

# 2390 N. AMERICAN WAY INDUSTRIAL BUILDINGS

2390 N. AMERICAN WAY  
ORANGE, CA 92865



8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133



2390 N. AMERICAN WAY  
INDUSTRIAL BUILDINGS  
2390 N. AMERICAN WAY  
ORANGE, CA 92865  
DEVELOPED FOR:  
REXFORD INDUSTRIAL REALTY

OWNER/APPLICANT:  
REXFORD INDUSTRIAL REALTY, INC.  
333 CITY BLVD. WEST, STE. 705  
ORANGE, CA 92868  
PHONE: 310-424-5115  
CONTACT: NICK KREUTER  
nikreuter@exfordindustrial.com

ARCHITECT:  
GAA ARCHITECTS, INC.  
8811 RESEARCH DRIVE, SUITE 200  
IRVINE, CA 92618  
PHONE: 949-474-1775  
CONTACT: ROGER DEITOS  
roger@gaaarchitects.com

CIVIL:  
HUITT-ZOLLARS, INC.  
2603 MAIN STREET, SUITE 400  
IRVINE, CA 92614  
PHONE: 949-988-5826  
CONTACT: ADAM LUNZER  
alunzer@huittzollars.com

LANDSCAPE:  
SCOTT PETERSON LANDSCAPE ARCHITECT, INC.  
2883 VIA RANCHEROS WAY  
FALLBROOK, CA 92028  
PHONE: 714-685-6860  
CONTACT: SCOTT PETERSON  
scott@spplinc.com

## PROJECT TEAM

THE FOLLOWING ITEMS ARE DESIGN-BUILD AND UNDER SEPARATE PERMIT:  
A. FIRE SPRINKLER SYSTEM OF NFPA 13  
B. FIRE ALARM  
C. BUILDING SIGNAGE INCLUDING MONUMENT SIGN AND FUTURE TENANT IMPROVEMENT  
D. HIGH PILED STORAGE RACKING  
E. DOCK LEVELER ETC.  
F. GRADING

## DEFERRED SUBMITTAL

NO.	DESCRIPTION	DATE
△	MAJOR SITE PLAN REVIEW	10/15/2021
△	2ND SUBMITTAL	1/7/2021
△	3RD SUBMITTAL	3/11/2022
△	4TH SUBMITTAL	5/4/2022

COVER	DESCRIPTION
T1	TITLE SHEET
T2	PROJECT RENDERINGS
CIVIL	DESCRIPTION
1	TITLE SHEET
2	CONCEPTUAL GRADING PLAN
3	CONCEPTUAL UTILITY PLAN
4	CONCEPTUAL UTILITY PLAN
5	DEMOLITION PLAN
LANDSCAPE	DESCRIPTION
L-1	CONCEPTUAL LANDSCAPE PLAN
L-2	TREE DEMOLITION PLAN
L-3	PLANT EXHIBIT
ARCHITECTURAL	DESCRIPTION
1	ALTA SURVEY
2	EXISTING SITE PLAN & PARCELS
A1.0	SITE PLAN AND PROJECT TABULATIONS
A1.1	FIRE DEPARTMENT ACCESS SITE PLAN, NOTES
A1.2A	FIRE HYDRANT LOCATIONS AND ALLOWABLE AREA
A1.2B	TRUCK MANEUVERING PLANS
A1.3	TRUCK MANEUVERING PLAN & SITE MISC.
A1.4	FENCE AND WALL PLAN & ELEVATIONS
A1.5	SITE LIGHTING
A1.6	LIGHTING CUT SHEETS AND DETAILS
A1.7	BUILDING 1 FLOOR PLAN
A2.1	BUILDING 2 FLOOR PLAN
A2.2	BUILDING 1 MEZZANINE PLAN
A2.3	BUILDING 2 MEZZANINE PLAN
A2.4	BUILDING 1 ROOF PLAN
A3.1	BUILDING 2 ROOF PLAN
A3.2	BUILDING 1 ELEVATIONS
A4.1	BUILDING 2 COLOR ELEVATIONS & MATERIALS
A4.1C	BUILDING 1 COLOR ELEVATIONS & MATERIALS
A4.2	BUILDING 2 ELEVATIONS
A4.2C	BUILDING 1 COLOR ELEVATIONS & MATERIALS

## COVER

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JOB NO.	REX10101	SHEET NO.
DATE:	9/2/21	T1
DRAWN:	GAA	
FILE NAME:	REX1010_T1	

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FLETCHER AVE. PERSPECTIVE 1 | NTS | 4



FLETCHER AVE. PERSPECTIVE 2 | NTS | 5



BUILDING 2 ENTRY PERSPECTIVE | NTS | 6



BUILDING 1 ENTRY PERSPECTIVE | NTS | 7



NE PROJECT AERIAL | NTS | 8



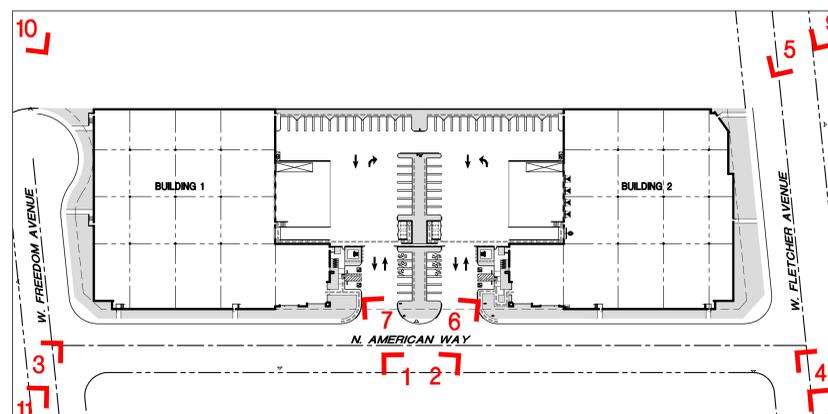
NW PROJECT AERIAL | NTS | 9



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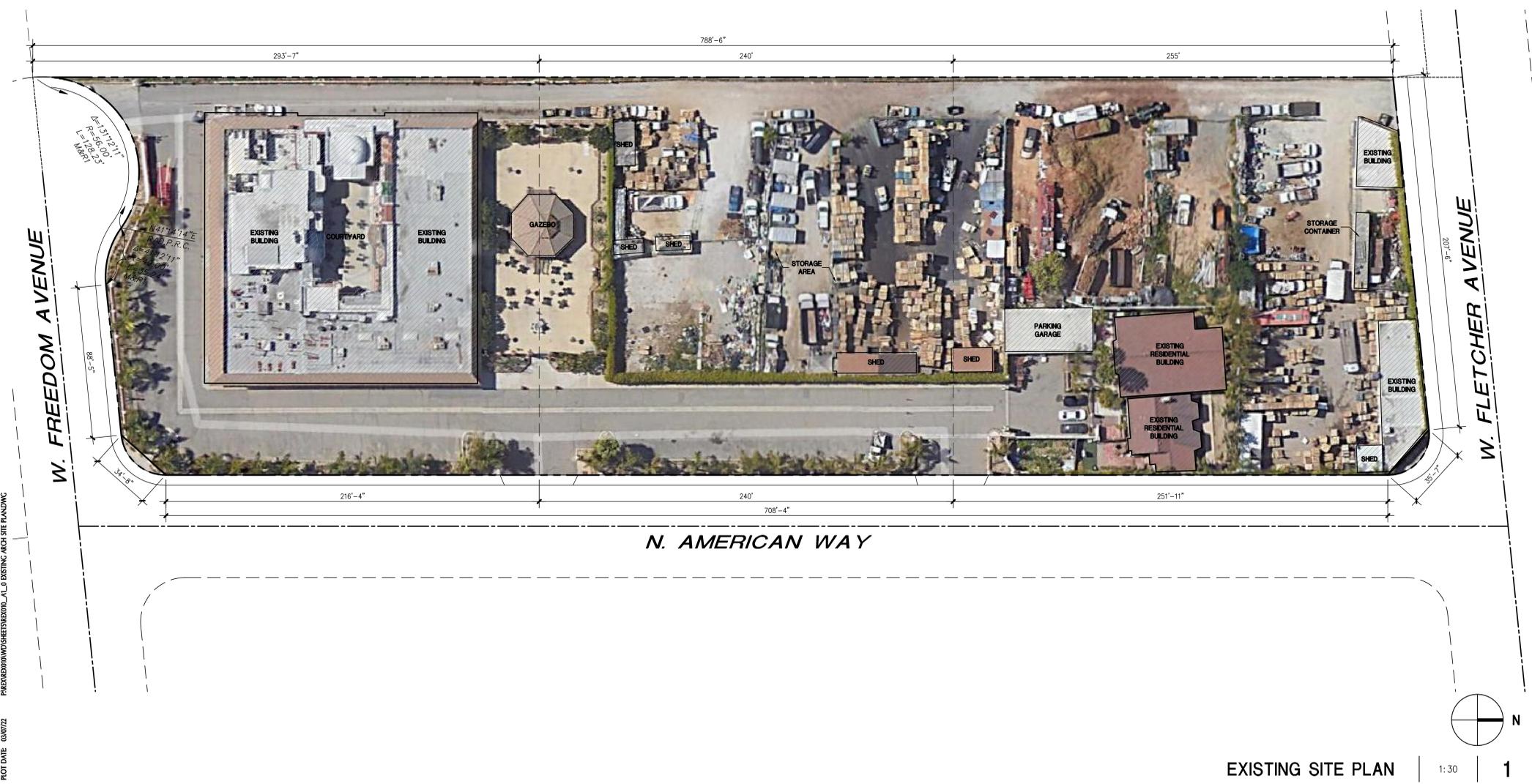
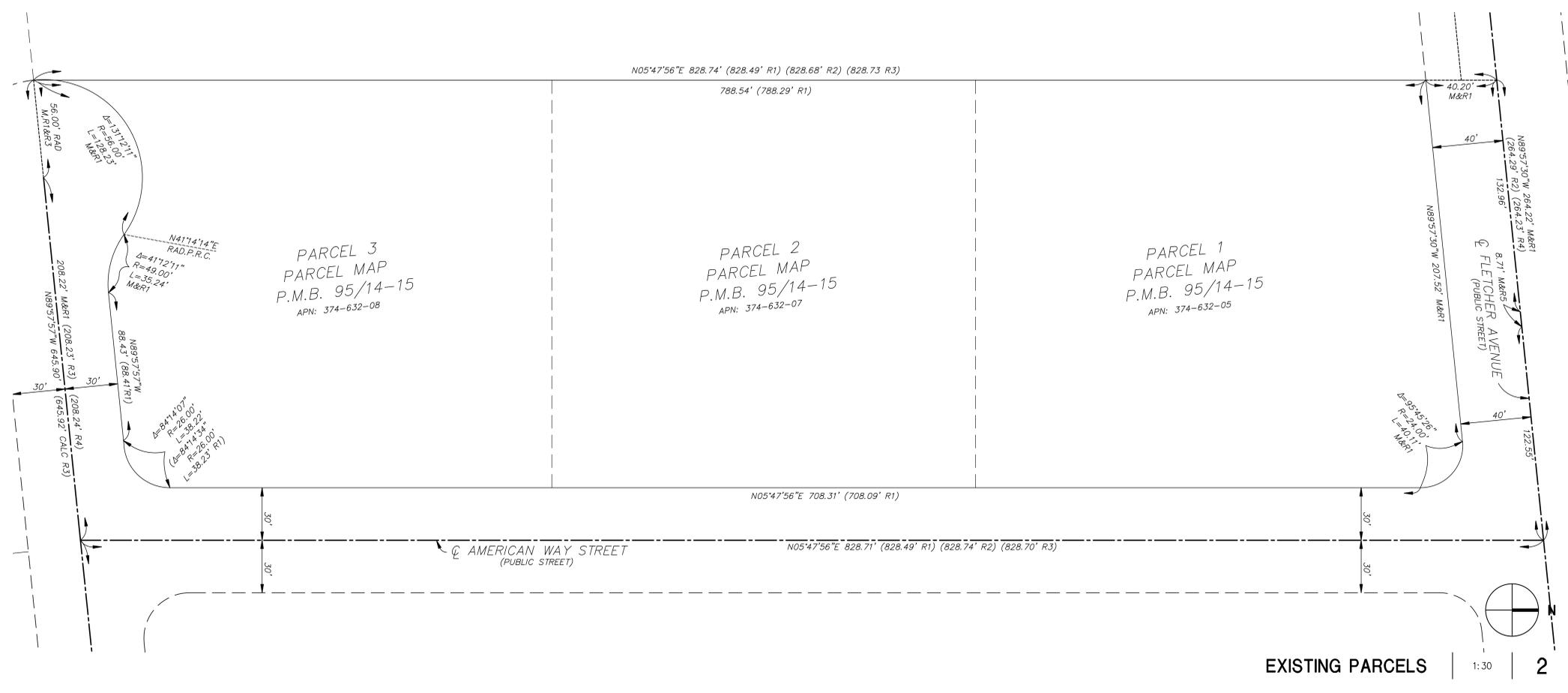
SITE REFERENCE | NTS | 12

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PROJECT RENDERINGS

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JOB NO:	REX010.01	SHEET NO:	T2
DATE:	9/2/21		
DRAWN:	GAA		
FILE NAME:	REX010_T2		



**SITE INFORMATION**

APN: 374-632-05, 07, 08  
**LAND USE / ZONING:**  
 EXISTING/PROPOSED GENERAL PLAN: L-1 LIGHT INDUSTRIAL  
 EXISTING/PROPOSED ZONING: M-1 LIGHT MANUFACTURING  
 EXISTING LAND USE: LIGHT INDUSTRIAL

**UTILITIES:**  
 WATER: MUNICIPAL WATER DISTRICT OF ORANGE COUNTY  
 SEWER: MUNICIPAL UTILITIES COMPANY  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY  
 ELECTRIC: SOUTHERN CALIFORNIA EDISON  
 PHONE: VERIZON, AT&T  
 T.V.: TIME WARNER CABLE, VERIZON

**SCHOOL DISTRICT:**  
 ORANGE UNIFIED SCHOOL DISTRICT

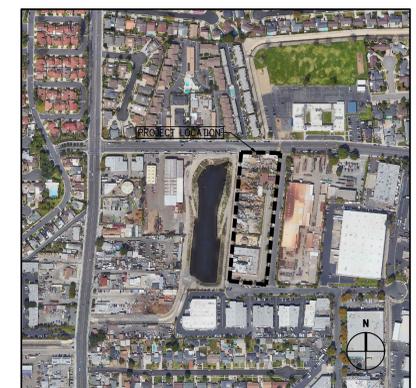
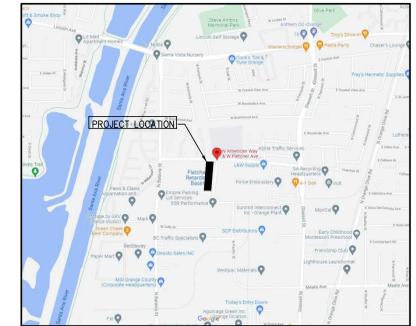
**CODE ANALYSIS:**  
 2019 CBC CODE  
 BUILDING OCCUPANCY: B, 5-1  
 CONSTRUCTION TYPE: III-B  
 FIRE SPRINKLERS (AUTOMATIC): YES  
 STORIES: 1

**ZONING ANALYSIS:**  
 MAX COVERAGE/FAR: 100%  
 MAX. BLDG HEIGHT: 45'

**PARKING/LOADING:**  
 STANDARD STALL: 9'x18' (INCLUDING 2' BUMPER OVERHANG)  
 MIN. AISLE: 24'; 20' MIN. FIRE DEPARTMENT ACCESS LANES

**SITE PLAN & CITY NOTES**

- NOTES:**
- THE PROPERTY IS NOT WITHIN A SPECIFIC PLAN.
  - THIS AREA IS NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGIC HAZARDS WITHIN A SPECIAL STUDIES ZONE.
  - THIS PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
  - SUBSURFACE SEPTIC SEWAGE IS NOT INTENDED FOR THIS SITE.
  - THE PROPERTY DOES NOT CONTAIN ANY FLAMMABLE/COMBUSTIBLE MATERIALS OR WASTE.
  - THE PROPERTY'S WATER QUALITY FEATURES ARE SHOWN AS PART OF THE CIVIL PACKAGE.
  - LOADING SPACES WILL BE PAVED WITH CONCRETE.
  - SERVICE GATES WILL BE MANUALLY OPERATED W/ KNOX PAD LOCK.
  - SIGN PROGRAM WILL BE UNDER SEPARATED PERMIT.
  - NO ABOVE/GROUND TANKS ARE PROVIDED.
  - SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
- FIRE DEPARTMENT NOTES:**
- FIRE DEPARTMENT ACCESS SHALL COMPLY WITH FIRE DEPARTMENT FIRE PROTECTION STANDARDS.
- CALGREEN NOTES:**
- PROJECT SITE IS LARGER THAN ONE ACRE - A STORM WATER POLLUTION PLAN IS REQUIRED (CG 5.106.1).
  - VISITOR BICYCLE PARKING RACKS SHALL BE PROVIDED WITHIN 200 FEET OF BUILDING ENTRANCES, FOR A MINIMUM OF 5% NEW VISITOR VEHICULAR PARKING (CG 5.106.4.1).
  - IN BUILDINGS WITH OVER 10 TENANT-OCCUPANTS, SECURE, LONG-TERM BICYCLE ENCLOSURES OR LOCKERS SHALL BE PROVIDED ON-SITE, FOR A MINIMUM OF 5% NEW TENANT VEHICULAR PARKING (CG 5.106.5.1). COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT INDORS IN AMOUNTS PROPORTIONAL TO THE PARKING REQUIRED FOR EACH TENANT IMPROVEMENT.
  - 'CLEAN AIR' PARKING SPACES SHALL BE PROVIDED ON SITE FOR CARPOOLS & FUEL-EFFICIENT VEHICLES, FOR A MINIMUM NUMBER OF SPACES PROPORTIONAL TO REQUIRED VEHICLE PARKING PER CALGREEN TABLE (CG 5.106.5.2).
  - LIGHTING DESIGN SHALL LIMIT GLARE AND UPLIGHT AND COMPLY WITH LOCAL CODES AND CALGREEN (CG 5.106.8).
  - THIS PROJECT'S PLUMBING FIXTURES SHALL BE 20% WATER-CONSERVING (CG 5.303.2). BEING A SHELL BUILDING, COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT.
  - FOR PROJECTS WITH OVER 1,000 S.F. OF LANDSCAPING, SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR OUTDOOR POTABLE WATER USE, AND IRRIGATION SYSTEM SHALL HAVE WEATHER- OR SOIL MOISTURE-BASED AUTOMATIC CONTROLLERS (CG 5.304.2&3).
  - A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE DEVELOPED, DEMONSTRATING A MINIMUM OF 50% RECYCLING AND/OR SALVAGING OF NON-HAZARDOUS CONSTRUCTION WASTE AND COMPLYING WITH CALGREEN REQUIREMENTS (CG 5.408.1).
  - 100% OF LAND-CLEARED SOILS AND VEGETATION SHALL BE REUSED OR RECYCLED (CG 5.408.3).
  - PER SECTION 5.410.2, EXCEPTIONS 1 & 2, COMMISSIONING IS NOT REQUIRED FOR DRY STORAGE WAREHOUSES OR AREAS USED FOR OFFICES LESS THAN 10,000 SF IN DRY STORAGE WAREHOUSES. (CG 5.410.2).
  - ALL CONSTRUCTION MATERIALS TO COMPLY WITH THE VOC AND TOXIN LIMITS LISTED (CG 5.504).
  - SMOKING SHALL BE PROHIBITED WITHIN 25 FEET OF BUILDING ENTRIES, AIR INTAKES, AND OPERABLE WINDOWS (CG 5.504.7).



