agenda, we encourage the public to submit written comments by 3:00 p.m. the day of the meeting. All written comments will be provided to DRC Members for consideration and posted on the City's website after the meeting.

3) Public Comments via recorded voicemail message

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Design Review Committee.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

ADA Requirements: In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours in advance of meeting will enable the City to make arrangements to assure accessibility to this meeting.

REMINDER: Please silence all electronic devices while DRC is in session.

APPEAL PROCEDURE

Any final determination by the Design Review Committee may be appealed, and such appeal must be filed within 15 calendar days after the action is taken. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of \$1,000.00.

The Community Development Department, upon filing of said appeal, will set petition for public hearing before the City Planning Commission at the earliest possible date.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Design Review Committee at, or prior to, the public hearing.

1. OPENING/CALL TO ORDER**1.1 PLEDGE OF ALLEGIANCE**

Committee Member Jerico Farfan.

1.2 ROLL CALL**2. PUBLIC COMMENTS**

Opportunity for members of the public to address the Committee on matters not listed on the agenda which are within the subject matter jurisdiction of the DRC, provided that NO action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker.

3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

3.1. Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on October 16, 2024.**Recommended Action:**

Approve minutes as presented.

Attachments: [Staff Report](#)
[October 16, 2024 DRC Meeting Minutes](#)

4. NEW BUSINESS**4.1. A request to modify an existing historic single-family dwelling and detached garage and construct a new detached accessory structure in the Old Town Historic District at 633 E. Maple Avenue (Design Review No. 5138).****Recommended Action:**

Approval by the Design Review Committee with staff recommended conditions.

- Attachments:** [Staff Report](#)
[Attachment 1 - Vicinity Map](#)
[Attachment 2 - Project Plans](#)
[Attachment 3 - Applicant's Justification for Proposed CMU Walls and Pilasters](#)
[Attachment 4 - Digital Color and Materials Board](#)
[Attachment 5 - JELD-WEN Sitrine Window Details](#)
[Attachment 6 - Cultural Resources Memo Report Dated February 18, 2024](#)
[Attachment 7 - Site Photos](#)
[Attachment 8 - DPR Survey Form](#)
[Attachment 9 - Development Standards Reference Table](#)

4.2. **A request to construct a rear addition and partial interior remodel of an existing Bungalow-style single-family dwelling in the Old Towne Orange Historic District at 247 N. Center Street (Design Review No. 5143).**

Recommended Action:

Approval by the Design Review Committee.

- Attachments:** [Staff Report](#)
[Attachment 1 - Vicinity Map](#)
[Attachment 2 - Applicant's Project Narrative Letter](#)
[Attachment 3 - Project Plans](#)
[Attachment 4 - DPR Survey Form](#)
[Attachment 5 - Window and Door Brochure](#)
[Attachment 6 - Development Standards Reference Table](#)

5. ADJOURNMENT

The next Regular Design Review Committee meeting will be held on Wednesday, November 20, 2024 at 5:30 p.m., in the Council Chamber.

I, Schyler Moreno, Administrative Assistant for the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Orange Main Public Library at 407 E. Chapman Avenue, Police facility at 1107 N. Batavia, and uploaded to the City's website www.cityoforange.org.

Date posted: October 31, 2024



Agenda Item

Design Review Committee

Item #: 3.1.

11/6/2024

File #: 24-0654

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Schyler Moreno, Administrative Assistant

1. SUBJECT

Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on October 16, 2024.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting(s).

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- October 16, 2024 Regular Meeting minutes



Agenda Item

Design Review Committee

Item #: 3.1.

11/6/2024

File #: 24-0654

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Schyler Moreno, Administrative Assistant

1. SUBJECT

Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on October 16, 2024.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting(s).

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- October 16, 2024 Regular Meeting minutes

MINUTES - DRAFT
City of Orange
Design Review Committee
October 16, 2024

The Design Review Committee of the City of Orange, California convened on October 16, 2024, at 5:30 p.m. in a Regular Meeting in the Council Chamber, 300 E. Chapman Avenue, Orange, California.

1. OPENING/CALL TO ORDER

Chair Skorpanich called the meeting to order at 5:30 p.m.

1.1 PLEDGE OF ALLEGIANCE

Chair Maryanne Skorpanich led the flag salute.

1.2 ROLL CALL

Present Farfan, McDermott, Ledesma, Lopez, and Skorpanich

Absent: Grosse

2. PUBLIC COMMENTS

None.

3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

3.1. Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on October 2, 2024.

ACTION: Approved minutes as presented.

3.2. A request to install a new blade sign for a commercial office building in the Old Towne Historic District, 135 S. Lemon Street (Design Review No. 5144).

ACTION: Approved Design Review No. 5144.

Approval of the Consent Calendar

A motion was made by Committee Member Ledesma, seconded by Committee Member Lopez, to approve the Consent Calendar as presented. The motion carried by the following vote:

Ayes: Farfan, McDermott, Ledesma, Lopez, and Skorpanich

Noes: None

Absent: Grosse

4. ADJOURNMENT

There being no further business, the meeting adjourned at 5:33 p.m.

The next Regular Design Review Committee meeting will be held on Wednesday, November 6, 2024 at 5:30 p.m., in the Council Chamber.

Chad Ortlieb
Principal Planner



Agenda Item

Design Review Committee

Item #: 4.1.

11/6/2024

File #: 24-0549

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Ryan Agbayani, Associate Planner

1. SUBJECT

A request to modify an existing historic single-family dwelling and detached garage and construct a new detached accessory structure in the Old Town Historic District at 633 E. Maple Avenue (Design Review No. 5138).

2. SUMMARY

The applicant proposes to:

1. Remodel the previously altered kitchen and rear utility space of the existing historic single-family residence
2. Modify the existing detached garage
3. Construct a new detached garage/workshop, and
4. Perform related site improvements including hardscape, landscape, and relocation of the driveway.

3. RECOMMENDED ACTION

Approval by the Design Review Committee with staff recommended conditions.

4. BACKGROUND INFORMATION

Applicant/Owner: Stephen H. Shearn

Property Location: 633 E. Maple Avenue

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Residential Single-Family 6,000 sq ft (R-1-6)

Existing Development: Two-story single-family dwelling with detached garage and detached accessory sheds

Associated Application: None

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

The applicant proposes to modify the existing dwelling and detached garage and construct a new detached accessory structure at the rear. The major components of the project include:

Existing Two-Story Dwelling

- Remodel the previously altered first-floor kitchen and rear utility space at the northwest corner of the residence
- Replace the existing shed roof at the rear addition with a new gable roof
- Construct a new wood framed rear deck area surrounded by a low CMU wall with stone veneer to match the existing dwelling and concrete cap
- Install poured-in-place concrete steps to access the wood framed deck
- Install CMU pilasters with stone veneer to match the existing dwelling and concrete cap flanking the concrete steps at the rear deck area

Existing Detached Garage

- Remove the existing garage door at the south façade and replace with a new swinging double garage door
- Install a new swinging double garage door at the north façade to create drive-thru access
- Replace the existing vinyl window at the east façade with a new double-hung wood window
- Remove the existing single man door at the western façade and install new wood divided lite double doors

New Detached Accessory Garage/Workshop at Rear

- Construct a new detached garage/workshop (458 sq ft) at northwest corner of the site with a swinging double garage door at the east façade

Related Site Improvements

- Remove the existing driveway apron fronting on N. Harwood Street located between the dwelling and detached garage, and relocate to the north of the detached garage
- Install a 6-foot-tall wooden fence along eastern property line fronting on N. Harwood Street, between the right-side entry gate pilaster to the driveway
- Install five 6-foot-tall CMU pilasters with exterior plaster finish and concrete cap along the eastern property line fronting on N. Harwood Street
- Install 6-foot-tall CMU walls with exterior plaster finish, overhead arbor, and built-in barbeque in the area located northeast of the single-family dwelling
- Install brick paving at the side gate entrance visible from N. Harwood Street

6. EXISTING SITE

The existing 0.275-acre site is currently developed with a two-story 1,895 sq ft Craftsman-style home. Character defining features include:

- A dominant, moderate- to high-pitched, side-gabled roof with front and rear shed-roofed dormers, wide gable eaves with exposed, tapered rafters and wide gable ends supported by knee braces
- Wide clapboard siding
- Wood-framed, mostly double-hung windows with original wood screens
- A deeply recessed, full-width porch and original front door
- Matching river rock stone in the foundation walls, porch walls, and columns with an integrated side porte cochere, and interior chimney
- An existing detached garage located to the north of the dwelling
- Multiple existing detached shed structures at the rear of the property.

7. EXISTING AREA CONTEXT

The property is located at the northwest corner of the intersection of E. Maple Avenue and N. Harwood Street. The existing zoning designation of the subject property and all surrounding properties is R-1-6. The dwellings to the north and east are designated as contributors; however, the dwellings to the south and west are non-contributors.

The applicant prepared a separate Floor Area Ratio (FAR) analysis of the 600 block of E. Maple Avenue as shown on Sheet A-1 of the project plans. A summary is included below:

	Including Non-Contributing Residences	Excluding Non-Contributing Residences
Average Existing FAR	0.272 FAR (Range: 0.18 to 0.44 FAR)	0.255 FAR (Range: 0.18 to 0.35 FAR)
Average Proposed FAR (with the new detached structure)	0.276 FAR (Range: 0.22 to 0.44 FAR)	0.261 FAR (Range: 0.22 to 0.35 FAR)

8. PROJECT ANALYSIS

Proposed Fence with CMU Pilasters, 6-Foot-High CMU BBQ Walls, and Overhead Arbor:

The applicant is proposing a wood fence with CMU pilasters and six-foot-high CMU walls with exterior plaster finish along the eastern property line fronting on N. Harwood Street. An arbor is proposed attached above the wall. The area behind the wall is intended for a built-in barbecue. The applicant has prepared a narrative to justify how the proposed CMU barbecue walls and pilasters meet the Secretary of the Interior’s Standards (see Attachment 3). However, staff’s recommendation is that the proposed perimeter fencing be modified to maintain the simple wood fence design. Staff is referencing Standard for Rehabilitation #3, which states that, “Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as addition conjectural features or elements from other historic properties, will not be undertaken.” The goal of Standard #3 is to retain the sequence of historical development.

The proposed arbor does not meet the dimension requirements of Orange Municipal Code Section 17.12.040D.11. Arbors are limited to an eight-foot height, four-foot width, and two foot depth. Therefore, Condition No. 9 is included to require the applicant to eliminate the exterior CMU walls, pilasters with plaster finish, concrete cap, and arbor. The fence is to be reverted to a simple wood

fence design. With this condition, staff can support approval of the project.

With the arbor, staff is unable to recommend project approval and the DRC may not approve the project with the arbor because it does not comply with code.

Brick Paving at Side Gate Entrance along Eastern Property Line:

The applicant is proposing brick paving in a major area of the internal private yard area and along the western portion of the primary home. Staff does not regulate paving on private property that is not visible from the public right-of-way. However, there is a small area of brick paving at the side gate entrance along the eastern property line that will be visible from the right-of-way. Brick is not typically a material used in Old Towne. Staff does not support the proposed brick paving that is visible in front of the gate entrance.

Staff recommends Condition No. 10 to require the applicant propose an appropriate alternate paving material in the area in front of the side gate that is visible from the public right-of-way. With this condition, staff can support approval of the project.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

On October 24, 2024, public notices were mailed to a total of 94 property owners and occupants within a 400-foot radius of the project site. Two public notices were posted at the site on that same date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt per State CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects) because the project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with the applicable zoning designation and regulations, the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses, the project site has no value as a habitat for endangered, rare, or threatened species, approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site can be adequately served by all required utilities and public services.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The proposed modifications to the kitchen and rear utility area of the existing home and to the existing detached garage seem appropriate, given the removal of inappropriate mismatched windows and installation of new uniformly sized double hung wood windows. The proposed change from a shed roof to a gable roof at the rear is compatible with the gable roof of the existing detached garage and new detached garage/workshop. However, meeting the finding is contingent on Condition No. 9 requiring the proposed fence be modified to eliminate the

plaster-finished CMU pilasters, CMU BBQ walls, arbor, and revert the fence to a simple wood fence design. Additionally, brick is not typically a material used in Old Towne. Staff does not support a brick paving that is visible in front of the gate entrance. Condition No. 10 requires an appropriate alternate paving material in the area in front of the side gate that is visible from the public right-of-way. With the conditions, the project will conform to prescriptive standards and design criteria.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The proposed modifications to the kitchen and rear utility area of the existing home and to the existing detached garage are appropriate, given the removal of inappropriate mismatched windows and installation of new uniformly sized double hung wood windows. The proposed change from a shed roof to a gable roof at the rear is compatible with the gable roof of the existing detached garage and new detached garage/workshop. This finding can be made with implementation of Conditions No. 9 and 10 to:

- a. Modify the fence to eliminate the plaster-finished CMU pilasters
 - b. Eliminate CMU BBQ walls
 - c. Eliminate the arbor
 - d. Maintain the simple wood fence design
 - e. Eliminate brick paving from the front of the gate entrance.
3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.

The proposed modifications to the kitchen and rear utility area incorporate a design that is consistent and integrated with the existing dwelling with the installation of compatible double hung windows. Furthermore, the new gable roof is consistent with gable roofs of the existing detached garage and the new detached garage/workshop.

4. For infill residential development, as specified in the City of Orange Infill Residential Design Guidelines, the new structure(s) or addition are compatible with the scale, massing, orientation, and articulation of the surrounding development and will preserve or enhance existing neighborhood character.

The proposed modifications to the kitchen and rear utility area of the existing home are not located on a primary elevation that directly interfaces with the street. Additionally, the proposed detached garage/workshop is set back roughly 80 feet from the eastern property line and has a maximum height of 10 feet, 9 inches. As such, the bulk, mass, and scale of the existing development is not altered with the proposed modifications.

13. CONDITIONS

The approval of this project is subject to the following conditions:

General:

1. All construction shall conform in substance and be maintained in general conformance with the plans and exhibits included in the staff report dated November 6, 2024, including any modifications required by conditions of approval, and as recommended for approval by the Design Review Committee.
2. Except as otherwise provided herein, this project is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approved action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan administratively.
3. Subsequent modifications to the approved architecture or color scheme shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the modifications shall be reviewed by the Design Review Committee (at a subsequent public hearing).
4. Prior to building permit issuance, the applicant shall provide a structural condition assessment and bracing plan, specifically for the existing detached garage. The assessment shall verify that the existing garage can accommodate the modifications, including the new swinging double doors.

Lighting:

5. Any new lighting on the premise shall be installed in such a way to direct, control, and screen the lighting to prevent off-site light spillage onto adjoining properties and shall not be a nuisance to any point beyond the exterior boundaries of the property.

Landscaping:

6. Prior to building permit issuance, final landscaping plans for the project shall be designed to comply with the City's Water Efficient Landscape Guidelines as described in Section IX et al of the City of Orange Landscape Standards and Specifications.
7. Prior to building permit issuance, the applicant shall prepare and final landscaping and irrigation plan consistent with the site plan, grading plans, and the conceptual landscaping plan as proposed for the new project for the review and approval by the Community Development Director or designee.
8. Landscape maintenance shall be performed in such a manner as to allow all trees to retain their full canopy height for screening and full canopy breadth for shade at point of maturity, except as required for public safety purposes.

Staff Recommended Conditions:

9. The applicant shall eliminate the exterior CMU walls, pilasters with plaster finish, concrete cap, and arbor. The fence shall be reverted to the existing simple wood fence design.
10. The applicant shall eliminate the brick paving proposed at the side gate entrance and propose an appropriate alternate paving material in the portion that is visible from the

public right-of-way.

14. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Project Plans
- Attachment 3 - Applicant's Justification for Proposed CMU Walls and Pilasters
- Attachment 4 - Digital Color and Materials Board
- Attachment 5 - JELD-WEN Siteline Window Details
- Attachment 6 - Cultural Resources Memo Report Dated February 18, 2024
- Attachment 7 - Site Photos
- Attachment 8 - DPR Survey Form
- Attachment 9 - Development Standards Reference Table



Agenda Item

Design Review Committee

Item #: 4.1.

11/6/2024

File #: 24-0549

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Ryan Agbayani, Associate Planner

1. SUBJECT

A request to modify an existing historic single-family dwelling and detached garage and construct a new detached accessory structure in the Old Town Historic District at 633 E. Maple Avenue (Design Review No. 5138).

2. SUMMARY

The applicant proposes to:

1. Remodel the previously altered kitchen and rear utility space of the existing historic single-family residence
2. Modify the existing detached garage
3. Construct a new detached garage/workshop, and
4. Perform related site improvements including hardscape, landscape, and relocation of the driveway.

3. RECOMMENDED ACTION

Approval by the Design Review Committee with staff recommended conditions.

4. BACKGROUND INFORMATION

Applicant/Owner: Stephen H. Shearn

Property Location: 633 E. Maple Avenue

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Residential Single-Family 6,000 sq ft (R-1-6)

Existing Development: Two-story single-family dwelling with detached garage and detached accessory sheds

Associated Application: None

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

The applicant proposes to modify the existing dwelling and detached garage and construct a new detached accessory structure at the rear. The major components of the project include:

Existing Two-Story Dwelling

- Remodel the previously altered first-floor kitchen and rear utility space at the northwest corner of the residence
- Replace the existing shed roof at the rear addition with a new gable roof
- Construct a new wood framed rear deck area surrounded by a low CMU wall with stone veneer to match the existing dwelling and concrete cap
- Install poured-in-place concrete steps to access the wood framed deck
- Install CMU pilasters with stone veneer to match the existing dwelling and concrete cap flanking the concrete steps at the rear deck area

Existing Detached Garage

- Remove the existing garage door at the south façade and replace with a new swinging double garage door
- Install a new swinging double garage door at the north façade to create drive-thru access
- Replace the existing vinyl window at the east façade with a new double-hung wood window
- Remove the existing single man door at the western façade and install new wood divided lite double doors

New Detached Accessory Garage/Workshop at Rear

- Construct a new detached garage/workshop (458 sq ft) at northwest corner of the site with a swinging double garage door at the east façade

Related Site Improvements

- Remove the existing driveway apron fronting on N. Harwood Street located between the dwelling and detached garage, and relocate to the north of the detached garage
- Install a 6-foot-tall wooden fence along eastern property line fronting on N. Harwood Street, between the right-side entry gate pilaster to the driveway
- Install five 6-foot-tall CMU pilasters with exterior plaster finish and concrete cap along the eastern property line fronting on N. Harwood Street
- Install 6-foot-tall CMU walls with exterior plaster finish, overhead arbor, and built-in barbeque in the area located northeast of the single-family dwelling
- Install brick paving at the side gate entrance visible from N. Harwood Street

6. EXISTING SITE

The existing 0.275-acre site is currently developed with a two-story 1,895 sq ft Craftsman-style home. Character defining features include:

- A dominant, moderate- to high-pitched, side-gabled roof with front and rear shed-roofed dormers, wide gable eaves with exposed, tapered rafters and wide gable ends supported by knee braces
- Wide clapboard siding
- Wood-framed, mostly double-hung windows with original wood screens
- A deeply recessed, full-width porch and original front door
- Matching river rock stone in the foundation walls, porch walls, and columns with an integrated side porte cochere, and interior chimney
- An existing detached garage located to the north of the dwelling
- Multiple existing detached shed structures at the rear of the property.

7. EXISTING AREA CONTEXT

The property is located at the northwest corner of the intersection of E. Maple Avenue and N. Harwood Street. The existing zoning designation of the subject property and all surrounding properties is R-1-6. The dwellings to the north and east are designated as contributors; however, the dwellings to the south and west are non-contributors.

The applicant prepared a separate Floor Area Ratio (FAR) analysis of the 600 block of E. Maple Avenue as shown on Sheet A-1 of the project plans. A summary is included below:

	Including Non-Contributing Residences	Excluding Non-Contributing Residences
Average Existing FAR	0.272 FAR (Range: 0.18 to 0.44 FAR)	0.255 FAR (Range: 0.18 to 0.35 FAR)
Average Proposed FAR (with the new detached structure)	0.276 FAR (Range: 0.22 to 0.44 FAR)	0.261 FAR (Range: 0.22 to 0.35 FAR)

8. PROJECT ANALYSIS

Proposed Fence with CMU Pilasters, 6-Foot-High CMU BBQ Walls, and Overhead Arbor:

The applicant is proposing a wood fence with CMU pilasters and six-foot-high CMU walls with exterior plaster finish along the eastern property line fronting on N. Harwood Street. An arbor is proposed attached above the wall. The area behind the wall is intended for a built-in barbecue. The applicant has prepared a narrative to justify how the proposed CMU barbecue walls and pilasters meet the Secretary of the Interior’s Standards (see Attachment 3). However, staff’s recommendation is that the proposed perimeter fencing be modified to maintain the simple wood fence design. Staff is referencing Standard for Rehabilitation #3, which states that, “Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as addition conjectural features or elements from other historic properties, will not be undertaken.” The goal of Standard #3 is to retain the sequence of historical development.

The proposed arbor does not meet the dimension requirements of Orange Municipal Code Section 17.12.040D.11. Arbors are limited to an eight-foot height, four-foot width, and two foot depth. Therefore, Condition No. 9 is included to require the applicant to eliminate the exterior CMU walls, pilasters with plaster finish, concrete cap, and arbor. The fence is to be reverted to a simple wood

fence design. With this condition, staff can support approval of the project.

With the arbor, staff is unable to recommend project approval and the DRC may not approve the project with the arbor because it does not comply with code.

Brick Paving at Side Gate Entrance along Eastern Property Line:

The applicant is proposing brick paving in a major area of the internal private yard area and along the western portion of the primary home. Staff does not regulate paving on private property that is not visible from the public right-of-way. However, there is a small area of brick paving at the side gate entrance along the eastern property line that will be visible from the right-of-way. Brick is not typically a material used in Old Towne. Staff does not support the proposed brick paving that is visible in front of the gate entrance.

Staff recommends Condition No. 10 to require the applicant propose an appropriate alternate paving material in the area in front of the side gate that is visible from the public right-of-way. With this condition, staff can support approval of the project.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

On October 24, 2024, public notices were mailed to a total of 94 property owners and occupants within a 400-foot radius of the project site. Two public notices were posted at the site on that same date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt per State CEQA Guidelines Section 15332 (Class 32 - In-Fill Development Projects) because the project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with the applicable zoning designation and regulations, the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses, the project site has no value as a habitat for endangered, rare, or threatened species, approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site can be adequately served by all required utilities and public services.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The proposed modifications to the kitchen and rear utility area of the existing home and to the existing detached garage seem appropriate, given the removal of inappropriate mismatched windows and installation of new uniformly sized double hung wood windows. The proposed change from a shed roof to a gable roof at the rear is compatible with the gable roof of the existing detached garage and new detached garage/workshop. However, meeting the finding is contingent on Condition No. 9 requiring the proposed fence be modified to eliminate the

plaster-finished CMU pilasters, CMU BBQ walls, arbor, and revert the fence to a simple wood fence design. Additionally, brick is not typically a material used in Old Towne. Staff does not support a brick paving that is visible in front of the gate entrance. Condition No. 10 requires an appropriate alternate paving material in the area in front of the side gate that is visible from the public right-of-way. With the conditions, the project will conform to prescriptive standards and design criteria.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The proposed modifications to the kitchen and rear utility area of the existing home and to the existing detached garage are appropriate, given the removal of inappropriate mismatched windows and installation of new uniformly sized double hung wood windows. The proposed change from a shed roof to a gable roof at the rear is compatible with the gable roof of the existing detached garage and new detached garage/workshop. This finding can be made with implementation of Conditions No. 9 and 10 to:

- a. Modify the fence to eliminate the plaster-finished CMU pilasters
 - b. Eliminate CMU BBQ walls
 - c. Eliminate the arbor
 - d. Maintain the simple wood fence design
 - e. Eliminate brick paving from the front of the gate entrance.
3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.

The proposed modifications to the kitchen and rear utility area incorporate a design that is consistent and integrated with the existing dwelling with the installation of compatible double hung windows. Furthermore, the new gable roof is consistent with gable roofs of the existing detached garage and the new detached garage/workshop.

4. For infill residential development, as specified in the City of Orange Infill Residential Design Guidelines, the new structure(s) or addition are compatible with the scale, massing, orientation, and articulation of the surrounding development and will preserve or enhance existing neighborhood character.

The proposed modifications to the kitchen and rear utility area of the existing home are not located on a primary elevation that directly interfaces with the street. Additionally, the proposed detached garage/workshop is set back roughly 80 feet from the eastern property line and has a maximum height of 10 feet, 9 inches. As such, the bulk, mass, and scale of the existing development is not altered with the proposed modifications.

13. CONDITIONS

The approval of this project is subject to the following conditions:

General:

1. All construction shall conform in substance and be maintained in general conformance with the plans and exhibits included in the staff report dated November 6, 2024, including any modifications required by conditions of approval, and as recommended for approval by the Design Review Committee.
2. Except as otherwise provided herein, this project is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approved action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan administratively.
3. Subsequent modifications to the approved architecture or color scheme shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the modifications shall be reviewed by the Design Review Committee (at a subsequent public hearing).
4. Prior to building permit issuance, the applicant shall provide a structural condition assessment and bracing plan, specifically for the existing detached garage. The assessment shall verify that the existing garage can accommodate the modifications, including the new swinging double doors.

Lighting:

5. Any new lighting on the premise shall be installed in such a way to direct, control, and screen the lighting to prevent off-site light spillage onto adjoining properties and shall not be a nuisance to any point beyond the exterior boundaries of the property.

Landscaping:

6. Prior to building permit issuance, final landscaping plans for the project shall be designed to comply with the City's Water Efficient Landscape Guidelines as described in Section IX et al of the City of Orange Landscape Standards and Specifications.
7. Prior to building permit issuance, the applicant shall prepare and final landscaping and irrigation plan consistent with the site plan, grading plans, and the conceptual landscaping plan as proposed for the new project for the review and approval by the Community Development Director or designee.
8. Landscape maintenance shall be performed in such a manner as to allow all trees to retain their full canopy height for screening and full canopy breadth for shade at point of maturity, except as required for public safety purposes.

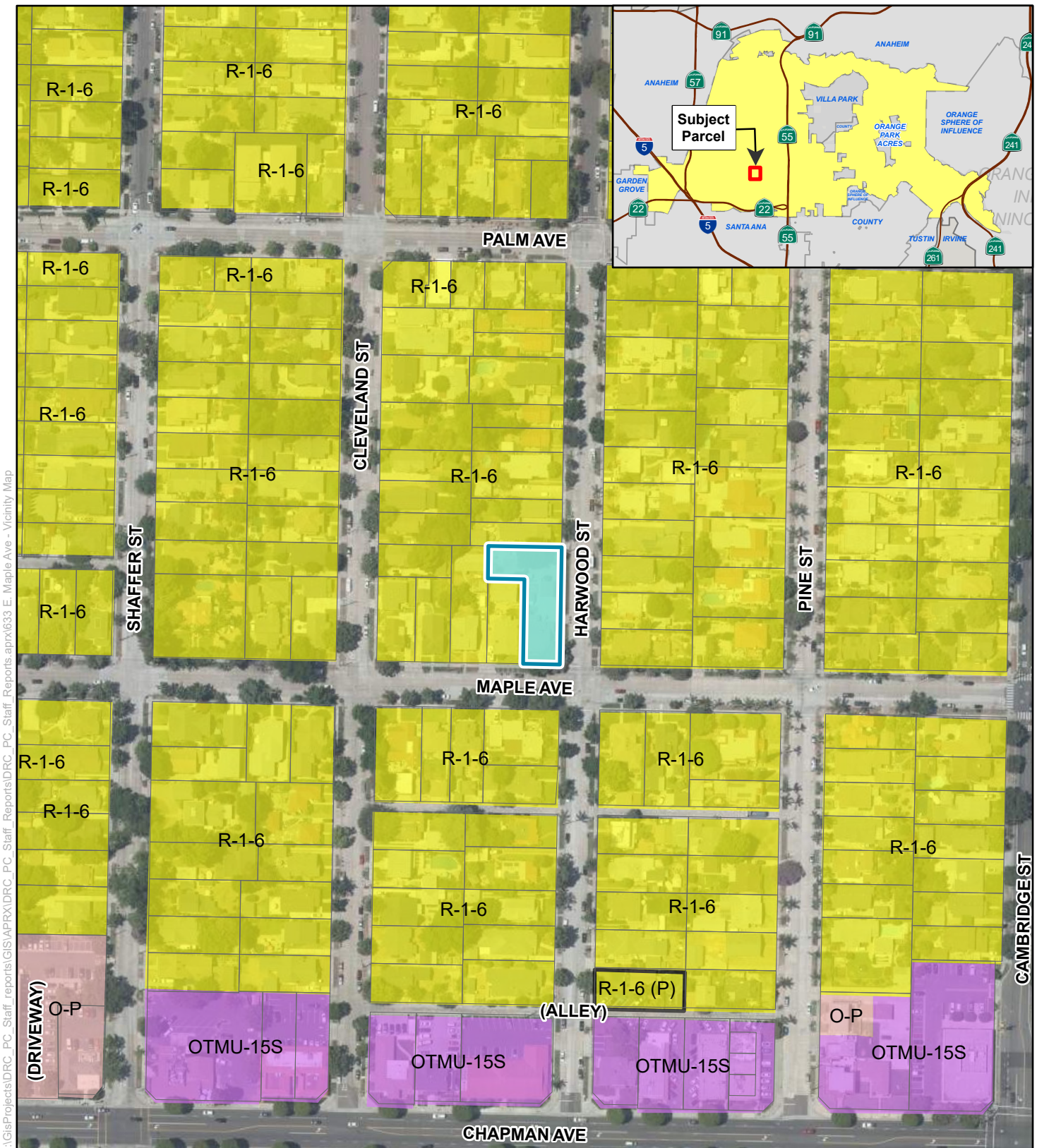
Staff Recommended Conditions:

9. The applicant shall eliminate the exterior CMU walls, pilasters with plaster finish, concrete cap, and arbor. The fence shall be reverted to the existing simple wood fence design.
10. The applicant shall eliminate the brick paving proposed at the side gate entrance and propose an appropriate alternate paving material in the portion that is visible from the

public right-of-way.

14. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Project Plans
- Attachment 3 - Applicant's Justification for Proposed CMU Walls and Pilasters
- Attachment 4 - Digital Color and Materials Board
- Attachment 5 - JELD-WEN Siteline Window Details
- Attachment 6 - Cultural Resources Memo Report Dated February 18, 2024
- Attachment 7 - Site Photos
- Attachment 8 - DPR Survey Form
- Attachment 9 - Development Standards Reference Table



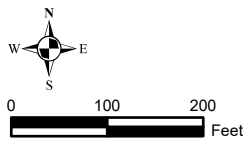
J:\GIS\Projects\IDRC_PC_Staff_reports\GIS\APRX\IDRC_PC_Staff_Reports\aprx\633 E. Maple Ave - Vicinity Map



Legend

- Parcels
- Subject Parcel
- O-P
- R-1-6
- R-1-6 (P)
- OTMU-15S

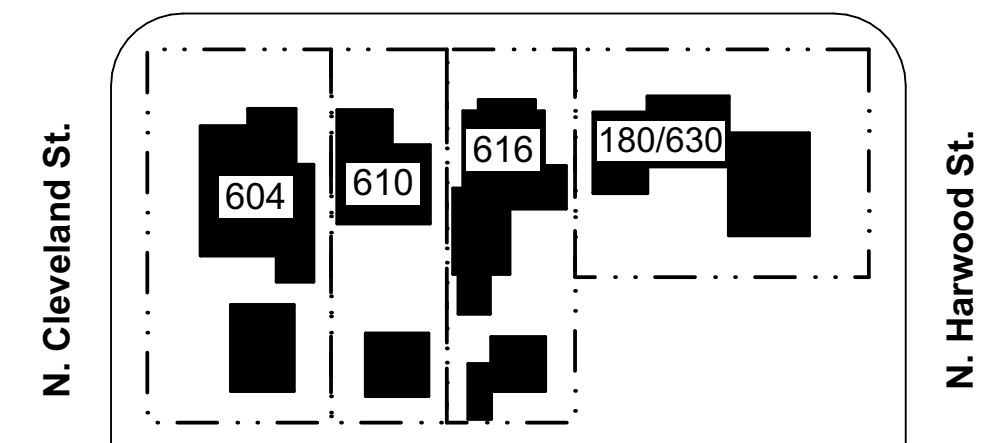
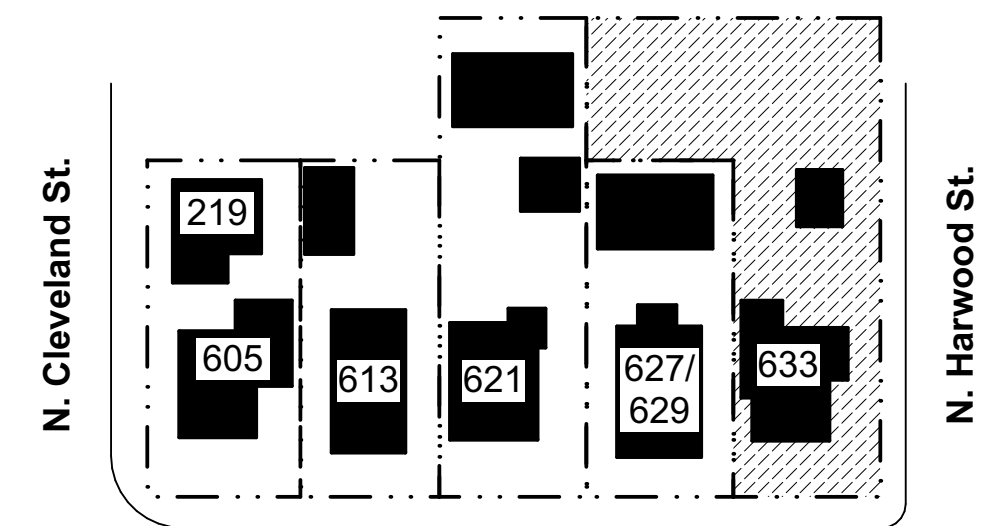
Design Review No. 5138
 633 E. Maple Avenue
 Zoning: R-1-6



10/24/2024

Source: City of Orange (2024), Eagle Aerial (2022)

CITY OF ORANGE
VICINITY MAP
SHEARN RESIDENCE



Existing FAR Analysis for 600 Block of E. Maple Ave.

604 E Maple Ave	2,504sf	/	9,959sf	=	.26
605 E Maple Ave	1,652sf	/	6,913sf	=	.24
610 E Maple Ave	1,546sf	/	6,031sf	=	.26
613 E Maple Ave	1,464sf	/	6,742sf	=	.22
616 E Maple Ave	2,440sf	/	6,872sf	=	.35
621 E Maple Ave	2,593sf	/	9,148sf	=	.28
627/629 E Maple Ave	2,874sf	/	6,534sf	=	.44
630/180 N Harwood St	2,064sf	/	9,280sf	=	.22
633 E Maple Ave	2,250sf	/	11,979sf	=	.18
Total Average Existing FAR				=	.272

Existing FAR Analysis for 600 Block of E. Maple Ave. (Excluding Non-Contributing Residences)

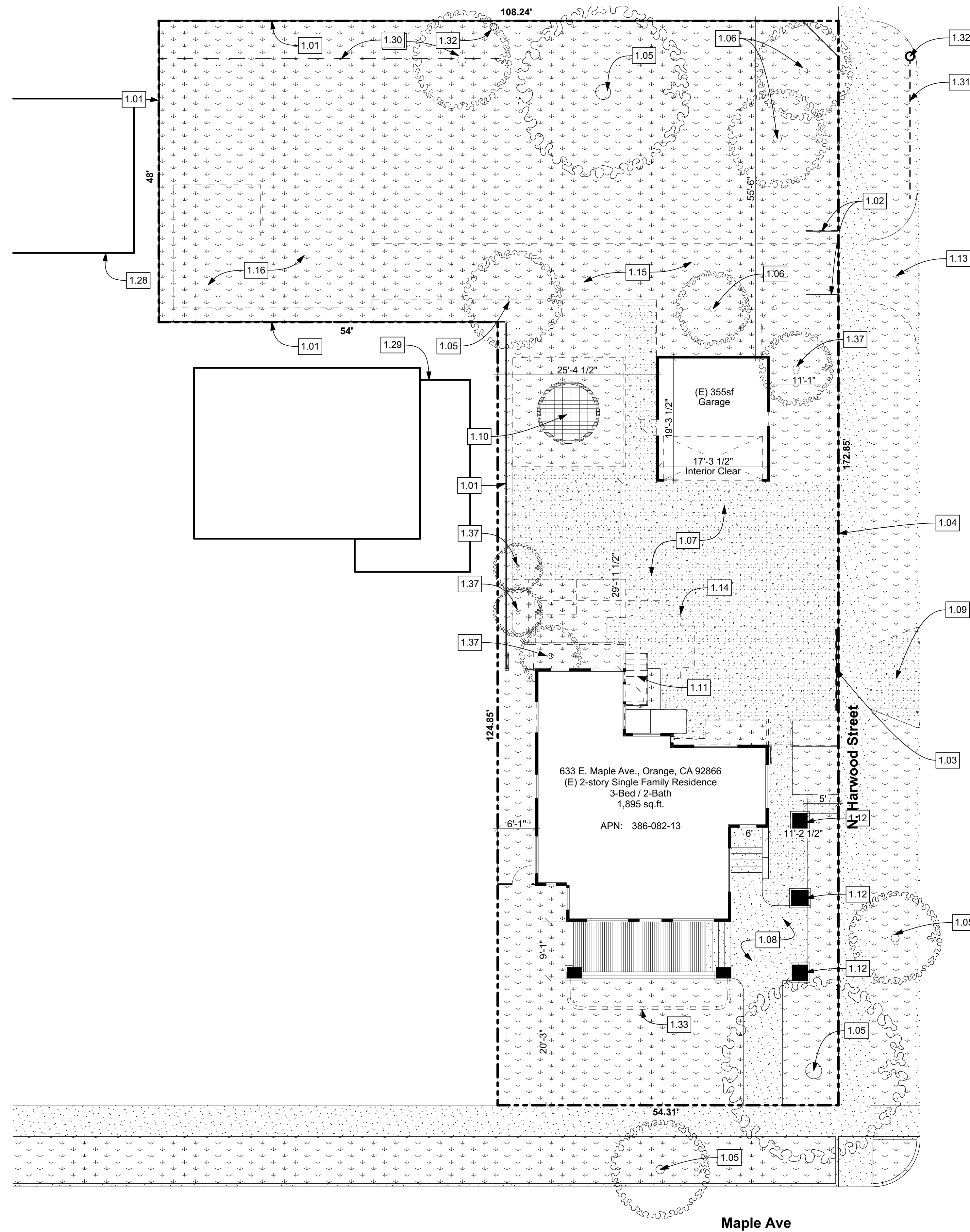
604 E Maple Ave	2,504sf	/	9,959sf	=	.26
605 E Maple Ave	1,652sf	/	6,913sf	=	.24
610 E Maple Ave	1,546sf	/	6,031sf	=	.26
613 E Maple Ave	1,464sf	/	6,742sf	=	.22
616 E Maple Ave	2,440sf	/	6,872sf	=	.35
621 E Maple Ave	2,593sf	/	9,148sf	=	.28
627/629 E Maple Ave	2,874sf	/	6,534sf	=	.44
630/180 N Harwood St	2,064sf	/	9,280sf	=	.22
633 E Maple Ave	2,250sf	/	11,979sf	=	.18
Total Average Proposed FAR				=	.255

Proposed FAR Analysis for 600 Block of E. Maple Ave.

604 E Maple Ave	2,504sf	/	9,959sf	=	.26
605 E Maple Ave	1,652sf	/	6,913sf	=	.24
610 E Maple Ave	1,546sf	/	6,031sf	=	.26
613 E Maple Ave	1,464sf	/	6,742sf	=	.22
616 E Maple Ave	2,440sf	/	6,872sf	=	.35
621 E Maple Ave	2,593sf	/	9,148sf	=	.28
627/629 E Maple Ave	2,874sf	/	6,534sf	=	.44
630/180 N Harwood St	2,064sf	/	9,280sf	=	.22
633 E Maple Ave	2,708sf	/	11,979sf	=	.22
Total Average Proposed FAR				=	.276

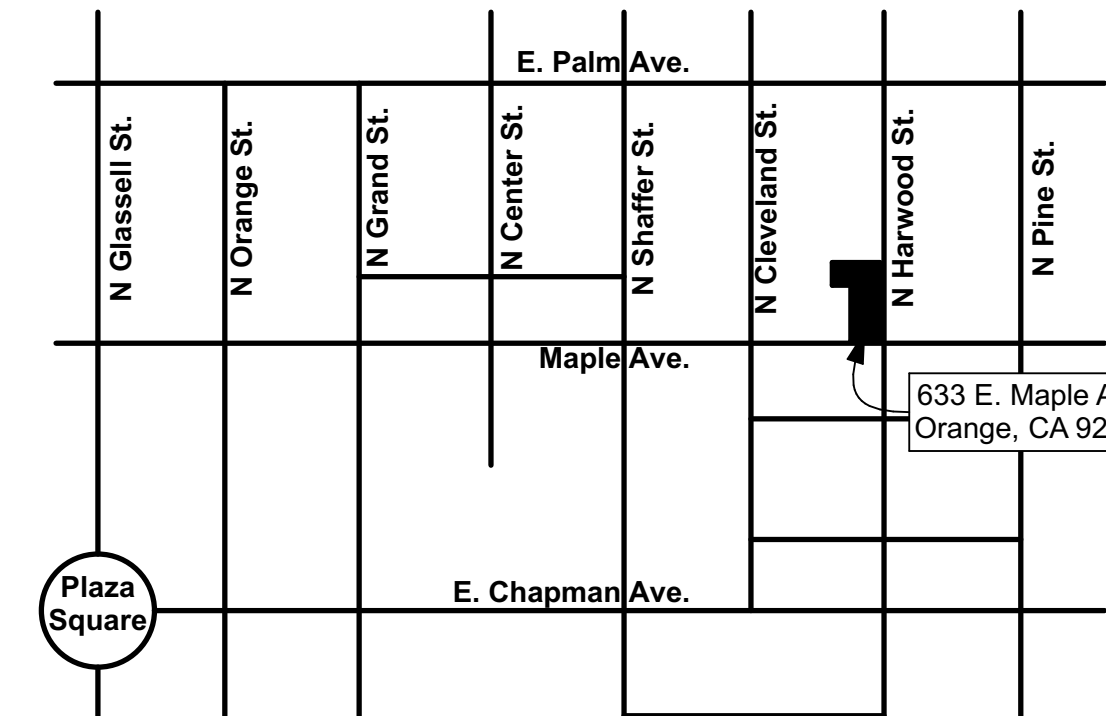
Proposed FAR Analysis for 600 Block of E. Maple Ave. (Excluding Non-Contributing Residences)

604 E Maple Ave	2,504sf	/	9,959sf	=	.26
605 E Maple Ave	1,652sf	/	6,913sf	=	.24
610 E Maple Ave	1,546sf	/	6,031sf	=	.26
613 E Maple Ave	1,464sf	/	6,742sf	=	.22
616 E Maple Ave	2,440sf	/	6,872sf	=	.35
621 E Maple Ave	2,593sf	/	9,148sf	=	.28
627/629 E Maple Ave	2,874sf	/	6,534sf	=	.44
630/180 N Harwood St	2,064sf	/	9,280sf	=	.22
633 E Maple Ave	2,708sf	/	11,979sf	=	.22
Total Average Proposed FAR				=	.261



1 Existing Site Plan
SCALE: 1" = 10'

Vicinity Map



Sheet Index

- A-1 Project Information & Existing Site Plan
- A-2 Proposed Site Plan
- A-3 Conceptual Landscape Plan
- A-4 Existing/Demolition Main Residence & Garage Floor Plans & Roof Plan
- A-5 Proposed Main Residence & Garage Floor Plans & Roof Plan
- A-6 Proposed Accessory Structure Floor & Roof Plan
- A-7 Existing Exterior Elevations of Main Residence
- A-8 Existing Exterior Elevations of Existing Garage
- A-9 Proposed Exterior Elevations of Main Residence and Existing Garage
- A-10 Proposed Exterior Elevations of Main Residence and Existing Garage
- A-11 Proposed Exterior Elevations of New Accessory Structure
- A-12 Perspective Renderings
- A-13 Existing Conditions Photographs
- A-14 Adjacent Property Photographs

OWNER: Steven Shearn
633 E. Maple Ave., Orange, CA 92866

APPLICANT: DSEA, Inc.
143 S. Olive St. Orange 92868 CA
(714) 639-3958
Contact: Douglas Ely
dely@dseainc.com

PROJECT ADDRESS: 633 E. Maple Ave., Orange, CA 92866

PROJECT DESCRIPTION:

This project involves three main building components and three main sitework components. There are various related elements to each component that are detailed within the plans provided.
The building work includes replacing the doors on the existing 355sf garage along with adding another door at the rear of the garage, constructing a new detached garage/workshop at the northwest corner of the property and remodeling the existing kitchen and utility areas. There was a small addition constructed somewhere around 1947 at the northwest corner of the main residence. This addition included a shed roof that is in need of being replaced along with windows that lack the character and rhythm of the main residence. In addition to the interior work involved to remodel and reconfigure the kitchen and utility areas this project proposes to eliminate and infill one improper aluminum window and replace an existing corner wood window with a wood window that matches the character of the window located at the adjoining corner.
The site work involves relocating an existing driveway apron, removing and replacing trees and reconfiguring the fence. The driveway apron was relocated at some time after 1947 and this project proposes to move it to a more appropriate location so that the yard adjacent to the residence can be more highly utilized.

APN#: 386-082-13

ZONE: R-1-6

EXISTING LOT AREA: 11,979 sq. ft.

PROPOSED USE: No change to existing use

OCCUPANCY GROUP: R-3

CONSTRUCTION TYPE: V-B (Non-Sprinklered)

EXISTING PARKING (No change): (2) Enclosed garage parking spaces (substandard size)

EXISTING STORIES (No change): 2-Story

EXISTING AREA:
(E) Residence 1,895 sq.ft.
(E) Garage 355 sq.ft.
Total 2,250 sq.ft.

PROPOSED AREA:
Proposed Garage/Workshop 458 sq.ft.
(E) Residence 1,895 sq.ft.
(E) Garage 355 sq.ft.
Total 2,708 sq.ft.

EXISTING LOT COVERAGE: 1,449 sq.ft. / 11,979 sq.ft. = .12

PROPOSED LOT COVERAGE: 1,907 sq.ft. / 11,979 sq.ft. = .16

EXISTING FLOOR AREA RATIO: 2,250 sq.ft. / 11,979 sq.ft. = .188

PROPOSED FLOOR AREA RATIO: 2,708 sq.ft. / 11,979 sq.ft. = .226

Site Plan Keynotes

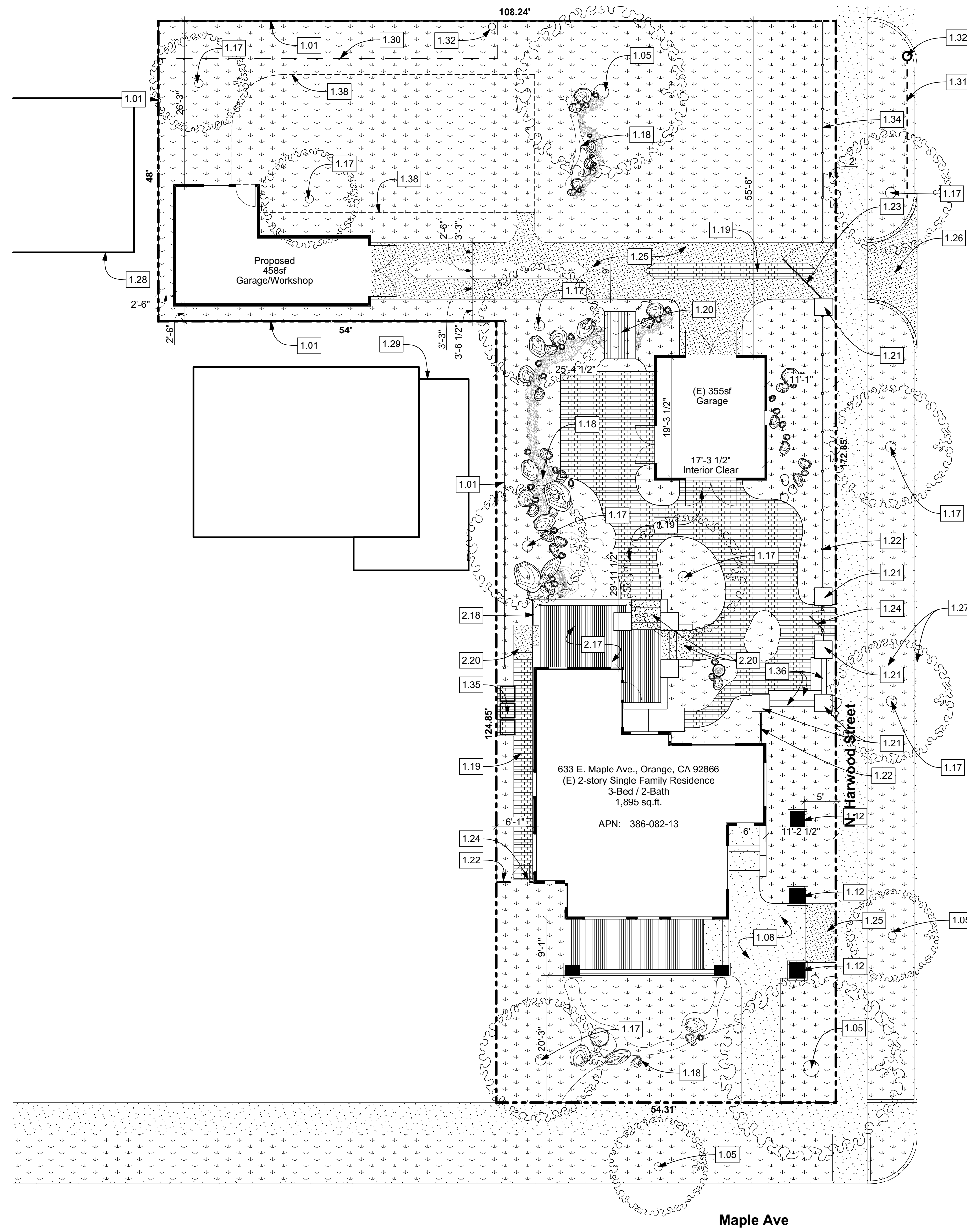
- 1.01 (E) 6' High wooden fence to remain.
- 1.02 Remove (E) 6' High wooden gate.
- 1.03 Remove (E) 6' High wooden sliding gate.
- 1.04 Remove (E) 6'H wooden fence along property line
- 1.05 (E) Tree to remain
- 1.06 Remove (E) tree
- 1.07 Remove (E) conc. driveway/walkway
- 1.08 (E) conc. walkway to remain
- 1.09 Remove (E) driveway apron
- 1.10 Remove (E) paver tile area
- 1.11 Remove (E) conc. steps, railing and landing
- 1.12 (E) stone pilaster w/ overhead trellis to remain
- 1.13 Remove (E) landscaping & conc. as required for installation of driveway apron
- 1.14 Remove conc. & landscaping as required to install proposed raised patio. Outline of area shown dashed
- 1.15 Remove landscaping as required to install proposed conc. driveway
- 1.16 Remove landscaping as required to install proposed garage/workshop
- 1.28 (E) single story adjacent ADU structure
- 1.29 (E) two-story adjacent ADU structure w/ exterior balcony
- 1.30 Dashed line indicates (E) SCE overhead electrical easement
- 1.31 Dashed line indicates (E) guy wire for power pole
- 1.32 (E) SCE power pole
- 1.33 Remove (E) conc. mow curb
- 1.37 (E) Shrubs to be removed.

