



Chad Ortlieb
Principal Planner

Kirsten Shea
Sr. Assistant City Attorney

Schylar Moreno
Administrative Assistant

AGENDA

Design Review Committee June 18, 2025

5:30 PM Regular Session

City Council Chamber
300 E. Chapman Avenue
Orange, CA 92866

MARYANNE SKORPANICH
Chair

JERICO FARFAN
Vice Chair

ANNE MCDERMOTT
Committee Member

ROBERT GROSSE
Committee Member

GREG LEDESMA
Committee Member

MICHAEL LOPEZ
Committee Member

ADRIENNE GLADSON
Committee Member

Welcome to the Design Review Committee Meeting. Regular meetings of the City of Orange Design Review Committee are held the first and third Wednesday of each month at 5:30 p.m.

Agenda Information

The agenda contains a brief general description of each item to be considered. Written materials relating to an item on the agenda that are provided to the Design Review Committee (DRC) after agenda packet distribution and within 72 hours before it is to consider the item will be made available for public inspection in the City Clerk's Office located at 300 E. Chapman Avenue, Orange, during normal business hours; at the DRC meeting; and made available on the City's website at www.cityoforange.org.

Public Participation

Design Review Committee meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at www.cityoforange.org.

Pursuant to Government Code Section 54954.3, members of the public may address the Design Review Committee on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

1) In-person

To speak on an item on the agenda, complete a speaker card indicating your name, address, and identify the agenda item number or subject matter you wish to address. The card should be given to City staff prior to the start of the meeting. General comments are received during the "Public Comments" section at the beginning of the meeting. No action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker unless a different time limit is announced. It is requested that you state your name for the record, then proceed to address the Committee. All speakers shall observe civility, decorum, and good behavior.

(Continued on page 2)

2) Written Public Comments via eComment

Members of the public can submit their written comments electronically for the DRC's consideration by using the eComment feature on the Agenda page of the City's website at www.cityoforange.org. To ensure distribution to the DRC prior to consideration of the agenda, we encourage the public to submit written comments by 3:00 p.m. the day of the meeting. All written comments will be provided to DRC Members for consideration and posted on the City's website after the meeting.

3) Public Comments via recorded voicemail message

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Design Review Committee.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

ADA Requirements: In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours in advance of meeting will enable the City to make arrangements to assure accessibility to this meeting.

REMINDER: Please silence all electronic devices while DRC is in session.

APPEAL PROCEDURE

Any final determination by the Design Review Committee may be appealed, and such appeal must be filed within 7 calendar days after the action is taken. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of \$1,000.00.

The Community Development Department, upon filing of said appeal, will set petition for public hearing before the City Planning Commission at the earliest possible date.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Design Review Committee at, or prior to, the public hearing.

1. OPENING/CALL TO ORDER**1.1 PLEDGE OF ALLEGIANCE**

Committee Member Greg Ledesma

1.2 ROLL CALL**2. PUBLIC COMMENTS**

Opportunity for members of the public to address the Committee on matters not listed on the agenda which are within the subject matter jurisdiction of the DRC, provided that NO action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker.

3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

3.1. Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on June 4, 2025.**Recommended Action:**

Approve minutes as presented.

Attachments: [Staff Report](#)
 [June 4, 2025 Design Review Committee Meeting Minutes draft](#)

4. NEW BUSINESS**4.1. A request to add 307 square feet to a single-family home in the Old Towne Historic District located at 623 E. Washington Avenue. (Design Review No. 25-0007).****Recommended Action:**

Approval of Design Review No. 25-0007 by the Design Review Committee.

Attachments: [Staff Report](#)
 [Attachment 1 - Vicinity Map](#)
 [Attachment 2 - DPR Form](#)
 [Attachment 3 - Project Plans](#)

5. ADJOURNMENT

The next Regular Design Review Committee meeting will be held on Wednesday, July 2, 2025 at 5:30 p.m., in the Council Chamber.

I, Schyler Moreno, Administrative Assistant for the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Orange Main Public Library at 407 E. Chapman Avenue, Police facility at 1107 N. Batavia, and uploaded to the City's website www.cityoforange.org.

Date posted: June 12, 2025



Agenda Item

Design Review Committee

Item #: 3.1.

6/18/2025

File #: 25-0372

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Schyler Moreno, Administrative Assistant

1. SUBJECT

Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on June 4, 2025.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting(s).

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- June 4, 2025 Regular Meeting minutes



Agenda Item

Design Review Committee

Item #: 3.1.

6/18/2025

File #: 25-0372

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Schyler Moreno, Administrative Assistant

1. SUBJECT

Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on June 4, 2025.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting(s).

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- June 4, 2025 Regular Meeting minutes

MINUTES - DRAFT

City of Orange

Design Review Committee

June 04, 2025

The Design Review Committee of the City of Orange, California convened on June 4, 2025, at 5:30 p.m. in a Regular Meeting in the Council Chamber, 300 E. Chapman Avenue, Orange, California.

1. OPENING/CALL TO ORDER

Chair Skorpanich called the meeting to order at 5:30 p.m.

Item 1.2 was previously re-ordered to be heard before Item 1.1.

1.2 ROLL CALL

Present: Farfan, McDermott, Grosse, Ledesma, Lopez, Gladson, and Skorpanich

Absent: None

1.1 PLEDGE OF ALLEGIANCE

Committee Member Grosse led the flag salute.

2. PUBLIC COMMENTS

Laura Thomas spoke regarding a project located on Grovewood Lane.

3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

3.1. Approval of minutes of the City of Orange Design Review Committee Regular Meeting held on May 7, 2025.

ACTION: Approved minutes as presented.

Approval of the Consent Calendar

A motion was made by Committee Member McDermott, seconded by Committee Member Grosse, to approve the Consent Calendar. The motion carried by the following vote:

Ayes: Farfan, McDermott, Grosse, Ledesma, Lopez, Gladson, and Skorpanich

Noes: None

Absent: None

4. NEW BUSINESS

4.1. A request to add 491 square feet to a single-family home in the Old Towne Historic District located at 345 S. Pixley Street. (Design Review No. 5145).

Public Speakers:

The following spoke about the project:

Diana Zdenek (on behalf of Old Towne Preservation Association).

The following spoke on behalf the project:

Scott Suno, Applicant; Richard Suno, Applicant.

The Committee discussed the project plans and requested additional information from the applicant.

A motion was made by Committee Member McDermott, seconded by Committee Member Lopez, to continue Design Review No. 5145 to the August 6, 2025 Regular Design Review Committee Meeting. The motion carried by the following vote:

Ayes: Farfan, McDermott, Grosse, Ledesma, Lopez, Gladson, and Skorpanich

Noes: None

Absent: None

The Design Review Committee recessed at 6:43 p.m.

The Design Review Committee reconvened at 6:48 p.m.

4.2. A request for the renovation of an existing building at 1036 W. Taft Avenue (Design Review No. 5161).

Public Speakers:

The following spoke on behalf of the project:

Don Sherman, Applicant; Adrien Ben, Architect.

The following spoke in opposition to the project:

Chuck Noble.

A motion was made by Chair Skorpanich, seconded by Committee Member Gladson, to approve Design Review No. 5161 with the following additional conditions:

The Architectural Site Plan (Sheet G104) is to show the removal of the tree in front of the monument structure at the entrance ramp on the north side of the building.

The applicant is to move or omit the proposed bollards in the parking lot in the "No Parking" zone in front of the elevator shaft addition.

The project applicant is to plant a living plant on the proposed nature screen on the north elevation of the building and the proposed elevator shaft addition. Artificial greenery is prohibited on the proposed nature screens. All nature screens are to keep their existing height and be extended down to the ground elevation.

At least two new trees of species, *Platanus racemosa* (Western Sycamore) or similar,

shall be planted as replacement trees. The proposed Crepe Myrtle trees are to be removed from the plans. The size and location of the replacement Sycamore trees is to be to the satisfaction of the Planning division staff.

Landscape maintenance shall be performed in such a manner as to allow all trees to retain their full canopy height for screening and full canopy breadth for shade at point of maturity, except as required for public safety purposes.

The applicant is to consider placing the proposed HVAC equipment on top of the sprinkler riser room portion of the proposed addition.

The motion carried by the following vote:

Ayes: Farfan, McDermott, Grosse, Ledesma, Lopez, Gladson, and Skorpanich

Noes: None

Absent: None

5. ADJOURNMENT

There being no further business, the meeting was adjourned at 7:34 p.m.

The next Regular Design Review Committee meeting will be held on Wednesday, June 18, 2025 at 5:30 p.m., in the Council Chamber.

Chad Ortlieb
Principal Planner



Agenda Item

Design Review Committee

Item #: 4.1.

6/18/2025

File #: 25-0338

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Angelo Huang, Assistant Planner

1. SUBJECT

A request to add 307 square feet to a single-family home in the Old Towne Historic District located at 623 E. Washington Avenue. (Design Review No. 25-0007).

2. SUMMARY

The applicant proposes replacing a non-contributing patio cover and adding a total of 307 square feet to an existing single-family home located at 623 E. Washington Avenue. The property is located in the Old Towne Historic District, and it is designated as a contributing property.

3. RECOMMENDED ACTION

Approval of Design Review No. 25-0007 by the Design Review Committee.

4. BACKGROUND INFORMATION

Applicant: Rick Fox

Owner: Michael Doting

Property Location: 623 E. Washington Avenue

General Plan Designation: Low Density Residential 2-6 du/ac (LDR)

Zoning Classification: Single Family Residential 6,000 square feet (R-1-6)

Existing Development: 1,538-square-foot single family residence with a detached garage

Associated Application: None

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

This project includes:

- First floor addition of 217 square feet behind a single-family home. The addition accomodates a bedroom, but no new bedrooms will result.
- Reconfiguration of the half story above and converting 90 square feet of attic space to conditioned area. The reconfiguration remains within the exisitng footprint of the home.
- Demolish and reconstruct a new patio cover with a raised deck

- Remodel of the interior first floor and relocation of the stairs to the half story above.

6. EXISTING SITE

The site is developed a 1,538-square-foot Craftsman style bungalow home and 390-square-foot detached garage. The home features a side facing gable roof with exposed rafters and a front facing dormer gable. The exterior materials consists of three-inch clapboard wood siding and asphalt shingle roofing. The home was constructed circa 1915 and is a contributor to the Old Towne Historic District.

7. EXISTING AREA CONTEXT

The building is located on the 600 block of East Washington Avenue between Shaffer and Harwood Street and outside of the Downtown Plaza Core. The surrounding properties on the block consist of single-family homes. The block consists of several contributing properties and the average Floor Area Ratio (FAR) of the block is 29.90 percent.

8. ANALYSIS OF THE PROJECT

The addition matches the style, color, and materials of the home. The addition is proposed at the rear of the home and is not street visible. The addition provide points of demarcation by having an inset from the original home as well as a five-inch exposed siding compared to the historic three-inch siding. The total height of the addition is subordinate to the original home and the proposed patio is not attached to the historic structure. The project meets all zoning code requirements as specified in the development standards table on the project plans.

The 29.9 percent FAR proposed equals the average FAR of the block. Hence, the addition is an acceptable increase in square feet given that it occurs at the rear of the property.

Staff recommends that the Design Review Committee (DRC) approve the proposal.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 300 feet of the project on or before June 5, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of a small addition to an existing single-family home. There is no environmental public review required for a Categorical Exemption.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for

the project.

The proposed project is in conformance with the Historic Preservation Design Standards (HPDS), which are the prescriptive design criteria for projects within the Old Towne Historic District. The proposed rear addition is subordinate to the existing building and is not visible from the street. It is compatible with the mass, scale, and roof form of the historic building and would not affect the appearance of the Historic District.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The project is in conformance with the HPDS. Projects found to be in conformance with the HPDS are generally considered to be in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.

The project upholds community aesthetics through an internally consistent and integrated design theme. The proposed project is in conformance with the Historic Preservation Design Standards (HPDS), which are the prescriptive design criteria for projects within the Old Towne Historic District. The proposed rear addition is subordinate to the existing building and is not visible from the street. It is compatible with the mass, scale, and roof form of the historic building and would not affect the appearance of the Historic District. The inset and proposed siding creates clear distinction between the addition and the original home. The 29.9 percent FAR proposed equals the average FAR of the block. Hence, the addition is an acceptable square-foot increase given that the addition occurs at the rear of the property.

13. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans (date stamped approved June 18, 2025, and in the project case file), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. After the application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting. If the Community Development Director determines that any proposed change is substantial, he may refer the plans to the Design Review Committee for subsequent review and determination.
2. The applicant agrees, as a condition of City's approval of Design Review No. 25-0007, to

indemnify, defend, and hold harmless, at applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action or proceeding brought against the City, including, but not limited to, any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act ("CEQA") or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action or proceeding. City may, in its sole discretion, participate in the defense of any claim, action or proceeding but such participation shall not relieve applicant of the obligations of this condition. In the event the applicant is required to defend City in connection with such claim, action or proceeding, City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgment rendered in the proceeding. Further, applicant agrees to indemnify, defend and hold harmless the City for all costs and expenses incurred in enforcing this provision.

3. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060

14. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - DPR Form
- Attachment 3 - Project Plans



Agenda Item

Design Review Committee

Item #: 4.1.

6/18/2025

File #: 25-0338

TO: Chair and Members of the Design Review Committee

THRU: Chad Ortlieb, Principal Planner

FROM: Angelo Huang, Assistant Planner

1. SUBJECT

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2. SUMMARY

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3. RECOMMENDED ACTION

Approval of Design Review No. 25-0007 by the Design Review Committee.

4. BACKGROUND INFORMATION

Applicant: Rick Fox

Owner: Michael Doting

Property Location: 623 E. Washington Avenue

General Plan Designation: Low Density Residential 2-6 du/ac (LDR)

Zoning Classification: Single Family Residential 6,000 square feet (R-1-6)

Existing Development: 1,538-square-foot single family residence with a detached garage

Associated Application: None

Previous DRC Project Review: None

5. PROJECT DESCRIPTION

This project includes:

- First floor addition of 217 square feet behind a single-family home. The addition accommodates a bedroom, but no new bedrooms will result.
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6. EXISTING SITE

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7. EXISTING AREA CONTEXT

The building is located on the 600 block of East Washington Avenue between Shaffer and Harwood Street and outside of the Downtown Plaza Core. The surrounding properties on the block consist of single-family homes. The block consists of several contributing properties and the average Floor Area Ratio (FAR) of the block is 29.90 percent.

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The 29.9 percent FAR proposed equals the average FAR of the block. Hence, the addition is an acceptable increase in square feet given that it occurs at the rear of the property.

Staff recommends that the Design Review Committee (DRC) approve the proposal.

9. ADVISORY BOARD RECOMMENDATION

None.

10. PUBLIC NOTICE

Notice was provided to owners and tenants within 300 feet of the project on or before June 5, 2025, and the site was posted with a notice on or before that date.

11. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of a small addition to an existing single-family home. There is no environmental public review required for a Categorical Exemption.

12. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC make a final determination on the proposed project with recommended conditions (Orange Municipal Code 17.10.070.G).

1. In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for

the project.

The proposed project is in conformance with the Historic Preservation Design Standards (HPDS), which are the prescriptive design criteria for projects within the Old Towne Historic District. The proposed rear addition is subordinate to the existing building and is not visible from the street. It is compatible with the mass, scale, and roof form of the historic building and would not affect the appearance of the Historic District.

2. In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines.

The project is in conformance with the HPDS. Projects found to be in conformance with the HPDS are generally considered to be in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

3. The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.

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13. CONDITIONS

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1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans (date stamped approved June 18, 2025, and in the project case file), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. After the application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting. If the Community Development Director determines that any proposed change is substantial, he may refer the plans to the Design Review Committee for subsequent review and determination.
2. The applicant agrees, as a condition of City's approval of Design Review No. 25-0007, to

indemnify, defend, and hold harmless, at applicant's expense, the City, its officers, agents, and employees ("City") from and against any claim, action or proceeding brought against the City, including, but not limited to, any claim, action or proceeding commenced within the time period provided in Government Code Section 66499.37 to attack, review, set aside, void or annul the City's approval, to challenge the determination made by the City under the California Environmental Quality Act ("CEQA") or to challenge the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify applicant of any such claim, action or proceeding to which the City receives notice and to cooperate fully with the applicant in the defense thereof. Applicant shall reimburse the City for any and all costs and expenses, including, but not limited to, court costs and attorney's fees that the City may be required to pay, including any expenses ordered by a court or expenses incurred through the Office of the City Attorney in connection with said claim, action or proceeding. City may, in its sole discretion, participate in the defense of any claim, action or proceeding but such participation shall not relieve applicant of the obligations of this condition. In the event the applicant is required to defend City in connection with such claim, action or proceeding, City shall have the right to approve counsel to so defend the City, approve all significant decisions concerning the manner in which the defense is conducted and approve any all settlements, which approval(s) shall not be unreasonably withheld. The obligations set forth herein remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgment rendered in the proceeding. Further, applicant agrees to indemnify, defend and hold harmless the City for all costs and expenses incurred in enforcing this provision.

3. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use may be cause for revocation of this permit.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060

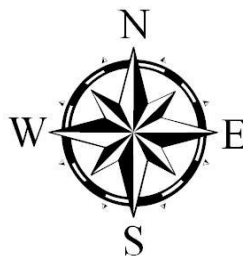
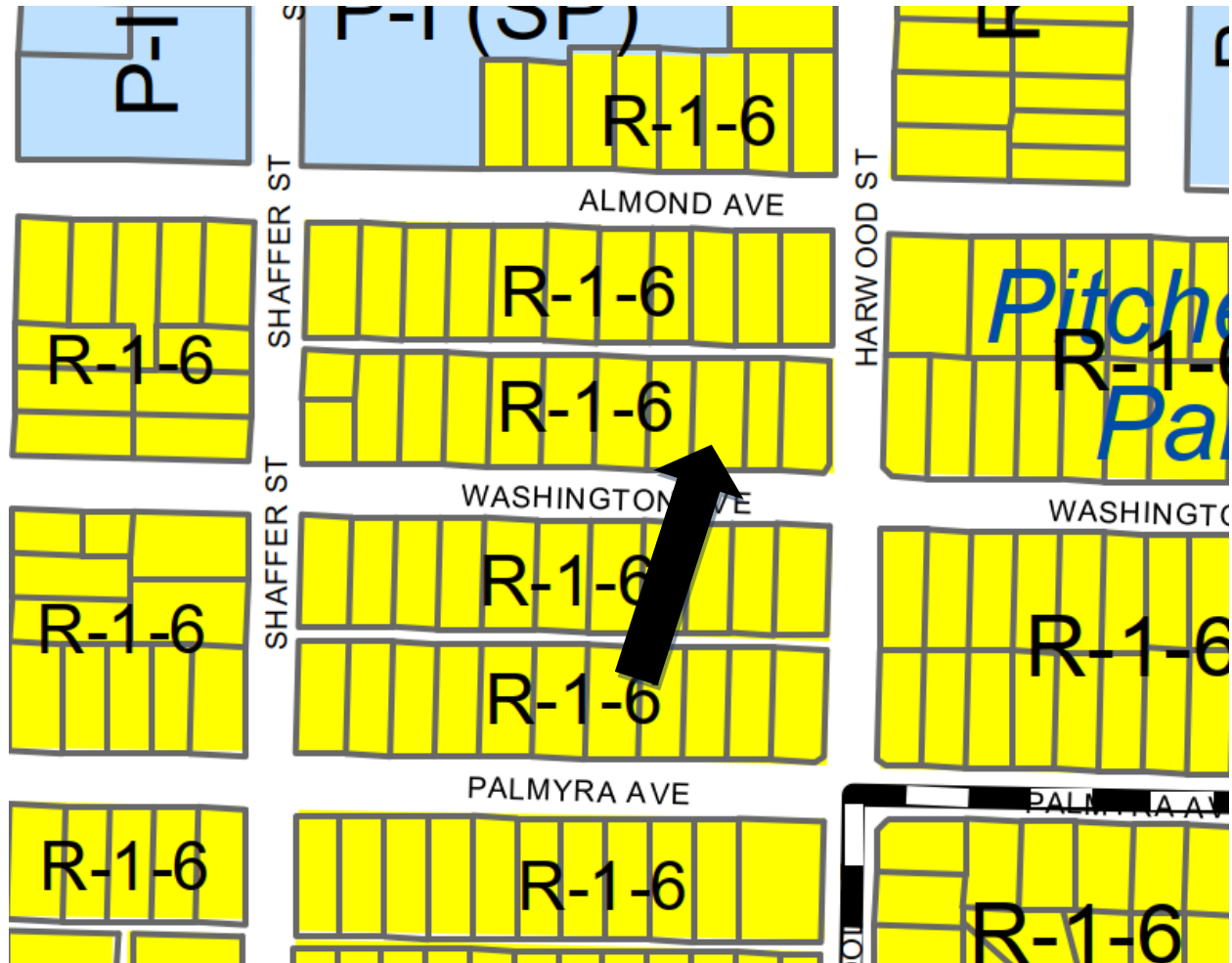
14. ATTACHMENTS

- Attachment 1 - Vicinity Map
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- Attachment 3 - Project Plans

Vicinity Map

623 E. Washington Avenue

Design Review No. 25-0007



CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 30-159253

HRI # 038619

Trinomial ORA

NRHP Status Code 1D

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

WASHINGTON_E_623__APN_390-431-14

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 623 - E WASHINGTON AVE , # City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone ' mE/ mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Wood siding

A one and one-half story house with clapboard siding and single-gable roof with side-facing gables. A smaller, front-facing dormer gable is also present. It is ornamented with jigsaw brackets and an ornamentally framed vent. The main roof extends forward to form the full-width porch overhang and is supported by piers with concrete bases and wood posts on top. Entry is just off center and is flanked on either side by a l

*P3b. Resource Attributes: (HP2)--Single family property
(List attributes and codes)

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☒ Element of District ☐ District ☐ Other (Isolates, etc.)

P5b. Description of Photo: 2005

(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1915

☒ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto

Chattel Architecture

13417 Ventura Blvd.

Sherman Oaks, CA 91423

*P9. Date Recorded:

April, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet(s) ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

DPR 523A (1/95)

*Required Information



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # 30-159253
HRI # 038619
*NRHP Status Code 1D

Page 2 of 3

*Resource Name or #: WASHINGTON_E_623__APN_390-431-14
(Assigned by Recorder)

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Craftsman

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1915 ☒ Historic ☐ Prehistoric ☐ Both

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Early Settlement (c. 1870 - 1920) Applicable Criteria: AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: Excellent Condition - No apparent change to original structure.

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 30-159253
HRI # 038619
Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

WASHINGTON_E_623__APN_390-431-14

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: April, 2005

☒ Continuation ☐ Update

Years Surveyed: 1982, 1991, 2005

Listed in National Register: 1997

General Plan: LDR # of Buildings: 1

Planning Zone: R-2-6 # of Stories: 2

Lot Acre: 0.1872 # of Units: 1

Principal Building Sqft: 1493

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

arge, fixed-pane picture window with transom.

Description of Photo: 1991



PLOT DATE: 29 JAN 2025
S:\Dcad\DWG\Dotting\DD\24-14_DD_Cover

CITY OF ORANGE RESIDENTIAL PROJECT SUMMARY TABLE

EXISTING USE	PROPOSED USE	ZONING DESIGNATION	GENERAL PLAN DESIGNATION	OVERLAY DISTRICT
SINGLE FAMILY RESIDENTIAL	SINGLE FAMILY RESIDENTIAL	R-1-6	LDR 2-6 DU	OLD TOWNE NR HISTORIC

DESCRIPTION	OMC SECTION	REQUIRED	EXISTING	PROPOSED	<div><div><div>■ YES</div><div>□ NO</div></div></div>	N/A
					CONFORMS YES / NO	NOT APPLICABLE
LOT AREA	17.14.070 & 17.14.080	6,000 SF	7,609	7,609	■	
LOT WIDTH	17.14.070 & 17.14.080	60'	60'	60'	■	..
LOT DEPTH	17.14.070 & 17.14.080	100'	127'	127'	■	..
MAX. BUILDING HEIGHT Use Average Finished Grade as defined in the "BUILDING HEIGHT" definition from OMC Section 17.04.021(B).	17.14.070	32'	22'-3"	22'-3"	■	..
	17.14.100 (FOR R-3 & R-4)	..	..	..	□	N/A
SETBACKS	17.14.070 & 17.14.090	..	..	..		..
Front Yard	17.14.070 & 17.14.090	20'	26'-10"	26'-10"	■	..
Rear Yard	17.14.070 & 17.14.090	20'	62'-9"	47'-3"	■	..
Side Yard (WEST)	17.14.070 & 17.14.090	5'	18'-0"	18'-5"	■	..
Side Yard (EAST)	17.14.070 & 17.14.090	5'	11'-2"	11'-2"	■	..
LOT COVERAGE (LOT < 10,000 SF)	17.14.070	0.60	..	..	■	..
FLOOR AREA RATIO (FAR) Utilize GROSS FLOOR AREA (Include ALL Accessory Structures)	17.14.070	0.60	0.264	0.299	□	..

Minimum Unit Size (R-3 & R-4 zones)	17.14.130 & 17.14.140	□	N/A
-------------------------------------	-----------------------	----	----	----	---	-----

REQUIRED OPEN SPACE	17.14.070 & 17.14.110	..	..	..		..
Private	17.14.110	900 SF	2,245 SF	2,006 SF	■	..
Common	17.14.110	..	..	..	□	N/A

LANDSCAPING For landscaping standards refer to Page 26-28 of the CITY OF ORANGE LANDSCAPE STANDARDS & SPECIFICATIONS	16.50	..	..	..	□	..
Front Yard	16.50 & 17.12.040 (E)	..	..	..	□	..
Rear Yard	16.50 & 17.12.040 (E)	..	..	..	□	..
Interior Side Yard	16.50 & 17.12.040 (E)	..	..	..	□	..
Street Side Yard (if applicable)	16.50 & 17.12.040 (E)	..	..	..	□	..

MULTI-FAMILY	16.50	..	..	..
Adjacent to perpendicular parking (Multi Family)	16.50	..	..	..	□	N/A
Parking area screening from a public street with 5-gallon shrubs, 3 feet on center	16.50	..	..	..	□	N/A
Trash Enclosures require a 4-foot wide landscape planter on at least 2 sides	16.50	..	..	..	□	N/A
Trees required, unless: *determined otherwise through Site Plan AND Design Review	16.50	..	..	..	□	N/A
Trees to be removed	16.50	..	..	..	□	N/A
Existing Trees to be Preserved	16.50	..	..	..	□	N/A
Trees to be added	16.50	..	..	..	□	N/A
25-percent shall be 24-in box	16.50	..	..	..	□	N/A
75-percent shall be 15-gallon containers	16.50	..	..	..	□	N/A
Shrubs shall be 5-gallon except for groundcover	16.50	..	..	..	□	N/A
Shrubs are encouraged at the foundation lines of all building elevations seen from the street in 4-foot min width planters. Shrubs shall be 3-feet on center	16.50	..	..	..	□	N/A
Street trees required as determined by the Design Review process	16.50	..	..	..	□	N/A
Percent of Parking Area	16.50	..	..	..	□	N/A
IRRIGATED AREA TOTAL	16.50	..	..	..	□	N/A
Irrigated Area Added	16.50	..	..	..	□	N/A
Irrigated Area Removed	16.50	..	..	..	□	N/A

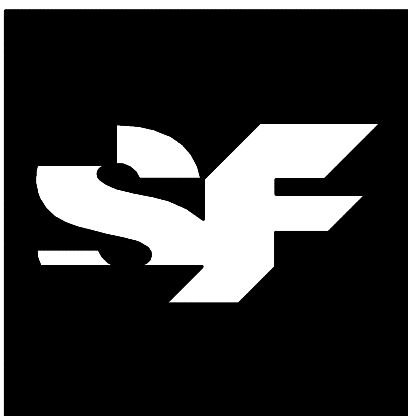
FENCE HEIGHT	17.12.070	..	..	..		..
Front Yard (When within FYSB)	17.12.070 (B)	3'-6"	..	..	■	..
Interior Side Yard(s)	17.12.070 (B)	6' MAX	..	..	■	..
Street Side Yard	17.12.070 (B)	..	..	..	□	N/A
Rear Yard	17.12.070 (B)	6' MAX	■	..

PARKING	17.14.200 & 17.34	■	..
---------	-------------------	----	----	----	---	----

TRASH ENCLOSURE (Multi-Family only)	16.50	□	N/A
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LIGHTING	17.12.030	□	..
Kelvins	17.12.030	□	..
Fixture Type / Blinder	17.12.030	□	..
Parking Lot Footcandles	17.12.030 (J)	□	..