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**EXISTING SITE PLAN & PARCELS**

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JOB NO:	REX010.01	SHEET NO:	
DATE:	9/2/21		
DRAWN:	GAA		<b>A1.0</b>
FILE NAME:	REX010_A1.1		

PLOT DATE: 09/07/22  
 P:\REX010\WORKSHEETS\REX010\_A1.0 EXISTING ARCH. SITE PLAN.DWG

**KEYNOTES**

- 1.0 GENERAL
  - 1.1 PROPERTY LINE/ R.O.W. - REFER TO CIVIL DRAWINGS
  - 1.2 EASEMENT - REFER TO CIVIL DRAWINGS
  - 1.3 STANDARD PARKING STALL(S) - TYP., REFER TO 3/A1.3
  - 1.4 ADA-ACCESSIBLE PARKING STALL(S), REFER TO 3/A1.3
  - 1.5 CLEAN AIR/ VAN POOL/ EV PARKING STALL(S) PER CALGREEN 5.106.5.2
  - 1.6 ACCESSIBLE PATH OF TRAVEL
  - 1.7 2-WAY DRIVE AISLE: 24'W MIN.
  - 1.8 FIRE DEPT. ACCESS DRIVE: 20'W MIN.
  - 1.9 2' BUMPER OVERHANG
- 3.0 CONCRETE
  - 3.1 TILT-UP CONCRETE BUILDING WALL
  - 3.2 CONCRETE STAIR W/ HANDRAIL & 42" GUARDRAIL
  - 3.3 CONCRETE STAIR W/ HANDRAIL
  - 3.4 TILT-UP CONCRETE SCREEN WALL, PTD.
  - 3.5 TILT-UP CONCRETE TRASH ENCLOSURE, 6" TALL TYP., REFER TO 6/A1.4
  - 3.6 TILT-UP CONCRETE GUARDRAIL T.O.W. 42" ABOVE HIGH SIDE
- 5.0 METAL FABRICATIONS
  - 5.1 STEEL PIPE BOLLARD
- 12.0 FURNISHINGS
  - 12.1 BICYCLE RACK PER CAL GREEN; LONG-TERM 5% OF EMPLOYEE PARKING - REFER TO TABULATIONS
  - 12.2 BICYCLE RACK PER CAL GREEN; SHORT-TERM 5% OF VISITOR PARKING - REFER TO TABULATIONS
- 32.0 EXTERIOR IMPROVEMENT - REFER TO CIVIL AND LANDSCAPE U.N.O.
  - 32.1 LANDSCAPE PLANTING AREA
  - 32.2 CONCRETE WALKWAY
  - 32.3 CONCRETE CURB, TYP.
  - 32.4 PRECAST CONCRETE WHEEL STOP, REFER TO 3/A1.3
  - 32.5 NOT USED
  - 32.6 CONCRETE COMMERCIAL DRIVEWAY
  - 32.7 CONCRETE TRUCK DOCK APRON
  - 32.8 ROLLING GATE W/ KNOX PADLOCK - 7' TALL
- 33.0 UTILITIES - REFER TO CIVIL AND ELECTRICAL
  - 33.1 ELECTRICAL TRANSFORMER
  - 33.2 (E) STREET LIGHT POLE
  - 33.3 (E) FIRE HYDRANT
  - 33.4 NEW PUBLIC FIRE HYDRANT
  - 33.5 NEW PRIVATE FIRE HYDRANT (IF REQUIRED)
  - 33.6 (E) STREET LIGHT POLE TO BE RELOCATED
  - 33.7 NEW RELOCATED STREET LIGHT POLE

**GENERAL NOTES**

1. GUARDS SHALL BE LOCATED ALONG OPEN SIDE OF WALKING SURFACES, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS ARE NOT REQUIRED ON THE LOADING SIDE OF LOADING DOCKS (CBC 1013.2).
2. THE RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2.083%).
3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES MINIMUM.
4. THE WASTE STORAGE AREA SHALL BE GRADED SO THAT STORAGE CONTAINERS REMAIN AT REST WITHOUT AUXILIARY RESTRAINING DEVICES.

**SITE PLAN - LEGEND**

- ACCESSIBLE PATH OF TRAVEL - 4' WIDE MINIMUM - 1:20 MAX RUNNING SLOPE (U.N.O.) AND 1:48 MAX CROSS SLOPE
- ACCESSIBLE PARKING STALL(S), TYP.
- PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS
- MOTORCYCLE PARKING AREA

PARCEL AREA			TOTAL
SF	88,591	86,010	174,601
ACRES	2.03	1.97	4.01
BUILDING AREA	BUILDING 1	BUILDING 2	TOTAL
Ground Floor Office	4,000	4,000	8,000
Warehouse	44,340	40,830	85,170
Total Building Footprint	48,340	44,830	93,170
Mezzanine	4,000	4,000	8,000
<b>TOTAL BUILDING AREA</b>	<b>52,340</b>	<b>48,830</b>	<b>101,170</b>
COVERAGE	54.6%	52.1%	53.4%
FAR	59.1%	56.8%	57.9%
PARKING REQUIRED			
Office Up to 25%	(*)	0	0
Office +25%	1/250	0	0
Warehouse	1/2000	26	24
<b>TOTAL PARKING REQUIRED</b>	<b>26</b>	<b>24</b>	<b>50</b>
(*) Allows for 25% of Office Use			
PARKING PROVIDED	31	31	62
PARKING RATIO	0.59/1000	0.63/1000	0.61/1000
CLEAN AIR/VANPOOL/EV	Required	Required	Provided
CA/VP (8% of Total Parking)	3	3	6
EV (6% of Total Parking)	2	2	4
DOCK DOORS	4	4	8
GRADE DOORS	1	1	2
LANDSCAPE	%	Area (S.F.)	Area (S.F.)
Total Landscape Area Provided		12,174	13,076
Total Parking Lot Area		4,572	4,572
Required (10% of Parking Lot Area)	10.0%	457	457
Provided (within Parking Lot Area)		648	648
% Provided (within Parking Lot Area)		14.2%	14.2%

PROJECT TABULATIONS | 2

**SITE INFORMATION**

**APN:**  
374-632-05, 07, 08

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EXISTING/PROPOSED GENERAL PLAN: L-1 LIGHT INDUSTRIAL  
EXISTING/PROPOSED ZONING: M-1 LIGHT MANUFACTURING  
EXISTING LAND USE: LIGHT INDUSTRIAL

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T.V.: TIME WARNER CABLE, VERIZON

**SCHOOL DISTRICT:**  
ORANGE UNIFIED SCHOOL DISTRICT

**CODE ANALYSIS:**  
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CONSTRUCTION TYPE: III-B  
FIRE SPRINKLERS (AUTOMATIC): YES  
STORIES: 1

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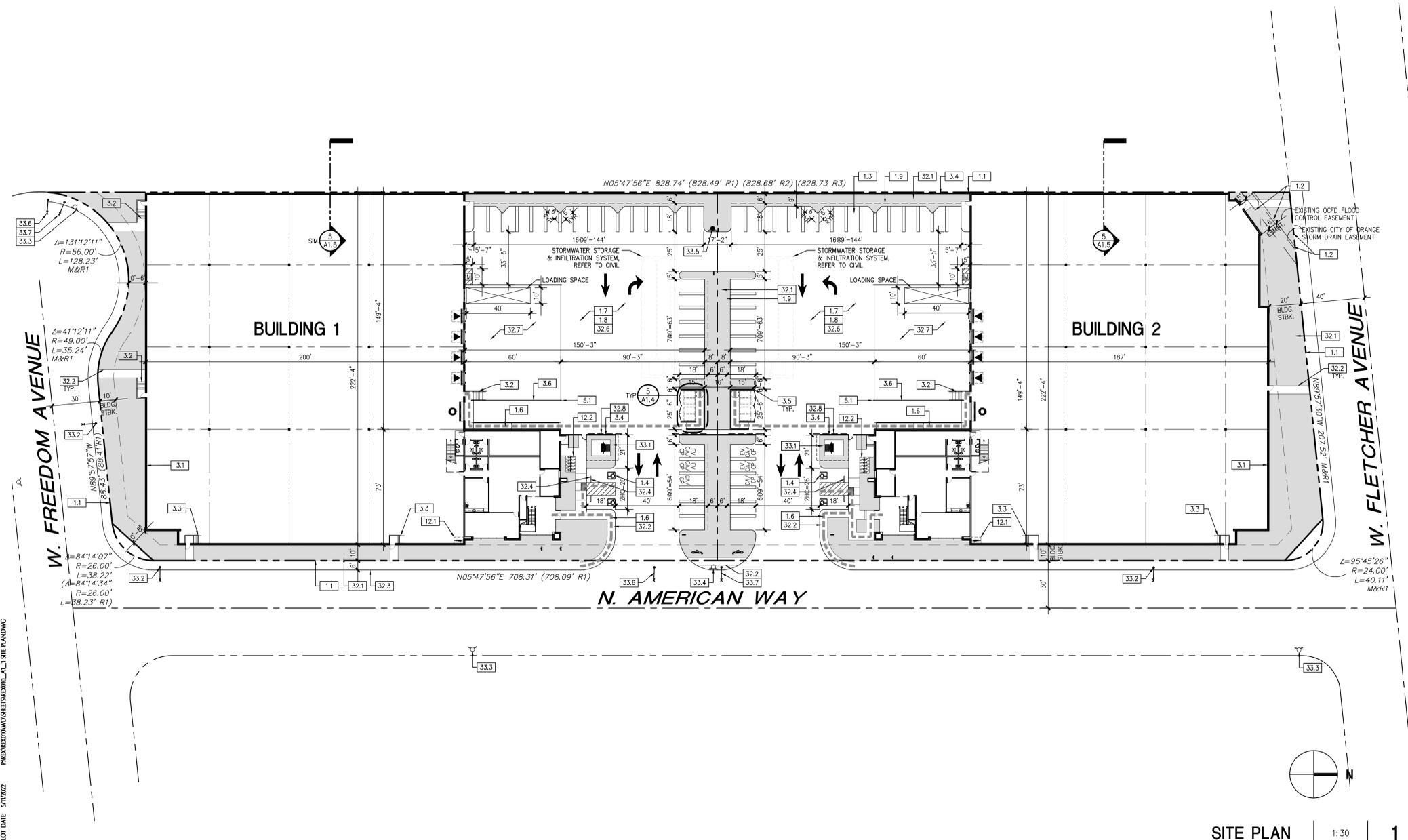
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MIN. AISLE: 24'; 20' MIN. FIRE DEPARTMENT ACCESS LINES

**SITE PLAN & CITY NOTES**

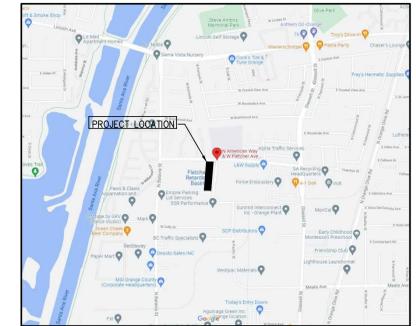
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**CALGREEN NOTES:**

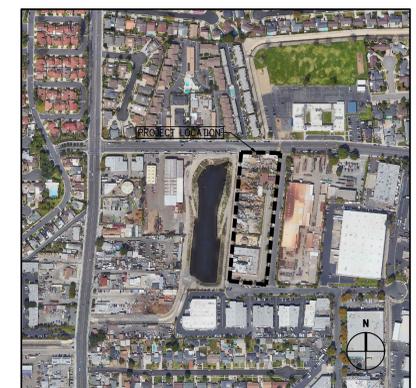
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SITE PLAN | 1:30 | 1



VICINITY MAP | NTS | -



AERIAL MAP | NTS | -

**G|A|A ARCHITECTS**

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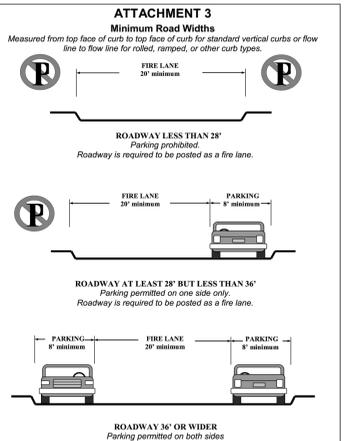
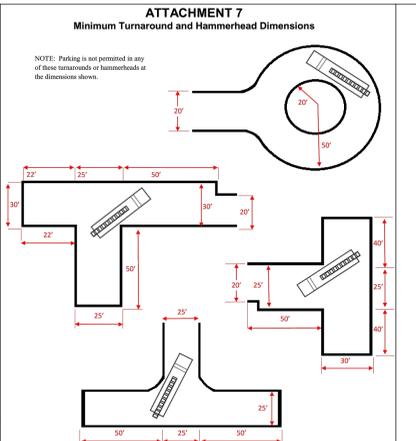
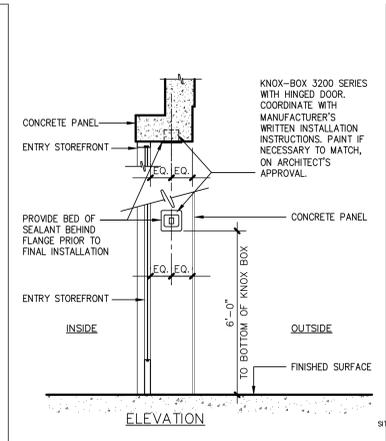
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2	2ND SUBMITTAL	1/7/2022
3	3RD SUBMITTAL	3/11/2022
4	4TH SUBMITTAL	5/4/2022

**SITE PLAN PROJECT TABULATIONS**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
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JOB NO.	REX010.01	SHEET NO.
DATE	9/2/21	A11
DRAWN	GAA	
FILE NAME	REX010_A11	

ATTACHMENT 2 Fire Master Plan Submittal Checklist	
<b>PROJECT INFORMATION</b>	
Scope of project is clearly defined on plan?	Yes
Truck/Terrace/Truck/Parcel Map Number has been provided?	Yes
Standard OFD fire master plan notes are included?	Yes
Building area, construction, occupancy, sprinkler noted on plan?	Yes
All work area calculations provided on plan?	Yes
AM&M request letter received on plan?	Yes
Sheets not relevant to fire master plan removed from plan set?	Yes
Access/egress planning plan provided?	Yes
Operations incident planning CD/Electronic file provided?	Yes
<b>WATER AND HYDRANTS</b>	
Water availability from completed and provided?	Yes
All hydrants within 500' of the site are shown on plan?	Yes
Are hydrants provided/located per CFC Appendix C7?	Yes
<b>ACCESS AND ROADWAYS</b>	
Easiest of the access roadway is clearly shown on the plan?	Yes
Turning radii and width (incl. road restrictions) shown on the plan?	Yes
Easiest of all structures within 150' hose pull distance?	Yes
Engine's certification provided for new paving?	Yes
Walkable surface provided to required openings?	Yes
Road and walkway grades >12% shown on plan?	Yes
<b>FIRE LANE IDENTIFICATION</b>	
Red curbs are identified with bold or dashed lines?	Yes
Location of each "Fire Lane - No Parking" sign shown?	Yes
Fire lane entrance sign provided at each vehicle entrance?	Yes
Detail drawing of red curb/"No Parking" entrance signs shown?	Yes
<b>GATES AND OBSTRUCTIONS</b>	
Are all gates, fences, and planters shown?	Yes
Are vehicle gates identified as manual or electric?	Yes
Manual vehicle gates have "No Parking" sign noted?	Yes
Knox boxes/locks/windows are noted on plan?	Yes
OFD gate auto-specifications included on plan?	Yes
Knox form completed?	Yes
<b>OTHER REQUIREMENTS</b>	
Personnel address marked location shown on plan?	Yes
Trash enclosures are located at least 5' from building?	Yes
Ten entry points provided for 150+ acre residences?	Yes
Buildings >5' to highest occupiable floor called out?	Yes
Parking enforcement letter provided?	Yes



**ATTACHMENT 1  
OFD Fire Master Plan Notes**

**INSPECTION REQUIREMENTS**

1. OFD site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Call the Fire Prevention office at (714) 288-2541 for inspection scheduling.
2. A lumber drop inspection shall be performed prior to delivery to the site. All-weather access roads capable of supporting 68,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
3. For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. To schedule an appointment call the Fire Prevention office at (714) 288-2541.
4. Phased installation of fire access roads requires additional inspections.
5. An original approved, signed, wet-stamped OFD fire master plan shall be available on-site.
6. Access roads and hydrants shall be maintained and remain clear of obstructions at all times.
7. Areas where parking is not permitted shall be clearly identified.
8. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections and a notice of correction or citation will be issued.
9. Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the OFD prior to installation and use.
10. The project address shall be clearly posted and visible from the public road during.
11. All gates which are required for fire department access shall be equipped with either a Knox or fire department padlock.
12. Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

**GENERAL REQUIREMENTS**

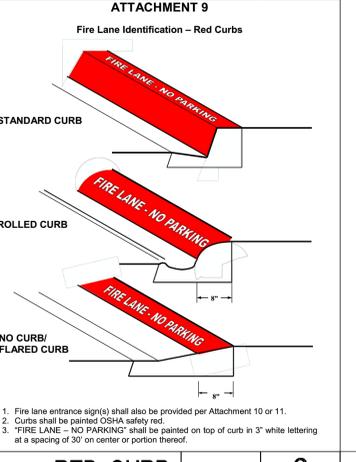
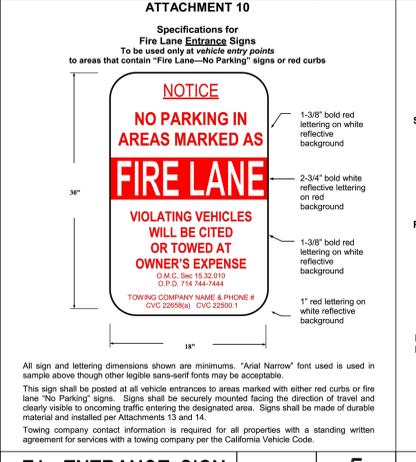
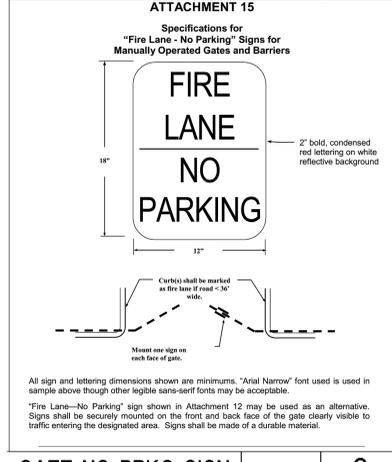
13. Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved OFD Fire Master Plan.
14. Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 68,000 lbs. and surfaced to provide all-weather driving capabilities.
15. Additional fire lane markings may be required at the time of inspection depending on field conditions.
16. Address numbers shall be located and be of a color and sized so as to be plainly visible and legible from the roadway.
17. Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC.
18. Approved access walkways shall be provided to all required openings and all rescue windows.
19. Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
20. Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
21. Any future modification to the approved Fire Master Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the OFD.
22. Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in related portions of the 2019 CFC and CBC and Orange Municipal Code. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.
23. An underground piping plan is required for the installation of an automatic fire sprinkler system or for a private fire hydrant system. A separate plan submittal is required.
24. Buildings used for high-hazard storage shall comply with CFC requirements. A separate plan submittal is required if materials will be stored higher than 12 feet for lower-hazard commodities, or higher than five feet for high-hazard commodities such as plastics, rubber, flammable/combustible liquids, tires, carpet, etc.
25. An automatic fire sprinkler system shall be installed in accordance with applicable codes and ordinances, amendments, and guidelines. Sprinkler systems, other than those listed in CFC Chapter 9, shall be monitored by an approved central station. Separate plan submittals for the sprinkler and monitoring systems are required. Design of an automatic fire sprinkler system shall be based on a current flow test (within 12 months of the submitted design) which has been conducted per NFPA 13 requirements and witnessed by a fire department representative.
26. A fire alarm system shall be installed in accordance with applicable codes and ordinances, amendments, and guidelines. A separate plan submittal is required.