Existing Site Plan Legend

- (E) Landscaping. Refer to Landscape plan.
- (E) Landscaping to be removed.
- (E) Conc. driveway/walkway to be removed.
- (E) Conc. walkway to remain.
- Property Line

Project Information & Existing Site Plan

Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866



- Site Plan Keynotes**
- 1.01 (E) 6' High wooden fence to remain.
 - 1.05 (E) Tree to remain
 - 1.08 (E) conc. walkway to remain
 - 1.12 (E) stone pilaster w/ overhead trellis to remain
 - 1.17 Install tree. Refer to Conceptual Landscape Plan
 - 1.18 Install swale w/ landscaping. Refer to Conceptual Landscape Plan
 - 1.19 Install reclaimed brick where hatch is shown. Refer to Conceptual Landscape Plan
 - 1.20 Install decorative bridge over swale and landscaped area
 - 1.21 Install 6'H CMU pilaster w/ ext. plaster finish and conc. cap
 - 1.22 Install 6'H wooden fence
 - 1.23 Install 9'W x 42'H wooden gate
 - 1.24 Install 3'W x 6'H wooden gate
 - 1.25 Install conc. driveway/walkway w/ topcast #5 by 'Grace Products'.
 - 1.26 Install conc. driveway apron per City of Orange Public Works Department requirements w/ topcast #5 by 'Grace Products'.
 - 1.27 Patch conc. curb and landscaping at infilled driveway apron per City of Orange Public Works Department requirements w/ topcast #5 by 'Grace Products'.
 - 1.28 (E) single story adjacent ADU structure
 - 1.29 (E) two-story adjacent ADU structure w/ exterior balcony
 - 1.30 Dashed line indicates (E) SCE overhead electrical easement
 - 1.31 Dashed line indicates (E) guy wire for power pole
 - 1.32 (E) SCE power pole
 - 1.34 Install 42"H wood picket fence
 - 1.35 Location of trash bins
 - 1.36 Install 6'H CMU wall w/ ext. plaster finish, overhead arbor and built in barbecue area
 - 1.38 Dashed line represents the location of garden and arbor.
 - 2.17 Install wood framed deck w/ 2x stained decking
 - 2.18 Install low CMU wall with stone veneer to match (E) and conc. cap
 - 2.20 Install poured in place conc. steps

- Proposed Site Plan Legend**
- (E) Landscaping. Refer to Landscape plan.
 - Install decomposed granite per Landscape Plan
 - Install Conc. driveway/walkway w/ topcast #5 by 'Grace Products'
 - (E) Conc. walkway to remain.
 - Property Line

1 Proposed Site Plan
SCALE: 1" = 10'

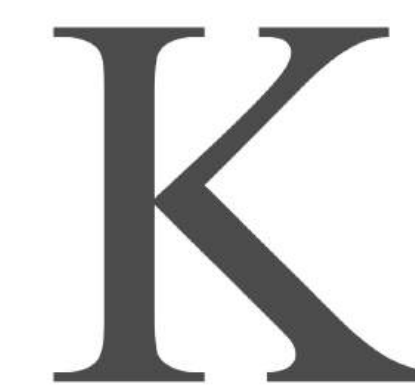
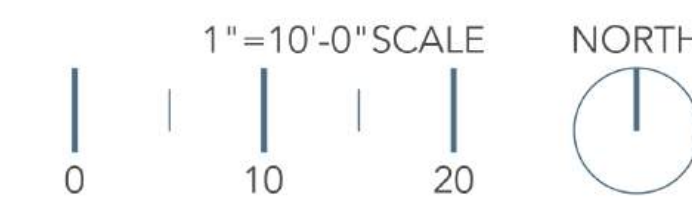


633 E MAPLE AVE

ORANGE | CALIFORNIA

PREPARED BY: MICHAEL KNIGHT, PLA# 6379

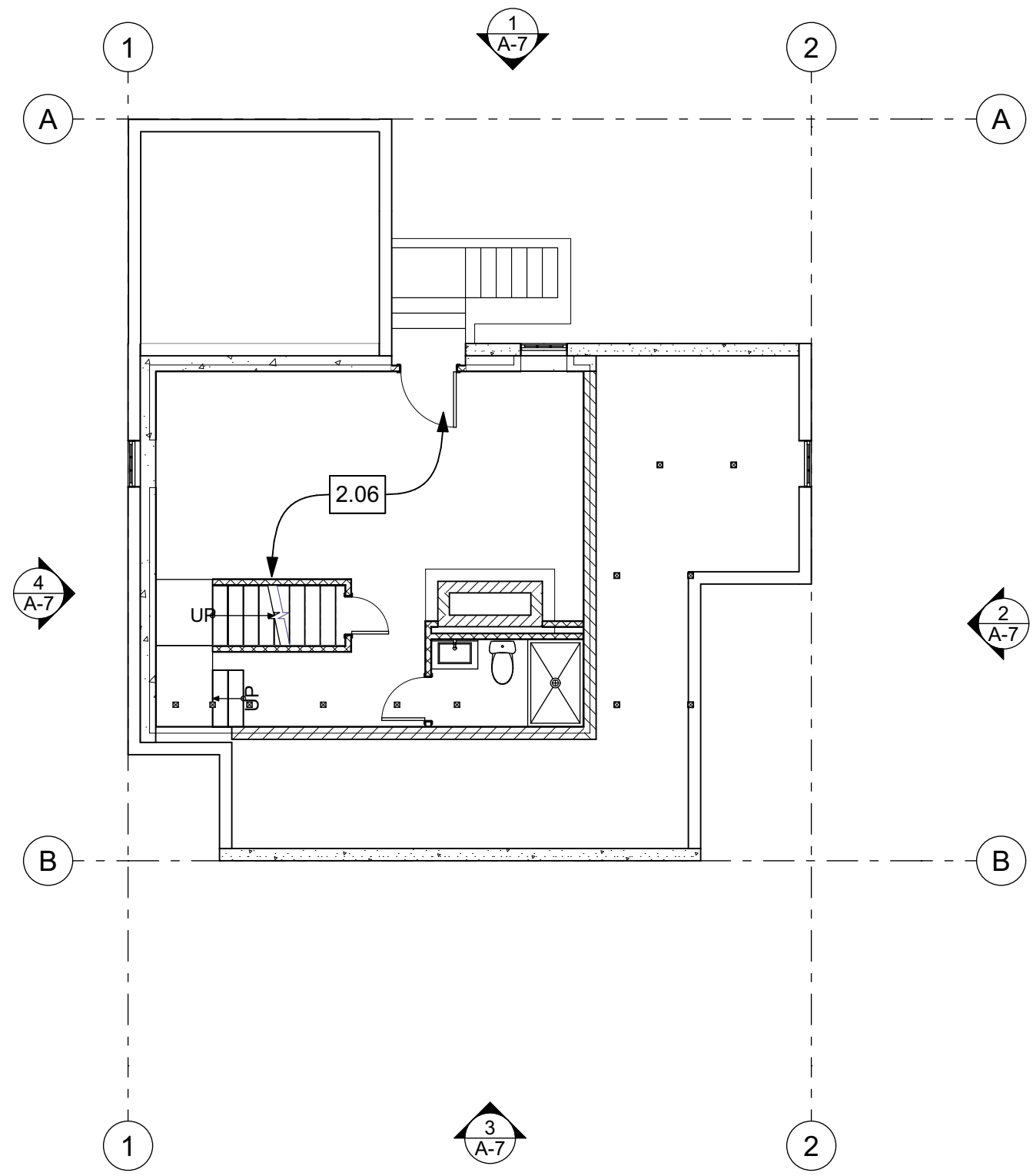
DATE 8 | 22 | 24



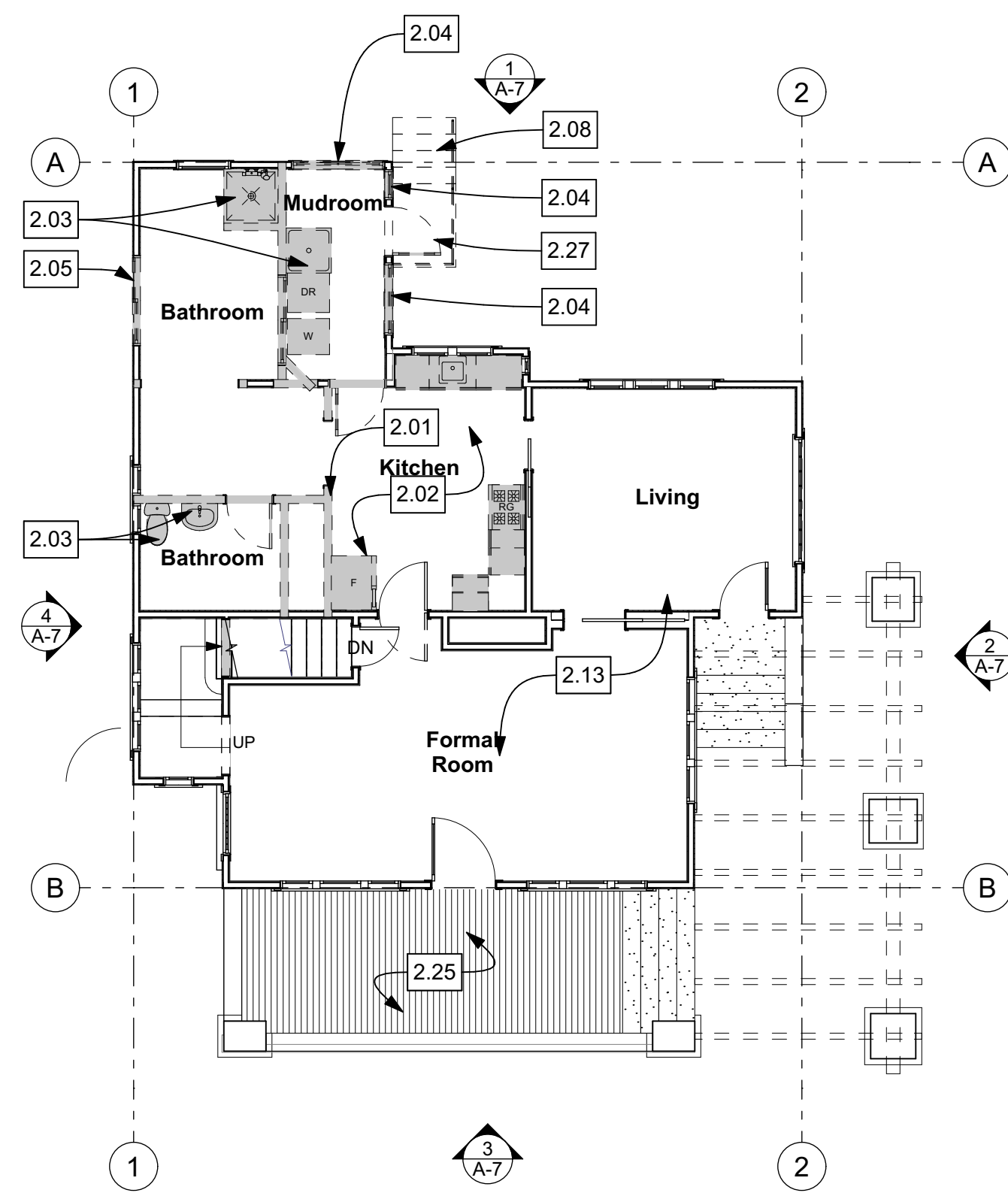
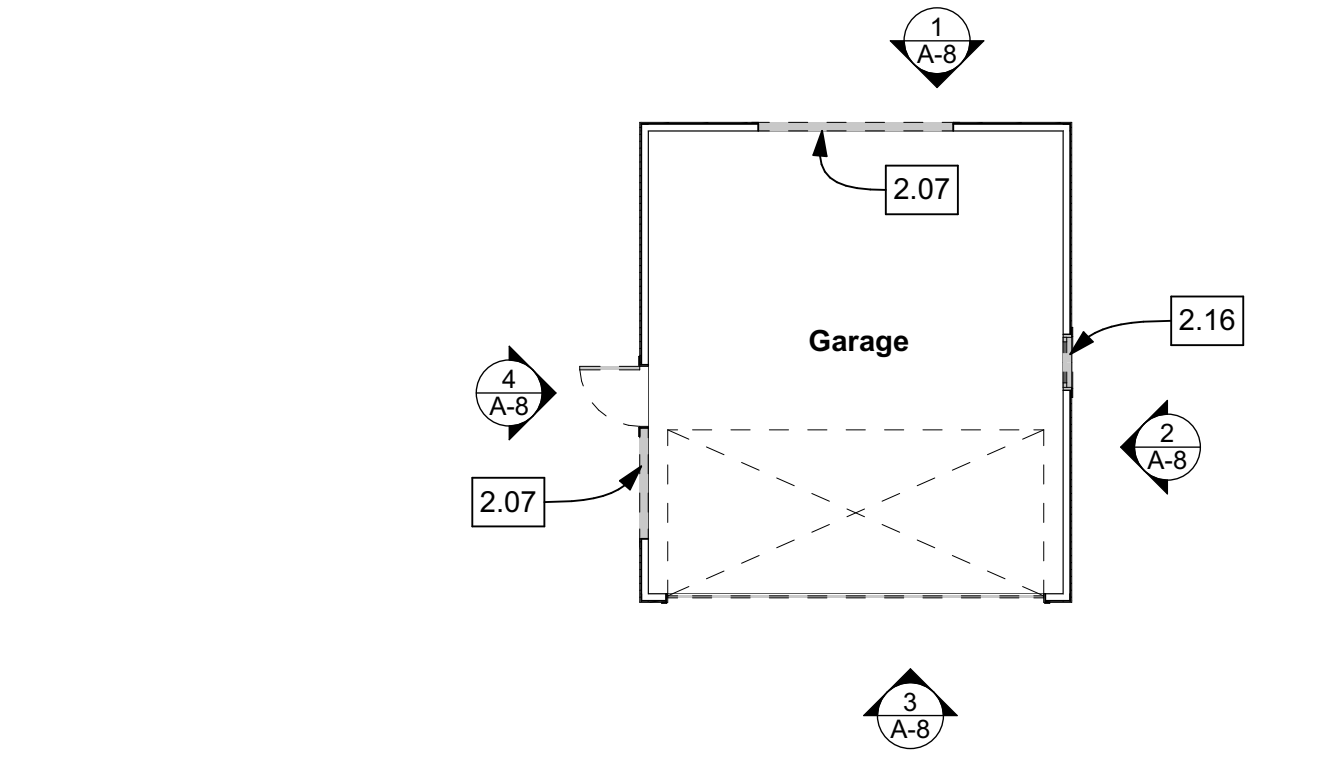
CONCEPTUAL LANDSCAPE PLAN | L1

Plan Keynotes

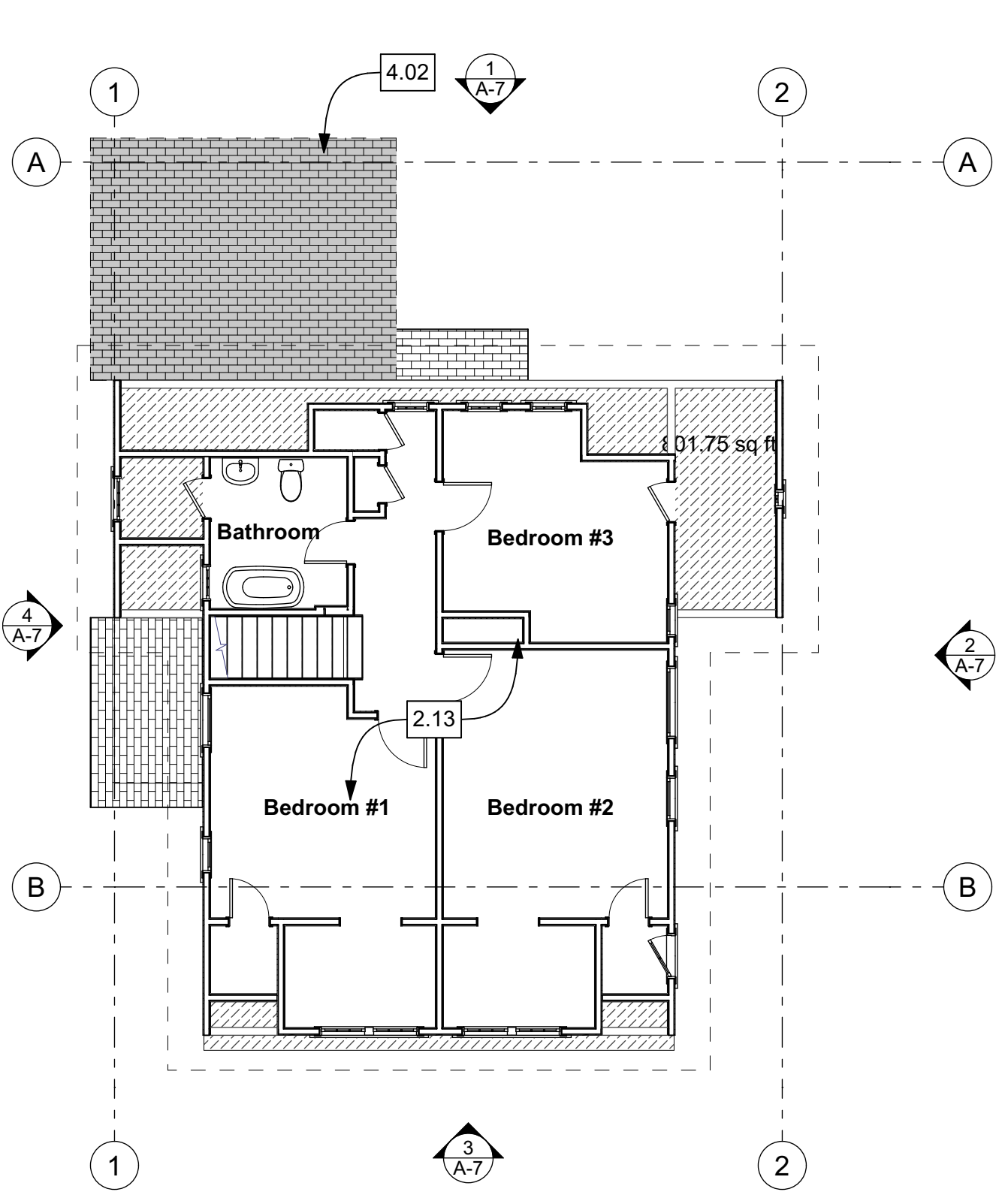
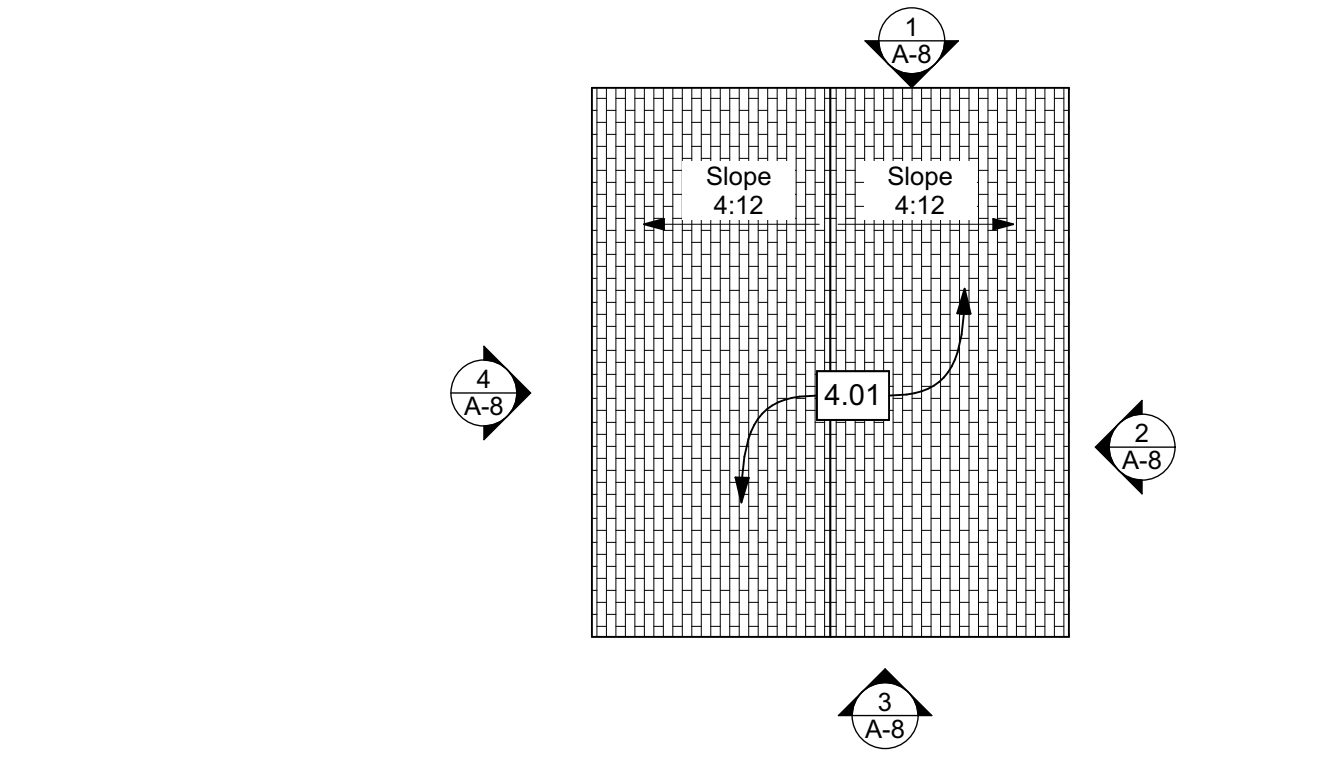
- 2.01 Remove (E) interior walls and doors shown dashed
- 2.02 Remove (E) kitchen cabinets & appliances
- 2.03 Remove (E) plumbing fixtures
- 2.04 Remove (E) wood window
- 2.05 Remove (E) alum. window
- 2.06 (E) Basement area project being reviewed under a separate permit application. Not in scope.
- 2.07 Remove portion of wall at garage for (N) garage door opening
- 2.08 Remove (E) conc. stoop
- 2.13 (E) area to remain, no change proposed
- 2.16 Replace (E) vinyl window w/ wood double hung window
- 2.25 Sand & stain (E) wood decking at covered front porch.
- 2.27 Remove (E) door and replace with another (E) relocated door.
- 4.01 (E) Comp. asphalt shingle roof to remain.
- 4.02 Remove roof assembly shown with gray fill.



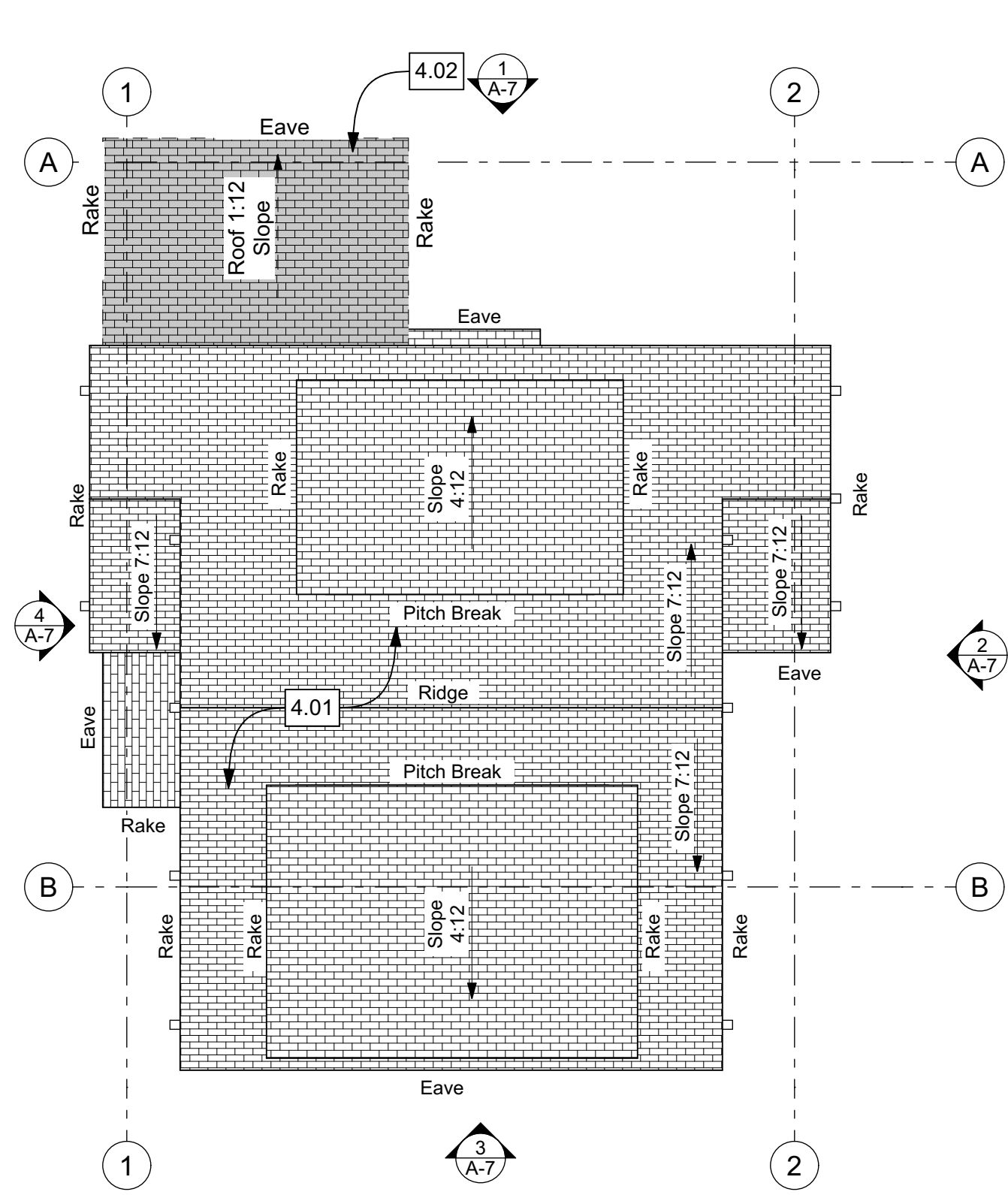
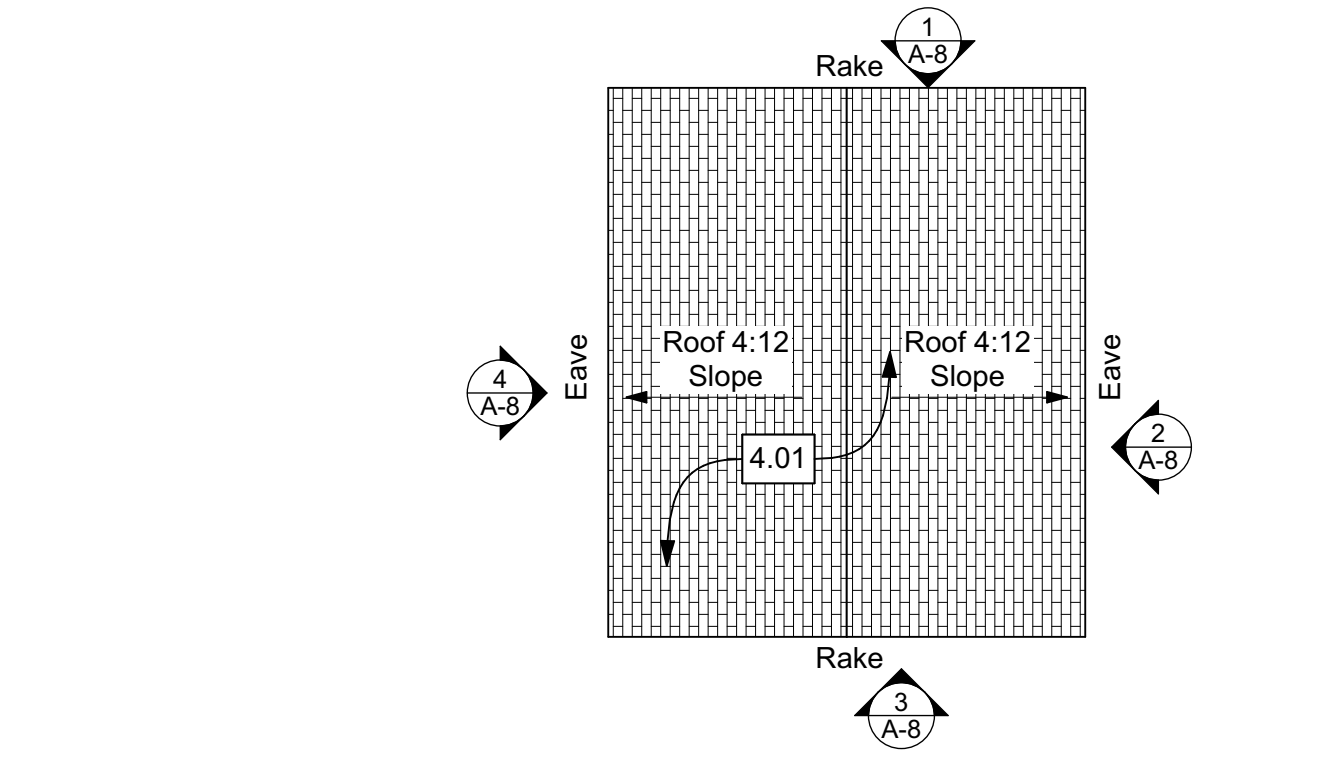
1 Existing Basement Plan (No Change Proposed)
SCALE: 1/8" = 1'-0"



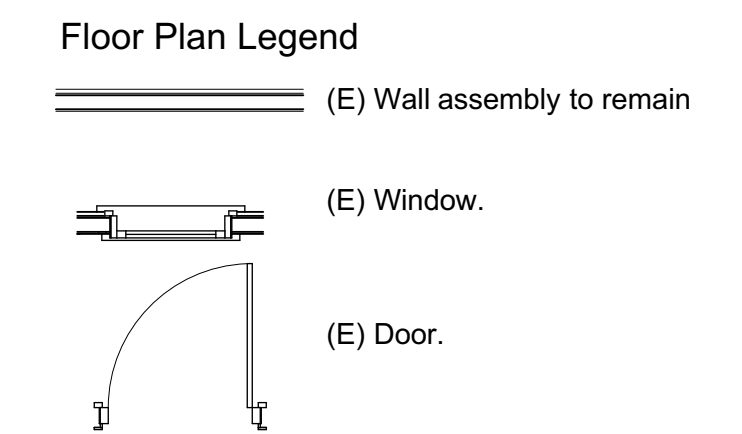
2 Existing / Demolition First Floor Plan
SCALE: 1/8" = 1'-0"



3 Existing Second Floor Plan
SCALE: 1/8" = 1'-0"

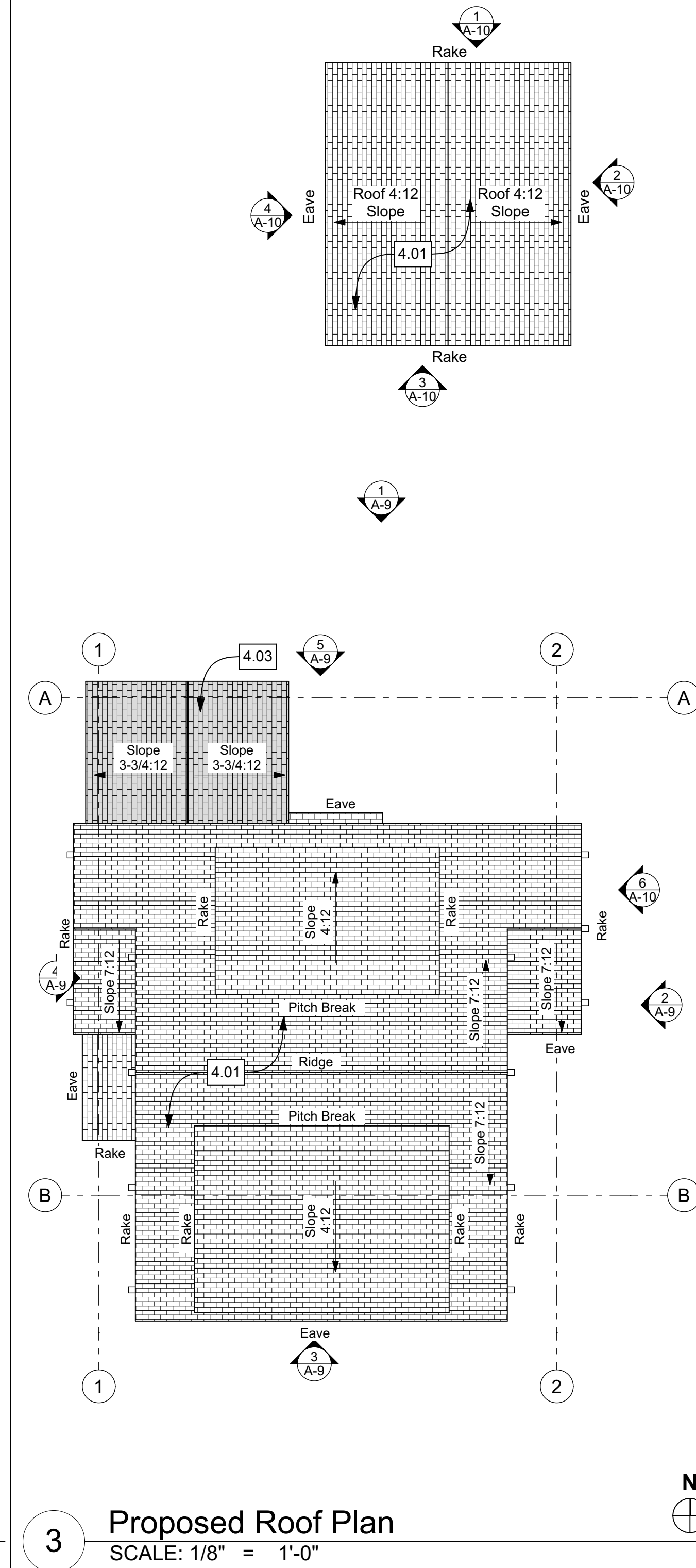
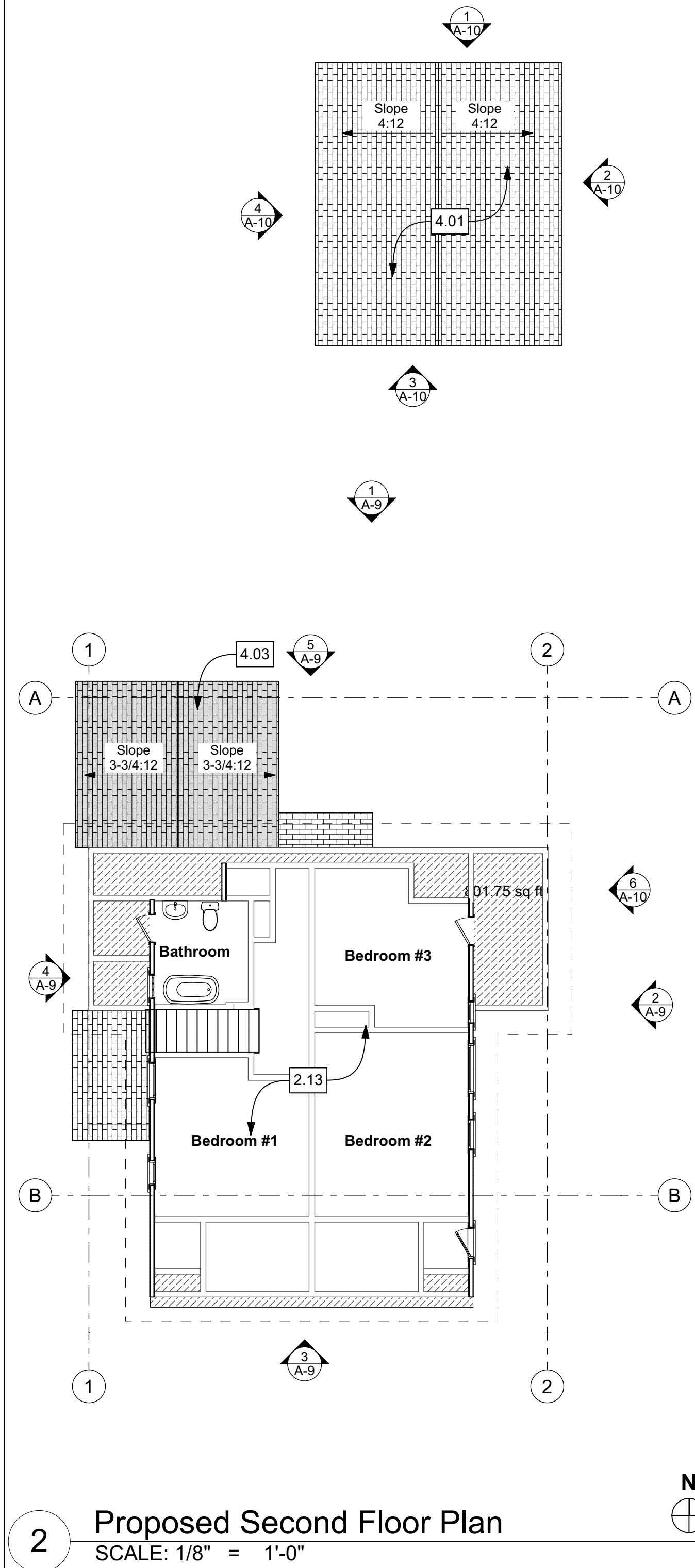
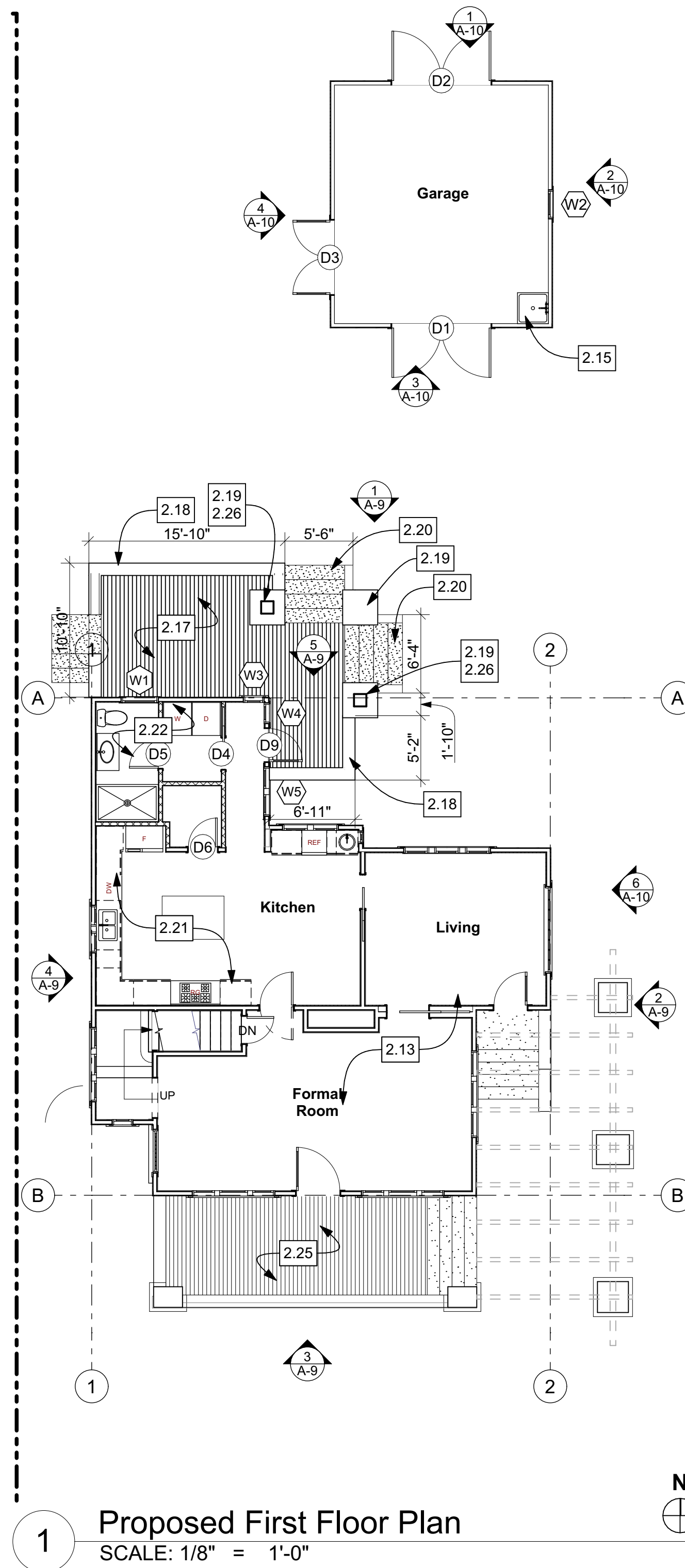


4 Existing / Demolition Roof Plan
SCALE: 1/8" = 1'-0"



Existing/Demolition Main Residence & Garage Floor Plans & Roof Plan

Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866



- Plan Keynotes**
- 2.13 (E) area to remain, no change proposed
 - 2.15 Install utility sink in garage
 - 2.17 Install wood framed deck w/ 2x stained decking
 - 2.18 Install low CMU wall with stone veneer to match (E) and conc. cap
 - 2.19 Install CMU pilaster with stone veneer to match (E) and conc. cap
 - 2.20 Install poured in place conc. steps
 - 2.21 Install kitchen cabinets and appliances per owner selection
 - 2.22 Install bathroom and laundry room
 - 2.25 Sand & stain (E) wood decking at covered front porch.
 - 2.26 Install pilaster mounted pier light fixture
 - 4.01 (E) Comp. asphalt shingle roof to remain.
 - 4.03 Install comp. asphalt shingle roof per ICC-ESR 1389 to match (E).

Proposed Window Schedule

ID	Width	Height	Type	Material	Notes
W1	4'	4'	Double Hung	Wood	Jeldwen Sitrine
W2	2'-4"	4'	Double Hung	Wood	Jeldwen Sitrine
W3	1'-8"	2'-10 1/2"	Double Hung	Wood	Jeldwen Sitrine
W4	1'-8"	2'-10 1/2"	Double Hung	Wood	Jeldwen Sitrine
W5	4'	2'-10 1/2"	Double Hung	Wood	Jeldwen Sitrine

Proposed Door Schedule

ID	Location	Width	Height	Material	Notes
D1	Garage	8'	7'	Wood	Double Door
D2	Garage	8'	7'	Wood	Double Door
D3	Garage	6'	6'-8"	Wood	Double Door
D4	Laundry	2'-6"	6'-8"	Wood	Pocket Door
D5	Bathroom	2'-4"	6'-8"	Wood	Swinging
D6	Pantry	2'-4"	6'-8"	Wood	Swinging
D7	Garage	8'	7'	Wood	Double Door
D8	Garage	3'	6'-8"	Wood	Swinging
D9	Hallway/Deck	2'-8"	6'-8"	Wood	(E) Relocated Swinging

- Floor Plan Legend**
- (E) Wall assembly to remain
 - Non-rated int. wall assembly, 2x4 wood studs @ 16"o.c. w/ 1/2" gyp. bd. both sides, use WR gyp. bd. at bathroom.
 - Window. Refer to Window Schedule for more information.
 - Door. Refer to Door Schedule for more information.