STRATOS FORM



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275 SOUTH GLASSSELL STREET
ORANGE, CALIFORNIA 92866
TEL: 714 628-0777
FAX: 714 628-0797

RICK FOX, ARCHITECT
CAROL TINK- FOX, ARCHITECT

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A RESIDENTIAL REMODEL & ADDITION FOR:

MIKE & NANCY DOTING

623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

COVER SHEET - T2
SUMMARY TABLES

MILESTONES:

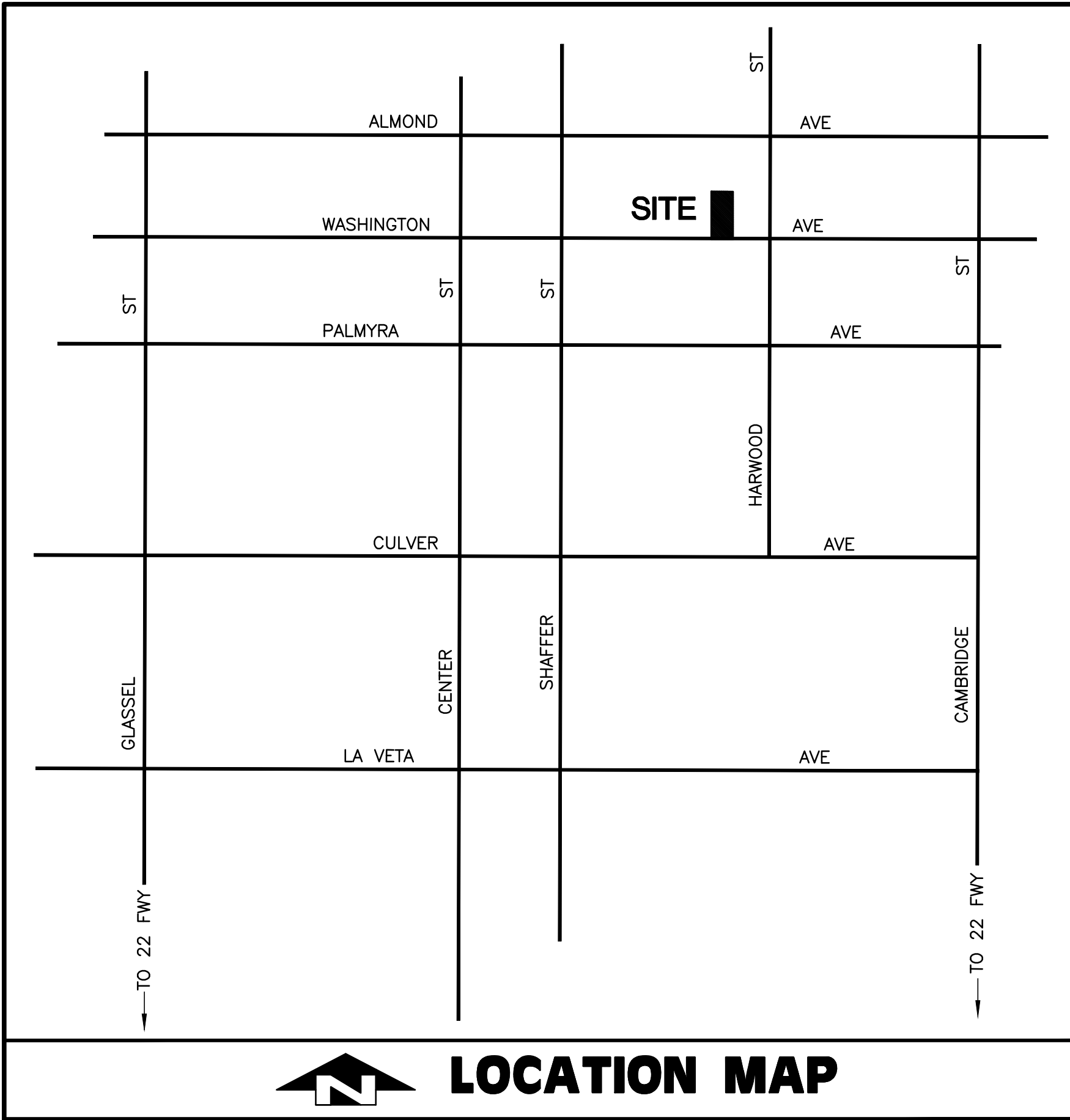
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REVISIONS:

△ ..
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SHEET

T2



LEGEND

A.C.	ASPHALT CONCRETE	S.D.	STORM DRAIN
A.P.W.A.	AMERICAN PUBLIC WORKS ASSOCIATION	S.D.M.H.	STORM DRAIN MANHOLE
A.U.	AIRCONDITIONING UNIT	S.G.	SUB-GRADE ELEVATION
B.C.	BEGIN CURVE	S.M.H.	SEWER MANHOLE
B.F.F.	BASEMENT FINISH FLOOR ELEVATION	S.S.	SANITARY SEWER
B.F.S.	BASEMENT FINISH SURFACE ELEVATION	STA.	STATION
B.M.	BENCH MARK	SLPB	STREET LIGHT PULL BOX
B.O.E.	BOTTOM OF EAVE ELEVATION	SLT	STREET LIGHT
B.O.F.	BOTTOM OF FOOTING ELEVATION	S/W	SIDEWALK
B.O.S.	BOTTOM OF SLOPE ELEVATION	T/A	TRASH AREA
B.V.C.	BEGIN VERTICAL CURVE	T.B.	TOP OF BERM ELEVATION
B.W.	BACK OF WALK ELEVATION	T.B.M.	TEMPORARY BENCH MARK
C.B.	CATCH BASIN	T.C.	TOP OF CURB ELEVATION
C.B.F.	CURB FACE	T.F.	TOP OF FOOTING ELEVATION
C.I.P.	CAST IRON PIPE	T.G.	TOP OF GRATE ELEVATION
C/L	CENTERLINE	T.O.C.	TOP OF CHIMNEY ELEVATION
C.L.F.	CHAIN LINK FENCE	T.O.G.	TOP OF GLASS ELEVATION
C. & G.	CURB & GUTTER	T.P.	TOP OF PILASTER ELEVATION
C.O.	CLEANOUT	T.R.P.	TOP OF ROOF PARAPET ELEVATION
CONC.	CONCRETE	T.S.	TRAFFIC SIGNAL
D/A	DRIVEWAY APPROACH	T.S.W.	TOP OF STEM WALL ELEVATION
D.I.P.	DUCTILE IRON PIPE	T.W.	TOP OF WALL ELEVATION
D.L.	DAYLIGHT LINE	V.C.	VERTICAL CURVE
D.S.	DOWN SPOUT	VER.	VERIZON
D.S.C.O.	DOWN SPOUT CLEAN-OUT	V.P.	VINE POCKET
D.W.M.	DOMESTIC WATER METER	W/F	WATER FILTER
D.W.Y.	DRIVEWAY	W/H	WATER HEATER
E.C.	END CURVE	W.I.	WROUGHT IRON
E.V.C.	END VERTICAL CURVE	W.M.	WATER METER
EX.	EXISTING		
F.F.	FINISH FLOOR ELEVATION	()	TEXT WITHIN PARANTHESES INDICATES EXISTING ELEVATION OR FEATURE.
F.H.	FIRE HYDRANT		
F.L.	FLOWLINE ELEVATION		
F.S.	FINISHED SURFACE ELEVATION		
FTN.	FOUNTAIN		
F.W.	FIRE WATER		
G.B.	GRADE BREAK		
G.F.S.	GARAGE FINISH SURFACE ELEVATION		
G.M.	GAS METER		
H.L.	HOUSE LATERAL		
H.P.	HIGH POINT ELEVATION		
INV.	INVERT ELEVATION		
I.W.M.	IRRIGATION WATER METER		
L.P.	LOW POINT ELEVATION		
L.S.E.	LANDSCAPE EDGING		
M/B	MAIL BOX		
M.H.	MANHOLE		
M.O.C.	MIDDLE OF CURVE		
O.H.W.	OVERHEAD WIRE(S)		
P/A	PLANTER AREA		
P.B.	PULL BOX		
PKWY.	PARKWAY		
P/L	PROPERTY LINE		
P.P.	POWER POLE		
P.R.C.	POINT OF REVERSE CURVE		
P.V.M.T.	PAVEMENT		
R.D.	ROOF DRAIN		
R.L.	RIDGE LINE		
R.R.T.	RAILROAD TIE		
R/W	RIGHT-OF-WAY		

BENCH MARK:

DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "30-139-79", SET IN THE NORTHWESTERLY CORNER OF A 4 FT. BY 4.5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF CHAPMAN AVENUE AND CAMBRIDGE STREET, 33 FT. EASTERLY OF THE CENTERLINE OF CAMBRIDGE AND 9.4 FT. SOUTHERLY OF THE SOUTHERLY END OF THE SOUTHEASTERLY CURB RETURN. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION = 210.167 , NAVD88, 2010

LEGAL DESCRIPTION:

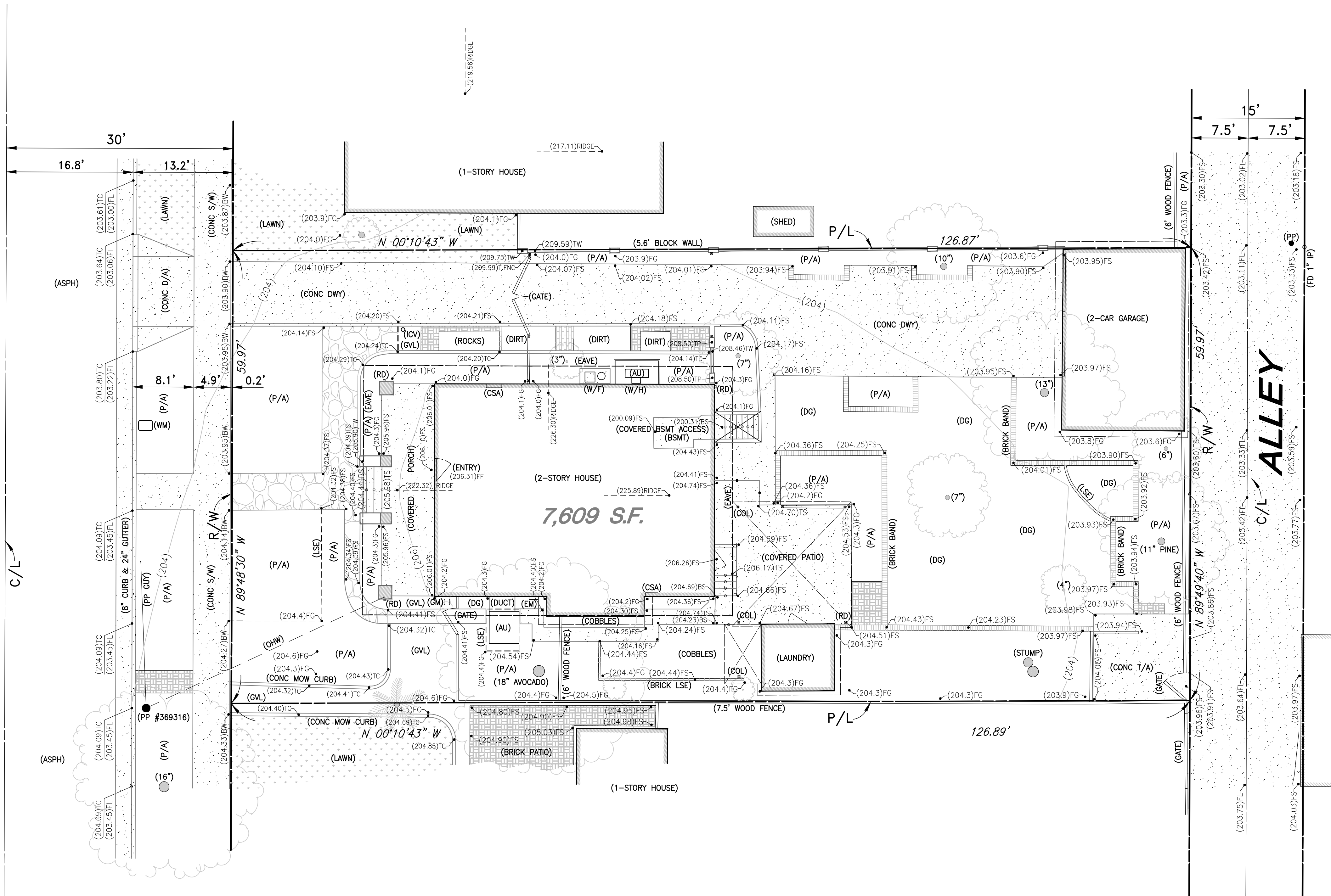
LOTS 18 AND 20 IN BLOCK "A" OF THE "COSART ADDITION TO THE CITY OF ORANGE" AS PER MAP THEREOF RECORDED IN BOOK 3, PAGE 24 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THE EAST 40 FEET OF SAID LOT 20.

APN 390-431-14

WASHINGTON AVENUE

WASHINGTON AVENUE



PREPARED BY:

PGA Consultants, Inc.

CIVIL ENGINEERING & SURVEYING

34 GEORGETOWN

IRVINE • CALIFORNIA • 92612

65859 JANUARY 19, 2025

R.C.E. No. DATE



DIGALERT

DIAL TOLL FREE 811 or 1-800-422-4133 AT LEAST TWO DAYS BEFORE YOU DIG

UNDERGROUND SERVICE ALERT(USA) OF SOUTHERN CALIFORNIA

CITY OF ORANGE
OFFICE OF THE CITY ENGINEER

TOPOGRAPHIC SURVEY

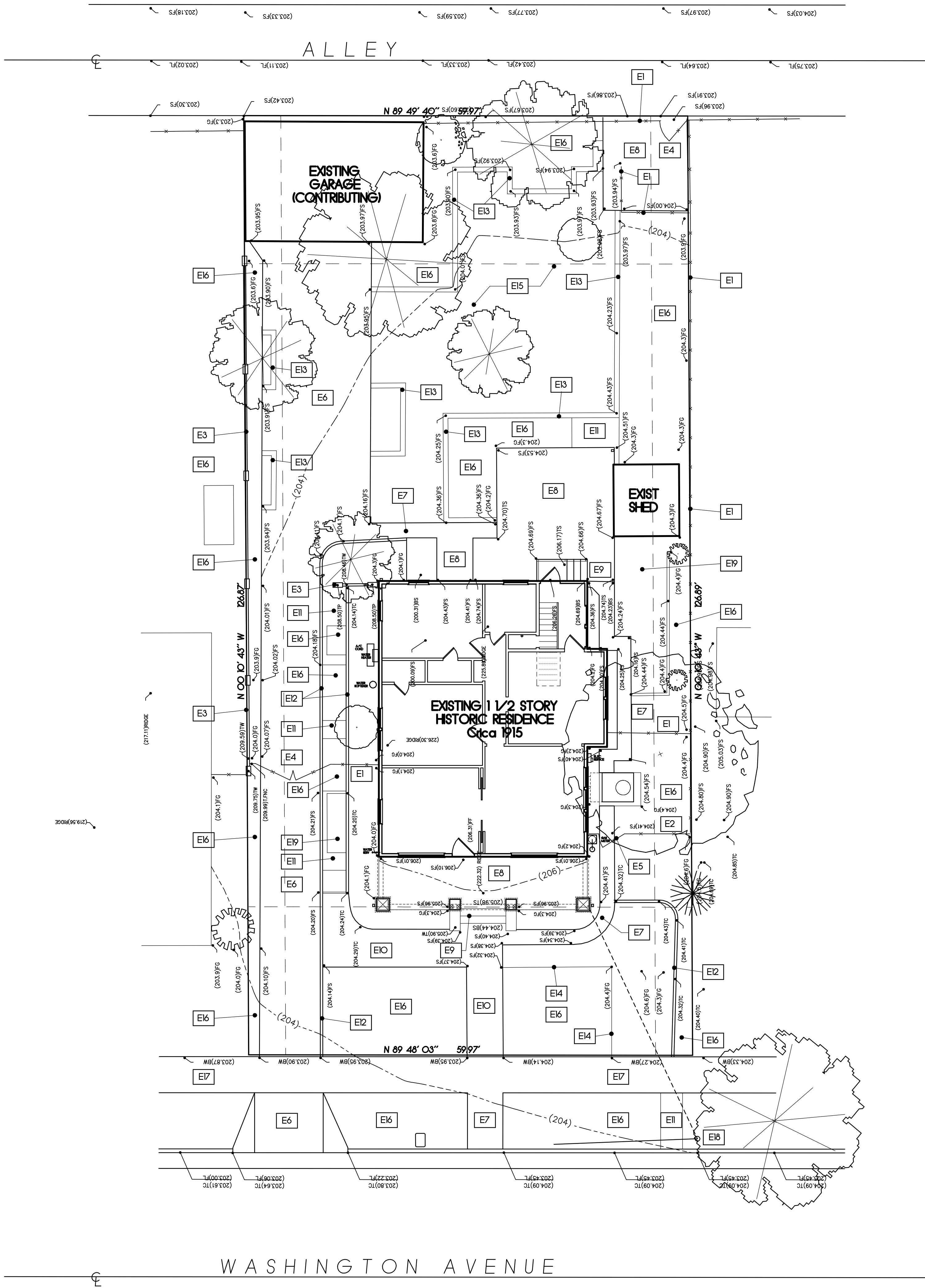
623 EAST WASHINGTON AVENUE

SCALE: HORIZ.: 1/8"=1' VERT.: N/A

SHEET No. **C1** OF **1**

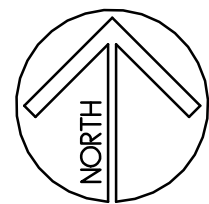
DRAWN BY: RG PROJECT NUMBER

CHECKED BY: TT



KEYNOTES

- E1 EXISTING WOOD FENCE - 6' HIGH
- E2 EXISTING WOOD FENCE - 3' HIGH
- E3 EXISTING CMU FENCE - 6' HIGH
- E4 EXISTING WOOD GATES - 6' HIGH
- E5 EXISTING WOOD GATE - 3' HIGH
- E6 EXISTING CONCRETE DRIVEWAY
- E7 EXISTING CONCRETE WALKWAY
- E8 EXISTING CONCRETE PORCH OR PATIO SLAB
- E9 EXISTING CONCRETE STEPS
- E10 EXISTING FLAGSTONE WALKWAY
- E11 EXISTING BRICK PAVED AREA
- E12 EXISTING CONCRETE BORDER EDGE BAND
- E13 EXISTING BRICK BORDER EDGE BAND
- E14 EXISTING LANDSCAPE EDGING
- E15 EXISTING DECOMPOSED GRANITE AREA
- E16 EXISTING PLANTED AREA
- E17 EXISTING CONCRETE CITY SIDEWALK
- E18 EXISTING ELECTRICAL UTILITY POWERPOLE, OVERHEAD SERVICE, AND GUY WIRE
- E19 EXISTING PEBBLE and COBBLE AREA
- E20 NOT USED



SITE PLAN - Existing
SCALE: 1/8" = 1'-0"

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RESIDENTIAL REMODEL FOR:

MIKE & NANCY DOTING

823 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

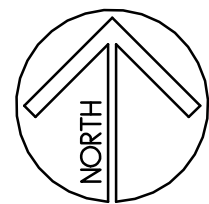
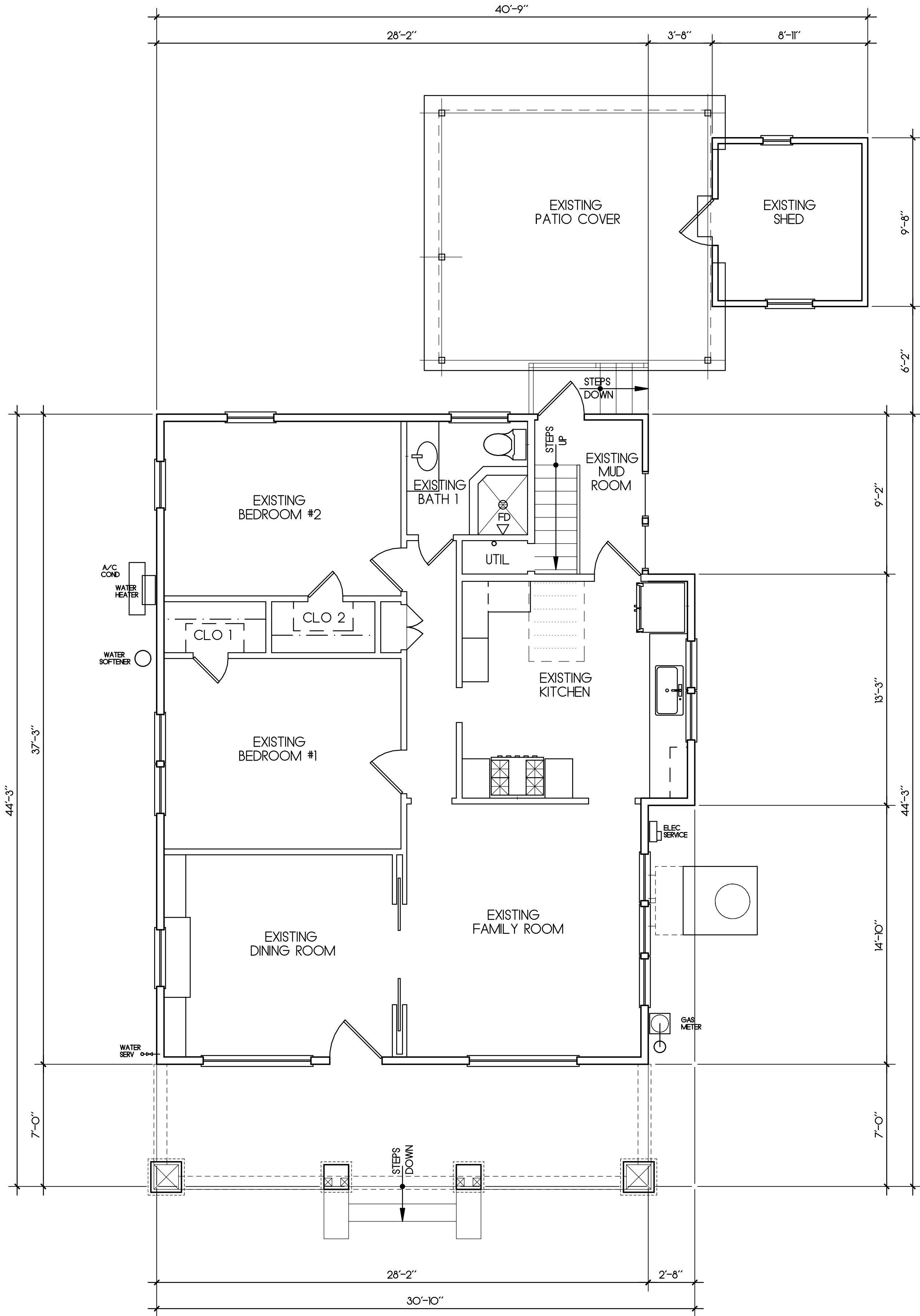
EXISTING
SITE PLAN

FILE NAME: 24-14_As Bull_Base Site
MILESTONES:

REVISIONS:

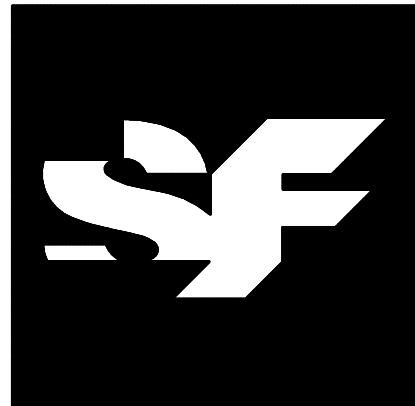
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SHEET

AE1.0



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DRC-02 Submittal Set 4/14/2025



A RESIDENTIAL REMODEL & ADDITION FOR:

MIKE & NANCY DOTING

623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

AS-BUILT DRAWINGS
FLOOR PLAN

FILE NAME: 24-14_Floor x
MILESTONES:

REVISIONS:

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SHEET

AE1.1

MIKE & NANCY DOTING

**623 E. WASHINGTON AVENUE
ORANGE, CA 92866**

AS-BUILT DRAWINGS
FLOOR PLAN

MILESTONES

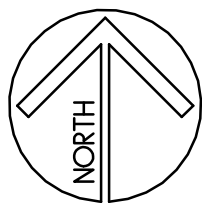
REVISIONS:

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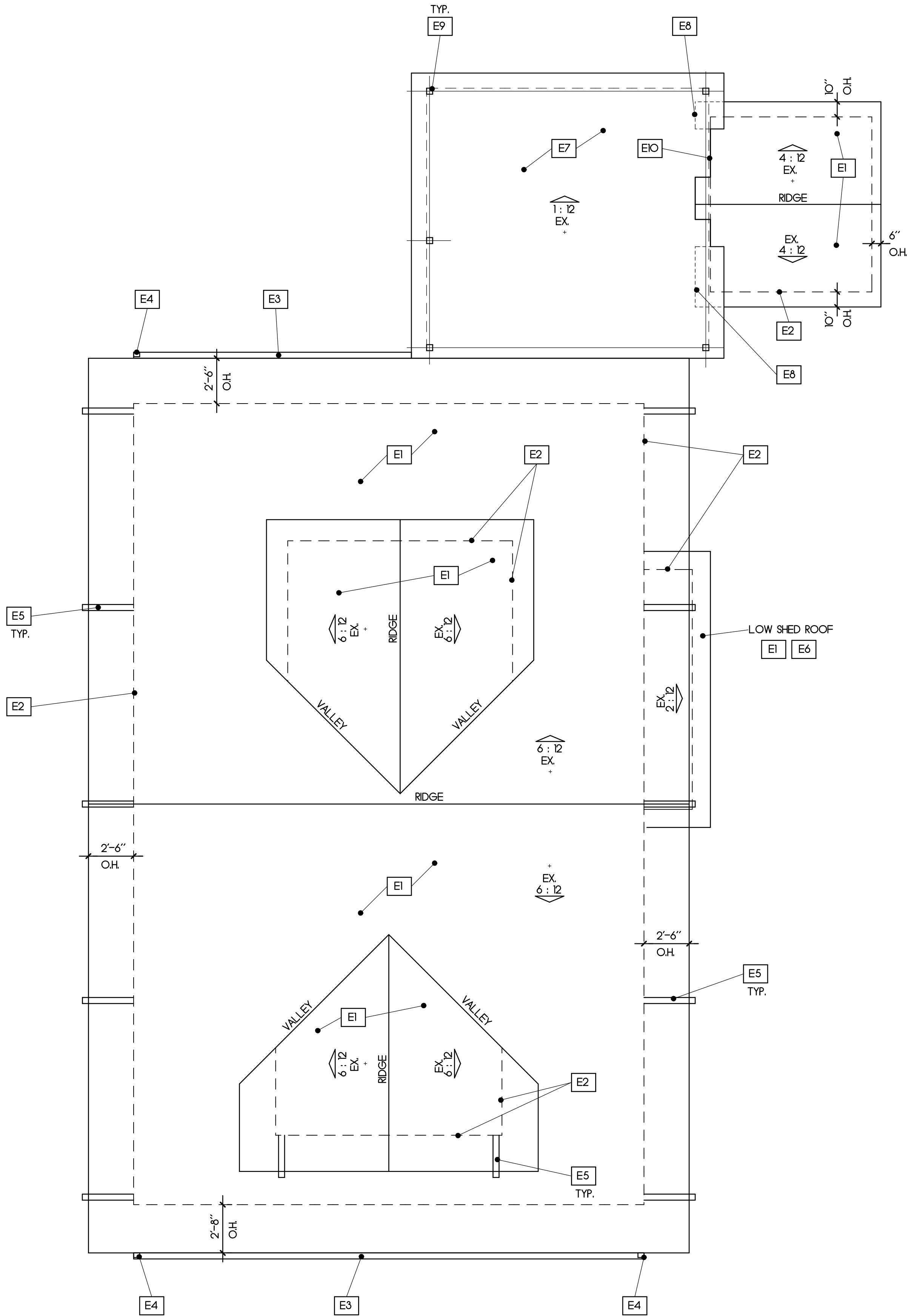
SHEET

AE1.2



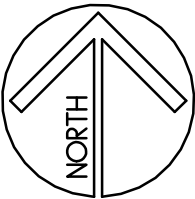
EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN KEYNOTES

- EXISTING CONDITIONS
- E1 EXISTING ASPHALT SHINGLE ROOFING
 - E2 FACE OF EXISTING EXTERIOR WALLS BELOW
 - E3 EXISTING SHEET METAL EAVE GUTTER
 - E4 EXISTING SHEET METAL DOWNSPOUTS, SPILL TO GRADE
 - E5 EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE
 - E6 EXISTING LOW SHED ROOF
 - E7 EXISTING LOW-SLOPED WOOD FRAMED PATIO COVER
 - E8 LINE OF EXISTING SHED ROOF BELOW PATIO COVER
 - E9 EXISTING PATIO COVER POSTS BELOW
 - E10 EXISTING BARGE RAFTER, CUT-AWAY FOR ADJACENT SLOPING CANOPY EDGE



EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

STRATOS FORM



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ORANGE, CALIFORNIA 92866
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A RESIDENTIAL REMODEL & ADDITION FOR:

MIKE & NANCY DOTING

623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

AS-BUILT DRAWINGS
EXISTING ROOF PLAN

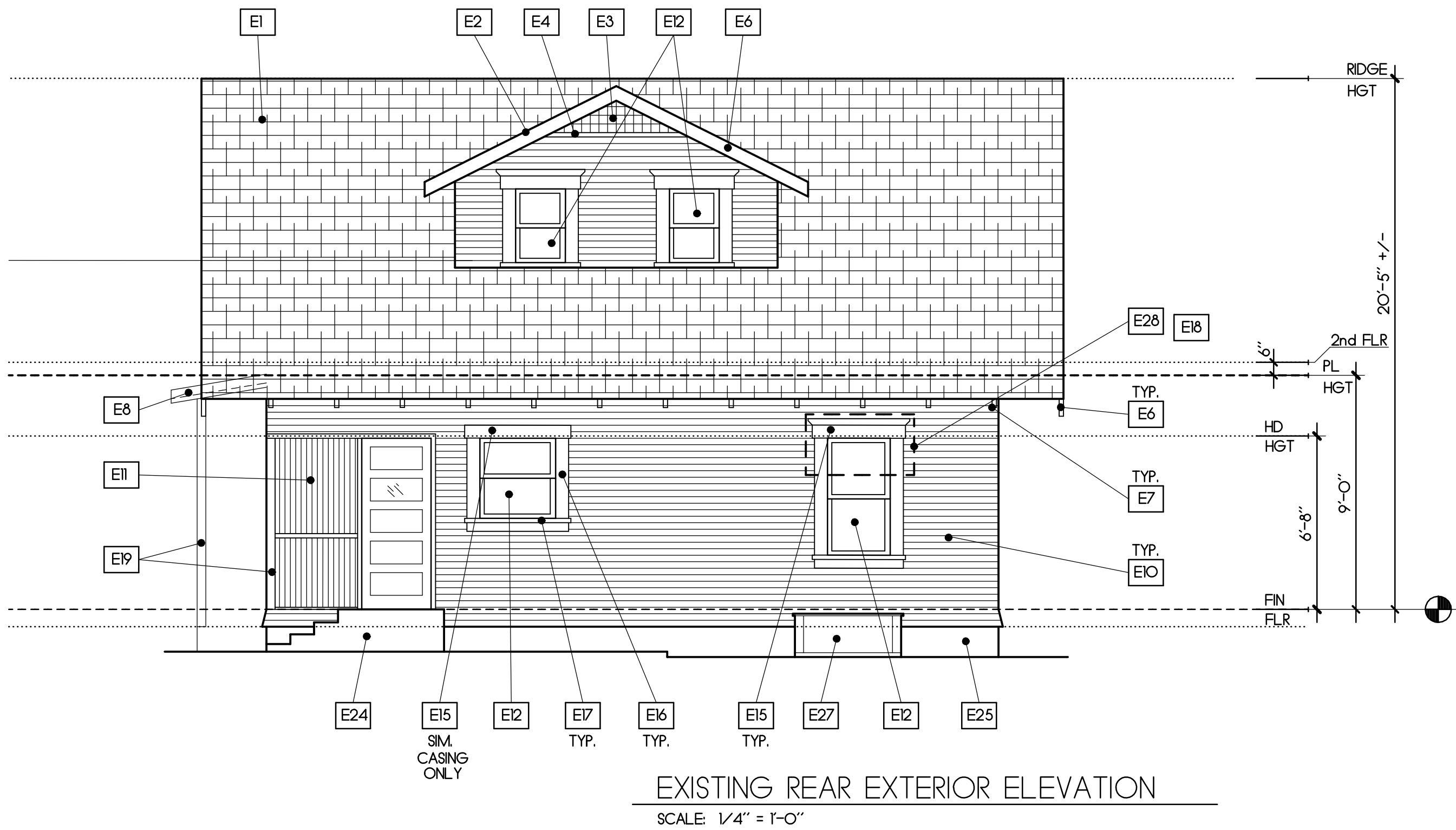
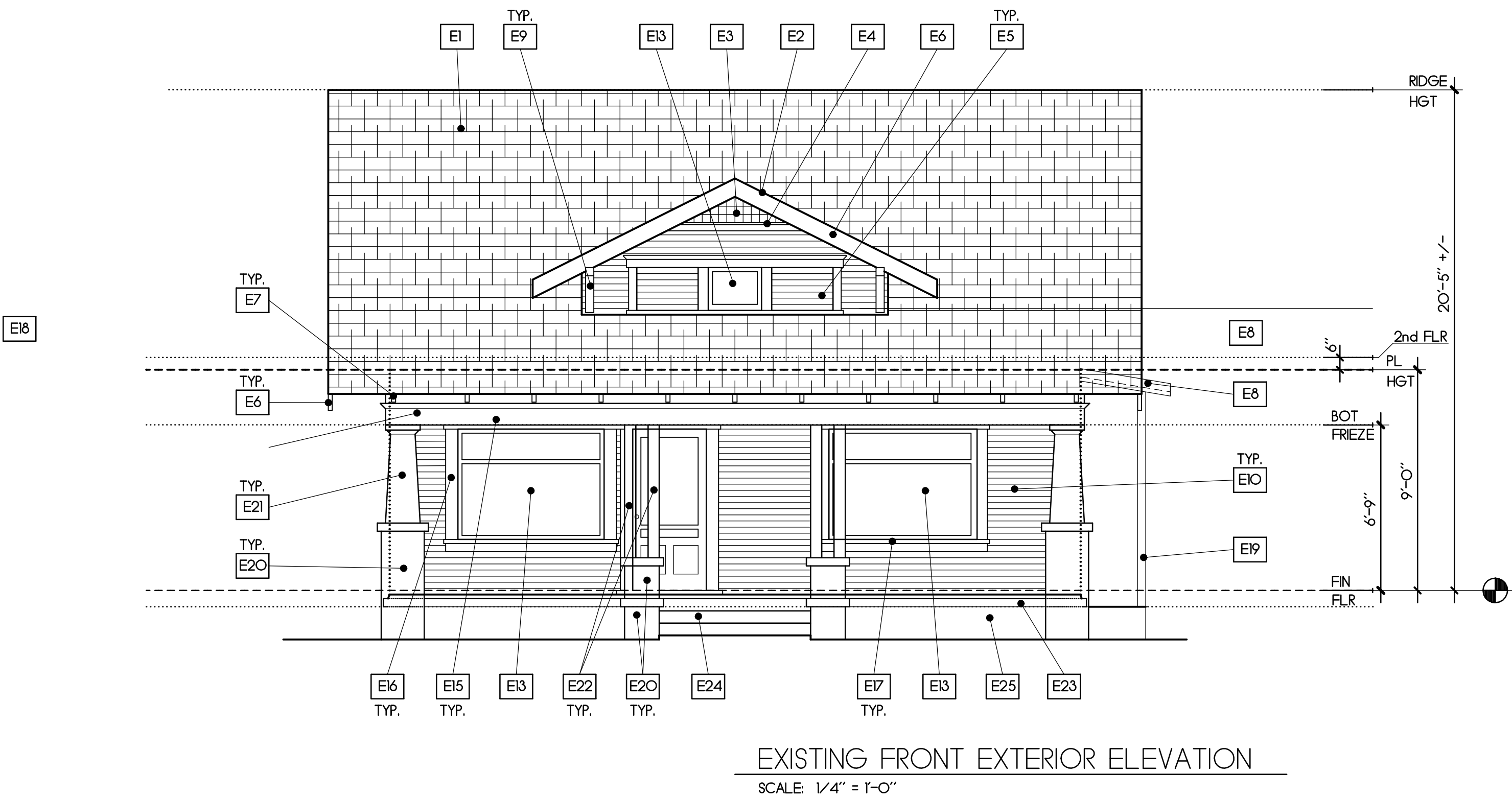
FILE NAME: 24-14_Roof x
MILESTONES:

REVISIONS:

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SHEET

AE1.3



ELEVATION KEYNOTES

EXISTING CONDITIONS

- E1 EXISTING ASPHALT SHINGLE ROOFING
- E2 EXISTING SHEET METAL EDGE FLASHING
- E3 EXISTING WOOD LATH GABLE VENT
- E4 EXISTING WOOD GABLE VENT SILL
- E5 EXISTING WOOD ATTIC LOUVERS
- E6 EXISTING 2 x 8 BARGE RAFTER, PLUMB-CUT TAIL
- E7 EXISTING 2 x 4 EXPOSED RAFTER TAILS, PLUMB-CUT
- E8 EXISTING 2 x 6 BARGE RAFTER, PLUMB-CUT
- E9 EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE
- E10 EXISTING WOOD BEVELED LAP SIDING - 3" EXPOSURE
- E11 EXISTING WOOD BEAD-BOARD VERTICAL PANELING (2 1/2" SPACING)
- E12 EXISTING WOOD DOUBLE-HUNG WINDOW
- E13 EXISTING WOOD FIXED WINDOW
- E14 EXISTING WOOD CASEMENT WINDOW
- E15 EXISTING 1 x 6 HEAD CASING AND CROWN MOLD
- E16 EXISTING 1 x 6 JAMB CASING
- E17 EXISTING WOOD WINDOW SILL with 1 x 4 SILL APRON
- E18 EXISTING 1 x WOOD FRIEZE BOARD
- E19 EXISTING 1 x 4 VERTICAL WOOD CORNER TRIM
- E20 EXISTING STUCCO PILASTER with CONCRETE CAP
- E21 EXISTING TAPERED WOOD COLUMN with WOOD CORNICE CAP
- E22 EXISTING 4 x 4 WOOD PORCH POSTS
- E23 EXISTING CONCRETE PORCH
- E24 EXISTING CONCRETE STEPS
- E25 EXISTING EXPOSED FOUNDATION WALL
- E26 EXISTING FOUNDATION VENT
- E27 EXISTING WOOD CRAWL SPACE ACCESS HATCH
- E28 EXISTING CANVAS AWNINGS
- E29 EXISTING A/C UNIT THRU WALL
- E30 ..