SUBMITTAL CHECKLIST	N.T.S.	8
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KNOX BOX	N.T.S.	8
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HAMMERHEAD	NTS	6
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ROAD WIDTHS	NTS	4
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GATE NO PRKG SIGN	NTS	9
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NO PARKING SIGN	NTS	7
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F.L. ENTRANCE SIGN	NTS	5
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RED CURB	NTS	3
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ORANGE CITY FIRE DEPARTMENT NOTES	NTS	2
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**SITE INFORMATION**  
APN: 374-632-05, 07, 08  
**LAND USE / ZONING:**  
EXISTING/PROPOSED GENERAL PLAN: L-1 LIGHT INDUSTRIAL  
EXISTING/PROPOSED ZONING: M-1 LIGHT MANUFACTURING LIGHT INDUSTRIAL

**CODE ANALYSIS:**  
2019 CBC CODE: B, S-1  
BUILDING OCCUPANCY: III-B  
CONSTRUCTION TYPE: YES  
FIRE SPRINKLERS (AUTOMATIC): 1  
STORIES: 1

**ZONING ANALYSIS:**  
MAX COVERAGE/FAR: 100%  
MAX. BLDG HEIGHT: 45'

**PARKING/LOADING:**  
STANDARD STALL: 9'x18' (INCLUDING 2' BUMPER OVERHANG)  
MIN. AISLE: 24'; 20' MIN. FIRE DEPARTMENT ACCESS LANS

**FIRE DEPARTMENT NOTES:**  
FIRE DEPARTMENT ACCESS SHALL COMPLY WITH ORANGE CITY FIRE DEPARTMENT STANDARDS

**KEYNOTES**

1.0 GENERAL

- 1.1 PROPERTY LINE/R.O.W. - REFER TO CIVIL DRAWINGS
- 1.2 FIRE ACCESS - FIRE LANE
- 1.3 FIRE DEPARTMENT ACCESS KEY BOX (KNOX BOX), REFER TO 8/A1.2A
- 1.4 "FIRE LANE - NO PARKING" SIGN PER ATTACHMENT 12, REF. 7/A1.2A
- 1.5 FIRE LANE ENTRANCE SIGN PER ATTACHMENT 10, REF. 5/A1.2A

2.0 FIRE SUPPRESSION - REFER TO FIRE PROTECTION DRAWINGS

- 2.1 NEW PUBLIC FIRE HYDRANT
- 2.2 EXISTING PUBLIC FIRE HYDRANT
- 2.3 NEW PRIVATE ON-SITE FIRE HYDRANT (IF REQUIRED)
- 2.4 BACKFLOW AND FDC CONNECTION

3.0 EXTERIOR IMPROVEMENT - REFER TO CIVIL AND LANDSCAPE U.N.O.

- 3.1 CONCRETE COMMERCIAL DRIVEWAY
- 3.2 CONCRETE TRUCK DOCK APRON
- 3.3 CONCRETE CURB, TYP.
- 3.4 ROLLING GATE WITH KNOX PADLOCK PER CITY OF ORANGE FIRE REQUIREMENTS FOR EMERGENCY OPERATION AT ALL TIMES. "FIRE LANE - NO PARKING" SIGN FOR MANUALLY OPERATED GATES PER ATTACHMENT 15, REFER TO 9/A1.2A
- 3.5 MAN GATE WITH FIRE DEPARTMENT ACCESS KEY BOX (KNOX BOX)

3.0 UTILITIES - REFER TO CIVIL AND ELECTRICAL DRAWINGS

- 3.1 ELECTRICAL TRANSFORMER

**NOTE:**

1. FIRE PROTECTION UNDER SEPARATE PERMIT
2. KNOX PADLOCKS WILL BE PROVIDED FOR ALL MANUAL ROLLING GATES

**SITE PLAN - LEGEND**

- PUBLIC FIRE HYDRANT
- PRIVATE FIRE HYDRANT
- "FIRE LANE - NO PARKING" SIGN PER ATTACHMENT 12, REF. 7/A1.2A
- ➔ FIRE LANE ENTRANCE SIGN PER ATTACHMENT 10, REF. 5/A1.2A
- ▭ FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS
- ▨ LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- ▭ "FIRE LANE-NO PARKING" PAINT ON ADJACENT CURB PER ATTACHMENT 9, REFER TO 3/A1.2A

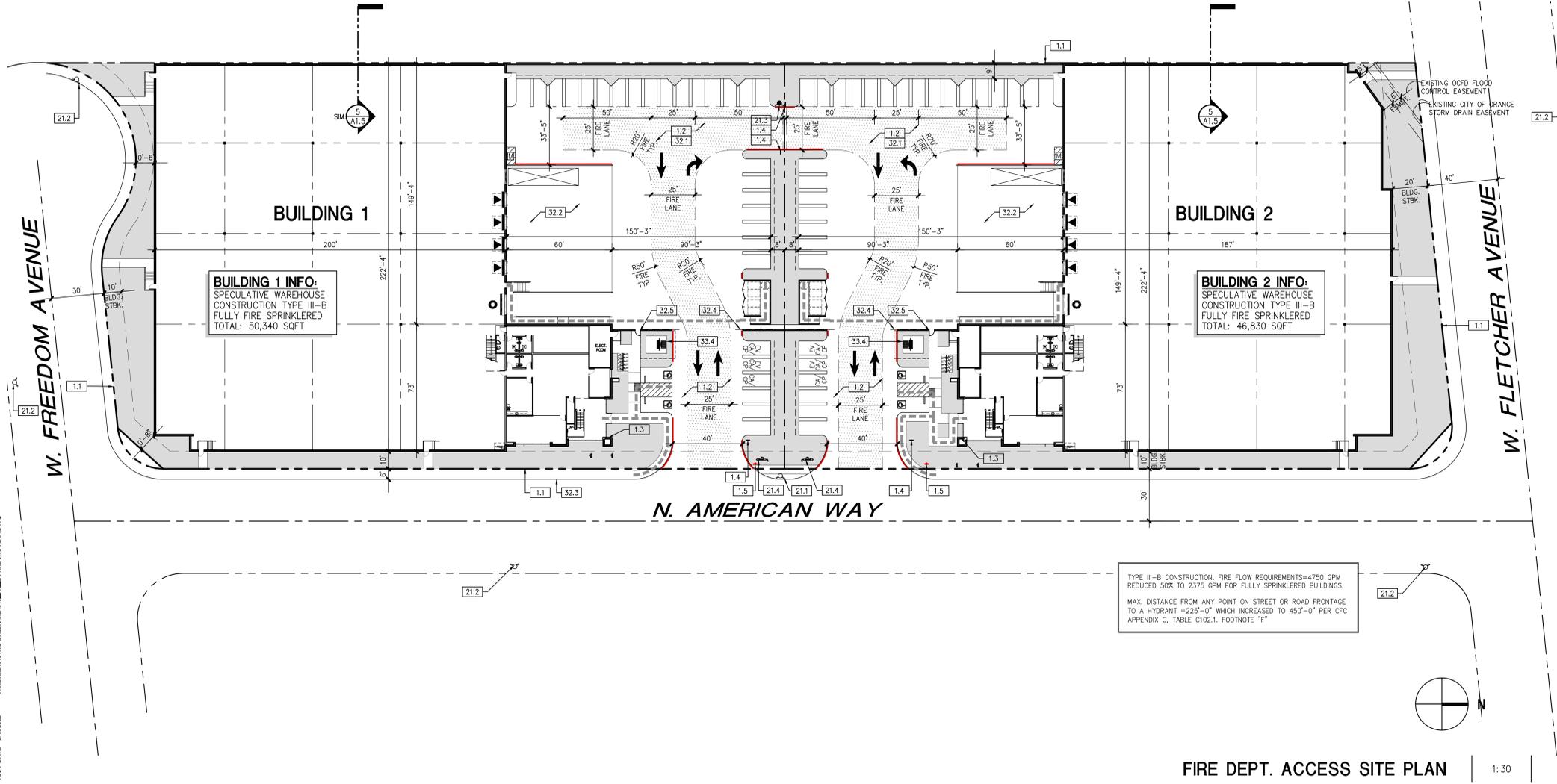
**GAA ARCHITECTS**

8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

2390 N. AMERICAN WAY  
INDUSTRIAL BUILDINGS

2390 N. AMERICAN WAY  
ORANGE, CA 92865

DEVELOPED FOR:  
REXFORD INDUSTRIAL REALTY



NO.	DESCRIPTION	DATE
1	MAJOR SITE PLAN REVIEW	10/15/2021
2	2ND SUBMITTAL	1/7/2021
3	3RD SUBMITTAL	3/11/2022
4	4TH SUBMITTAL	5/4/2022

**FIRE DEPARTMENT ACCESS SITE PLAN, NOTES**

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JOB NO:	REX010.01	SHEET NO:	
DATE:	9/2/21		
DRAWN:	GAA		<b>A1.2A</b>
FILE NAME:	REX010_A1.2A		



**SITE INFORMATION**

APN: 374-632-05, 07, 08  
**LAND USE / ZONING:**  
 EXISTING PROPOSED GENERAL PLAN: L-1 LIGHT INDUSTRIAL  
 EXISTING PROPOSED ZONING: M-1 LIGHT MANUFACTURING  
 EXISTING LAND USE: LIGHT INDUSTRIAL

**CODE ANALYSIS:**  
 2019 CBC CODE  
 BUILDING OCCUPANCY: B, S-1  
 CONSTRUCTION TYPE: III-B  
 FIRE SPRINKLERS (AUTOMATIC): YES  
 STORIES: 1

**ZONING ANALYSIS:**  
 MAX COVERAGE/FAR: 100%  
 MAX. BLDG HEIGHT: 45'

**PARKING/LOADING:**  
 STANDARD STALL: 9'x18" (INCLUDING 2' BUMPER OVERHANG)  
 MIN. AISLE: 24'; 20' MIN. FIRE DEPARTMENT ACCESS LINES

**FIRE DEPARTMENT NOTES:**  
 FIRE DEPARTMENT ACCESS SHALL COMPLY WITH ORANGE CITY FIRE DEPARTMENT STANDARDS

**G|A|A**  
**ARCHITECTS**

8811 Research Drive,  
 Suite 200,  
 Irvine, CA 92618  
 T: 949 474 1775  
 F: 949 553 9133

**ALLOWABLE AREA - BUILDING 2**

SIDE	O.S. WIDTH	L <sub>A</sub> (BLDG. PERIMETER)	W <sub>A</sub> (ADJUSTED WIDTH)	F <sub>A</sub> (BLDG PERIMETER W <sub>A</sub> ≥ 20' O.S.)
SIDE 1	6.58	172.3	0	0
SIDE 2	158.25	149.33	80	263.58
SIDE 3	149.33	80	80	80
SIDE 4	78	263.58	80	263.58
SIDE 5	88.25	78	80	78
SIDE 6	149.33	80	80	80
SIDE 7	149.33	80	80	149.33
TOTAL PERIMETER P				149.9
PERIMETER F W <sub>A</sub> ≥ 20' WIDTH O.S.				941.2
TOTAL PERIMETER P				80
PERIMETER F/P%				78.72%
WEIGHTED W				1.07
F = F/P - 0.25/W30				1.07
P - ENTIRE BLDG. PERIMETER				80.0 FT
W - WEIGHTED WIDTH OF O.S. OR PUBLIC WAY				80.0 FT
FIP% =				78.72%

**CODES:**

2019 CALIFORNIA BUILDING CODE	
2019 CALIFORNIA MECHANICAL CODE	
2019 CALIFORNIA PLUMBING CODE	
2019 CALIFORNIA ELECTRICAL CODE	
2019 CALIFORNIA FIRE CODE	
2019 CALIFORNIA GREEN BUILDING STANDARDS	
2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS AND LOCAL CODES/AMENDMENTS	

**BUILDING INFORMATION**

OCCUPANCY:	S-1	B	0	0
ALLOWABLE HEIGHT/STORY (MAX.):	MOST RESTRICTIVE OCC. S-1 75 FT. 3 STORIES			
CLEAR HEIGHT (WAREHOUSE):	30' THROUGHOUT			
TYPE OF CONSTRUCTION:	II-B FULLY SPRINKLED			

**ALLOWABLE AREA:**

A <sub>1</sub> - TABULAR AREA (PER T. 506.2)				71,225 S.F.
NS - TABULAR AREA (PER T. 506.2)				142,450 S.F.
1. INCREASED BY FRONTAGE; II (REFER TO TABLE BELOW FOR CALC)				52,500 S.F.
(MAX. 75% OR 150% W/ SECT. 506.3.2 EXCEPT)				17,500 S.F.
F = FIP - 0.25/W30				1.07
P - ENTIRE BLDG. PERIMETER				772.3 FT
W - WEIGHTED WIDTH OF O.S. OR PUBLIC WAY				80.0 FT
FIP% =				78.72%

**ACTUAL AREA (CBC GFAL MIXED OCCUPANCY - NON-SEPARATED)**

TFL CBC FLOOR AREA	S-1	B	0	0	SUB-TOTAL
	42,830 S.F.	2,000 S.F.	0 S.F.	0 S.F.	44,830 S.F.
	42,830 S.F.	2,000 S.F.	0 S.F.	0 S.F.	44,830 S.F.
					<142,450 S.F.
MIFL CBC FLOOR AREA	0 S.F.	2,000 S.F.	0 S.F.	0 S.F.	2,000 S.F.
SUB-TOTAL	42,830 S.F.	4,000 S.F.	0 S.F.	0 S.F.	46,830 S.F.

**FIRE HYDRANT LOCATIONS** | 1:60 | 2

**ALLOWABLE AREA - BUILDING 1**

SIDE	O.S. WIDTH	L <sub>A</sub> (BLDG. PERIMETER)	W <sub>A</sub> (ADJUSTED WIDTH)	F <sub>A</sub> (BLDG PERIMETER W <sub>A</sub> ≥ 20' O.S.)
SIDE 1	158	200	0	0
SIDE 2	158.25	149.33	80	149.33
SIDE 3	149.33	80	80	80
SIDE 4	88.25	78	80	78
SIDE 5	78	263.58	80	263.58
SIDE 6	88.25	78	80	78
TOTAL PERIMETER P				772.3
PERIMETER F W <sub>A</sub> ≥ 20' WIDTH O.S.				972.3
TOTAL PERIMETER P				80
PERIMETER F/P%				76.43%
WEIGHTED W				1.08
F = F/P - 0.25/W30				1.08
P - ENTIRE BLDG. PERIMETER				972.3 FT
W - WEIGHTED WIDTH OF O.S. OR PUBLIC WAY				80.0 FT
FIP% =				79.43%

**CODES:**

2019 CALIFORNIA BUILDING CODE	
2019 CALIFORNIA MECHANICAL CODE	
2019 CALIFORNIA PLUMBING CODE	
2019 CALIFORNIA ELECTRICAL CODE	
2019 CALIFORNIA FIRE CODE	
2019 CALIFORNIA GREEN BUILDING STANDARDS	
2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS AND LOCAL CODES/AMENDMENTS	

**BUILDING INFORMATION**

OCCUPANCY:	S-1	B	0	0
ALLOWABLE HEIGHT/STORY (MAX.):	MOST RESTRICTIVE OCC. S-1 75 FT. 3 STORIES			
CLEAR HEIGHT (WAREHOUSE):	30' THROUGHOUT			
TYPE OF CONSTRUCTION:	II-B FULLY SPRINKLED			

**ALLOWABLE AREA:**

A <sub>1</sub> - TABULAR AREA (PER T. 506.2)				71,575 S.F.
NS - TABULAR AREA (PER T. 506.2)				143,150 S.F.
1. INCREASED BY FRONTAGE; II (REFER TO TABLE BELOW FOR CALC)				52,500 S.F.
(MAX. 75% OR 150% W/ SECT. 506.3.2 EXCEPT)				17,500 S.F.
F = FIP - 0.25/W30				1.08
P - ENTIRE BLDG. PERIMETER				772.3 FT
W - WEIGHTED WIDTH OF O.S. OR PUBLIC WAY				80.0 FT
FIP% =				79.43%

**ACTUAL AREA (CBC GFAL MIXED OCCUPANCY - NON-SEPARATED)**

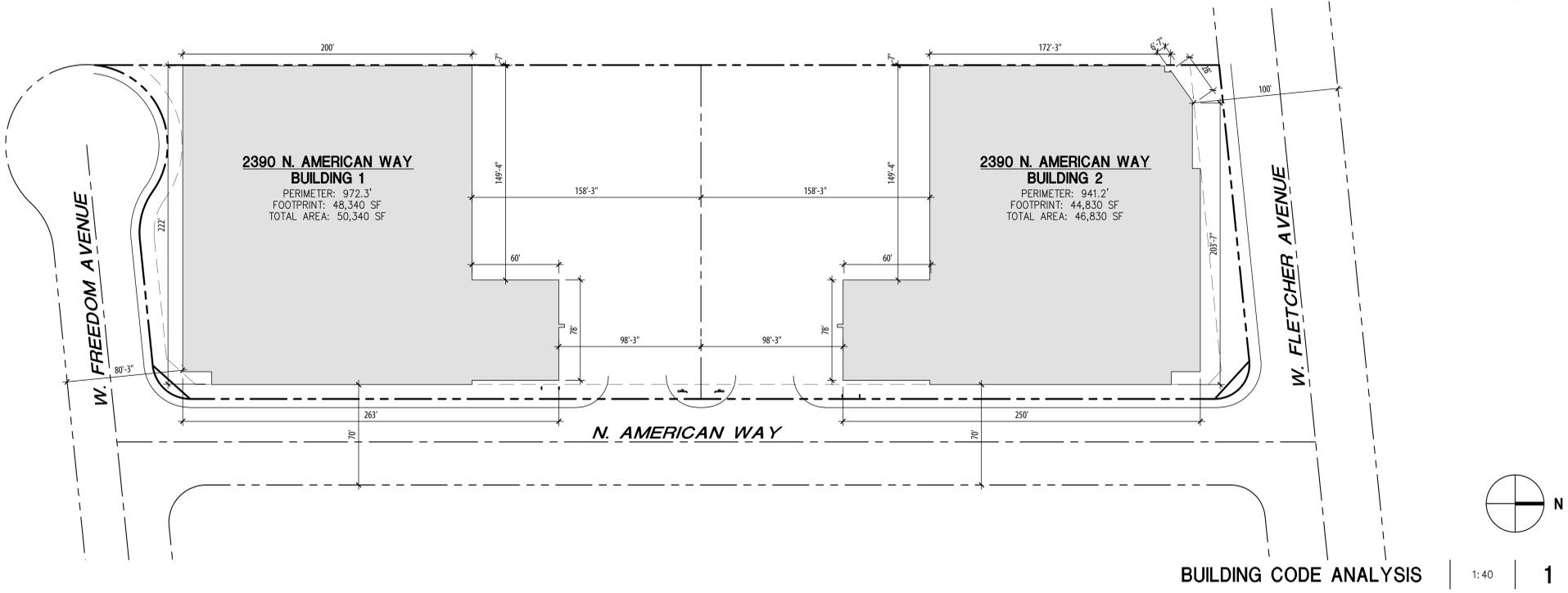
TFL CBC FLOOR AREA	S-1	B	0	0	SUB-TOTAL
	46,340 S.F.	2,000 S.F.	0 S.F.	0 S.F.	48,340 S.F.
	46,340 S.F.	2,000 S.F.	0 S.F.	0 S.F.	48,340 S.F.
					<143,150 S.F.
MIFL CBC FLOOR AREA	0 S.F.	2,000 S.F.	0 S.F.	0 S.F.	2,000 S.F.
SUB-TOTAL	46,340 S.F.	4,000 S.F.	0 S.F.	0 S.F.	50,340 S.F.