Proposed Main Residence & Garage Floor Plans & Roof Plan

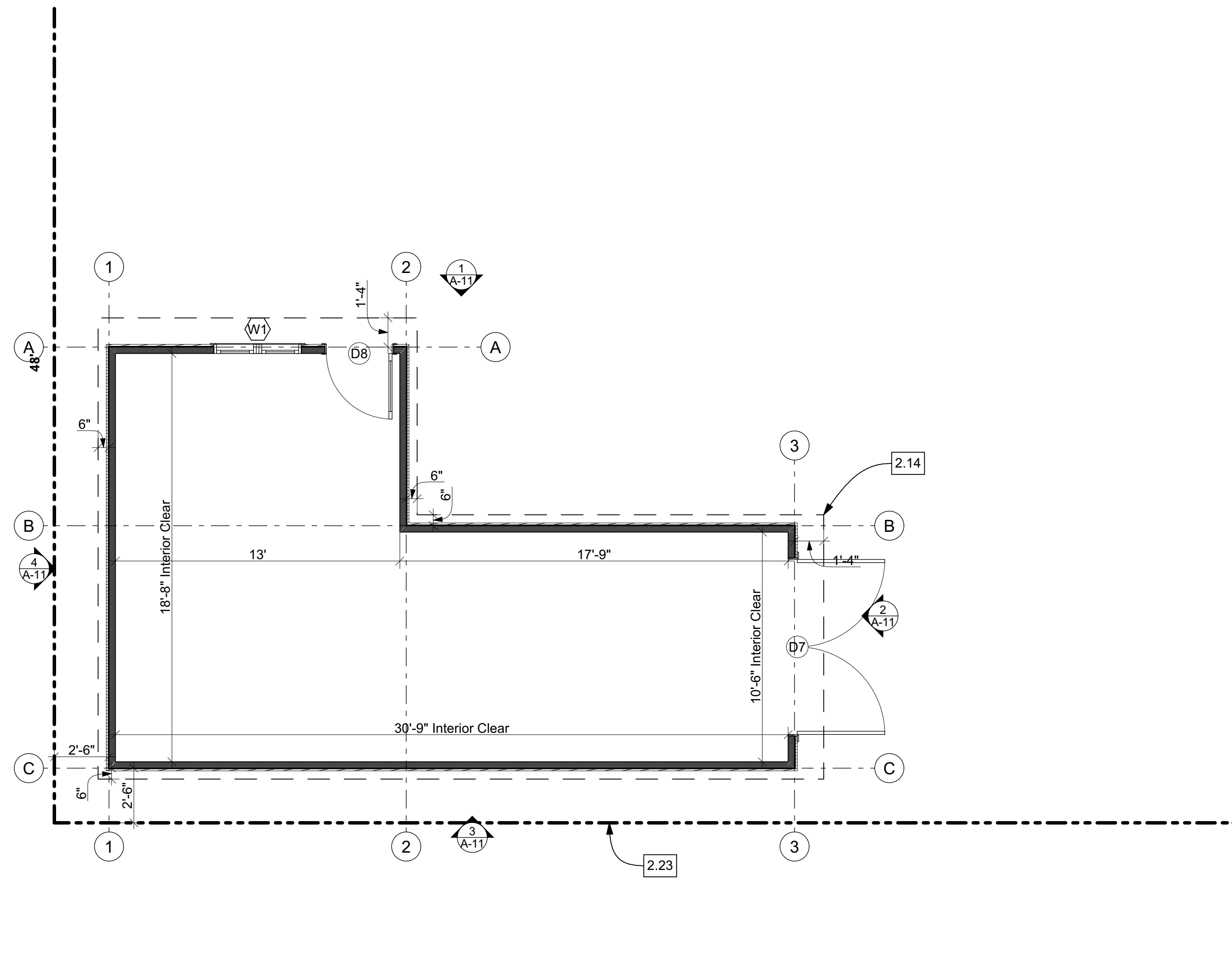
Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866

Plan Keynotes

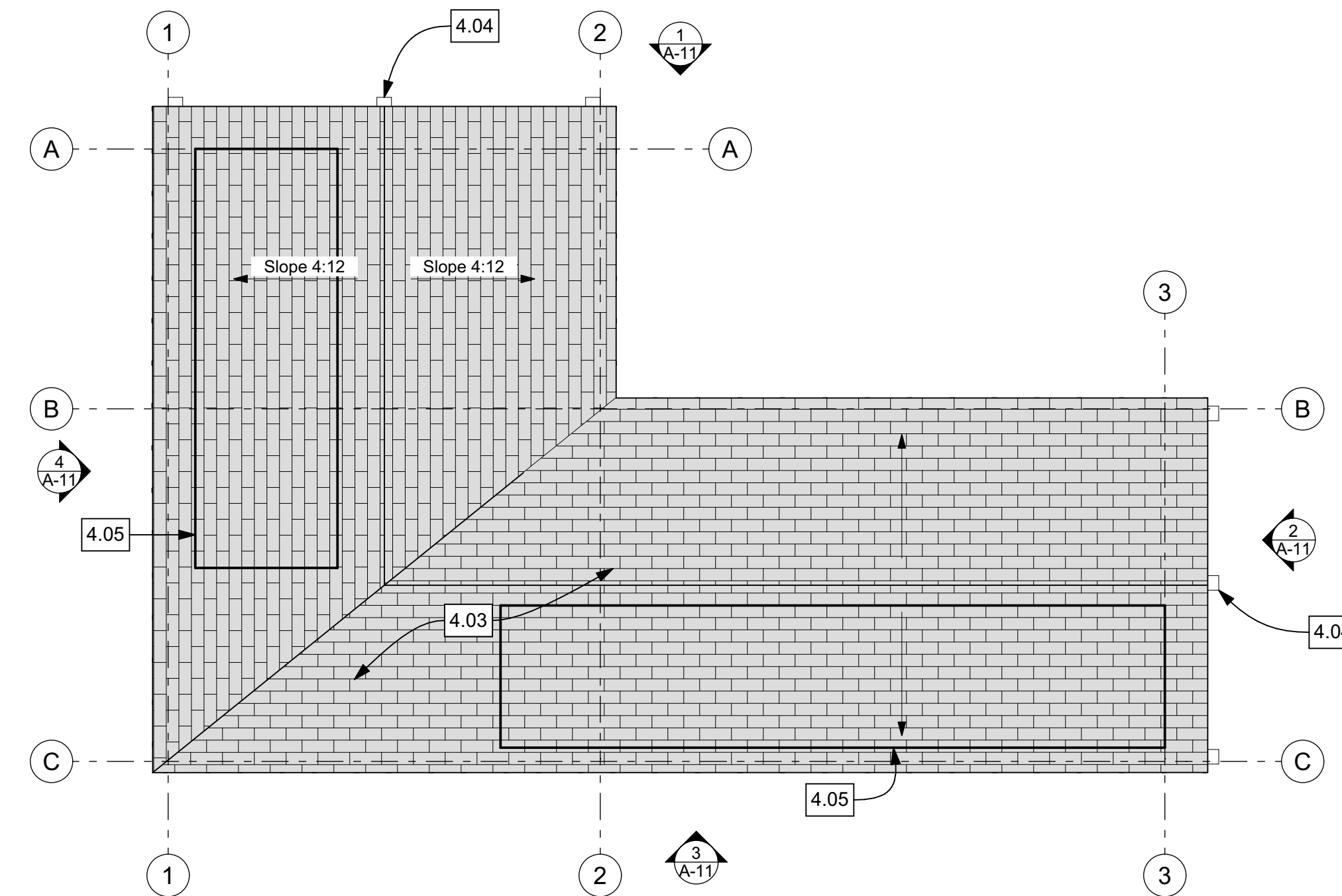
- 2.14 Dashed line represents roof overhang above. Overhang dimensioned as shown
- 2.23 (E) Property line shown for reference
- 4.03 Install comp. asphalt shingle roof per ICC-ESR 1389 to match (E).
- 4.04 Install decorative 6x6 outlooker beam. Paint.
- 4.05 Install solar panels.

Proposed Window Schedule					
ID	Width	Height	Type	Material	Notes
W1	4'	4'	Double Hung	Wood	Jeldwen Sitrine
W2	2'-4"	4'	Double Hung	Wood	Jeldwen Sitrine
W3	1'-8"	2'-10 1/2"	Double Hung	Wood	Jeldwen Sitrine
W4	1'-8"	2'-10 1/2"	Double Hung	Wood	Jeldwen Sitrine
W5	4'	2'-10 1/2"	Double Hung	Wood	Jeldwen Sitrine

Proposed Door Schedule					
ID	Location	Width	Height	Material	Notes
D1	Garage	8'	7'	Wood	Double Door
D2	Garage	8'	7'	Wood	Double Door
D3	Garage	6'	6'-8"	Wood	Double Door
D4	Laundry	2'-6"	6'-8"	Wood	Pocket Door
D5	Bathroom	2'-4"	6'-8"	Wood	Swinging
D6	Pantry	2'-4"	6'-8"	Wood	Swinging
D7	Garage	8'	7'	Wood	Double Door
D8	Garage	3'	6'-8"	Wood	Swinging
D9	Hallway/ Deck	2'-8"	6'-8"	Wood	(E) Relocated Swinging



1 Proposed Accessory Structure Floor Plan
SCALE: 1/4" = 1'-0"



2 Proposed Accessory Structure Roof Plan
SCALE: 1/4" = 1'-0"

Floor Plan Legend

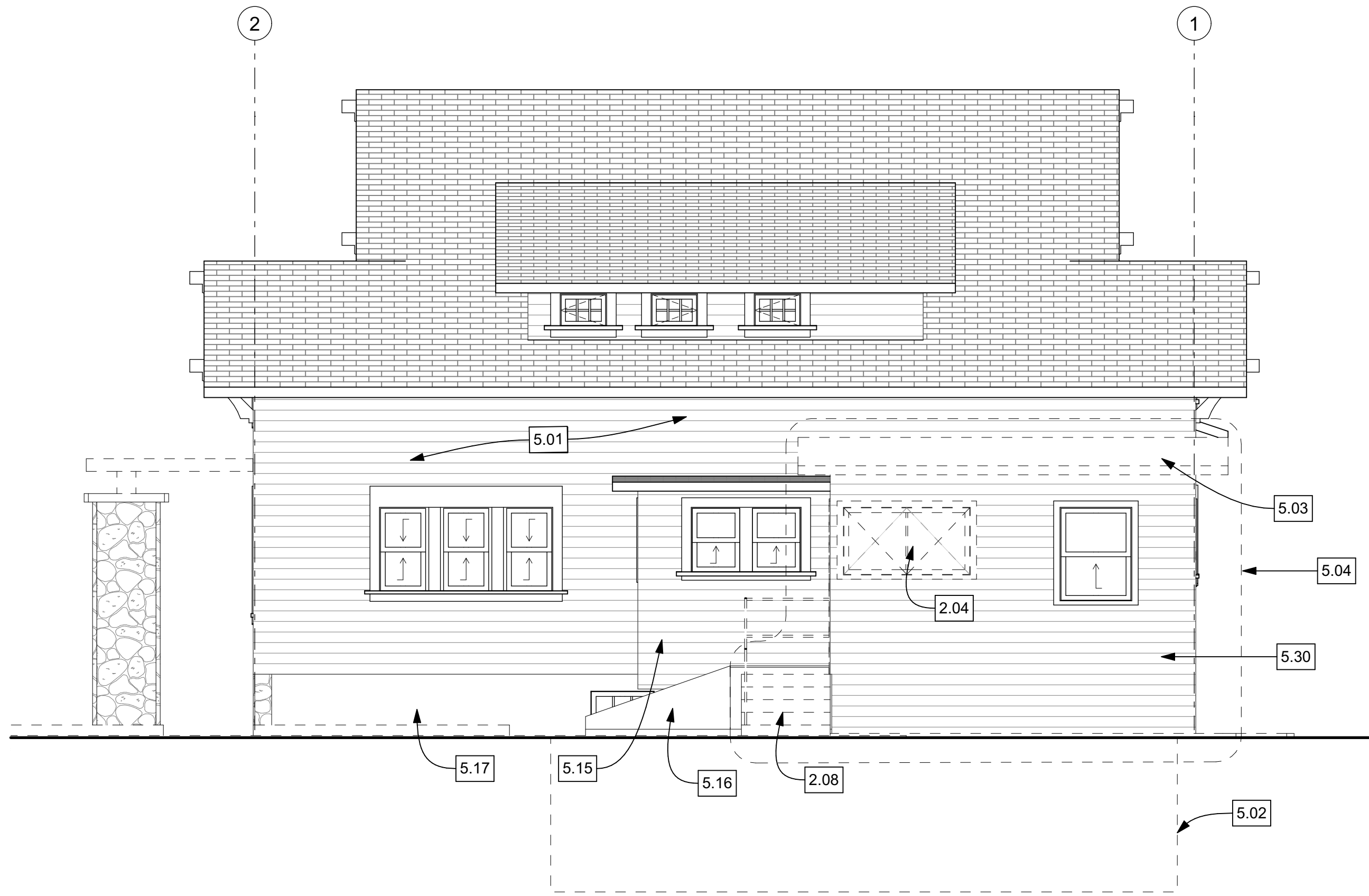
- Ext. wall assembly. 6" Exposed lap horiz. wood siding or plywood sheathing or densglas fireguard sheathing of 2x4 wood studs @ 16" o.c., no gyp. bd. proposed except where required along fire rated wall assemblies.
- Window. Refer to Window Schedule for more information.
- Door. Refer to Door Schedule for more information.

Proposed Accessory Structure Floor & Roof Plan

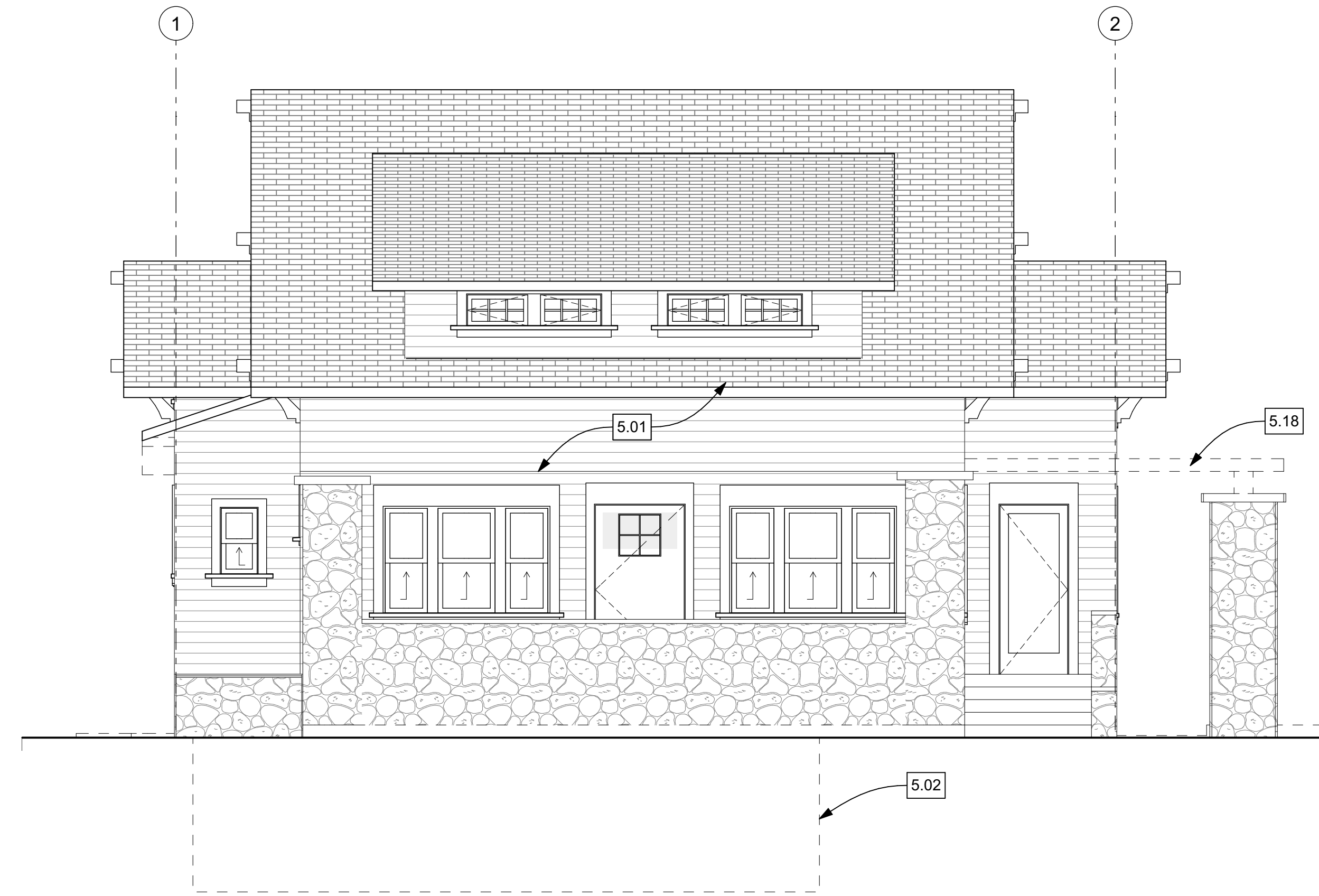
Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866

Exterior Elevation Keynotes

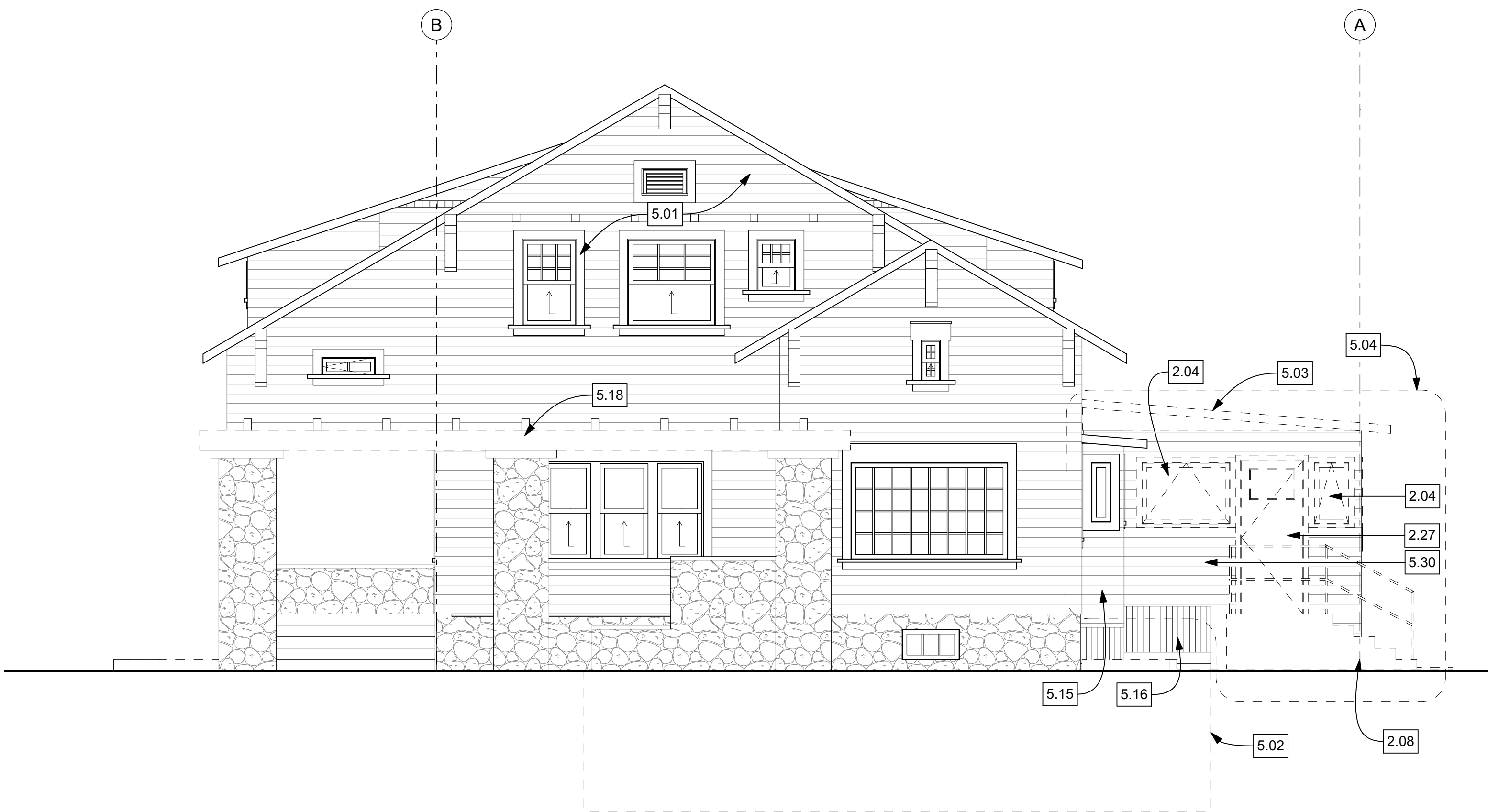
- 2.04 Remove (E) wood window
- 2.05 Remove (E) alum. window
- 2.08 Remove (E) conc. stoop
- 2.27 Remove (E) door and replace with another (E) relocated door.
- 5.01 (E) Residence to remain.
- 5.02 Dashed outline of basement shown for reference
- 5.03 Remove (E) shed roof
- 5.04 Area of work shown with a dashed outline.
- 5.15 (E) cantilevered building projection at kitchen area to remain
- 5.16 (E) wood basement door to remain
- 5.17 (E) conc. stem wall to remain.
- 5.18 Replace (E) trellis beams with beams that match original end profile. Original beams were removed and replaced with non-matching profile.
- 5.29 (E) trim board.
- 5.30 (E) Wood siding to remain. Refurbish as required to match (E).



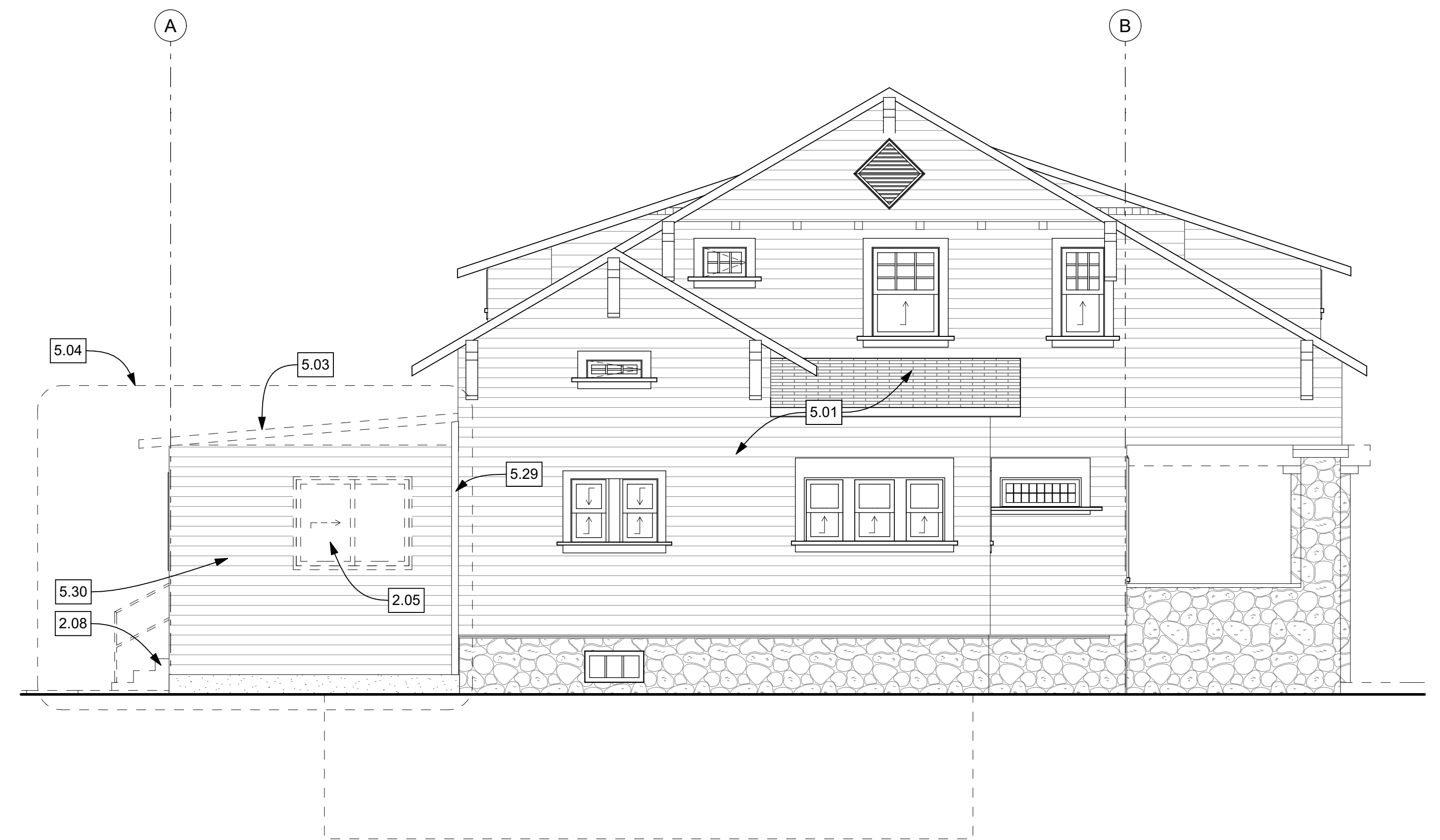
1 North Exterior Elevation
SCALE: 1/4" = 1'-0"



3 South Exterior Elevation
SCALE: 1/4" = 1'-0"



2 East Exterior Elevation
SCALE: 1/4" = 1'-0"



4 West Exterior Elevation
SCALE: 1/4" = 1'-0"

Existing Exterior Elevations of Main Residence

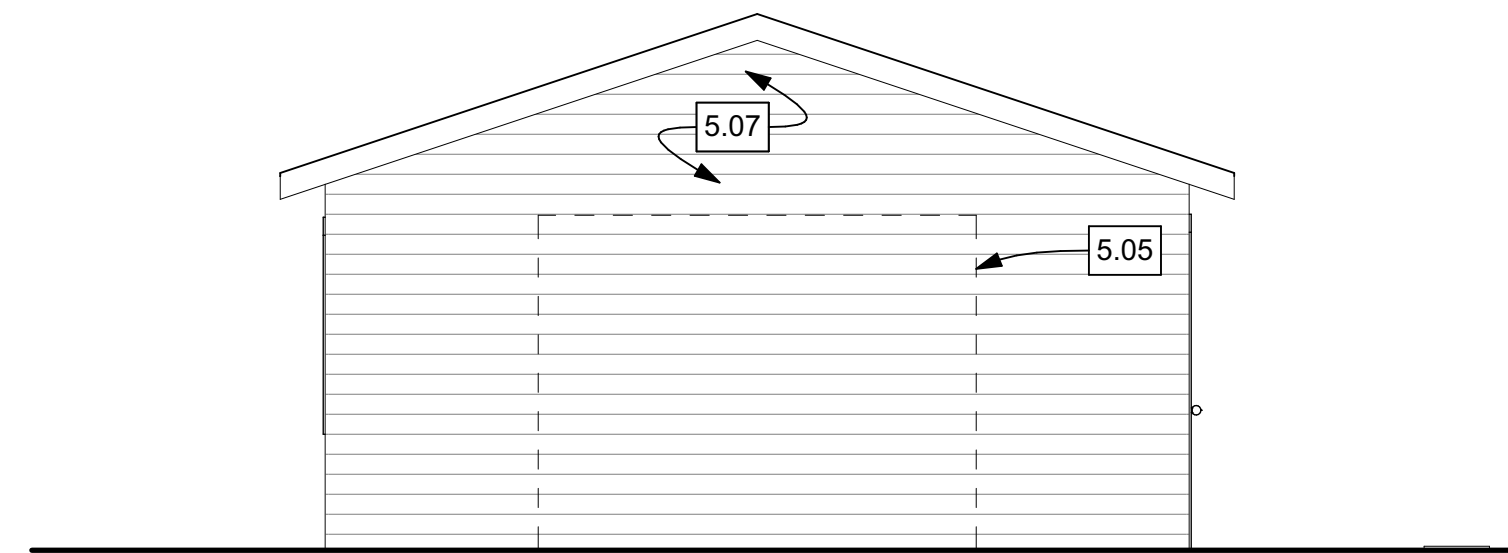
Shearn Residence

Main Residence Remodel and New Detached Garage

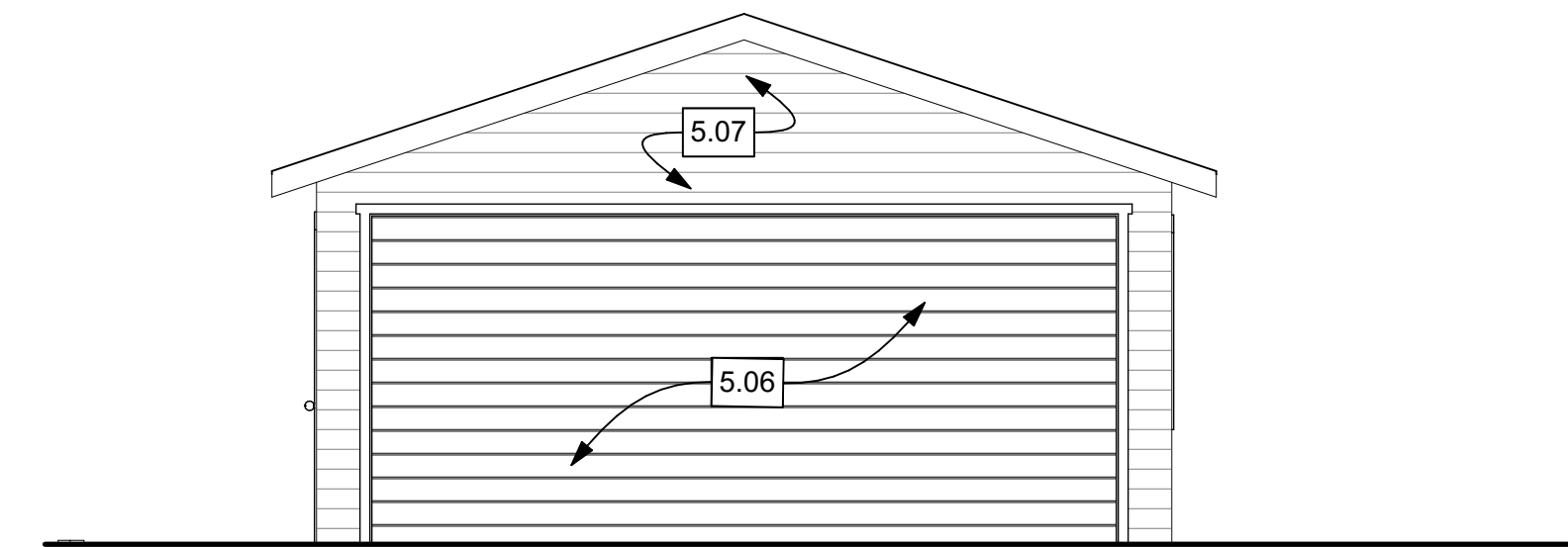
633 E. Maple Ave., Orange, CA 92866

Printed on 10/21/2024 at 10:14 AM P:\325 Knight Residence Remodel and Expansion\3D BIM-CAD Files\325 Arch\CAD Model\325 Knight Residence Overall.rvt

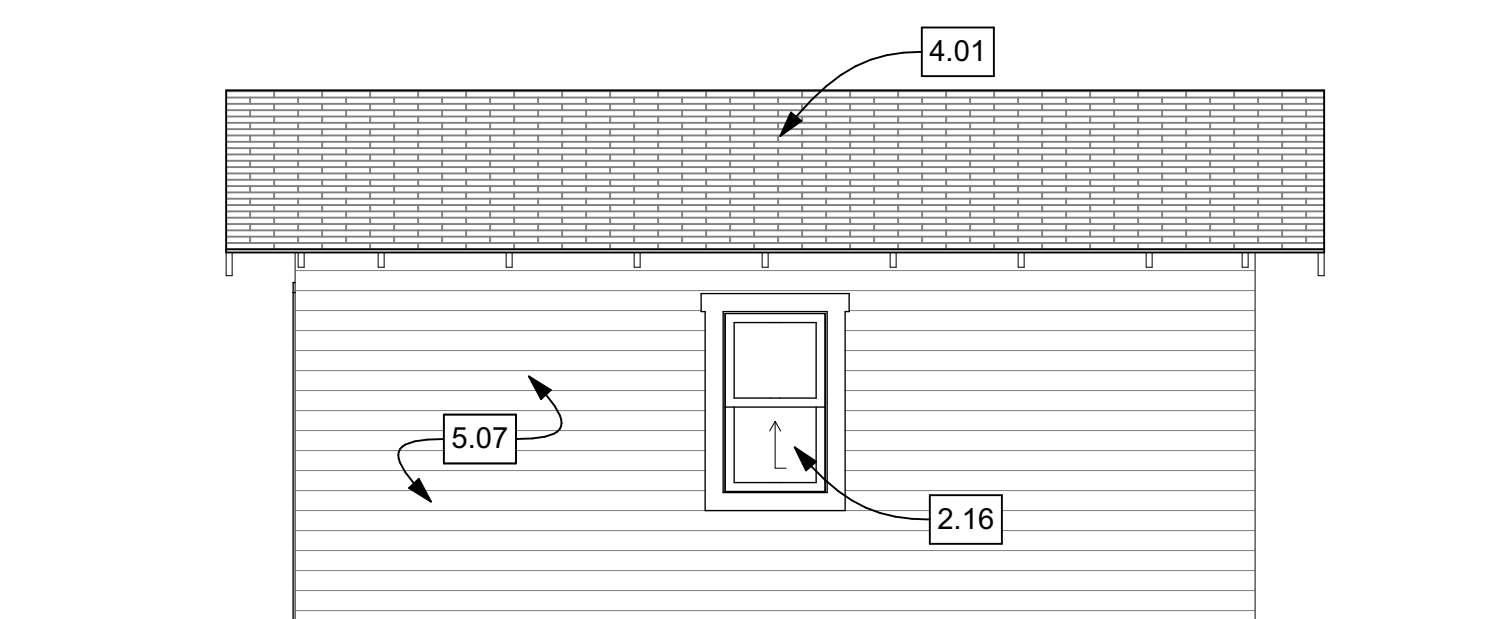
- Exterior Elevation Keynotes**
- 2.16 Replace (E) vinyl window w/ wood double hung window
 - 4.01 (E) Comp. asphalt shingle roof to remain.
 - 5.05 Remove dashed portion of wall for proposed door
 - 5.06 Remove (E) garage door
 - 5.07 (E) 5" Horiz. siding to remain. Repair as required.
 - 5.08 Remove (E) door



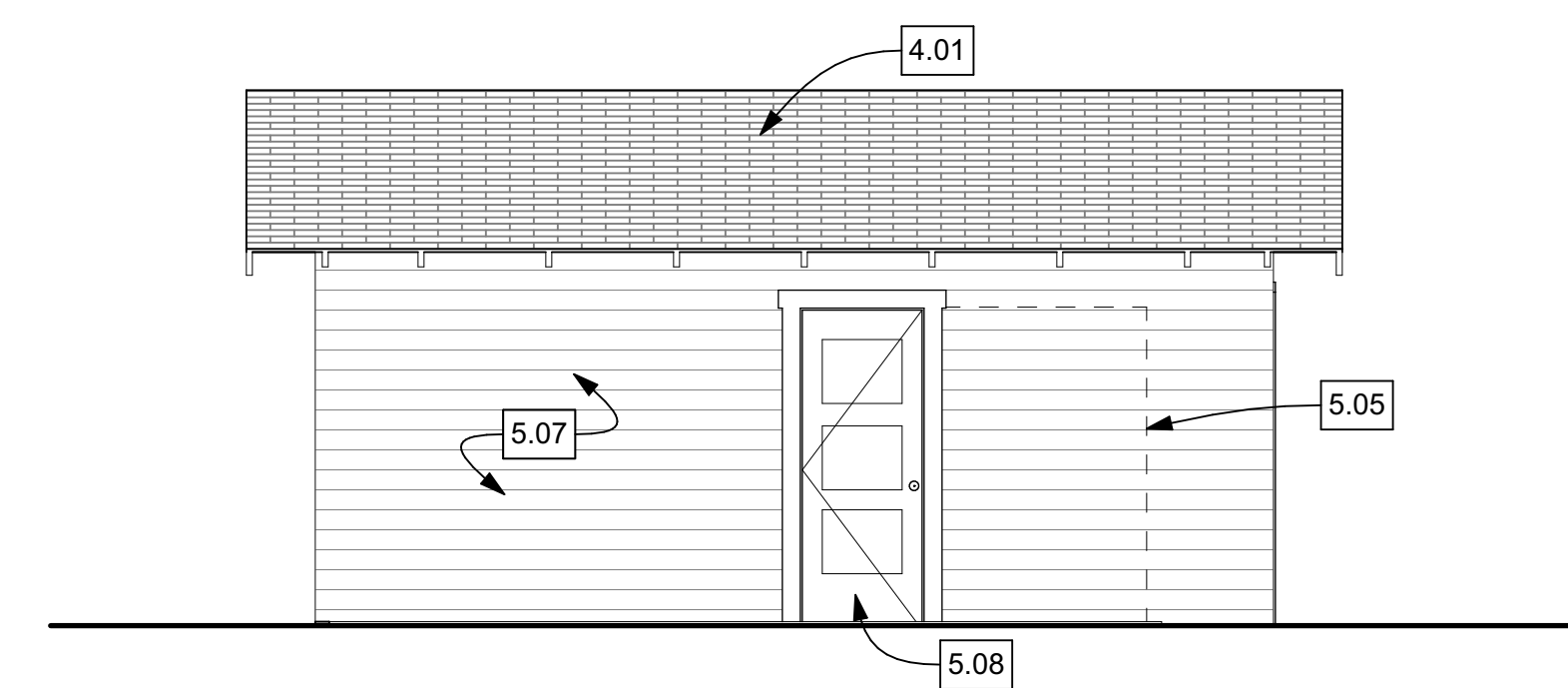
1 North Exterior Elevation
SCALE: 1/4" = 1'-0"



3 South Exterior Elevation
SCALE: 1/4" = 1'-0"



2 East Exterior Elevation
SCALE: 1/4" = 1'-0"



4 West Exterior Elevation
SCALE: 1/4" = 1'-0"

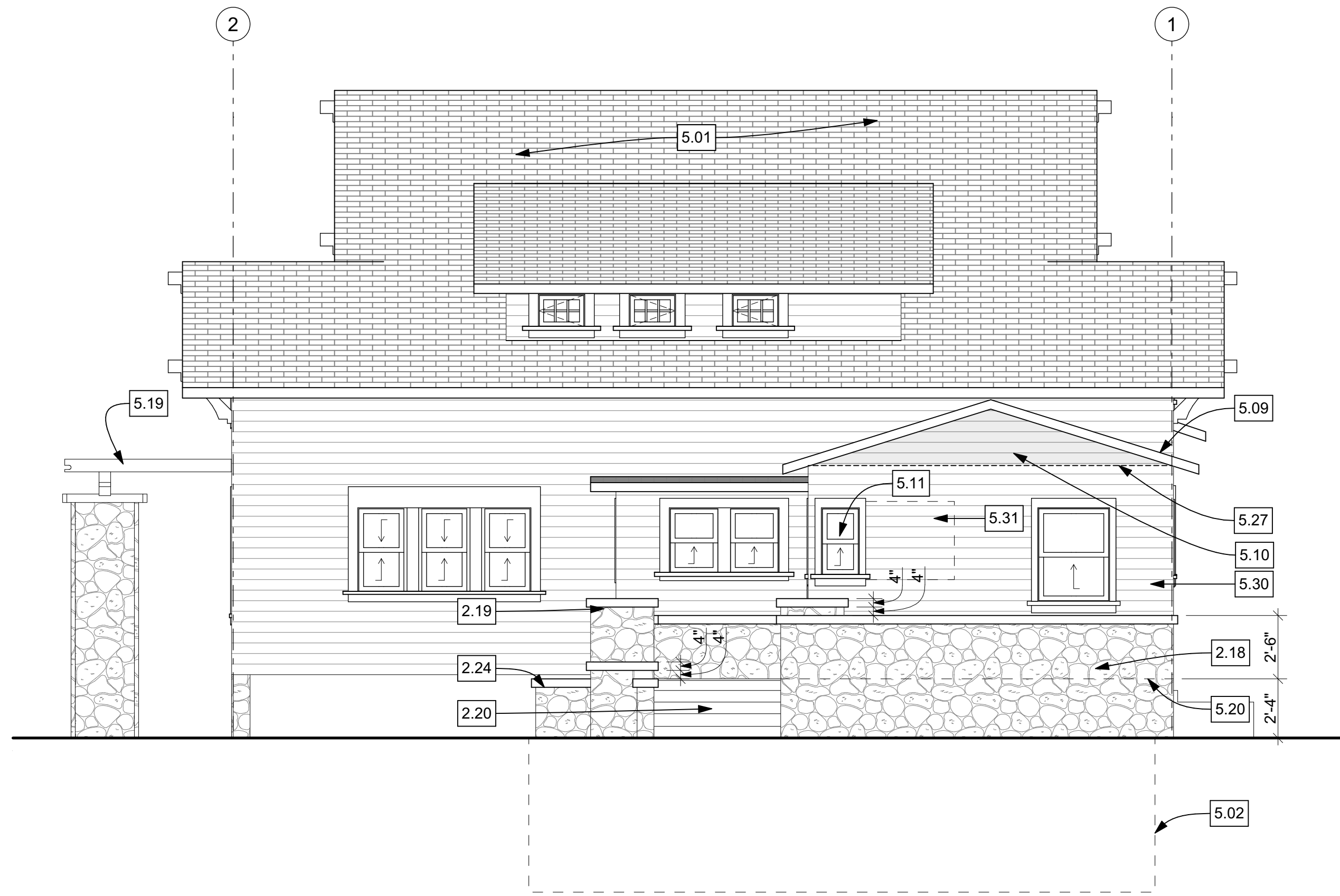
Existing Exterior Elevations of Existing Garage

Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866

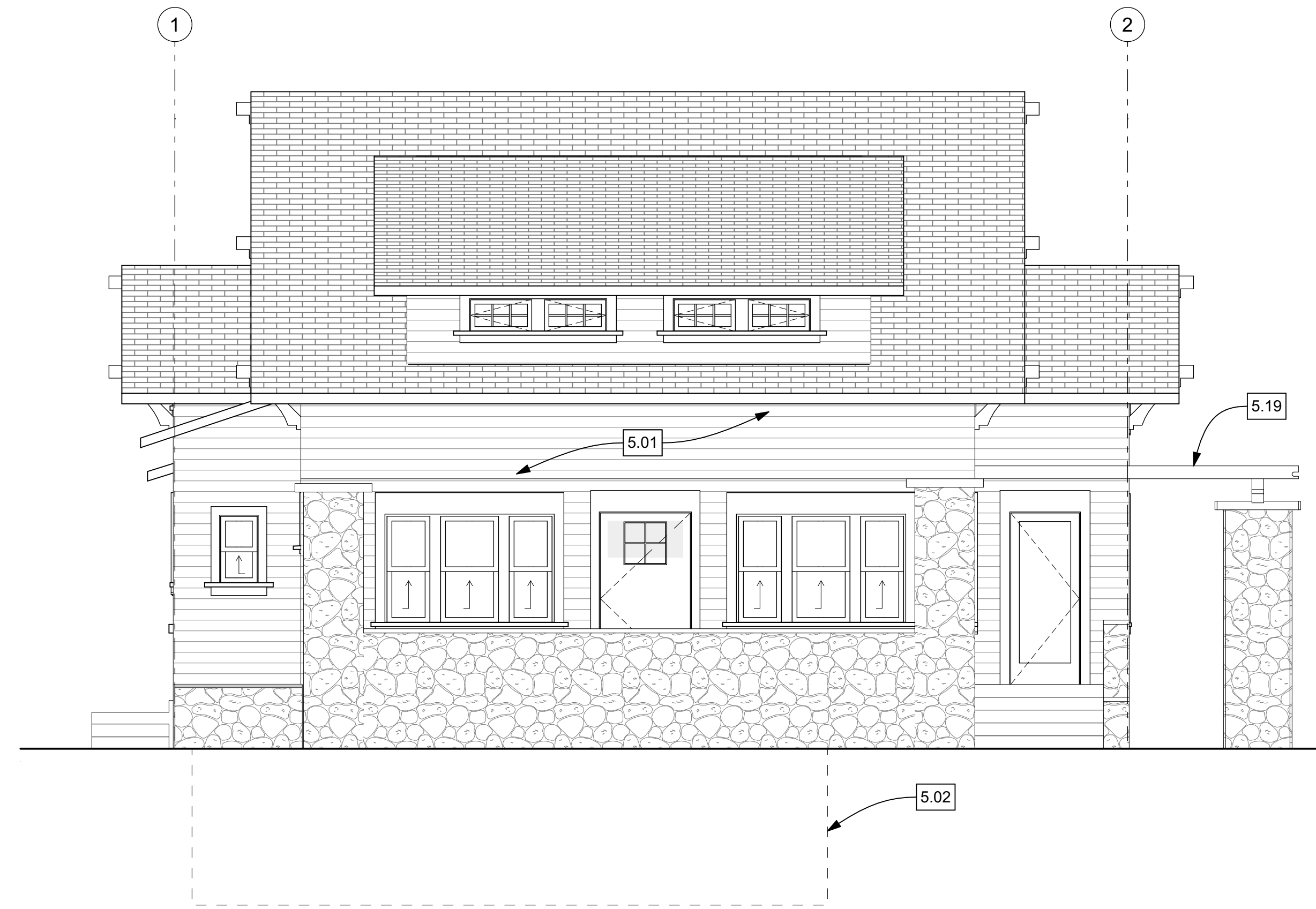
Printed on 10/21/2024 at 10:14 AM P:\325 Knight Residence Remodel and Expansion\325 BIM-CAD Files\325 Arch\CAD Models\325 Knight Residence Overall.rvt

Exterior Elevation Keynotes

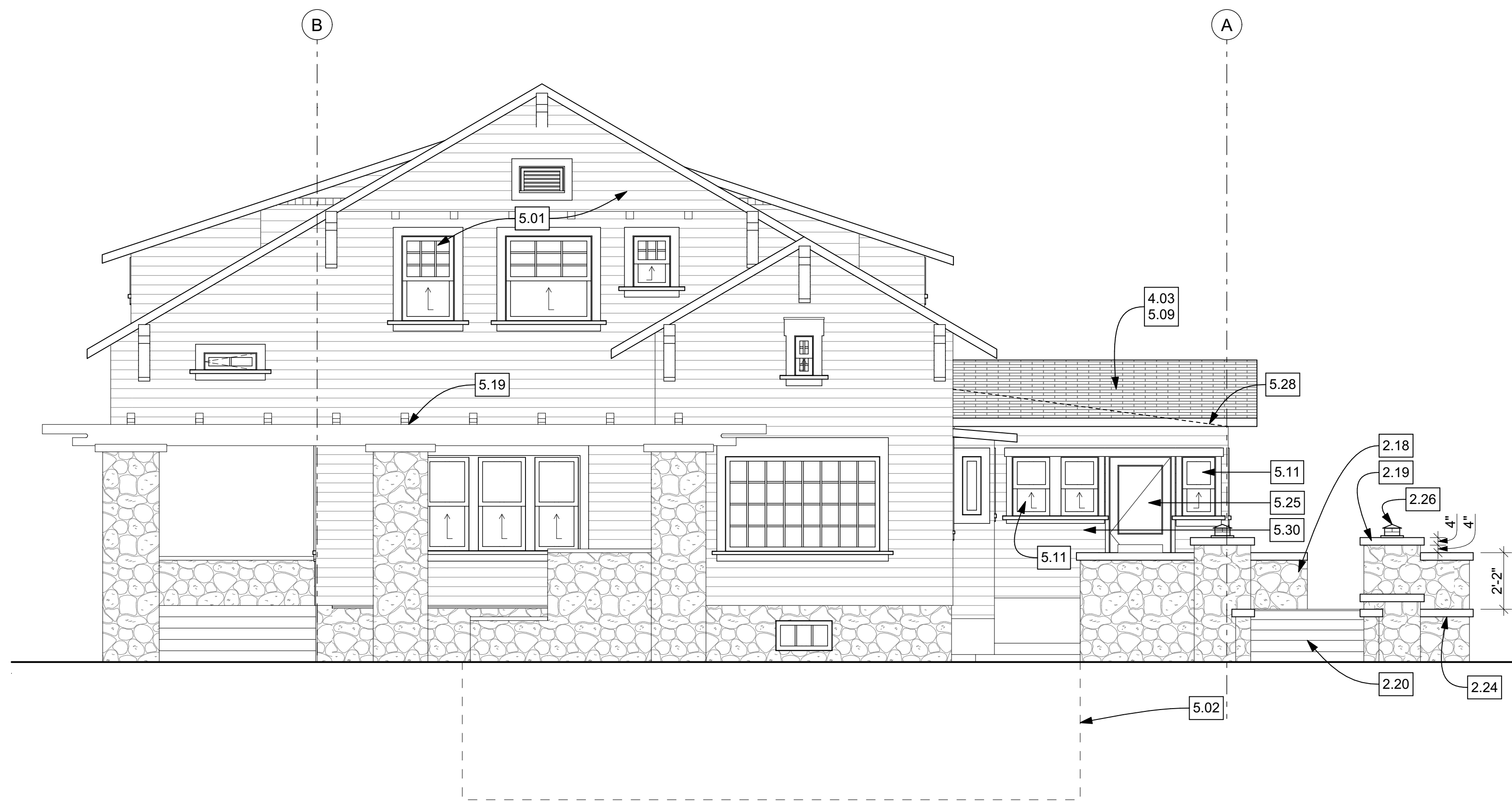
- 2.18 Install low CMU wall with stone veneer to match (E) and conc. cap
- 2.19 Install CMU pilaster with stone veneer to match (E) and conc. cap
- 2.20 Install poured in place conc. steps
- 2.24 Install CMU cheek wall with stone veneer to match (E) and conc. cap
- 2.26 Install pilaster mounted pier light fixture
- 4.03 Install comp. asphalt shingle roof per ICC-ESR 1389 to match (E).
- 5.01 (E) Residence to remain.
- 5.02 Dashed outline of basement shown for reference
- 5.09 Install gable roof o/ (E) top plate. Contractor to ensure ridge is below the eave of the roof above and that the eave is above the adjacent shed roof
- 5.10 Install 5" horiz. exposed lap wood siding to match (E)
- 5.11 Install wood double hung window w/ casing and sill trim to match main residence.
- 5.19 install (N) 4x6 wood beam w/ profiled end to match original.
- 5.20 Level of wood framed deck shown dashed
- 5.25 Install relocated (E) half glass 2 panel horizontal style door.
- 5.27 Dashed line indicates the (E) top plate. Shaded area above is built up to the new gable roof.
- 5.28 Dashed line indicates the existing roof to be demolished with an (E) wall below to remain.
- 5.29 (E) trim board.
- 5.30 (E) Wood siding to remain. Refurbish as required to match (E).