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ORANGE, CALIFORNIA 92866
TEL: 714 628-0777
FAX: 714 628-0797

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MIKE & NANCY DOTING

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ORANGE, CA 92866

PROFESSIONAL SEAL

AS-BUILT DRAWINGS
EXTERIOR ELEVATIONS

FILE NAME: 24-14_Elev-House X

MILESTONES:

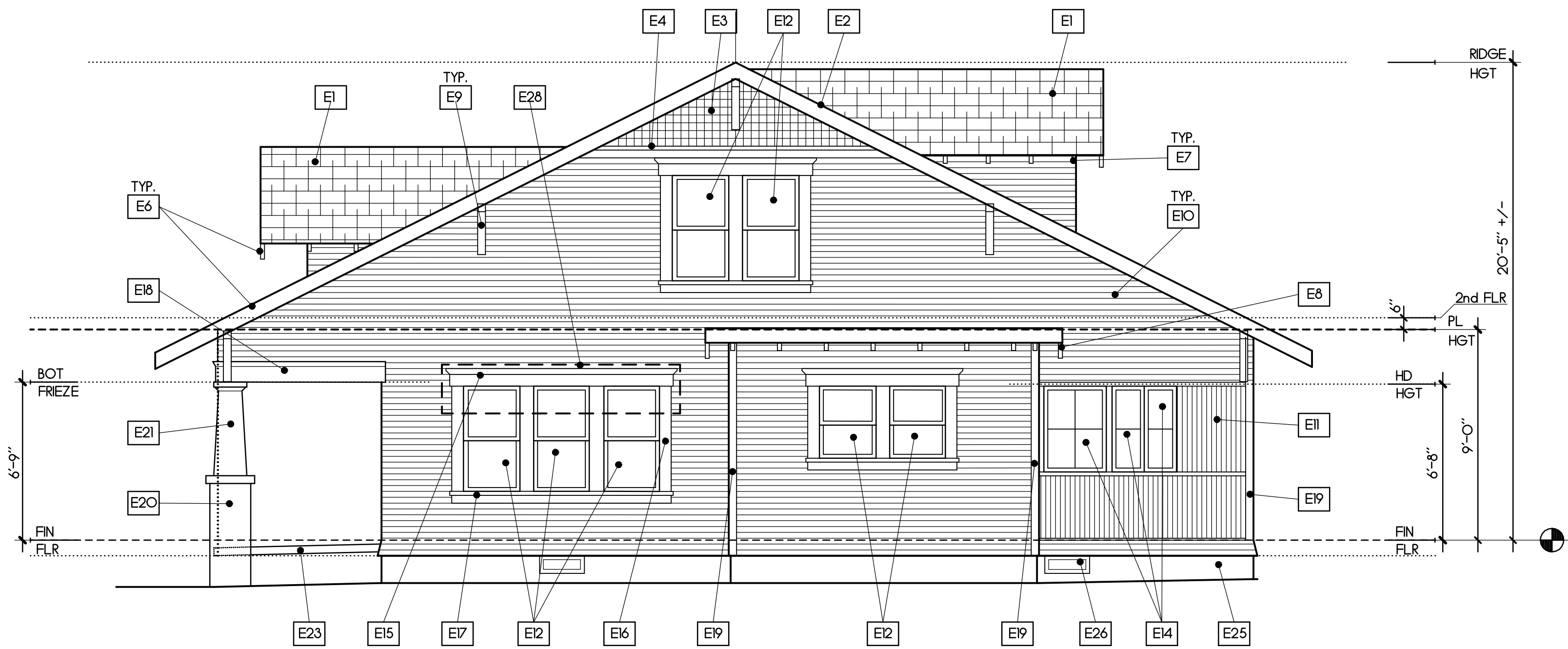
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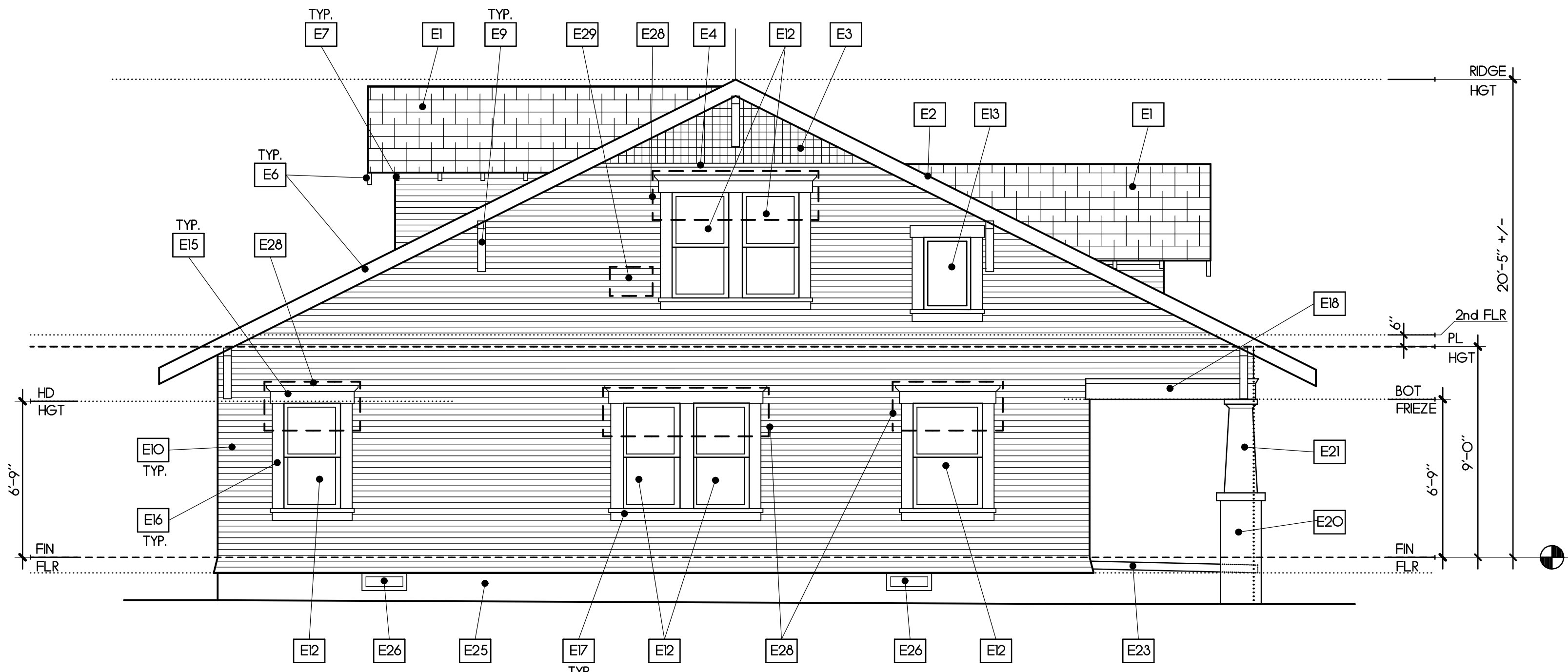
SHEET

AE1.4



EXISTING EAST SIDE EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING WEST SIDE EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- EXISTING CONDITIONS
- E1 EXISTING ASPHALT SHINGLE ROOFING
 - E2 EXISTING SHEET METAL EDGE FLASHING
 - E3 EXISTING WOOD LATH GABLE VENT
 - E4 EXISTING WOOD GABLE VENT SILL
 - E5 EXISTING WOOD ATTIC LOUVERS
 - E6 EXISTING 2 x 8 BARGE RAFTER, PLUMB-CUT TAIL
 - E7 EXISTING 2 x 4 EXPOSED RAFTER TAILS, PLUMB-CUT
 - E8 EXISTING 2 x 6 BARGE RAFTER, PLUMB-CUT
 - E9 EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE
 - E10 EXISTING WOOD BEVELED LAP SIDING - 3" EXPOSURE
 - E11 EXISTING WOOD BEAD-BOARD VERTICAL PANELING (2 1/2" SPACING)
 - E12 EXISTING WOOD DOUBLE-HUNG WINDOW
 - E13 EXISTING WOOD FIXED WINDOW
 - E14 EXISTING WOOD CASEMENT WINDOW
 - E15 EXISTING 1 x 6 HEAD CASING AND CROWN MOLD
 - E16 EXISTING 1 x 6 JAMB CASING
 - E17 EXISTING WOOD WINDOW SILL with 1 x 4 SILL APRON
 - E18 EXISTING 1 x WOOD FRIEZE BOARD
 - E19 EXISTING 1 x 4 VERTICAL WOOD CORNER TRIM
 - E20 EXISTING STUCCO PILASTER with CONCRETE CAP
 - E21 EXISTING TAPERED WOOD COLUMN with WOOD CORNICE CAP
 - E22 EXISTING 4 x 4 WOOD PORCH POSTS
 - E23 EXISTING CONCRETE PORCH
 - E24 EXISTING CONCRETE STEPS
 - E25 EXISTING EXPOSED FOUNDATION WALL
 - E26 EXISTING FOUNDATION VENT
 - E27 EXISTING WOOD CRAWL SPACE ACCESS HATCH
 - E28 EXISTING CANVAS AWNINGS
 - E29 EXISTING A/C UNIT THRU WALL
 - E30 ..

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MIKE & NANCY DOTING
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ORANGE, CA 92866

PROFESSIONAL SEAL

AS-BUILT DRAWINGS
EXTERIOR ELEVATIONS

FILE NAME: 24-14_Elev-House X

MILESTONES:

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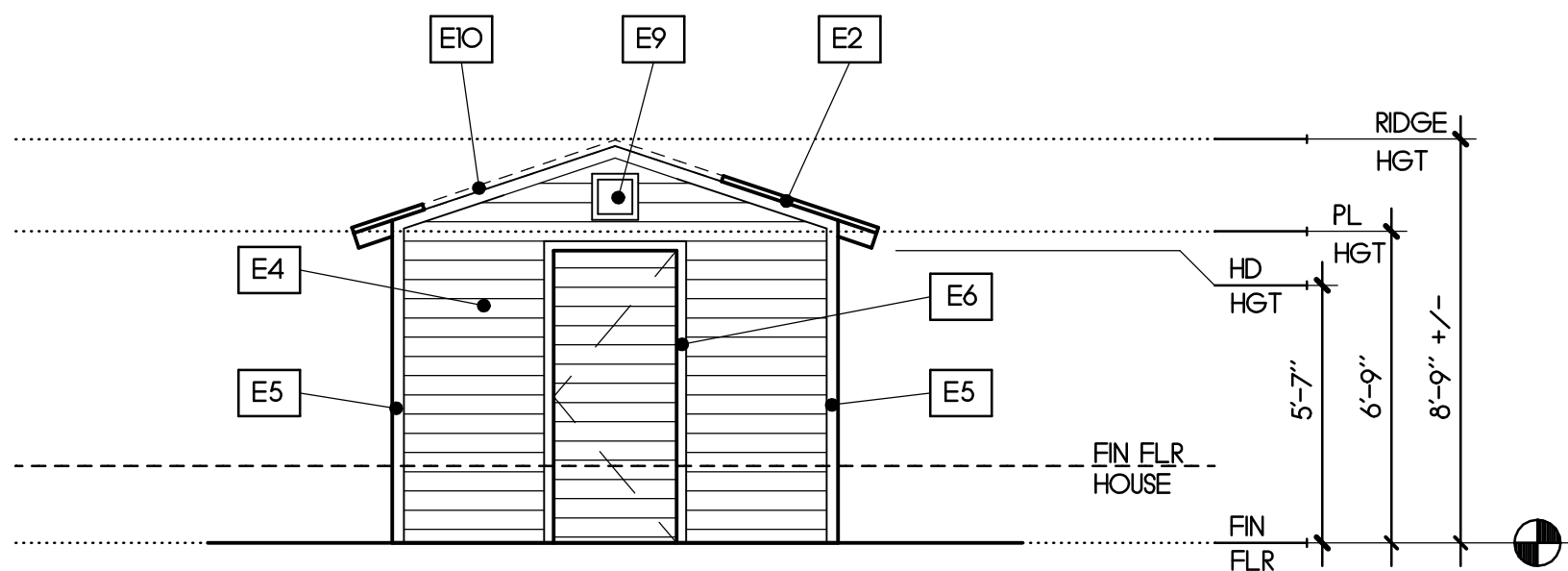
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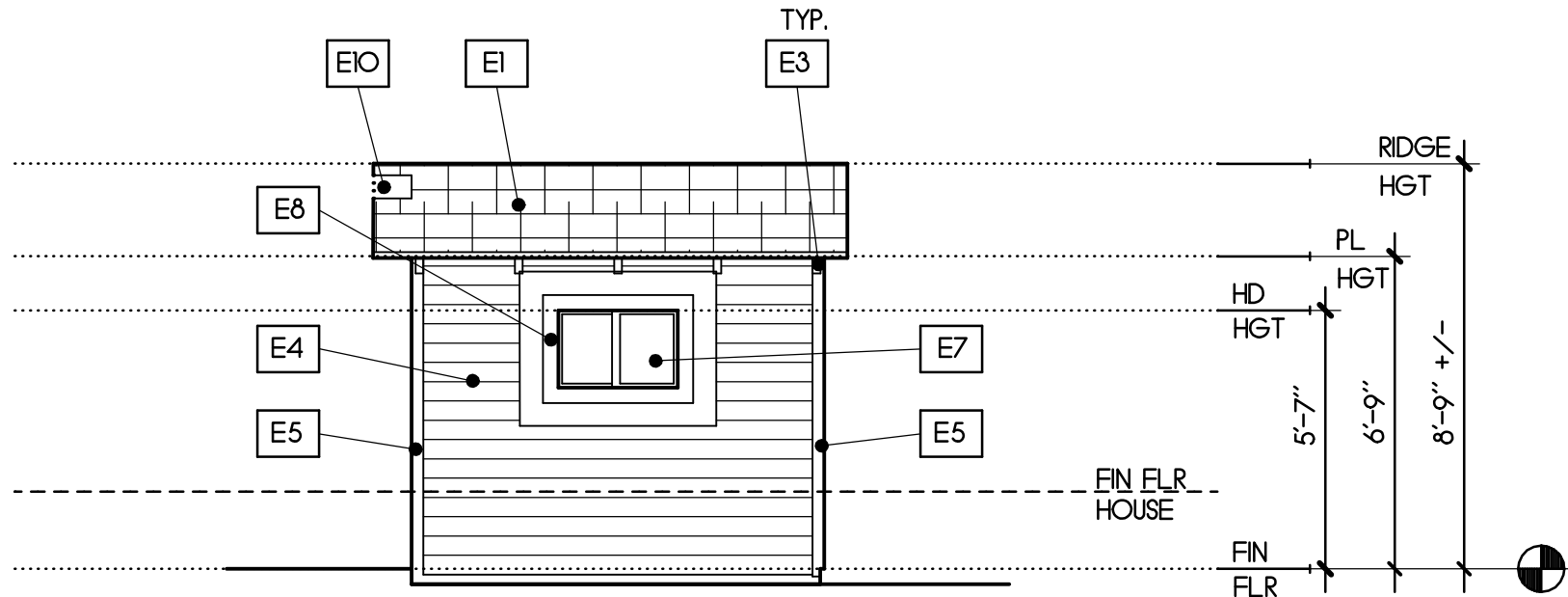
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PLOT DATE: 31 JANUARY 2025
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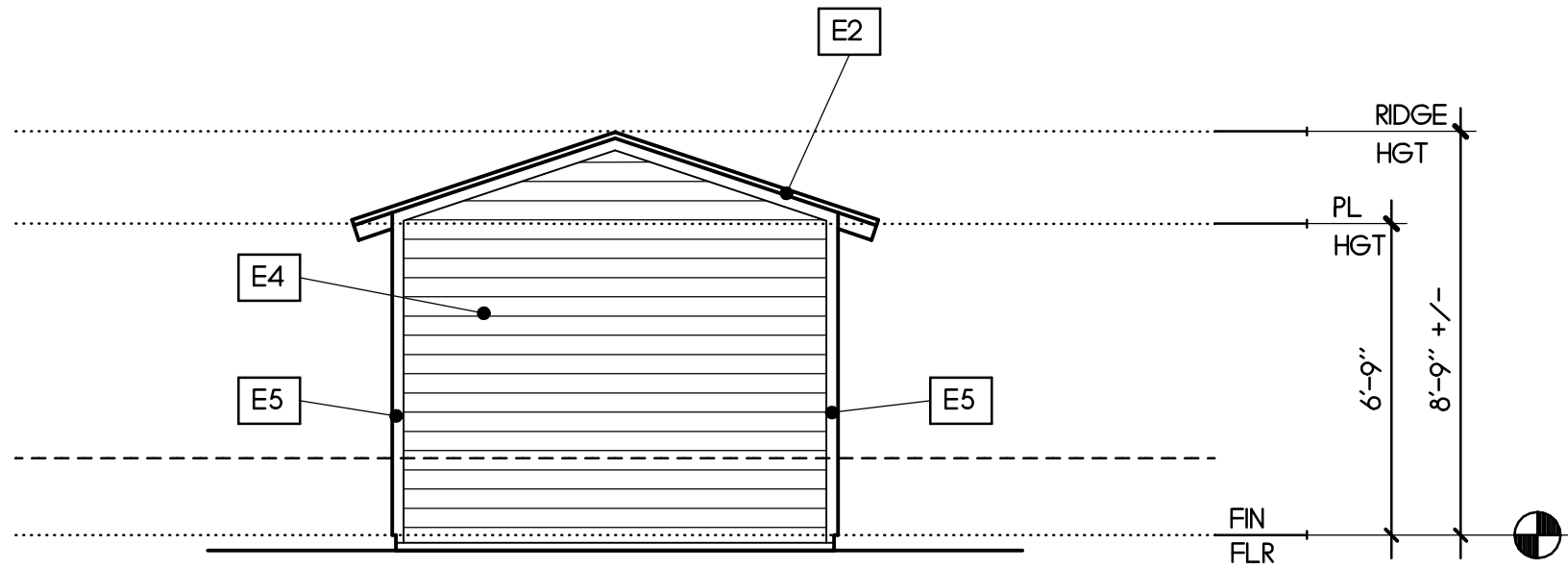
EXISTING WEST SHED ELEVATION

SCALE: 1/4" = 1'-0"



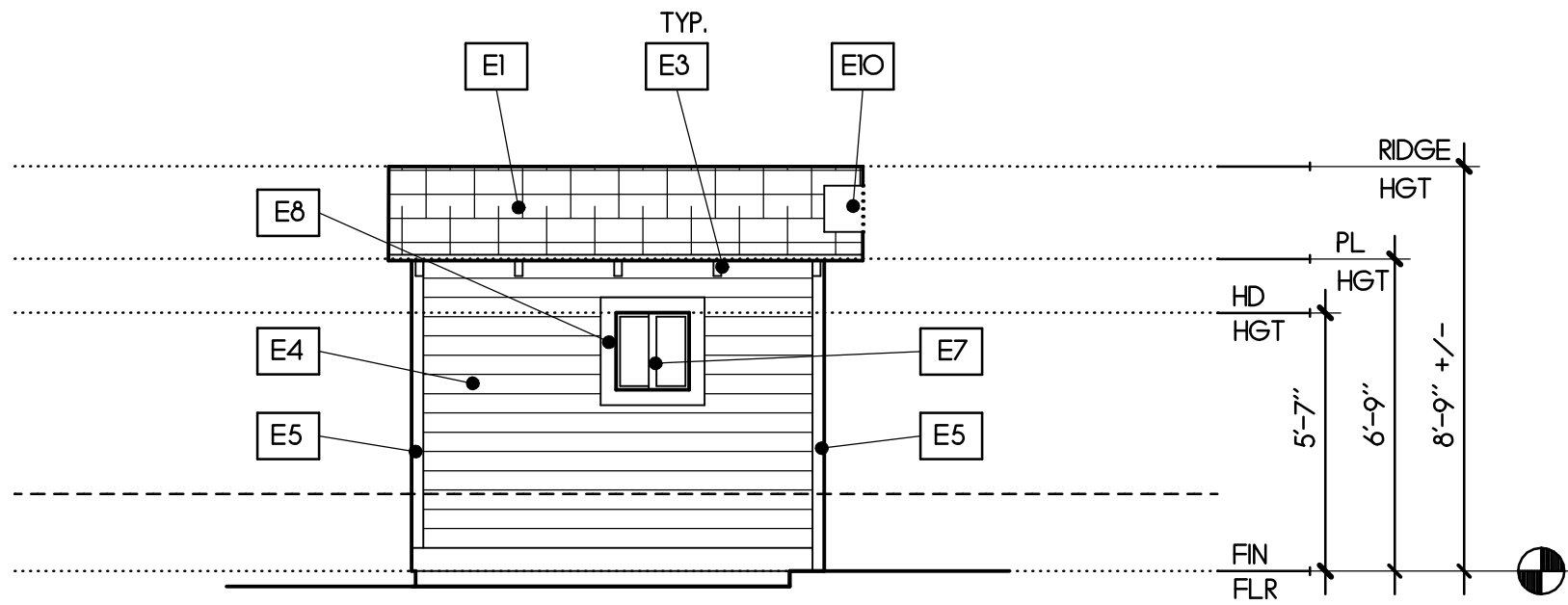
EXISTING SOUTH SHED ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST SHED ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH SHED ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

EXISTING CONDITIONS

- E1 EXISTING ASPHALT SHINGLE ROOFING
- E2 EXISTING SHEET METAL EDGE FLASHING
- E3 EXISTING 2 x 4 EXPOSED RAFTER TAILS, PLUMB-CUT
- E4 EXISTING 1 x HORIZONTAL BEVELED LAP SIDING, 5" EXPOSURE
- E5 EXISTING 1 x 3 WOOD VERTICAL CORNER TRIM
- E6 EXISTING 1 x 3 DOOR CASING
- E7 EXISTING VINYL SLIDING WINDOW
- E8 EXISTING 1 x 6 WOOD WINDOW CASING
- E9 EXISTING GABLE VENT
- E10 EXISTING OVERHANG, CUT-AWAY FOR ADJACENT SLOPING CANOPY EDGE

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PROFESSIONAL SEAL

AS-BUILT DRAWINGS
EXTERIOR ELEVATIONS

FILE NAME: 24-14_Elev-Shed

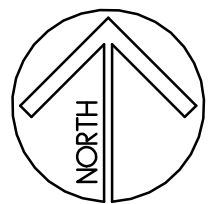
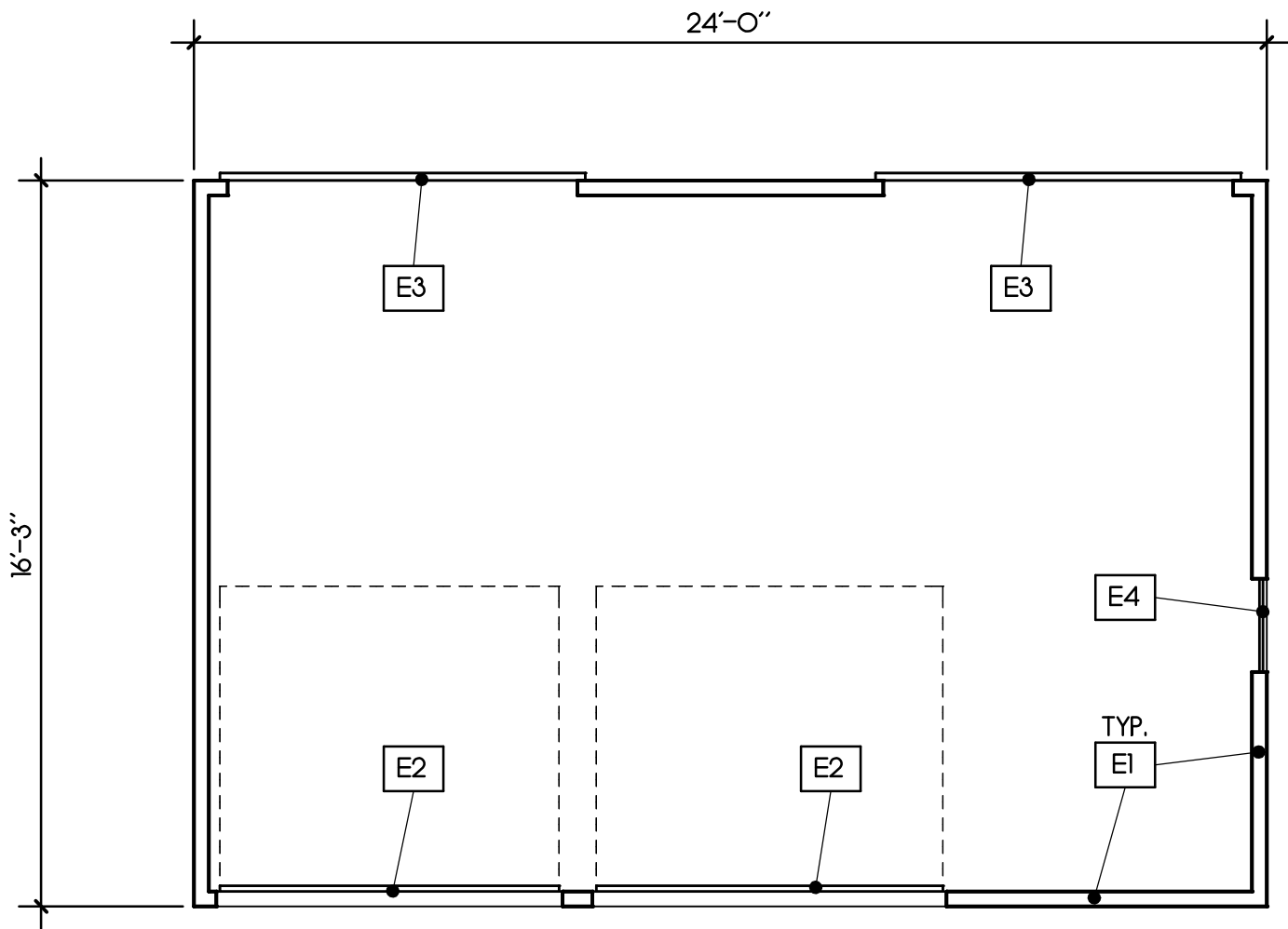
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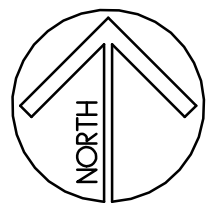
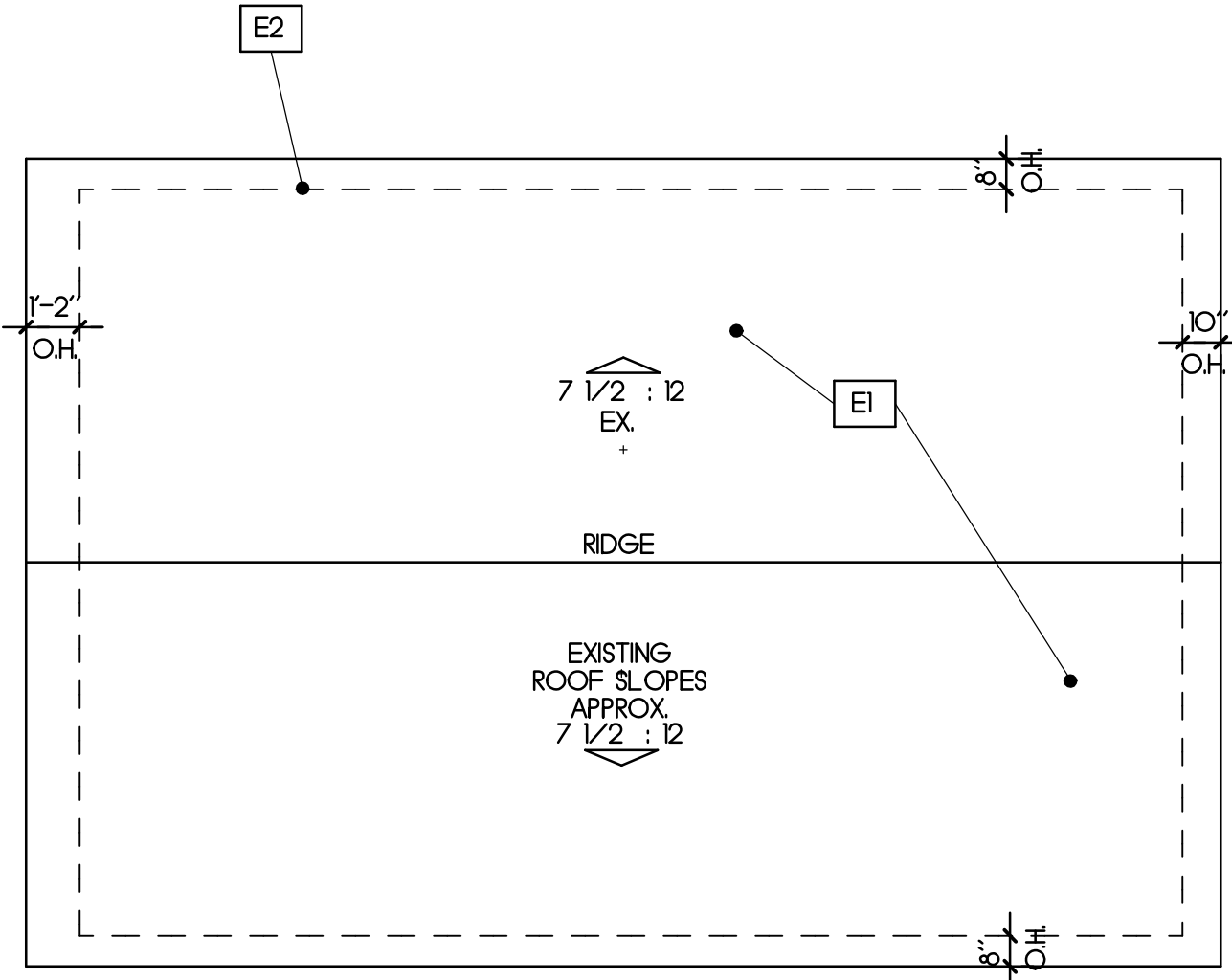
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GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"