NO.	DESCRIPTION	DATE
1	MAJOR SITE PLAN REVIEW	10/15/2021
2	2ND SUBMITTAL	1/7/2021
3	3RD SUBMITTAL	3/11/2022
4	4TH SUBMITTAL	5/4/2022

**FIRE HYDRANT LOCATIONS AND ALLOWABLE AREA**

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JOB NO:	REX10101	SHEET NO:	
DATE:	9/2/21		
DRAWN:	GAA		<b>A1.2B</b>
FILE NAME:	REX10101_A1.2B		

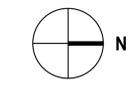
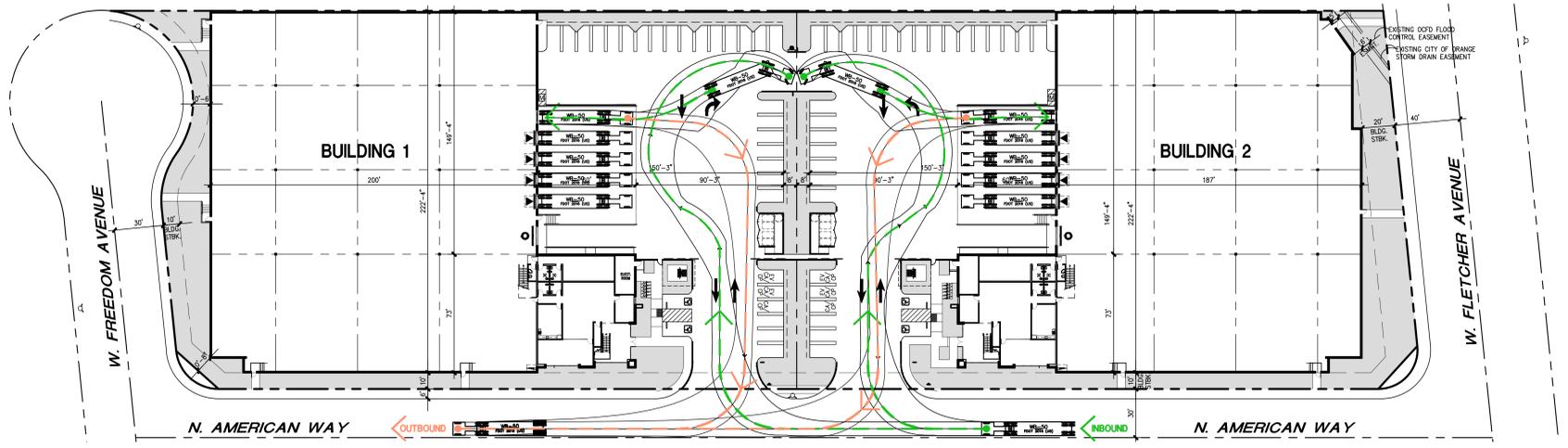


**BUILDING CODE ANALYSIS** | 1:40 | 1

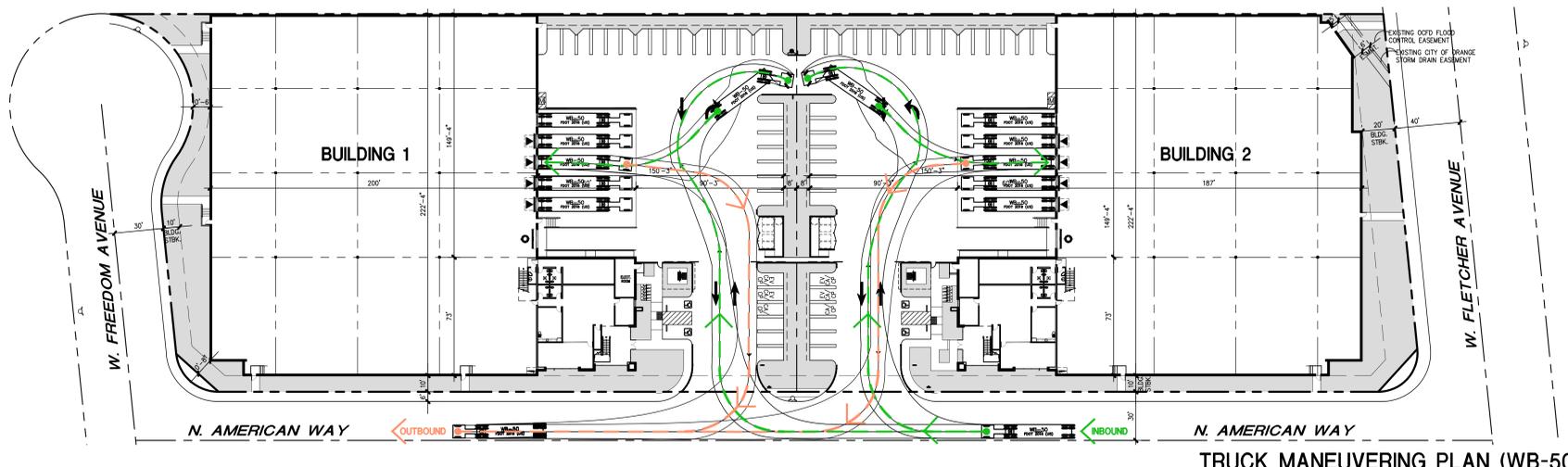
**2390 N. AMERICAN WAY  
INDUSTRIAL BUILDINGS**

2390 N. AMERICAN WAY  
ORANGE, CA 92865

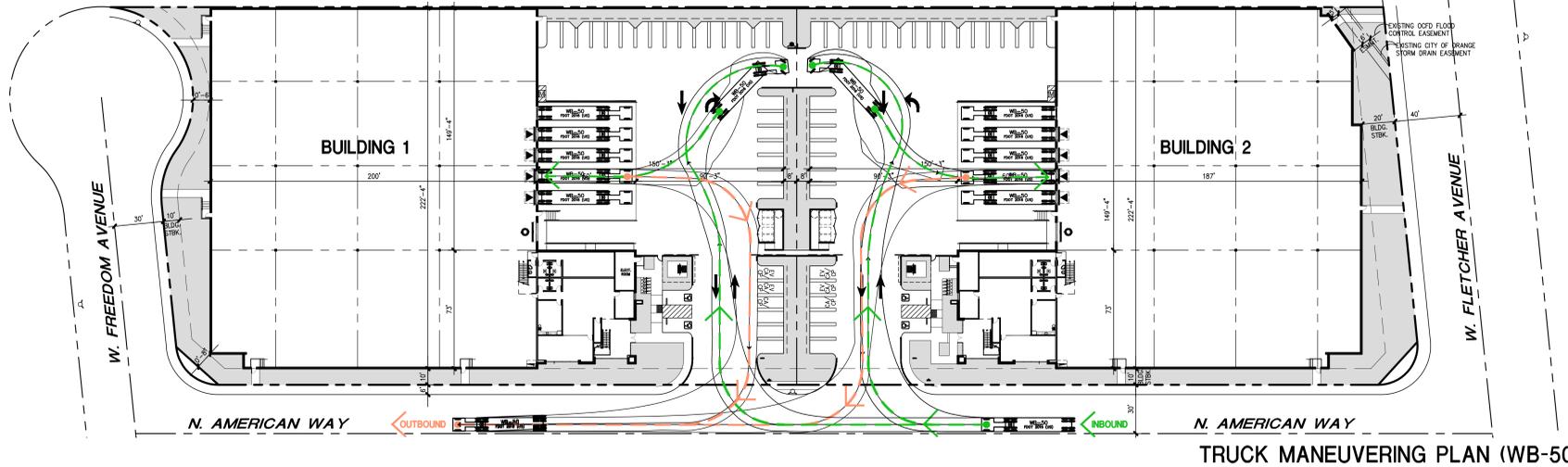
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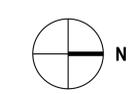
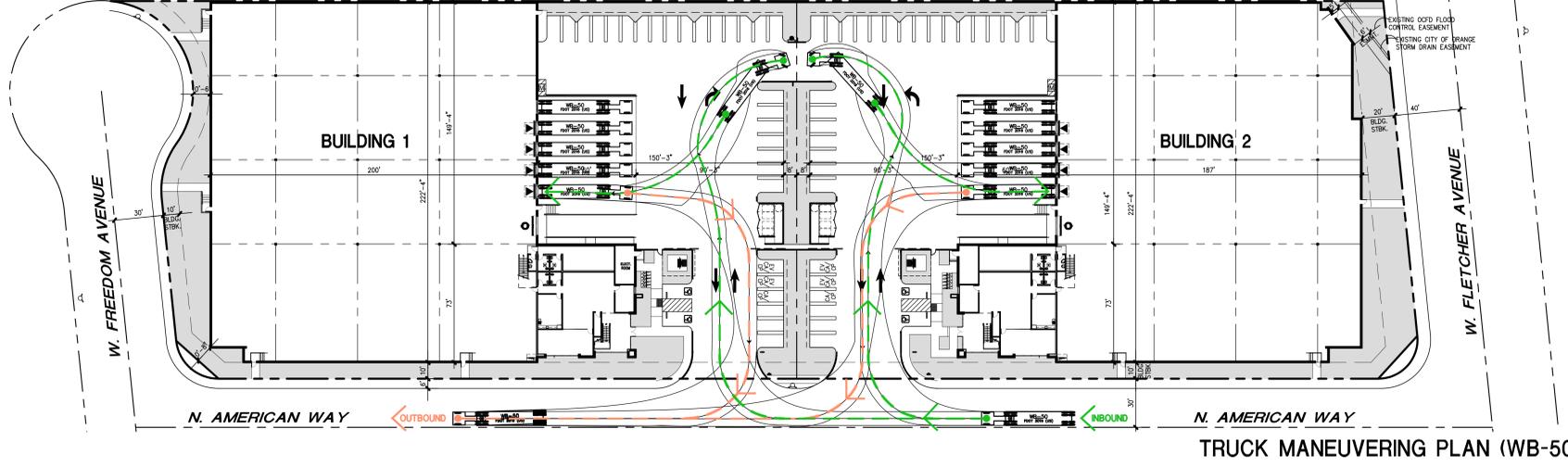
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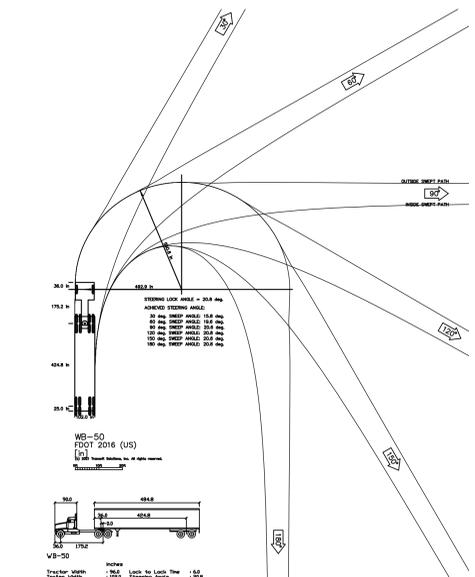
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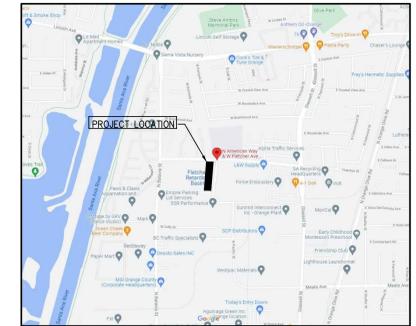
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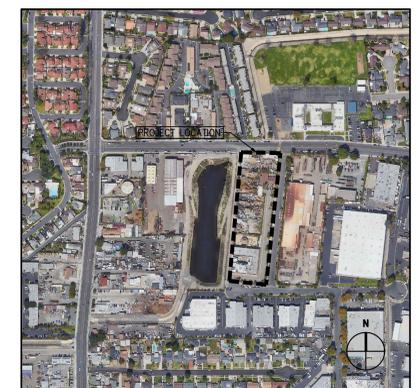
1:40 | 1



TRUCK TEMPLATE WB-50 | 1:30



VICINITY MAP | NTS



AERIAL MAP | NTS

NO.	DESCRIPTION	DATE
1	MAJOR SITE PLAN REVIEW	10/15/2021
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TRUCK MANEUVERING PLANS

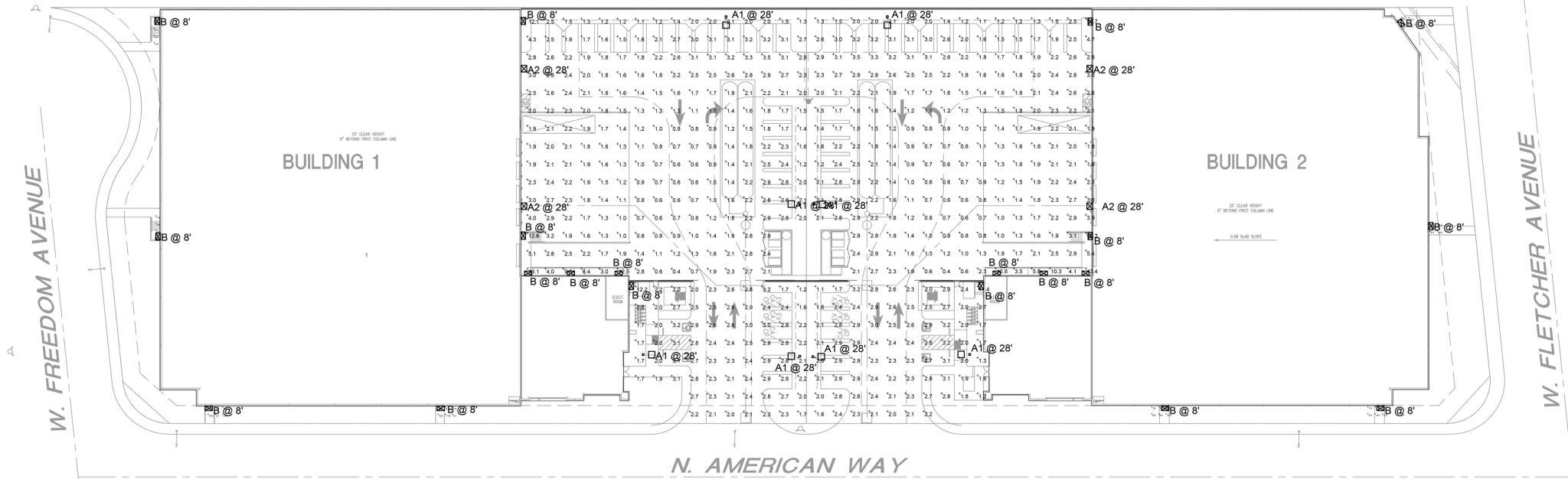
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JOB NO:	REX010.01	SHEET NO:	
DATE:	9/2/21		
DRAWN:	GAA		<b>A13</b>
FILE NAME:	REX010_A13		





REFERENCE NOTES (X)  
 1. SEE POLE BASE DETAIL THESE DRAWINGS.



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A1	8	Lithonia Lighting	DSX1 LED P5 40K-BLC-MVOLT	DSX1 LED P5 40K-BLC-MVOLT POLE MOUNTED ON 25 FT POLE 30" POLE BASE	LED	1	DSX1_LED_P5_40K-BLC-MVOLT.iss	12978	0.95	136
⊗	A2	4	Lithonia Lighting	DSX1 LED P5 40K-T4M-MVOLT	DSX1 LED P5 40K-T4M-MVOLT WALL MOUNTED AT 28 FEET	LED	1	DSX1_LED_P5_40K-T4M-MVOLT.iss	15465	0.95	136
⊗	B	20	Lithonia Lighting	WST LED P1 40K-VW-HVOLT	WST LED Performance package 1, 4000 K, visual comfort wide, HVOLT WALL MOUNTED AT 8 FT	LED	1	WST_LED_P1_40K-VW-HVOLT.iss	1659	0.95	14

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.2 fc	13.1 fc	0.4 fc	32.8:1	5.5:1
Calc Zone #2	+	6.5 fc	12.2 fc	1.9 fc	6.4:1	3.4:1
Calc Zone #3	+	5.9 fc	12.9 fc	1.5 fc	8.6:1	3.9:1
Calc Zone #4	+	5.1 fc	9.7 fc	1.0 fc	9.7:1	5.1:1
Calc Zone #5	+	5.2 fc	10.3 fc	1.0 fc	10.3:1	5.2:1
Calc Zone #6	+	5.7 fc	12.6 fc	1.4 fc	9.0:1	4.1:1
Calc Zone #7	+	5.9 fc	12.3 fc	1.5 fc	8.2:1	3.9:1
Calc Zone #8	+	8.3 fc	12.6 fc	4.5 fc	2.8:1	1.8:1
Calc Zone #9	+	8.8 fc	11.5 fc	5.5 fc	2.1:1	1.6:1
Calc Zone #10	+	2.2 fc	13.4 fc	0.4 fc	33.5:1	5.5:1

SITE LIGHTING (1) (A)  
 SCALE: 1" = 30'-0"

8811 Research Drive,  
 Suite 200,  
 Irvine, CA 92618  
 T: 949 474 1775  
 F: 949 553 9133

2390 N. AMERICAN WAY  
 INDUSTRIAL BUILDINGS

2390 N. AMERICAN WAY  
 ORANGE, CA 92865

DEVELOPED FOR:  
 ONE OF OUR CLIENTS

**ENGINEERING  
 RESOURCES**

ELECTRICAL • MECHANICAL • ENGINEERS  
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NO.	DESCRIPTION	DATE
△	MAJOR SITE PLAN REVIEW	10/15/2021
△	2ND SUBMITTAL	1/7/2021
△	3RD SUBMITTAL	3/11/2022
△	4TH SUBMITTAL	5/4/2022

SITE LIGHTING

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JOB NO:	22001	SHEET NO:	A16
DATE:	1/6/22		
DRAWN:	B.M.		
FILE NAME:	22001 A1.5		



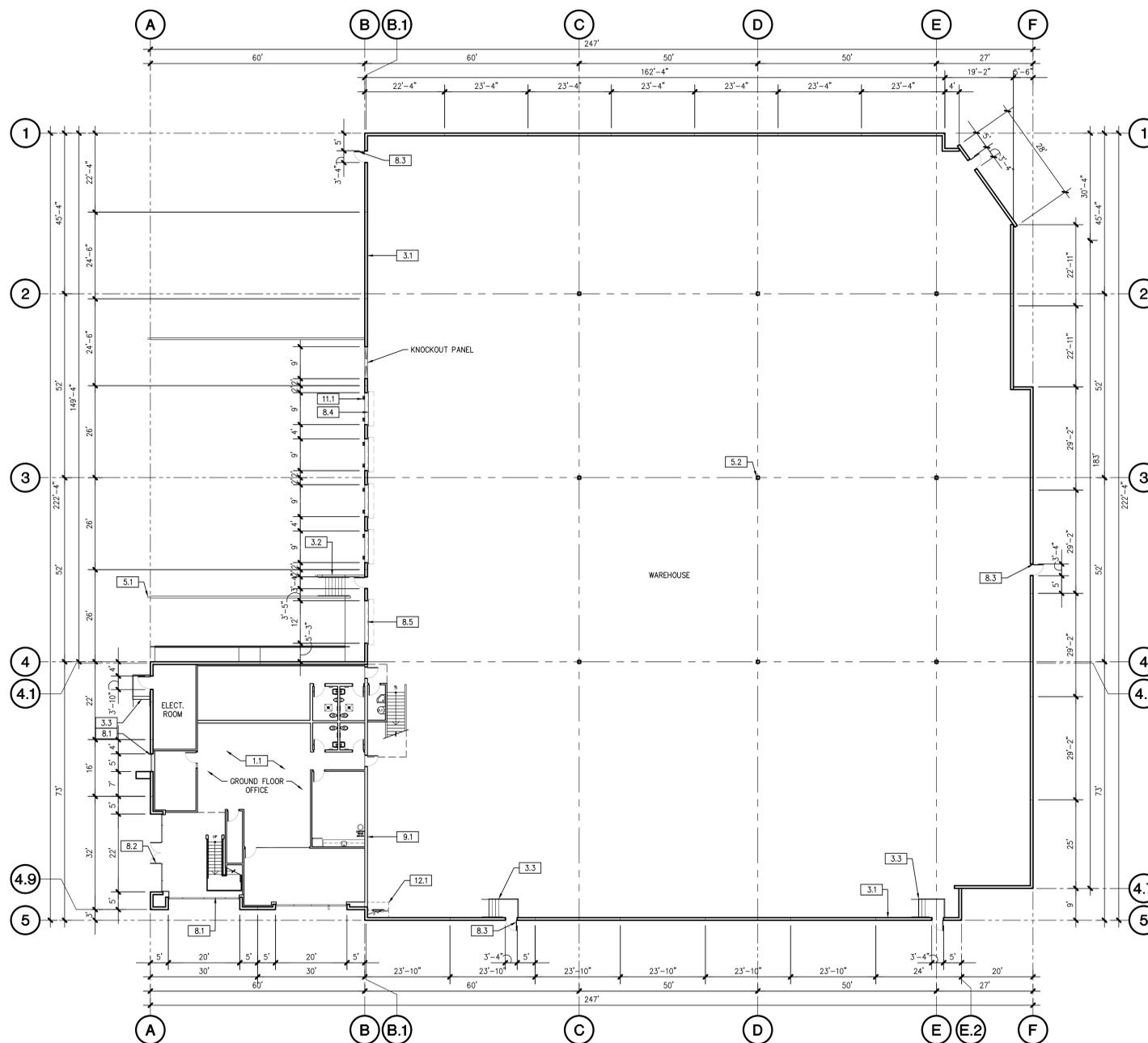


### KEYNOTES

- 1.0 GENERAL
  - 1.1 PROPOSED OFFICE
- 3.0 CONCRETE
  - 3.1 TILT-UP CONCRETE BUILDING WALL
  - 3.2 CONCRETE STAIR W/ HANDRAIL & 42" GUARDRAIL
  - 3.3 CONCRETE STAIR W/ HANDRAIL
- 5.0 METALS
  - 5.1 CONCRETE-FILLED STEEL PIPE PROTECTION BOLLARD, PAINTED, TYPICAL
  - 5.2 STRUCT. STEEL COLUMN, TYPICAL - SHOP PRIMED (FIELD PAINTED)
- 8.0 OPENINGS
  - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT
  - 8.2 ALUMINUM AND GLASS ENTRY DOOR
  - 8.3 HOLLOW METAL MAN DOOR, PAINTED
  - 8.4 9'W x 10'H OVERHEAD SECTIONAL DOCK DOOR, PAINTED
  - 8.5 12'W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
- 9.0 FINISHES
  - 9.1 INTERIOR PARTITION TYP.
- 11.0 EQUIPMENT
  - 11.1 DOCK BUMPERS - COORDINATE W/ MANUFACTURER & STRUCTURAL DRAWINGS
- 12.0 FURNISHINGS
  - 12.1 BICYCLE RACK PER CAL GREEN LONG-TERM REQUIREMENTS

### GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYOR SYSTEMS.
2. ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF FINISHED WALL (U.N.O.).
3. WAREHOUSE INTERIOR WALLS TO BE PAINTED WHITE, COLUMNS TO BE PRIMED.
4. SLOPE FOUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
5. STEEL ORDERS, TRUSSES AND LEDGERS SHALL BE PRIMED LIGHT GRAY.
6. PROVIDE SIGN ON INSIDE OF EXTERIOR DOORS STATING "EXIT CONTAINS A STAIR" AT ALL REQUIRED AND NON-REQUIRED EXITS THAT ARE NOT ACCESSIBLE BY A RAMP. EXIT ONLY DOORS WHICH ARE NOT ACCESSIBLE TO THE DISABLED SHALL NOT HAVE ENTRY HARDWARE.
7. PROVIDE A "NO SMOKING WITHIN 25 FEET OF BUILDING" SIGN AT BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS (EXCEPT EMERGENCY EXIT ONLY AND ELECTRICAL/UTILITY ROOMS).
8. ADEQUATE NUMBER OF PLUMBING FIXTURES SHALL BE PROVIDED TO COMPLY WITH THE CALIFORNIA PLUMBING CODE TABLE 422.1 PRIOR TO CERTIFICATE OF OCCUPANCY OF THE BUILDING OR THE RESPECTIVE TENANT SPACE.
9. BUILDING SIGNAGE UNDER SEPARATE PERMIT.
10. FIRE EXTINGUISHERS SHALL BE PROVIDED PER 2013 CFC.
11. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
12. REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN WHERE OCCURS.
13. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
14. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED W/ SECONDARY POWER SOURCE.
15. ANY TIME A BUILDING OR A PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1-FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, ILLUMINATION SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM FOR THE FOLLOWING AREAS:
  - A. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
  - B. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
27. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1-FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1-FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.