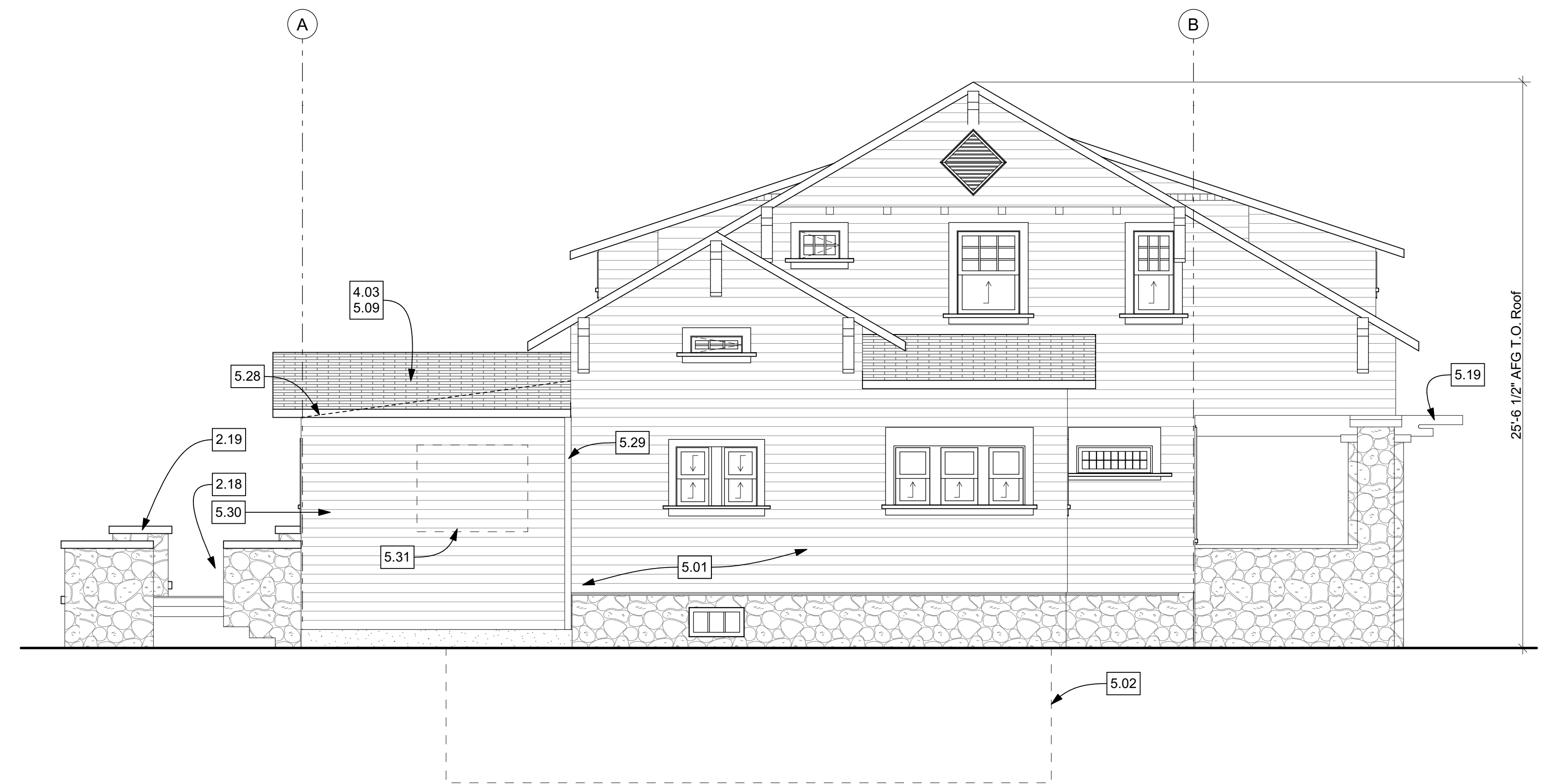
1 North Exterior Elevation
SCALE: 1/4" = 1'-0"



3 South Exterior Elevation
SCALE: 1/4" = 1'-0"



2 East Exterior Elevation
SCALE: 1/4" = 1'-0"



4 West Exterior Elevation
SCALE: 1/4" = 1'-0"

Proposed Exterior Elevations of Main Residence

Shearn Residence

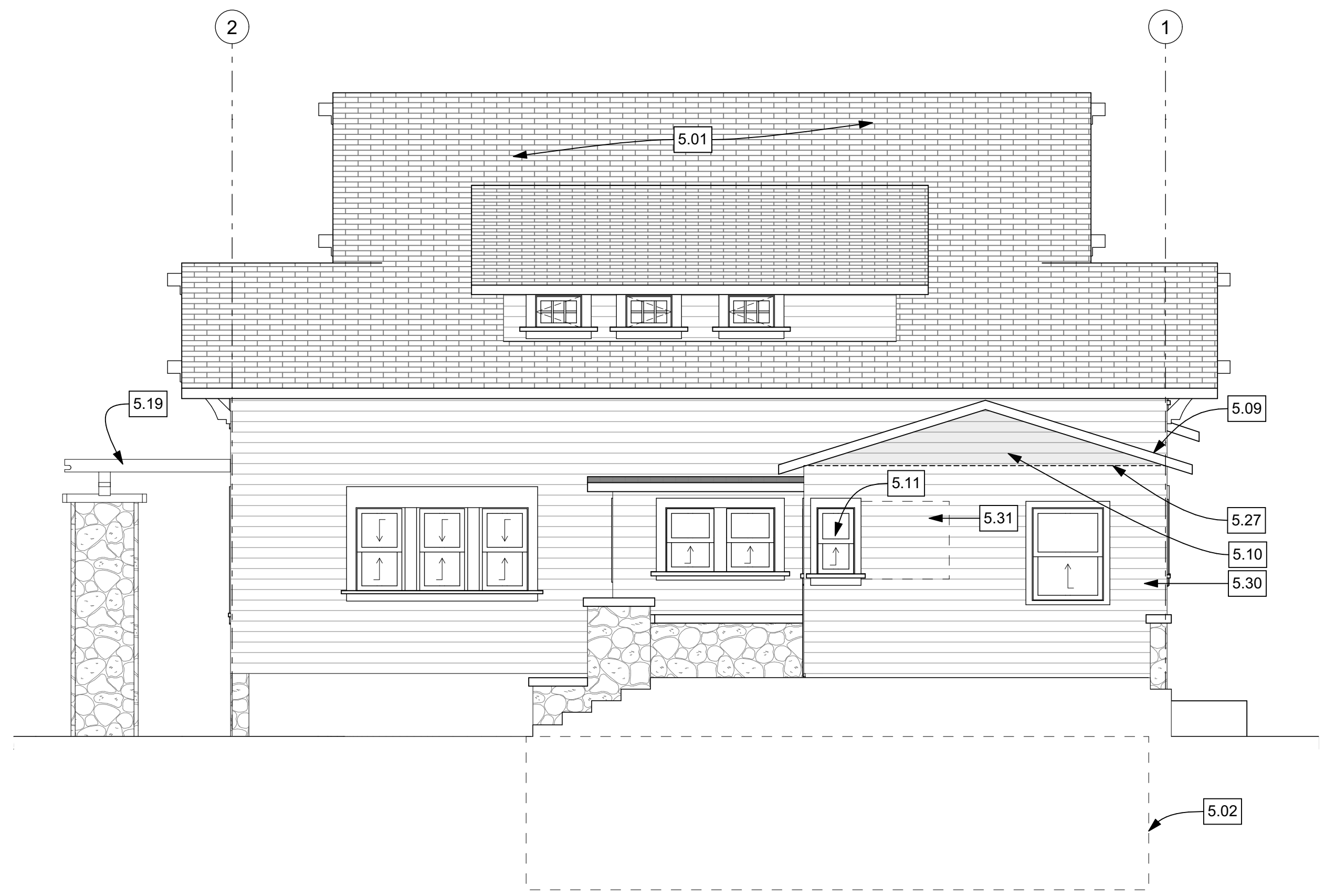
Main Residence Remodel and New Detached Garage

633 E. Maple Ave., Orange, CA 92866

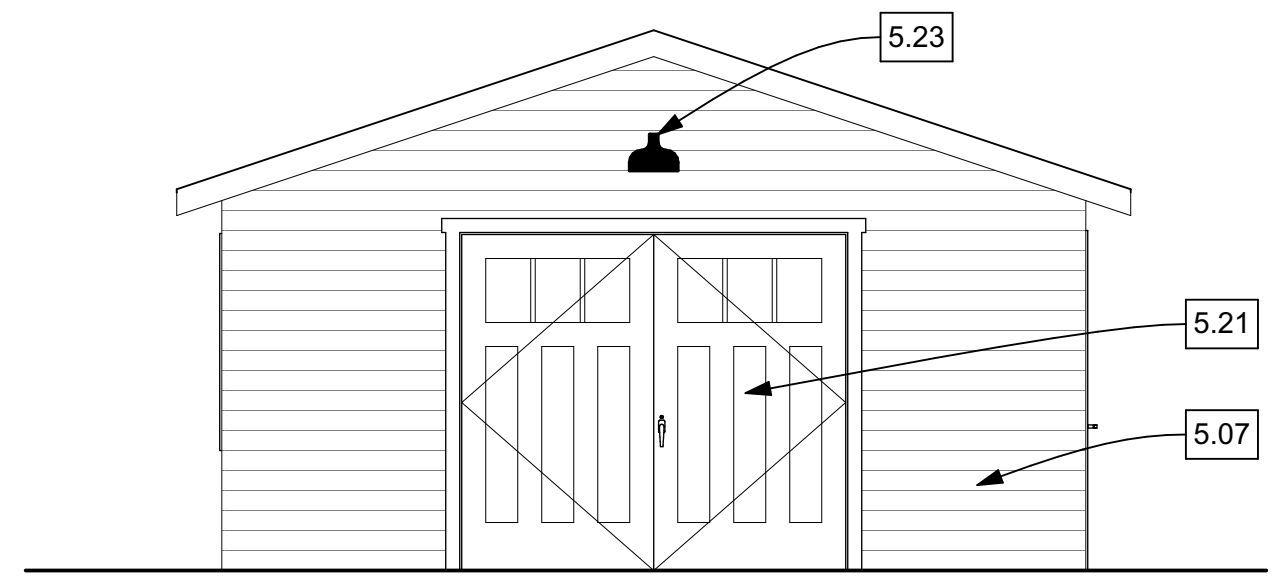
Printed on 10/21/2024 at 10:14 AM P:\325 Knight Residence Remodel and Expansion\325 BIM-CAD Files\325 Arch\CAD Models\325 Knight Residence Overall.rvt

Elevation Keynotes

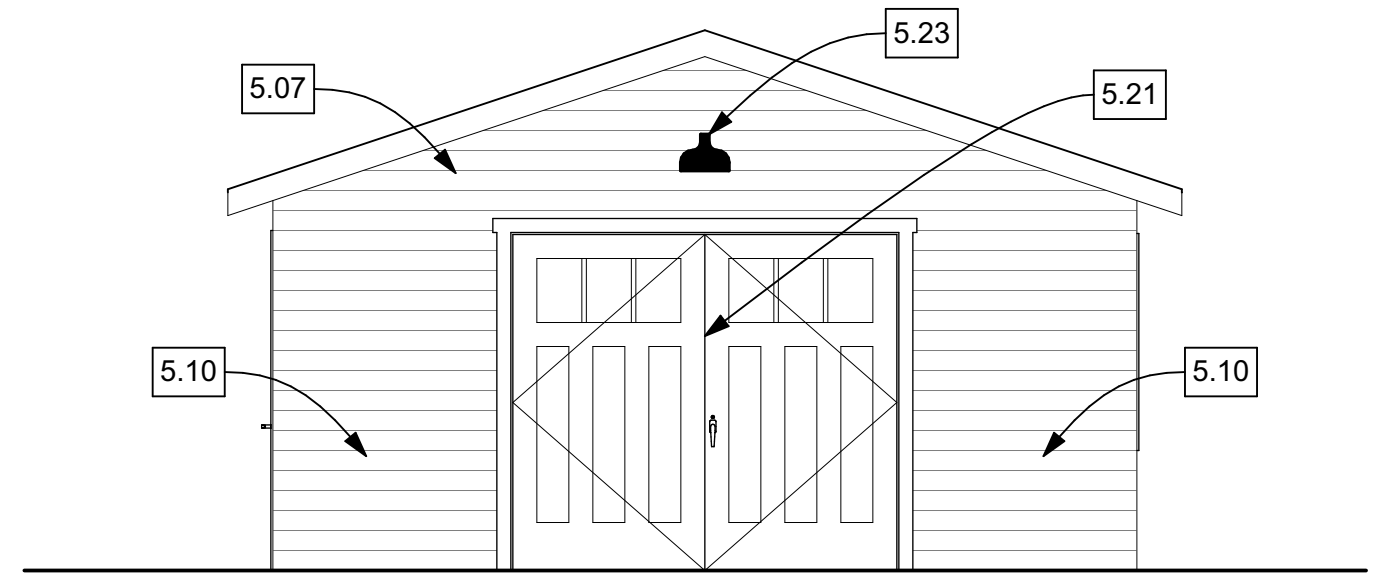
- 2.16 Replace (E) vinyl window w/ wood double hung window
- 4.01 (E) Comp. asphalt shingle roof to remain.
- 4.03 Install comp. asphalt shingle roof per ICC-ESR 1389 to match (E).
- 5.01 (E) Residence to remain.
- 5.02 Dashed outline of basement shown for reference
- 5.07 (E) 5" Horiz. siding to remain. Repair as required.
- 5.09 Install gable roof o/ (E) top plate. Contractor to ensure ridge is below the eave of the roof above and that the eave is above the adjacent shed roof
- 5.10 Install 5" horiz. exposed lap wood siding to match (E)
- 5.11 Install wood double hung window w/ casing and sill trim to match main residence.
- 5.19 Install (N) 4x6 wood beam w/ profiled end to match original.
- 5.21 Install wood 3-Lite over 3-Panel shaker style swinging double door at garage
- 5.22 Install wood 10-lite divided lite double door
- 5.23 Install wall mounted light fixture per owner selection
- 5.25 Install relocated (E) half glass 2 panel horizontal style door.
- 5.27 Dashed line indicates the (E) top plate. Shaded area above is built up to the new gable roof.
- 5.28 Dashed line indicates the existing roof to be demolished with an (E) wall below to remain.
- 5.30 (E) Wood siding to remain. Refurbish as required to match (E).



5 North Exterior Elevation Through Deck
SCALE: 1/4" = 1'-0"



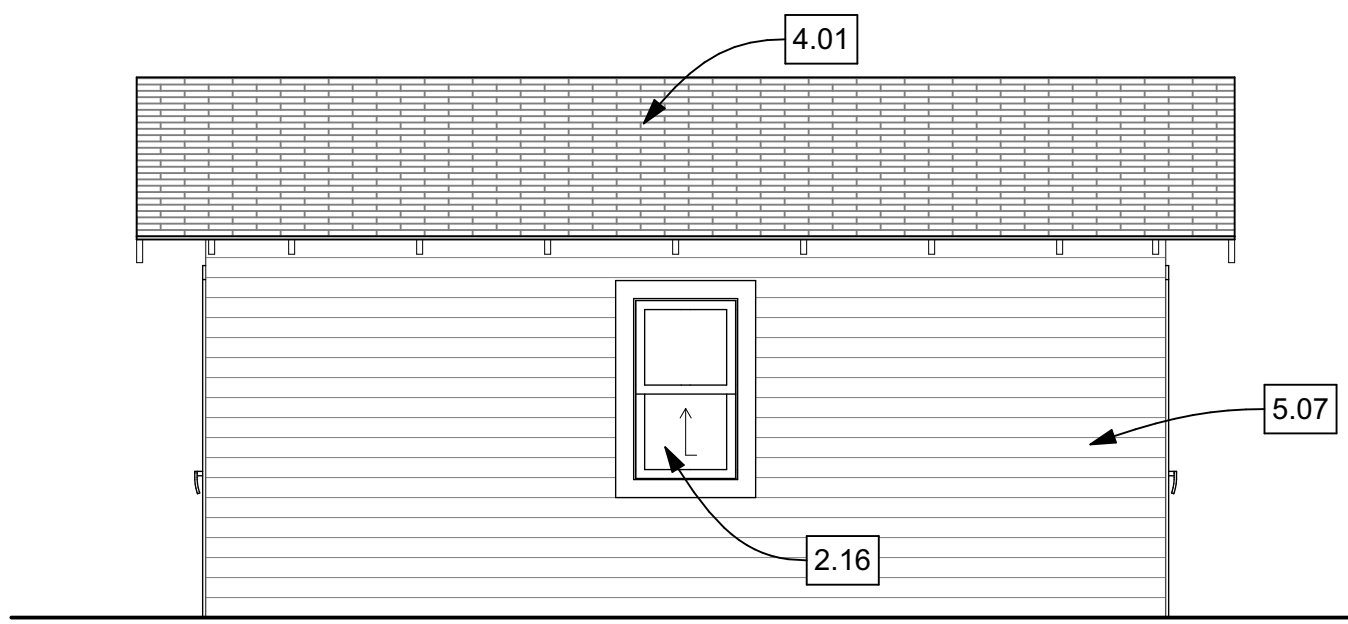
1 North Exterior Elevation
SCALE: 1/4" = 1'-0"



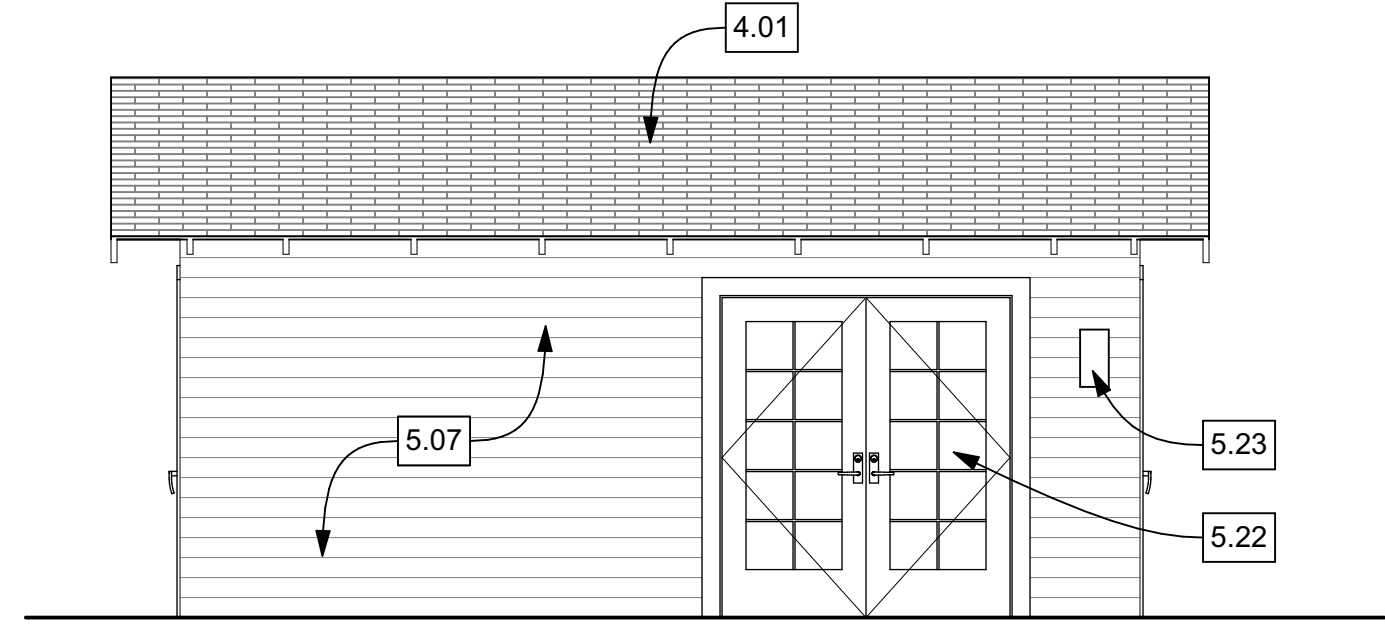
3 South Exterior Elevation
SCALE: 1/4" = 1'-0"



6 East Exterior Elevation Through Deck
SCALE: 1/4" = 1'-0"



2 East Exterior Elevation
SCALE: 1/4" = 1'-0"



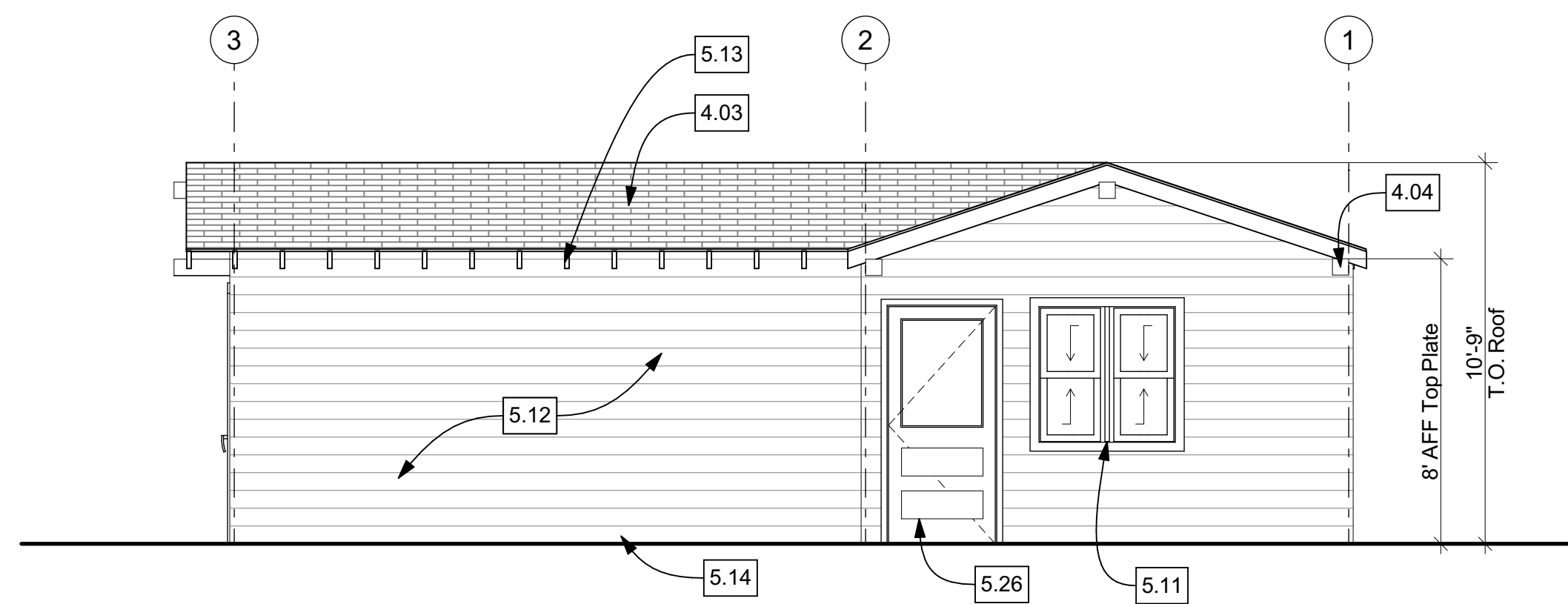
4 West Exterior Elevation
SCALE: 1/4" = 1'-0"



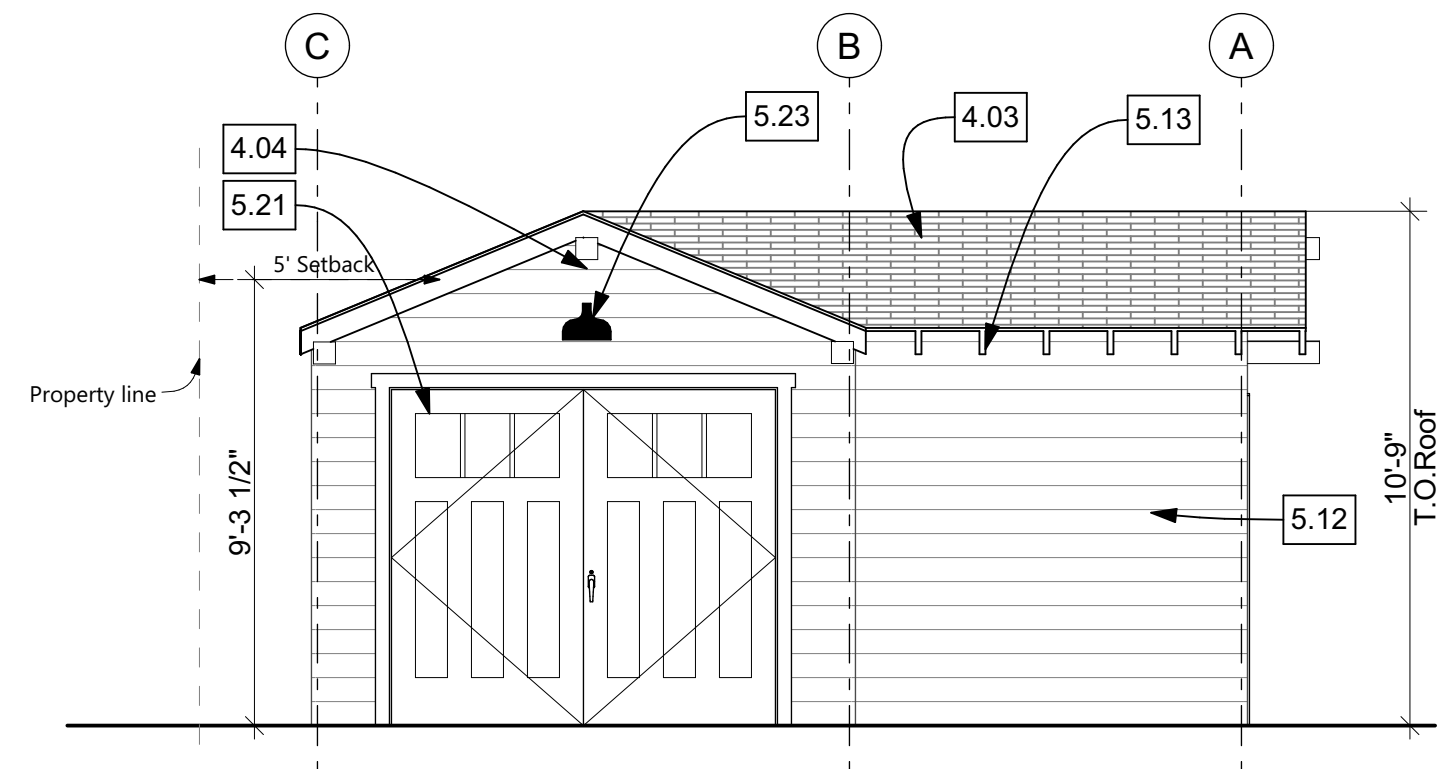
Proposed Exterior Elevations of Main Residence and Existing Garage

Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866

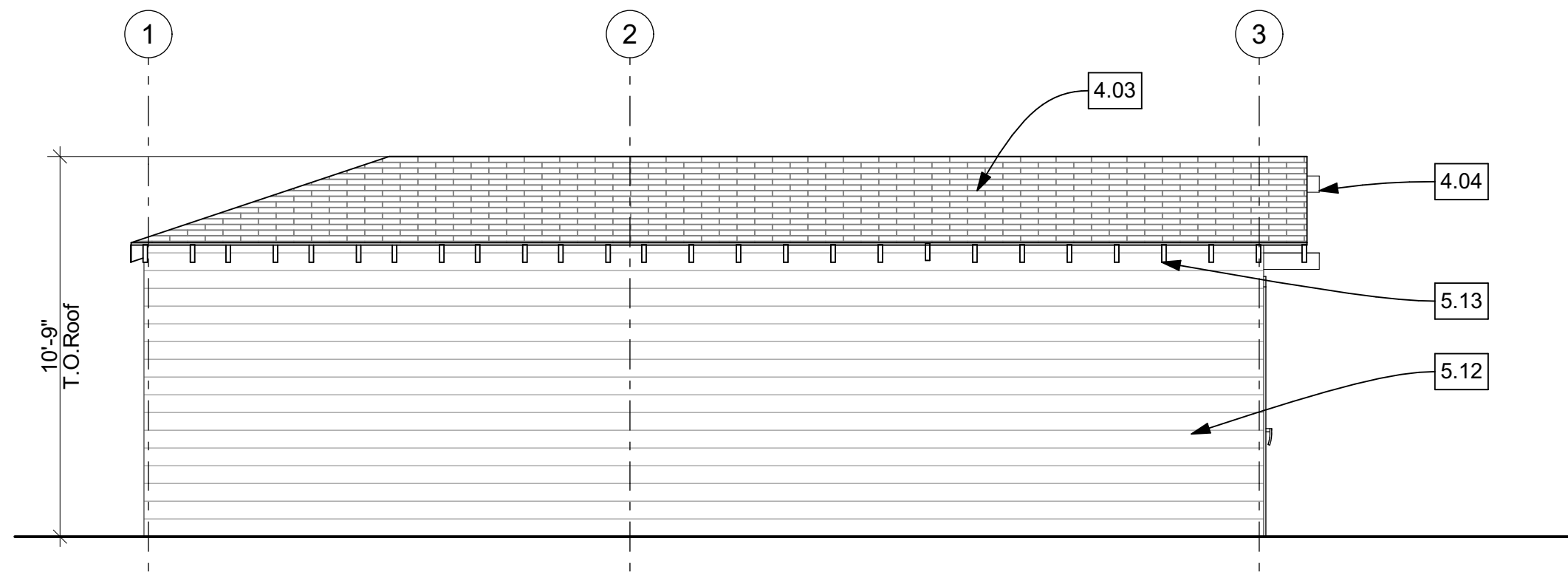
A-10



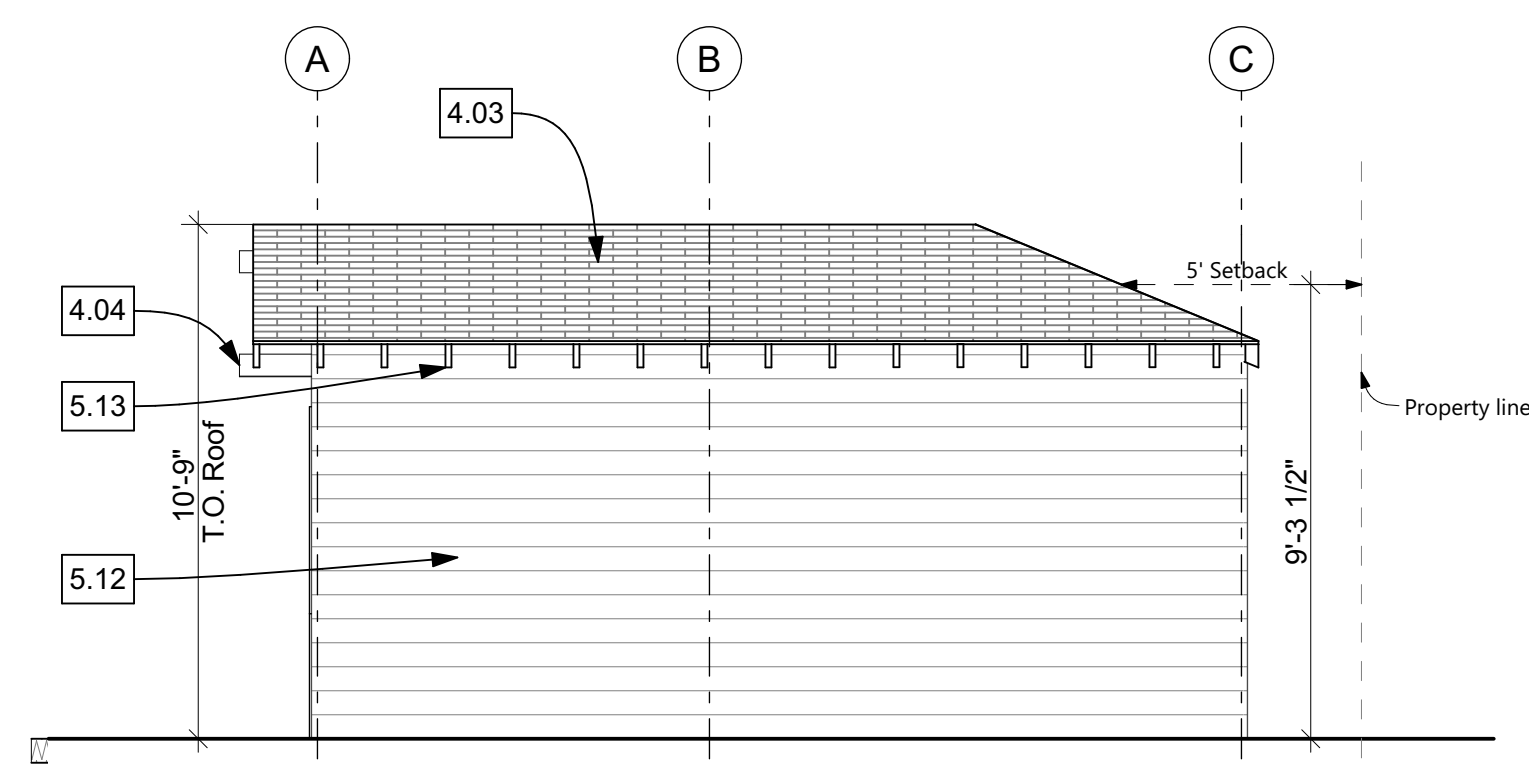
1 North Exterior Elevation
SCALE: 1/4" = 1'-0"



2 East Exterior Elevation
SCALE: 1/4" = 1'-0"



3 South Exterior Elevation
SCALE: 1/4" = 1'-0"



4 West Exterior Elevation
SCALE: 1/4" = 1'-0"

- Exterior Elevation Keynotes**
- 4.03 Install comp. asphalt shingle roof per ICC-ESR 1389 to match (E).
 - 4.04 Install decorative 6x6 outlooker beam. Paint.
 - 5.11 Install wood double hung window w/ casing and sill trim to match main residence.
 - 5.12 Install 6" horiz. exposed lap wood siding at garage/workshop
 - 5.13 Install exposed rafters at garage/workshop
 - 5.14 Install 6"H raised conc. curb at base perimeter of footprint.
 - 5.21 Install wood 3-Lite over 3-Panel shaker style swinging double door at garage
 - 5.23 Install wall mounted light fixture per owner selection
 - 5.26 Install (N) half glass + 2 panel horizontal style door custom made to match relocated door at the main residence.



View from existing garage looking towards barbecue area



Aerial view from Harwood Street looking west



Aerial view from Harwood Street looking northwest

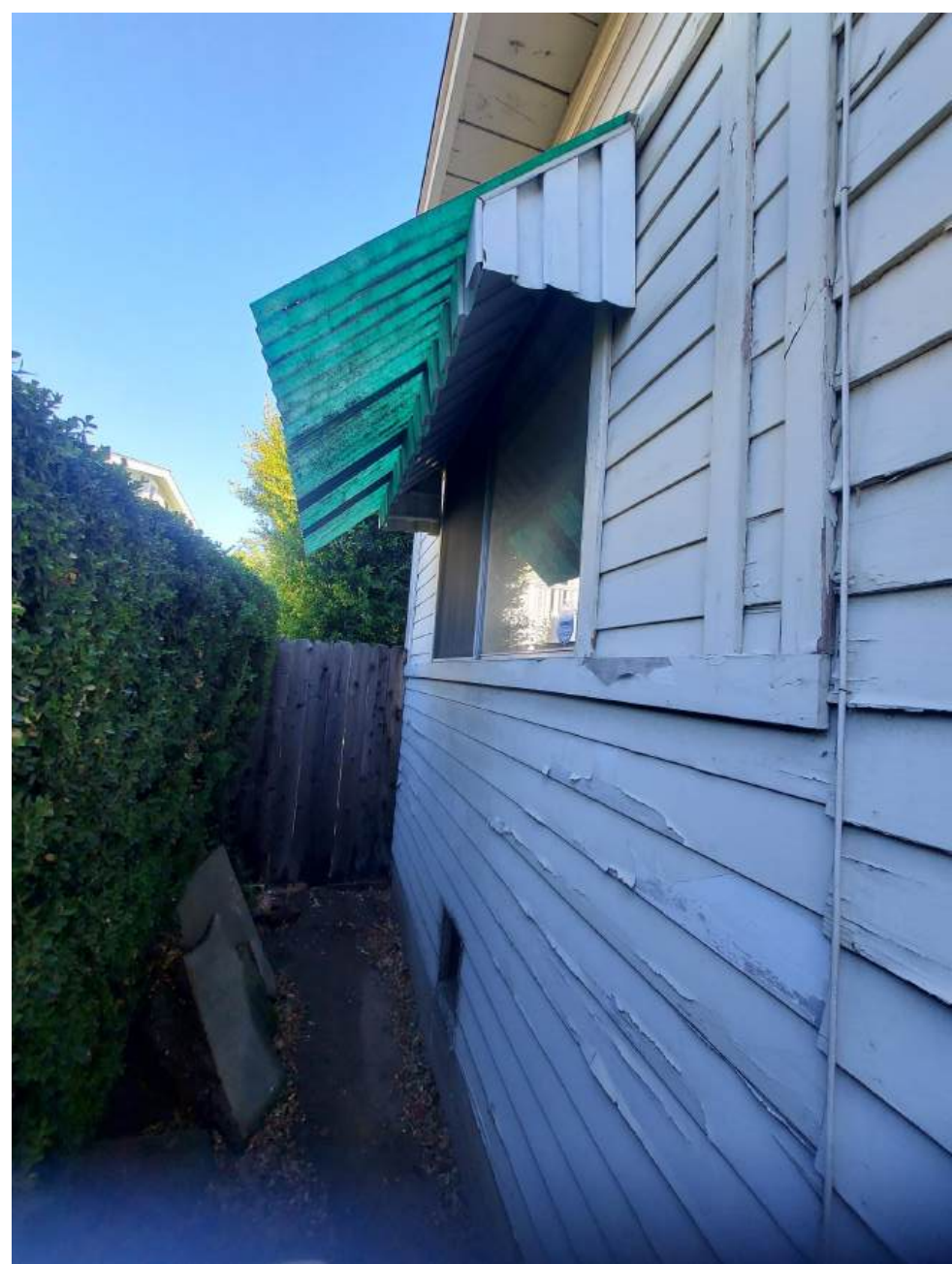


Street view from Harwood Street looking west

Perspective Renderings

Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866

Rendered on 10/21/2024 at 10:14 AM P:\325 Knight Residence Remodel and Expansion\3D BIM-CAD Files\3D ArchCAD Models\3D Knight Residence Overall.rvt



View of west facade looking at area of previous addition



View of west facade from side yard



Closeup view of southwest corner of main residence



View of southwest corner of main residence from street



Closeup view of south facade of main residence



View of trellis at southeast corner of residence being restored



View of east facade from street



View of north facade from existing garage/backyard



Closeup view of east facade of previous addition



Closeup view of staircase being removed at addition



Closeup view of window being replaced at addition



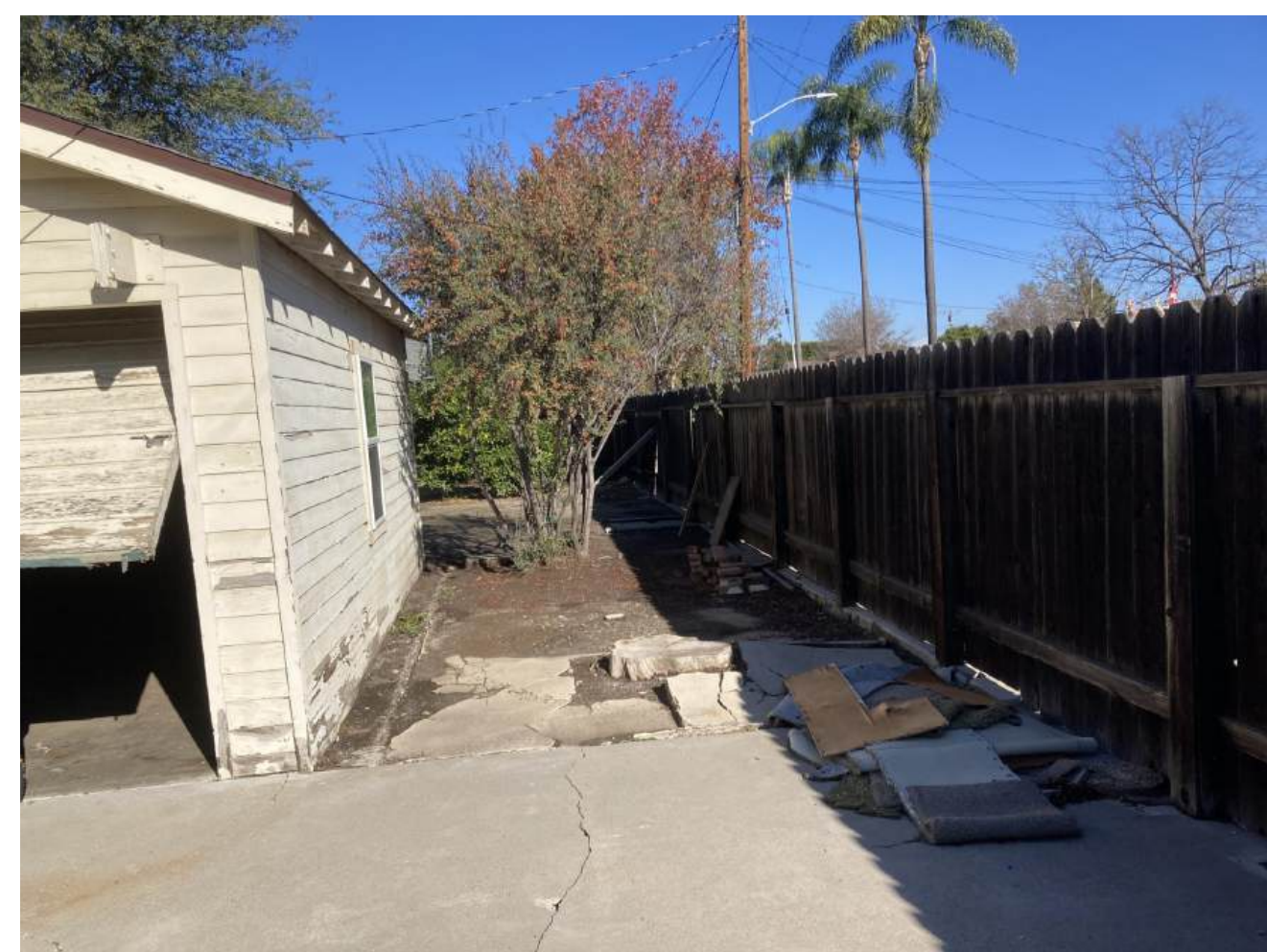
View of west facade of existing garage



View of south facade of existing garage



View of north facade of existing garage



View of east facade of existing garage

Existing Conditions Photographs

Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866

Photos on 10/21/2024 at 10:14 AM P:\326 Knight Residence Remodel and Expansion\326 BIM-CAD Files\326 Arch\CAD Models\326 Knight Residence Overall.pptx



143 S. Olive Street
Orange, CA 92866
(714) 639-3958
#Contact E-mail

A-13

Printed on 10/21/2024



Key Plan



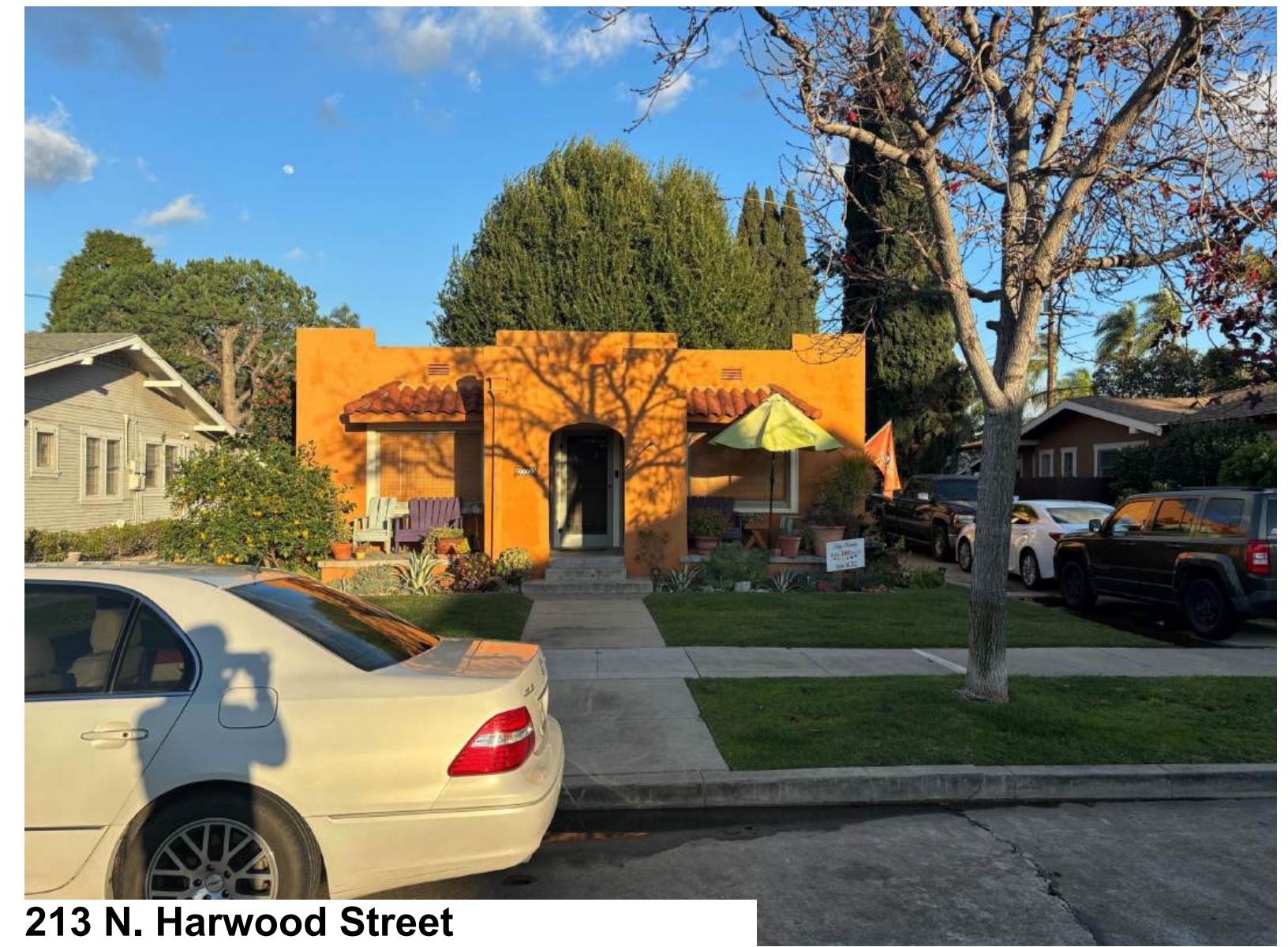
232 N. Harwood Street



223/225 N. Harwood Street



627/629 E. Maple Ave.



213 N. Harwood Street



621 E. Maple Ave.



205 N. Harwood Street

Adjacent Property Photographs

Shearn Residence
Main Residence Remodel and New Detached Garage
 633 E. Maple Ave., Orange, CA 92866

Photo on 10/21/2024 at 10:14 AM P:\325 Knight Residence Remodel and Expansion\325 BIM-CAD File\325 Arch\CAD Model\325 Knight Residence Overall.jpg

PROJECT NO. 5138-24 – SHEARN RESIDENCE – 633 E. MAPLE AVENUE

JUSTIFICATION LETTER

STAFF COMMENT

The proposed fence with pilasters and 6' high CMU BBQ wall are not recommended, per Standard for Rehabilitation #3 for "creating a false sense of history" (<https://www.cityoforange.org/home/showpublisheddocument/68/637698075152800000>). Staff recommendation is to eliminate the proposed pilasters/BBQ wall and keep the simple wood fence design.

KEY GUIDELINES

Standard for Rehabilitation #3: "Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken."

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

JUSTIFICATION

COMPATIBLE USE

We are proposing adding a use to the rear landscape—an outdoor kitchen with an arbor-covered access gate. The horizontal configuration of the space necessitates locating the grill/prep counter in the location shown in the landscape plan. Wood fencing would be an inappropriate material to use for this application. The wood trellis over the kitchen provides some additional shade, creates a unique differentiation of the space, and provides human scale by creating a partial ceiling.

We are also proposing a mechanized gate across the driveway. The masonry pilaster at the hinge side of the gate provides a sturdy point of attachment for the heavy gate and provides a substantial point of transition between the taller fence and the lower fence. It also ties into the materials at the kitchen/arbor. Standards for rehabilitation allow compatible uses on the condition that they do not "create a false sense of historical development."

AVOIDING CREATING A FALSE SENSE OF HISTORICAL DEVELOPMENT

Adding non-historical elements to a historic building without creating a false sense of history or being conjectural involves a few key principles:

Compatibility: Ensure that new additions are compatible with the historic character of the building. This means using materials, scale, and design elements that harmonize with the original structure.

The design of the pilasters, fence, gate, and trellis pulls inspiration from the historic home. The pilasters and trellis are direct nods to the original home's pilasters and trellis. The stucco finish will closely match the finish of the existing foundation wall at the rear of the house (not visible from the street). Additionally, the wall pilaster, trellis, and stucco finish are references to similar design elements in the neighborhood and of the era and architectural style. The house kitty-corner to ours at 704 E Maple has a similar design with brick pilasters, vine-covered wall, trellis, and a transition from a tall fence to a low fence at the alley corner cutoff. Stucco-covered masonry pilasters are common throughout Old Towne and are common to the era and architectural style.

Differentiation: While new elements should be compatible, they should also be distinguishable from the historic fabric.

The design achieves this in a few ways, first the kitchen structure is separated from the home by 5'. Second, the trellis beam and purlin end details are subordinate in detail to the original trellis. Thirdly, the wall and pilasters use a different material than the original stone porch wall and pilasters. Lastly, the scale of the structure is subordinate to the original columns and trellis.

Preservation of Significant Features: Preserve significant historic materials, features, and forms. Avoid removing or altering character-defining elements of the historic building.

The original garage was moved and modified in the 1940's and the original perimeter barrier was long ago demolished leaving nothing to preserve in that regard.

Documentation and Reversibility: Document the changes made and ensure that new additions can be reversed in the future if needed.

Changes are being thoroughly documented through this process and the changes are not tied into the historic structure. Future demolition will not disturb original features.

RELEVANT REFERENCE INFORMATION

The Secretary of the Interior's Standards for the treatment of Historic Properties: rehabilitation as a treatment and standards for rehabilitation

#9 "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."