GARAGE ROOF PLAN
SCALE: 1/4" = 1'-0"

GARAGE ROOF KEYNOTES

- EXISTING CONDITIONS
- E1 EXISTING CORRUGATED SHEET METAL ROOFING PANELS UNPAINTED, GALVANIZED
 - E2 FACE OF EXISTING EXTERIOR WALLS BELOW
 - E3 NOT USED
 - E4 NOT USED
 - E5 NOT USED
 - E6 NOT USED
 - E7 NOT USED
 - E8 NOT USED
 - E9 NOT USED
 - E10 NOT USED

GARAGE PLAN KEYNOTES

- EXISTING CONDITIONS
- E1 EXISTING 2 x WOOD FRAME WALLS with 1 x 6 VERTICAL PLANK SIDING, BATTEN on INSIDE
 - E2 EXISTING OVERHEAD GARAGE DOOR
 - E3 EXISTING HORIZ SLIDING BARN DOOR
 - E4 EXISTING SINGLE PANE WINDOW
 - E5 NOT USED
 - E6 NOT USED
 - E7 NOT USED
 - E8 NOT USED
 - E9 NOT USED
 - E10 NOT USED

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STRATOS FORM



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ORANGE, CALIFORNIA 92866
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FAX: 714 628-0797

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PROFESSIONAL SEAL

AS-BUILT DRAWINGS
GARAGE - FLOOR & ROOF

FILE NAME: 24-14_Gar_Flr-Roof X

MILESTONES:

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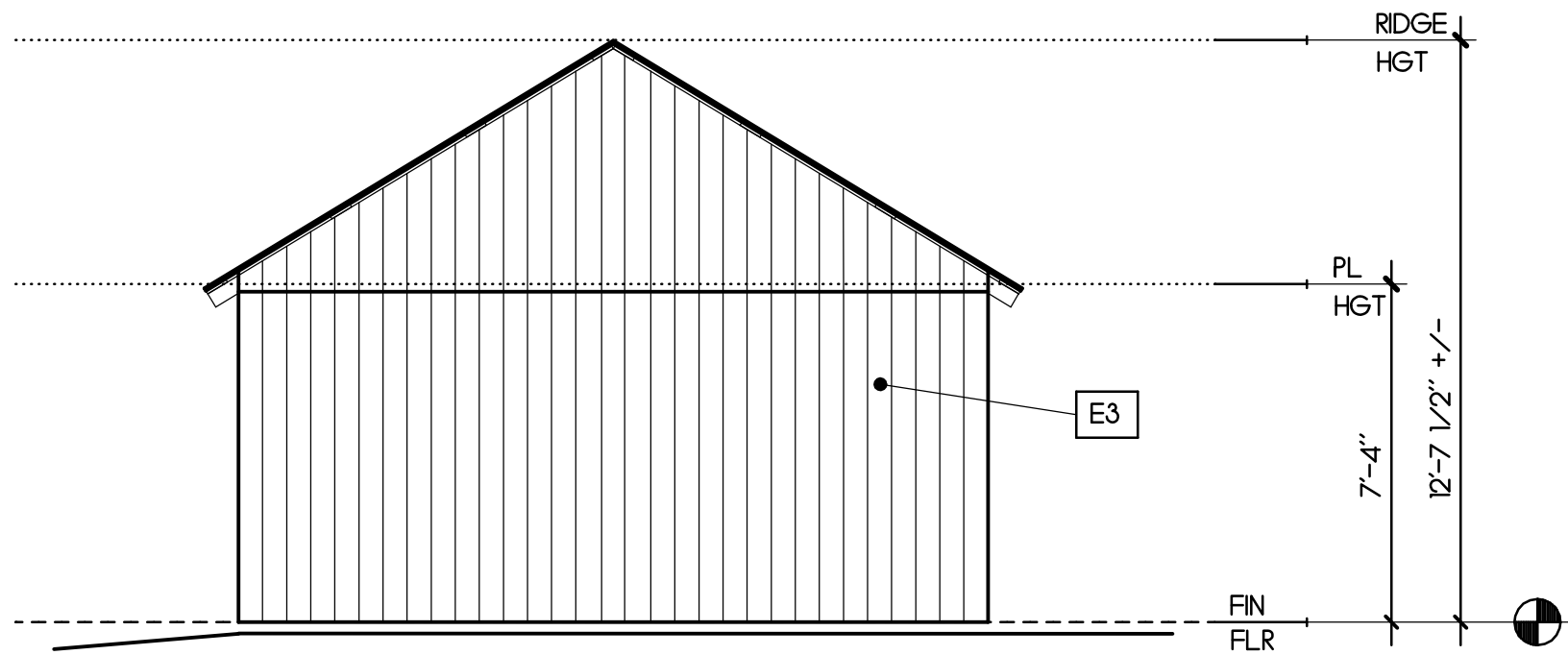
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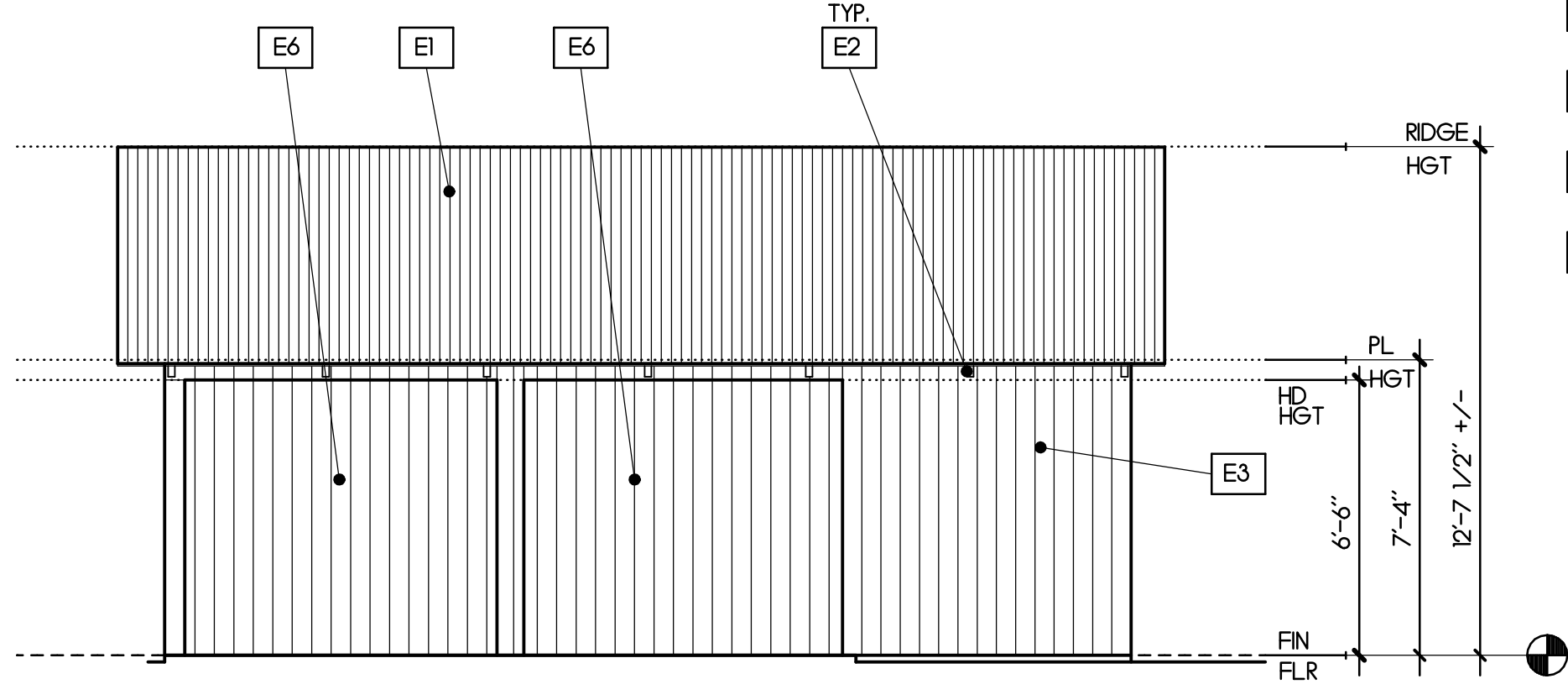
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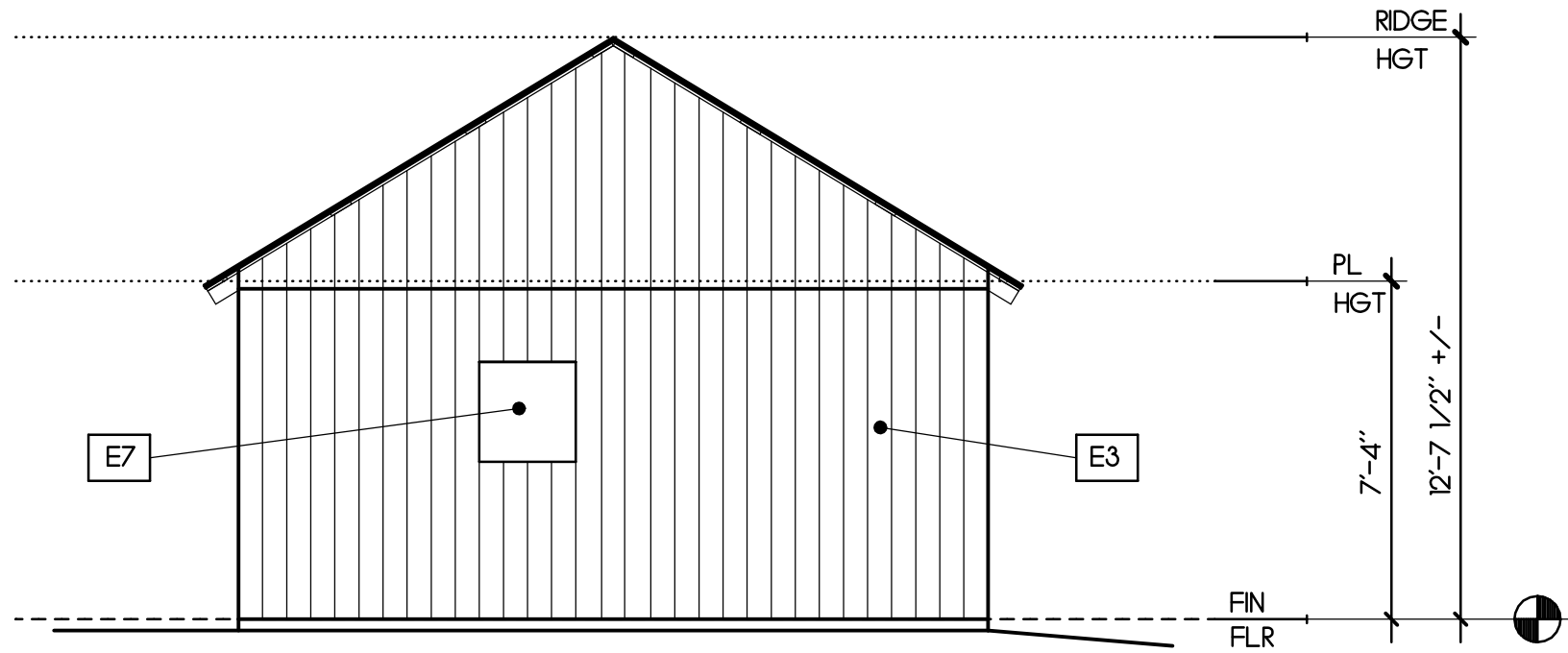
PLOT DATE: 31 JANUARY 2025
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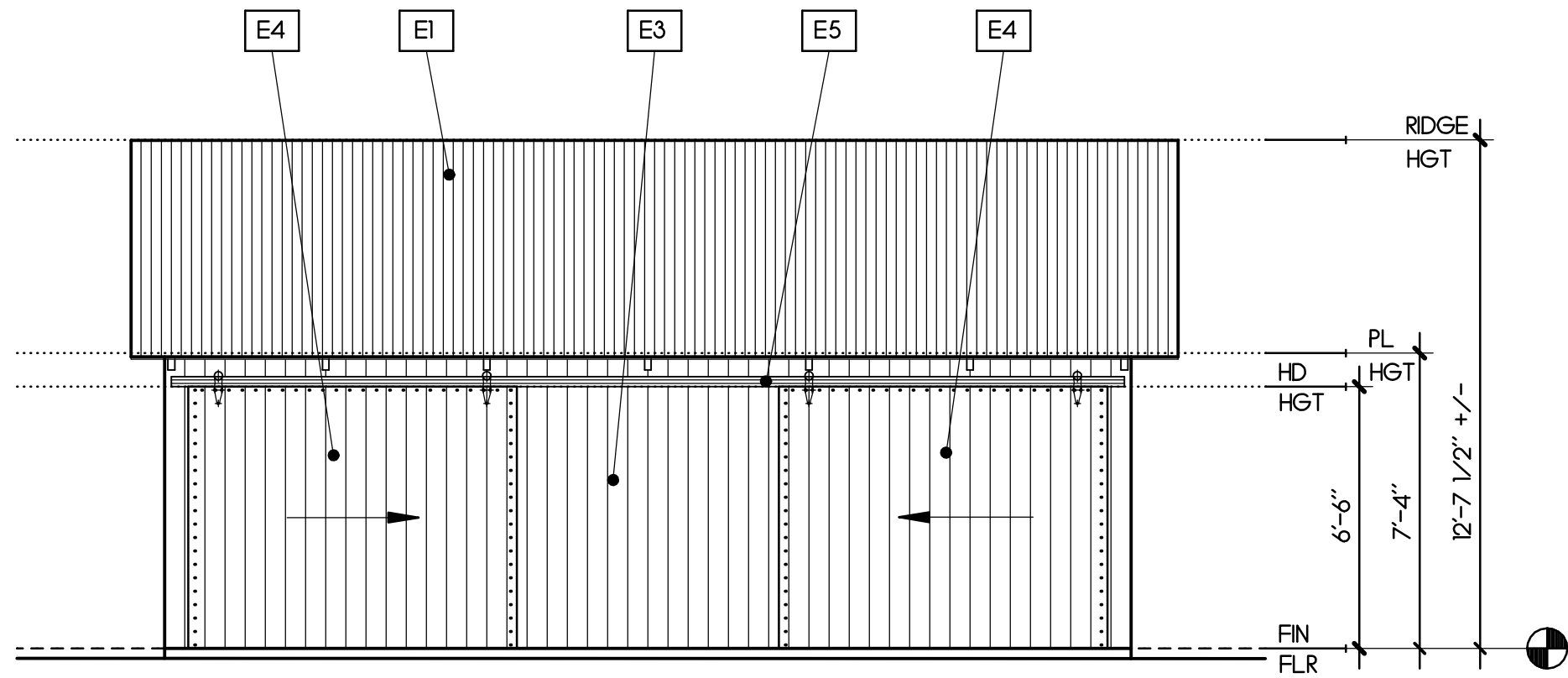
EXISTING WEST GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH GARAGE ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- EXISTING CONDITIONS
- E1 EXISTING CORRUGATED SHEET METAL ROOFING PANELS UNPAINTED, GALVANIZED
 - E2 EXISTING 2 x 4 EXPOSED RAFTER TISLS, SQUARE-CUT
 - E3 EXISTING 1 x 6 VERTICAL PLANK SIDING BATTENS ON INSIDE FACE
 - E4 EXISTING SLIDING WOOD BARN-DOOR
 - E5 EXISTING METAL SLIDING-DOOR HEAD RAIL
 - E6 EXISTING OVERHEAD GARAGE DOOR
 - E7 EXISTING SINGLE-PANE WINDOW
 - E8 NOT USED
 - E9 NOT USED
 - E10 NOT USED

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ORANGE, CALIFORNIA 92866
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PROFESSIONAL SEAL

AS-BUILT DRAWINGS
GARAGE ELEVATIONS

FILE NAME: 24-14_Elev-Gar X
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EXISTING CONDITIONS

E1 EXISTING WOOD FENCE - 6' HIGH

E2 EXISTING WOOD FENCE - 3' HIGH

E3 EXISTING CMU FENCE - 6' HIGH

E4 EXISTING WOOD GATES - 6' HIGH

E5 EXISTING WOOD GATE - 3' HIGH

E6 EXISTING CONCRETE DRIVEWAY

E7 EXISTING CONCRETE WALKWAY

E8 EXISTING CONCRETE PORCH OR PATIO SLAB

E9 EXISTING CONCRETE STEPS

E10 EXISTING FLAGSTONE WALKWAY

E11 EXISTING BRICK PAVED AREA

E12 EXISTING CONCRETE BORDER EDGE BAND

E13 EXISTING BRICK BORDER EDGE BAND

E14 EXISTING LANDSCAPE EDGING

E15 EXISTING DECOMPOSED GRANITE AREA

E16 EXISTING PLANTED AREA

E17 EXISTING CONCRETE CITY SIDEWALK

E18 EXISTING ELECTRICAL UTILITY POWERPOLE, OVERHEAD SERVICE,
AND GUY WIRE

E19 EXISTING PEBBLE and COBBLE AREA

E20 NOT USED

1 DEMOLISH and REMOVE EXISTING CONCRETE WALK

2 DEMOLISH and REMOVE EXISTING CONCRETE SLAB or PATIO

3 DEMOLISH and REMOVE EXISTING CONCRETE STEPS and LANDING

4 DISASSEMBLE EXISTING BRICK BAND AS SHOWN, STORE BRICKS AS DIRECTED BY OWNER

5 DISASSEMBLE EXISTING BRICK PAVED AREA AS SHOWN, STORE BRICKS AS DIRECTED BY OWNER

6 EXISTING PLANTED AREA TO BE RE-WORKED

7 DEMOLISH and REMOVE EXISTING 6' HIGH CMU FENCE

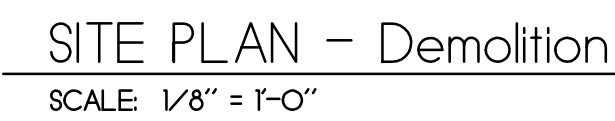
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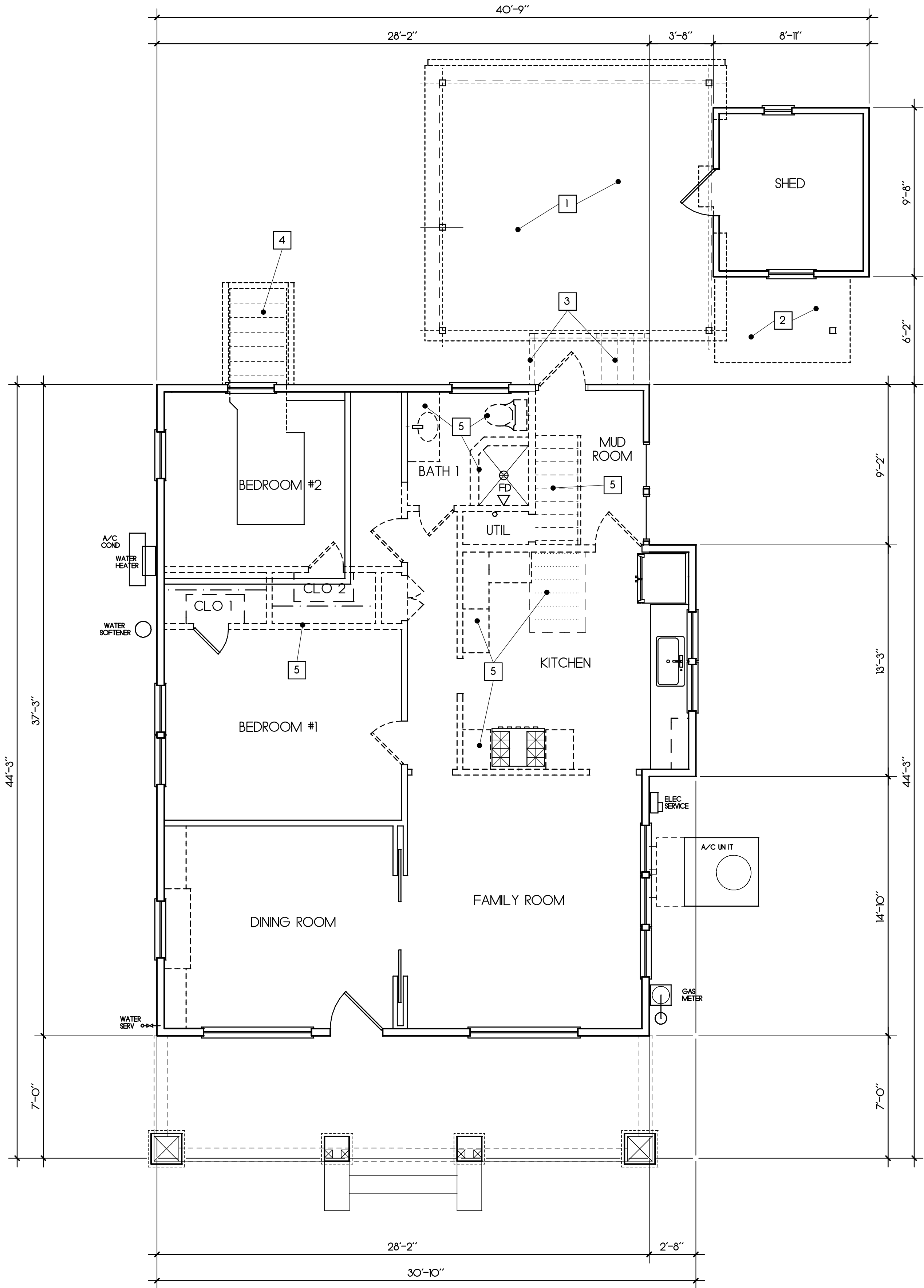
9 NOT USED

10 NOT USED

11 NOT USED

12 NOT USED



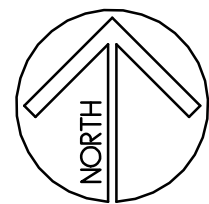


KEYNOTES

- 1 DEMOLISH AND REMOVE EXISTING WOOD PATIO COVER, POSTS, AND FOOTINGS
- 2 DEMOLISH AND REMOVE TRELLIS AND POSTS
- 3 DEMOLISH AND REMOVE CONCRETE STEPS AND WOOD RAILINGS
- 4 DEMOLISH AND REMOVE WOOD COVER AT CRAWL SPACE ACCESS
- 5 DEMOLISH AND REMOVE INTERIOR WALLS, DOORS, FIXTURES, CABINETRY, AND STAIRS AS SHOWN
- 6 NOT USED
- 7 NOT USED
- 8 NOT USED
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 NOT USED
- 15 NOT USED
- 16 NOT USED
- 17 NOT USED
- 18 NOT USED
- 19 NOT USED
- 20 NOT USED
- 21 NOT USED
- 22 NOT USED
- 23 NOT USED
- 24 NOT USED
- 25 NOT USED
- 26 NOT USED
- 27 NOT USED
- 28 NOT USED
- 29 NOT USED
- 30 NOT USED

WALL LEGEND

- EXISTING WALL TO BE DEMOLISHED
- ===== EXISTING WALL TO REMAIN



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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MIKE & NANCY DOTING

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ORANGE, CA 92866

PROFESSIONAL SEAL

FIRST FLOOR
DEMOLITION PLAN

FILE NAME: 24-14_Demo

MILESTONES:

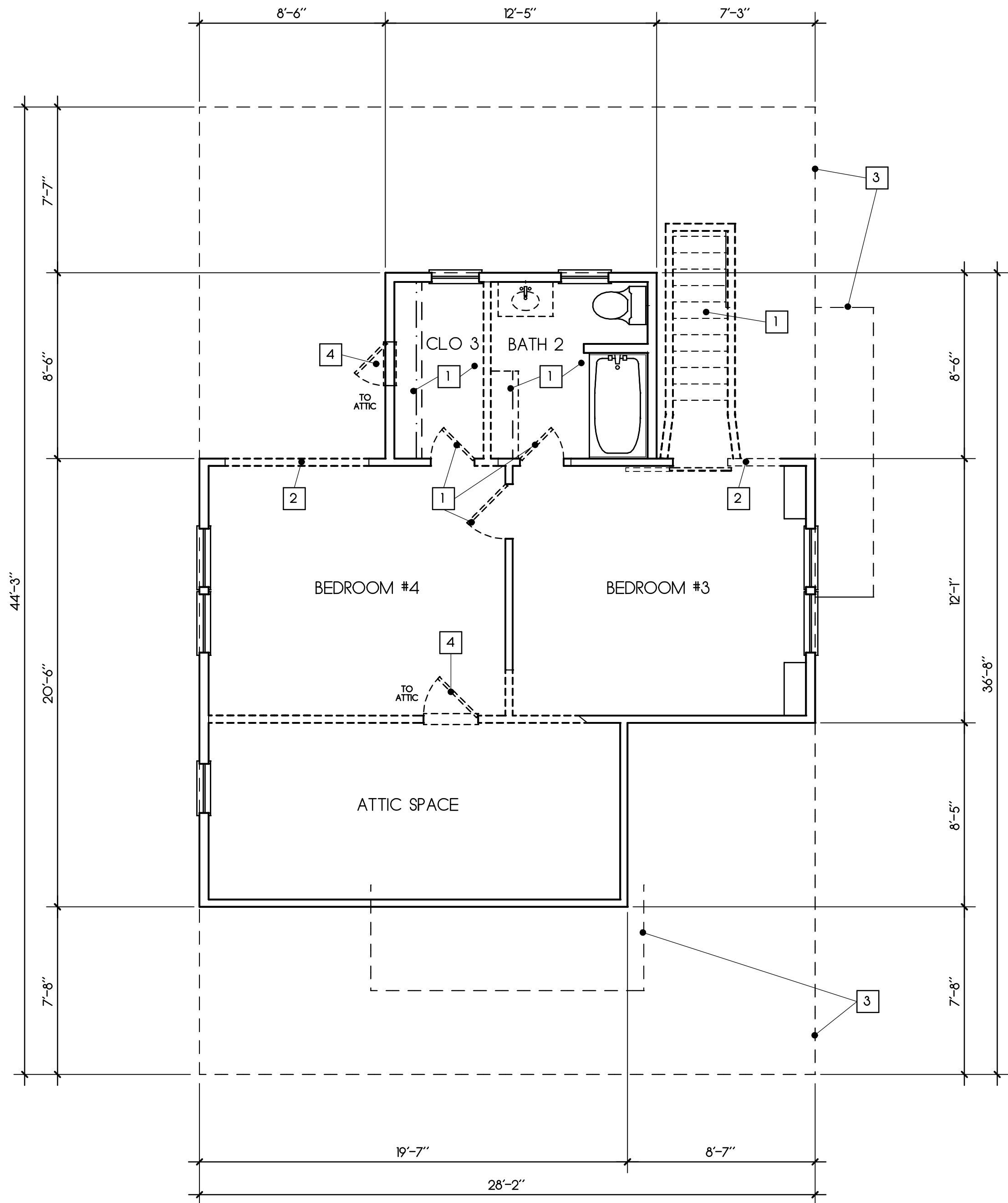
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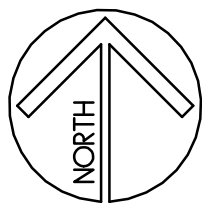


KEYNOTES

- 1 DEMOLISH AND REMOVE INTERIOR WALLS, DOORS, FIXTURES, CABINETS, AND STAIRS AS SHOWN
- 2 DEMOLISH AND REMOVE PORTION OF EXISTING STUD WALL FOR NEW CLOSET DOORS - SEE FLOOR PLAN
- 3 DASHED LINE INDICATES LINE OF FIRST FLOOR EXTERIOR WALLS BELOW, TYP.
- 4 REMOVE EXISTING ATTIC ACCESS PANEL
- 5 NOT USED
- 6 NOT USED
- 7 NOT USED
- 8 NOT USED
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 NOT USED
- 15 NOT USED
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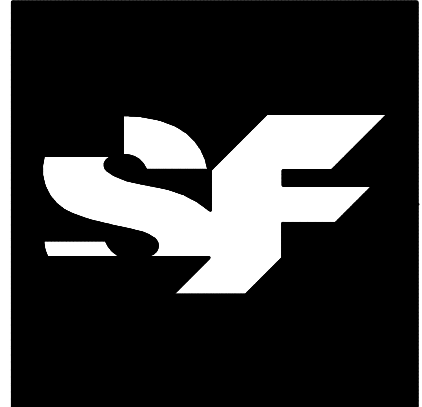
WALL LEGEND

- [-----] EXISTING WALL TO BE DEMOLISHED
- [=====] EXISTING WALL TO REMAIN



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

STRATOS FORM



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ORANGE, CA 92866

PROFESSIONAL SEAL

SECOND FLOOR
DEMOLITION PLAN

FILE NAME: 24-14_Demo

MILESTONES:

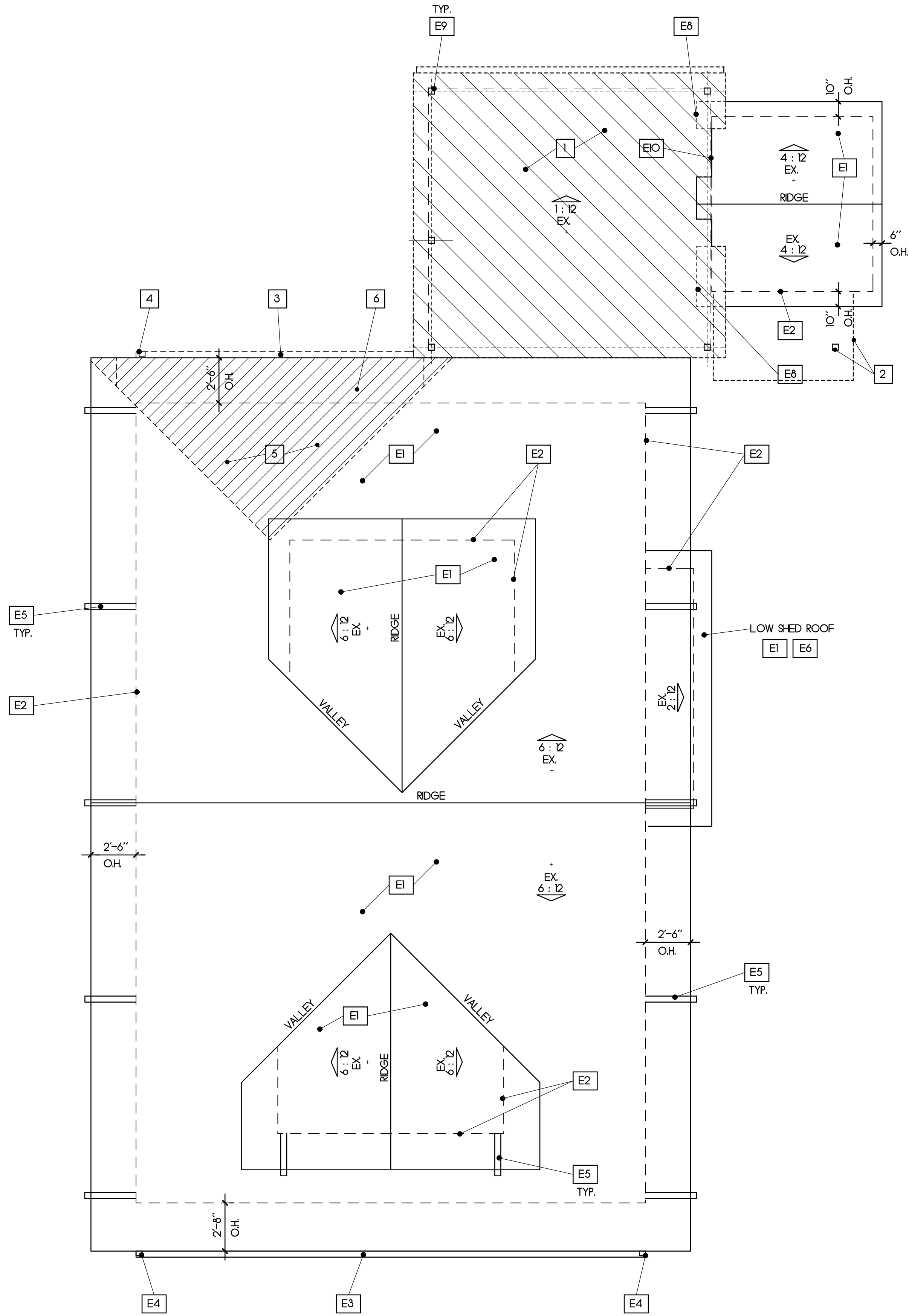
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KEYNOTES

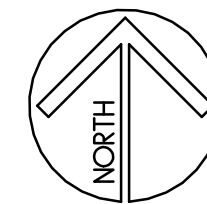
EXISTING CONDITIONS

- | | |
|-----|---|
| E1 | EXISTING ASPHALT SHINGLE ROOFING |
| E2 | FACE OF EXISTING EXTERIOR WALLS BELOW |
| E3 | EXISTING SHEET METAL EAVE GUTTER |
| E4 | EXISTING SHEET METAL DOWNSPOUTS, SPILL TO GRADE |
| E5 | EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE |
| E6 | EXISTING LOW SHED ROOF |
| E7 | EXISTING LOW-SLOPED WOOD-FRAMED PATIO COVER |
| E8 | LINE OF EXISTING SHED ROOF BELOW PATIO COVER |
| E9 | EXISTING PATIO COVER POSTS BELOW |
| E10 | EXISTING BARGE RAFTER CUT-AWAY FOR ADJACENT SLOPING CANOPY EDGE |

KEYNOTES

DEMOLITION

- | | |
|----|---|
| 1 | DEMOLISH AND REMOVE EXISTING LOW SLOPED WOOD FRAMED PATIO COVER |
| 2 | DEMOLISH AND REMOVE TRELLIS AND POSTS |
| 3 | DEMOLISH AND REMOVE EXISTING SHEET METAL EAVE GUTTER |
| 4 | DEMOLISH AND REMOVE EXISTING SHEET METAL DOWNSPOUT |
| 5 | REMOVE PORTION OF EXISTING ASPHALT SHINGLE ROOFING AND PREPARE ROOF SHEATHING FOR NEW ROOF FRAMING |
| 6 | CUT BACK EXISTING 2x WOOD ROOF RAFTER TAILS AND OVERHANG IN AREA OF NEW ROOF STRUCTURE - SEE ELEV SHEET A14 |
| 7 | NOT USED |
| 8 | NOT USED |
| 9 | NOT USED |
| 10 | NOT USED |



ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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ORANGE, CALIFORNIA 92666

TEL: 714 628-0777

FAX: 714 628-0797

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CAROL TINK-FOX, ARCHITECT

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MIKE & NANCY DOTING

623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

ROOF
DEMOLITION PLAN

FILE NAME: 24-14_Demo-Roof

MILESTONES:

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REVISIONS:

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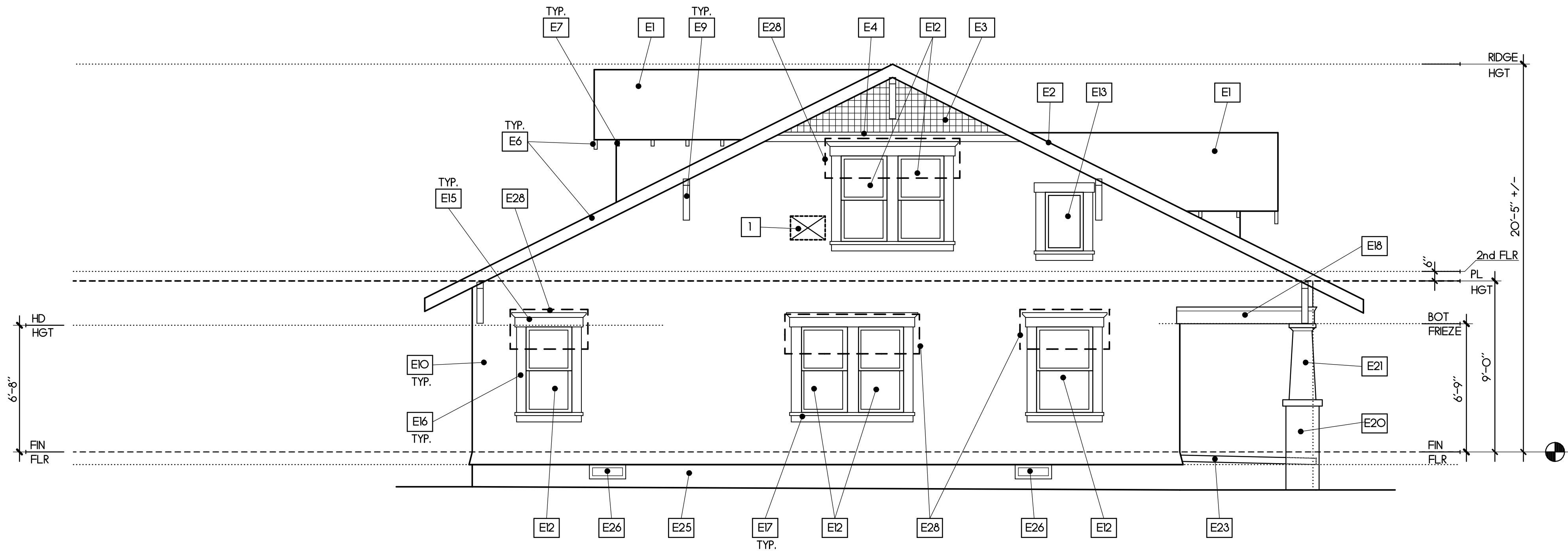


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SHE

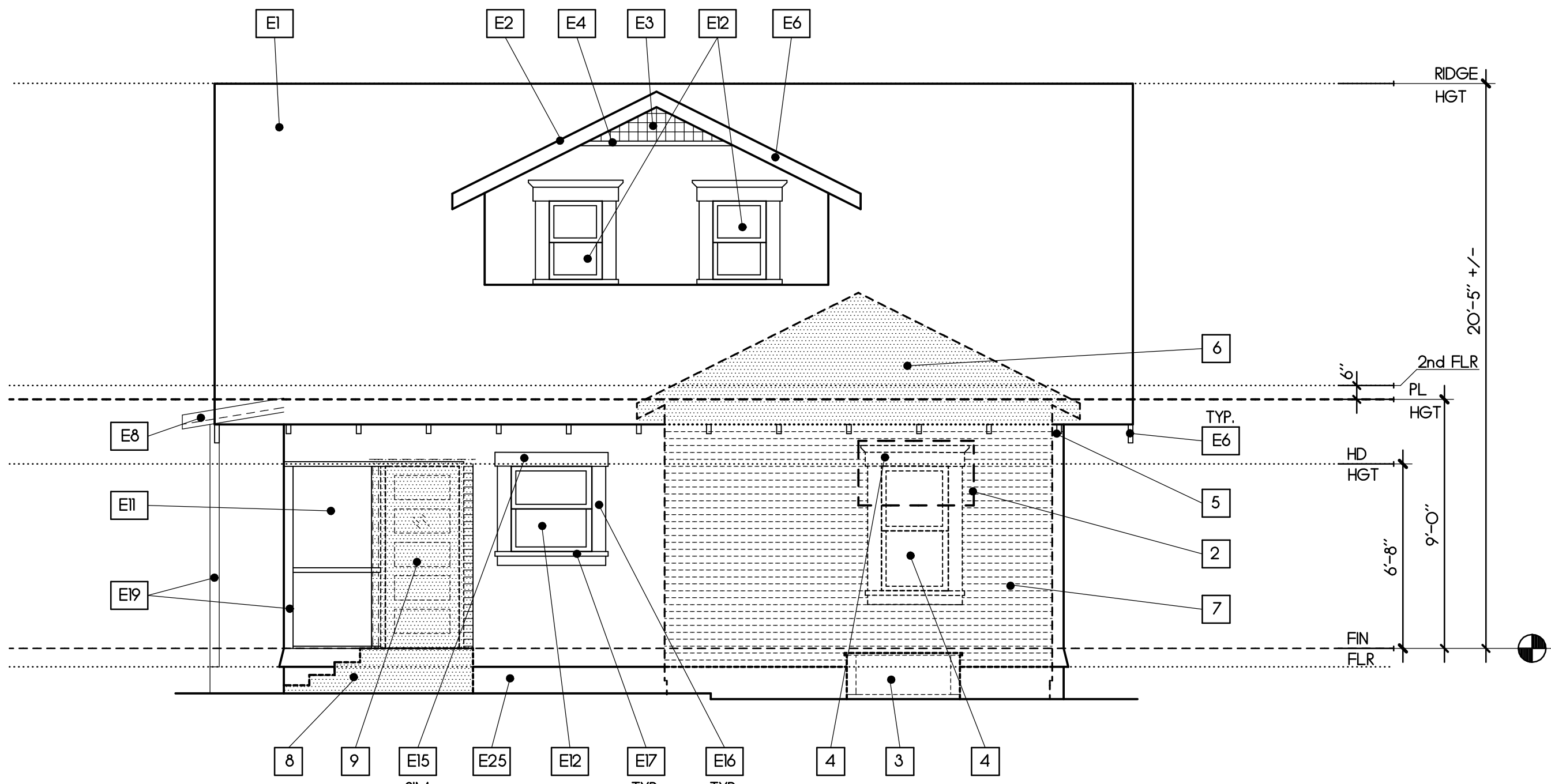
A1.3



WEST ELEVATION - PARTIAL DEMOLITION

SCALE: 1/4" = 1'-0"

HISTORIC MATERIAL PRESERVATION NOTE:
CHEMICAL OR PHYSICAL TREATMENTS, SUCH AS SANDBLASTING,
THAT CAUSE DAMAGE TO HISTORIC MATERIALS SHALL NOT BE
USED AND SURFACE CLEANING OF STRUCTURES SHALL BE
UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE.



REAR ELEVATION - PARTIAL DEMOLITION

SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- EXISTING CONDITIONS
- E1 EXISTING ASPHALT SHINGLE ROOFING
 - E2 EXISTING SHEET METAL EDGE FLASHING
 - E3 EXISTING WOOD LATH GABLE VENT
 - E4 EXISTING WOOD GABLE VENT SILL
 - E5 EXISTING WOOD ATTIC LOUVERS
 - E6 EXISTING 2 x 8 BARGE RAFTER, PLUMB-CUT TAIL
 - E7 EXISTING 2 x 4 EXPOSED RAFTER TAILS, PLUMB-CUT
 - E8 EXISTING 2 x 6 BARGE RAFTER, PLUMB-CUT
 - E9 EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE
 - E10 EXISTING WOOD BEVELED LAP SIDING - 3" EXPOSURE
 - E11 EXISTING WOOD BEAD-BOARD VERTICAL PANELING (2 1/2" SPACING)
 - E12 EXISTING WOOD DOUBLE-HUNG WINDOW
 - E13 EXISTING WOOD FIXED WINDOW
 - E14 EXISTING WOOD CASEMENT WINDOW
 - E15 EXISTING 1 x 6 HEAD CASING AND CROWN MOLD
 - E16 EXISTING 1 x 6 JAMB CASING
 - E17 EXISTING WOOD WINDOW SILL with 1 x 4 SILL APRON
 - E18 EXISTING 1 x WOOD FRIEZE BOARD
 - E19 EXISTING 1 x 4 VERTICAL WOOD CORNER TRIM
 - E20 EXISTING STUCCO PILASTER with CONCRETE CAP
 - E21 EXISTING TAPERED WOOD COLUMN with WOOD CORNICE CAP
 - E22 EXISTING 4 x 4 WOOD PORCH POSTS
 - E23 EXISTING CONCRETE PORCH
 - E24 EXISTING CONCRETE STEPS
 - E25 EXISTING EXPOSED FOUNDATION WALL
 - E26 EXISTING FOUNDATION VENT
 - E27 EXISTING WOOD CRAWL SPACE ACCESS HATCH
 - E28 EXISTING CANVAS AWNINGS

ELEVATION KEYNOTES

- DEMOLITION
- 1 DISCONNECT AND REMOVE EXISTING THRU-WALL HVAC UNIT
 - 2 DEMOLISH AND REMOVE EXISTING CANVAS CANOPY AND FRAME
 - 3 DEMOLISH AND REMOVE EXISTING WOOD COVER AND FRAME AT UNDER-FLOOR ACCESS STEPS
 - 4 DISASSEMBLE, SAVE, AND SAFELY STORE EXISTING WOOD DOUBLE-HUNG WINDOW, FRAME, SILL, AND CASING
 - 5 CUT BACK EXISTING 2 x WOOD ROOF RAFTER TAILS AND OVERHANG IN THE AREA OF NEW ROOF STRUCTURE
 - 6 REMOVE PORTION OF EXISTING SHINGLE ROOFING AND PREPARE ROOF SHEATHING FOR NEW ROOF FRAMING
 - 7 DISASSEMBLE AND REMOVE EXISTING WOOD SIDING IN THE AREA OF NEW CONSTRUCTION, SAVE AND SAFELY STORE SIDING FOR RE-USE AS PATCH MATERIAL FOR THE REPAIR/REPLACEMENT OF EXISTING 3" LAP SIDING
 - 8 DEMOLISH AND REMOVE CONCRETE LANDINGS, STEPS, AND WOOD RAILING
 - 9 DISASSEMBLE AND REMOVE EXISTING WOOD DOOR, DOOR FRAME, THRESHOLD, AND HARDWARE, REMOVE EXISTING WOOD CASING AND PIECES OF EXISTING SIDING AS NEEDED TO RE-FRAME OPENING FOR NEW DOOR OPENING
 - 10 NOT USED
 - 11 NOT USED
 - 12 NOT USED

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ORANGE, CALIFORNIA 92866
TEL: 714 628-0777
FAX: 714 628-0797

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PROFESSIONAL SEAL

WEST & REAR ELEVS
PARTIAL DEMOLITION

FILE NAME: 24-14_Demo_Rear Ele

MILESTONES:

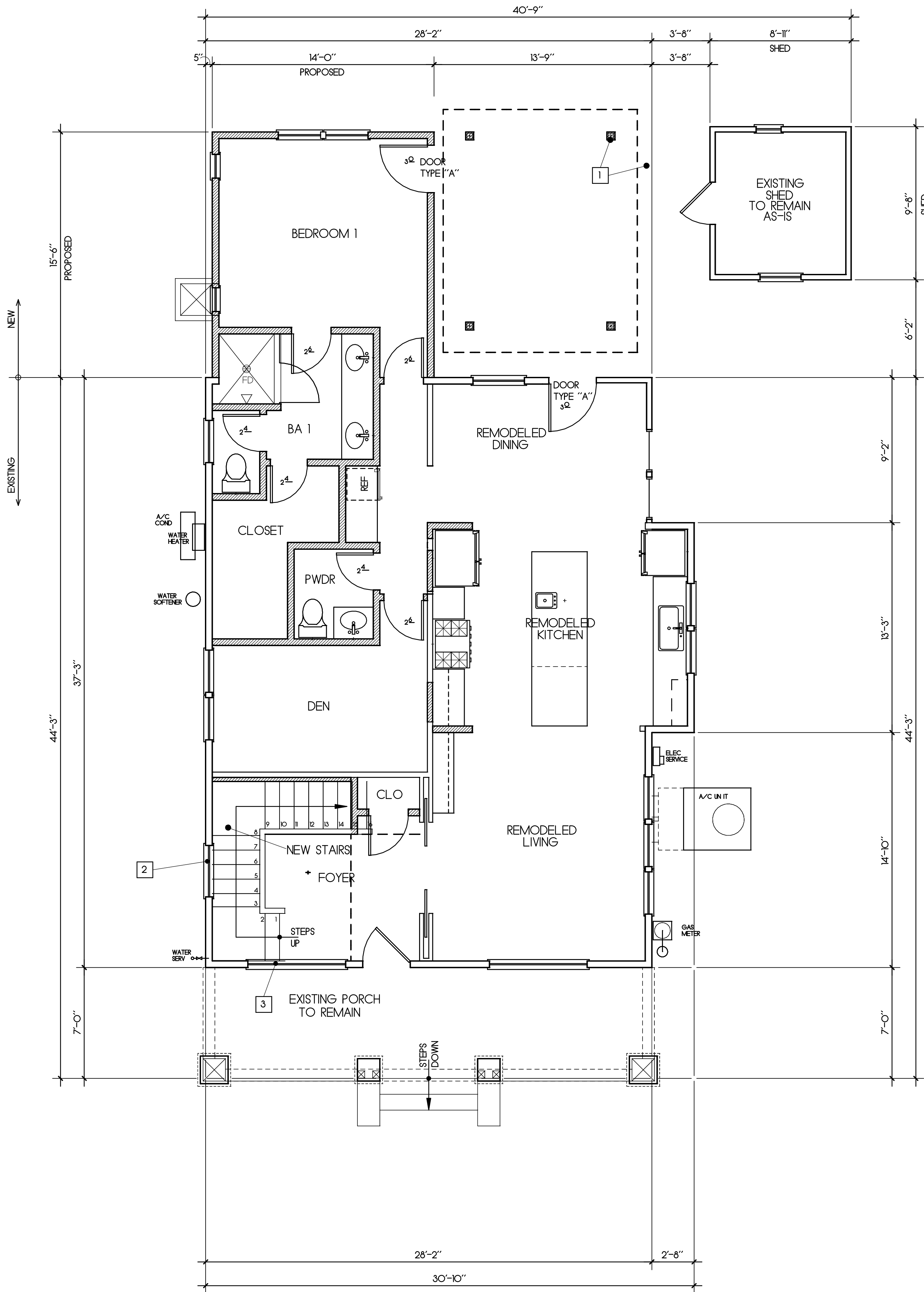
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REVISIONS:

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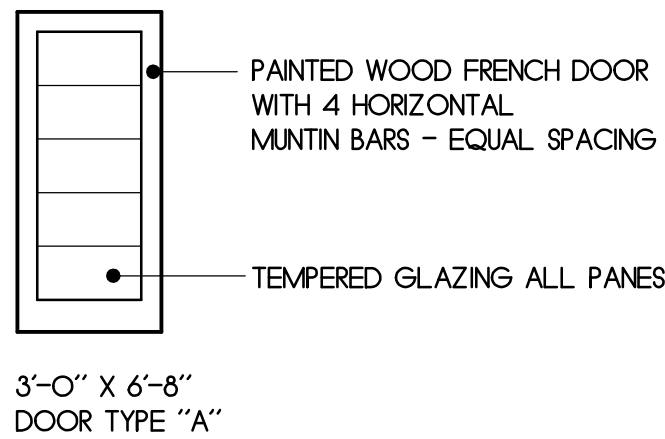
SHEET

A1.4



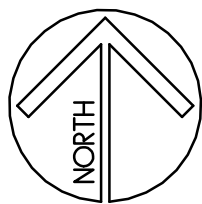
KEYNOTES

- 1 PROPOSED WOOD POSTS AND PATIO COVER (SOLID)
- 2 EXISTING WINDOW
INSTALL OBSCURE WINDOW FILM ON INSIDE FACE OF GLASS
SEE DETAILS 9/A5 and 10/A5
INSTALL SAFETY FILM on INTERIOR FACE OF THIS GLASS PANE OR
SEE EXTERIOR ELEVATIONS
- 3 EXISTING WINDOW
INSTALL SAFETY FILM on INTERIOR FACE OF THIS GLASS PANE OR
REPLACE EXISTING GLAZING WITH TEMPERED GLASS
PENDING ORANGE BUILDING OFFICIAL REVIEW/APPROVAL
SEE EXTERIOR ELEVATIONS
- 4 NOT USED
- 5 NOT USED
- 6 NOT USED
- 7 NOT USED
- 8 NOT USED
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 NOT USED
- 15 NOT USED



WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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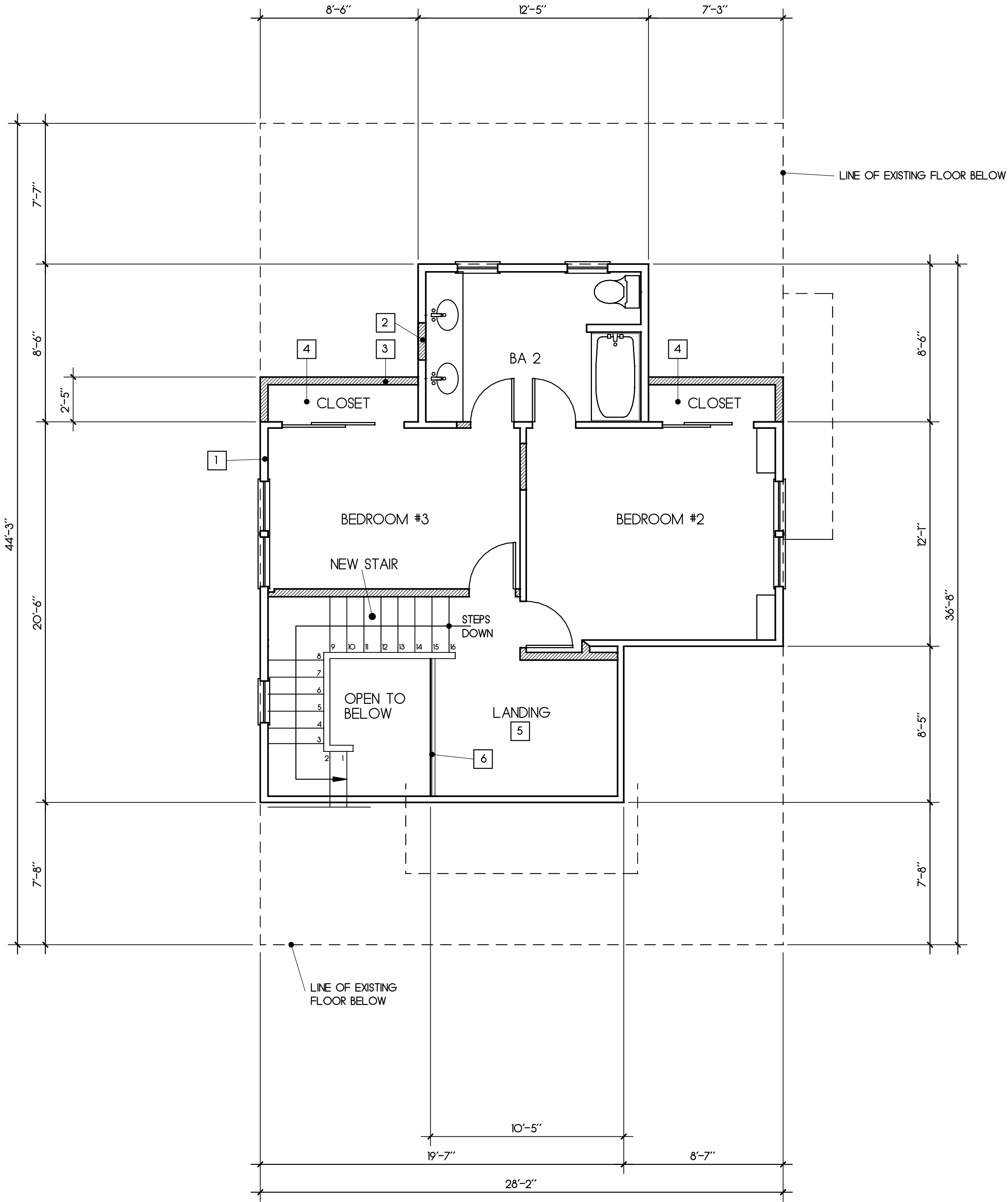
PROPOSED FIRST FLOOR PLAN

FILE NAME: 24-14_Floor-Shed
MILESTONES:

REVISIONS:

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SHEET

A2.1

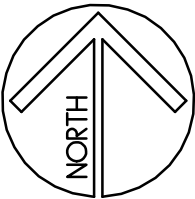


KEYNOTES

- 1 REMOVE EXISTING THROUGH-WALL HVAC UNIT, SEE ELEVATIONS
- 2 INFILL EXISTING ATTIC ACCESS OPENING
- 3 NEW ATTIC ACCESS PANEL THRU CLOSET WALL
- 4 CONSTRUCT NEW CLOSETS WITHIN THE EXISTING ATTIC SPACE BELOW EXISTING ROOF --- NOT VISIBLE FROM OUTSIDE THE STRUCTURE
- 5 CONSTRUCT NEW 2ND FLOOR LANDING WITH THE EXISTING ATTIC SPACE BELOW EXISTING ROOF --- NOT VISIBLE FROM OUTSIDE THE STRUCTURE
- 6 42" HIGH WOOD GUARDRAIL AT EDGE OF LANDING
- 7 NOT USED
- 8 NOT USED
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 NOT USED
- 15 NOT USED

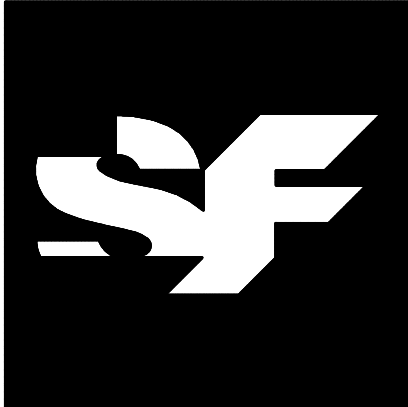
WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD WALL



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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ORANGE, CA 92866

PROFESSIONAL SEAL

PROPOSED SECOND FLOOR PLAN

FILE NAME: 24-14_Floor-Shed
MILESTONES:

REVISIONS:

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SHEET

A2.2

A RESIDENTIAL REMODEL & ADDITION FOR:
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823 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

**PROPOSED
ROOF PLAN**

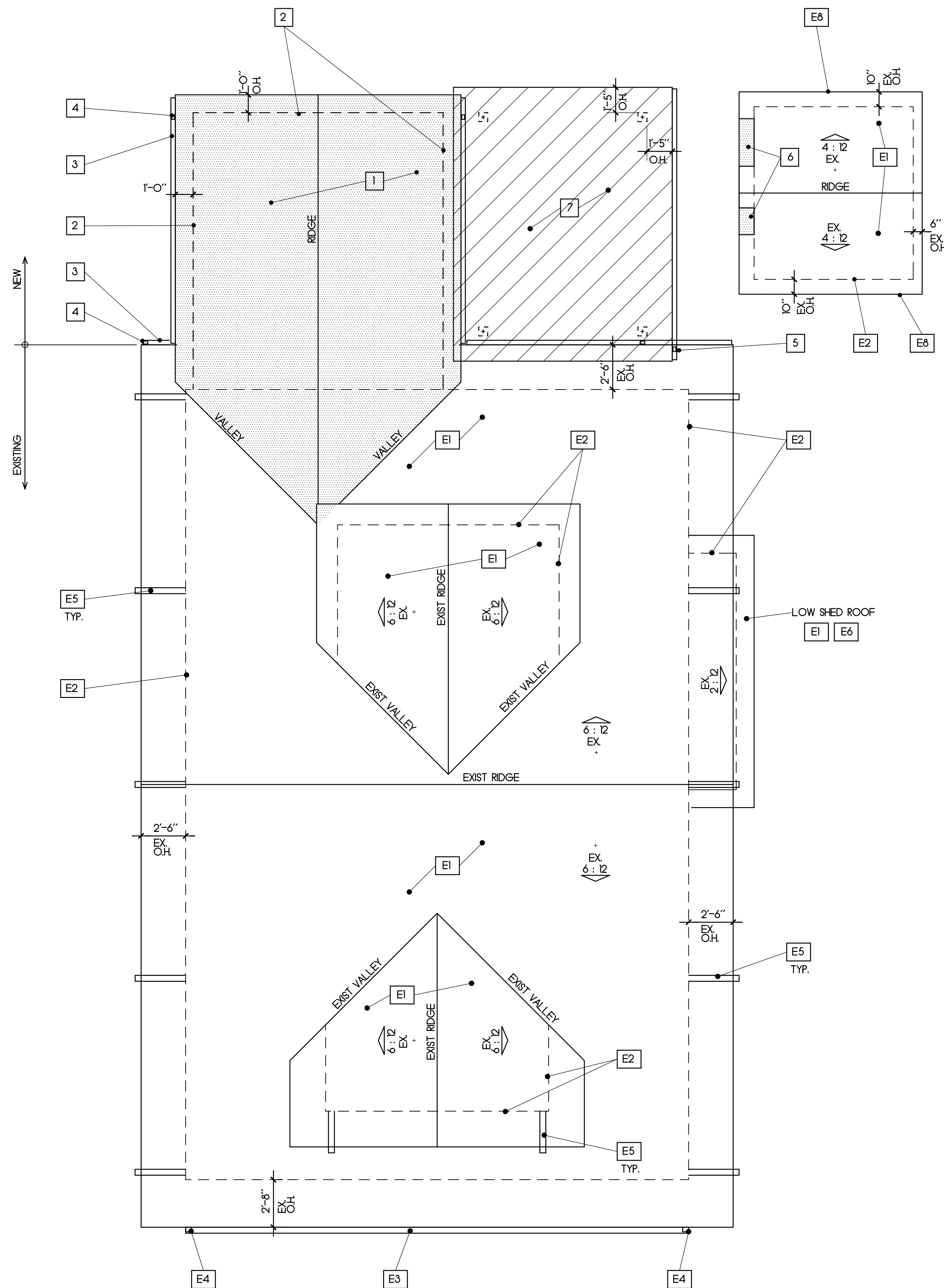
FILE NAME: 24-14_Root

REVISIONS:

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SHEET

A3



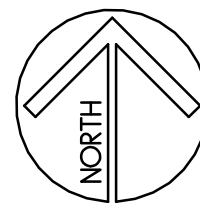
EXISTING CONDITIONS

- | | |
|-----|---|
| E1 | EXISTING ASPHALT SHINGLE ROOFING |
| E2 | FACE OF EXISTING EXTERIOR WALLS BELOW |
| E3 | EXISTING SHEET METAL EAVE GUTTER |
| E4 | EXISTING SHEET METAL DOWNSPOUTS, SPILL TO GRADE |
| E5 | EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE |
| E6 | EXISTING LOW SHED ROOF |
| E7 | EXISTING LOW-SLOPED WOOD FRAMED PATIO COVER |
| E8 | LINE OF EXISTING SHED ROOF |
| E9 | EXISTING PATIO COVER POSTS BELOW |
| E10 | EXISTING BARGE RAFTER CUT-AWAY FOR ADJACENT SLOPING CANOPY EDGE |

PROPOSED CONDITIONS

- | | |
|----|--|
| 1 | ASPHALT ROOFING SHINGLES TO MATCH EXISTING |
| 2 | LINE OF WALL BELOW |
| 3 | SHEET METAL EAVE GUTTERS |
| 4 | SHEET METAL DOWNSPOUTS, SPILL TO GRADE |
| 5 | SHEET METAL DOWNSPOUT, SPILL TO ROOF SURFACE OF EXISTING HOUSE |
| 6 | REMOVE PORTIONS OF EXISTING ROOFING SHINGLES SUFFICIENT TO THE MISSING ROOF SHEATHING PLANKS. CONSTRUCT SHEATHING PLANKS, CONSTRUCT SHEATHING REPAIRS, AND REINSTALL ROOFING SHINGLES, AND EDGE METAL TRIM |
| 7 | NEW BUILT-UP ROOFING AT THE PATIO COVER ROOF |
| 8 | NOT USED |
| 9 | NOT USED |
| 10 | NOT USED |

SCALE: $1/4" = 1'-0"$



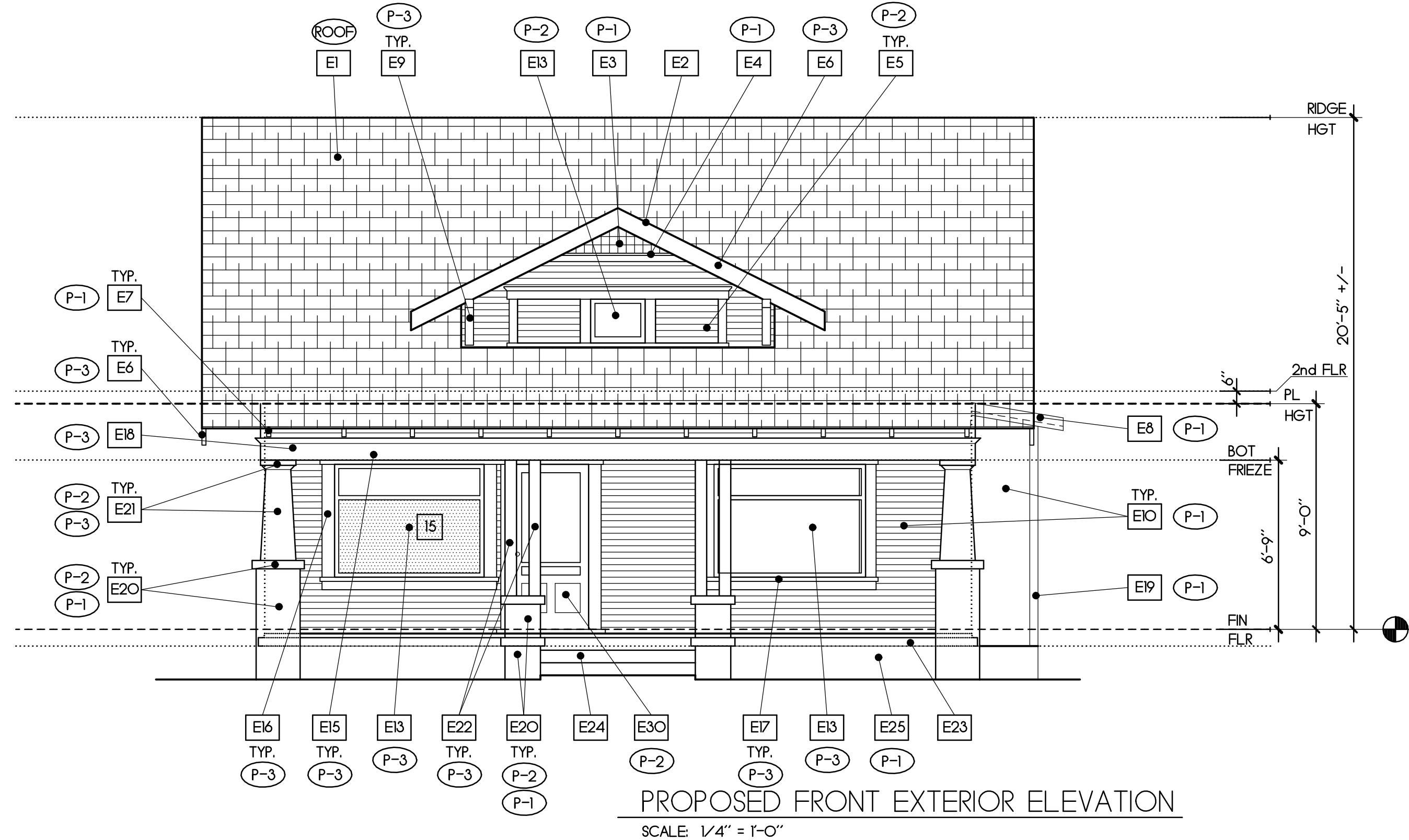
EXTERIOR FINISH SCHEDULE

SEE SHEET A7.1 & MATERIAL SAMPLE BOARD FOR ADDITIONAL INFORMATION

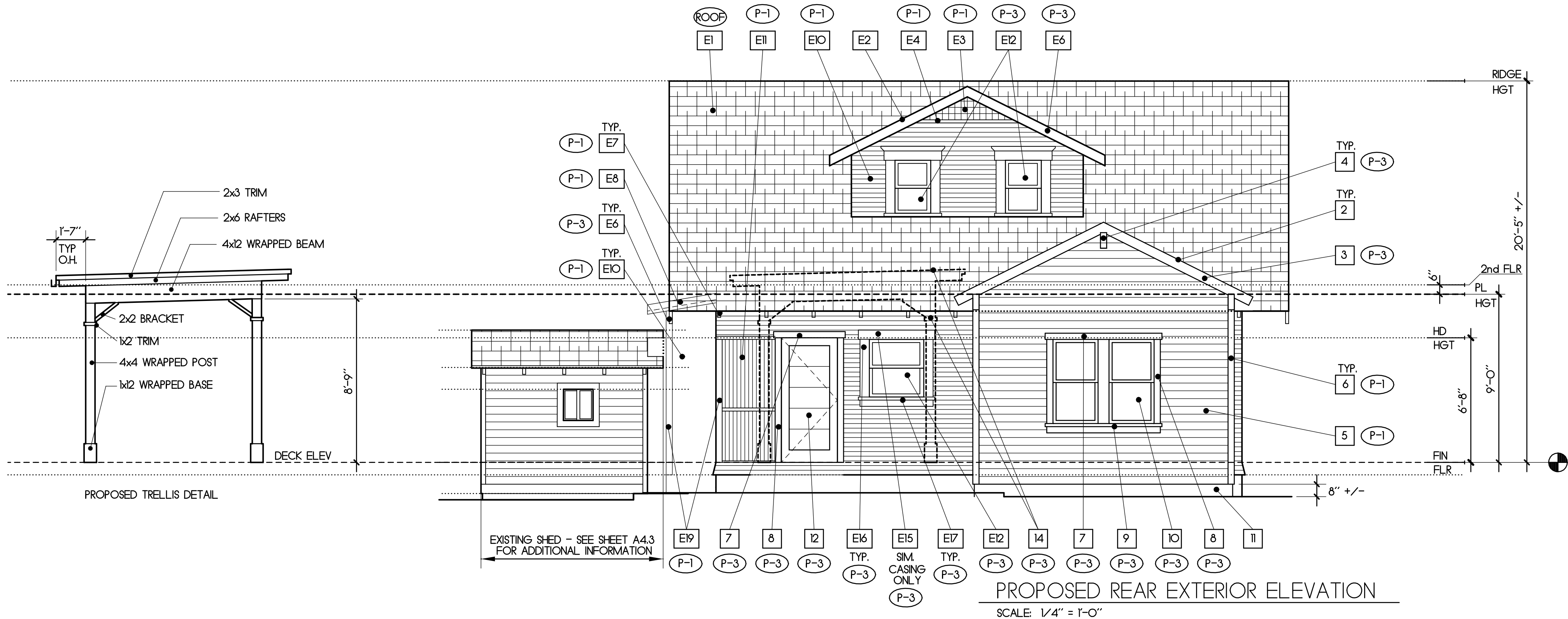
- (P-1) PAINT #1
MANUFACTURER: DUNN EDWARDS
COLOR: DE6221 "FLINTSTONE"
- (P-2) PAINT #2
MANUFACTURER: DUNN EDWARDS
COLOR: DEAOO2 "BLACK"
- (P-3) PAINT #3
MANUFACTURER: DUNN EDWARDS
COLOR: DET648 "WHITE PICKET FENCE"
- (ROOF) ROOFING MATERIAL (CLOSE MATCH)

SPECIFIC NOTES ON EXTERIOR FINISHES

- THESE FINISH SPECIFICATIONS APPLY TO EXISTING AND PROPOSED SURFACES. SEE SPECIFIC KEYNOTES FOR EXISTING VERSUS PROPOSED SURFACES.
- ALL EXISTING SURFACES ARE ALREADY PAINTED WITH THE SPECIFIC PAINT NOTED; THE EXISTING COLOR SCHEME WILL REMAIN AS-IS
- THE INTENT IS FOR PROPOSED CONSTRUCTION TO UTILIZE THE SAME SCHEME AS EXISTING



HISTORIC MATERIAL PRESERVATION NOTE:
CHEMICAL OR PHYSICAL TREATMENTS, SUCH AS SANDBLASTING, THAT CAUSE DAMAGE TO HISTORIC MATERIALS SHALL NOT BE USED AND SURFACE CLEANING OF STRUCTURES SHALL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE.



KEYNOTES — EXISTING CONDITIONS

- E1 EXISTING ASPHALT SHINGLE ROOFING
- E2 EXISTING SHEET METAL EDGE FLASHING
- E3 EXISTING WOOD LATH GABLE VENT
- E4 EXISTING WOOD GABLE VENT SILL
- E5 EXISTING WOOD ATTIC LOUVERS
- E6 EXISTING 2 x 8 BARGE RAFTER, PLUMB-CUT TAIL
- E7 EXISTING 2 x 4 EXPOSED RAFTER TAILS, PLUMB-CUT
- E8 EXISTING 2 x 6 BARGE RAFTER, PLUMB-CUT
- E9 EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE
- E10 EXISTING WOOD BEVELED LAP SIDING - 3" EXPOSURE
- E11 EXISTING WOOD BEAD-BOARD VERTICAL PANELING (2 1/2" SPACING)
- E12 EXISTING WOOD DOUBLE-HUNG WINDOW
- E13 EXISTING WOOD FIXED WINDOW
- E14 EXISTING WOOD CASEMENT WINDOW
- E15 EXISTING 1 x 6 HEAD CASING AND CROWN MOLD
- E16 EXISTING 1 x 6 JAMB CASING
- E17 EXISTING WOOD WINDOW SILL with 1 x 4 SILL APRON
- E18 EXISTING 1 x WOOD FRIEZE BOARD
- E19 EXISTING 1 x 4 VERTICAL WOOD CORNER TRIM
- E20 EXISTING STUCCO PILASTER with CONCRETE CAP
- E21 EXISTING TAPERED WOOD COLUMN with WOOD CORNICE CAP
- E22 EXISTING 4 x 4 WOOD PORCH POSTS
- E23 EXISTING CONCRETE PORCH
- E24 EXISTING CONCRETE STEPS
- E25 EXISTING EXPOSED FOUNDATION WALL
- E26 EXISTING FOUNDATION VENT
- E27 EXISTING WOOD CRAWL SPACE ACCESS HATCH
- E28 EXISTING CANVAS AWNINGS
- E29 EXISTING A/C UNIT THRU WALL
- E30 EXISTING DOOR

KEYNOTES — PROPOSED CONDITIONS

- 1 ASPHALT SHINGLE ROOFING TO MATCH EXISTING
- 2 SHEET METAL EDGE FLASHING TO MATCH EXISTING
- 3 2 x 8 BARGE RAFTER, SQUARE-CUT TAIL
- 4 4 x 10 OUTLOOKER
- 5 WOOD BEVELED LAP SIDING - 5" EXPOSURE
- 6 1 x 3 VERTICAL WOOD CORNER TRIM
- 7 1 x 4 HEAD CASING
- 8 1 x 4 JAMB CASING
- 9 WOOD WINDOW SILL with 1 x 4 SILL APRON
- 10 WOOD DOUBLE-HUNG WINDOW
- 11 EXPOSED CONCRETE FOUNDATION WALL SURFACE SHALL BE ROUGHENED BOARD-FORM TO CONTRAST with EXISTING PARSED FOUNDATION SURFACES
- 12 NEW PAINTED WOOD FRENCH DOOR - SEE PLAN
- 13 2 x 4 EXPOSED RAFTER TAILS, SQUARE-CUT
- 14 WOOD POSTS AND PATIO COVER
- 15 INSTALL SAFETY FILM on INTERIOR FACE OF THIS GLASS PANE OR REPLACE EXISTING GLAZING WITH TEMPERED GLASS PENDING ORANGE BUILDING OFFICIAL REVIEW/APPROVAL
- 16 INSTALL OBSCURE WINDOW FILM ON INSIDE FACE OF GLASS SEE DETAILS 9/A5 and 10/A5
INSTALL SAFETY FILM on INTERIOR FACE OF THIS GLASS PANE OR

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A RESIDENTIAL REMODEL & ADDITION FOR:
MIKE & NANCY DOTING
623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

PROPOSED EXTERIOR ELEVATIONS

FILE NAME: 24-14_Elev-House
MILESTONES:

REVISIONS:

- △
- △
- △
- △
- △

SHEET

A4.1

SEE SHEET A7.1 & MATERIAL SAMPLE BOARD FOR ADDITIONAL INFORMATION

- SPECIFIC NOTES ON EXTERIOR FINISHES

-
- Architectural elevation drawing of a building facade. The drawing includes numerous callouts for materials and finishes, organized into two columns on the left and one on the right. The left column lists materials for the roof, walls, and windows, while the right column lists materials for the roof, walls, and windows. The drawing also includes dimensions for the building's height and width.
- Left Column Callouts:**
- WARDS
K"
 - WARDS
PICKET FENCE"
 - SE MATCH
 - FINISHES
 - APPLY
FACES,
STING
 - ALREADY
NOTED;
ALL
 - 6'-9"
 - BOT
FRIEZE
 - P-2
 - P-3
 - P-2
 - P-1
 - FIN
FLR
- Right Column Callouts:**
- 20'-5" +/-
 - RIDGE
HGT
 - 2nd FLR
 - PL
HGT
 - HD
HGT
 - 6'-8"
 - FIN
FLR
 - 8" +/-
- Callout Details:**
- Roof: E1, E2, E3, E4, E5, E6, E7, E8, E9, E10, E11, E12, E13, E14, E15, E16, E17, E18, E19, E20, E21, E22, E23, E24, E25, E26, E27, E28, E29, E30, E31, E32, E33, E34, E35, E36, E37, E38, E39, E40, E41, E42, E43, E44, E45, E46, E47, E48, E49, E50, E51, E52, E53, E54, E55, E56, E57, E58, E59, E60, E61, E62, E63, E64, E65, E66, E67, E68, E69, E70, E71, E72, E73, E74, E75, E76, E77, E78, E79, E80, E81, E82, E83, E84, E85, E86, E87, E88, E89, E90, E91, E92, E93, E94, E95, E96, E97, E98, E99, E100, E101, E102, E103, E104, E105, E106, E107, E108, E109, E110, E111, E112, E113, E114, E115, E116, E117, E118, E119, E120, E121, E122, E123, E124, E125, E126, E127, E128, E129, E130, E131, E132, E133, E134, E135, E136, E137, E138, E139, E140, E141, E142, E143, E144, E145, E146, E147, E148, E149, E150, E151, E152, E153, E154, E155, E156, E157, E158, E159, E160, E161, E162, E163, E164, E165, E166, E167, E168, E169, E170, E171, E172, E173, E174, E175, E176, E177, E178, E179, E180, E181, E182, E183, E184, E185, E186, E187, E188, E189, E190, E191, E192, E193, E194, E195, E196, E197, E198, E199, E200, E201, E202, E203, E204, E205, E206, E207, E208, E209, E210, E211, E212, E213, E214, E215, E216, E217, E218, E219, E220, E221, E222, E223, E224, E225, E226, E227, E228, E229, E230, E231, E232, E233, E234, E235, E236, E237, E238, E239, E240, E241, E242, E243, E244, E245, E246, E247, E248, E249, E250, E251, E252, E253, E254, E255, E256, E257, E258, E259, E260, E261, E262, E263, E264, E265, E266, E267, E268, E269, E270, E271, E272, E273, E274, E275, E276, E277, E278, E279, E280, E281, E282, E283, E284, E285, E286, E287, E288, E289, E290, E291, E292, E293, E294, E295, E296, E297, E298, E299, E300, E301, E302, E303, E304, E305, E306, E307, E308, E309, E310, E311, E312, E313, E314, E315, E316, E317, E318, E319, E320, E321, E322, E323, E324, E325, E326, E327, E328, E329, E330, E331, E332, E333, E334, E335, E336, E337, E338, E339, E340, E341, E342, E343, E344, E345, E346, E347, E348, E349, E350, E351, E352, E353, E354, E355, E356, E357, E358, E359, E360, E361, E362, E363, E364, E365, E366, E367, E368, E369, E370, E371, E372, E373, E374, E375, E376, E377, E378, E379, E380, E381, E382, E383, E384, E385, E386, E387, E388, E389, E390, E391, E392, E393, E394, E395, E396, E397, E398, E399, E400, E401, E402, E403, E404, E405, E406, E407, E408, E409, E410, E411, E412, E413, E414, E415, E416, E417, E418, E419, E420, E421, E422, E423, E424, E425, E426, E427, E428, E429, E430, E431, E432, E433, E434, E435, E436, E437, E438, E439, E440, E441, E442, E443, E444, E445, E446, E447, E448, E449, E450, E451, E452, E453, E454, E455, E456, E457, E458, E459, E460, E461, E462, E463, E464, E465, E466, E467, E468, E469, E470, E471, E472, E473, E474, E475, E476, E477, E478, E479, E480, E481, E482, E483, E484, E485, E486, E487, E488, E489, E490, E491, E492, E493, E494, E495, E496, E497, E498, E499, E500, E501, E502, E503, E504, E505, E506, E507, E508, E509, E510, E511, E512, E513, E514, E515, E516, E517, E518, E519, E520, E521, E522, E523, E524, E525, E526, E527, E528, E529, E530, E531, E532, E533, E534, E535, E536, E537, E538, E539, E540, E541, E542, E543, E544, E545, E546, E547, E548, E549, E550, E551, E552, E553, E554, E555, E556, E557, E558, E559, E560, E561, E562, E563, E564, E565, E566, E567, E568, E569, E570, E571, E572, E573, E574, E575, E576, E577, E578, E579, E580, E581, E582, E583, E584, E585, E586, E587, E588, E589, E590, E591, E592, E593, E594, E595, E596, E597, E598, E599, E600, E601, E602, E603, E604, E605, E606, E607, E608, E609, E610, E611, E612, E613, E614, E615, E616, E617, E618, E619, E620, E621, E622, E623, E624, E625, E626, E627, E628, E629, E630, E631, E632, E633, E634, E635, E636, E637, E638, E639, E640, E641, E642, E643, E644, E645, E646, E647, E648, E649, E650, E651, E652, E653, E654, E655, E656, E657, E658, E659, E660, E661, E662, E663, E664, E665, E666, E667, E668, E669, E670, E671, E672, E673, E674, E675, E676, E677, E678, E679, E680, E681, E682, E683, E684, E685, E686, E687, E688, E689, E690, E691, E692, E693, E694, E695, E696, E697, E698, E699, E700, E701, E702, E703, E704, E705, E706, E707, E708, E709, E710, E711, E712, E713, E714, E715, E716, E717, E718, E719, E720, E721, E722, E723, E724, E725, E726, E727, E728, E729, E730, E731, E732, E733, E734, E735, E736, E737, E738, E739, E740, E741, E742, E743, E744, E745, E746, E747, E748, E749, E750, E751, E752, E753, E754, E755, E756, E757, E758, E759, E760, E761, E762, E763

SCALE: 1/4" = 1'-0"

This architectural elevation drawing shows a building facade with a gabled roof. The drawing includes numerous callouts for materials and components, organized as follows:

- Left Side Callouts (from top to bottom):**
 - 2 (Material)
 - 3 (Material, P-3)
 - TYP. 13 (Material, P-1)
 - TYP. 10 (Material, P-3)
 - 5 (Material, P-1)
 - 6 (Material, P-1)
- Top Callouts (from left to right):**
 - P-1 TYP. E7
 - E1
 - P-3 TYP. E9
 - E11
 - E29
 - E28
 - E4
 - P-3
 - P-3
 - P-1
 - E3
- Right Side Callouts (from top to bottom):**
 - P-3
 - E2
 - E3
 - E1
 - TYP. E7 (P-1)
 - E6 (P-3)
 - E8 (P-3)
 - 2nd FLR
 - 6" PL HGT
 - BOT FRIEZE
 - 9'-0"
 - 6'-9"
 - FIN FLR
 - E21 (P-2, P-3)
 - E20 (P-2, P-1)
- Bottom Callouts (from left to right):**
 - 8 TYP. (P-3)
 - 7 TYP. (P-3)
 - 9 TYP. (P-3)
 - 11
 - E12 (P-3)
 - E16 TYP. (P-3)
 - E26
 - E25
 - E17 TYP. (P-3)
 - E12 (P-3)
 - E28
 - E26 (P-1)
 - E12 (P-3)
 - E10 TYP. (P-1)
 - E23
- Dimensions and Notes:**
 - HD HGT: 6'-8"
 - FIN FLR: 8" +/-
 - RIDGE HGT: 20'-5" +/-

SCALE: 1/4" = 1'-0"

E1	EXISTING ASPHALT SHINGLE ROOFING
E2	EXISTING SHEET METAL EDGE FLASHING
E3	EXISTING WOOD LATH GABLE VENT
E4	EXISTING WOOD GABLE VENT SILL
E5	EXISTING WOOD ATTIC LOUVERS
E6	EXISTING 2 x 8 BARGE RAFTER, PLUMB-CUT TAIL
E7	EXISTING 2 x 4 EXPOSED RAFTER TAILS, PLUMB-CUT
E8	EXISTING 2 x 6 BARGE RAFTER, PLUMB-CUT
E9	EXISTING WOOD BRACKETS - 4 x 4 OUTLOOKER with SHAPED DIAGONAL BRACE
E10	EXISTING WOOD BEVELED LAP SIDING - 3" EXPOSURE
E11	EXISTING WOOD BEAD-BOARD VERTICAL PANELING (2 1/2" SPACING)
E12	EXISTING WOOD DOUBLE-HUNG WINDOW
E13	EXISTING WOOD FIXED WINDOW
E14	EXISTING WOOD CASEMENT WINDOW
E15	EXISTING 1 x 6 HEAD CASING AND CROWN MOLD
E16	EXISTING 1 x 6 JAMB CASING
E17	EXISTING WOOD WINDOW SILL with 1 x 4 SILL APRON
E18	EXISTING 1 x WOOD FRIEZE BOARD
E19	EXISTING 1 x 4 VERTICAL WOOD CORNER TRIM
E20	EXISTING STUCCO PLASTER with CONCRETE CAP
E21	EXISTING TAPERED WOOD COLUMN with WOOD CORNICE CAP
E22	EXISTING 4 x 4 WOOD PORCH POSTS
E23	EXISTING CONCRETE PORCH
E24	EXISTING CONCRETE STEPS
E25	EXISTING EXPOSED FOUNDATION WALL
E26	EXISTING FOUNDATION VENT
E27	EXISTING WOOD CRAWL SPACE ACCESS HATCH
E28	EXISTING CANVAS AWNINGS
E29	EXISTING A/C UNIT THRU WALL
E30	EXISTING DOOR






1	ASPHALT SHINGLE ROOFING TO MATCH EXISTING
2	SHEET METAL EDGE FLASHING TO MATCH EXISTING
3	2 x 8 BARGE RAFTER, SQUARE-CUT TAIL
4	4 x 10 OUTLOOKER
5	WOOD BEVELED LAP SIDING - 5" EXPOSURE
6	1 x 3 VERTICAL WOOD CORNER TRIM
7	1 x 4 HEAD CASING
8	1 x 4 JAMB CASING
9	WOOD WINDOW SILL with 1 x 4 SILL APRON
10	WOOD DOUBLE-HUNG WINDOW
11	EXPOSED CONCRETE FOUNDATION WALL SURFACE SHALL BE ROUGHENED BOARD-FORM TO CONTRAST with EXISTING PARGED FOUNDATION SURFACES
12	NEW PAINTED WOOD FRENCH DOOR - SEE PLAN
13	2 x 4 EXPOSED RAFTER TAILS, SQUARE-CUT
14	WOOD POSTS AND PATIO COVER
15	INSTALL SAFETY FILM ON INTERIOR FACE OF THIS GLASS PANE OR REPLACE EXISTING GLAZING WITH TEMPERED GLASS PENDING ORANGE BUILDING OFFICIAL REVIEW/APPROVAL
16	INSTALL OBTSCURE WINDOW FILM ON INSIDE FACE OF GLASS SEE DETAILS 9/A5 AND 10/A5 INSTALL SAFETY FILM ON INTERIOR FACE OF THIS GLASS PANE OR

PROFESSIONAL SEAL

FILE NAME: 24-14_Elev-House

MILESTONES

REVISIONS:

	10
	10
	10
	10
	10

SHEET

A4.2

EXTERIOR FINISH SCHEDULE

SEE SHEET A7.1 & MATERIAL SAMPLE BOARD FOR ADDITIONAL INFORMATION

- P-1

P-1

P-1

PAINT #1
MANUFACTURER: DUNN EDWARDS
COLOR: DE6221 "FLINTSTONE"
- P-2

P-2

P-2

PAINT #2
MANUFACTURER: DUNN EDWARDS
COLOR: DEAOO2 "BLACK"
- P-3

P-3

P-3

PAINT #3
MANUFACTURER: DUNN EDWARDS
COLOR: DET648 "WHITE PICKET FENCE"
- ROOF

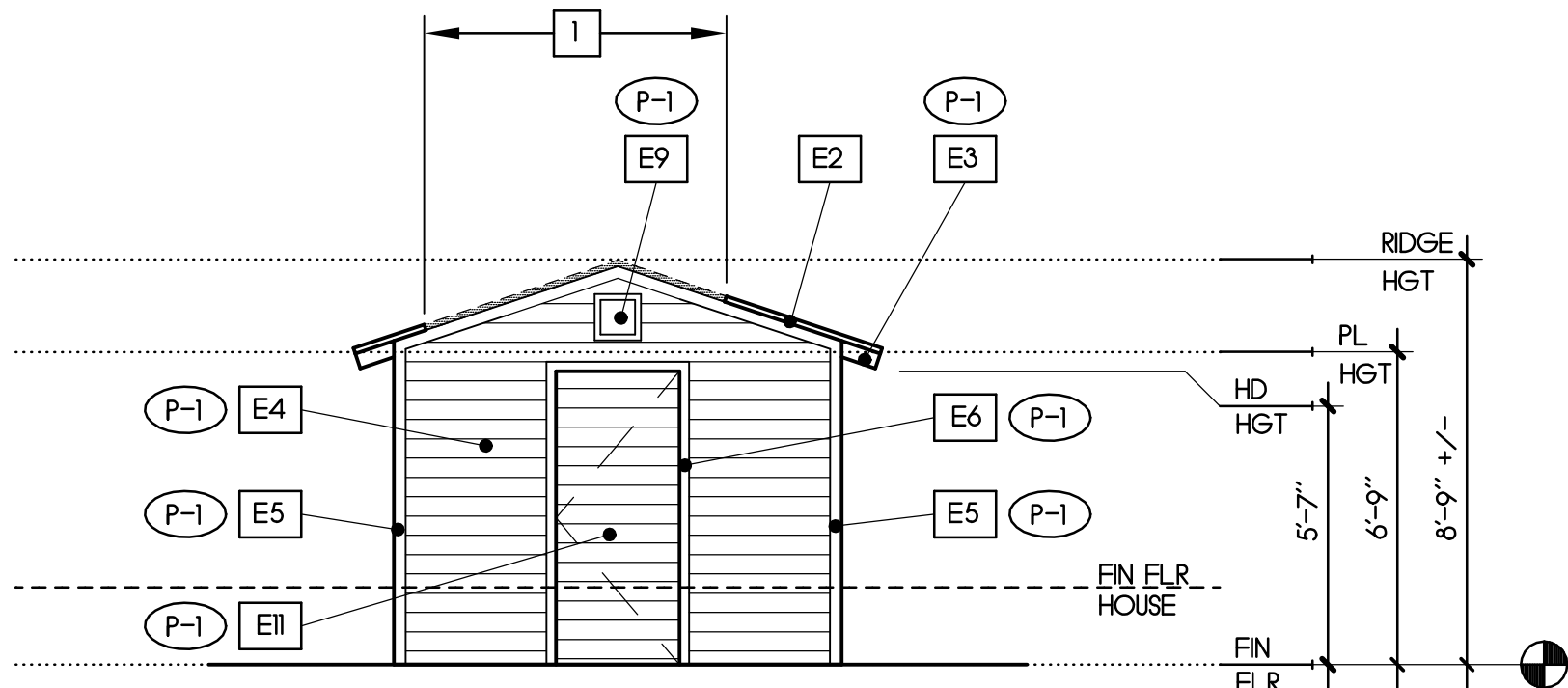
ROOF

ROOF

ROOFING MATERIAL (CLOSE MATCH)