2390 N. AMERICAN WAY  
INDUSTRIAL BUILDINGS  
2390 N. AMERICAN WAY  
ORANGE, CA 92865  
DEVELOPED FOR:  
REXFORD INDUSTRIAL REALTY

NO.	DESCRIPTION	DATE
△	MAJOR SITE PLAN REVIEW	10/15/2021
△	2ND SUBMITTAL	1/7/2021
△	3RD SUBMITTAL	3/11/2022
△	4TH SUBMITTAL	5/4/2022

### BUILDING 2 FLOOR PLAN

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DATE	9/2/21		
DRAWN	GAA		
FILE NAME	REX010_A2.2		













**COLOR SCHEDULE / MATERIALS**

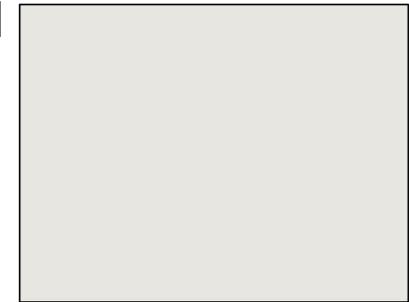
G1 GLAZING	MEDIUM PERFORMANCE COLOR: BLUE
M1 VERTICAL FIN	METAL
M2 MULLIONS	TBD ALUMINUM FINISH: CLEAR ANODIZED
P1 PAINT 1	PPG "WILLOW SPRINGS" PPG1007-1 OR SIMILAR MAIN BUILDING COLOR - LIGHT GREY
P2 PAINT 2	PPG "GHOST WRITER" PPG1007-3 OR SIMILAR BUILDING BASE COLOR - MEDIUM GREY
P3 PAINT 3	SHERWIN WILLIAMS "PEPPER CORN" SW7674 OR SIMILAR DARK BAND COLOR - DARK GREY
P4 PAINT 4	SHERWIN WILLIAMS "RALLICIOUS ORANGE" SW6883 OR EQUAL ACCENT COLOR - ORANGE
DOORS TO MATCH ADJACENT BUILDING COLOR	



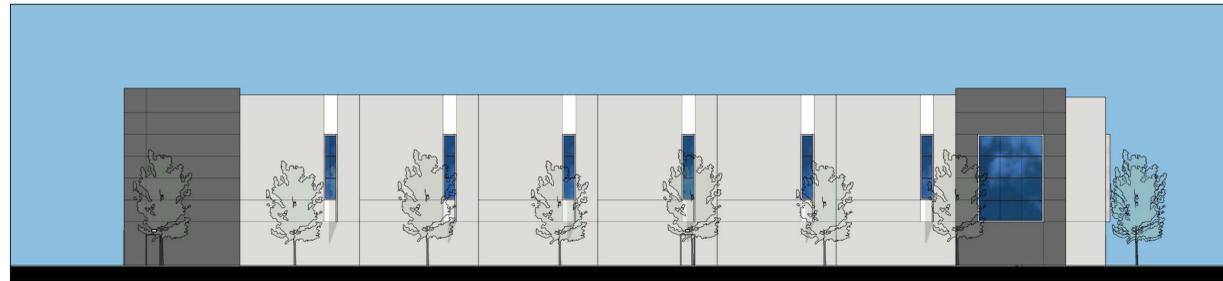
8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133



EAST ELEVATION | 1/16"=1' | 4



P1 PAINT - SEE SCHEDULE



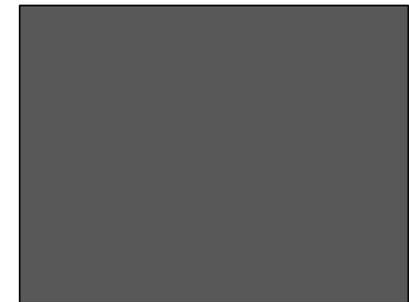
SOUTH ELEVATION | 1/16"=1' | 3



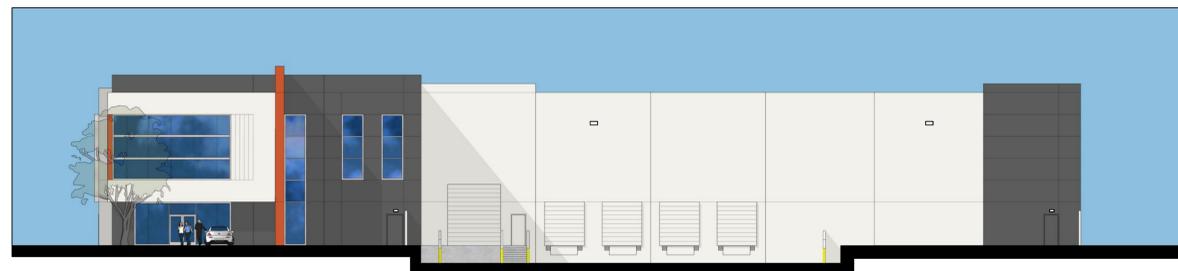
P2 PAINT - SEE SCHEDULE



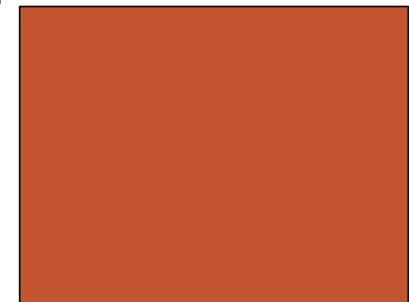
WEST ELEVATION | 1/16"=1' | 2



P3 PAINT - SEE SCHEDULE



NORTH ELEVATION | 1/16"=1' | 1



P4 PAINT - SEE SCHEDULE

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**BUILDING 1  
COLOR ELEVATIONS**

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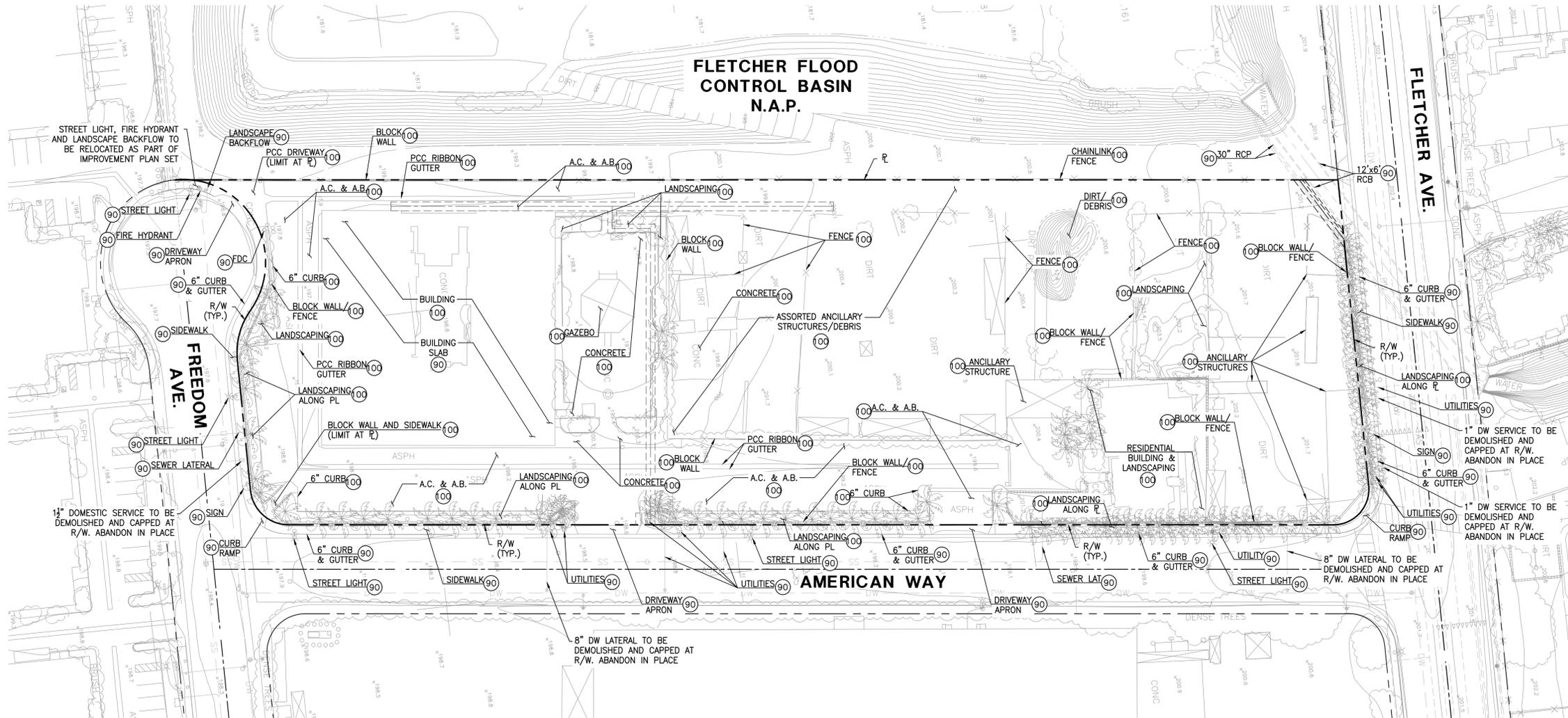
JOB NO:	REX010.01	SHEET NO:	
DATE:	9/2/21		
DRAWN:	GAA		<b>A4.1C</b>
FILE NAME:	REX010_4.1C		





# DEMOLITION PLAN

## 2390 N. AMERICAN WAY INDUSTRIAL BUILDINGS



### DEMOLITION NOTES

- (90) PROTECT IN PLACE (AS NOTED)
- (100) DEMOLISH AND REMOVE (AS NOTED)

### LEGEND

- PROPERTY LINE
- STREET CENTERLINE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING UTILITY BOX
- EXISTING TREE

### NOTES

1. ALL DEMOLITION AND REMOVAL TO BE LIMITED TO PROPERTY LINE AND RIGHT OF WAY.
2. ALL ON-SITE UTILITIES ARE TO BE REMOVED AND CAPPED AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
3. SLAB FOOTINGS FOR BUILDINGS TO BE PROTECTED IN PLACE, RAISED FOUNDATIONS/SLABS FOR ANCILLARY BUILDINGS TO BE DEMOLISHED.
4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. THE ENGINEER WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, ANY UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS.
6. CONTRACTOR TO INSTALL REPLACEMENT TEMP FENCING ALONG WESTERLY PROPERTY LINE WHERE APPLICABLE.

### GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF ORANGE STANDARD PLANS AND SPECIFICATIONS, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. (GREEN BOOK)
2. PUBLIC AND PRIVATE UTILITIES AND THE ACCOMPANYING SUBSTRUCTURES SHOWN ON THESE PLANS ARE FROM AVAILABLE PUBLIC DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES AND SUBSTRUCTURES WITHIN THE CONSTRUCTION LIMITS. DAMAGE TO SUCH RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. ALL UNDERGROUND UTILITY AND OTHER SUBSURFACE WORK SHALL BE COMPLETED PRIOR TO COMPLETING THE FINAL SURFACING OR LANDSCAPING. SEWER LATERALS TO BE INSTALLED PRIOR TO CURB AND GUTTER.
4. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES REGARDING ANY PROBLEMS.

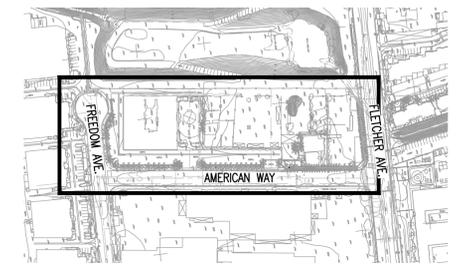
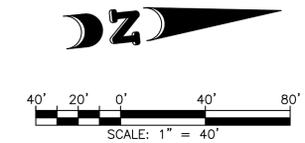
MICAH JEAN	CITY OF ORANGE STREET TREES AUTHORITY	
JIMMY ROCHA	CITY OF ORANGE TRAFFIC DIVISION	VERIZON WIRELESS
PHYLIS THEN	CITY OF ORANGE TRANSPORTATION	QUEST COMMUNICATION
SON TRAN	PERMIT	LEVEL 3 COMMUNICATIONS
DAVID ZAPALAC	CITY OF ORANGE WATER DIVISION	714-532-6470
VALENTINA GIPSON	AT&T (TELEPHONE SERVICES)	714-532-6426
GREG BURNETT	AT&T (LIAISON)	714-744-5536
ROBERT HOERNING	KINDER MORGAN	714-288-2497
JASON KING	MCI - WORLDCOM	714-237-6949
WALTER WERSTUJK	XO COMMUNICATIONS, INC.	714-666-5467
MICHAEL ORDUNO	AT&T	909-873-5174
DIANA CABALLERO	SOUTHERN CALIFORNIA EDISON	714-923-5900
ROSALYN SQUIRES	SOUTHERN CALIFORNIA GAS	949-417-7430
CHRIS DONNELLY	DISTRIBUTION	714-963-7964
MARK STRICKERT	SOUTHERN CALIFORNIA GAS	626-302-4387
MALCOLM BROWN	TRANSMISSION	714-634-3115
JIM BASSLER	TIME WARNER COMMUNICATIONS	818-701-4546
ERNIE MORRIS	ORANGE COUNTY TRANSPORTATION	714-903-8307
		714-560-5883
		949-286-8772
		562-777-2225
		858-292-2134

### GENERAL NOTES (CONT'D)

5. THE CONTRACTOR SHALL NOTIFY CITY OF ORANGE PUBLIC WORKS MAINTENANCE DIVISION, 714-532-5480, SEVENTY-TWO HOURS PRIOR TO ANY ROAD CLOSURE AND/OR DETOUR.
6. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (DIAL 811 OR 1-800-227-2600) FORTY-EIGHT HOURS PRIOR TO THE REQUIRED DATE.
7. CONTRACTOR SHALL PRESERVE ALL PERMANENT SURVEY MARKERS INCLUDING ALL CENTERLINE TIES AS SPECIFIED IN SECTION 2-9.1 OF THE CITY OF ORANGE STANDARD PLANS AND SPECIFICATIONS.
8. THE ENGINEER REPRESENTS THAT HE HAS MADE A REASONABLE ENGINEERING DETERMINATION THAT THERE ARE NO UNDERGROUND UTILITY LINES OR STRUCTURES EXCEPT AS SHOWN ON THESE PLANS.
9. AN ENCROACHMENT PERMIT FROM THE CITY PUBLIC WORKS DEPARTMENT IS REQUIRED FOR ALL WORKS WITHIN PUBLIC RIGHT OF WAY.

### BEST MANAGEMENT PRACTICE NOTES:

1. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
2. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
4. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DISPOSED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.



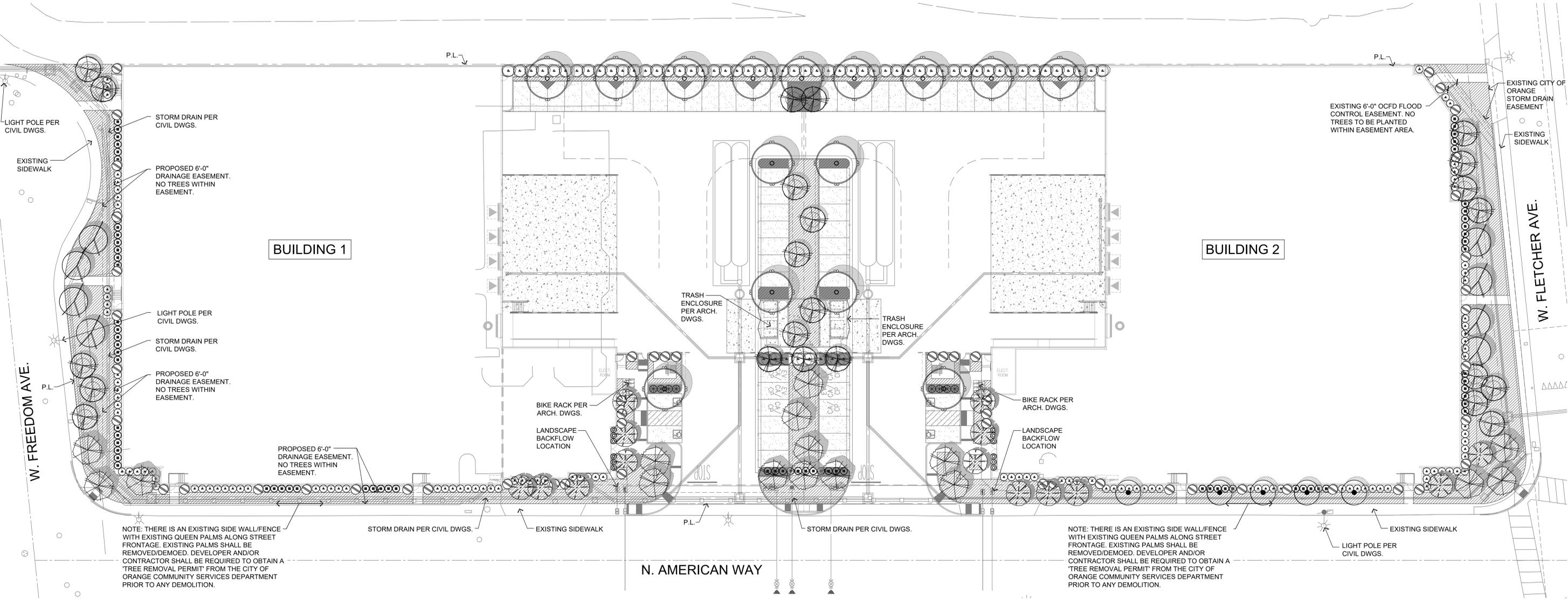
**INDEX MAP**  
SCALE: 1" = 250'

<b>RECORD DRAWING</b>		<b>RECOMMENDED:</b>	
ENGINEER (SIGNATURE)	DATE	PRINCIPAL CIVIL ENGINEER	DATE
REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED
PREPARED BY:			
Huitt-Zollars, Inc.      Irvine 2603 Main Street Suite 400 Irvine, California 92614 Phone (949) 988-5815 Fax (949) 988-5820			

**DIAL TOLL FREE**  
**811 or**  
**1-800-422-4133**  
**AT LEAST TWO DAYS**  
**BEFORE YOU DIG**

UNDERGROUND SERVICE ALERT(USA) OF SOUTHERN CALIFORNIA

<b>CITY OF ORANGE</b>	
<b>OFFICE OF THE CITY ENGINEER</b>	
SHEET NUMBER:	<b>DM-01</b>
SCALE: HORIZ.: NONE	SHEET No. <b>1</b> OF <b>1</b>
VERT.: NONE	PROJECT NUMBER
DRAWN BY:	<b>SP-XXXX</b>
CHECKED BY:	



**PLANTING LEGEND**

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	PARKING LOT SHADE TREE ULMUS P. 'TRUE GREEN', CHINESE ELM 24" BOX SIZE.	15	L
	FLOWERING ACCENT TREE AT DRIVEWAY ENTRY LAGERSTROEMIA I. 'WATERMELON RED', GRAPE MYRTLE 24" BOX SIZE.	14	L
	FLOWERING ACCENT TREE AT BLDG. ENTRY CERCIDIUM X 'DESERT MUSEUM', PALO VERDE 36" BOX SIZE.	16	L
	VERTICAL TREE ALONG BUILDING (COLUMNAR) PODOCARPUS GRACILIOR, FERN PINE 24" BOX SIZE.	23	L
	VERTICAL TREE ALONG BUILDING TRISTANIA LAURINA, BRISBANE BOX 36" BOX SIZE.	5	L
	VERTICAL TREE ALONG BUILDING CHORISIA SPECIOSA, FLOSS SILK TREE 36" BOX SIZE.	8	L
	CUPRESSUS SEMPERVIRENS, ITALIAN CYPRESS 15 GAL. SIZE.	54	L
TOTAL NUMBER OF TREES PROVIDED		135	

**PARKING LOT LANDSCAPING**  
 PER OMC SECTION 17.34.130.H A MINIMUM OF 10% OF PARKING LOT AREA SHALL BE LANDSCAPED.  
 TOTAL PARKING AREA = 9,144 SQ. FT.  
 TOTAL LANDSCAPE IN PARKING LOT AREA REQUIRED = 914 SQ. FT. (10%)  
 TOTAL LANDSCAPE IN PARKING LOT AREA PROVIDED = 1,295 SQ. FT. (14%)

**SHRUBS** - SHRUBS SHALL CONSIST OF THE FOLLOWING:

SYMBOL	NAME	WUCOLS
	DODONAEA VISCOSA 'PURPUREA', PURPLE HOPSEED BUSH 5 GAL. SIZE	L
	WESTRINGIA FRUTICOSA, COAST ROSEMARY 5 GAL. SIZE	L
	LEUCOPHYLLUM F. 'STRAWBERRY', TEXAS RANGER 5 GAL. SIZE	L
	LEUCOPHYLLUM F. 'GREEN CLOUD', TEXAS RANGER 5 GAL. SIZE	L
	RHAMNUS CALIFORNICA 'SAN BRUNO', COFFEEBERRY 5 GAL. SIZE	L
	TECOMA STANS, YELLOW BELLS 5 GAL. SIZE	L
	PRUNUS ILICIFOLIA, HOLLYLEAF CHERRY 5 GAL. SIZE	VL
	ROSMARINUS O. 'TUSCAN BLUE', UPRIGHT ROSEMARY 5 GAL. SIZE	L

**TREE MATRIX**  
 TOTAL NUMBERS OF TREES PROVIDED = 135 TREES  
 BUILDING #1 = 61 TREES  
 BUILDING #2 = 74 TREES

PER OMC SECTION 17.18.160.B.1.ii A MINIMUM OF 135 TREES ARE REQUIRED THROUGHOUT THE PROJECT SITE. TO CALCULATE THE QUANTITY OF TREES REQUIRED ON THE PROJECT, THE TOTAL LENGTH OF ALL THE PERIMETER PROPERTY LINES (ALL SIDES), THE TOTAL LENGTH OF THE PERIMETER OF THE BUILDINGS, AND THE TOTAL LENGTH OF ALL PARKING ROWS ON THE SITE ARE ADDED TOGETHER AND DIVIDED BY 36.