#10 "New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

REFERENCE IMAGES



154 N Harwood
Stucco masonry pilasters



206 Pine St
Solid wall with pilasters



704 E Maple (kitty-corner)
Brick pilasters and arbor



159 N Shaffer St
Solid wall with pilasters



227 N Shaffer St
Brick wall, pilasters, and arbor



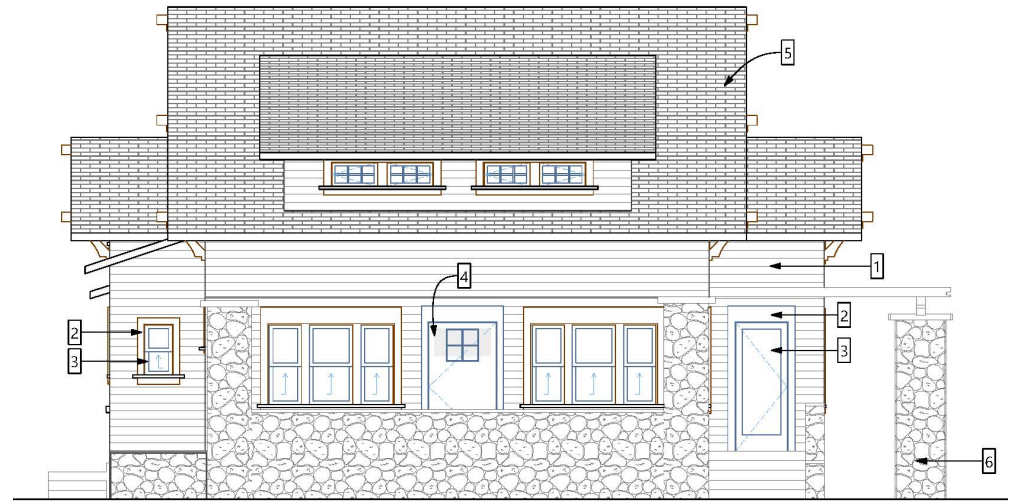
205 Pine St
Solid wall with pilasters



295 N Batavia
Masonry pilasters and wood arbor



5. Roof Shingles
Timberline HD in "Shakewood"



Main Residence South Exterior Elevation



5" Wood Lap
Siding profile

6. Decorative Stone Solutions
Style/color: "Full Moon"



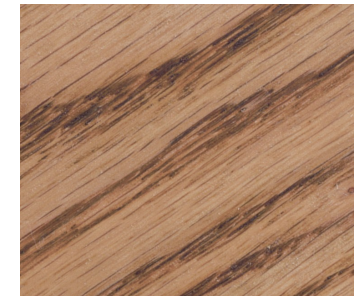
1. Siding Color



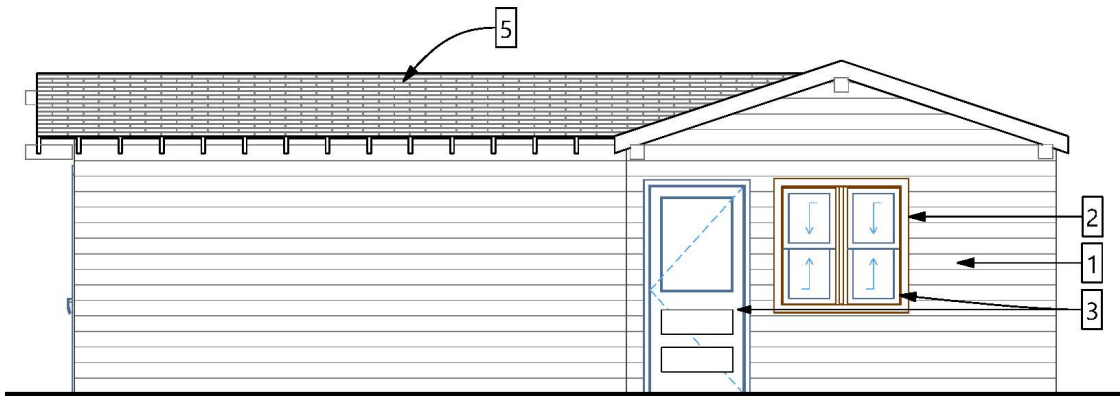
2. Trim Color



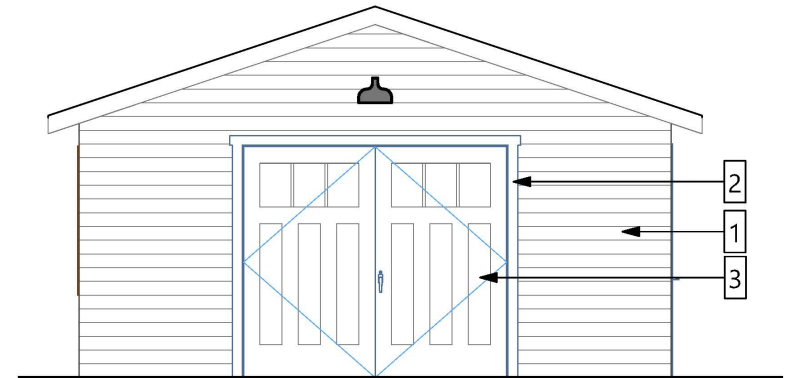
3. Window Muntins/
Door Color



4. Entry Door Stain
"Golden Oak"



North Exterior Elevation of New Accessory Structure



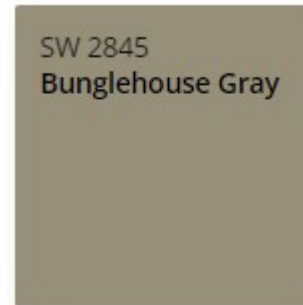
Existing Garage North Exterior Elevation



5. Roof Shingles
Timberline HD in "Shakewood"



7" Wood Lap Siding
(For Accessory Structure)



1. Siding Color



2. Trim Color



3. Window Muntins/
Door Color

Materials and Color Board

Existing Garage and New Accessory Structure Shearn Residence

633 E. Maple Ave. Orange, CA 92866



SECTION 08 52 00
ALL WOOD WINDOWS
JELD-WEN® Sitrine Series

PART 1 1. GENERAL

1.1 SECTION INCLUDES

- A. All Wood Windows: **[Awning windows] [Casement windows] [Double-hung windows] [Horizontal sliding windows (Sitrine EX)] [Radius and geometric windows].**

1.2 REFERENCES

- A. Window and Door Manufacturers Association (WDMA):
 - 1. AAMA/WDMA/CSA 101/I.S.2/A440 – North American Fenestration Standard/Specification for windows, doors, and skylights (NAFS).
 - 2. WDMA I.S.4; Water Repellent Preservative Non-Pressure treatment for Millwork
- B. National Fenestration Rating Council (NFRC):
 - 1. NFRC 100 - Procedure for Determining Fenestration Product U-Factors.
 - 2. NFRC 200 - Procedure for Determining Fenestration Product Solar Heat Gain Coefficient and Visible Transmittance at Normal Incidence.
- C. Forest Stewardship Council® (FSC®): FSC Chain-of-Custody Certification.

1.3 SUBMITTALS

- A. Submit under provisions of Section 0 13 00 – Administrative Requirements.
- B. Product Data: Manufacturer's data sheets on each product to be used, including:
 - 1. Preparation instructions and recommendations.
 - 2. Storage and handling requirements and recommendations.
 - 3. Installation methods.
- C. Shop Drawings: Submit shop drawings indicating details of construction, flashings and relationship with adjacent construction.
- D. Verification Samples: For each factory-finished product specified, two samples, minimum size 6 inches (150 mm) square, representing actual finishes.
- E. Design Data, Test Reports: Provide manufacturer test reports indicating product compliance with indicated requirements.
- F. Closeout Submittals: Refer to Section 0 17 00 Execution and Closeout Requirements Closeout Submittals.

1.4 QUALITY ASSURANCE

- A. Installer Qualifications: Minimum 2 years installing similar assemblies.
- B. Mock-Up: Provide a mock-up for evaluation of installation techniques and workmanship.
 - 1. Mock-ups shall incorporate surrounding construction, including wall assembly fasteners, flashing, and other related accessories installed in accordance with manufacturer's approved installation methods.
 - 2. Do not proceed with remaining work until workmanship is approved by Architect.
 - 3. Modify mock-up as required to produce acceptable work.
 - 4. At Substantial Completion, approved mockups may become part of completed work.
 - 5. Demolish mockups and remove from site.
- C. Pre-installation Meeting: Conduct pre-installation meeting on-site two weeks prior to commencement of installation.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver, store and handle materials and products in strict compliance with manufacturer's instructions and recommendations and industry standards.
- B. Deliver and store assembly materials and components in manufacturer's original, unopened, undamaged containers with identification labels intact. Protect from damage.

1.6 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's recommended limits.

1.7 WARRANTY

- A. Manufacturer's Standard Warranty: Assemblies will be free from defects in materials and workmanship from the date of Manufacture for the time periods indicated below:
 - 1. Basic Product Coverage: **[Owner Occupied Single-Family Residence: 20 years] [Commerical (Other than Owner-Occupied Single Family Residence: 20 Years)].**
 - 2. Factory Interior Finish on Wood Products: 1 Year.
 - 1. AuraLast Protection for wood products: **[Owner-Occupied Single-Family Residence: [As long as you own and occupy your residence] [Commercial: 20 years]].**
 - a. Coverage is for wood decay and/or termite damage in pine wood components.
 - 2. Glazing:
 - a. Stress Cracks: 1 Year. Applies to sealed glass units installed in windows and patio doors. Laminated glass and special glazings are excluded. Coverage includes replacement glass and skilled labor necessary to replace the glass. Stress cracks occur when, in the first year after manufacture, the glass develops a crack without sign of impact.
 - b. Accidental Glass Breakage: Applies to Products ordered with double-strength or thicker glass. Not covered: damage attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling. Special glazings and ImpactGard glass are not covered by this glass breakage warranty.
 - c. Special Glazing: 5 years.
 - d. Blinds Between the Glass: 10 years.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable Manufacturer: JELD-WEN, Inc.; 2645 Silver Crescent Drive, Charlotte, NC 28273; Toll Free Tel: 800-535-3936; Tel: 541-850-2606; Fax: 541-851-4333; Email: mailto:architectural_inquiries@jeld-wen.com; Web: <http://www.jeld-wen.com>.
- B. Substitutions: Not permitted.
- C. Requests for substitutions will be considered in accordance with provisions of Section 0 16 00 – Product Requirements.

2.2 ALL WOOD WINDOWS - GENERAL

- A. Design Requirements:
 - 1. Compliance: Provide assemblies capable of complying with requirements indicated, based on testing manufacturer's units that are representative of those specified.
 - 2. Test Size: In compliance with requirements of AAMA/WDMA/CSA 101/I.S2/A440.
 - 3. Structural Requirements: Provide assemblies complying with requirements indicated:
 - a. Performance Class: As indicated on drawings.
 - b. Performance Class: _____.

- c. Performance Grade: As indicated on drawings.
 - d. Performance Grade: _____.
 - 4. NFRC Requirements: Provide assemblies complying with the following total window ratings:
 - a. U-Factor: _____ in accordance with NFRC 100.
 - b. Solar Heat Gain Coefficient (SHGC): _____ in accordance with NFRC 200.
 - c. Visible Transmittance (VT): _____ in accordance with NFRC 200.
 - B. Installation Accessories:
 - 1. Flashing: Refer to Section 07600 - Flashing and Sheet Metal.
 - 2. Sealants: Refer to Section 07920 - Joint Sealants.
 - 3. Sealants: Manufacturer recommended sealants to maintain watertight conditions.
 - C. Materials:
 - 1. Exterior Wood: Western Pine, preservative treated with AuraLast® by JELD-WEN, Inc. in accordance with WDMA I.S.4.
 - 2. Interior Wood:
 - a. Material: **[AuraLast Pine (Standard)] [Fir].**
 - D. Finishes:
 - 1. Interior Finishes for Windows:
 - a. Finish: **[Natural (Standard)] [Primed] [Clear Lacquer].**
 - b. Finish: Pre-finished paint finish.
 - 1) Color: **[As Selected by Architect] [Brilliant White] [Desert Sand] [Gunmetal] [Perfect White] [Pure Ivory] [Luxury Bronze] [Rosemary] [Gray Pearl] [Blackest Ink] [Blackest Ink Frame-Perfect White Sash] [Perfect White Frame-Blackest Ink Sash].**
 - c. Finish: Pre-finished stain finish.
 - 1) Color: **[As Selected by Architect] [Fruitwood] [Walnut] [Kodiak] [Greystone] [Warm Toffee] [Black].**
 - 2. Exterior Finishes for Windows:
 - a. Finish: **[Primed (Standard)] [Natural Pine].**
- 2.3 ALL WOOD WINDOW ASSEMBLIES
- A. Basis of Design: Sitrine Series Wood window assemblies as manufactured by JELD-WEN, Inc.
 - 1. Window Type: **[Awning windows] [Casement windows] [Double-hung windows] [Horizontal sliding windows (Sitrine EX)] [Radius and geometric windows].**
 - B. Window Fabrication:
 - 1. Window Type: Awning windows.
 - a. Frame: Corner joints mechanically fastened.
 - b. Sash: Corner joints slot-and-tenoned, and mechanically fastened.
 - c. Glass: Mounted using silicone glazing compound and secured with interior applied profiled wood stops.
 - 1) Glazing Bead: **[Traditional Beveled] [Contemporary Square].**
 - 2. Window Type: Casement windows.
 - a. Frame: Corner joints mechanically fastened.
 - b. Sash: Corner joints slot-and-tenoned, and mechanically fastened.
 - c. Glass: Mounted using silicone glazing compound and secured with interior applied profiled wood stops.
 - 1) Glazing Bead: **[Traditional Beveled] [Contemporary Square].**
 - 3. Window Type: Double-hung windows.
 - a. Frame: Corner joints mechanically fastened.
 - b. Sash: Corner joints slot-and-tenoned, and mechanically fastened.
 - c. Glass: Mounted using silicone glazing compound and secured with interior applied profiled wood stops.
 - Glazing Bead: **[Traditional Beveled] [Contemporary Square].**

- d. Sash Bottom Rail: **[2-1/4 inches (57.2 mm) (Standard)] [3-1/2 inches (88.9 mm)]**.
 - 4. Window Type: Horizontal sliding windows.
 - a. Frame: Corner joints mechanically fastened.
 - b. Sash: Corner joints slot-and-tenoned, and mechanically fastened.
 - c. Glass: Mounted using silicone glazing compound and secured with interior applied profiled wood stops.
 - 1) Glazing Bead: **[Traditional Beveled] [Contemporary Square]**.
 - 5. Window Type: Radius and geometric direct set windows.
 - a. Frame: Corner joints mechanically fastened. Curved members are soft veneers laminated and fasteners secure members together.
 - b. Glass: Mounted using silicone glazing compound and secured with interior applied profiled wood stops.
 - 6. Window Type: Radius and geometric in-sash windows.
 - a. Frame: Corner joints mechanically fastened. Curved members are soft veneers laminated and fasteners secure members together.
 - b. Sash: **[Size units with corner joints slot-and-tenoned, and mechanically fastened] [Custom size units with mitered corner joints]**.
 - c. Glass: Mounted using silicone glazing compound and secured with interior applied profiled wood stops.
 - 1) Glazing Bead: **[Traditional Beveled] [Contemporary Square]**.
- C. Frames:
- 1. Material: Select kiln-dried pine AuraLast treated wood.
 - 2. Casement, Awning and Picture Windows Base Frame: 3-3/4 inch (95 mm).
 - 3. Double-hung Windows Base Frame: 4-9/16 inch (115 mm).
 - 4. Horizontal Sliding Windows Base Frame: 4-9/16 inch (115 mm).
 - 5. Jamb Width: 4-9/16 inches (116 mm).
- D. Sash: Select kiln-dried pine AuraLast treated wood.
- 1. Sash Thickness: 1-7/16 inches (36.5 mm).
- E. Exterior Trim: **[Brickmould (Standard)] [No Exterior Trim] [2 inch (51 mm) Flat Casing] [3-1/2 inch (88.9 mm) Flat Casing] [4-1/2 inch (114.3 mm) Flat Casing] [5-1/2 inch (139.7 mm) Flat Casing] [Adams Casing] [Stucco Brickmould] [Heritage Brickmould] [1x4 w/ Backband Casing] [Bullnose Casing] [RB-3 Casing] [3-1/2 inch (88.9 mm) Side/5-1/2 inch (139.7 mm) Head Casing] [Solid 3 1/2 inch (88.9 mm) Flat Casing] [Solid 5-1/2 inch (139.7 mm) Flat Casing] [Solid 4-1/2 inch (114.3 mm) Flat Casing] [Install Kit Only (No Trim/No Fin) (Available only for Pocket Frame applications)]**.
- 1. Sill Angle: **[14 degree] [0 Degree] [8 Degree]**.
 - 2. Sill Nosing: **[Standard Sill Nosing (Standard)] [2 inches (51 mm)]**.
 - 3. Sill Horns: **[No Sill Horn] [Extended Sill Horns]**.
- F. In-Sash Interior Radius Trim:
- 1. Material: Pine.
 - 2. Pattern: As scheduled and indicated on Drawings.
 - 3. Casing: As scheduled and indicated on Drawings.
- G. Weatherstripping:
- 1. Awning Windows: Flexible hinged leaf applied to sash and foam filled bulb at full perimeter of frame.
 - 2. Casement Windows: Flexible hinged leaf applied to sash and foamed filled bulb at full perimeter of frame.
 - 3. Double-hung Windows: Dual bulb at head and sill, thermoplastic rubber bulb at check rail, rigid vinyl water stops at sill.
 - a. Concealed Jamb Track Color: **[Tan (Standard)] [White]**.
 - 4. Horizontal Sliding: Thermoplastic rubber bulb at checkrail and side rails, polyurethane hinged leaf at side jamb and sill track, rigid vinyl water stops at sill.

5. Radius and Geometric Windows: Flexible hinged leaf applied to top of sash and thermoplastic rubber bulb at full perimeter of frame.
- H. Window Hardware:
1. Awning Windows:
 - a. Hinges: Sliding steel reinforced nylon shoe in stainless steel track.
 - b. Stainless Steel Hardware: **[Standard Operator/Hinge] [Stainless Steel Operator/Hinge].**
 - c. Handle: Nesting Crank handle (Standard).
 - 1) Finish: **[As selected by Architect] [Chestnut Bronze] [Desert Sand] [White] [Polished Brass] [Antique Brass] [Brushed Chrome] [Oil Rubbed Bronze] [Gloss Black] [Matte Black] [Satin Nickel].**
 - d. No Handle.
 2. Casement Windows:
 - a. Stainless Steel Hardware: **[Standard Operator/Hinge] [Stainless Steel Operator/Hinge].**
 - b. Egress Hinge: **[Standard Hinge (Standard)] [Butt Hinge, Single Arm Operator].**
 - c. Handle: Nesting Crank handle (Standard).
 - 1) Finish: **[As selected by Architect] [Chestnut Bronze] [Desert Sand] [White] [Polished Brass] [Antique Brass] [Brushed Chrome] [Oil Rubbed Bronze] [Gloss Black] [Matte Black] [Satin Nickel].**
 - d. No Handle.
 3. Double-Hung Windows:
 - a. Balance: Dual block and tackle.
 - b. Lock: Recessed cam action.
 - c. Finish: **[As selected by Architect] [Chestnut Bronze] [Desert Sand] [White] [Antique Brass] [Brushed Chrome] [Oil Rubbed Bronze] [Gloss Black] [Matte Black] [Satin Nickel].**
 4. Horizontal Sliding Windows:
 - a. Sliding System: High-raised polyvinyl chloride sill track and compressible resilient polyfoam backed head track.
 - b. Sash Pull: Recessed.
 - c. Sash Lock: Recessed cam action.
 - d. Finish: **[As selected by Architect] [Chestnut Bronze] [Desert Sand] [White] [Antique Brass] [Brushed Chrome] [Oil Rubbed Bronze] [Gloss Black] [Matte Black] [Satin Nickel].**
 5. Radius and Geometric Windows: None.
- I. Glazing for Windows:
1. Glazing: Insulated glass.
 - a. Description: Two panes of glass utilizing continuous roll formed stainless steel spacer and dual seal sealants.
 - b. Glass Type: **[Annealed (Standard)] [Tempered] [Tempered In/Annealed Out].**
 - c. Overall Nominal Thickness: 3/4 inch (19 mm).
 - d. Glass Color: **[As selected by Architect] [SunResist™ (Standard)] [SunStable™] [SunFlow™] [SunStable™ with HeatSave™] [SunResist™ with HeatSave™] [Sunflow™ with Heatsave™].**
 - e. Glass Protection: Plastic preserve film on interior and exterior of glass.
 - f. Neat Glass: **[No (Standard)] [Neat].**
 - g. Glass Options: **[Argon] [High Altitude (Above 3500 Feet Elevation)].**
 - h. Spacer Color: **[Black (Standard)] [Silver].**
 2. Glazing Type: Blinds Between the Glass.
 - a. Description: Blink Blinds + Glass blinds-between-glass insulated glazing unit with enclosing glass edges and internal blind operating mechanism.
 - b. No Internal Blinds (Standard).

- c. Blink Blinds:
 - 1) Color: **[White] [Tan] [Espresso] [Silver Moon] [Slate Gray] [Sand]**.
 - d. Blind Operator Position: **[High (Standard)] [Low]**.
 - e. Glass Type: **[Annealed] [Tempered]**.
 - f. Glass Color: SunStable™.
 - g. Neat Glass: No.
- J. Exterior Insect Screens:
- 1. Material: Black BetterVue fiberglass screen cloth (18 x 18) set in painted roll formed or extruded aluminum frame.
 - a. Frame Color: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Hartford Green] [Mesa Red] [Black] [Silver] [Steele Gray] [Dark Chocolate] [Hunter Green] [Heirloom White] [Smoke] [Bone White] [Ivory] [Luxury Bronze] [Mocha Cream] [Sea Foam] [Stone] [Flagstone] [Cocoa] [Cranberry] [Surf] [Moss] [Stormy] [Admiral] [Navy]**.
 - 2. Material: Black UltraVue fiberglass screen cloth (19 x 19 mesh) set in a painted roll formed aluminum frame.
 - a. Frame Color: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Hartford Green] [Mesa Red] [Black] [Silver] [Steele Gray] [Dark Chocolate] [Hunter Green] [Heirloom White] [Smoke] [Bone White] [Ivory] [Luxury Bronze] [Mocha Cream] [Sea Foam] [Stone] [Flagstone] [Cocoa] [Cranberry] [Surf] [Moss] [Stormy] [Admiral] [Navy]**.
 - 3. Material: **[Charcoal (Standard)] [Silver]** aluminum screen cloth (18 by 16 mesh) set in painted roll formed aluminum frame.
 - a. Frame Color: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Hartford Green] [Mesa Red] [Black] [Silver] [Steele Gray] [Dark Chocolate] [Hunter Green] [Stone] [Flagstone] [Cocoa] [Cranberry] [Surf] [Moss] [Stormy] [Admiral] [Navy]**.
 - 4. No Screen
 - 5. Screen Style: **[Full Screen (Standard)] [Half Screen]**.
- K. Combination Storm/Screens:
- 1. Material: Extruded aluminum with twin storm panels and charcoal fiberglass screen cloth (18 by 16 mesh) set in painted extruded aluminum frame.
 - 2. Frame Color: **[Brilliant White (Standard)] [Chestnut Bronze] [Hartford Green] [Dark Chocolate]**.
- L. Interior Insect Screens:
- 1. Material: Black BetterVue fiberglass screen cloth (18 x 18) set in painted roll formed or extruded aluminum frame.
 - a. Finish: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Black] [Silver] [Steele Gray]**.
 - 2. Material: Black UltraVue fiberglass screen cloth (19 x 19 mesh) set in a painted roll formed aluminum frame.
 - a. Finish: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Black] [Silver] [Steele Gray]**.
 - 3. Material: **[Charcoal (Standard)] [Silver]** aluminum screen cloth (18 by 16 mesh) set in painted roll formed aluminum frame.
 - a. Finish: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Black] [Silver] [Steele Gray]**.
 - 4. No Screen.
- M. Grilles:
- 1. Type: Simulated Divided Lites (SDL).
 - a. Exterior Muntins:

- b. Material: Extruded aluminum permanently applied to exterior of insulating glass unit.
 - 1) Profile: Beaded.
 - (a) Width: **[7/8 inch (22 mm)] [1-1/8 inches (28.5 mm)] [2-5/16 inches (59 mm)].**
 - 2) Profile: Putty.
 - (a) Width: **[5/8 inch (16 mm)] [7/8 inch (22 mm)] [1-1/8 inches (28.5 mm)] [2-5/16 inches (59 mm)].**
 - 3) Profile: Contemporary.
 - (a) Width: **[5/8 inch (16 mm)] [7/8 inch (22 mm)] [1-1/8 inch (28.5 mm)] [2-5/16 inch (58.7 mm)].**
 - 4) Pattern: As scheduled and indicated on Drawings.
 - c. Grid Finish: **[Light Bronze (Standard)] [Silver].**
 - d. Interior Muntins:
 - 1) Material: Clear pine permanently bonded to interior of insulating glass unit.
 - 2) Interior Bar Profile: **[Traditional Bead Bar] [Putty Bar] [Contemporary].**
 - e. Finish: **[As selected by Architect] [Primed Wood] [Natural Pine] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Hartford Green] [Mesa Red] [Black] [Silver] [Dark Chocolate].**
2. Type: Grilles Between the Glass (GBG).
- a. Material: Made of roll formed aluminum suspended within the air cavity.
 - b. Profile: Flat.
 - 1) Width: 5/8 inch (15.9 mm).
 - (a) Finish: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Hartford Green] [Mesa Red] [Dark Chocolate] [Black].**
 - c. Profile: Contour.
 - 1) Width: **[23/32 inch (18.25 mm)].**
 - (a) Finish: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Hartford Green] [Mesa Red] [Dark Chocolate] [Black] [White Ext./Desert Sand Int.] [Desert Sand Ext./White Int.] [White Ext./Chestnut Bronze Int.] [Chestnut Bronze Ext./White Int.] [White Ext./Black Int.] [Black Ext./White Int.] [White Ext./French Vanilla Int.] [French Vanilla Ext./White Int.] [White Ext./Hartford Green Int.] [Hartford Green Ext./White Int.] [Mesa Red Ext./Black Int.] [Mesa Red Ext./White Int.] [White Ext./Dark Chocolate Int.] [Dark Chocolate Ext./White Int.].**
 - 2) Width: **[1 inch (25.4 mm)].**
 - (a) Finish: **[As selected by Architect] [Brilliant White] [Desert Sand] [Chestnut Bronze] [French Vanilla] [Hartford Green] [Mesa Red] [Dark Chocolate] [Black] [White Ext./Desert Sand Int.] [Desert Sand Ext./White Int.].**
 - d. Pattern: As scheduled and indicated on Drawings.

PART 3 EXECUTION

3.1 EXAMINATION AND PREPARATION

- A. Inspect and prepare openings and substrates using the methods recommended by the manufacturer for achieving best result for the substrates under project conditions.
 - 1. Inspect assembly components prior to installation.
 - 2. Verify rough opening conditions are within recommended tolerances.
 - 3. Form a sill pan in accordance with manufacturer's recommendations.
 - 4. Prepare assembly components for installation in accordance with manufacturer's recommendations.

- B. Do not proceed with installation until openings and substrates have been prepared using the methods recommended by the manufacturer and deviations from manufacturer's recommended tolerances are corrected. Commencement of installation constitutes acceptance of conditions.
- C. If preparation is the responsibility of another installer, notify Architect in writing of deviations from manufacturer's recommended installation tolerances and conditions.

3.2 INSTALLATION

- A. Install assemblies in accordance with manufacturer's installation guidelines and recommendations including the following.
- B. Installation of Windows With Nailing Fins: Insert windows into rough opening.
 - 1. Shim side jambs straight.
 - 2. Inspect window for square, level and plumb.
 - 3. Fasten window through nailing fins around entire window.
 - 4. Test and adjust for smooth operation of window.
 - 5. Set all nails below wood surface.

3.3 FIELD QUALITY CONTROL

- A. Manufacturers' Field Services: Perform field inspections as recommended by manufacturer.

3.4 CLEANING AND PROTECTION

- A. Clean the exterior surface and glass with mild soap and water.
- B. Protect installed windows from damage.
- C. Remove and dispose of protective film from glass; touch-up, repair or replace damaged components and assemblies before Substantial Completion.

END OF SECTION



JM Research and Consulting

Jennifer Mermilliod, M.A.

4076 Brockton Avenue, Ste. 201, Riverside, CA 92501

Phone 951-233-6897 | Email jennifer@jmrc.biz

MEMORANDUM REPORT

DATE: February 18, 2024

TO: Michael & Jerrica Knight
167 N. Little Main Street
Orange, CA 92868

FROM: Jennifer Mermilliod, M.A.
Principal Architectural Historian/Historian

SUBJECT: Cultural Resources Survey for the Proposed 633 E. Maple Avenue Project,
City of Orange, Orange County, California

Dear Mr. and Mrs. Knight,

JM Research & Consulting (JMRC) completed a Cultural Resources (CR) Survey for the proposed 633 E. Maple Avenue Project located at the northwest corner of E. Maple Avenue and N. Harwood Street (APN 386-082-13) in the City of Orange, Orange County, California. The project proposes to remodel the previously altered kitchen and rear utility space of the residence, modify the existing detached garage, and construct a garage/workshop plus related site improvements, including hardscape, landscape, and relocation of the driveway.

This focused, intensive-level study, which assesses the existing garage as a potential related feature to the historic residential property and analyzes potential impacts of the proposed project as it relates to the existing garage, was requested by the City of Orange as part of the environmental review process in compliance with the California Environmental Quality Act (CEQA; PRC §21000, et seq.). The findings serve to update the City's historic survey records and may be used to prepare related environmental or planning case documents.

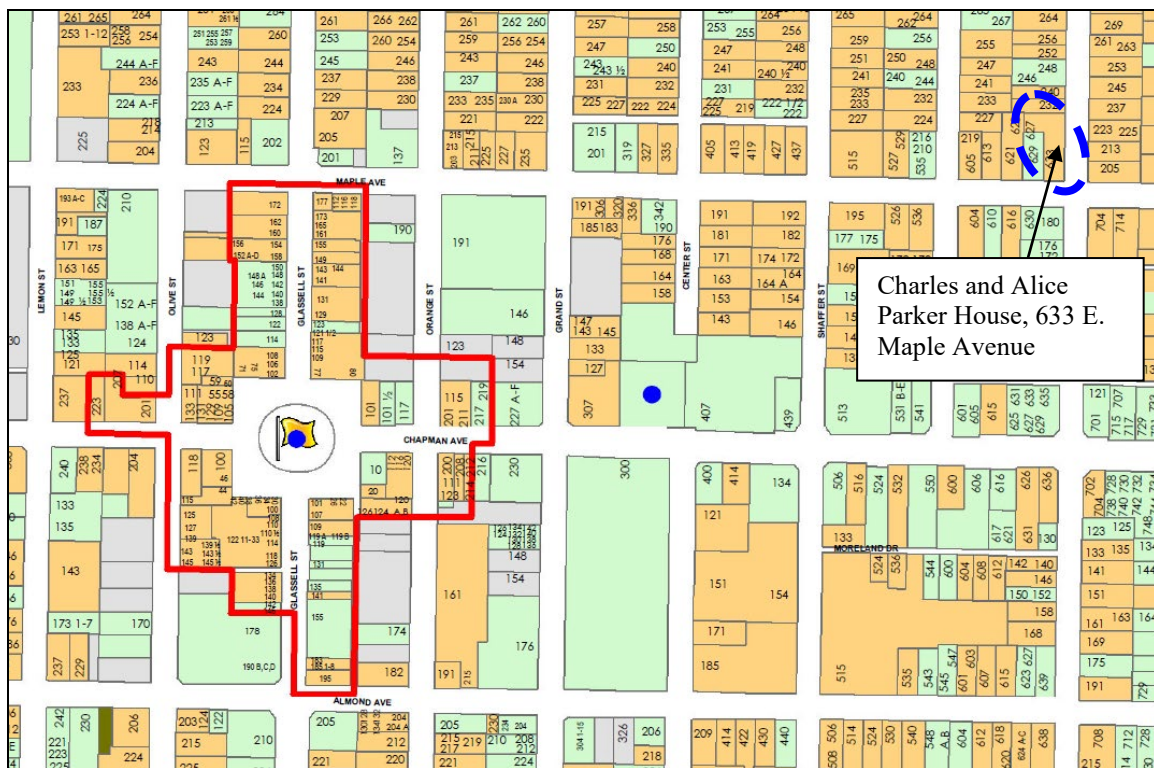
Jennifer Mermilliod, M.A., Principal Historian/Architectural Historian, JMRC, who exceeds the Secretary of the Interior's Professional Qualifications Standards (see resume, attached), acted as Principal Historic Consultant, initiating the intensive-level study in June 2023 and completing it from December 2023 to February 2024. The study included field survey and historic and building specific research in accordance with Historic Preservation standard practices and CEQA Guidelines. Field survey of the subject property included digital photography of the property and

documentation of architectural features, construction materials and methods, and alterations, and a windshield survey of the area to understand the spatial relationship of the garage to the property, and the property to the neighborhood. Research and review of source material included previous cultural resources studies, survey and designation records, building permits, and planning case records on file with the City of Orange; Assessor's, property, and miscellaneous records housed at the Orange County Archives; and city directories, historic aerial photographs, Sanborn Maps, and historic newspapers available from digital databases or in the JMRC professional collection.

CHARLES AND ALICE PARKER HOUSE

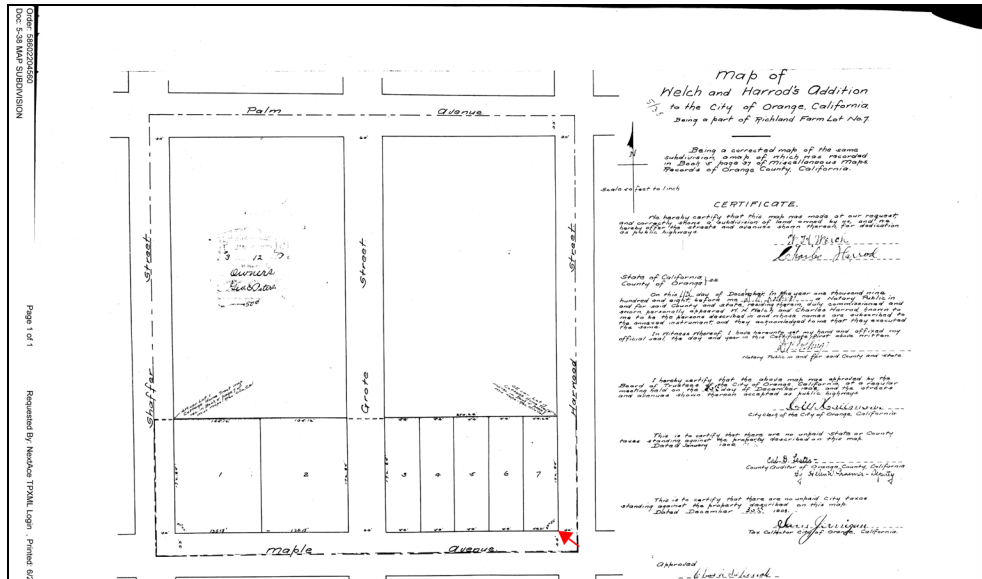
The subject garage is an ancillary building to the rear of the Charles and Alice Parker House (1909), a Contributor to the locally designated (1991) and National Register-listed (1996) Old Towne Orange Historic District, which is associated with a number of prominent pioneers and early families and reflects the earliest settlement and development of the city in an excellent array of prevailing architectural styles, ca. 1870-1920.

The original mile-square townsite, which was surrounded by 10-acre farm lots, was carved soon after 1869 from 1,385 acres of the Rancho Santiago de Santa Ana by Alfred Chapman and Andrew Glassell.



A Portion of Old Towne Orange

The property at the northwest corner of E. Maple Avenue and N. Harwood Street was first part of the Richland Farm Lots of the A.B. Chapman Tract, which was carved in 1887 just prior to incorporation in 1888, and further subdivided late in 1908 as part of Lot 7 of Welch and Harrod's Addition to the City of Orange (MB 5/37-38), just a handful of blocks northeast of the town center at the Plaza.



Welch & Herrod's Addition (1908)

The Charles and Alice Parker House was constructed just a year later, likely being one of the first completed in the small tract. Designed in the Craftsman architectural style, the residence exhibits well-crafted character-defining features, including a dominant, moderate- to high-pitched, side-gabled roof with front and rear shed-roofed dormers, wide gable eaves with exposed, tapered rafters and wide gable ends supported by knee braces; wide clapboard siding; wood-framed, mostly double-hung windows with original wood screens; a deeply recessed, full-width porch and original front door; and matching river rock stone in the foundation walls, porch walls and columns with integrated side porte cochere, and interior chimney.



The Charles and Alice Parker House (1909)

Although named and known for Charles and Alice Parker, the residence was constructed and occupied by the previous, and first, lot owners Fred and Edna Gray. Dr. Fred A. Gray, a local dentist, maintained his practice downtown with an office in the Carpenter Block at least by 1909 and in the National Bank Building by 1913. A secondary, front-facing entry accessing a small, gabled mass on the east side elevation may have served as a secondary home office, although newspaper accounts advertising such home office, as seen for some other local medical professionals, were not found in the historic record. Residing on E. Maple Avenue for six of his 14 years in the city, Dr. Gray retired to his 28-acre alfalfa ranch in San Jacinto in July 1915, selling both his practice and his home to Dr. Charles S. Parker.

Already well established in his profession for 20 years in Nebraska, Dr. Parker and his wife, Alice, had sought out a California location, visiting for some time with relatives in the city before purchasing the E. Maple Avenue home. Dr. Parker was a charter member of the Orange Rotary Club and a one-time Rotary president, and Mrs. Parker entertained and held meetings in the home, including the bridge whist club and the Philanthropic Educational Organization (P.E.O.). The Parker family only lived in the home through 1919 but continued to reside in Orange, and Dr. Parker practiced dentistry until at least 1942. He and his wife, who died in 1960, are buried nearby at Fairhaven Memorial Park in Santa Ana.

Over the next decades, the residence saw a succession of short-term occupants, mostly tenants, and many sublet rooms from the 1920s to 1940s. From late-1944 to 2022, the residence finally experienced the stability of long-term owner occupancy with the Allen family. A truck driver for Inland Transportation Corporation, Carl L. Allen, his wife, Frances, and children Carla Jean and LeRoy, who eventually took over ownership, held many family, social, and holiday events there.



Charles and Alice Parker House Rear Modifications

The Allens modified the kitchen and bath nearly immediately with a permitted 1945 remodel, which enlarged a small original rear mass and added a small, shed roof bay window; some original windows were reused in the new elevations. This rear modification is identifiable in part by discrepancies in roof type, siding dimensions, interior and exterior corner treatment, window

type and trim, eave pitch and rafters, and subfloor vents, introducing differences in features, materials, and construction methods that were not present in the original design. In the mid-1950s, acquisition of the north 48 feet of the adjacent property formed the current L-shape, but plans for further development, and relocation of the garage farther to the rear of the enlarged property, were never realized due to code restrictions.

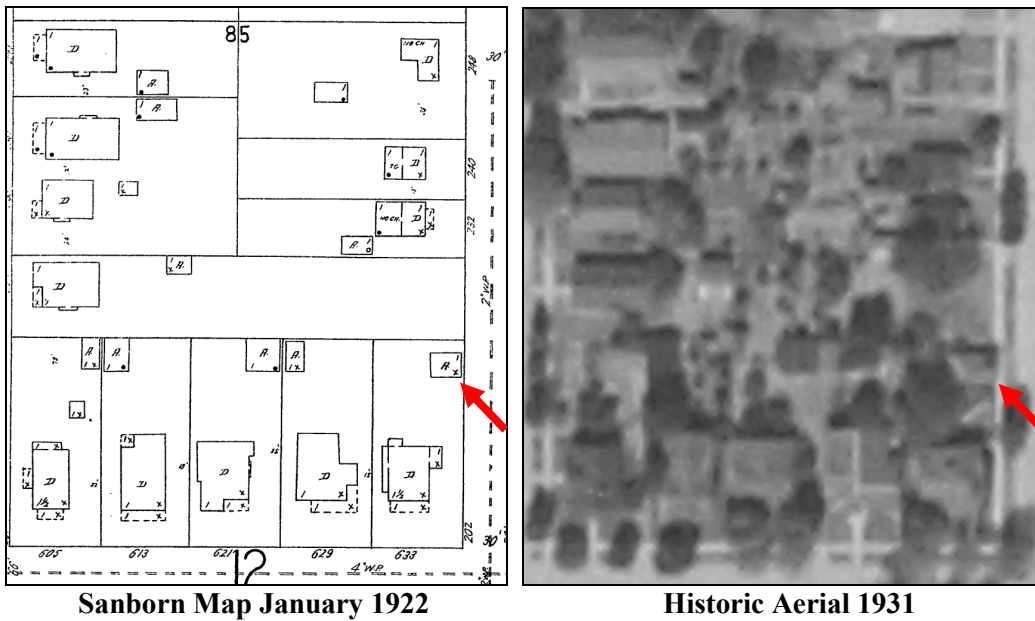
GARAGE STRUCTURE

A small two-car detached garage faces E. Maple Avenue from the rear of the property and is accessed from a narrow driveway on N. Harwood Street between the residence and garage. Somewhat a version of the residence, the structure features a low-pitched, front-gabled roof with narrow eaves, exposed, tapered rafters, and wide clapboard siding with corner trim. One vinyl-framed, double hung window and three-paneled wood man door are roughly centered on the east and west elevations, respectively. A wood tilt-up vehicular door made of dropped board siding fills the front, south elevation.



Charles and Alice Parker House Property, Rear Garage

The earliest Sanborn Fire Insurance Map in January 1922 shows that most properties on the block include a rear structure for an automobile, which had become widely available by 1910 following the manufacture of the first Ford Model T in 1908. The 1922 Sanborn map is supported by a 1931 historic aerial photograph, both of which show a garage in approximately the same location and similarly distanced to others on the block.



Sanborn Map January 1922

Historic Aerial 1931

However, the alignment of its longer, side elevations as well as the placement of map symbols, “1” (one-story) and “x” (wood roof), which are consistently drawn by Sanborn surveyors on interior façade corners, indicate that in 1922, the garage was oriented east-west to face N. Harwood Street at roughly zero setback. As N. Harwood Street, and most of the roads in Old Towne, was topped with gravel and oil at this time, access was likely from a dirt drive or opening, which can still be identified in the section of infill curbing bracketed by vertical cuts.



Section of Curb Infill at Previous Driveway

A comparison of historic aerial photographs reveals that the change in the garage structure occurred between 1938 and 1947. Alignment of the longer, side elevations are reoriented north-south, and a new driveway approach is visible where a mature tree once grew between the house

and garage, both indicating the vehicular door faced E. Maple Avenue as it does now. A setback from N. Harwood Street is now clearly visible between the garage and public sidewalk and appears to be partially covered with concrete. Further, a comparison of the garage and alignment of surrounding lots, houses, streets, and hardscape with the current aerial view (Google Maps) confirms the garage has remained in the same, but shifted, location.



Historic & Current Aerials 1938, 1947, 2024

Unfortunately, the exterior changes to the rear of the dwelling and the garage from this remodel are not captured on the updated 1950 Sanborn Map perhaps due to poor visibility of the relatively small, low structures from the public right-of-way. However, the physical change documented in 1938-1947 by historic aerials correlates with the 1945 permit to remodel both the house and garage, indicating the garage structure was not fully reconstructed and confirming the year of the modifications within that range.

BUILDING PERMIT
CITY OF ORANGE, CALIFORNIA
BUILDING DEPARTMENT

No. 5229

DUPLICATE: _____

Permission is hereby granted to Good Alka No. 5-1 1945

Address 622 E. Maple

To Expand Res. to Gar

Lot 7 Block _____ Tract North to Harwood St

Street Address 622 E. Maple

Cost of building or improvements \$ 12200

Contractor Whitcomb Address _____

This permit is based upon certain plans and specifications for said work, and upon a written application duly filed in this office, all of which are hereby referred to and made a part hereof; and is subject to all the rules and regulations set forth in the ordinances of the City of Orange in regard to such work, and all amendments thereto.

Group _____
Division _____
Type _____
Alter _____
New Const. _____
Miscell. _____

[Signature] Building Inspector.

Leeta Printing

Building Permit - Remodel Residence and Garage (1945)

The existing driveway on N. Harwood Street also supports the 1945 garage remodel. Clear curb cuts indicate it was added after the curb was originally constructed (1914) and features a stamp that reads: “HAGER BROS,” identifying the cement contractor.



Existing Driveway, 1939-1947

Royal L. Hager, City of Orange resident, operated as an individual cement contractor in 1931, and by 1937, his brother Irwin L. was also residing in Orange. In that year and in 1938, both are separately listed in city directories as individual cement contractors, with no associated business name. The first listing for Hager Brothers as a business entity is found in a 1939 listing under “Contractors – Cement” and is repeated in 1940 and 1941.

Contractors—Cement

Boyd & Ogden 2048 Orange, Costa Mesa
COLBORN M R, 110 N Yale, Phone 805-R, Fullerton
 Cruze Frank Orangethorpe W of Western P O Box
 341, Buena Park
 Dittberner Alfd A 901 Burnham, Buena Park
 Duncan Wm 512 E Walnut, Santa Ana
 Gajeski A G 708 La Estrella, San Clemente
 Graski Felix R D 2 Box 353, Anaheim
 Hager Bros 708 E Almond, Orange
 Kent D C 710 S Flower, Santa Ana
 Kumpe K B 1215 N Bristol, Santa Ana
 Markel Bros 611 McFadden, Santa Ana
 Martin W K 824 Cypress, Santa Ana
 Miller R L P O Box 382, Laguna Beach
 Moldenhauer W C P O Box 75, Stanton
 Riley Howard P O Box 12, Stanton
 Romack I W 933 Crosby, Garden Grove
 Strandt H F 1025 E Bway, Anaheim
 Tolliver B C 107 Hickory, Santa Ana
WHITE H G, 822 S Main, Santa Ana

City Directory 1939

Best Wishes to Mrs. Prentiss on the Opening
 of the North Star Lodge

CONCRETE WORK

by

HAGER BROS.

708 East Almond Orange 407-J
 536 1/2 North Clark Orange 0095-W

Orange Daily News June 3, 1950

The Hager brothers employed several local workers and persisted in business together at least until 1950, but there is no listing of the business, or Irwin Hager, in the next city directory (1956) when Royal is listed only as a cement worker. Thus, operating at least from 1939 to 1950, the period when the HAGER BROS contractor’s stamp would have been in use to mark their cement driveway installation on N. Harwood Street aligns with other sources in the historic record to support reorienting the vehicular door as part of modifications to the garage in 1945.

To achieve such a change without fully reconstructing the garage would have required extensive modification that may have included turning or partial demolition and reconstruction. Several critical commonalities in features, materials, and construction methods also support this, reflecting contemporaneous work both with the original house and the rear additions:

Feature/Material Construction Method	Original House	House Rear Additions	Garage
Roof Type	Gabled	Shed	Gabled
Eave Pitch	Moderate	Extra Low	Low
Eave/End Overhang	Wide	Wide & Narrow	Narrow
Eave Boards	Thin	Wide	Wide
Eave Rafters	Tapered	Straight	Tapered
Siding Exposure ¹	4 ¾-5 ⅛-inches	5-inches	5-inches
Siding Depth	½-inch	¼-inch	¼-inch
Siding Corners ²	Interior – Strip Exterior - Mitered	Interior – None Exterior – Board Trim	Interior - N/A Exterior – Board Trim
Windows - Most	Wood D/H	Wood D/H & A/F Sliding	Wood to Vinyl D/H (replaced)
Windowsills, Trim ³	Yes, Pedimented	Varies	No, Flat Board
Foundation ⁴	River Rock	Board-formed Concrete	Concrete Slab
Subfloor Vents	Screened Window	Wood Lattice Chicken Wire	N/A

¹ Historic variation typical to achieve consistent overlap and full piece at top of windows and walls.

² Corner boards on rear house additions and garage are inappropriately installed.

³ Original windows & screens relocated on rear house additions.

⁴ River rock on front & side elevations; plaster finish in rear. Bay window addition elevated.



Charles and Alice Parker Garage Interior, Rear Elevation

Forensic architectural examination of the garage further reveals evidence that the structure was indeed reoriented and widened in the 1945 remodel, increasing the width approximately 4 feet and creating the current, approximately 18x20-foot, setback footprint. As true 2x4-inch stud size existed until 1964, stud spacing at 16-inches on center was and remains standard practice, original and scrap materials were salvaged and reused, and then-new materials have aged nearly 80 years, it is difficult to easily discern construction history.



Charles and Alice Parker Garage Interior, Side Elevations

Still, existing conditions provide clues that the structure was deconstructed, and the framed walls moved and reassembled to create a larger footprint perpendicular to its original position, essentially “turning” and enlarging the original garage:

Foundation: Uniform concrete evidences a new slab foundation was poured to accommodate the enlarged garage footprint. Aged and broken thin concrete slab remnants are extant in a portion of the current setback and former position of the garage, which may represent the original foundation. An uncommon 4x4-inch sill plate appears to have replaced the original bottom plate at or after remodel, which may indicate a response to water, rot, or termite damage.

Side elevations: No structural change to the side walls was necessary to turn and reset wider on the new slab. Overlong 4-foot headers over the period-appropriate, three-panel wood pedestrian door on one side wall and a wood-framed, double-hung window (replaced with vinyl in 2021) on the other indicate these were added at or after the remodel, likely utilizing salvaged lumber.