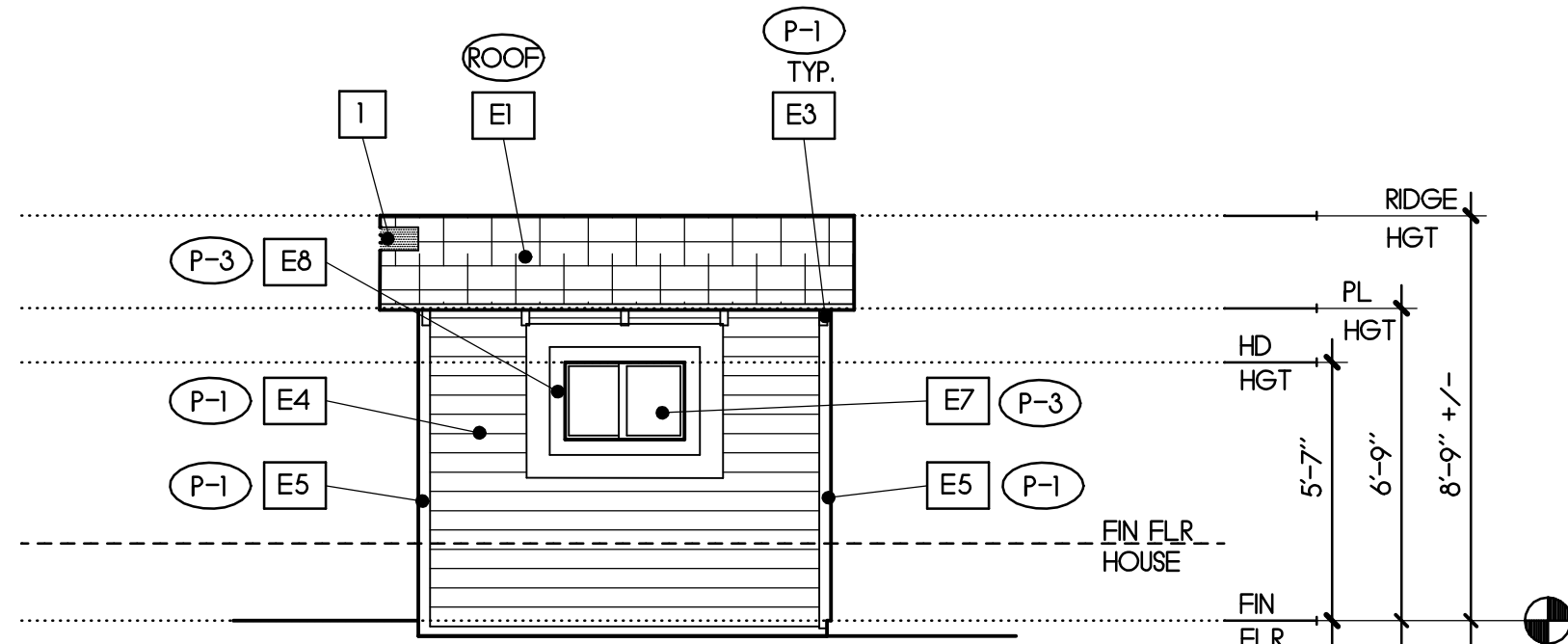
SPECIFIC NOTES ON EXTERIOR FINISHES

1. THESE FINISH SPECIFICATIONS APPLY TO EXISTING AND PROPOSED SURFACES. SEE SPECIFIC KEYNOTES FOR EXISTING VERSUS PROPOSED SURFACES.
2. ALL EXISTING SURFACES ARE ALREADY PAINTED WITH THE SPECIFIC PAINT NOTED; THE EXISTING COLOR SCHEME WILL REMAIN AS-IS
3. THE INTENT IS FOR PROPOSED CONSTRUCTION TO UTILIZE THE SAME SCHEME AS EXISTING



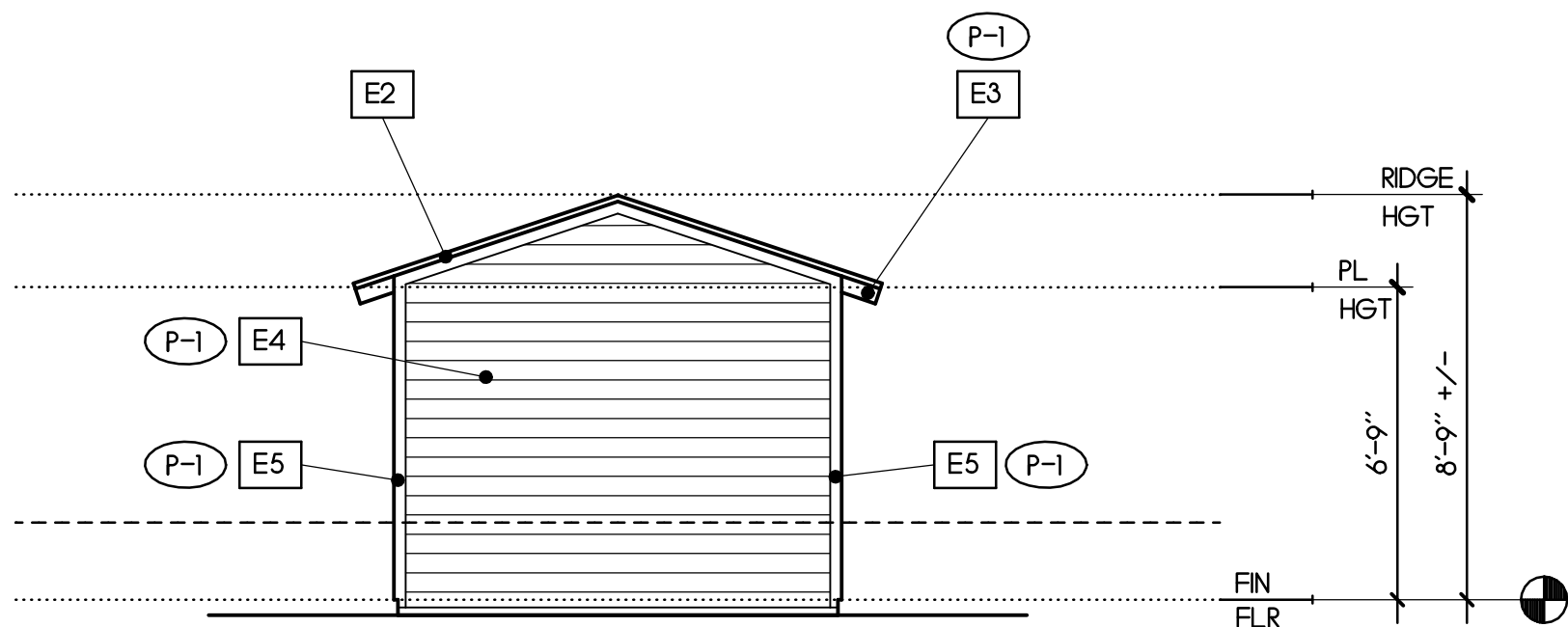
PROPOSED WEST SHED ELEVATION

SCALE: 1/4" = 1'-0"



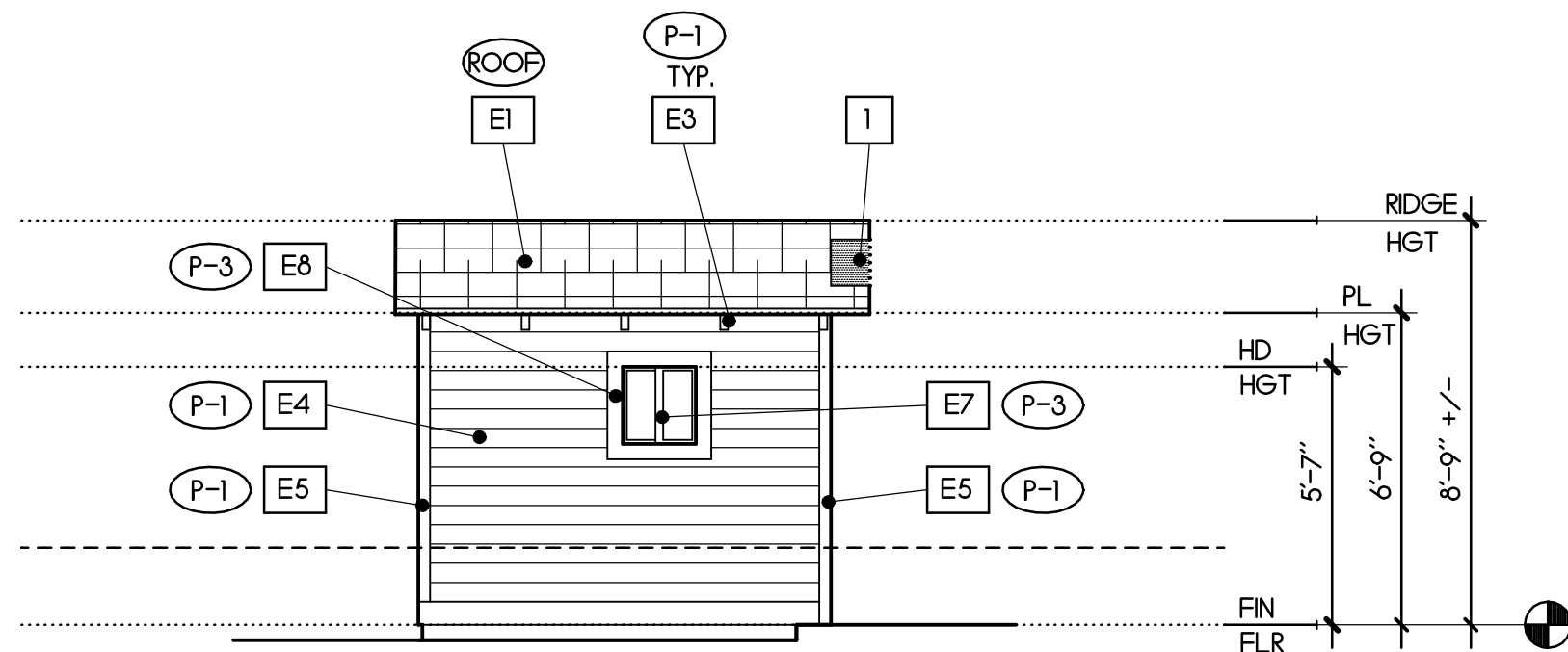
PROPOSED SOUTH SHED ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST SHED ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH SHED ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- EXISTING CONDITIONS
- E1

E1

E1

EXISTING ASPHALT SHINGLE ROOFING
- E2

E2

E2

EXISTING SHEET METAL EDGE FLASHING
- E3

E3

E3

EXISTING 2 x 4 EXPOSED RAFTER TAILS, PLUMB-CUT
- E4

E4

E4

EXISTING 1 x HORIZONTAL BEVELED LAP SIDING, 5" EXPOSURE
- E5

E5

E5

EXISTING 1 x 3 WOOD VERTICAL CORNER TRIM
- E6

E6

E6

EXISTING 1 x 3 DOOR CASING
- E7

E7

E7

EXISTING VINYL SLIDING WINDOW
- E8

E8

E8

EXISTING 1 x 6 WOOD WINDOW CASING
- E9

E9

E9

EXISTING GABLE VENT
- E10

E10

E10

EXISTING ROOF DECK, CUT-AWAY FOR ADJACENT SLOPING CANOPY EDGE
- E11

E11

E11

EXISTING DOOR WITH 1 x HORIZONTAL BEVELED LAP SIDING, 5" EXPOSURE

ELEVATION KEYNOTES

- PROPOSED CONDITIONS
- 1

1

1

PATCH AND REPAIR CUT-AWAY EXISTING ROOF WHERE WAS REMOVED. TEMPORARILY REMOVE ROOFING SHINGLES, REPAIR AND RECONSTRUCT MISSING 1 x PLANK SHEATHING TO PROPER CANTILEVER, AND RE-ROOF AS REQUIRED FOR WEATHER-TIGHT CONDITION
- 2

2

2

EXISTING SHEET METAL EDGE FLASHING
- 3

3

3

NOT USED
- 4

4

4

NOT USED
- 5

5

5

NOT USED

STRATOS FORM



275 SOUTH GLASSELL STREET
ORANGE, CALIFORNIA 92866
TEL: 714 628-0777
FAX: 714 628-0797

RICK FOX, ARCHITECT
CAROL TINK-FOX, ARCHITECT

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A RESIDENTIAL REMODEL & ADDITION FOR:
MIKE & NANCY DOTING
623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

PROPOSED EXTERIOR ELEVATIONS

FILE NAME: 24-14_Elev-Shed
MILESTONES:

REVISIONS:

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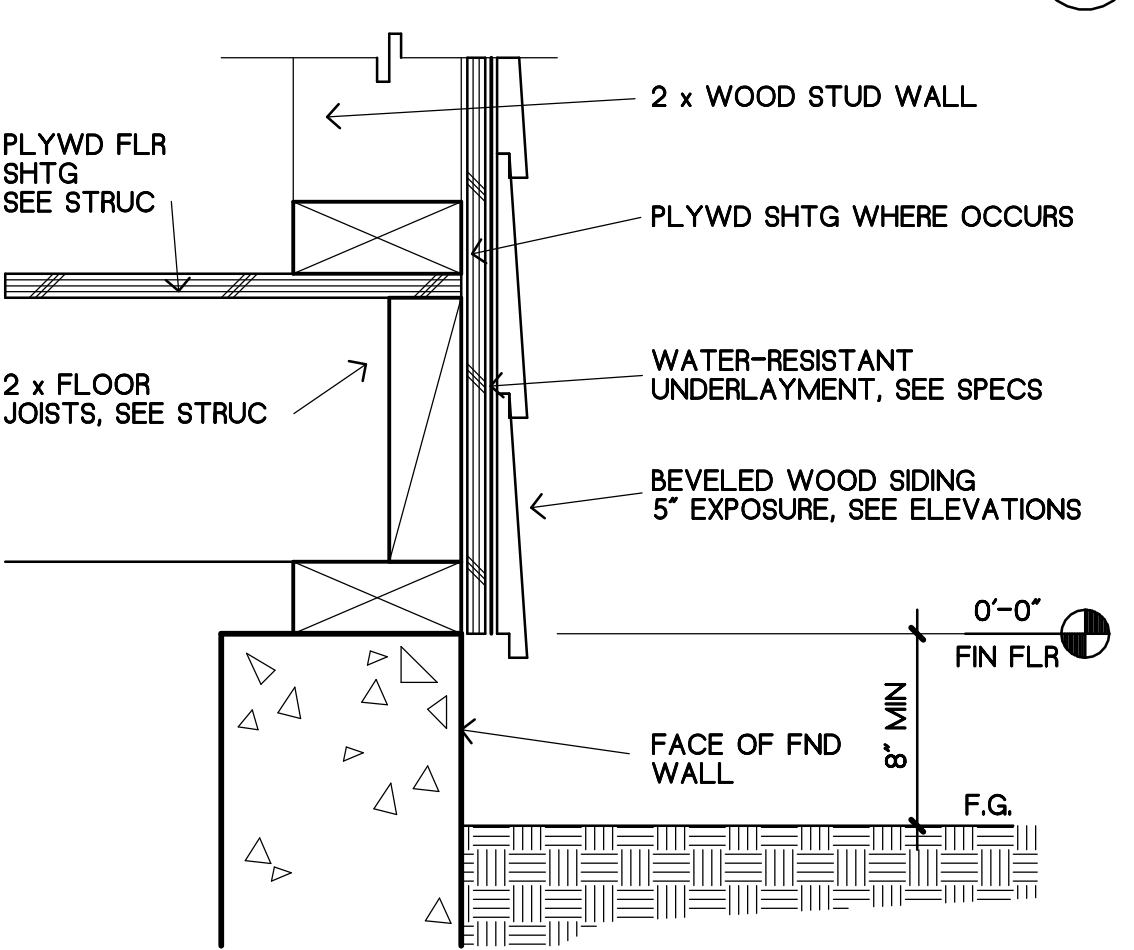
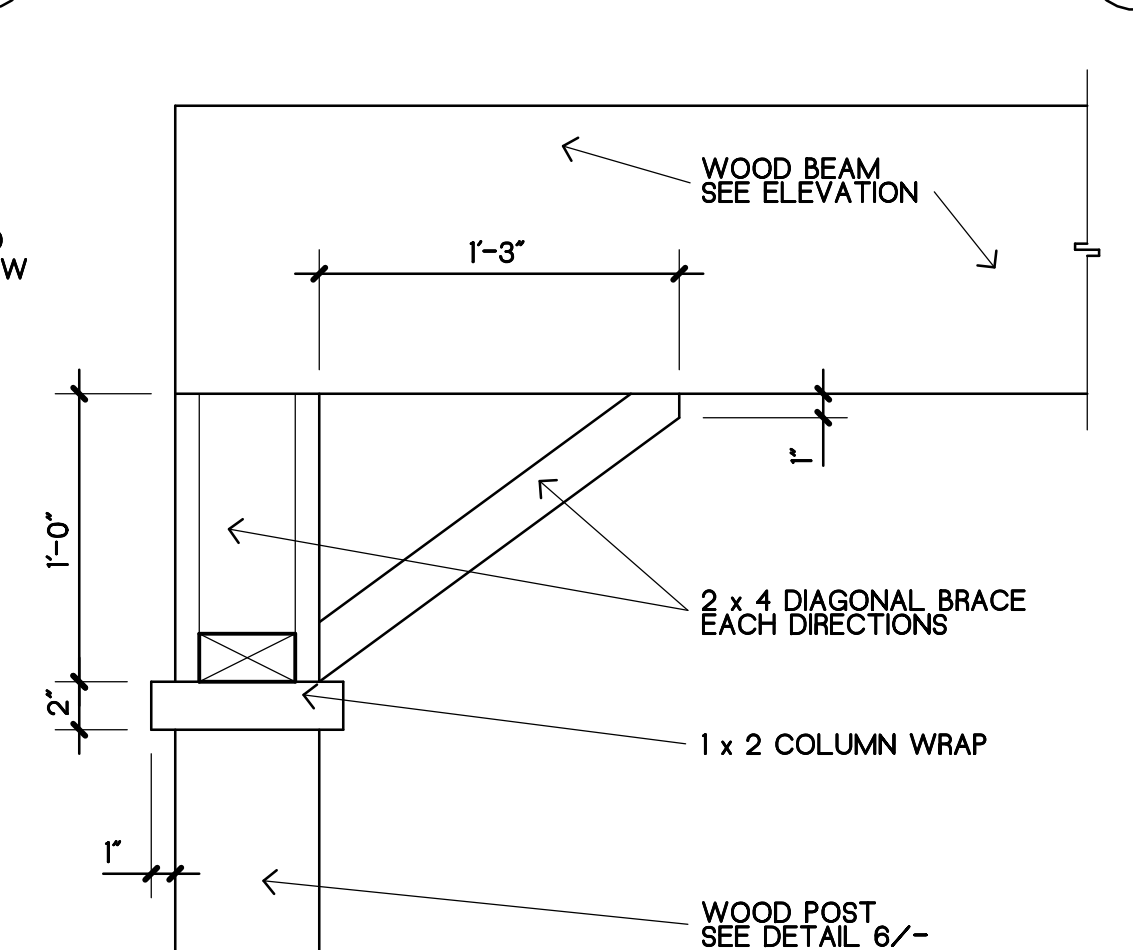
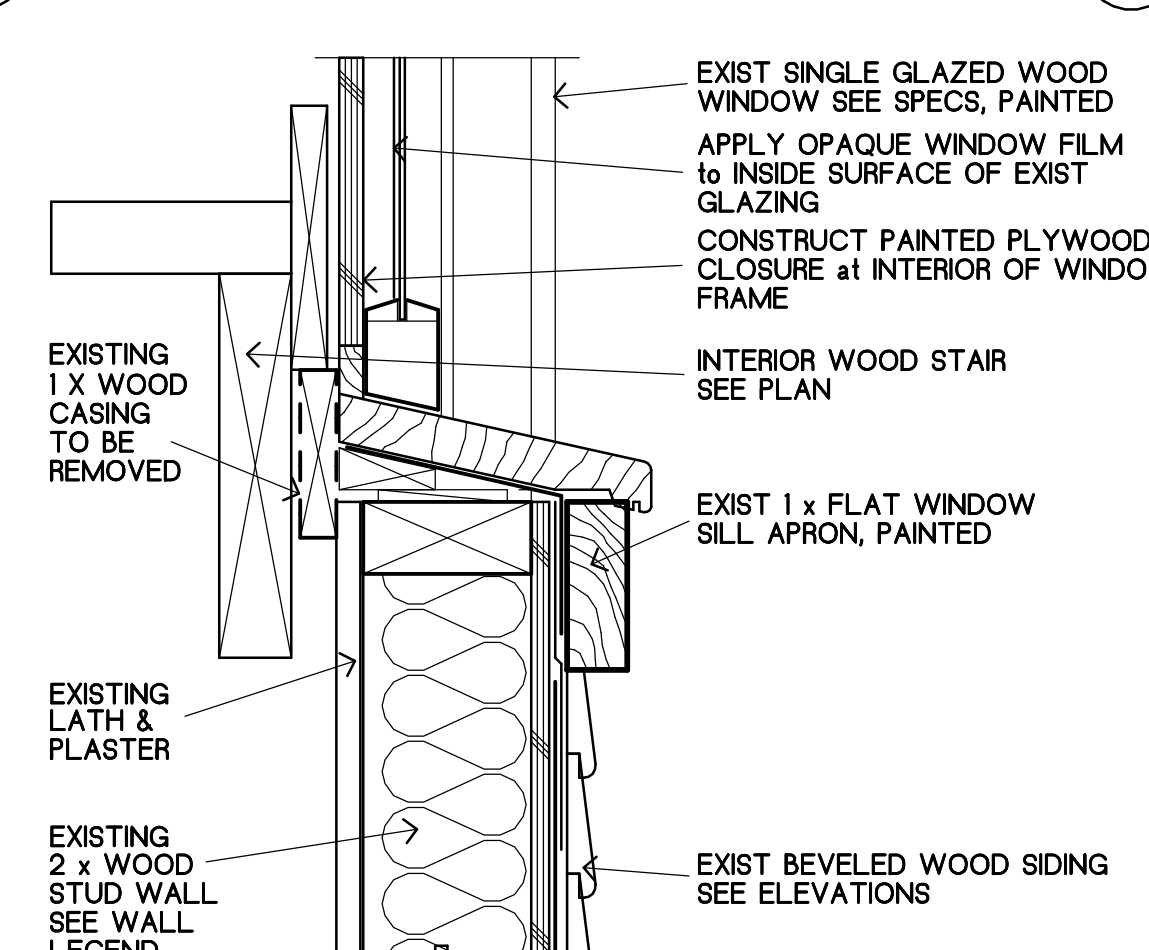
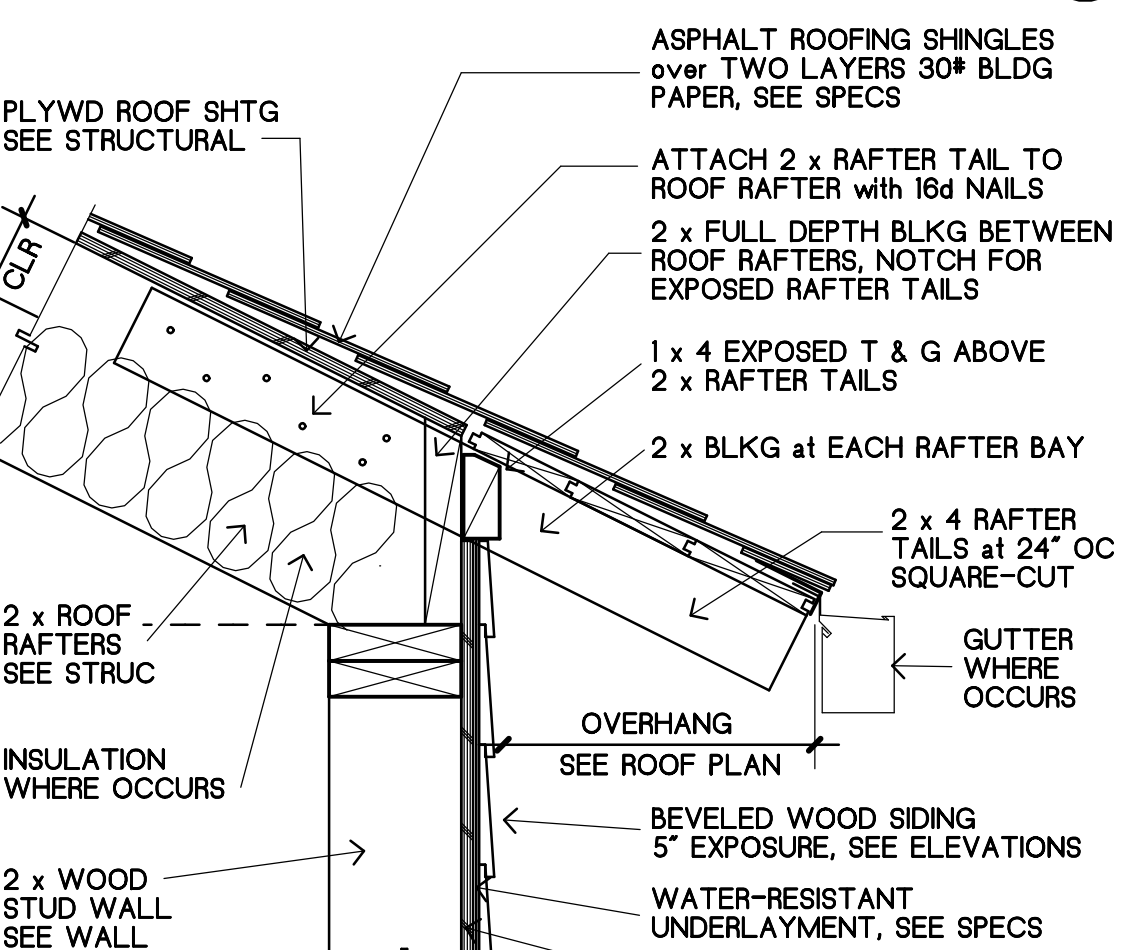
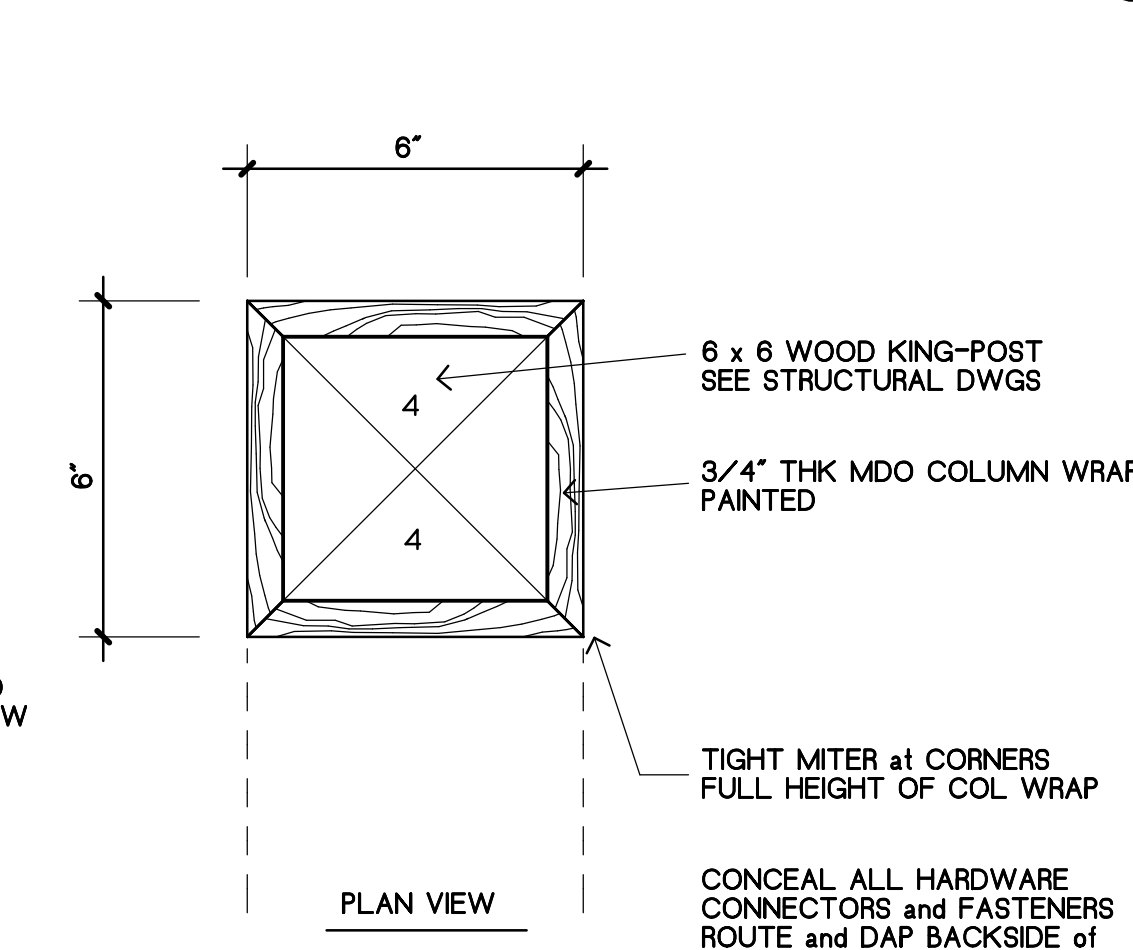
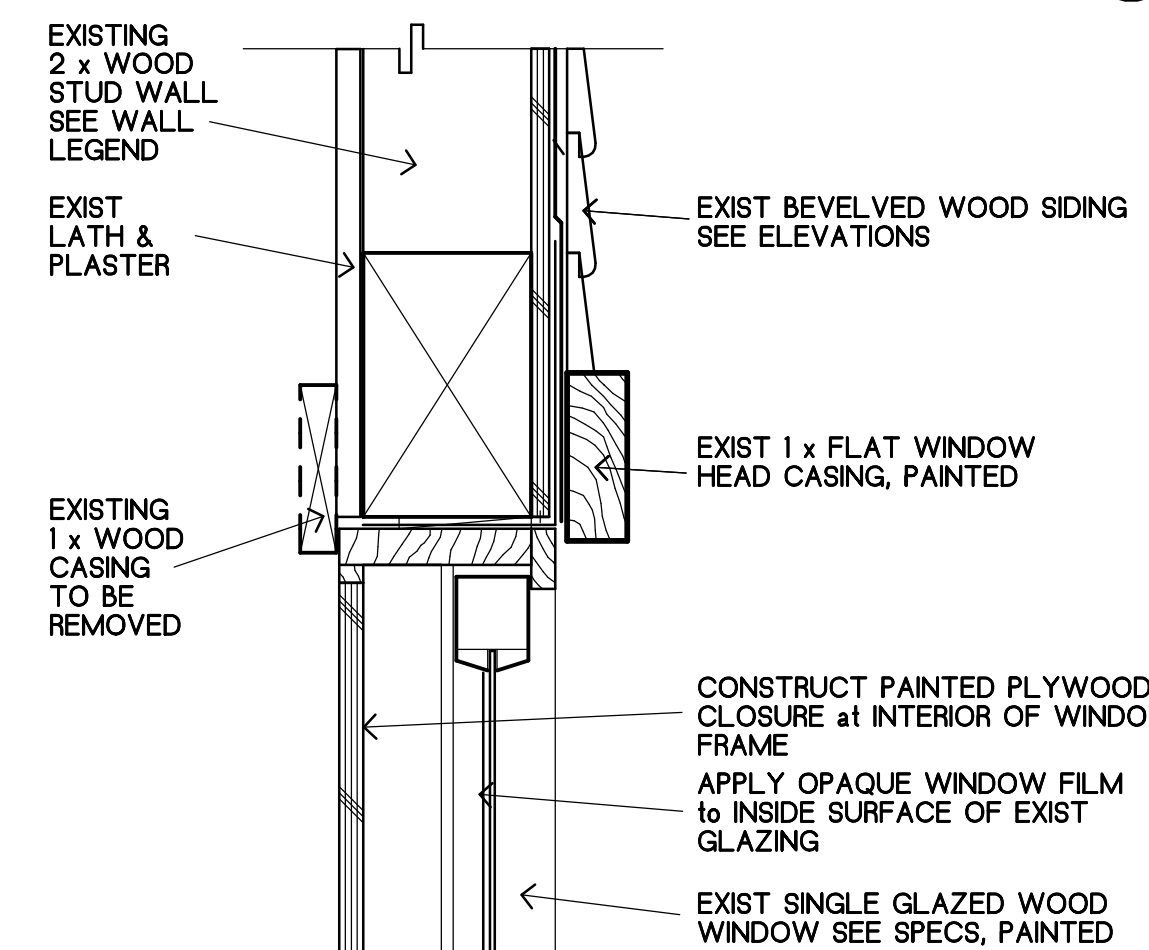
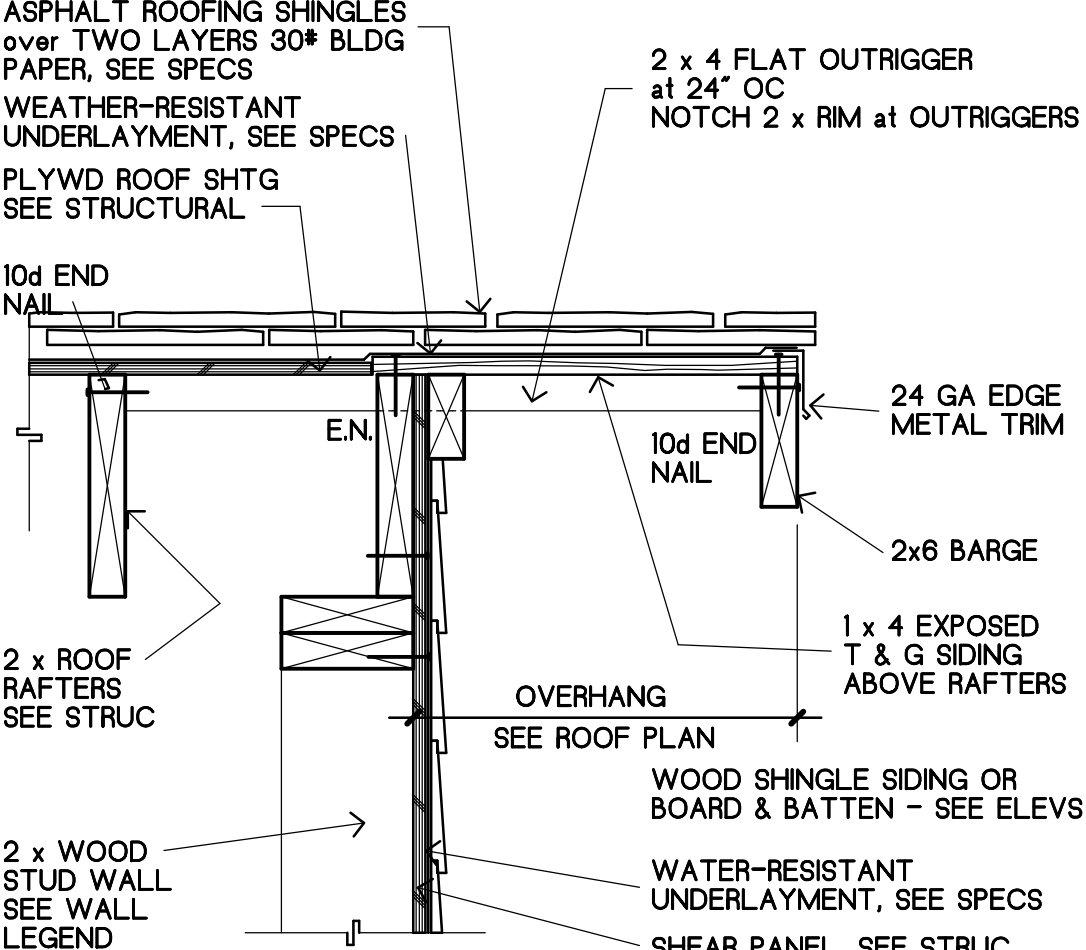
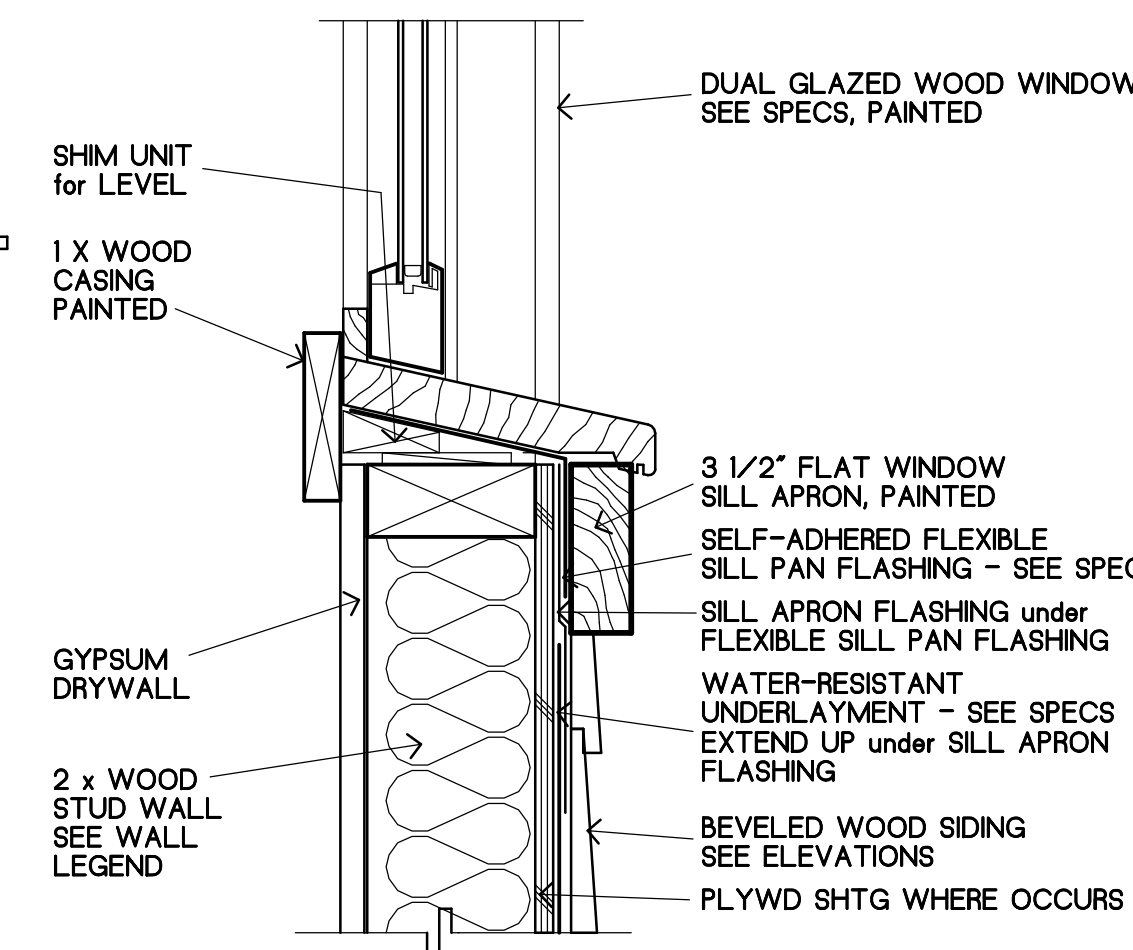
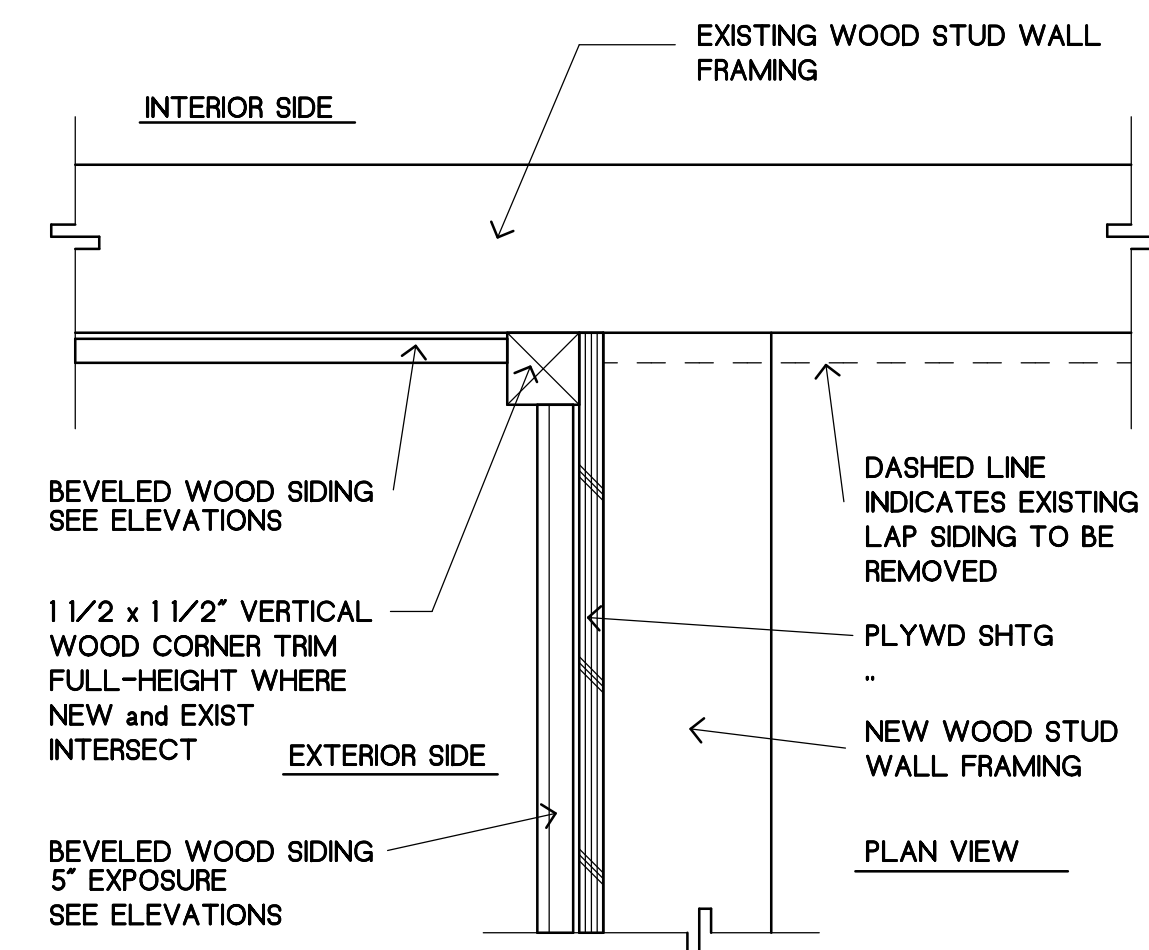
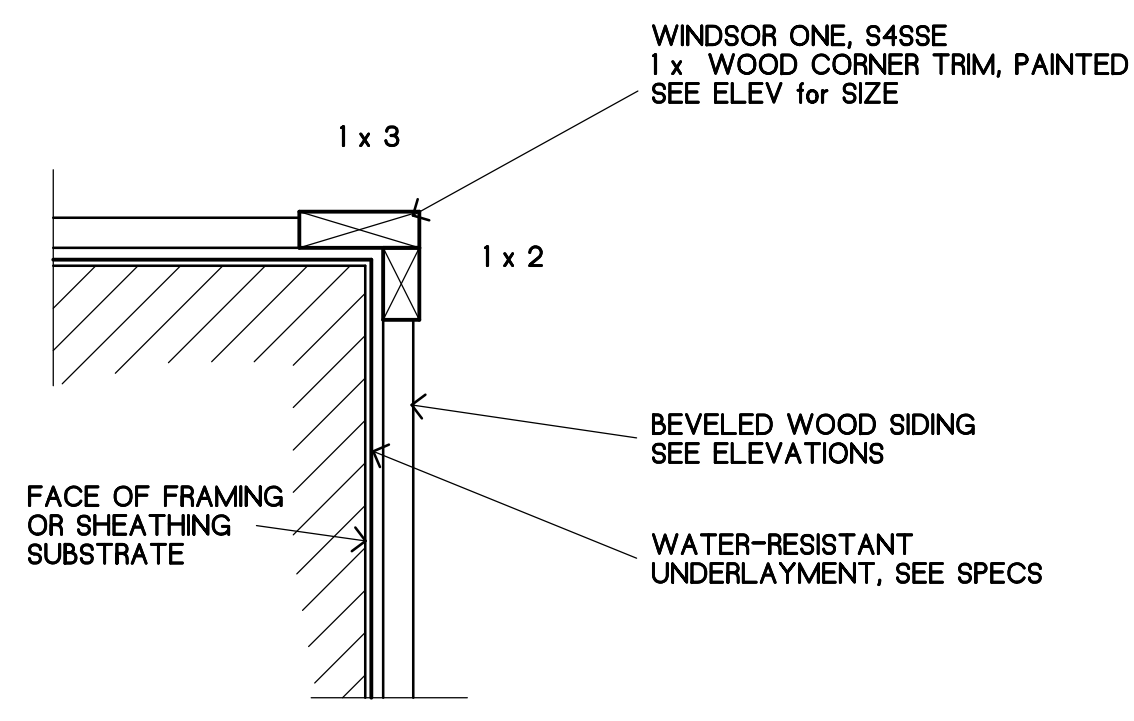
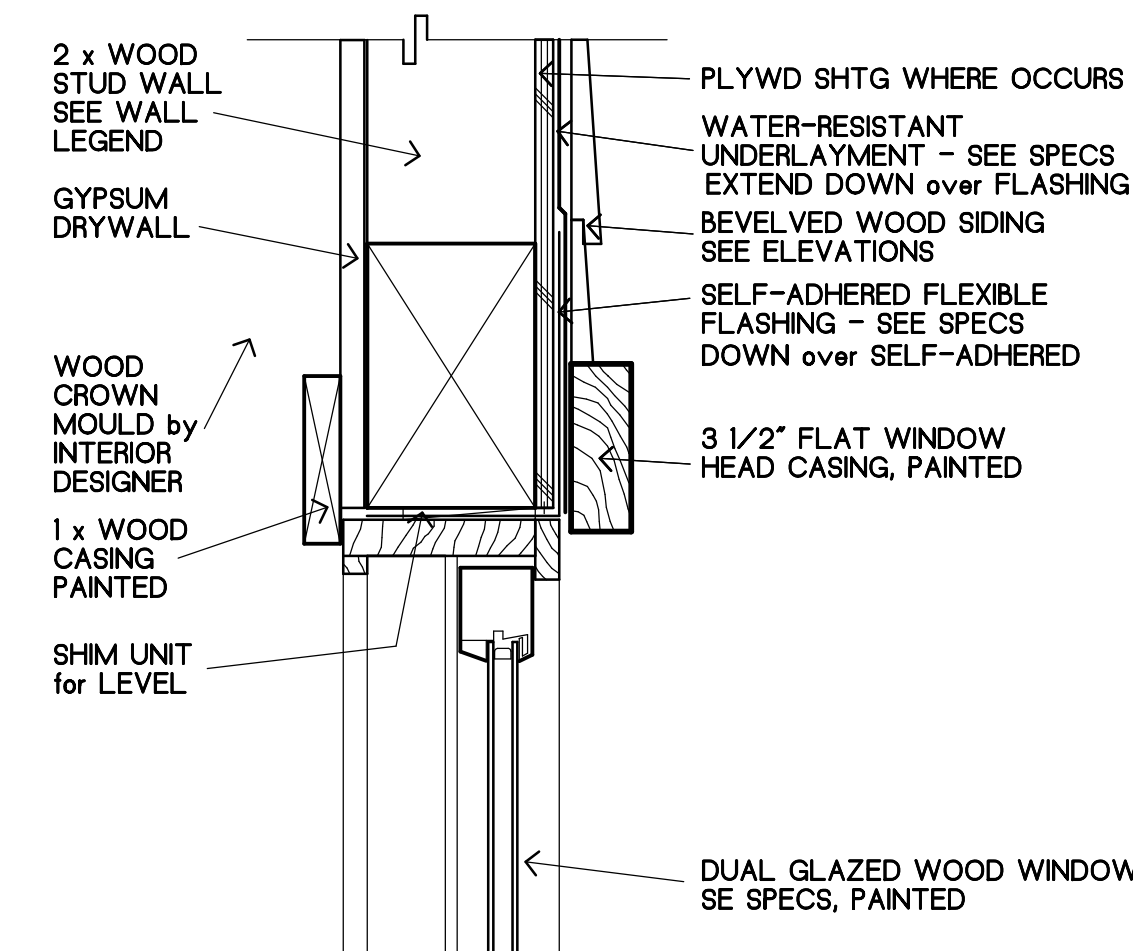
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SHEET