**GROUND COVERS** - GROUND COVERS SHALL CONSIST OF THE FOLLOWING:

SYMBOL	NAME	WUCOLS
	ROSMARINUS O. 'PROSTRATUS', PROSTRATE ROSEMARY 1 GAL @ 24" O.C.	L
	LANTANA CAMARA 'DWARF GOLD', DWARF LANTANA 1 GAL @ 30" O.C.	L
	SALVIA GREGGII, AUTUMN SAGE 1 GAL @ 24" O.C.	L
	MUHLENBERGIA CAPILLARIS 'LENCA', REGAL MIST PINK MUHLY 1 GAL @ 42" O.C.	L
	SALVIA CLEVELANDII, CLEVELAND SAGE 5 GAL @ 48" O.C.	L
	DIANELLA TASMANICA 'VARIEGATA', WHITE STRIPED TASMAN FLAX LILY 1 GAL @ 24" O.C.	L

NOTE: APPLY A 3" MIN. LAYER OF MULCH TOP DRESSING WITHIN ALL PLANTING AREAS. A SAMPLE IS REQUIRED PRIOR TO APPLICATION.

- GENERAL NOTES:**
- SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND, AND MULCH MATERIAL WITH 'BINDER' MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
  - ROCK RIP-RAP MATERIAL SHALL BE INSTALLED WHERE DRAIN LINES CONNECT TO INFILTRATION AREAS.
  - ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS, FIRE CHECK VALVE, AND AIR CONDITIONING UNITS WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.
  - PER 12.6.21 LANDSCAPING FOR THE PROJECT SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPES SECTION IX AND WITH THE GUIDELINES FOR IMPLEMENTATION OF THE WATER EFFICIENT LANDSCAPES SECTION IX OF THE CITY OF ORANGE LANDSCAPE STANDARDS AND SPECIFICATIONS.

**IRRIGATION NOTE:**  
 THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AB-1881 WATER ORDINANCE.

**CONCEPTUAL PLAN NOTE:**  
 THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

**LANDSCAPE DATA:**

- TOTAL LANDSCAPE AREA EQUATES TO APPROX. 25,250 SQ. FT. (NOT INCLUDING R.O.W. AND PAVED AREAS)
- TOTAL SITE AREA = 174,601 SQ. FT. / 4.01 ACRES.

**PRELIMINARY MAWA CALCULATIONS**

- TOTAL LANDSCAPE SQUARE FOOTAGE : APPROX. 25,124 SQ.FT.
- AVERAGE PLANT FACTOR = .2
- ETO FOR THE CITY OF ORANGE: 48.2 INCHES/YEAR

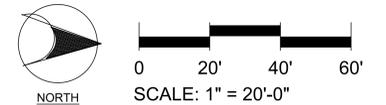
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) = 337,863 GAL/YEAR  
 (48.2) X (.45) X (25,124) X (.62) = 337,863

**WUCOLS PLANT FACTOR**  
 THIS PROJECT IS LOCATED IN 'WUCOLS' REGION '2-CENTRAL VALLEY'.  
 H = HIGH WATER NEEDS  
 M = MODERATE WATER NEEDS  
 L = LOW WATER NEEDS  
 VL = VERY LOW WATER NEEDS



# CONCEPTUAL LANDSCAPE PLAN AMERICAN WAY INDUSTRIAL BUILDINGS

2390 N. AMERICAN WAY  
 ORANGE, CA



MAY 11, 2022



**PLANTING LEGEND**

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	PARKING LOT SHADE TREE ULMUS P. 'TRUE GREEN', CHINESE ELM 24" BOX SIZE.	15	L
	FLOWERING ACCENT TREE AT DRIVEWAY ENTRY LAGERSTROEMIA I. 'WATERMELON RED', GRAPE MYRTLE 24" BOX SIZE.	14	L
	FLOWERING ACCENT TREE AT BLDG. ENTRY CERCIDIUM X 'DESERT MUSEUM', PALO VERDE 36" BOX SIZE.	16	L
	VERTICAL TREE ALONG BUILDING (COLUMNAR) PODOCARPUS GRACILIOR, FERN PINE 24" BOX SIZE.	23	L
	VERTICAL TREE ALONG BUILDING TRISTANIA LAURINA, BRISBANE BOX 36" BOX SIZE.	5	L
	VERTICAL TREE ALONG BUILDING CHORISIA SPECIOSA, FLOSS SILK TREE 36" BOX SIZE.	8	L
	CUPRESSUS SEMPERVIRENS, ITALIAN CYPRESS 15 GAL. SIZE.	54	L
TOTAL NUMBER OF TREES PROVIDED		135	

**PARKING LOT LANDSCAPING**  
 PER OMC SECTION 17.34.130.H A MINIMUM OF 10% OF PARKING LOT AREA SHALL BE LANDSCAPED.  
 TOTAL PARKING AREA = 9,144 SQ. FT.  
 TOTAL LANDSCAPE IN PARKING LOT AREA REQUIRED = 914 SQ. FT. (10%)  
 TOTAL LANDSCAPE IN PARKING LOT AREA PROVIDED = 1,295 SQ. FT. (14%)

SHRUBS - SHRUBS SHALL CONSIST OF THE FOLLOWING:		
SYMBOL	NAME	WUCOLS
	DODONAEA VISCOSA 'PURPUREA', PURPLE HOPSEED BUSH 5 GAL. SIZE	L
	WESTRINGIA FRUTICOSA, COAST ROSEMARY 5 GAL. SIZE	L
	LEUCOPHYLLUM F. 'STRAWBERRY', TEXAS RANGER 5 GAL. SIZE	L
	LEUCOPHYLLUM F. 'GREEN CLOUD', TEXAS RANGER 5 GAL. SIZE	L
	RHAMNUS CALIFORNICA 'SAN BRUNO', COFFEEBERRY 5 GAL. SIZE	L
	TECOMA STANS, YELLOW BELLS 5 GAL. SIZE	L
	PRUNUS ILICIFOLIA, HOLLYLEAF CHERRY 5 GAL. SIZE	VL
	ROSMARINUS O. 'TUSCAN BLUE', UPRIGHT ROSEMARY 5 GAL. SIZE	L

**TREE MATRIX**  
 TOTAL NUMBERS OF TREES PROVIDED = **135 TREES**  
 BUILDING #1 = **61 TREES**  
 BUILDING #2 = **74 TREES**  
 PER OMC SECTION 17.18.160.B.1.A A MINIMUM OF 135 TREES ARE REQUIRED THROUGHOUT THE PROJECT SITE. TO CALCULATE THE QUANTITY OF TREES REQUIRED ON THE PROJECT, THE TOTAL LENGTH OF ALL THE PERIMETER PROPERTY LINES (ALL SIDES), THE TOTAL LENGTH OF THE PERIMETER OF THE BUILDINGS, AND THE TOTAL LENGTH OF ALL PARKING ROWS ON THE SITE ARE ADDED TOGETHER AND DIVIDED BY 36.

GROUND COVERS - GROUND COVERS SHALL CONSIST OF THE FOLLOWING:		
SYMBOL	NAME	WUCOLS
	ROSMARINUS O. 'PROSTRATUS', PROSTRATE ROSEMARY 1 GAL @ 24" O.C.	L
	LANTANA CAMARA 'DWARF GOLD', DWARF LANTANA 1 GAL @ 30" O.C.	L
	SALVIA GREGGII, AUTUMN SAGE 1 GAL @ 24" O.C.	L
	MUHLBERGIA CAPILLARIS 'LENCA', REGAL MIST PINK MUHLY 1 GAL @ 42" O.C.	L
	SALVIA CLEVELANDII, CLEVELAND SAGE 5 GAL @ 48" O.C.	L
	DIANELLA TASMANICA 'VARIEGATA', WHITE STRIPED TASMAN FLAX LILY 1 GAL @ 24" O.C.	L

NOTE: APPLY A 3" MIN. LAYER OF MULCH TOP DRESSING WITHIN ALL PLANTING AREAS. A SAMPLE IS REQUIRED PRIOR TO APPLICATION.  
**GENERAL NOTES:**  
 • SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND, AND MULCH MATERIAL WITH 'BINDER' MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.  
 • ROCK RIP-RAP MATERIAL SHALL BE INSTALLED WHERE DRAIN LINES CONNECT TO INFILTRATION AREAS.  
 • ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS, FIRE CHECK VALVE, AND AIR CONDITIONING UNITS WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.  
 • PER 12.6.21 LANDSCAPING FOR THE PROJECT SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPES SECTION IX AND WITH THE GUIDELINES FOR IMPLEMENTATION OF THE WATER EFFICIENT LANDSCAPES SECTION IX OF THE CITY OF ORANGE LANDSCAPE STANDARDS AND SPECIFICATIONS.

**IRRIGATION NOTE:**  
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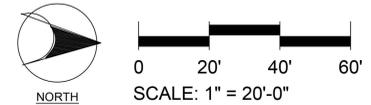
**PRELIMINARY MAWA CALCULATIONS**  
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# CONCEPTUAL LANDSCAPE PLAN AMERICAN WAY INDUSTRIAL BUILDINGS

2390 N. AMERICAN WAY  
 ORANGE, CA



MAY 11, 2022



# DESIGN DEVELOPMENT REVIEW

## 2390 N. AMERICAN WAY INDUSTRIAL BUILDINGS

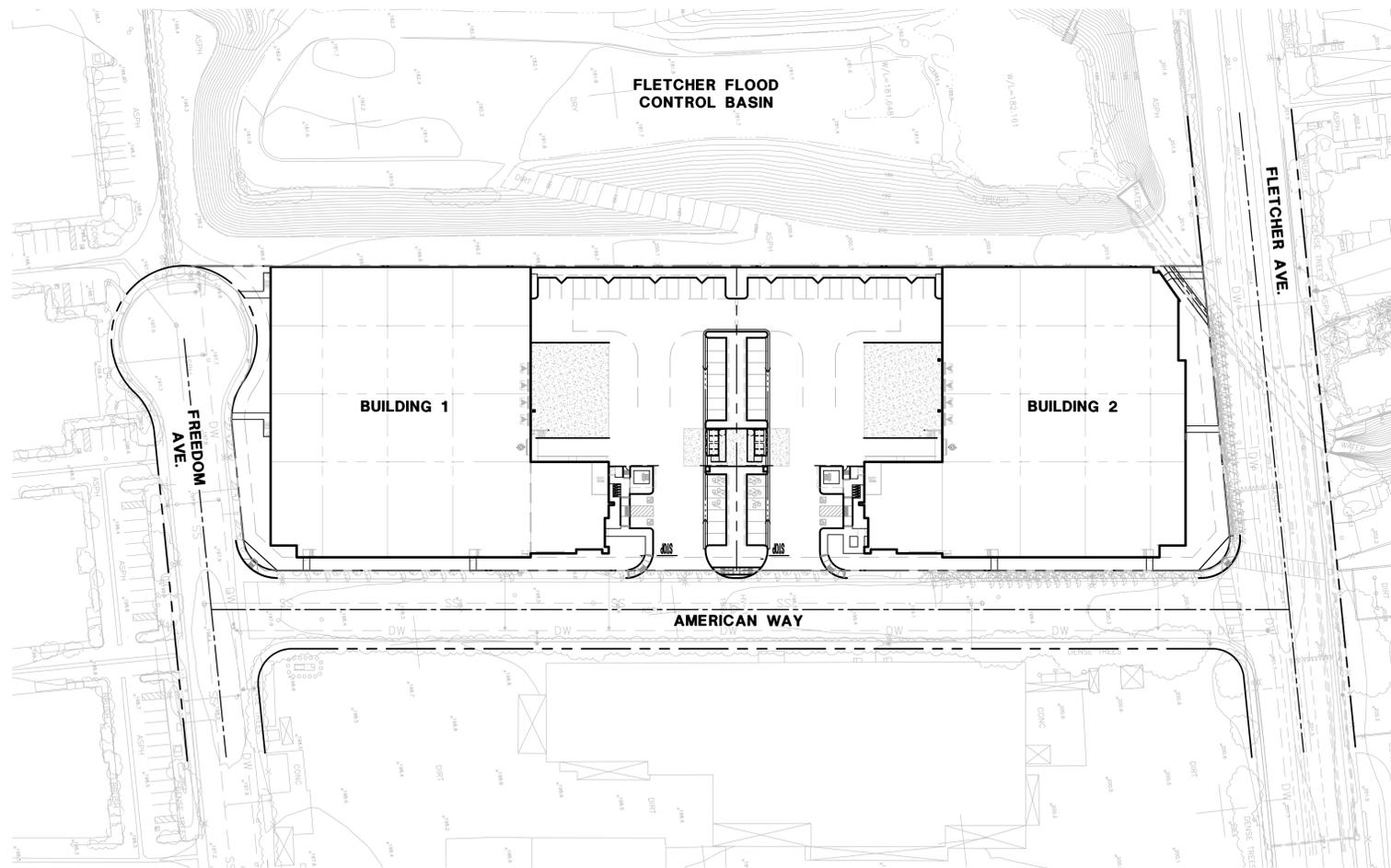
2390 N. AMERICAN WAY, ORANGE, CA  
 PARCELS 1, 2, AND 3 AS SHOWN ON A PARCEL MAP FILED  
 IN BOOK 95 PAGES 14 AND 15 OF PARCEL MAPS, IN THE  
 OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

### LEGEND

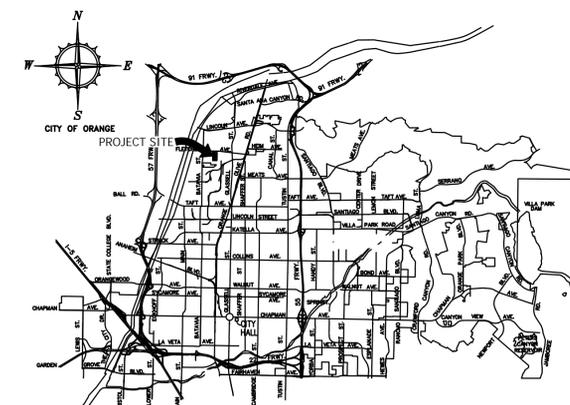
---	BOUNDARY
—1165—	FINISH GRADE
—1168—	EXISTING GRADE
(S)	EXISTING SEWER LINE
(W)	EXISTING WATER LINE
---	DEEPEMED FOOTING
---	SOUND WALL
---	EXISTING STORM DRAIN LINE
S	PROPOSED SEWER LINE
W	PROPOSED WATER LINE
---	PROPOSED STORM DRAIN LINE
1%	PROPOSED GRADIENT
XX.XX TC	PROPOSED ELEVATIONS
XX.XX FL	EXISTING ELEVATIONS
(XX.XX TC)	PARENTHESES INDICATE EXISTING ELEVATIONS
[Pattern]	CONCRETE SIDEWALK

### ABBREVIATIONS

DF	DEEPEMED FOOTING
FF	FINISHED FLOOR
TC	TOP OF CURB
FS	FINISHED SURFACE
FG	FINISHED GRADE
TW	TOP OF WALL
GB	GRADE BREAK
LP	LOW POINT
TG	TOP OF GRATE
MH	MANHOLE
CB	CATCH BASIN
CO	SEWER CLEANOUT
POC	POINT OF CONNECTION
FL	FLOWLINE
TOS	TOP OF STEP
BOS	BOTTOM OF STEP
PA	PLANTER AREA



**AREA MAP**  
SCALE: 1"=60'

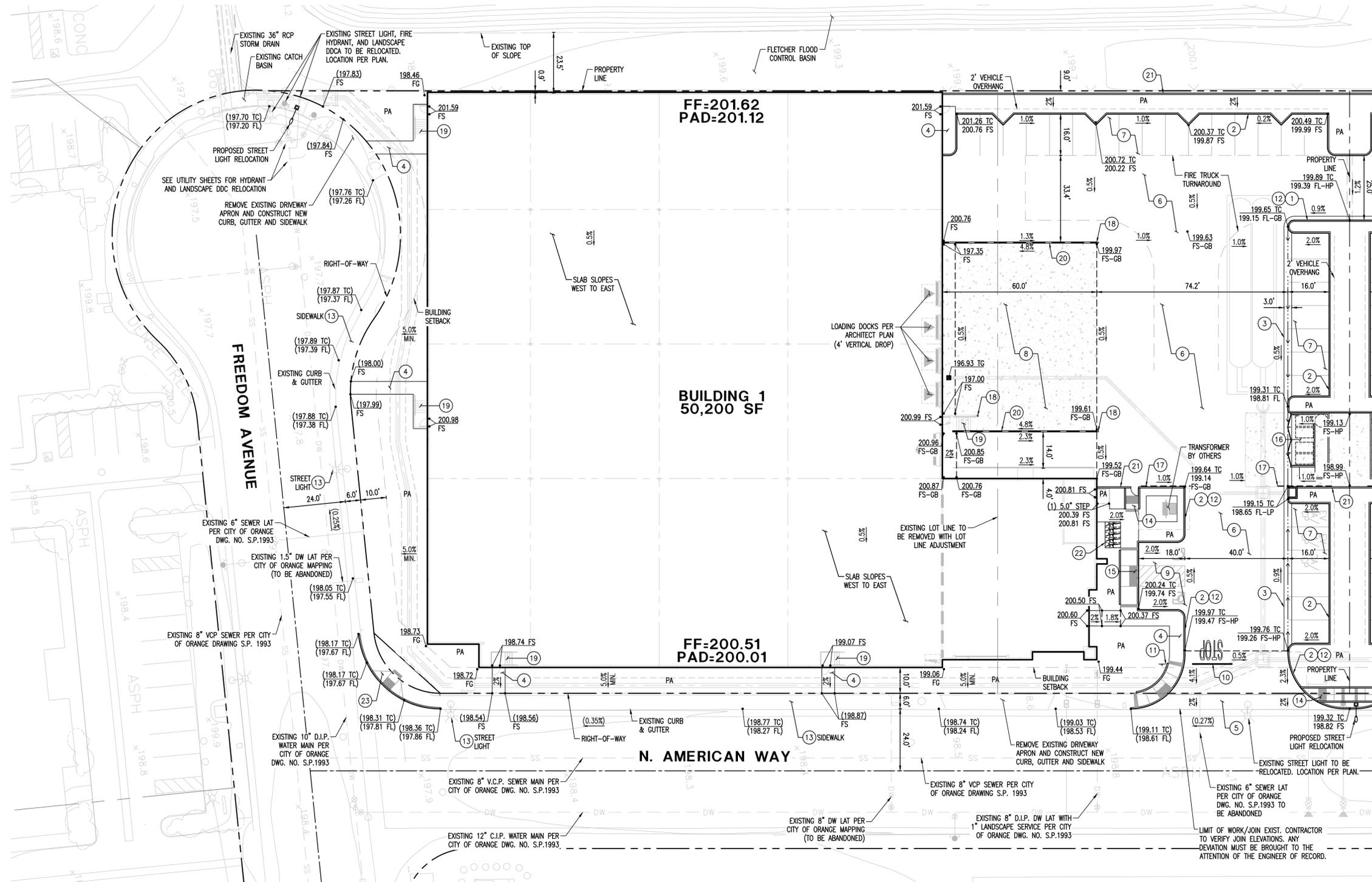


**PROJECT VICINITY MAP**

### SHEET INDEX

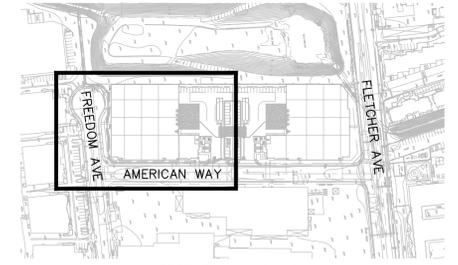
SHEET NO.	DESCRIPTION
01	TITLE SHEET
02	CONCEPTUAL PRECISE GRADING PLAN
03	CONCEPTUAL PRECISE GRADING PLAN
04	CONCEPTUAL UTILITY PLAN
05	CONCEPTUAL UTILITY PLAN