Front elevation: The added width to the former front elevation was filled with a wider vehicular door. The additional framing above to expand the façade width was not able to be

viewed or confirmed as part of the study. However, the extant tilt up door, which was in common use by the 1940s, appears original to the 1945 remodel.

Rear Elevation: The original rear wall, which consists of two five-stud-bay sections, would have required additional framing to accommodate the new width. This is visible on the interior where an approximately 4-foot, three-stud-bay section appears has been added. The new section does not include the diagonal shear bracing present in all other wall sections.

Wall Cladding: Original wall cladding, which is unknown, was replaced at or after the remodel with clapboard and improperly installed corner boards that match the cladding and corner boards on the rear house additions.

Roof: The new width of the garage would have been accommodated by either a new roof or modification of the original roof. The extant exposed tapered rafters match the original residence rather than those those of the rear additions, suggesting that at least the rafters were reused. If the new width matched the original depth, this would have allowed the fully assembled trusses to be reused, maintaining the original pitch and rafters and indicating the garage in its original orientation was side gabled, like the residence, rather than front gabled. Roof covering and roof boards, which match the rear additions, have been replaced over time.

FINDINGS

Previous surveys in 1982, 1991, 2005 and last updated by Chattel in 2010 did not identify, document, specifically include/exclude, or otherwise reference the extant garage. The current, intensive-level investigation identifies the existing garage as an early feature of the property, constructed ca. 1910-1921 and reoriented and enlarged in 1945. As the period of significance for the Old Towne Orange Historic District extends from 1870 to 1920, it is nearly certain that the garage was constructed in the last years of the period of significance and clear that it was extensively remodeled well after. As related features, the design of detached garages of the period ranged from simplified versions to full-style miniatures of the principal residence, constructed using matching features, materials and common means and methods.

While the details of the original design of the garage are not fully understood, it is clear that the remodel extensively altered it. Despite the turning of the garage and relocation of driveway, integrity of location and setting are the strongest remaining aspects as the garage is in its approximate original position. This and the continued historic use of the structure for vehicular storage and the use of mostly period-appropriate material assists in protecting some integrity of feeling and association. However, integrity of materials and craftsmanship is severely compromised by the loss of original vehicular door(s) and cladding, improper reuse of salvage/scrap material, and inappropriate construction methods. This suggests that integrity of design has also suffered, and likely more than already understood by the reorientation of the structure/roof, vehicular entry, and loss of original known and unknown features and details.

Therefore, the existing, altered garage structure does not appear to warrant identification and inclusion as a related feature of the Charles and Alice Parker Residence at either the district's local or National Register level of designation.

PROJECT ANALYSIS

As it relates to the existing detached garage only for this focused study, the project proposes to repair, restore, and modify it in its current location to allow for continued vehicular and private family use. Specifically, the project calls for the replacement of the existing vehicular door on the façade and the man door on the west elevation, addition of vehicular access on the rear elevation, replacement of the vinyl-framed double-hung window on the east elevation, repair of wood siding and eave rafters, as needed, and addition of lighting fixtures.

Project Design Review

Though limited in scope, the proposed project provides an opportunity to improve the aesthetic compatibility of the garage with the contributing property and the historic district and should be guided by the principles of the Secretary of the Interior's Standards for Rehabilitation. As demonstrated, given modifications of the garage over time, character-defining features will not be destroyed by the proposed project. The vehicular use of the structure, general original location of the garage on the lot, approximate size and massing are all retained by the project, preserving important spatial relationships that characterize this property and the district as well as support the strongest remaining aspects of integrity, location and setting followed by feeling and association.

The new, double swinging vehicular doors are more in keeping with the period than the wood tilt up replacement door added in 1945. The added rear vehicular entry and driveway approach still allows the structure to retain its historic use, remain in place, and be accessed from N. Harwood Street. Proposed dimensions for the doors also corrects the compromised scale and proportion introduced with the 1945 remodel, and design is proposed to be period appropriate with inset panels or lites. A smaller set of double doors would replace the period man door on the west elevation, enlarging the opening; however, construction methods suggest this opening was added in 1945. Enlargement of the opening and replacement with period salvage or new period appropriate doors is acceptable. Similarly, the extant window opening appears to have been added. Replacement of the recent vinyl double-hung window with an approximately same sized, period salvage or a new wood-framed double-hung window in the same opening is appropriate. Door and window hardware as well as new lighting fixtures are also proposed to be period appropriate, and door and window trim is depicted with a slight pediment effect, which will discretely reference the original house.

CEQA Analysis

CEQA establishes that "a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment" (PRC §21084.1), and the California Public Resources Code further defines substantial adverse change as "physical demolition, destruction, relocation, or alteration such that the significance of a historical resource would be impaired" (PRC §5020.1(q)). CEQA Guidelines further provide in relevant part, "The significance of an historical resource is materially impaired when a project demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources...or a local register of historical resources..." (14 CCR §15064.5(b)(2)(A)(B)).

The historical resource under CEQA is the designated local and National Register Old Towne Orange Historic District, not the individual contributing property, the Charles and Alice Parker House. The already extensively altered garage (ca. 1910-1921/1945) has not been found to be a related feature of the Charles and Alice Parker House. As such, its presence or absence has no bearing on the contributing status of the property, and it does not materially contribute to the historic district. Additional modification of the extant garage cannot further reduce the status of the garage, and restoration to elevate the status of the garage is not possible as too much has been removed and altered and too little is known about the original design, features, and materials to ensure accuracy. Further modification as proposed does not introduce a degree of change that could affect the status of the contributing property, but even the loss of one contributor would be unlikely to substantively affect the entire district. As a small and simple rear ancillary structure, further modification cannot be expected to materially alter the very large historic district to the extent that its eligibility and designation status would be in jeopardy. Thus, modification of the existing garage has no potential to impact the Old Towne Orange Historic District, a historic resource under CEQA.

RECOMMENDATIONS

As significant impacts under CEQA have not been identified, no mitigation measures are recommended. The project as proposed appears to improve compatibility of the already modified garage with the historic residence, elevating the period aesthetic of the Charles and Alice Parker House property within the Old Towne Orange Historic District.

Please contact me at your convenience should you need any clarification or further assistance.

Regards,

A handwritten signature in blue ink, appearing to read 'Jmme', is positioned above the typed name.

Jennifer Mermilliod
Principal Architectural Historian & Historian
Principal Preservation Planner

Attachment A

DPR Forms

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI# _____

Trinomial _____

Page 1 of 3 *Resource Name or # (Assigned by recorder)

Old Towne Orange HD - Charles and Alice Parker House

* Recorded by Jennifer Mermilliod, JMRC

*Date January 25, 2024

Continuation

Update

P3a. Description:

Designed in the Craftsman architectural style, the residence exhibits well-crafted character-defining features, including a dominant, moderate- to high-pitched, side-gabled roof with front and rear shed-roofed dormers, wide gable eaves with exposed, tapered rafters and wide gable ends supported by knee braces; wide clapboard siding; wood-framed, mostly double-hung windows with original wood screens; a deeply recessed, full-width porch and original front door; and matching river rock stone in the foundation walls, porch walls and columns with integrated side porte cochere, and interior chimney. A permitted 1945 remodel enlarged a small original rear mass and added a small, shed roof bay window. This rear modification is identifiable by discrepancies in roof type, siding dimensions, interior and exterior corner treatment, window type and trim, eave pitch and rafters, and subfloor vents, introducing differences in features, materials, and construction methods that were not present in the original design. A small two-car detached garage (ca. 1910-1921, modified 1945) faces E. Maple Avenue from the rear of the property and is accessed from a narrow driveway on N. Harwood Street between the residence and garage. Somewhat a version of the residence, the structure features a low-pitched, front-gabled roof that ends in narrow eaves with exposed, tapered rafters over wide clapboard siding with corner trim (1945). One vinyl-framed, double hung replacement window (2021) and a period, three-paneled wood man door (1945) are roughly centered on the east and west elevations, respectively. A wood tilt-up vehicular door (1945) made of dropped board siding fills the front, south elevation.

*P10. Survey Type: Intensive-Level

*P11. Report Citation: Mermilliod (JMRC) 2024. Cultural Resources Survey for the Proposed 633 E. Maple Avenue Project, City of Orange.

***B6. Construction History:**

ca. 1910-1921 Garage construction

1945 Residence - remodel kitchen and bath, enlarge rear mass, add rear bay window

1945 Garage - Turn and enlarge, reclad with 5-inch clapboard, add man door and window, reorient & replace vehicular door

*B8. Related Features: None.

***B12. References:**

City of Orange. Records on file with the City of Orange

Planning and Public Works Departments. Partly available online: <https://www.cityoforange.org/1610/Preservation-Online>.

1931-1967. Historic Aerials.

1945-2022 Building Permits.

1982. Historic Inventory Old Towne Orange.

1991, 2005, 2010. Historic Building Inventory Survey (AEGIS 1991) and Updates (Chattel 2005 & 2010).

2015. Cultural Resources & Historic Preservation Element of the General Plan.

Main Branch Library, Local History Collection: <https://www.cityoforange.org/424/Local-History>.

1911-1956. City Directories.

Orange Daily News. 1915. "Announcement." *Orange Daily News*, July 24.

Orange Daily News. 1915. "Dr. Chas S. Parker, Dentistry." (Adv.) July 30.

Orange Daily News. 1917. "Mrs. C.S. Parker Entertains P.E.O." March 17.

Orange Daily News. 1919. "Mrs. C.S. Parker Entertains Club." December 17.

Orange Daily News. 1945. "Is Your driveway." (Adv.) October 2.

Orange Daily News. 1950. "Concrete Work by Hager Bros." (Adv.) June 3.

The Orange News. 1905. "Resolution No. 28." April 5.

The Orange Post. 1914. "Report of Street Superintendent." May 21.

The Orange Post. 1950. "F.A. Gray, Dentist." (Adv.) June 3.

Semi-Weekly Post. 1915. "Nebraska Dentist to Practice Here." July 23.

Semi-Weekly Post. 1915. "Announcement." July 27.

Semi-Weekly Post. 1915. "New Dentist Located." August 6.

Semi-Weekly Post. 1915. "Personal Cards." (Adv.) August 31.

County of Orange. Records on file with the Orange County Archives.

1871. Map of the Town of Orange, M.B. 2/630 (Los Angeles M.B. 1/7).

1908. Welsh and Harrod's Addition, M.B. 5/37-38.

1902-2020. Record of Deeds.

1889-1906. Assessment Rolls.

JMRC (JM Research & Consulting). 2014. Cultural and Paleontological Resources Survey: Marywood High School. Orange, Orange County, CA. On file with the City of Orange Planning Department.

OTPA (Old Towne Preservation Association). 1997. National Register of Historic Places Nomination Application: Old Towne Historic District. On file with the National Park Service. Website: <https://npgallery.nps.gov/GetAsset/76bfb47c-efc8-4018-89de-c061a66bb745>.

*B14. Evaluator: Jennifer Mermilliod, JMRC

*Date of Evaluation: February 9, 2024

Page 2 of 3 *Resource Name or # (Assigned by recorder) Old Towne Orange HD - Charles and Alice Parker House

* Recorded by Jennifer Mermilliod, JMRC *Date January 25, 2024 Continuation Update

P5b. Additional Photographs:



Façade & east elevation, view north/northwest



Façade, east elevation, and garage, view northwest



Rear elevation, showing additions/modifications, view southwest



Rear elevation modifications detail, view west/southwest



Rear elevation modifications detail, view south/southwest



West elevation, showing addition/modificaton & detail, view S & SE

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI# _____
 Trinomial _____

Page 3 of 3 *Resource Name or # (Assigned by recorder) Old Towne Orange HD - Charles and Alice Parker House

* Recorded by Jennifer Mermilliod, JMRC *Date January 25, 2024 Continuation Update



Garage façade & east elevation, view northwest



Garage façade & west elevation, view northeast



Garage east elevation & house (context), view south/southwest



Garage rear elevation, view south/southwest



Garage interior rear elevation, view north



Garage interior west & east elevations, respectively, view NW & NE

Attachment B

Professional Resume



Jennifer Mermilliod, M.A.

JM Research & Consulting

4076 Brockton Avenue, Suite 201

Riverside, CA 92501

951-233-6897

jennifer@jmrc.biz

Statement of Qualifications & Expertise

Jennifer Mermilliod, M.A., Principal Historian/Architectural Historian exceeds the Secretary of the Interior's Professional Qualifications Standards for History and Architectural History.

Project Design, Entitlement & Consultation
Regulatory Compliance – Section 106 & CEQA
Survey, Evaluation & Context Development
Design Review, Case Planning, & Plan Check

Historic Preservation Planning, Policy & Programs
Cultural Resources Treatment & Management
National Register, California Register, & Local Registration
Presentation, Public Relations, & Outreach

Education

UC, Riverside, M.A., History, specialization in Historic Preservation, 2001

UC, Riverside, B.A., History, 2000

Professional Experience

Cultural Resources/Historic Consultant, JM Research & Consulting, since 2001

Reviewing Official under SHPO MOU, March Joint Powers Authority, since 2012

Contract City Architectural Historian on City Architect Team, City of San Gabriel, since 2021

Qualified Historic Preservation Reviewer for FEMA Seismic Grant Fund Projects, City of West Hollywood, since 2022

Historic Consultant and On-film Historian, HGTV & DIY Network, Restored Show, Seasons 1-7, since 2016

Contract Historic Preservation Senior Planner, City of Riverside, 2016-2020

Selected Projects

Preservation Planning, Policy & Programs

Rafferty Project Feasibility Study, Forensic Investigation, & Restoration Oversight, Toll Brothers, Santa Ana, 2020-2023

Covina Bowl Project Management, Covina, 2019-2023

City of Colton Cultural Resources Element & Historic Preservation Ordinance Updates, SWCA, 2022 (in progress)

Landmark Nomination, 4409 Houghton Avenue, Riverside, 2022 (in progress)

National Register Nomination: Trujillo Adobe, Spanish Town Heritage Foundation, 2022 (in progress)

Peer Review, Jenkins Building Evaluation, City of Riverside, 2022

Whittier City Hall East Wing Rehabilitation & Preservation Plan, City of Whittier 2022

Riverside Military Wall of Honor Redesign, City Hall Plaza, Riverside, 2021-2022

Determination of Eligibility, 550 E. Chapman Avenue, Orange, 2021

Mission Heritage Plaza Substantial Compliance Analysis, Wakeland Housing & Development, Riverside, 2020

National Register Nomination: Evergreen Cemetery, Riverside, 2020-2022

National Register Nomination: Bumann Ranch, Encinitas, 2020

San Jacinto General Plan Update, City of San Jacinto, 2019

Landmark Nomination: Bigelow's Bungalow, Riverside, 2018

Historic Interpretive Entry Design & Plaque: Marywood Retreat Center, Orange, 2017

San Jacinto Downtown Specific Plan, City of San Jacinto, 2017

National Register Nomination: Jefferson Elementary School, Corona, 2017

Citywide Streetlight LED Conversion Project, City of Riverside, 2017

City of Riverside North Park Pergola Collapse – Salvage & Documentation Program, City of Riverside, 2017

Landmark Plaque: The Patsy O'Toole House, Riverside, 2016

Landmark Plaque: The Nielson Pool House, Riverside, 2016

Landmark Nomination and Plaque: Camp Anza Officers Club, Riverside, 2016

History Room Design & Interpretive Display: Camp Anza Officers Club, Riverside, 2016

City of Redlands Certified Local Government Program Development, 2015

Chicago/Linden Strategic Plan, City of Riverside, 2013

National Register Nomination: Huntington Beach Public Library on Triangle Park, Huntington Beach, 2013

California Baptist University Specific Plan, Riverside, 2012

Landmark Nomination and Plaque: The Walter C. Banks Residence, Riverside, 2012

Historic District Nomination: Segment of State Route 18, Corona, 2012

Landmark Nomination and Plaque: The A.C.E. Hawthorne House and Tree, Riverside, 2012

National Register Nomination: Grand Boulevard, Corona, 2011
California Register Nomination: The Jackson Building, Riverside, 2009
Landmark Nomination and Plaque: The Jackson Building, Riverside, 2008
California Point of Historical Resources Nomination: Camarillo Ranch House, Camarillo, 2005
National Register Multiple Property Nomination: Architecture of the Arts and Crafts Movement, Pasadena, 2004
Structure of Merit Nomination: House at 3855-59 11th Street, Riverside, 2003
National Register Nomination: Camarillo Ranch House, Camarillo, 2003

CEQA Compliance

633 E. Maple Avenue Project, Orange, 2023 (in progress)
336-338 W. San Bernardino Road Project HRA, Covina, 2023
Ennabe Project at 4135 Market Street CEQA Analysis, Riverside, 2023
Markham Perris Project HRA Initial Scoping, EPD Solutions, Perris, 2022
Oakmont Industrial Project HRA, EPD Solutions, Fontana, 2022
12300 Lakeland Road Project HRA, EPD Solutions, Santa Fe Springs, 2022
Recreation Village Project, EPD Solutions, Covina, 2021
NWC Clinton Keith & Wildomar Trail Project HRA, EPD Solutions, Wildomar, 2021
Valley and Oak Project HRA, EPD Solutions, El Monte, 2021
Santa Ana and Calabash Avenues Project HRA, EPD Solutions, Fontana, 2021
Slover/Alder Avenue Development Project HRA, EPD Solutions, Bloomington, 2021
Magnolia Presbyterian Sanctuary Rebuild Project SOIS Analysis, Riverside, 2021
Wood & Lurin Project HRA, EPD Solutions Riverside, 2021
Great Scott Project HRA, EPD Solutions, Lake Forest, 2021
Vita Pakt, Trumark Homes, Covina, 2021
Covina Bowl, Trumark Homes, Covina, 2020
March Field Historic District WMWD Water Utility Line Replacement, March JPA, 2019-2022
La Atalaya, Altura Credit Union Member House, Riverside, 2019
Entrada, Wakeland Housing & Development, Riverside, 2019
Main Library, City of Riverside, 2018
Redlands YMCA Properties, Redlands, 2017
Marywood Retreat Center, Orange, 2013-2017
Mission Inn La Trattoria Pergola & Wine Tasting Room, Riverside, 2016
Rhunau, Rhunau, Clark Building, Riverside, 2016
Arlington Plaza, Riverside, 2016
Mission Lofts, Riverside, 2015
Lakeside Temescal Valley Project Lake Corona, Corona, 2015
Harris Farm Townhomes, Riverside, 2015
Dhammakaya Retreat, Azusa, 2013
Riverside Plaza Harris' Department Store, Riverside, 2012
Old Town Plaza, San Jacinto, 2011
Pfennighausen Ranch, Pedley, County of Riverside, 2010
March Field Historic District Garage Building #113, March Joint Powers Authority, 2009
Five Points Realignment, City of Riverside, 2008
Fox Block, City of Riverside, 2007

Section 106 & CEQA Compliance

Robinson House, City of Riverside, 2023
Prado Dam & Reservoir Improvement Project, Santa Ana River, 2017-2023
Home Front at Camp Anza - Camp Anza Officers Club, City of Riverside, 2013-2017
HRER, Colton Undergrade & C Street Crossing Seismic Retrofit Projects, City of Colton, Caltrans District 8, 2014
HPSR & FOE, University Avenue Streetscape Project, City of Riverside, Caltrans District 8, 2005
HPSR & FOE, Victoria Avenue Streetscape & Parkway Restoration Project, City of Riverside, Caltrans District 8, 2004
HPSR, Jurupa Avenue Underpass / Mountain Avenue Crossing Closure Project, City of Riverside, Caltrans District 8, 2001

Section 106 Compliance

FEMA Seismic Retrofit Grant Projects, West Hollywood, 2022
Entrada, Wakeland Housing & Development, Riverside, 2019
Mission Heritage Plaza & Civil Rights Museum, Wakeland Housing & Development, Riverside, 2017
HPSR, Inglewood Avenue Corridor Widening Project, City of Lawndale, Caltrans District 7, 2013
Van Buren Improvement Project, March Joint Powers Authority, County of Riverside, EDA, 2013
Wattstar Cinema and Education, Los Angeles, 2010
County of San Bernardino Lead Abatement Program, Highland, Redlands, & San Bernardino, 2003

Professional Activities

Publications

The Camp Anza Officers Club: Supporting Mobilization and Morale During World War II. Riverside Historical Society Journal, Issue Pending 2022.

The New Home Company Announces Marywood Hills, a Historic Collection of Luxury Residences with Unobstructed Views of the City of Orange. Press Release co-authored for immediate by The New Home Company. April 2018.

The Grandest Boulevard. Riverside County Historical Commission and the Riverside County Regional Park and Open-Space District, *The Riverside County Chronicles*, Issue No. 5. Fall 2011.

Riverside Project Wins Governor's Award for Historic Preservation: 'Home Front at Camp Anza' Brings New Life to Old Officers Club. Press Release authored for immediate release by City of Riverside. October 4, 2016.

Historic Resources Inventory Database Web site: Instructions for Online Navigation. Historic Resources Database Web site User's Manual prepared for the City of Riverside. September 2002.

Historic Resources Inventory: Instructions for Recording and Viewing. Historic Resources Database User's Manual prepared for the City of Riverside. September 2001.

Awards

California Preservation Foundation Award – Latino Context, City of Riverside. 2019.

Governor's Award for Historic Preservation – Homefront at Camp Anza. 2016.

California Preservation Foundation Best Restoration Award – Homefront at Camp Anza. 2017.

IE Economic Partnership Award for Best Real Estate Development and Reuse – Homefront at Camp Anza. 2016.

Golden Nugget Award - Best Renovated, Restored, Adaptive Re-Use Residential Project – Homefront at Camp Anza. 2016.

Golden Nugget Award -Best Affordable Housing Community Under 30du/acre – Homefront at Camp Anza. 2016.

Presentations, Speaking Engagements, and Instruction

Civil Rights Walk Eliza Tibbets Statue Film Presentation. City of Riverside Main Street Pedestrian Mall. 2021

City of Riverside Cultural Heritage Board Continuing Education Program. 2021

Session I. Cultural Heritage Board 101. May 19, 2021.

Session II. Secretary of the Interior Standards, June 16, 2021.

Session III. Certified Local Government Program, July 21, 2021.

Creating Space for Women: Julia Morgan, Architect, and the Riverside YWCA. Women In Tandem (WIT). COVID HOLD.

The History of the Automobile in Riverside, Riverside Historical Society Four-Part Lecture Series. 2018-2021.

Part 1. The Automobile Comes to Town: The Birth of the Automobile Industry in Riverside, 1902-1913. October 7, 2018.

Part 2. From Agriculture to Automobile: The Internalization of a New Economy, 1913-1928. June 2, 2019.

Part 3. The Automobile Unscathed: Navigating a Path through Depression and Wartime, 1929-1945. April 11, 2021.

Part 4. TBD 2022

Historic Preservation: The Field of Public History. Notre Dame High School Career Day. September 2018.

Historic Preservation: The Field of Public History. Riverside East Rotary Club. July 2018.

Historic Preservation: The Field of Public History. Riverside Uptown Kiwanis. December 2017.

Architecture: Form, Function, and Ornamentation. Architecture Series. Diocese of San Bernardino, OLPH. October 2011.

How to Research Your Historic Home. City of Riverside Public Workshop. October 2010.

Riverside's Hidden Histories: The Gems Among Us – Nava Tires. Mission Inn Foundation and Museum. June 17, 2010.

The Art of the Survey. Riverside County Historical Commission 5th Annual Symposium. October 26, 2007.

The Field of Public History. California State University, Fullerton. Dr. Wendy Elliott Scheinberg. November 14, 2006.

Arlington Heights, the Realization and Preservation of a California Dream. CPF Conference. May 14, 2005.

How to Research Your Historic Home. Riverside County Historical Commission History Workshop. April 16, 2004.

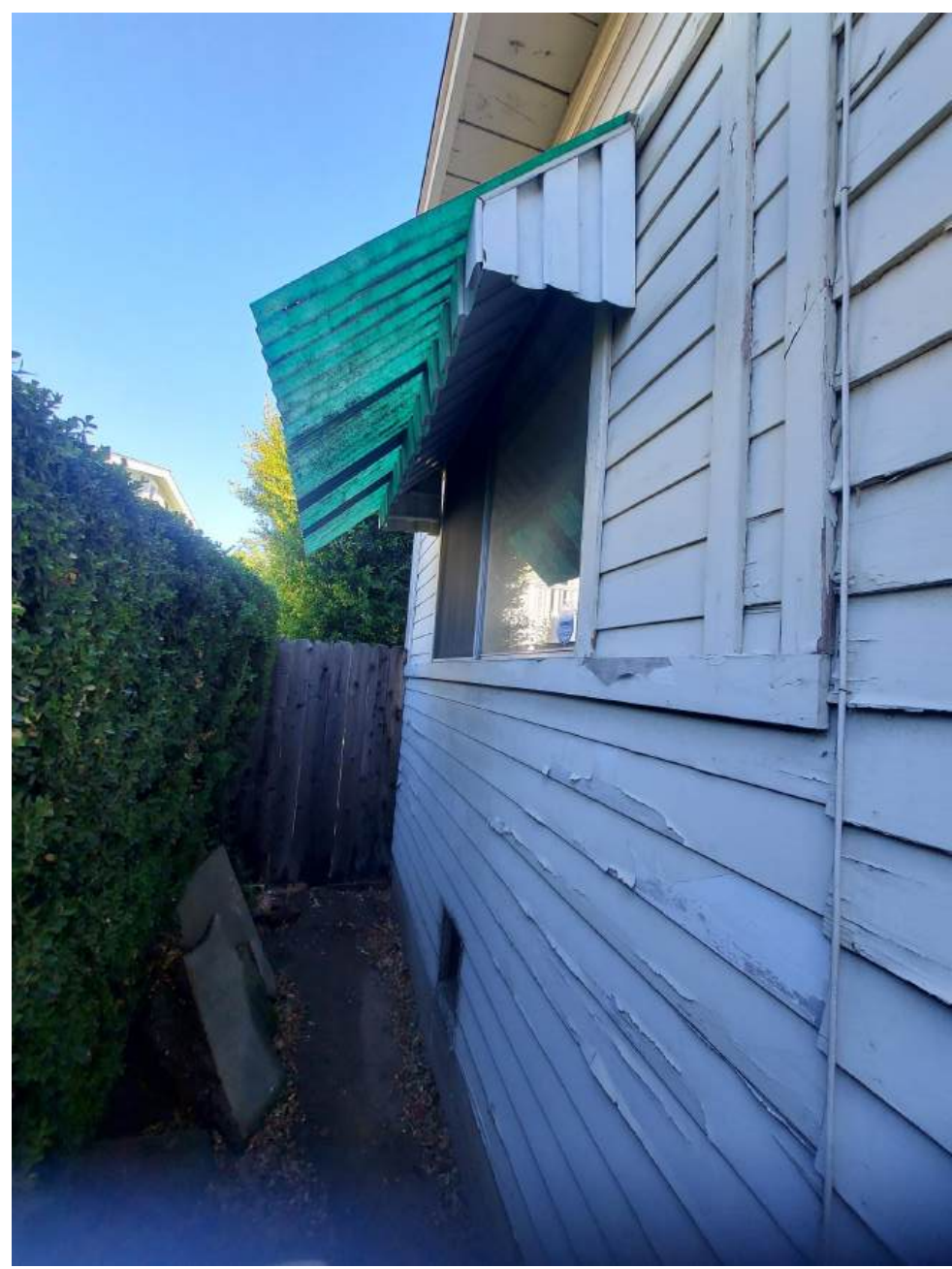
Affiliations & Service

National Trust for Historic Preservation, Individual Member #58551599.

California Preservation Foundation, General Member #21244.

Old Riverside Foundation, Lifetime Member; Board of Directors (2003-2005) – facilitated mission advancement through planning and direction of annual home tour, awards program, facilities maintenance, and historic preservation advocacy.

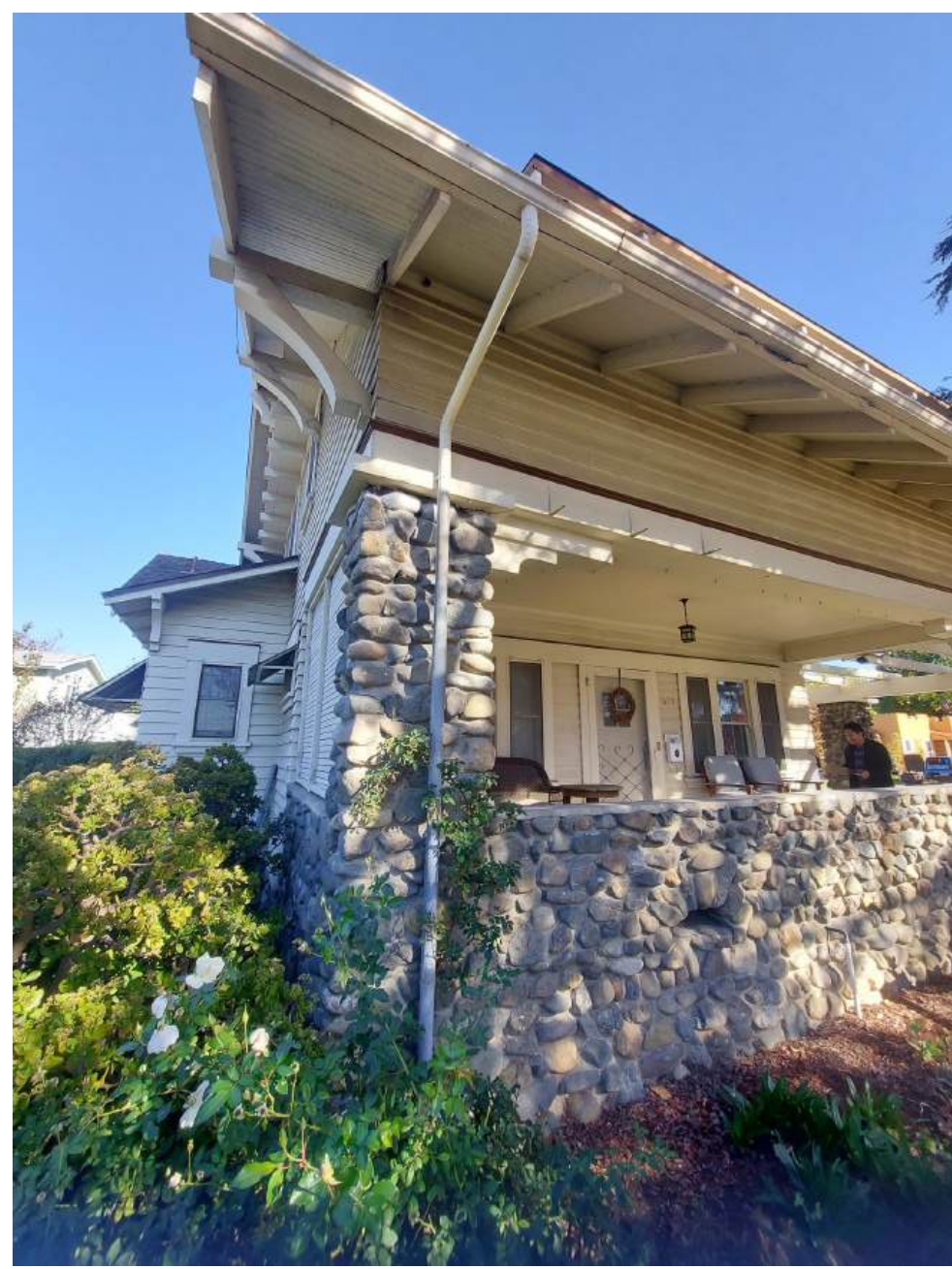
Riverside Historic Society, Lifetime Member



View of west facade looking at area of previous addition



View of west facade from side yard



Closeup view of southwest corner of main residence



View of southwest corner of main residence from street



Closeup view of south facade of main residence



View of trellis at southeast corner of residence being restored



View of east facade from street



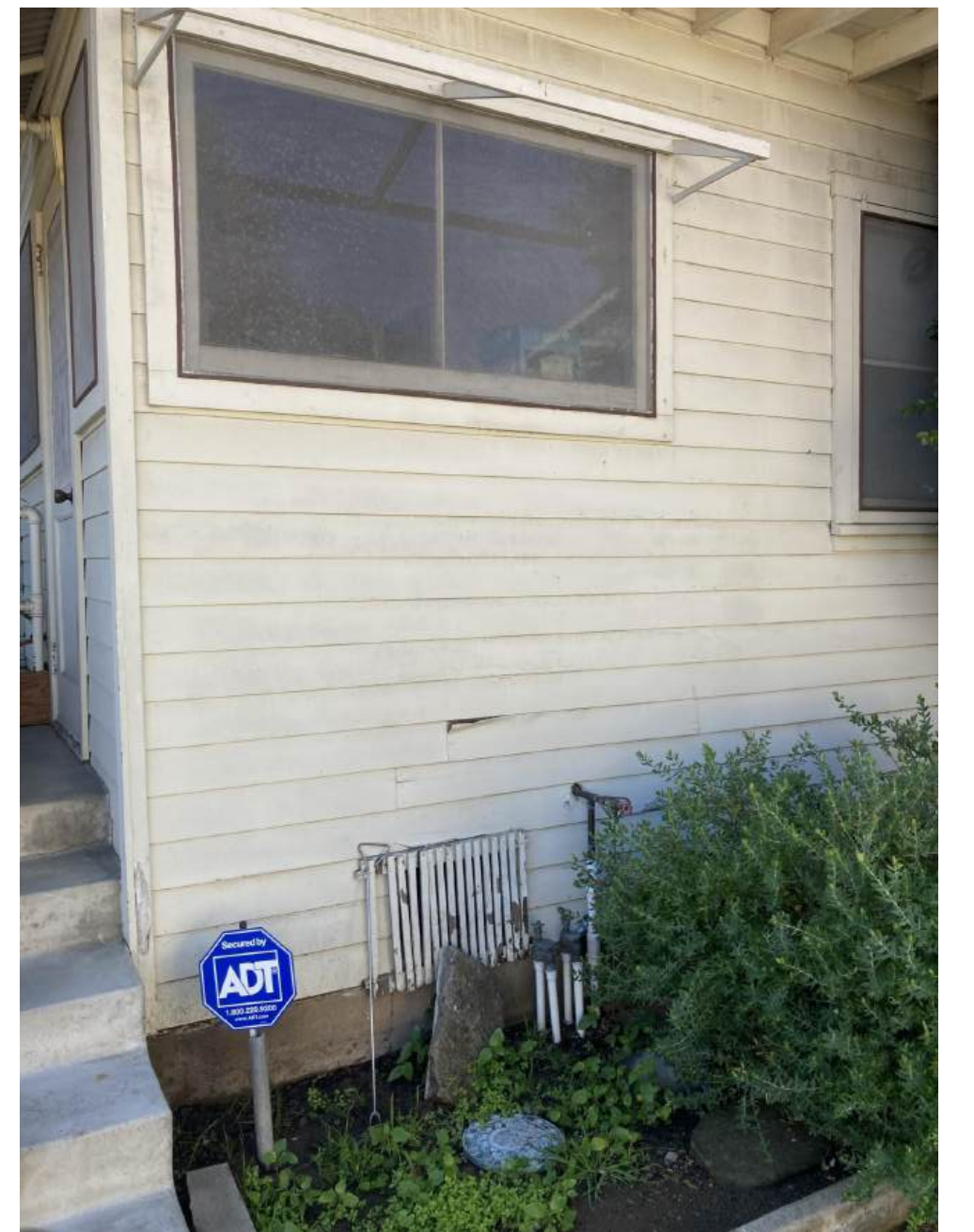
View of north facade from existing garage/backyard



Closeup view of east facade of previous addition



Closeup view of staircase being removed at addition



Closeup view of window being replaced at addition



View of west facade of existing garage



View of south facade of existing garage



View of north facade of existing garage



View of east facade of existing garage

Existing Conditions Photographs

Shearn Residence
Main Residence Remodel and New Detached Garage
633 E. Maple Ave., Orange, CA 92866

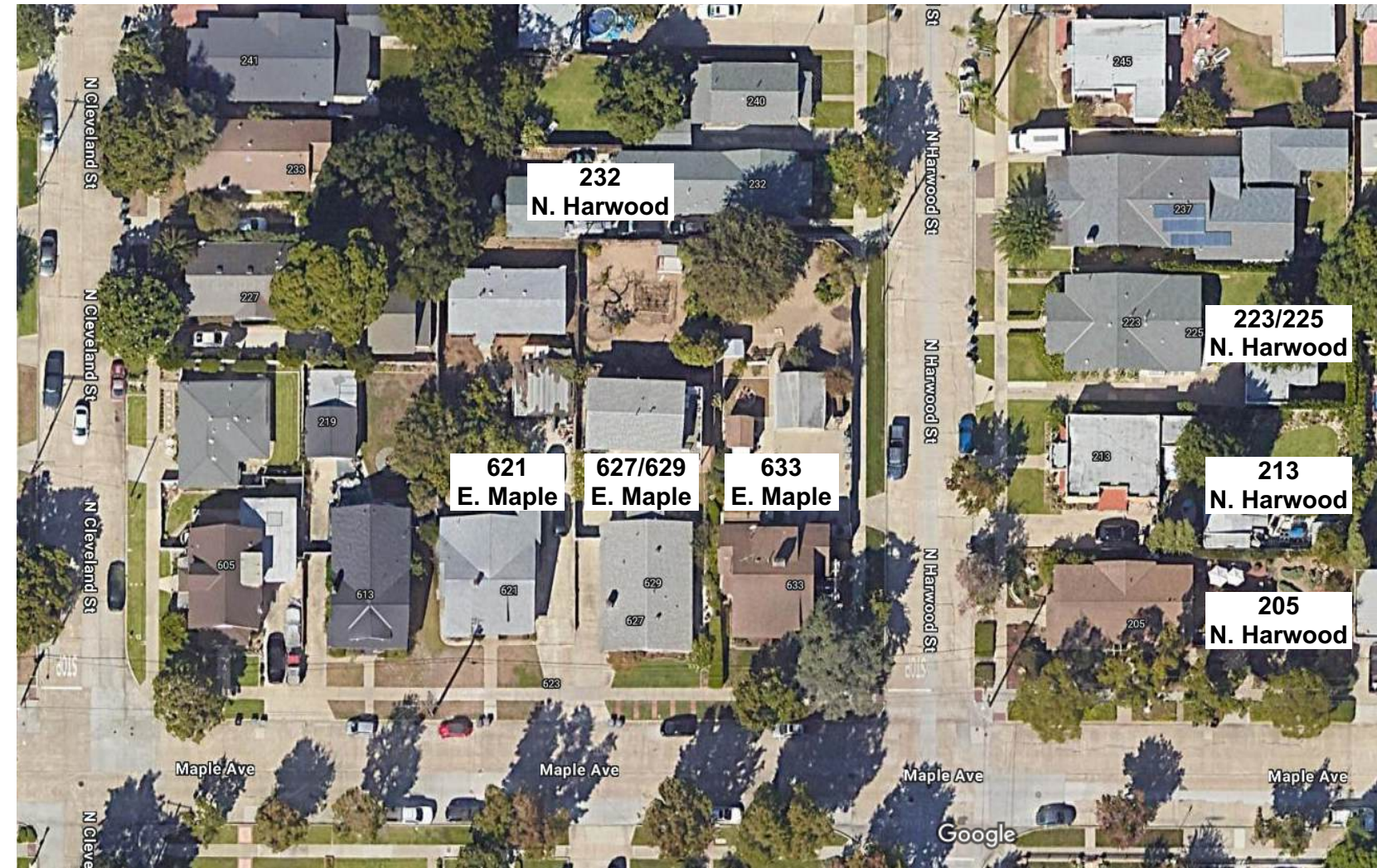
Photo on 10/21/2024 at 10:14 AM P:\826 Knight Residence Remodel and Expansion\3D BIM-CAD Files\826 Arch\CAD Models\3D Knight Residence Overall.rvt



143 S. Olive Street
Orange, CA 92866
(714) 639-3958
#Contact E-mail

A-13

Printed on 10/21/2024



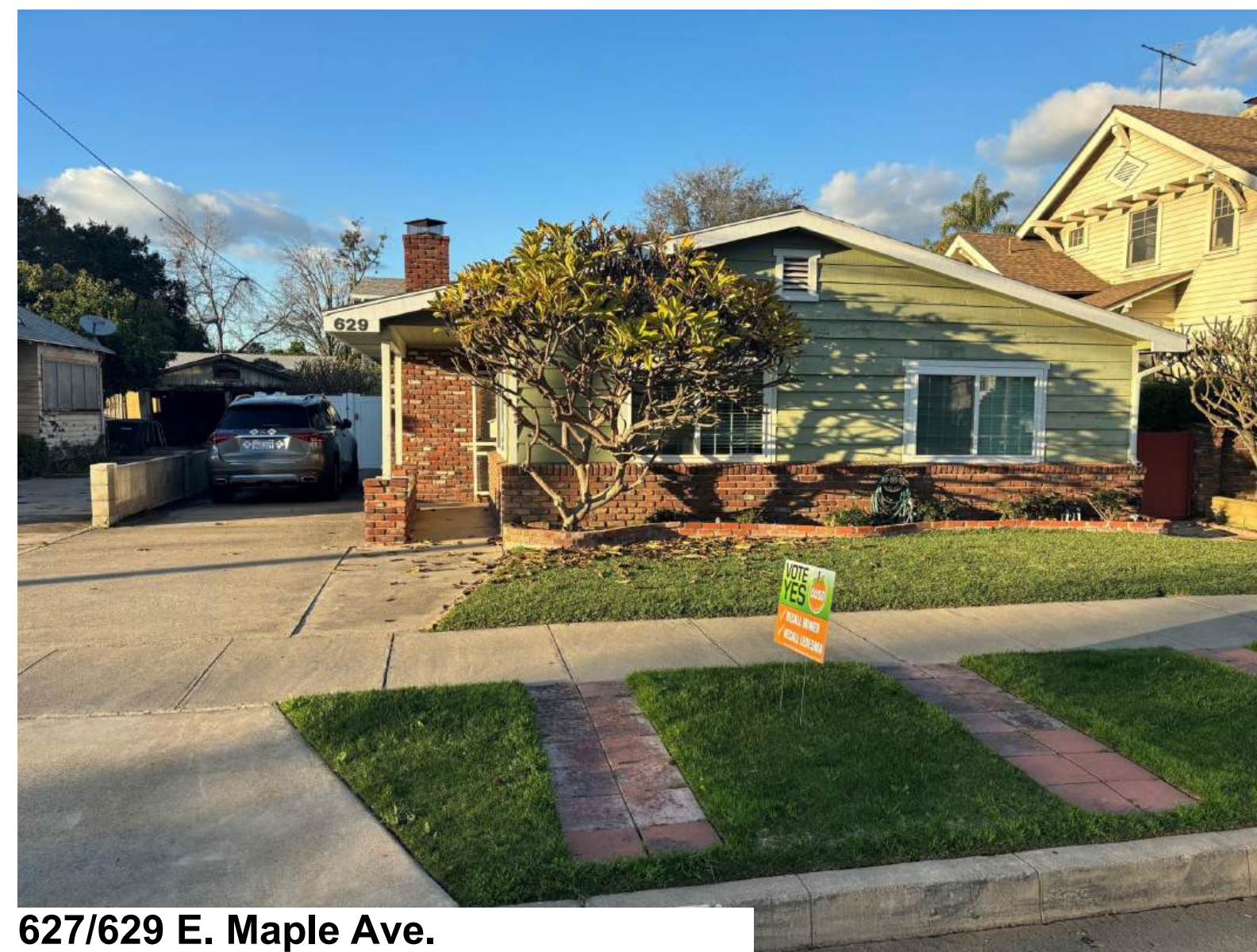
Key Plan



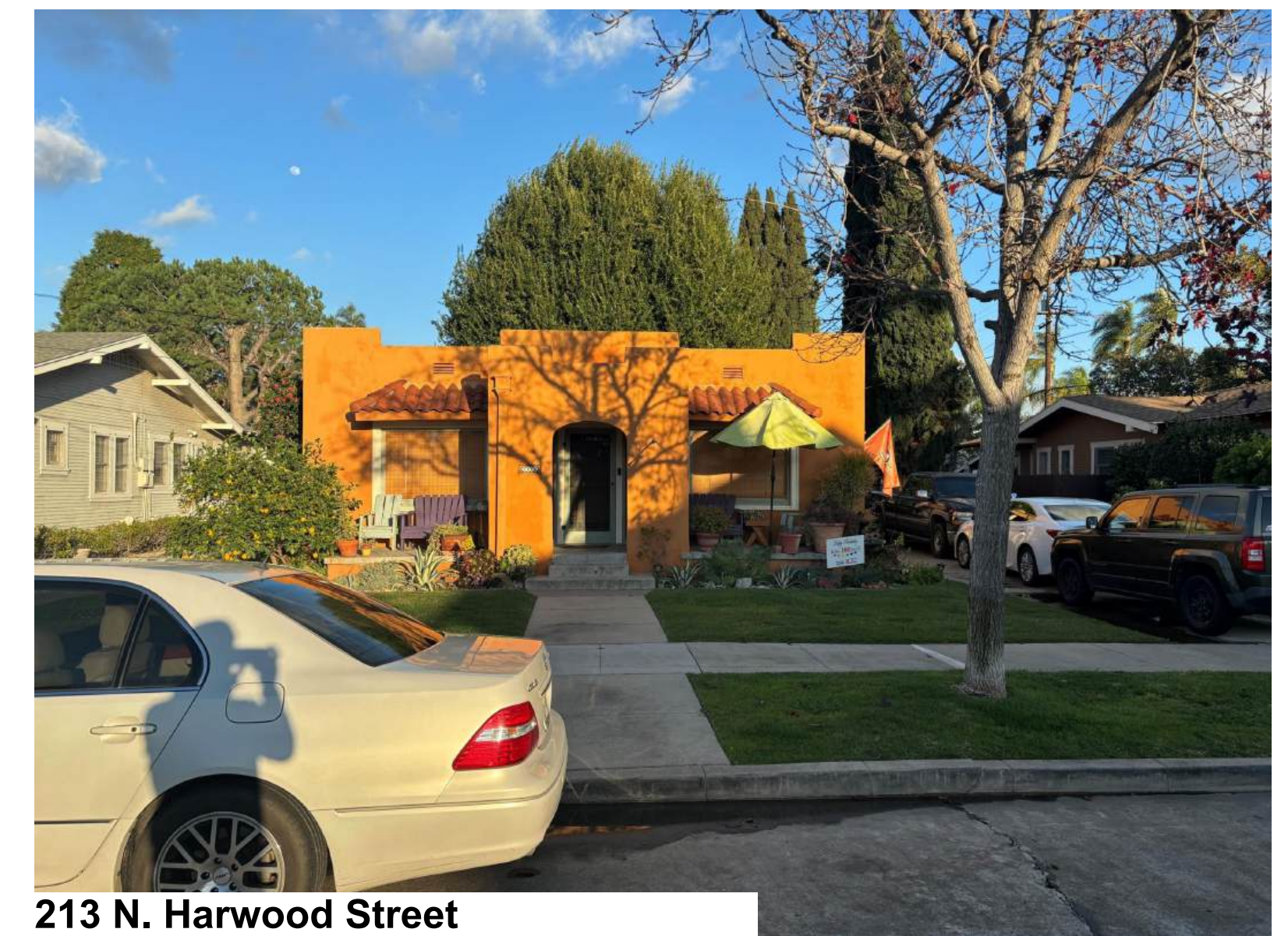
232 N. Harwood Street



223/225 N. Harwood Street



627/629 E. Maple Ave.



213 N. Harwood Street



621 E. Maple Ave.



205 N. Harwood Street

Adjacent Property Photographs

Shearn Residence
Main Residence Remodel and New Detached Garage
 633 E. Maple Ave., Orange, CA 92866

Photos on 10/21/2024 at 10:14 AM P:\325 Knight Residence Remodel and Expansion\3D BIM-CAD Files\3D Arch\CAD Models\325 Knight Residence Overall.rvt

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 30-159483
HRI # 038849
Trinomial ORA
NRHP Status Code 1D

Other Listings:

Review Code: _____

Reviewer: _____

Date: _____

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

MAPLE_E_633__APN_386-082-13

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: _____ Date: _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: 633 - E MAPLE AVE, # _____ City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ' _____ mE/ _____ mN

e. Other Locational Data: _____

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Wood & brick siding

A two-story Craftsman home with wide lap siding and multi-gable roof. A wide shed dormer with two pairs of transomed windows is present on the front portion of the roof. The main roof extends forward to form a full-width porch, supported by stone piers connected by a long, low stone wall. This same stone work is featured in the chimney at the rear of the house. The original door is still present and is flanked on either

*P3b. Resource Attributes: (HP2)--Single family property
(List attributes and codes)

*P4. Resources Present: Building Structure Object Site Element of District District Other (Isolates, etc.)



P5b. Description of Photo: 2010
(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1909

Historic Prehistoric Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D. Matsumoto

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded:

March, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005) Historic Resources Survey. AEGIS (1991) Historic Building Inventory Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments: NONE Location Map Continuation Sheet(s) Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # 30-159483
HRI # 038849
*NRHP Status Code 1D

Page 2 of 3

*Resource Name or #: MAPLE_E_633__APN_386-082-13
(Assigned by Recorder)

B1. Historic Name: Charles and Alice Parker House

B2. Common Name:

B3. Original Use: RES B4. Present Use: RES

*B5. Architectural Style: Craftsman

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1909 Historic Prehistoric Both

*B7. Moved? No Yes Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Early Settlement (c. 1870 - 1920) Applicable Criteria: AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: Excellent Condition - No apparent change to original structure.