A4.3

DETAIL
SCALE: 3" = 1'-0"DETAIL
SCALE: 3" = 1'-0"DETAIL
SCALE: 3" = 1'-0"PROPOSED WINDOW HEAD
SCALE: 3" = 1'-0"CORNER TRIM
SCALE: 3" = 1'-0"DETAIL
SCALE: 3" = 1'-0"DETAIL
SCALE: 3" = 1'-0"INTERSECTION of NEW WALL at EXIST SIDING
SCALE: 3" = 1'-0"PROPOSED WINDOW SILL
SCALE: 3" = 1'-0"RAKE
SCALE: 1 1/2" = 1'-0"DETAIL
SCALE: 3" = 1'-0"DETAIL
SCALE: 3" = 1'-0"INTERIOR TREATMENT at EXIST WINDOW
SCALE: 3" = 1'-0"PATIO COVER POST
SCALE: 3" = 1'-0"EAVE
SCALE: 3" = 1'-0"DETAIL
SCALE: 3" = 1'-0"DETAIL
SCALE: 3" = 1'-0"INTERIOR TREATMENT at EXIST WINDOW
SCALE: 3" = 1'-0"PATIO COVER POST-BM CONNECTION
SCALE: 1 1/2" = 1'-0"EXTERIOR SIDING at SILL
SCALE: 3" = 1'-0"

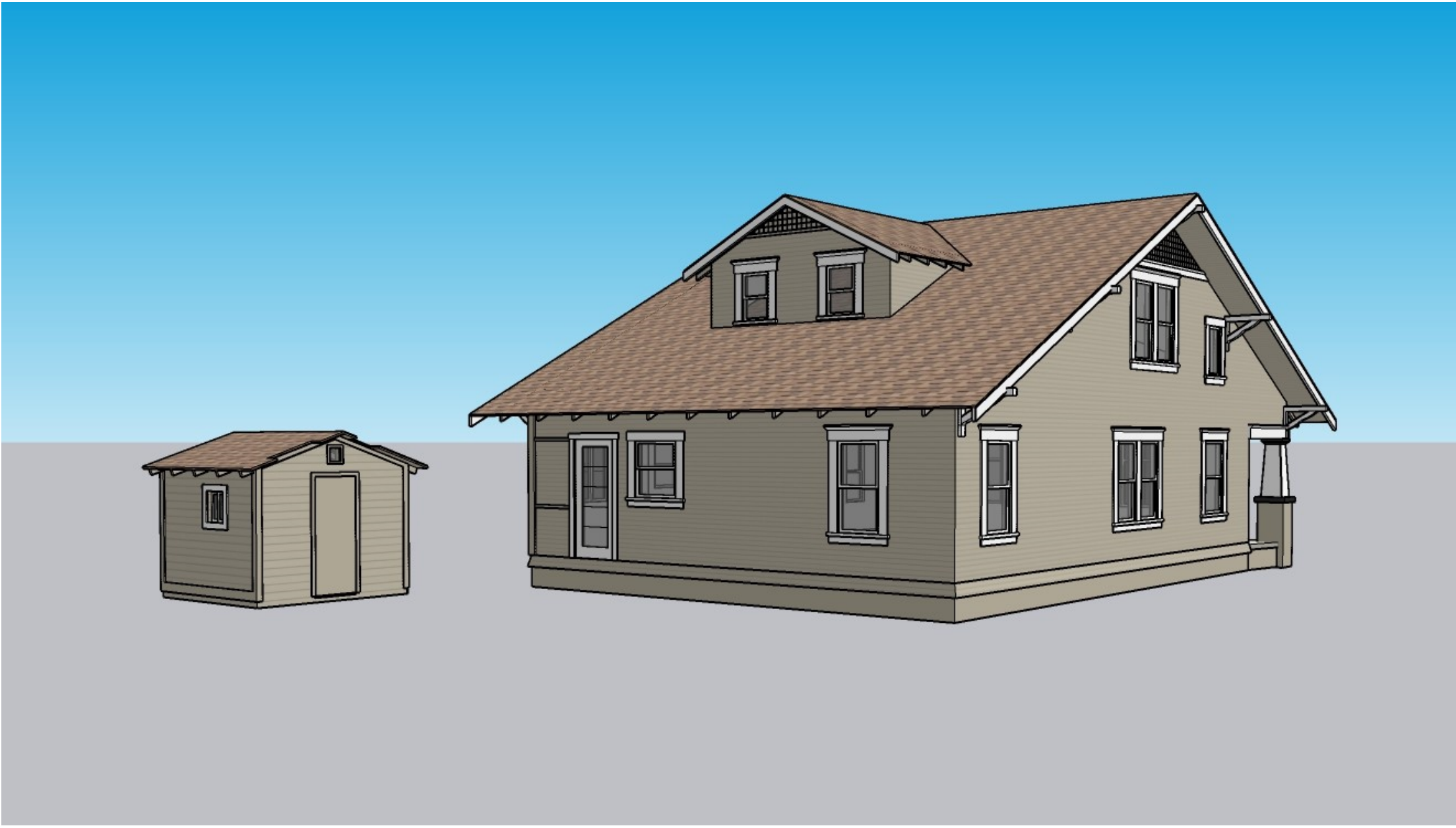


EXISTING SOUTHWEST PERSPECTIVE

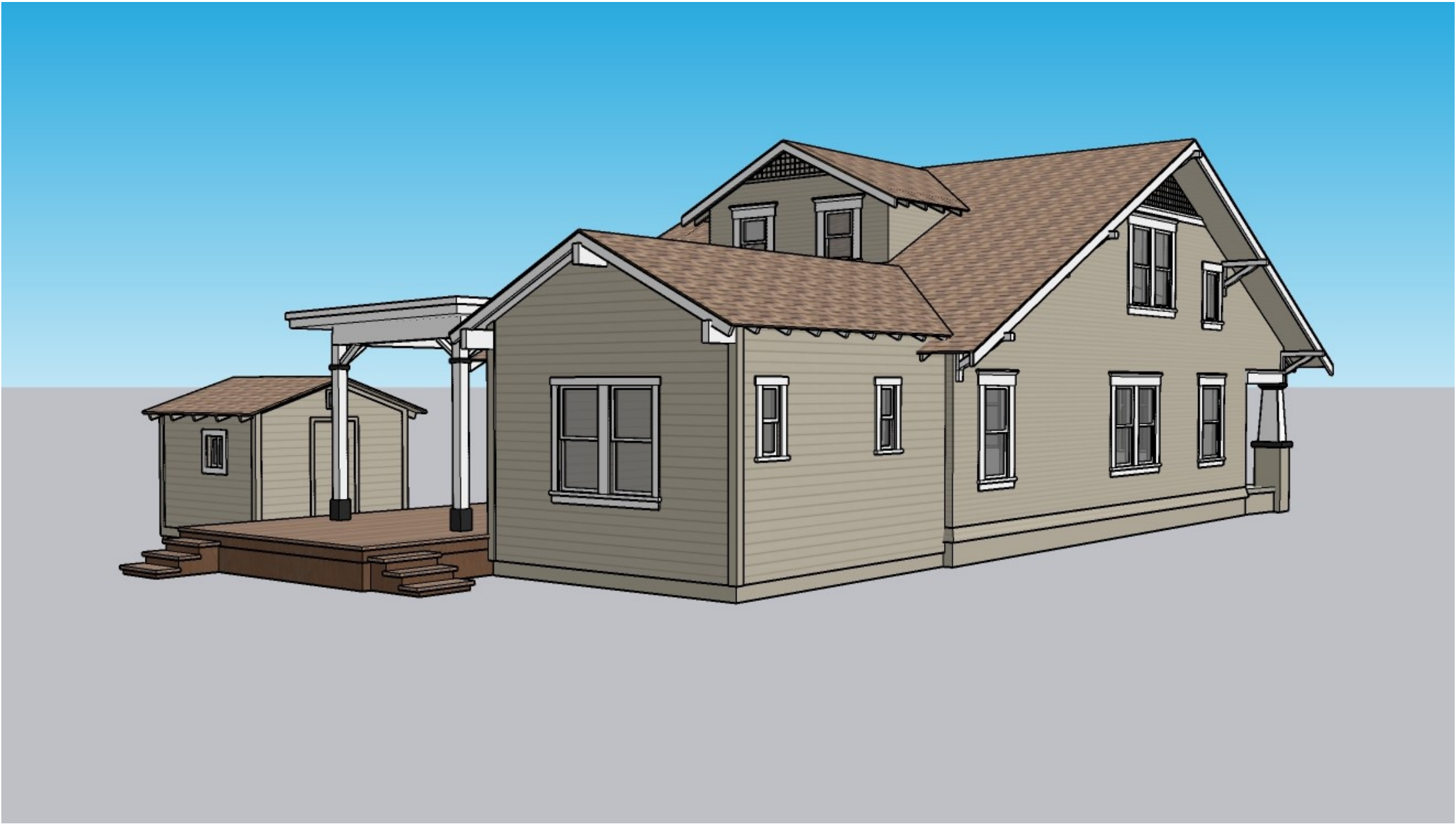


PROPOSED SOUTHWEST PERSPECTIVE

A

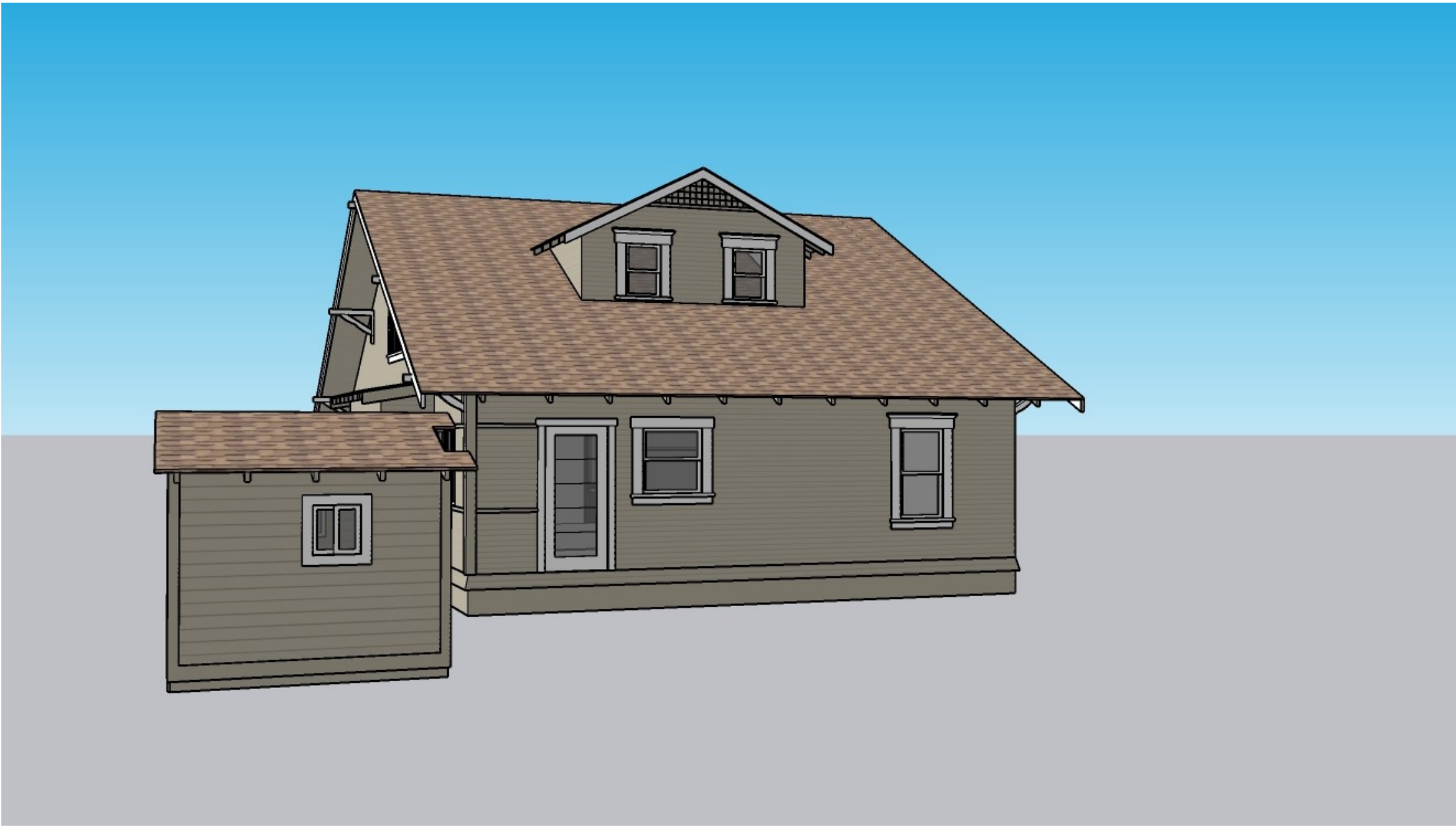


EXISTING NORTHWEST PERSPECTIVE



PROPOSED NORTHWEST PERSPECTIVE

B

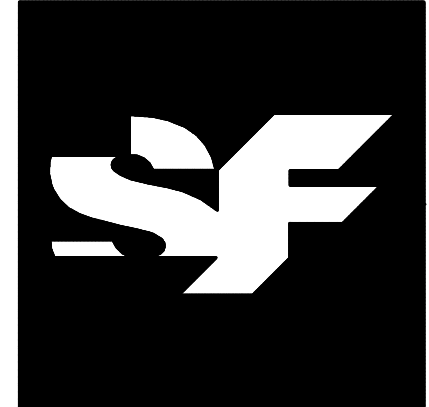


EXISTING NORTHEAST PERSPECTIVE



PROPOSED NORTHEAST PERSPECTIVE

C



A RESIDENTIAL REMODEL & ADDITION FOR:
MIKE & NANCY DOTING
623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

MODEL DEPICTIONS
EXISTING & PROPOSED

FILE NAME: 24-14_Photos
MILESTONES:

REVISIONS:
△
△
△
△
△
SHEET



1 615 E. Washington



2 623 E. Washington - Subject Property



3 629 E. Washington



4 630 E. Washington



5 622 E. Washington



6 610 E. Washington



7 623 - South West



8 623 - West Elevation



9 623 - South East



10 623 - North Elevation



11 623 - North West



12 623 - Rear Porch



13 623 - Existing Patio Corner



14 623 - North West

STRATOS FORM



ARCHITECTURE / INTERIORS
A DIVISION OF FOX GROUP ARCHITECTS, INC.

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ORANGE, CALIFORNIA 92866
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623 E. WASHINGTON AVENUE
ORANGE, CA 92866

PROFESSIONAL SEAL

CONTEXT PHOTOS
STREET, HOUSE, & SHED

FILE NAME: 24-14_Photos

MILESTONES:

" "

REVISIONS:

△ " "
△ " "
△ " "
△ " "
△ " "

SHEET

A7.1



15 Shed - East Elevation



16 Shed - North Elevation



17 Shed - West Elevation



18 Shed - South Elevation



19 House - Window Head



20 House - Window Jamb



21 House - Window Sill



22 House - 3" Siding



23 House Porch - Corner Board



24 House - Bead Board



25 House - Corner Board



26 Shed - 5" Siding



27 Shed - Jamb



28 Shed - Corner Board