RECORD DRAWING		RECOMMENDED:	
ENGINEER (SIGNATURE)	DATE	DATE	PRINCIPAL CIVIL ENGINEER
REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED
PREPARED BY:			
 HUITT-ZOLLARS, Inc. 2603 Main Street, Suite 400 Irvine, California 92614 Phone (949) 988-5815 Fax (949) 988-5820			
ADAM J. LUNZER, P.E. (R.C.E. NO. 77396)		DATE	
DIAL TOLL FREE 811 or 1-800-422-4133 AT LEAST TWO DAYS BEFORE YOU DIG			
UNDERGROUND SERVICE ALERT(USA) OF SOUTHERN CALIFORNIA			
CITY OF ORANGE OFFICE OF THE CITY ENGINEER			
DESIGN DEVELOPMENT REVIEW TITLE SHEET			
SCALE: HORIZ.: NONE		SHEET No. 1 OF 5	
VERT.: NONE		PROJECT NUMBER	
DRAWN BY:		SP-XXXX	
CHECKED BY:			

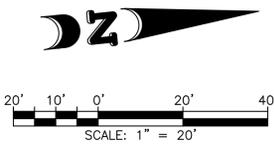


**PRECISE GRADING NOTES**

- 1) CONSTRUCT 6" CONCRETE CURB & GUTTER TYPE A PER CITY OF ORANGE STANDARD PLAN 128
- 2) CONSTRUCT 6" CONCRETE CURB TYPE B PER CITY OF ORANGE STANDARD PLAN 128
- 3) CONSTRUCT MODIFIED RIBBON GUTTER (3' WIDE) PER CITY OF ORANGE STANDARD PLAN 127
- 4) CONSTRUCT 4" PCC SIDEWALK.
- 5) CONSTRUCT COMMERCIAL DRIVEWAY APRON PER PER CITY OF ORANGE STANDARD PLAN 115
- 6) CONSTRUCT 4" AC OVER 12" AB DRIVE AISLE PAVING. FINAL STRUCTURAL SECTION TO BE BASED ON R-VALUE TEST OF IN-PLACE SUB GRADE AND APPROVED BY CITY ENGINEER.
- 7) CONSTRUCT 3" AC OVER 6" AB PARKING STALL PAVING. FINAL STRUCTURAL SECTION TO BE BASED ON R-VALUE TEST OF IN-PLACE SUB GRADE AND APPROVED BY CITY ENGINEER.
- 8) CONSTRUCT 7.5" PCC (3000 PSI) OVER 4" BASE LOADING DOCK PAVING. FINAL STRUCTURAL SECTION TO BE BASED ON R-VALUE TEST OF IN-PLACE SUB GRADE AND APPROVED BY CITY ENGINEER.
- 9) PAINT ACCESSIBLE PARKING STALL AND ACCESS AISLE PER CALIFORNIA BUILDING CODE SECTION 11B-502.2
- 10) PAINT STOP STENCIL PAVEMENT MARKING & LIMIT LINE STRIPING PER CAMUTCD SECTION 3B.16, 3B.20 (2014 EDITION) AND CALTRANS STANDARD PLATE A24D AND A24E
- 11) INSTALL "STOP" SIGN PER PLAN AND CAMUTCD TABLE 2B-1, SIGN DESIGNATION: R1-1 (2014 EDITION)
- 12) PAINT RED NO PARKING CURB
- 13) PROTECT IN PLACE
- 14) CONSTRUCT CURB RAMP, TYPE 6, PER CITY OF ORANGE STANDARD PLAN 121
- 15) CONSTRUCT CURB RAMP TYPE 4, PER CITY OF ORANGE STANDARD PLAN 121
- 16) TRASH ENCLOSURE PER ARCHITECT PLAN
- 17) ENTRY GATE PER ARCHITECT PLAN
- 18) BOLLARD PER ARCHITECT PLAN
- 19) STAIRS PER ARCHITECT PLAN
- 20) LOADING DOCK WALL PER ARCHITECT PLAN
- 21) WALL/FENCE PER LANDSCAPE ARCHITECT PLAN
- 22) BIKE RACK PER LANDSCAPE ARCHITECT PLAN
- 23) CONSTRUCT CURB RAMP, TYPE 1, PER CITY OF ORANGE STANDARD PLAN 121



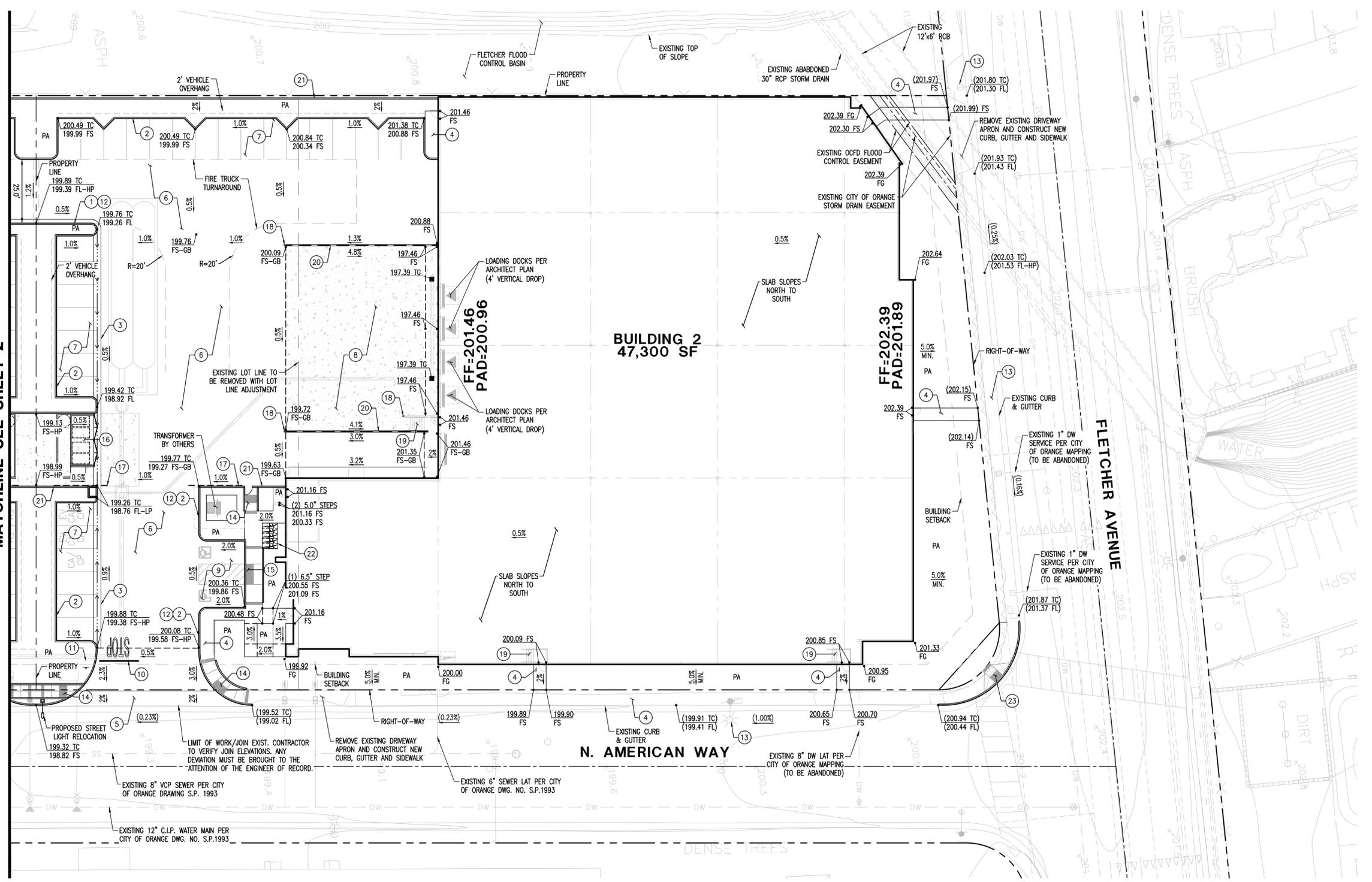
**INDEX MAP**  
SCALE: 1" = 250'



MATCHLINE SEE SHEET 3

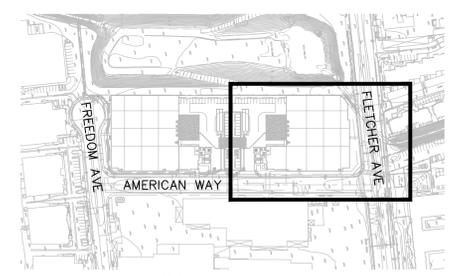
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ENGINEER (SIGNATURE)	DATE	DATE	PRINCIPAL CIVIL ENGINEER
REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED
PREPARED BY:			
 HUITT-ZOLLARS, Inc. Irvine 2603 Main Street Suite 400 Irvine, California 92614 Phone (949) 988-5815 Fax (949) 988-5820			
		CITY OF ORANGE OFFICE OF THE CITY ENGINEER <b>2390 N. AMERICAN WAY INDUSTRIAL BUILDINGS</b> CONCEPTUAL GRADING PLAN	
SCALE: HORIZ.: NONE		SHEET No. <b>2</b> OF <b>5</b>	
DRAWN BY:		PROJECT NUMBER	
CHECKED BY:		SP-XXXX	

MATCHLINE SEE SHEET 2

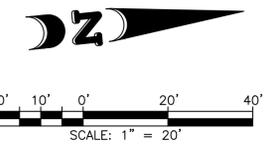


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- 16) TRASH ENCLOSURE PER ARCHITECT PLAN
- 17) ENTRY GATE PER ARCHITECT PLAN
- 18) BOLLARD PER ARCHITECT PLAN
- 19) STAIRS PER ARCHITECT PLAN
- 20) LOADING DOCK WALL PER ARCHITECT PLAN
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**INDEX MAP**  
SCALE: 1" = 250'



RECORD DRAWING		RECOMMENDED:	
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NO.	DATE	DESCRIPTION	APPROVED
PREPARED BY:			
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ADAM J. LUNZER, P.E. (R.C.E. NO. 77396)		DATE	

**DIGALERT**

DIAL TOLL FREE 811 or 1-800-422-4133 AT LEAST TWO DAYS BEFORE YOU DIG

UNDERGROUND SERVICE ALERT(USA) OF SOUTHERN CALIFORNIA

CITY OF ORANGE  
OFFICE OF THE CITY ENGINEER

**2390 N. AMERICAN WAY INDUSTRIAL BUILDINGS CONCEPTUAL GRADING PLAN**

SCALE: HORIZ.: NONE VERT.: NONE SHEET No. 3 OF 5

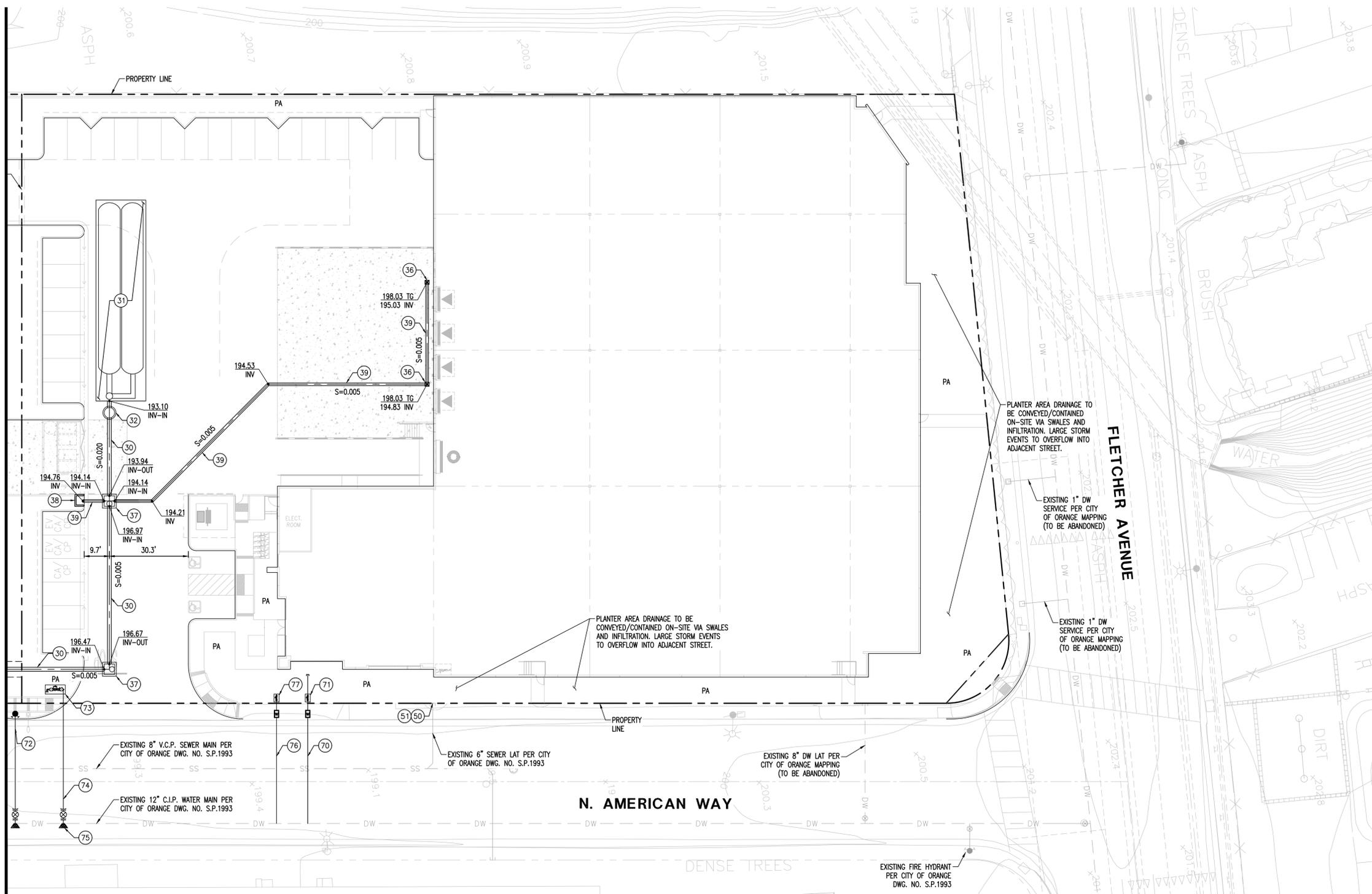
DRAWN BY: PROJECT NUMBER SP-XXXX

CHECKED BY:





MATCHLINE SEE SHEET 4



**STORM DRAIN NOTES**

- (30) CONSTRUCT 18" HDPE STORM DRAIN PIPE
- (31) INSTALL STORMTECH MC-4500 STORMWATER STORAGE AND INFILTRATION SYSTEM PER MANUFACTURERS SPECIFICATIONS
- (32) INSTALL FD4HC INLINE HYDRO INTERNATIONAL FIRST DEFENSE FOR PRETREATMENT
- (33) CONSTRUCT 4" SDR35 PVC SOTRM DRAIN PIPE
- (34) CONSTRUCT 6" SDR35 PVC STORM DRAIN PIPE
- (35) INSTALL 6" GRATED INLET
- (36) INSTALL 12" FLOGARD PLUS GRATED INLET FGP-12F WITH ABSORBENT POUCHES
- (37) CONSTRUCT JUNCTION STRUCTURE TYPE I PER CITY OF ORANGE STD 313, H=4' & L=4'
- (38) CONSTRUCT CURB OPENING CATCH BASIN PER CITY OF ORANGE STD 301
- (39) CONSTRUCT 12" HDPE STORM DRAIN PIPE

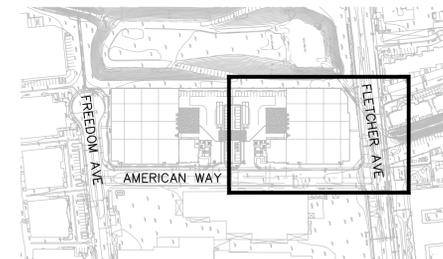
**SEWER NOTES**

- (50) JOIN PIPE TO EXISTING. CONTRACTOR TO VERIFY EXISTING LOCATION AND ELEVATION.
- (51) BUILDING SEWER POINT-OF-CONNECTION. SEE PLUMBING DRAWINGS TO CONTINUATION.

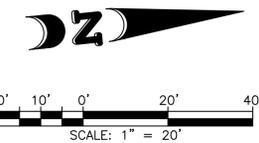
**WATER NOTES**

- (70) INSTALL 2" DW SERVICE LATERAL PER CITY OF ORANGE STD OWD-205. HOT TAP MAIN PER CITY OF ORANGE STD OWD-201. METER PER CITY OF ORANGE STD. OWD-213.
- (71) INSTALL 2" LEAD-FREE CITY OF ORANGE APPROVED BACKFLOW DEVICE
- (72) INSTALL FIRE HYDRANT ASSEMBLY PER CITY PER CITY OF ORANGE STD OWD-102
- (73) INSTALL 8" LEAD-FREE CITY OF ORANGE APPROVED BACKFLOW DEVICE (NO METER) WITH FIRE DEPT CONNECTION AND P.C.C. PAD PER CITY OF ORANGE STD OWD-305
- (74) INSTALL 8" D.I.P. WATER SERVICE (WITH PE WRAP) WITH BEDDING PER CITY OF ORANGE STD OWD-211
- (75) HOT TAP EXISTING WATER MAIN PER CITY OF ORANGE STD OWD-107
- (76) INSTALL 2" LANDSCAPE SERVICE LATERAL PER CITY OF ORANGE STD OWD-205. HOT TAP MAIN PER CITY OF ORANGE STD OWD-201. METER PER CITY OF ORANGE STD OWD-213
- (77) INSTALL LANDSCAPE BACKFLOW ASSEMBLY PER CITY OF ORANGE STD L-11

- NOTES:  
1) UNDERGROUND FIRE WATER PER SEPARATE PLAN AND PERMIT.