Site Integrity:

Opportunities:

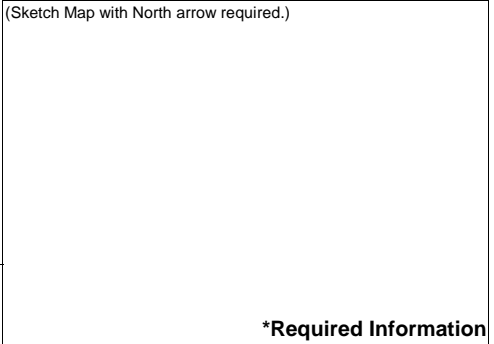
As of 1919 the house was owned by Charles and Alice Parker. Mr. Parker was a dentist.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:
Orange Daily News.

B13. Remarks: (Continues on Pg.3.)
Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)



*Required Information

*B14. Evaluator: Robert Chattel
*Date of Evaluation: September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

State of California - The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
 CONTINUATION SHEET

Primary # 30-159483
 HRI # 038849
 Trinomial ORA

Page 3 of 3

*Resource Name or #:
 (Assigned by Recorder)

MAPLE_E_633__APN_386-082-13

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
 Chattel Architecture
 13417 Ventura Blvd.
 Sherman Oaks, CA 91423

Date Recorded: March, 2005

Continuation Update

Years Surveyed: 1982, 1991, 2005

Description of Photo: 1991

Listed in National Register: 1997

General Plan: LDR # of Buildings: 1

Planning Zone: R-2-6 # of Stories: 2

Lot Acre: 0.2652 # of Units: 1

Principal Building Sqft: 1549

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

side by a trio of sash windows.



Development Standards Reference Table
Single-Family Residential 6,000 Sq Ft (R-1-6) Zoning District

	Required/Permitted	Proposed	Code Section
<i>Lot Area</i>	8,000 square feet (minimum)	11,979 square feet (existing; no change proposed)	17.14.070
<i>Lot Frontage</i>	60 feet (minimum)	54 feet, 3 inches (existing; no change proposed)	17.14.070
<i>Lot Depth</i>	100 feet (minimum)	172 feet, 10 inches	17.14.070
<i>Setback, Front</i>	20 feet (minimum)	20 feet, 3 inches	17.14.070
<i>Setback, Side Interior</i>	5 feet (minimum for a principal structure) 0 feet (minimum for a detached accessory structure)	2 feet, 6 inches *Building height shall not exceed 10 feet for that portion of the accessory that occurs within the side or rear setback areas, as defined for principal structures	17.14.160
<i>Setback, Street Side</i> <i>(for corner and reverse lots)</i>	10 feet (minimum)	Greater than 10 feet	17.14.070
<i>Setback, Rear</i>	20 feet (minimum)	26 feet, 3 inches	17.14.070
<i>Building Height</i>	32 feet (maximum) 2 stories (maximum)	10 feet, 9 inches 1 story	17.14.070
<i>Floor Area Ratio (FAR)</i>	0.60 FAR (maximum)	0.226 FAR	17.14.070
<i>Usable Open Space</i>	1,000 square feet (minimum)	> 1,000 square feet	17.14.070
<i>Off-Street Parking</i>	2 enclosed garage spaces (up to four bedrooms)	2 enclosed garage spaces (One in the existing garage; one in the new proposed garage/workshop)	17.34.020 Table 17.34.060.A



Agenda Item

Design Review Committee

Item #: 4.2.

11/6/2024

File #: 24-0569

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Ryan Agbayani, Associate Planner

1. SUBJECT

A request to construct a rear addition and partial interior remodel of an existing Bungalow-style single-family dwelling in the Old Towne Orange Historic District at 247 N. Center Street (Design Review No. 5143).

2. SUMMARY

The applicant proposes to construct a rear addition and partial interior remodel of an existing one-story single-family dwelling located in the Old Towne Orange Historic District.

3. RECOMMENDED ACTION

Approval by the Design Review Committee.

4. BACKGROUND INFORMATION

Property Owner: Daniel and Kimberly Healy

Applicant: John DiLauro (Studio D)

Property Location: 247 N. Center Street

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Single-Family Residential 6,000 Sq Ft (R-1-6)

Existing Development: Existing Single-Family Dwelling with Detached Garage

Associated Application: Mills Act Contract (pending)

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

The applicant proposes to construct a new 267 sq ft addition at the rear of the existing dwelling, as well as an interior remodel to a 148 sq ft portion of the existing dwelling to create a new master bedroom suite. The existing double-hung wood window and exterior wood door at the rear (east elevation) will be removed for the addition. The new compatible awning and double-hung wood windows will be installed in the new addition area. A new wood stile and rail sliding door will be installed at the rear elevation for exterior access to a raised wood porch with steps leading to the backyard. Lastly, a new 216 sq ft open trellis patio cover will be constructed at the rear.

6. EXISTING SITE

The 6,750 sq ft site is currently developed with a one-story Bungalow-style single-family dwelling, detached garage, and detached shed at the rear. The dwelling was originally constructed in 1919, and is designated as a contributor to the Old Towne Orange Historic District. Access to the detached garage is from a shared driveway with the property to the south.

7. EXISTING AREA CONTEXT

The subject site is located in the northeast quadrant of the Old Town Orange Historic District, on the east side of N. Center Street, with E. Palm Avenue to the north and E. Maple Avenue to the south. To the immediate north is a duplex consisting of two one-story structures. To the immediate south is a one-story single-family dwelling with detached garage. To the immediate west is an existing two-story single-family dwelling with attached garage. To the immediate east is an existing one-story single-family dwelling with attached Accessory Dwelling Unit (ADU). The zoning designation for the area is Single-Family Residential 6,000 sq ft (R-1-6). The dwellings to the south and east are designated as contributors; however, the dwellings to the north and west are designated as non-contributors.

8. PROJECT ANALYSIS

Issue 1 Differentiation of Addition:

The Historic Preservation Design Standards (HPDS) allow for additions to residential dwellings that retain the character defining features of the building and comply with the *Secretary of the Interior's Standards for Rehabilitation*. The applicant is proposing to construct a new 267 sq ft addition at the rear of the property to create a new master bedroom suite. The addition requires the removal of the existing lap siding, an exterior door, and a window at the rear. A new wood stile and rail sliding door will be installed on the east elevation of the addition facing the rear. There will be a clear and distinct offset in the wall plane between the existing dwelling and new addition area, which will distinguish the old from new construction. Additional demarcation between the original house and addition is provided through the implementation of 6-inch to 7-inch exposure horizontal lap siding on the new addition, versus the current 3-inch to 3-inch to 7-inch exposure horizontal lap siding on the existing dwelling. At the two corner joints, there will be a ¾-inch by ¾-inch trim where the new siding meets existing. Lastly, the ridge of the hallway addition and new master bedroom will be offset to establish further distinction.

Staff believes that the proposed addition meets the requirements of the Historic Preservation Design Standards for compatibility and differentiation from the original floor plan of the residence. Design features include the incorporation of wall offset, siding dimensions, and lowered roof height to provide sufficient evidence that the addition is not original to the home.

Issue 2 Visibility of Addition:

Additions should be configured in a way that respects the established pattern of the existing streetscape and front yard setbacks. Rear additions should be set back from the front façade of the house to minimize visibility from the street. The proposed rear addition is set back roughly 70 feet from the front property line and will not be easily visible from the street. Furthermore, the existing fencing will create further screening.

Staff supports the project as presented by the applicant. The HPDS emphasize preservation of the character-defining features of the front elevation of the residence which the project accomplishes by limiting appropriate modification to the rear elevation. The dwelling retains the overall form, appearance, and character of the original home.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

On October 24, 2024, public notices were mailed to property owners and occupants within a 400-foot radius of the project site. A public notice was also posted at the site on that same date.

11. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15301 (Class 1 - Existing Facilities) because the project consists of an addition to an existing single-family dwelling that does not result in an increase of more than 50 percent of the floor area before the addition, the project site is located in an area where all public services and facilities are available, and the area in which the project is located is not environmentally sensitive.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions (OMC 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The project complies with the HPDS. The addition is located at the rear of the existing residence and not easily visible from N. Center Street, and is compatible in form, scale, and design with the architectural vocabulary of the existing Bungalow-style dwelling. The new addition has a maximum building height of 11 feet, 9 inches, which is subordinate to the building height of the dwelling. Differentiation between the original home and the new addition is achieved through incorporation of wall offset, exterior siding dimensions, and roof height.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The project complies with the *Secretary of the Interior's Standards for Rehabilitation*, specifically *Standards #9 and #10*. The proposed new construction is of an appropriate mass and scale, so as to be compatible with the property on which it is being built. The character of the design is also compatible, while also being differentiated from the original massing of the building through the incorporation of wall offset, exterior siding dimensions, and lower roof height. Though the new addition is attached to the existing dwelling, there is clear and distinct demarcation which would allow the original footprint to be restored, should the addition be demolished in the future.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.

The project conforms to the prescriptive standards set forth in the HPDS and the OMC. The proposed addition is of compatible scale, style, and material with the existing dwelling and will match aesthetically with the overall design of the property.

4. For infill residential development, as specified in the City of Orange Infill Residential Design

Guidelines, the new structure(s) or addition are compatible with the scale, massing, orientation, and articulation of the surrounding development and will preserve or enhance existing neighborhood character.

The Infill Residential Design Guidelines are not applicable to properties within the Old Towne Orange Historic District.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included in the Design Review Committee staff report dated November 6, 2024, and in the project case file), including any modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The applicant agrees, as a condition of City's approval of Design Review No. 5143, to indemnify, defend, and hold harmless, at the applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action, or proceeding brought against the City, including, but not limited to, any claim, action, or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void, or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act ("CEQA") or to challenge the reasonableness, legality, or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action, or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Application shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in conjunction with said claim, action, or proceeding. City may, in its sole discretion, participate in the defense of any claim, action, or proceeding, but such participation shall not relieve applicant of the obligations of this condition. In the event that the applicant is required to defend City in connection with such claim, action, or proceeding, City shall have right to approve counsel to so defend the City, approval all significant decisions concerning the manner in which the defense is conducted and approve any and all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgement rendered in the proceeding. Further, applicant agrees to indemnify, defend, and hold harmless the City for all costs and expenses incurred in enforcing this provision.
4. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.

5. The final approved conditions of approval shall be reprinted on a dedicated sheet (or sheets) of the construction documents when submitting to the Building Division for the plan check process.
6. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
7. Design Review No. 5143 shall become void if not vested within two years from the date of approval. Time extensions may be granted for up to one year, pursuant to OMC Section 17.08.060.

14. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Applicant's Project Narrative Letter
- Attachment 3 - Project Plans
- Attachment 4 - DPR Form
- Attachment 5 - Window and Door Product Brochure
- Attachment 6 - Development Standards Reference Table



Agenda Item

Design Review Committee

Item #: 4.2.

11/6/2024

File #: 24-0569

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Ryan Agbayani, Associate Planner

1. SUBJECT

A request to construct a rear addition and partial interior remodel of an existing Bungalow-style single-family dwelling in the Old Towne Orange Historic District at 247 N. Center Street (Design Review No. 5143).

2. SUMMARY

The applicant proposes to construct a rear addition and partial interior remodel of an existing one-story single-family dwelling located in the Old Towne Orange Historic District.

3. RECOMMENDED ACTION

Approval by the Design Review Committee.

4. BACKGROUND INFORMATION

Property Owner:	Daniel and Kimberly Healy
Applicant:	John DiLauro (Studio D)
Property Location:	247 N. Center Street
General Plan Designation:	Low Density Residential (LDR)
Zoning Classification:	Single-Family Residential 6,000 Sq Ft (R-1-6)
Existing Development:	Existing Single-Family Dwelling with Detached Garage
Associated Application:	Mills Act Contract (pending)
Previous DRC Project Review:	None

5. PROJECT DESCRIPTION

The applicant proposes to construct a new 267 sq ft addition at the rear of the existing dwelling, as well as an interior remodel to a 148 sq ft portion of the existing dwelling to create a new master bedroom suite. The existing double-hung wood window and exterior wood door at the rear (east elevation) will be removed for the addition. The new compatible awning and double-hung wood windows will be installed in the new addition area. A new wood stile and rail sliding door will be installed at the rear elevation for exterior access to a raised wood porch with steps leading to the backyard. Lastly, a new 216 sq ft open trellis patio cover will be constructed at the rear.

6. EXISTING SITE

The 6,750 sq ft site is currently developed with a one-story Bungalow-style single-family dwelling, detached garage, and detached shed at the rear. The dwelling was originally constructed in 1919, and is designated as a contributor to the Old Towne Orange Historic District. Access to the detached garage is from a shared driveway with the property to the south.

7. EXISTING AREA CONTEXT

The subject site is located in the northeast quadrant of the Old Town Orange Historic District, on the east side of N. Center Street, with E. Palm Avenue to the north and E. Maple Avenue to the south. To the immediate north is a duplex consisting of two one-story structures. To the immediate south is a one-story single-family dwelling with detached garage. To the immediate west is an existing two-story single-family dwelling with attached garage. To the immediate east is an existing one-story single-family dwelling with attached Accessory Dwelling Unit (ADU). The zoning designation for the area is Single-Family Residential 6,000 sq ft (R-1-6). The dwellings to the south and east are designated as contributors; however, the dwellings to the north and west are designated as non-contributors.

8. PROJECT ANALYSIS

Issue 1 Differentiation of Addition:

The Historic Preservation Design Standards (HPDS) allow for additions to residential dwellings that retain the character defining features of the building and comply with the *Secretary of the Interior's Standards for Rehabilitation*. The applicant is proposing to construct a new 267 sq ft addition at the rear of the property to create a new master bedroom suite. The addition requires the removal of the existing lap siding, an exterior door, and a window at the rear. A new wood stile and rail sliding door will be installed on the east elevation of the addition facing the rear. There will be a clear and distinct offset in the wall plane between the existing dwelling and new addition area, which will distinguish the old from new construction. Additional demarcation between the original house and addition is provided through the implementation of 6-inch to 7-inch exposure horizontal lap siding on the new addition, versus the current 3-inch to 3-inch to 7-inch exposure horizontal lap siding on the existing dwelling. At the two corner joints, there will be a ¾-inch by ¾-inch trim where the new siding meets existing. Lastly, the ridge of the hallway addition and new master bedroom will be offset to establish further distinction.

Staff believes that the proposed addition meets the requirements of the Historic Preservation Design Standards for compatibility and differentiation from the original floor plan of the residence. Design features include the incorporation of wall offset, siding dimensions, and lowered roof height to provide sufficient evidence that the addition is not original to the home.

Issue 2 Visibility of Addition:

Additions should be configured in a way that respects the established pattern of the existing streetscape and front yard setbacks. Rear additions should be set back from the front façade of the house to minimize visibility from the street. The proposed rear addition is set back roughly 70 feet from the front property line and will not be easily visible from the street. Furthermore, the existing fencing will create further screening.

Staff supports the project as presented by the applicant. The HPDS emphasize preservation of the character-defining features of the front elevation of the residence which the project accomplishes by limiting appropriate modification to the rear elevation. The dwelling retains the overall form, appearance, and character of the original home.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

On October 24, 2024, public notices were mailed to property owners and occupants within a 400-foot radius of the project site. A public notice was also posted at the site on that same date.

11. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15301 (Class 1 - Existing Facilities) because the project consists of an addition to an existing single-family dwelling that does not result in an increase of more than 50 percent of the floor area before the addition, the project site is located in an area where all public services and facilities are available, and the area in which the project is located is not environmentally sensitive.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions (OMC 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.

The project complies with the HPDS. The addition is located at the rear of the existing residence and not easily visible from N. Center Street, and is compatible in form, scale, and design with the architectural vocabulary of the existing Bungalow-style dwelling. The new addition has a maximum building height of 11 feet, 9 inches, which is subordinate to the building height of the dwelling. Differentiation between the original home and the new addition is achieved through incorporation of wall offset, exterior siding dimensions, and roof height.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The project complies with the *Secretary of the Interior's Standards for Rehabilitation*, specifically *Standards #9 and #10*. The proposed new construction is of an appropriate mass and scale, so as to be compatible with the property on which it is being built. The character of the design is also compatible, while also being differentiated from the original massing of the building through the incorporation of wall offset, exterior siding dimensions, and lower roof height. Though the new addition is attached to the existing dwelling, there is clear and distinct demarcation which would allow the original footprint to be restored, should the addition be demolished in the future.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.

The project conforms to the prescriptive standards set forth in the HPDS and the OMC. The proposed addition is of compatible scale, style, and material with the existing dwelling and will match aesthetically with the overall design of the property.

4. For infill residential development, as specified in the City of Orange Infill Residential Design

Guidelines, the new structure(s) or addition are compatible with the scale, massing, orientation, and articulation of the surrounding development and will preserve or enhance existing neighborhood character.

The Infill Residential Design Guidelines are not applicable to properties within the Old Towne Orange Historic District.

13. CONDITIONS

The approval of this project is subject to the following conditions:

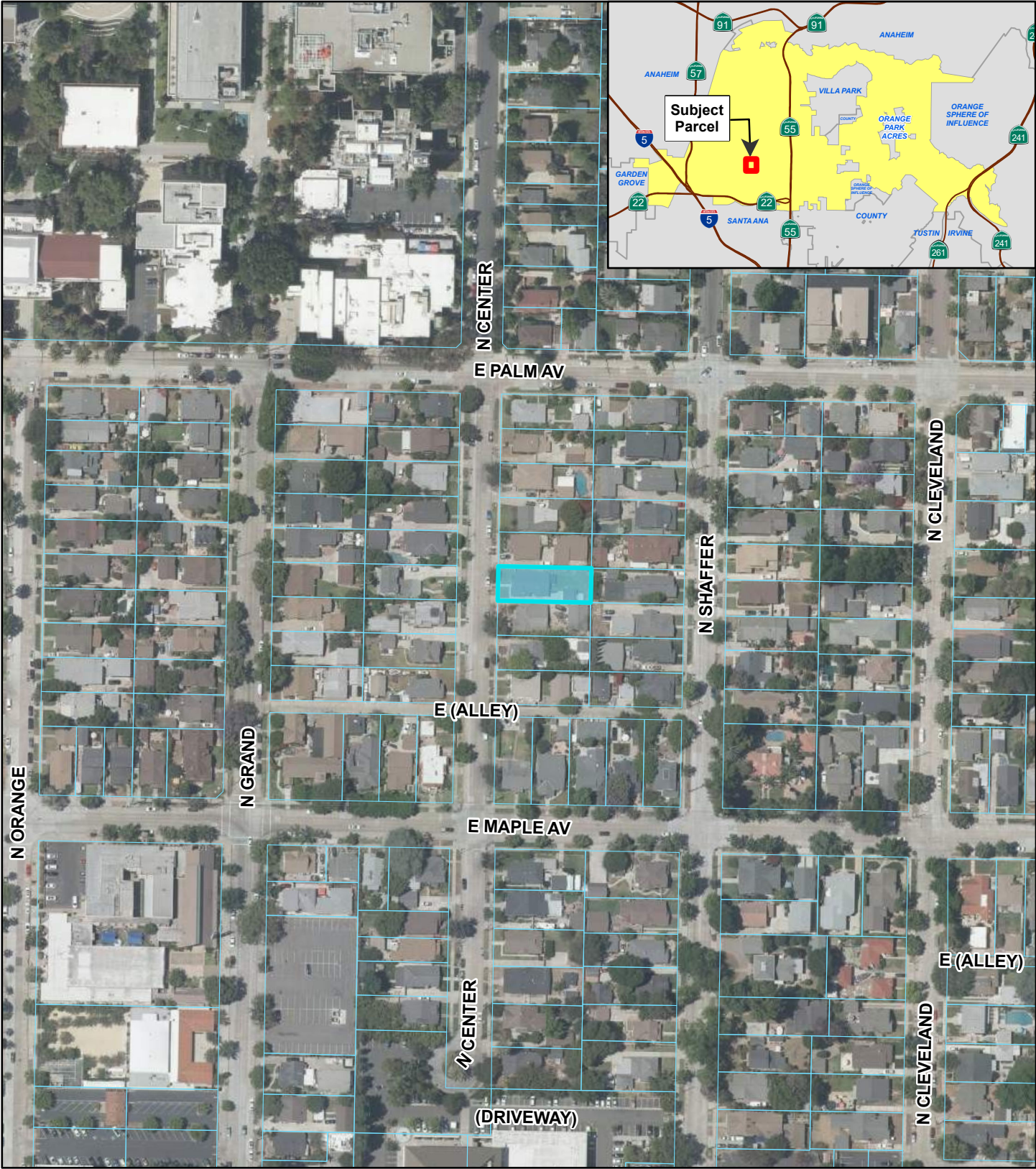
1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included in the Design Review Committee staff report dated November 6, 2024, and in the project case file), including any modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The applicant agrees, as a condition of City's approval of Design Review No. 5143, to indemnify, defend, and hold harmless, at the applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action, or proceeding brought against the City, including, but not limited to, any claim, action, or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void, or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act ("CEQA") or to challenge the reasonableness, legality, or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action, or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Application shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in conjunction with said claim, action, or proceeding. City may, in its sole discretion, participate in the defense of any claim, action, or proceeding, but such participation shall not relieve applicant of the obligations of this condition. In the event that the applicant is required to defend City in connection with such claim, action, or proceeding, City shall have right to approve counsel to so defend the City, approval all significant decisions concerning the manner in which the defense is conducted and approve any and all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgement rendered in the proceeding. Further, applicant agrees to indemnify, defend, and hold harmless the City for all costs and expenses incurred in enforcing this provision.
4. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.

5. The final approved conditions of approval shall be reprinted on a dedicated sheet (or sheets) of the construction documents when submitting to the Building Division for the plan check process.
6. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
7. Design Review No. 5143 shall become void if not vested within two years from the date of approval. Time extensions may be granted for up to one year, pursuant to OMC Section 17.08.060.

14. ATTACHMENTS

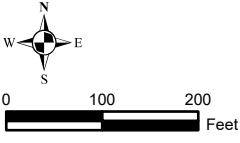
- Attachment 1 - Vicinity Map
- Attachment 2 - Applicant's Project Narrative Letter
- Attachment 3 - Project Plans
- Attachment 4 - DPR Form
- Attachment 5 - Window and Door Product Brochure
- Attachment 6 - Development Standards Reference Table

J:\GisProjects\DRDC_PC_Staff_reports\GIS\APRX\DRDC_PC_Staff_Reports\DRDC_PC_Staff_Reports.aprx\247 N. Center St.



- Legend**
- Parcels
 - Subject Parcel

Design Review No. 5143
 247 N. Center Street
 Zoning: R-1-6



10/16/2024
 Source: City of Orange (2024)

CITY OF ORANGE
VICINITY MAP
HEALY RESIDENCE



May 14, 2024

To whom it may concern,

This letter of justification pertains to a small addition to a historical Craftsman style residential property located at 247 N Center Street.

Currently the property is a 3 bedroom, 1 bath home with a detached garage. It shares a common driveway with an easement on the adjacent property to the south.

The addition is located in the rear of the property and is not visible from the street.

The proposal is to add a bathroom within one of the existing bedrooms, and construct a replacement bedroom and closet at the rear of the structure. The proposed bathroom is designed as to not modify any of the windows in the existing bedroom along the side elevation. Access to the proposed bedroom is through a hallway created within the existing bedroom, through an existing exterior doorway that will be widened. Access to the new bathroom is partially through a modified existing window opening and a portion of the adjacent rear wall.

The addition is a gable framed structure with the same 3:12 pitch as the existing. The structure ties into the rear wall under the existing roof line to differentiate the roof line in elevation. The asphalt composition roof and eave detailing will be similar to the existing.

The windows and door will be wood framed, double hung to match the existing. They will be double glazed to meet current energy standards.

The home has a unique horizontal wood siding detail. It uses an exposure of that consists of two rows of 3" high, and a single 7" high row. In order to differentiate the addition, the proposal will simplify the pattern to alternate a single 6" and 7" high exposure. This allows the horizontal lines to align and read through, yet remain different from the existing.

There is an open trellis currently in the rear, and that will be rebuilt to match. The proposed paving will be designed to reduce the heat island effect. This is accomplished by use of permeable pavers, with a high reflective index to reduce heat gain and transfer into the sub-base.

Please don't hesitate to reach out if any further information of clarification is required.

Sincerely,

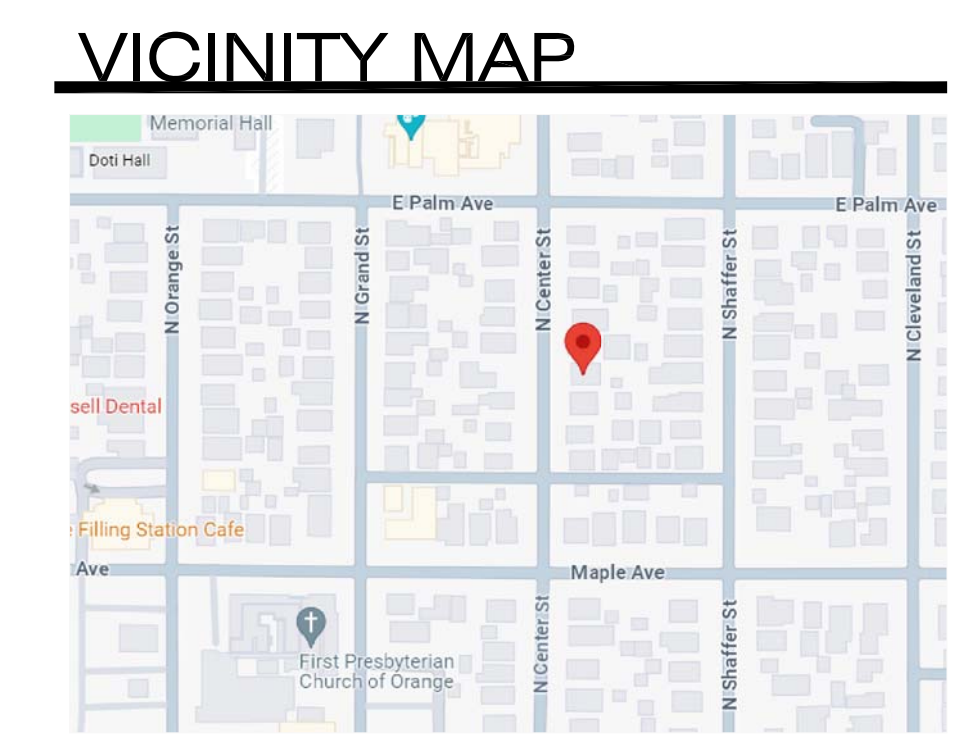
Studio D

John DiLauro

John J. DiLauro
Architect C-22283



© COPYRIGHT STUDIO D
UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED.
STUDIO D EXPRESSLY DISCLAIMS ANY RESPONSIBILITY
ARISING FROM ANY UNAUTHORIZED CHANGES OR USE
OF THESE PLANS, DRAWINGS, AND NOTES. ANY
AUTHORIZATION MUST BE APPROVED IN WRITING.



SCOPE OF WORK

BATHROOM ADDITION AND REMODEL WITHIN
EXISTING BEDROOM, ADDITION OF NEW BEDROOM
TO REPLACE EXISTING

PROJECT DATA

OCCUPANCY RS, U
CONSTRUCTION TYPE VB, NON-SPRINKLERED, WOOD FRAME AND SIDING
PROJECT ADDRESS 241 N. CENTER STREET
ORANGE, CA 92864
A.P.N. 094-244-06
LEGAL DESCRIPTION BONNIE BRAE TRACT, BLOCK B, LOT 20
ZONING R-1-6
GENERAL PLAN LAND USE LOW DENSITY RESIDENTIAL (LDR)

DEVELOPMENT TABULATION

LOT AREA	6,750 SF
EXISTING FIRST FLOOR	1,242 SF
ADDITION	267 SF
TOTAL FIRST FLOOR	1,509 SF
EXISTING GARAGE	295 SF
EXISTING SHED	78 SF
EXISTING F.A.R.	$1,272 + 295 + 78 = 1,645 / 6,750 = .24$
PROPOSED F.A.R.	$1,509 + 295 + 78 = 1,882 / 6,750 = .28$
EXISTING LOT COVERAGE	1,809 SF 26.8 %
PROPOSED LOT COVERAGE	2,046 SF 30.3 %
EXISTING LANDSCAPE	9,588 SF 53.1 %
PROPOSED LANDSCAPE	2,936 SF 43.4 %

SHEET INDEX

- 1 SITE PLAN, EXISTING FLOOR PLAN
- 2 PROPOSED FLOOR AND SCHEDULES
- 3 ELEVATIONS AND SECTIONS
- 4 ROOF PLAN
- 5 EXISTING SITE PHOTOS
- 6 N. CENTER STREET F.A.R. ANALYSIS
- 7 COLORED ELEVATIONS

PROJECT TEAM

OWNER
HEALY FAMILY TRUST 2016
DANIEL AND KIM HEALY
4811 OAKWOOD CIRCLE
VILLA PARK, CA 92861
(714) 655-1245

ARCHITECT/APPLICANT
STUDIO D
17022 COURTNEY LANE
HUNTINGTON BEACH, CA 92649
JOHN DILAURO
(714) 357-2206

REVISIONS DATE

△ PLANNING COMMENTS	8/13/24
△ CLARIFICATIONS	10/28/24
△	
△	
△	

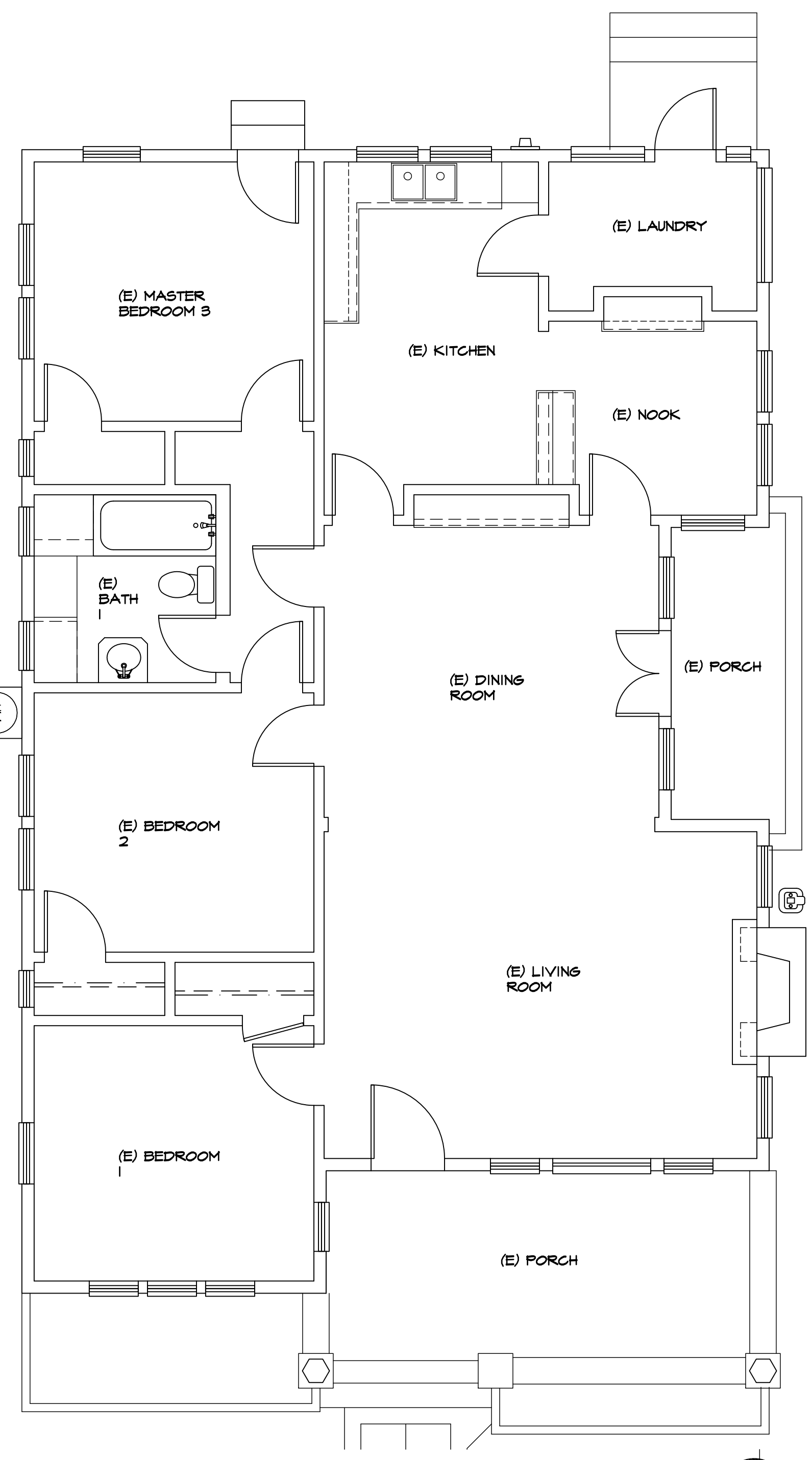
HEALY RESIDENCE ADDITION

241 N CENTER STREET
ORANGE
CALIFORNIA, 92866

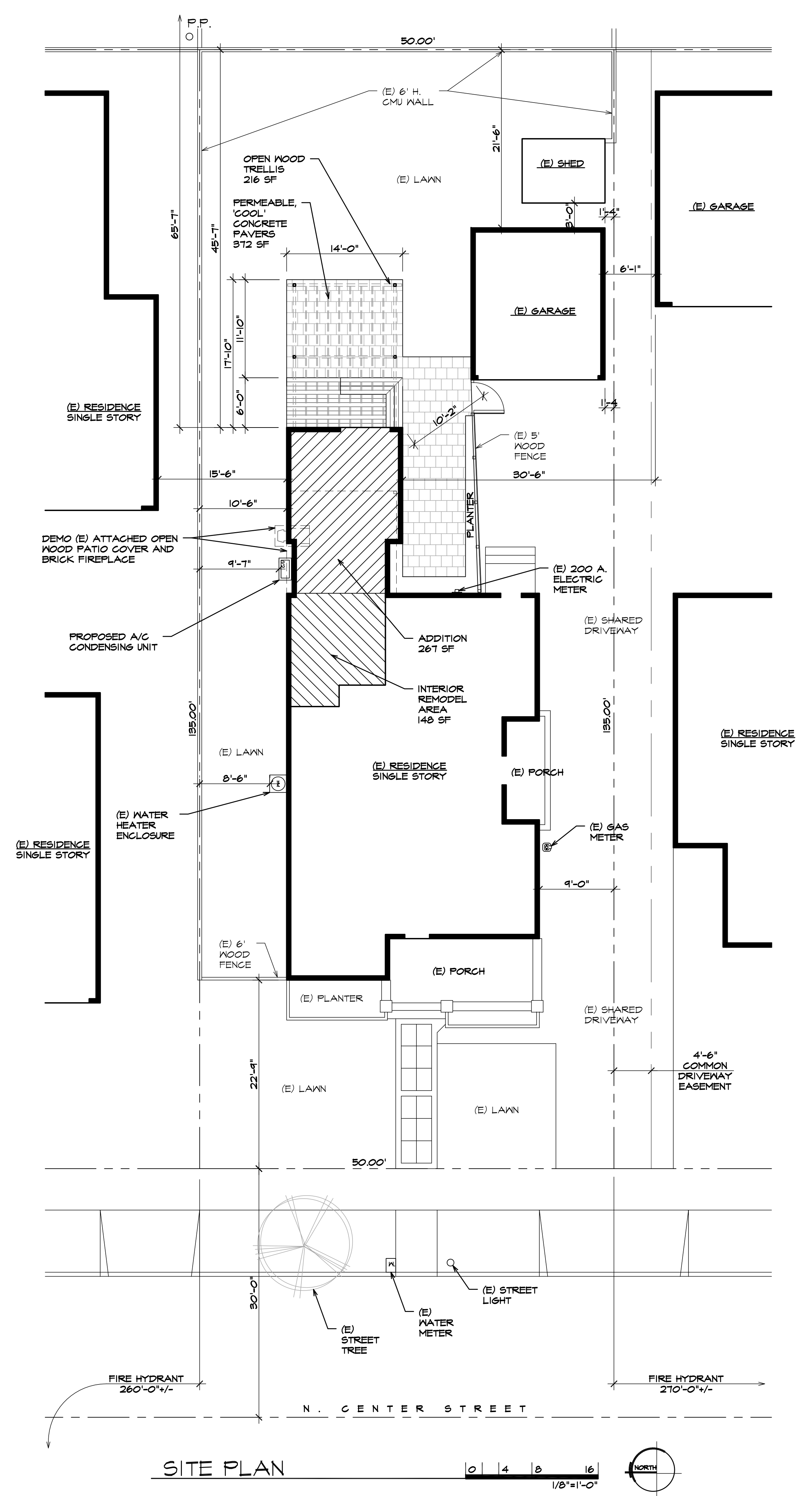
SITE PLAN, EXISTING FLOOR PLAN

DRAWN	JD
DATE	MAY 14, 2024
PROJECT NO.	
SCALE	AS NOTED
FILE	
SHEET	

EXISTING GARAGE PLAN 1/4"=1'-0"



EXISTING FLOOR PLAN 1/4"=1'-0"



SITE PLAN 1/8"=1'-0"

WINDOW SCHEDULE

MARK	WINDOW				FRAME			REMARKS			
	NO. REQ'D	TYPE	WINDOW SIZE		DETAIL SHEET A-						
			WIDTH	HEIGHT	HEAD	JAMB	SILL				
A	1	FIXED	4-0	4-0				WOOD PAINT	GL-3	N	EXISTING TO REMAIN
B	6	DOUBLE HUNG	2-0	4-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
C	10	DOUBLE HUNG	2-6	4-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
D	2	DOUBLE HUNG	1-6	3-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
E	2	DOUBLE HUNG	2-0	3-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
F	2	DOUBLE HUNG	2-6	3-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
G	1	AWNING (BOTTOM HINGED AND INWARD TILTING)	4-8	3-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
H	1	AWNING (BOTTOM HINGED AND INWARD TILTING)	1-2	3-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
I	1	AWNING (BOTTOM HINGED AND INWARD TILTING)	3-0	3-0				WOOD PAINT	GL-3	Y	EXISTING TO REMAIN
J	2	AWNING	2-6	2-0				WOOD PAINT	GL-1	Y	
K	2	DOUBLE HUNG	2-6	4-0				WOOD PAINT	GL-1	Y	
L	1	DOUBLE HUNG	2-0	4-0				WOOD PAINT	GL-1	Y	
M	1	DBL. CASEMENT	3-0	4-0				WOOD PAINT	GL-1	Y	EXISTING TO REMAIN, WHITE
N	1	FIXED	3-0	4-0				WOOD PAINT	GL-4	Y	EXISTING TO REMAIN, WHITE

DOOR SCHEDULE

MARK	DOOR						FRAME			HARDWARE		REMARKS				
	DOOR SIZE			SIDELIGHT		CORE MAT.	FACE MAT.	TYPE	GLASS	MAT.	DETAIL SHEET A-					
	WIDTH	HEIGHT	THICK	WIDTH	HEIGHT						HEAD		JAMB	SILL	SET NO.	CLSR.
1	3'-0"	6'-8"	1-3/4"	-	-	S.C.	WOOD	-	GL-3	WOOD	-	-	N	I	N	3/4 LITE, TEMPERED GLASS
2	PAIR 1'-4"	6'-8"	1-3/4"	-	-	S.C.	WOOD	-	GL-3	WOOD	-	-	N	I	N	FULL, DIVIDED LITE, TEMPERED GLASS
3	5'-0"	5'-4"	1/4"	-	-	S.C.	WOOD	-	GL-3	WOOD	-	-	N	I	N	1/2 LITE, TEMPERED GLASS
4	6'-0"	6'-8"	1-3/4"	-	-	S.C.	WOOD	-	GL-1	WOOD	-	-	N	I	N	ALL-WOOD STILE AND RAIL SLIDING 'OX' DOOR. 'SIERRA-PACIFIC WINDOWS' SLIDING WOOD PATIO DOOR SERIES, OR EQUAL. DOOR FINISH TO BE FACTORY PRIMED/FINISH PAINTED.

HARDWARE SET TYPES

- 1 ENTRY LOCKSET W/ DEADBOLT
- 2 PASSAGE LATCHSET
- 3 PRIVACY LOCKSET

GLASS TYPES

- GL-1 INSULATING GLASS, LOW-E, TEMPERED AS NOTED
- GL-2 DECORATIVE OBSCURE AS SELECTED BY OWNER, INSULATING GLASS, LOW-E, TEMPERED AS NOTED
- GL-3 CLEAR GLASS, TEMPERED AS NOTED
- GL-4 OBSCURED GLASS, TEMPERED AS NOTED



© COPYRIGHT STUDIO D
UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED.
STUDIO D EXPRESSLY DISCLAIMS ANY RESPONSIBILITY
ARISING FROM ANY UNAUTHORIZED CHANGES OR USE
OF THESE PLANS, DRAWINGS, AND NOTES. ANY
AUTHORIZATION MUST BE APPROVED IN WRITING.

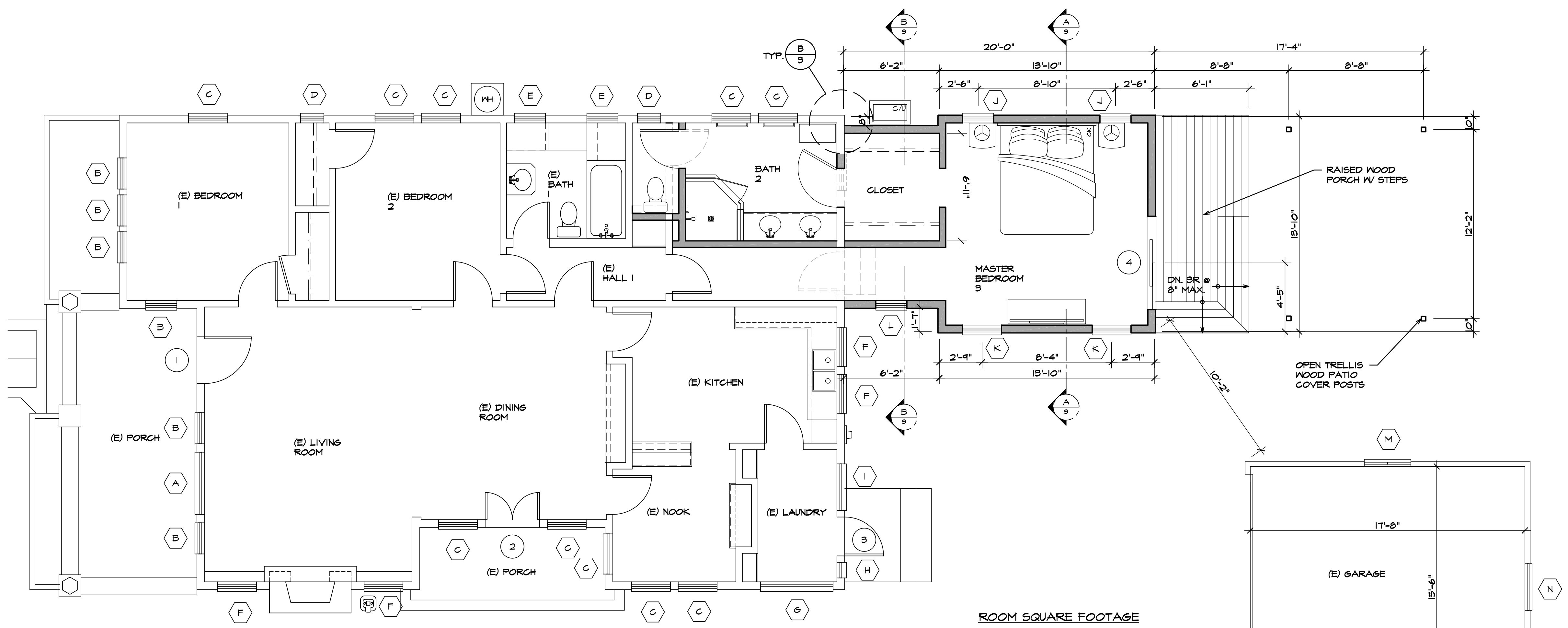
REVISIONS	DATE
△ PLANNING COMMENTS	8/13/24
△ CLARIFICATIONS	10/28/24
△	
△	
△	

HEALY RESIDENCE ADDITION

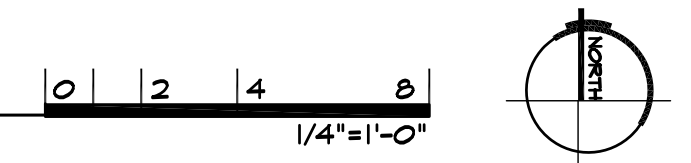
247 N CENTER STREET
ORANGE
CALIFORNIA, 92866

PROPOSED FLOOR AND ROOF PLAN

DRAWN	JD
DATE	MAY 14, 2024
PROJECT NO.	
SCALE	AS NOTED
FILE	
SHEET	



PROPOSED FLOOR PLAN

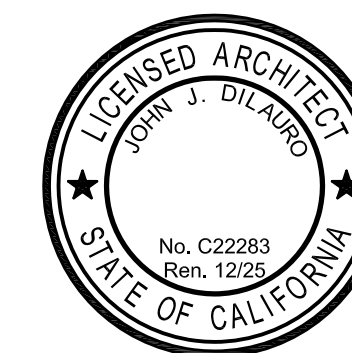


WALL LEGEND

- (E) EXTERIOR WALL - 2X4 @ 16" O/C WITH NEW R-15 INSULATION WHERE WALLS ARE OPENED.
 - WOOD LAP SIDING, 3"-3"-7" EXPOSURE
- NEW EXTERIOR WALL - 2X4 @ 16" O/C WITH NEW R-15 INSULATION.
 - EXTERIOR FACES: JAMES HARDIE CEMENT FIBER SIDING HARDIE PLANK @ 1/4" SMOOTH LAP SIDING (6" AND 7" EXP) ICC-ES # NER 405 INSTALL OVER 2 LAYERS GRADE D PAPER WEATHER BARRIER, AND MANUFACTURERS RECOMMENDATIONS.
 - 5/8" GYP. BD. INTERIOR FACE
- INTERIOR WALL - EXISTING TO REMAIN
- NEW INTERIOR WALL - 2X4 @ 16" O/C WITH 5/8" GYP. BOARD EACH SIDE. 2X6 @ 16" O/C WITH W.R. GYP. BOARD TO 48" AT PLUMBING FIXTURE WALL.

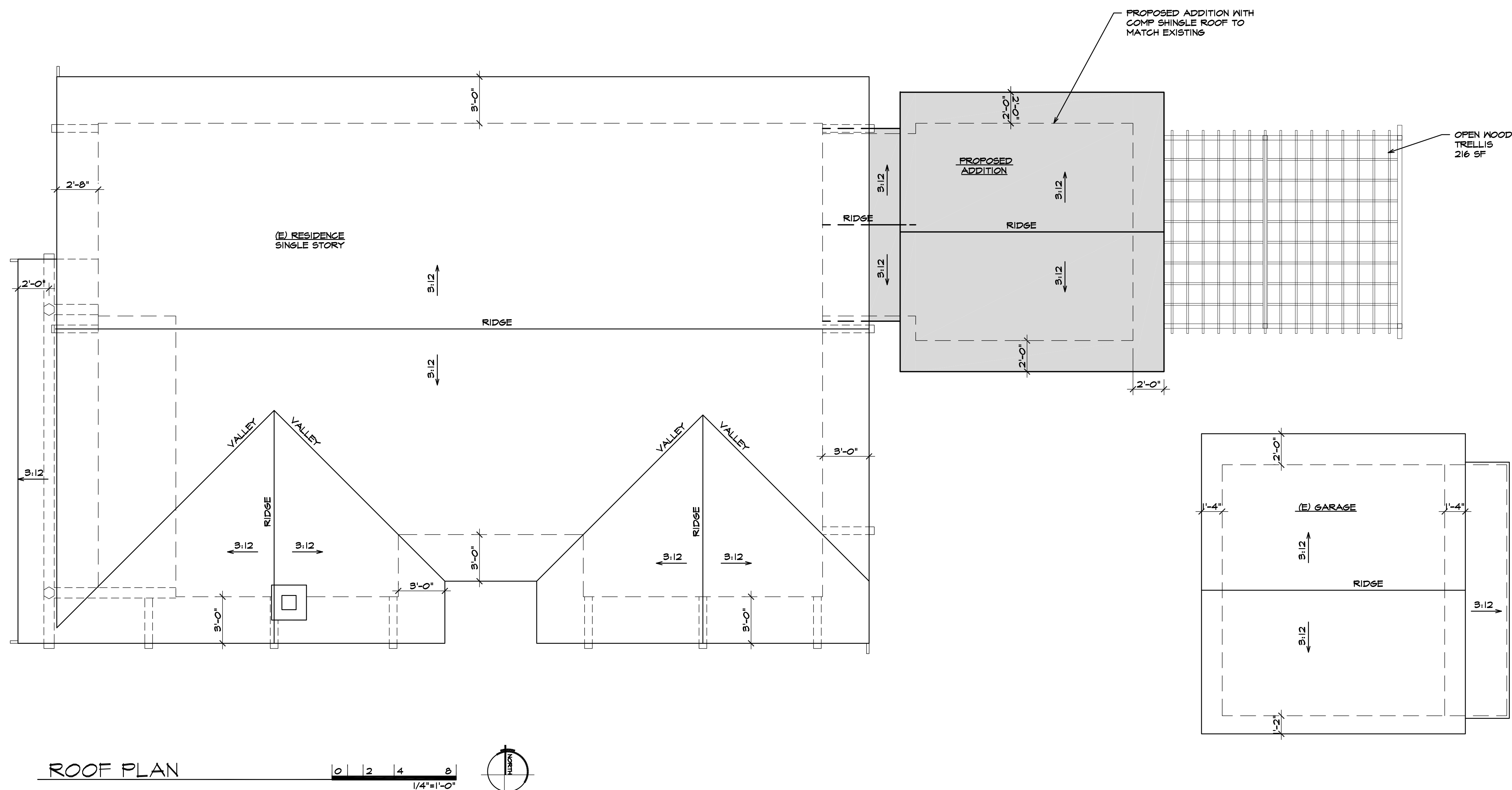
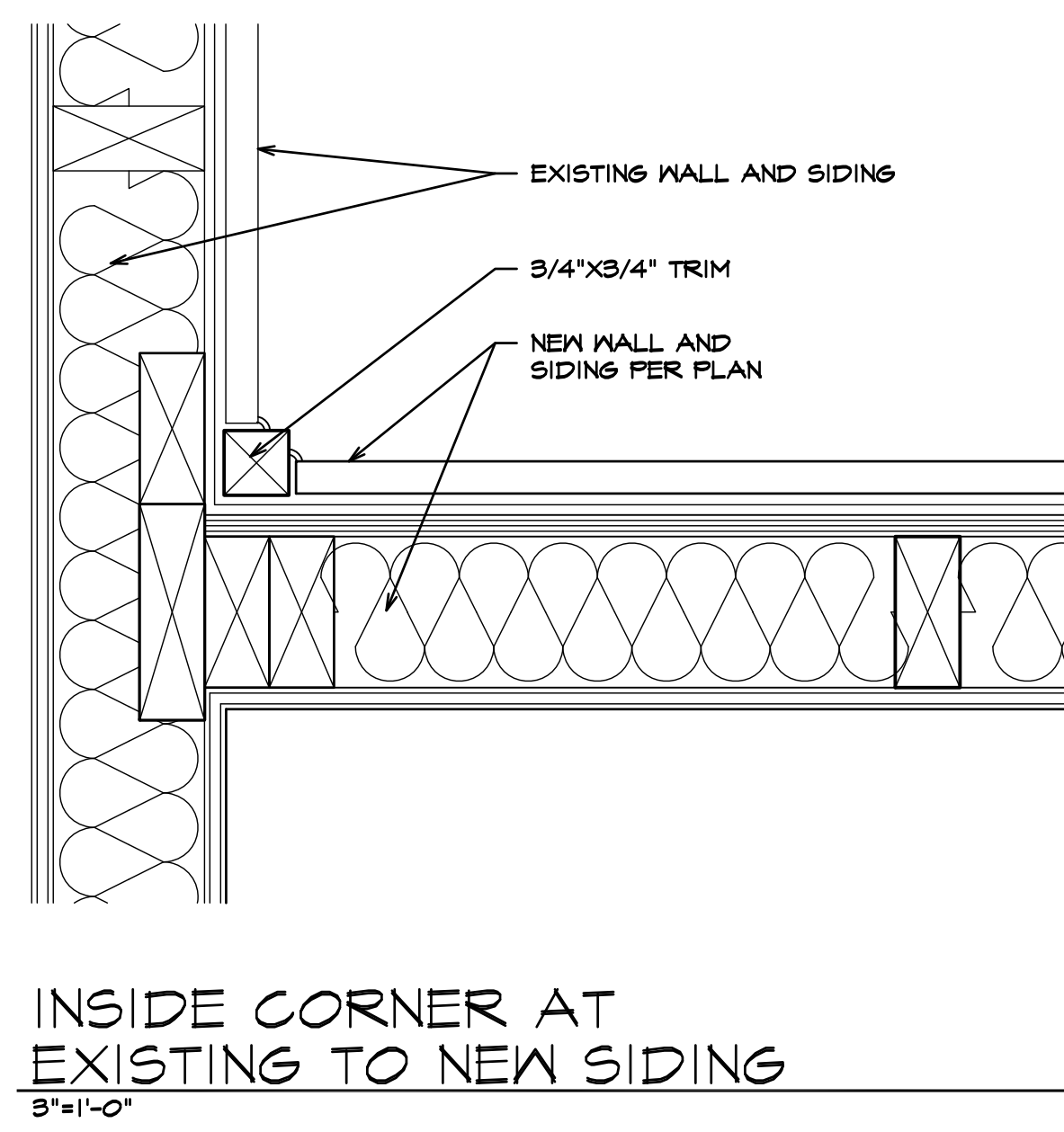
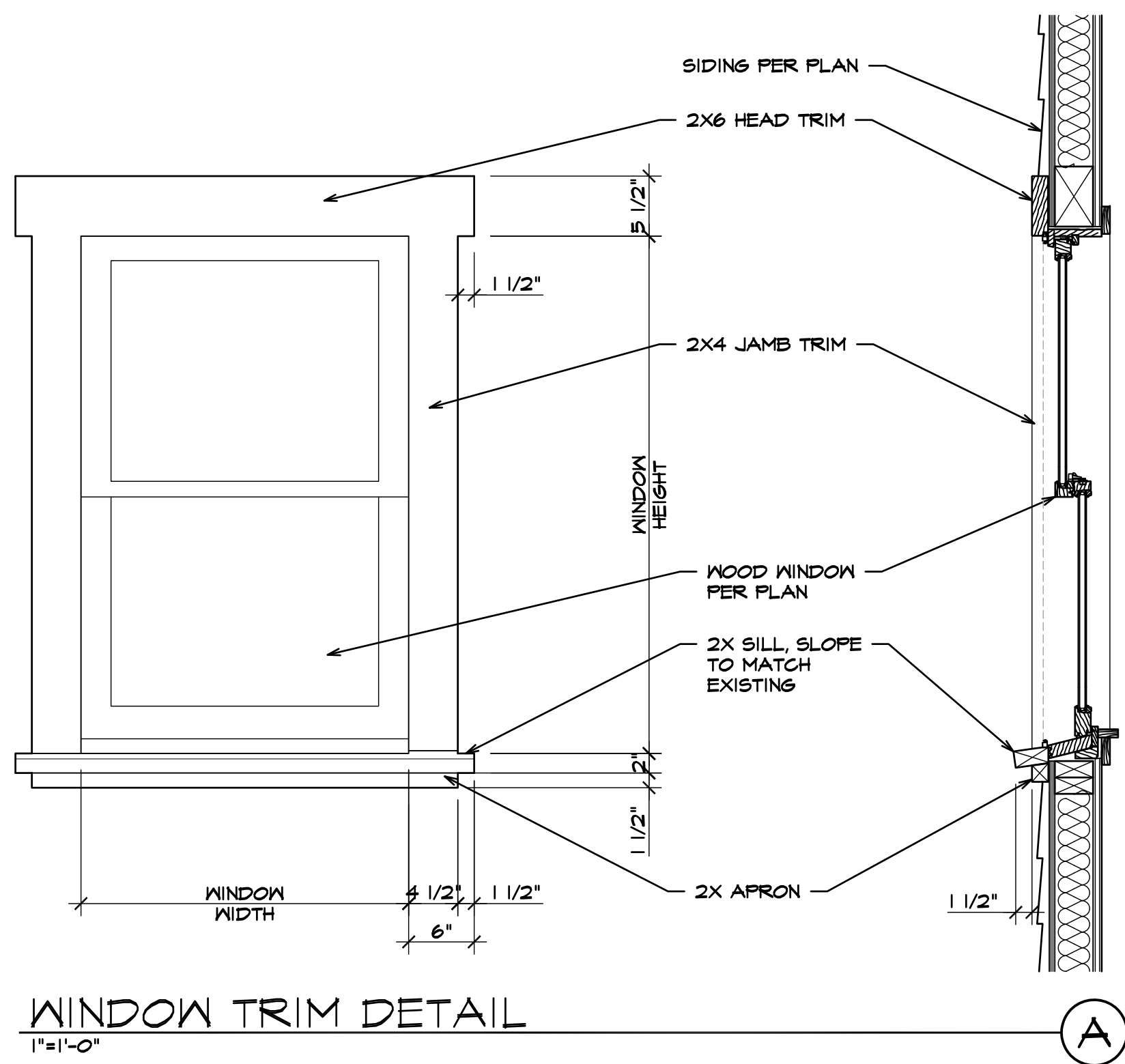
ROOM SQUARE FOOTAGE

(E) LIVING ROOM	236 SF
(E) DINING ROOM	163 SF
(E) NOOK	64 SF
(E) KITCHEN	120 SF
(E) LAUNDRY	44 SF
(E) BEDROOM 1 / CLOSET	134 SF
(E) BEDROOM 2 / CLOSET	135 SF
(E) HALL I	35 SF
(E) BATH I	57 SF
MASTER BEDROOM 3 / HALL	233 SF
CLOSET	42 SF
BATH 2	44 SF



© COPYRIGHT STUDIO D
UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED.
STUDIO D EXPRESSLY DISCLAIMS ANY RESPONSIBILITY
ARISING FROM ANY UNAUTHORIZED CHANGES OR USE
OF THESE PLANS, DRAWINGS, AND NOTES. ANY
AUTHORIZATION MUST BE APPROVED IN WRITING.

REVISIONS	DATE
△ PLANNING COMMENTS	8/13/24
△ CLARIFICATIONS	10/28/24
△	
△	
△	



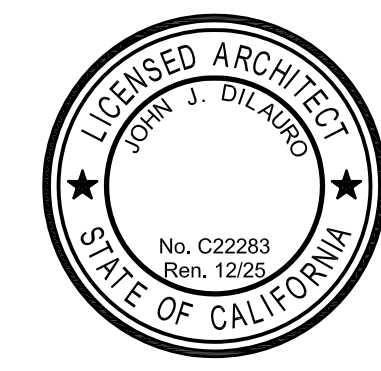
HEALY RESIDENCE ADDITION

247 N CENTER STREET
ORANGE
CALIFORNIA, 92866

PROPOSED FLOOR AND ROOF PLAN

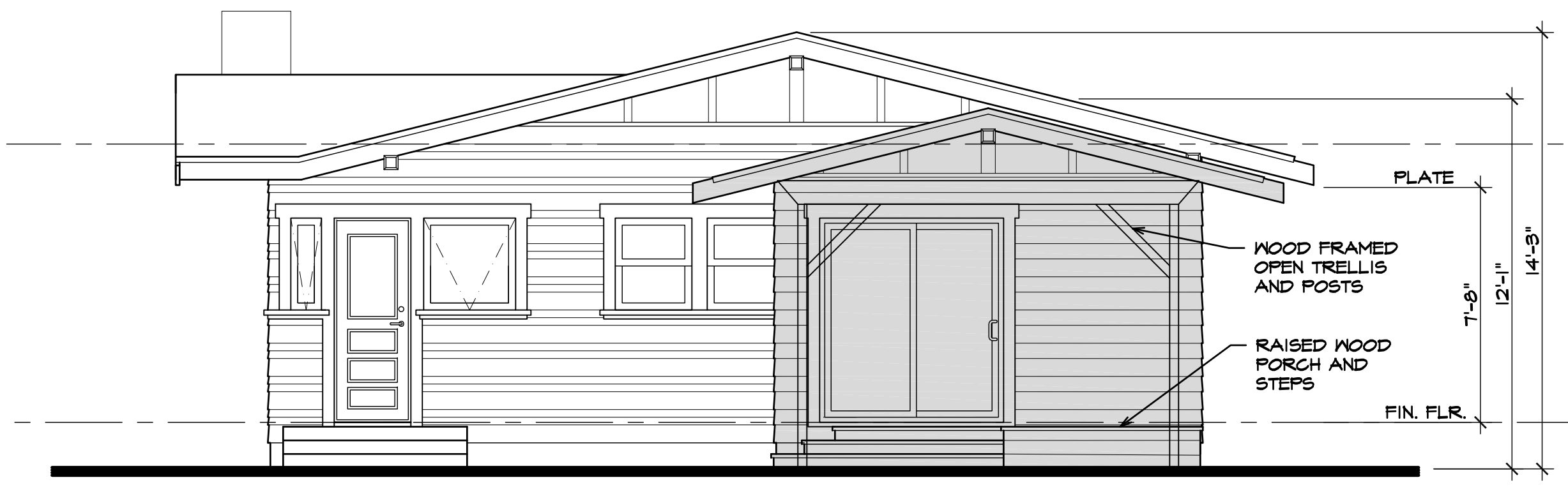
DRAWN	JD
DATE	MAY 14, 2024
PROJECT NO.	
SCALE	AS NOTED
FILE	

SHEET



© COPYRIGHT STUDIO D
UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED.
STUDIO D EXPRESSLY DISCLAIMS ANY RESPONSIBILITY
ARISING FROM ANY UNAUTHORIZED CHANGES OR USE
OF THESE PLANS, DRAWINGS, AND NOTES. ANY
AUTHORIZATION MUST BE APPROVED IN WRITING.

REVISIONS	DATE
△ PLANNING COMMENTS	8/13/24
△ CLARIFICATIONS	10/28/24
△	
△	
△	



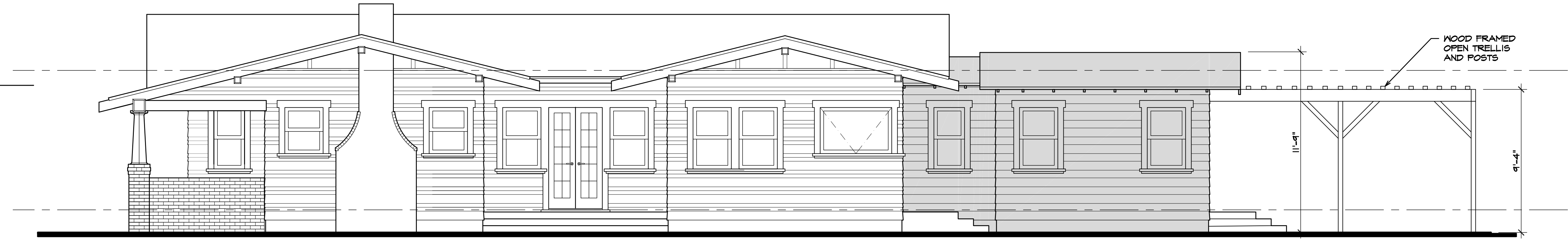
EAST ELEVATION 0 2 4 8
1/4"=1'-0"



WEST ELEVATION 0 2 4 8
1/4"=1'-0"



NORTH ELEVATION 0 2 4 8
1/4"=1'-0"



SOUTH ELEVATION 0 2 4 8
1/4"=1'-0"

EXTERIOR FINISHES

SIDING



HORIZONTAL LAP SIDING



DUNN-EDWARDS COLOR: DEN 6398 WALRUS

ROOFING



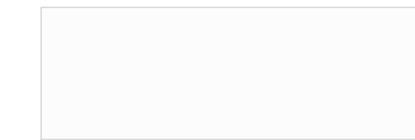
6AF TIMBERLINE HDZ COMP SHINGLE COLOR: CHARCOAL PLUS

STAINED WOOD



WINDOW AND DOOR SCREENS, WOOD DECK

ACCENT PAINT



FASCIA, DOOR AND WINDOW TRIM
DUNN EDWARDS
COLOR: DEN 340 WHISPER

WINDOWS

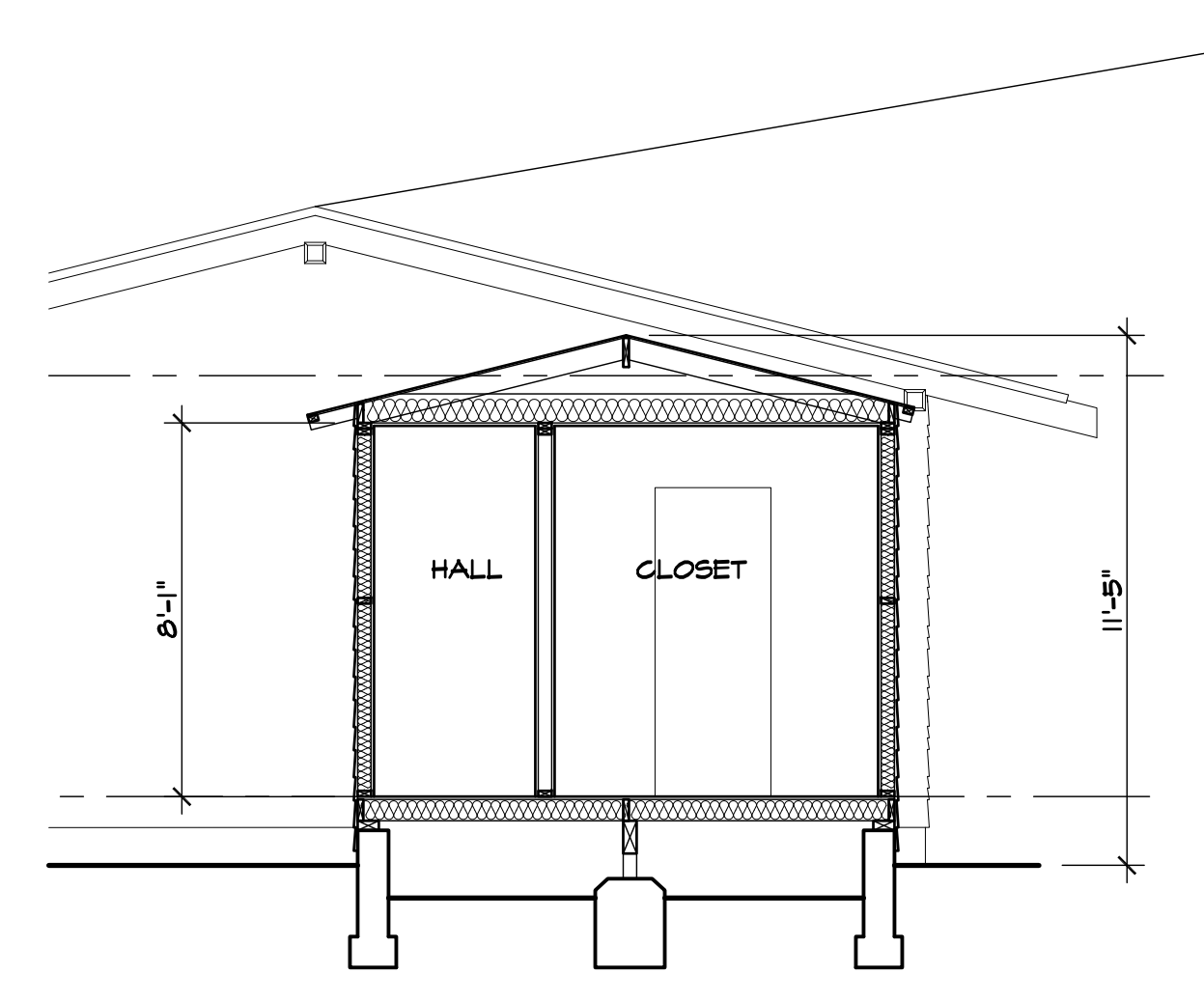


WOOD DOUBLE HUNG, DUAL GLAZED
COLOR: DEN 340, WHITE WITH DARK WOOD
SCREENS (WALNUT STAIN)

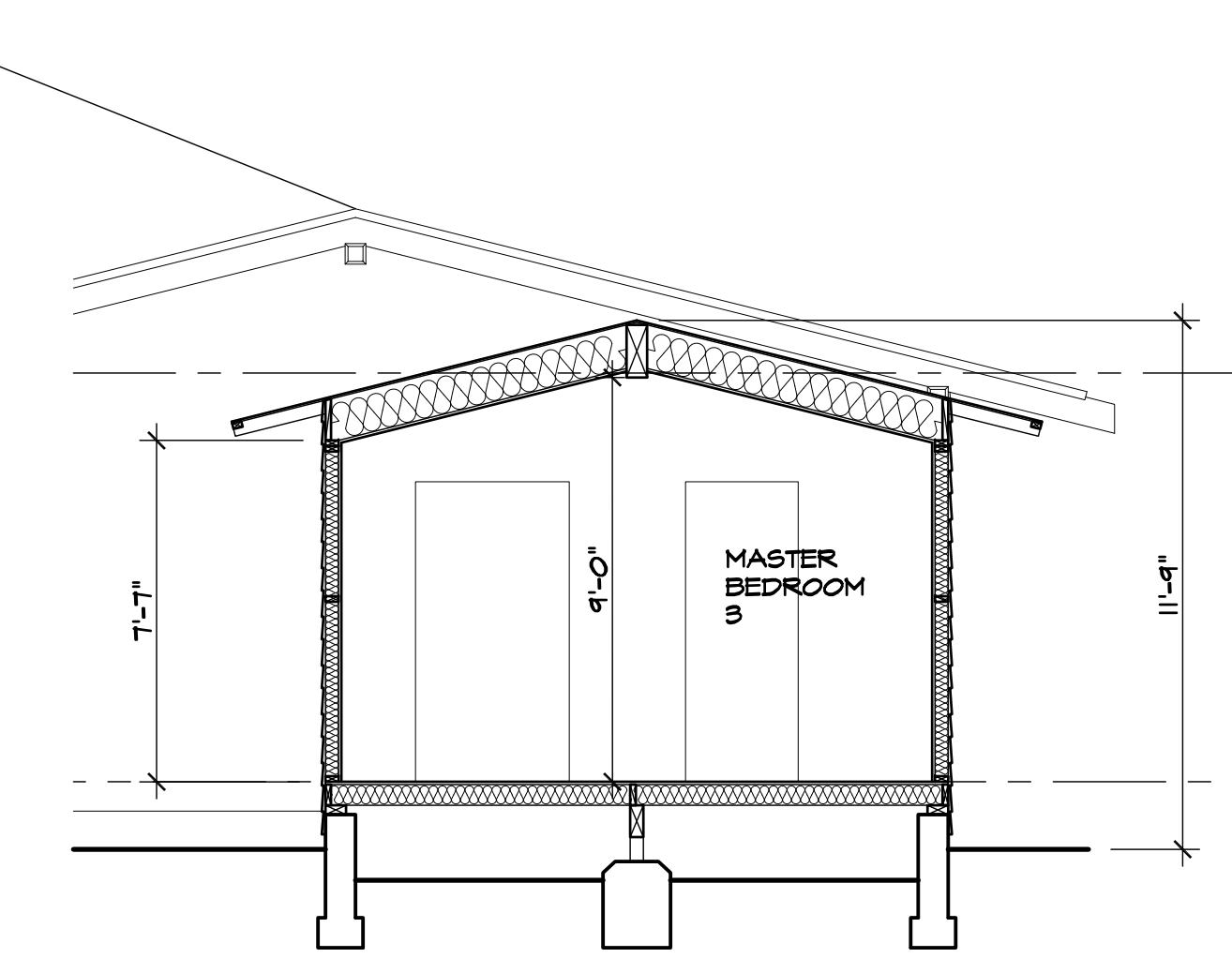
SEE DETAIL A SHEET 3 FOR TRIM DETAIL

EXTERIOR FINISHES

- ROOF: 6AF TIMBERLINE COMPOSITION SHINGLE, COLOR: CHARCOAL
- FASCIA AND TRIM: COLOR: DEN 340 WHISPER (WHITE)
- EXISTING SIDING: HORIZONTAL LAP SIDING, 3"-3"-1" EXPOSURE, COLOR: DEN 6398 WALRUS (GRAY)
- PROPOSED SIDING: HORIZONTAL LAP SIDING, 6"-1" EXPOSURE, COLOR: DEN 6398 WALRUS (GRAY)
- DOORS AND WINDOWS: PAINT GRADE WOOD DUAL GLAZED, AWNING WINDOWS, AND SLIDING DOOR TO MATCH RESIDENCE COLOR: DEN 340 WHISPER (WHITE)
- TRELLIS: WOOD POSTS, BEAMS AND OPEN TRELLIS COLOR: DEN 6398 WALRUS (GRAY)
- STAINED WOOD: WINDOW AND DOOR SCREENS, WOOD DECK



SECTION B 1/4"=1'-0"



SECTION A 1/4"=1'-0"

HEALY RESIDENCE ADDITION

247 N CENTER STREET
ORANGE
CALIFORNIA, 92866

ELEVATIONS AND SECTIONS

DRAWN	JD
DATE	MAY 14, 2024
PROJECT NO.	
SCALE	AS NOTED
FILE	
SHEET	



© COPYRIGHT STUDIO D
UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED.
STUDIO D EXPRESSLY DISCLAIMS ANY RESPONSIBILITY
ARISING FROM ANY UNAUTHORIZED CHANGES OR USE
OF THESE PLANS, DRAWINGS, AND NOTES. ANY
AUTHORIZATION MUST BE APPROVED IN WRITING.

REVISIONS	DATE
△ PLANNING COMMENTS	8/13/24
△ CLARIFICATIONS	10/28/24
△	
△	
△	



1 VIEW LOOKING EAST



2 VIEW LOOKING NORTH-EAST



3 VIEW LOOKING EAST



4 VIEW LOOKING NORTH WEST



5 VIEW LOOKING SOUTH WEST



6 VIEW LOOKING SOUTH



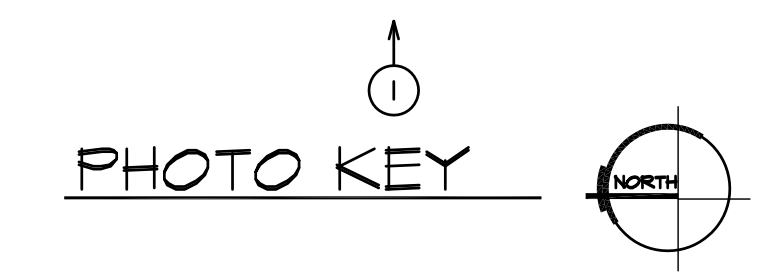
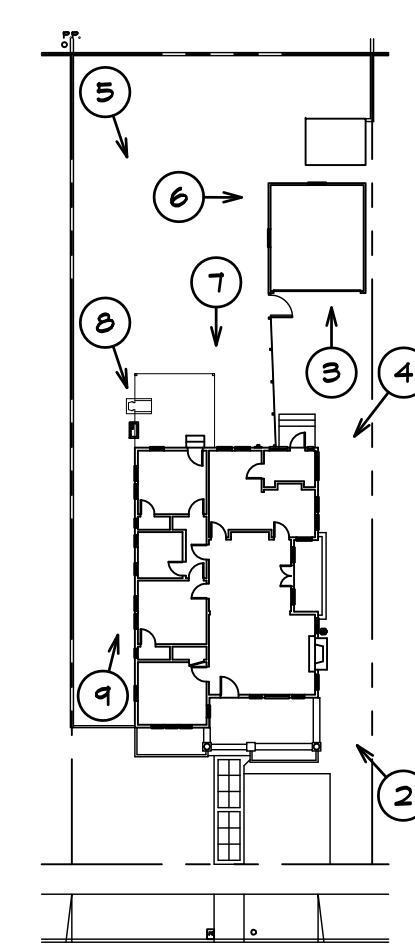
7 VIEW LOOKING WEST



8 VIEW LOOKING SOUTH-WEST



9 VIEW LOOKING SOUTH-EAST

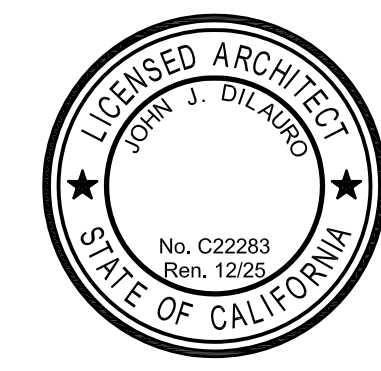


HEALY RESIDENCE ADDITION

247 N CENTER STREET
ORANGE
CALIFORNIA , 92866

EXISTING SITE PHOTOS

DRAWN	JD
DATE	MAY 14, 2024
PROJECT NO.	
SCALE	AS NOTED
FILE	
SHEET	



© COPYRIGHT STUDIO D
UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED.
STUDIO D EXPRESSLY DISCLAIMS ANY RESPONSIBILITY
ARISING FROM ANY UNAUTHORIZED CHANGES OR USE
OF THESE PLANS, DRAWINGS, AND NOTES. ANY
AUTHORIZATION MUST BE APPROVED IN WRITING.

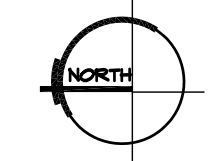
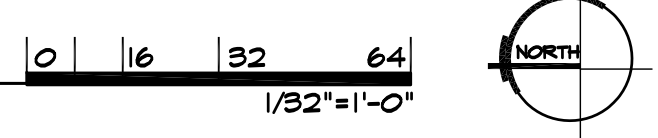
REVISIONS	DATE
△ PLANNING COMMENTS	8/13/24
△ CLARIFICATIONS	10/28/24
△	
△	
△	



ADDRESS	MAIN BUILDING	ACCESSORY STRUCTURE	ADU	TOTAL	SITE AREA	FLOOR AREA RATIO (F.A.R.)
225	1,600	1,296		2,896	6,750	.43
231	2,450	395		2,845	6,750	.42
241	1,530	894		2,424	6,750	.36
241 (PROPOSED)	1,504	373		1,877	6,750	.28
253, 253 1/2	1,150		1,450	1,150	6,750	.17
267	1,300			1,300	6,750	.19
273	1,602	336		1,938	6,750	.29
279	868	740		1,608	6,750	.24
289	1,080	313		1,393	6,750	.21
224	1,031	492		1,523	6,675	.23
232	1,366	318		1,684	6,675	.25
240, 240 1/2	1,600	810		2,410	6,675	.36
250	2,000			2,000	6,675	.30
258	1,380	620		2,000	6,675	.30
264	1,277			1,277	6,675	.19
272	1,236	478		1,714	6,675	.26
280	1,428	284		2,212	6,675	.33
288	456	826		1,742	6,675	.27
18 LOTS						5.08

TOTAL: 5.08 / 18 = .28 AVERAGE F.A.R.

OVERALL STREET PLAN



289 279 273 267 253 253 1/2 247 241 231 225



224 232 240 240 1/2 250 258 264 272 280 288

HEALY RESIDENCE ADDITION

247 N CENTER STREET
ORANGE
CALIFORNIA, 92866

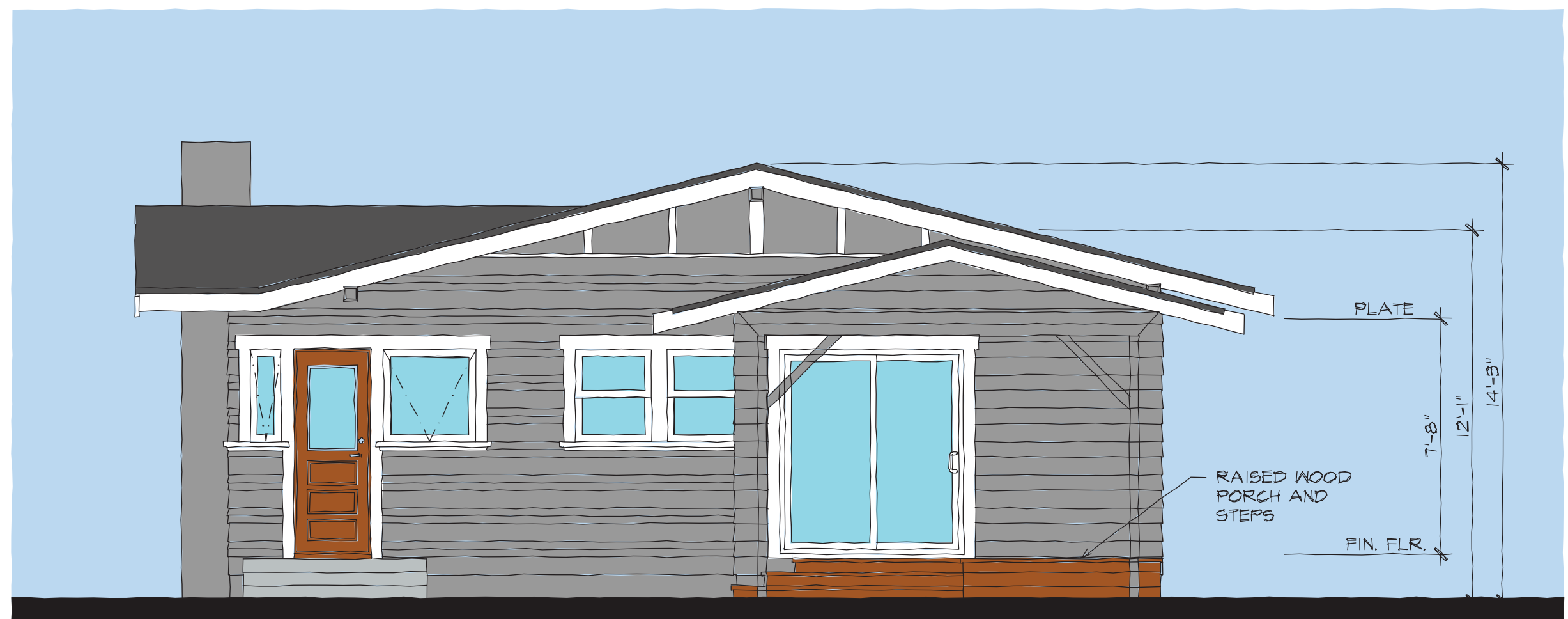
N CENTER ST.
F.A.R.
ANALYSIS

DRAWN	JD
DATE	MAY 14, 2024
PROJECT NO.	
SCALE	AS NOTED
FILE	
SHEET	

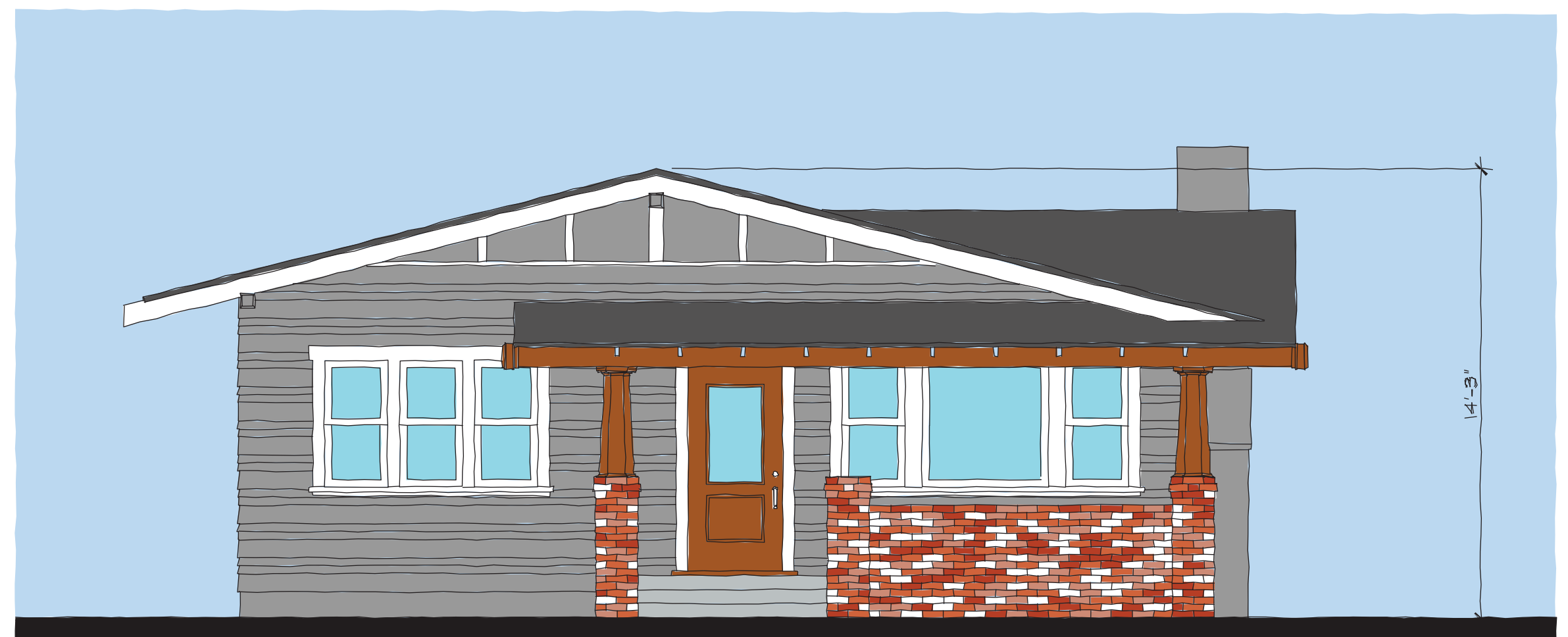


© COPYRIGHT STUDIO D
UNAUTHORIZED USE OF THESE PLANS IS PROHIBITED.
STUDIO D EXPRESSLY DISCLAIMS ANY RESPONSIBILITY
ARISING FROM ANY UNAUTHORIZED CHANGES OF USE
OF THESE PLANS, DRAWINGS, AND NOTES. ANY
AUTHORIZATION MUST BE APPROVED IN WRITING.

REVISIONS	DATE
△ PLANNING COMMENTS	8/13/24
△ CLARIFICATIONS	10/20/24
△	
△	
△	



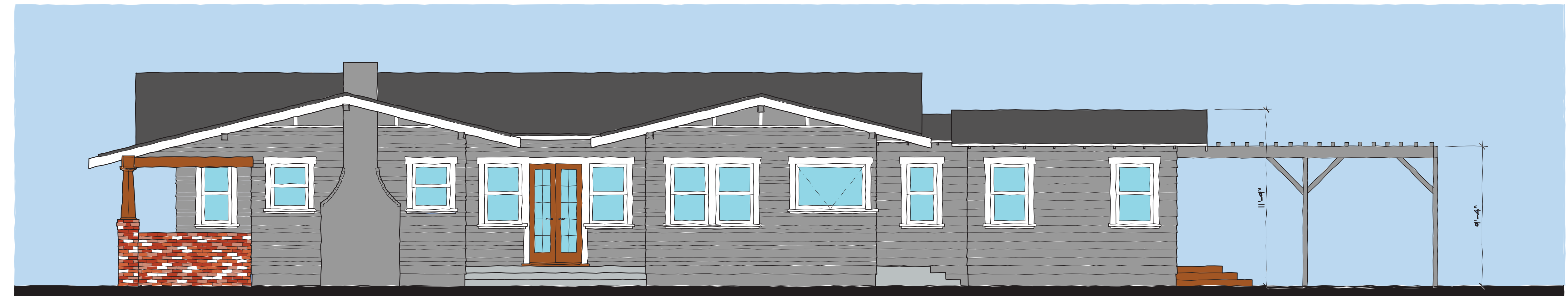
EAST ELEVATION 0 2 4 8
1/4"=1'-0"



WEST ELEVATION 0 2 4 8
1/4"=1'-0"



NORTH ELEVATION 0 2 4 8
1/4"=1'-0"



SOUTH ELEVATION 0 2 4 8
1/4"=1'-0"

HEALY RESIDENCE ADDITION

247 N CENTER STREET
ORANGE
CALIFORNIA, 92866

COLORED ELEVATIONS

DRAWN	JD
DATE	MAY 14, 2024
PROJECT NO.	
SCALE	AS NOTED
FILE	
SHEET	

State of California - The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
 PRIMARY RECORD

Primary # 30-159324
 HRI # 038690
 Trinomial ORA
 NRHP Status Code 1D

Other Listings:

Review Code: _____

Reviewer: _____

Date: _____

Page 1 of 3

*Resource Name or #: _____
 (Assigned by Recorder)

CENTER_N_247__APN_039-244-06

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: _____ Date: _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: 247 - N CENTER ST, # _____ City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ' _____ mE/ _____ mN

e. Other Locational Data: _____

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Wood siding

A single-story bungalow with ornamental lap siding and shallow-pitch, gable roof. One-half of the front facade is occupied by a porch overhang which is supported by elephantine piers.

*P3b. Resource Attributes: (HP2)--Single family property
 (List attributes and codes)

*P4. Resources Present: Building Structure Object Site Element of District District Other (Isolates, etc.)

P5b. Description of Photo: 2005
 (View, date, accession #)



*P6. Date Constructed/ Age and Source:

1919

Historic Prehistoric Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D. Matsumoto

Chattel Architecture
 13417 Ventura Blvd.
 Sherman Oaks, CA 91423

*P9. Date Recorded:

April, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005) Historic Resources Survey. AEGIS (1991) Historic Building Inventory Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments: NONE Location Map Continuation Sheet(s) Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

DPR 523A (1/95)

*Required Information

Page 2 of 3

*Resource Name or #: CENTER_N_247__APN_039-244-06
(Assigned by Recorder)

B1. Historic Name: Unknown

B2. Common Name: _____

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Bungalow

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1919 Historic Prehistoric Both

Since the 1982 survey, this structure has been altered with inappropriate brick porch addition. Altered as of 2005: Infilled/altered porch.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: _____

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Early Settlement (c. 1870 - 1920) Applicable Criteria: AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: Good Condition - Minor and reversible or appropriate changes to original structure.

Site Integrity: _____

Opportunities: _____

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
 CONTINUATION SHEET

Primary # 30-159324
 HRI # 038690
 Trinomial ORA

Page 3 of 3

*Resource Name or #:
 (Assigned by Recorder)

CENTER_N_247__APN_039-244-06

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
 Chattel Architecture
 13417 Ventura Blvd.
 Sherman Oaks, CA 91423

Date Recorded: April, 2005

Continuation Update

Years Surveyed: 1982, 1991, 2005

Description of Photo: 1991

Listed in National Register: 1997

General Plan: LDR # of Buildings: 1

Planning Zone: R-2-6 # of Stories: 1

Lot Acre: 0.1591 # of Units: 1

Principal Building Sqft: 1194

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):



INSPIRED DESIGN BEAUTIFULLY CRAFTED



SIERRA
PACIFIC
WINDOWS



100

FIVE BEAUTIFUL CHOICES, ONE EXACTING STANDARD.

Sierra Pacific windows and doors are crafted in four unique manufacturing styles. Each delivers its own design and performance advantages. In other words, there are no bad choices, only good ones.



ALUMINUM CLAD WOOD

The best of both worlds, combining beautiful wood inside with low maintenance aluminum cladding outside. Wood is select pine, or upgrade to one of eight other species, all protected by CoreGuard Plus® wood preservative. Double thick cladding is finished with a powder coating process that leads the industry in durability and environmental safety.



ALL-WOOD

For a classic, distinctive look, our all-wood windows and patio doors offer timeless elegance with exceptional thermal performance. As with all our wood products, long-term durability is ensured by CoreGuard Plus®, a leading wood treatment against rot and insects.



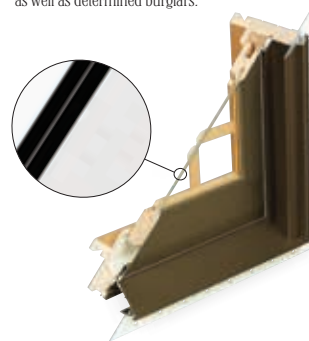
H3®

Inventive Fusion Technology™ integrates three components (extruded aluminum, vinyl and wood) into one perfect window with greater energy efficiency and performance. Double thick aluminum exteriors are protected by our industry-leading powder coated finishes, while the wood interior is preserved with CoreGuard Plus®.



FEELSAFE™

Our hurricane-resistant windows and patio doors feature high-strength, laminated glass, plus highly reinforced engineering and construction. They're built to withstand heavy storm impact as well as determined burglars.



VINYL

All the benefits of vinyl windows and patio doors with Sierra Pacific DNA, our vinyl new construction and replacement products offer many of the same features and design options as our premium wood products. Choose from a complete lineup of operating styles, sizes and shapes.



101

DESIGNED TO FIT EVERY VISION.

Sierra Pacific windows and doors come in a wide selection of operating styles. And the choices don't end there.

You also get to select wood type, hardware style and finish, cladding color and texture, glazing preference, grilles, screens and even more finishing touches. No matter what you choose, you get the superior performance only Sierra Pacific can deliver.

No divided lites



Photo courtesy of Moody Images.



CASEMENT



AWNING



SINGLE HUNG



DOUBLE HUNG



HORIZONTAL SLIDING



BOW & BAY



DIRECT GLAZE



GEOMETRIC SHAPES



SLIDING



SWINGING



BI-FOLD



MULTI SLIDE



LIFT & SLIDE



SIDELIGHTS & TRANSOMS



PIVOT



DUTCH & PANEL

A BREATH OF FRESH AIR.

A great choice when you want the fresh air of an open window even when it's raining, our awning windows are custom made, by hand, to your exact specifications. You'll notice the difference in how they look and how they operate.

Use them alone or combine them with other window configurations. They work especially well underneath a large picture window to provide ventilation.

As with our other windows, you'll find them available in a large selection of clad or all-wood styles.



FUNCTIONAL AND FLEXIBLE

No matter what windows you pair them with, our awning window designs can be customized with many grille pattern choices.



ENCORE HARDWARE



EXTERIOR TRIM Group A on page 17



Shown: 3.5" Brick

103

BEAUTIFUL FINISHES *Special order. Extended lead-time.



A TIMELESS CLASSIC WITH TIMELY UPDATES.

By themselves, they make a timeless statement. When configured with other Sierra Pacific windows, Sierra Pacific Premium Double Hung windows can turn an ordinary wall into an extraordinary vision.

Available in low maintenance aluminum clad exteriors and a gorgeous all-wood version, our Premium Double Hungs have two easy-tilt sashes for easy cleaning.



PREMIUM JAMBLINERS ARE STANDARD

Many other windows use an ugly vinyl jambliner. By using real wood, our jambliners become a concealed, fully-integrated part of the wood window interior.



EXTERIOR TRIM

Group A on page 17
Shown: 2" Brickmould

PREMIUM SASH

Premium double hung windows feature easy tilt-in sash for even easier cleaning.

HARDWARE



Matte Black



White



Oil Rubbed
Forever Bronze



Bronze



Champagne



Satin Nickel



Brushed Chrome



Antique Brass*



Bright Brass*

*Special order. Extended lead-time.



Optional sash lift handle



Shown with custom simulated archtop.

PERFECT TRANSITION THAT'S SURPRISINGLY SECURE.

Sierra Pacific Patio Sliding Doors create a graceful transition from your indoor to outdoor living areas. While providing the perfect solution for a space-saving opening, these doors feature a multi-point locking system, so they are as secure and durable as they are beautiful. Our gear mechanism is made from corrosion-resistant 300 Series Stainless Steel and our locking system has passed the most stringent forced entry requirements.



MECHANICS MAKE THE DIFFERENCE

Smooth as silk operation is provided by standard tandem stainless steel ball bearing rollers and a fully adjustable design.



David Lauer Photography



Oil Rubbed Forever Bronze



Satin Nickel



Optional keyed lock available in Satin Nickel, Oil Rubbed Forever Bronze and Matte Black.

CREATE SPACE WITHOUT USING SPACE

Build seamless passages up to four panels wide with standard narrow or French construction.



EXTERIOR TRIM

Group B on page 17

Shown: 3-5/8" Flat Casing

HARDWARE

Verona with 2170 Escutcheon



Genoa with 2165 Escutcheon



FINISHES

-  Matte Black
-  White
-  Oil Rubbed Forever Bronze
-  Oil Rubbed
-  Satin Nickel
-  Brushed Chrome
-  Polished Chrome
-  Antique Brass
-  Bright Brass

CONTEMPORARY FLUSH FINGER PULLS (optional)

This beautifully functional, contemporary hardware option is quickly becoming a favorite of many.

Sliding doors shown here are manufactured in our Cali with AAMA 2605 powder coat standard on exterior clad

Development Standards Reference Table
Single-Family Residential 6,000 Sq Ft (R-1-6) Zoning District

	Required/Permitted	Proposed	Code Section
<i>Lot Area</i>	8,000 square feet (minimum)	6,750 square feet (existing; no change proposed)	17.14.070
<i>Lot Frontage</i>	60 feet (minimum)	50 feet (existing; no change proposed)	17.14.070
<i>Lot Depth</i>	100 feet (minimum)	135 feet (existing; no change proposed)	17.14.070
<i>Setback, Front</i>	20 feet (minimum)	22 feet, 9 inches (existing; no change proposed)	17.14.070
<i>Setback, Side Interior</i>	5 feet (minimum)	10 feet, 6 inches (north) 30 feet, 6 inches (south)	17.14.070
<i>Setback, Street Side</i> <i>(for corner and reverse lots)</i>	10 feet (minimum))	N/A	17.14.070
<i>Setback, Rear</i>	20 feet	45 feet, 7 inches	17.14.070
<i>Building Height</i>	32 feet (maximum) 2 stories (maximum)	14 feet, 3 inches 1 story	17.14.070
<i>Floor Area Ratio (FAR)</i>	0.60 FAR (maximum)	0.28 FAR	17.14.070
<i>Usable Open Space</i>	1,000 square feet (minimum)	> 1,000 square feet	17.14.070
<i>Off-Street Parking</i>	2 enclosed garage spaces (up to four bedrooms)	Existing nonconforming detached garage to remain "as is." *The OMC only requires dwellings to comply only at such time as additions and alterations which increase the floor area by more than 25% or 500 square feet, whichever is greater, are carried out. The proposed 267 sq ft addition does not exceed 25% of the floor area	17.34.020 Table 17.34.060.A