**INDEX MAP**  
SCALE: 1" = 250'



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NO.	DATE	DESCRIPTION	APPROVED
PREPARED BY:			
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		ADAM J. LUNZER, P.E. (R.C.E. NO. 77396) DATE	

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UNDERGROUND SERVICE ALERT(USA) OF SOUTHERN CALIFORNIA

CITY OF ORANGE  
OFFICE OF THE CITY ENGINEER

**2390 N. AMERICAN WAY INDUSTRIAL BUILDINGS CONCEPTUAL UTILITY PLAN**

SCALE: HORIZ.: NONE VERT.: NONE SHEET No. **5** OF **5**

DRAWN BY: PROJECT NUMBER **SP-XXXX**

CHECKED BY:

**SOUTHERN CALIFORNIA EDISON:**  
 INSTALLATION OF THE SCE SYSTEM IS TO BE IN ACCORDANCE WITH THE CURRENT SCE STANDARDS, PRACTICES AND POLICIES OF WHICH THE CONTRACTOR SHOULD BE THOROUGHLY FAMILIAR. SCE FACILITIES SHALL BE INSTALLED IN JOINT AND SOLE TRENCHES IN CONFORMITY WITH THE LINES, GRADES, DEPTH, AND TYPICAL CROSS-SECTION SHOWN IN THE PLANS OR AS ESTABLISHED BY THE ENGINEER. ALL MATERIALS NECESSARY TO COMPLETE THE SYSTEM (EXCLUSIVE OF CABLING) SHALL BE PROVIDED BY THE CONTRACTOR. INSTALLATION SHALL INCLUDE TRAFFIC CONTROL, EXCAVATION, SHORING, BRACING, SAND BEDDING, SAND SHADE, CONCRETE ENCASEMENT, INSTALLATION OF CONDUITS AND STRUCTURES COMPLETE WITH ALL CONNECTIONS, SWEEPS AND APPURTENANCES, SAND OR SLURRY BACKFILL, COMPACTION, MANRELLING, BARRIERS AND INSTALLATION OF PULL ROPES IN CONFORMANCE WITH ALL GOVERNING AGENCY REGULATIONS.

**CONSTRUCTION NOTES:**  
 UNLESS OTHERWISE SPECIFIED ON THE WORKING DRAWING WHICH FORMS A PART OF THE SPECIFICATION, THE CONTRACTOR SHALL FURNISH THE FOLLOWING ITEMS AT. DRC HAS ATTEMPTED TO CORRECTLY SHOW ALL EXISTING UTILITIES AND SUBSTRUCTURES IN THE VICINITY OF THE WORK, BUT DOES NOT GUARANTEE THERE ARE NO OTHER SUBSTRUCTURES IN THE AREA. FAILURE OF DRC TO SHOW ALL SUBSTRUCTURES IN THEIR CORRECT LOCATION WILL NOT BE A BASIS FOR A CLAIM FOR EXTRA WORK, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO SUBSTRUCTURES WHETHER SHOWN OR NOT.

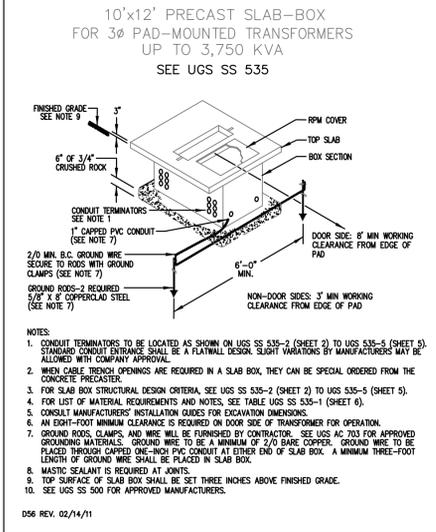
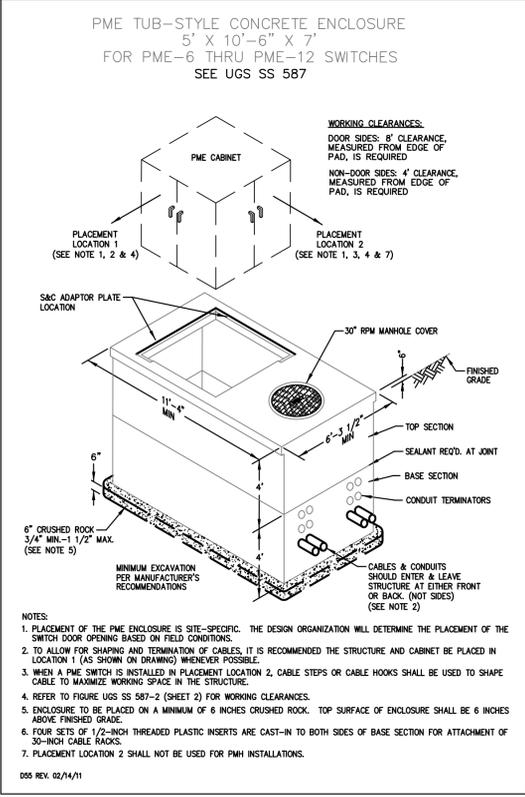
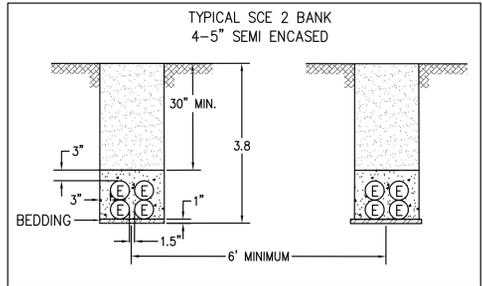
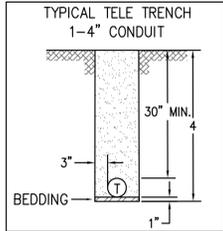
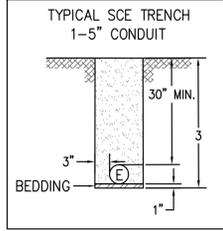
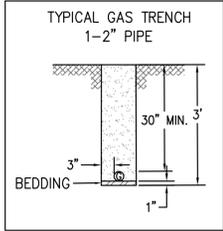
- FOR GENERAL SPECIFICATIONS SEE UGS GI 001.
- CONDUIT:
  - MINIMUM COVER IN STREET OR PARKWAY IS 30" BELOW GUTTER GRADE, UNLESS NOTED OTHERWISE.
  - MINIMUM COVER ON PRIVATE PROPERTY IS 30" BELOW FINISHED GRADE, UNLESS NOTED OTHERWISE.
  - CONTRACTOR IS TO FURNISH AND INSTALL APPROVED CONDUIT TO EDISON SPECIFICATIONS PER UGS CD 100.1, 110 AND 120.
  - FOR THE TYPE OF CONDUIT FOR THIS JOB, SEE UGS CD 110.1.
  - INSTALL ALL RISERS PER UGS CD 160, 161, 162 AND 170.
  - CAP ALL MAINLINE CONDUITS PER UGS CD 148 AND SERVICE CONDUITS PER UGS CD 150.
  - INSTALL BLANK CONDUIT PLUGS IN ALL CONDUITS TERMINATING INTO VAULTS, MANHOLE'S, PMH'S, SOE'S & ALL CAP LOCATIONS, PER UGS CD 180.1 & UGS CD 180.2
  - INSTALL PULL ROPE IN ALL CONDUIT RUNS. PULL ROPE TO BE 1/4" POLYPROPYLENE OR POLYETHYLENE ROPE, BRAIDED OR TWISTED. FOR SPECIFICATIONS, APPROVED MAKES, AND SUPPLIERS, SEE UGS GI 040.
  - ALL CONDUIT MUST BE MANDELED WITH THE APPROVED MANDREL UGS CD 197.
- CONDUIT RADIUS REQUIREMENTS:
  - THE MINIMUM RADIUS FOR BENDS ARE:  
 36" FOR CONDUITS 3" IN DIAMETER OR SMALLER  
 48" FOR CONDUITS 4" AND 5" IN DIAMETER  
 60" FOR 6" DIAMETER CONDUIT
  - THE MINIMUM RADIUS FOR ALL SWEEPS OF ALL MAINLINE CONDUITS IS 12'-6" (UNLESS NOTED OTHERWISE).
- EXCAVATION AND BACKFILL:
  - WORK AREA SHALL BE CLEARED AND ROUGH GRADED TO WITHIN FOUR INCHES OF FINAL GRADE PRIOR TO INSTALLATION OF EDISON CONDUIT OR STRUCTURES.
  - ALL EXCAVATIONS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA STATE CONSTRUCTION SAFETY ORDERS (WHEN APPLICABLE), EDISON SPECIFICATIONS, AND ALL GOVERNING LOCAL ORDINANCES.
  - EACH TRENCH TO BE A UNIFORM DEPTH BELOW FINAL GRADE PRIOR TO INSTALLATION OF EDISON CONDUIT OR STRUCTURES.
  - BACKFILL SHALL BE PROVIDED BY THE CONTRACTOR FOR ALL EXCAVATIONS AND SHALL INCLUDE CRUSHED ROCK, CONCRETE, AND/OR IMPORTED BACKFILL, WHEN REQUIRED.
  - BACKFILL WITH A MINIMUM OF ONE SACK PER YARD SAND CEMENT SLURRY AROUND AND OVER VAULTS AND MANHOLES PER UGS GI 030, SECTION 6.4 AND AROUND PMH'S WITHIN ONE FOOT OF FINISHED GRADE, PER UGS SS 590.1.
  - BACKFILL, PER EDISON SPECIFICATIONS, SHALL IMMEDIATELY FOLLOW CONDUIT OR SUBSTRUCTURE INSTALLATION. AT NO TIME SHALL CONDUIT BE LEFT EXPOSED OVER 24 HOURS.
  - NO ROCKS ARE ALLOWED WITHIN 12 INCHES OF DIRECT-BURIED CABLES OR ANY CONDUIT WITHOUT CONCRETE ENCASEMENT. NATIVE BACKFILL CAPABLE OF PASSING THROUGH A ONE-HALF INCH MESH SCREEN SHALL BE CONSIDERED TO BE "ROCK FREE" IF EXISTING BACKFILL DOES NOT PASS THROUGH A 1/2" SCREEN, PLACE IMPORTED SAND 3" BELOW AND 12" ABOVE EDISON CABLES. AFTER THIS POINT, NO ROCKS LARGER THAN 12" IN DIAMETER ARE PERMITTED.
  - ALL BACKFILL SHALL BE COMPACTED TO MEET OR EXCEED LOCAL ORDINANCES OR OTHER REQUIREMENTS. IT SHALL BE PLACED IN A MANNER THAT WILL NOT DAMAGE THE CONDUIT OR SUBSTRUCTURE OR ALLOW FUTURE SUBSIDENCE OF THE TRENCH OR STRUCTURES.

- PAVING:
  - REPAVING, WHERE REQUIRED, SHALL BE PLACED IN SUCH A MANNER THAT INTERFERENCE WITH TRAFFIC, INCLUDING PEDESTRIAN TRAFFIC, WILL BE KEPT TO A MINIMUM. THE CONTRACTOR SHALL ESTABLISH A PROGRAM OF REPAVING ACCEPTABLE TO THE MUNICIPALITY, COUNTY, OR OTHER AUTHORITY HAVING JURISDICTION AND WHICH IS ACCEPTABLE TO EDISON.
- STRUCTURES:
  - ALL SUBSTRUCTURES SHALL BE CONSTRUCTED OR INSTALLED TO EDISON SPECIFICATIONS.
  - INSTALL PROTECTION BARRIERS PER UGS MS 830 WHEN REQUIRED IN AREAS EXPOSED TO TRAFFIC, PER EDISON INSPECTOR.
  - ALL CONDUIT LINES AND CONCRETE FLOORED SUBSTRUCTURES SHALL BE WATER TIGHT.
  - ALL GROUNDING MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- RETAINING WALLS:
  - WHEN REQUIRED, RETAINING WALLS SHALL BE PROVIDED BY THE DEVELOPER. WALLS ARE REQUIRED WHEREVER GRADE RISES MORE THAN 18 INCHES ABOVE THE STRUCTURE OR 24" ABOVE THE PAD SURFACE AT A DISTANCE OF 5 FEET FROM THE SAME, OR IN AREAS SUBJECT TO EROSION. DESIGN AND INSTALLATION MUST COMPLY WITH LOCAL BUILDING ORDINANCES. REFER TO EDISON INSPECTOR FOR TYPICAL SPACE REQUIREMENTS.
- PERMITS:
  - ALL PERMITS NECESSARY FOR EXCAVATION SHALL BE PROVIDED BY THE CONTRACTOR/DEVELOPER.
- ACCESS:
  - HEAVY TRUCK ACCESS SHALL BE MAINTAINED TO EQUIPMENT LOCATIONS. STRUCTURES MUST BE CLEAR OF ALL APPURTENANCES THAT WOULD OBSTRUCT THE LOADING OR UNLOADING OF EQUIPMENT.
- SERVICES:
  - METERS AND SERVICES SHALL COMPLY WITH EDISON ELECTRICAL SERVICES REQUIREMENTS.
  - WIRING MUST BE IN ACCORDANCE WITH APPLICABLE LOCAL ORDINANCES AND APPROVED BY LOCAL INSPECTION AUTHORITIES.
- LOCATION:
  - THE LOCATION OF EXCAVATIONS AND STRUCTURES FOR EDISON SHALL BE AS SHOWN ON THE WORKING DRAWING. NO DEVIATION FROM THE PLANNED LOCATIONS WILL BE PERMITTED UNLESS APPROVED BY THE EDISON INSPECTOR. SEE UGS GI 001, SECTION 2.2.
  - ACTUAL LOCATION OF OBSTRUCTIONS, STORM DRAINS, AND/OR OTHER FOREIGN UTILITIES TO BE THE RESPONSIBILITY OF THE CONTRACTOR. SEE UGS GI 001, SECTION 2.3.
  - CONTRACTOR IS TO VERIFY LOCATION AND WIDTHS OF ALL SIDEWALKS AND DRIVEWAYS PRIOR TO STREET LIGHT INSTALLATION. SEE UGS CD 175.1, UGS CD 175.2 AND UGS CD 175.3.
- SURVEY:
  - SURVEYING OF STREET IMPROVEMENTS, PROPERTY CORNERS, LOT LINES, FINISHED GRADE, ETC., NECESSARY FOR THE INSTALLATION OF UNDERGROUND FACILITIES MUST BE COMPLETED AND MARKERS OR STAKES PLACED PRIOR TO THE START OF THE INSTALLATION. IN ADDITION, DEVELOPER SHALL MAINTAIN THE MARKERS DURING THE INSTALLATION AND INSPECTION BY EDISON. GRADE AND PROPERTY LINE STAKES MUST SHOW ANY OFFSET MEASUREMENTS.
- COORDINATION AND SUPERVISION:
  - THE CONTRACTOR SHALL PROVIDE SUPERVISION OVER AND COORDINATION AMONG THE VARIOUS CONTRACTORS WORKING WITHIN THE DEVELOPMENT IN ORDER TO PREVENT DAMAGE TO EDISON FACILITIES. HE IS RESPONSIBLE FOR THE COST OF REPAIRS, REPLACEMENT, RELOCATION, OR OTHER CORRECTIONS TO EDISON FACILITIES MADE NECESSARY BY HIS FAILURE TO PROVIDE SUPERVISION OR TO OTHERWISE COMPLY WITH THESE SPECIFICATIONS.
- TELEPHONE AND OTHER UTILITY REQUIREMENTS:
  - THE DRAWING PREPARED FOR THIS JOB MAY ALSO COVER THE FACILITIES TO BE INSTALLED FOR THE TELEPHONE COMPANY AND/OR OTHER UTILITY. ANY QUESTIONS CONCERNING DETAILS OF THEIR INSTALLATION SHOULD BE REFERRED TO THE COMPANY CONCERNED.
- WARRANTY:
  - APPLICANTS EXPRESSLY REPRESENT AND WARRANT THAT ALL WORK PERFORMED AND ALL MATERIAL USED IN MEETING APPLICANTS' OBLIGATIONS HEREIN ARE FREE FROM DEFECTS IN WORKMANSHIP AND ARE IN CONFORMITY WITH SOUTHERN CALIFORNIA EDISON COMPANY'S REQUIREMENTS. THIS WARRANTY SHALL COMMENCE UPON RECEIPT BY APPLICANTS OF COMPANY'S FINAL ACCEPTANCE AND SHALL EXPIRE ONE YEAR FROM THAT DATE. APPLICANTS AGREE TO PROMPTLY CORRECT TO THE COMPANY'S SATISFACTION AND THAT OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION AND AT APPLICANT'S EXPENSE ANY BREACH OF THIS WARRANTY WHICH MAY BECOME APPARENT THROUGH INSPECTION OR OPERATION OF UNDERGROUND ELECTRIC SYSTEM BY COMPANY DURING THIS WARRANTY PERIOD.
- INSPECTION:
  - INSPECTION IS REQUIRED DURING THE CONSTRUCTION PERIOD. A 48 HOUR ADVANCE NOTICE OF INTENT TO START CONSTRUCTION IS REQUIRED FROM THE CONTRACTOR TO THE SOUTHERN CALIFORNIA EDISON COMPANY. STANDARDS OF EDISON CONSTRUCTION REQUIREMENTS ARE AVAILABLE UPON REQUEST.

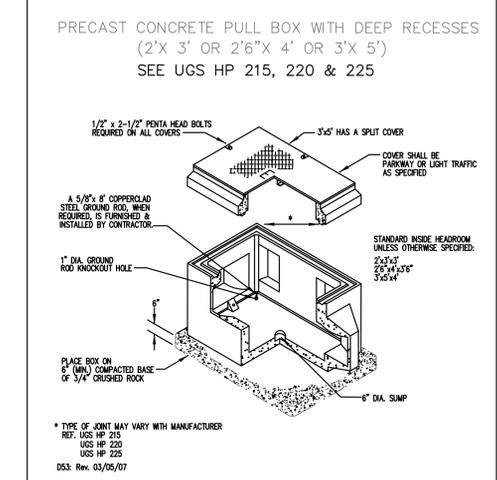
**SOUTHERN CALIFORNIA GAS COMPANY:**  
 INSTALLATION OF THE GAS COMPANY SYSTEM IS TO BE IN ACCORDANCE WITH THE CURRENT GAS COMPANY STANDARDS, PRACTICES AND POLICIES OF WHICH THE CONTRACTOR SHOULD BE THOROUGHLY FAMILIAR. GAS COMPANY WILL INSTALL THE GAS MAIN AND SERVICE PIPE AND FITTINGS IN CONTRACTOR PROVIDED JOINT AND SOLE TRENCHES THAT HAVE BEEN INSPECTED AND APPROVED BY GAS COMPANY INSPECTORS.  
 INSTALLATION SHALL INCLUDE TRAFFIC CONTROL, EXCAVATION, SHORING, BRACING, SAND BEDDING, SAND SHADE, COMPACTION IN CONFORMANCE WITH ALL GOVERNING AGENCY REGULATIONS.  
**POINTS OF CONNECTION:**  
 CONTRACT IS RESPONSIBLE FOR VERIFYING THE LOCATION OF THE EXISTING GAS COMPANY "MAINLINE" IN THE FIELD AND THE LOCATION OF THE GAS RISER WITH THE ARCHITECT (P.O.C.'S).  
**CONTRACTOR NOTES:**  
 (1) MINIMUM COVER IS 30" UNLESS OTHERWISE APPROVED  
 (2) FOR TRENCH INSPECTIONS CALL GAS COMPANY FIELD INSPECTOR AT LEAST 72 HOURS IN ADVANCE  
 (3) FOR ADDITIONAL CONSTRUCTION GUIDELINES PLEASE VISIT: [HTTPS://WWW.SOCALGAS.COM/FOR-YOUR-BUSINESS/BUILDER-SERVICES/PLANNING-AND-CONSTRUCTION-SERVICES](https://www.socalgas.com/for-your-business/builder-services/planning-and-construction-services)

**FRONTIER COMMUNICATIONS:**  
 INSTALLATION OF FRONTIER COMMUNICATIONS SYSTEM IS TO BE IN ACCORDANCE WITH THE CURRENT FRONTIER COMMUNICATIONS STANDARDS, PRACTICES AND POLICIES OF WHICH THE CONTRACTOR SHOULD BE THOROUGHLY FAMILIAR. FRONTIER COMMUNICATIONS FACILITIES SHALL BE INSTALLED IN JOINT AND SOLE TRENCHES IN CONFORMITY WITH THE LINES, GRADES, DEPTH, AND TYPICAL CROSS-SECTION SHOWN IN THE PLANS OR AS ESTABLISHED BY THE ENGINEER.  
 INSTALLATION SHALL INCLUDE TRAFFIC CONTROL, EXCAVATION, SHORING, BRACING, SAND BEDDING, SAND SHADE, CONCRETE ENCASEMENT, INSTALLATION OF CONDUITS AND STRUCTURES COMPLETE WITH ALL CONNECTIONS, SWEEPS AND APPURTENANCES, SAND OR SLURRY BACKFILL, COMPACTION, MANRELLING, BARRIERS AND INSTALLATION OF PULL ROPES IN CONFORMANCE WITH ALL GOVERNING AGENCY REGULATIONS.  
 FRONTIER COMMUNICATIONS RESERVES THE RIGHT TO REFUSE THE USE OF ANY CONDUIT, PULL BOXES, MANHOLES OR UTILITY BOXES THAT DEViate FROM PLANS AND SPECIFICATIONS.  
**POINTS OF CONNECTION:**  
 CONTRACT IS RESPONSIBLE FOR VERIFYING THE LOCATION OF THE EXISTING FRONTIER COMMUNICATIONS HANDHOLE IN THE FIELD AND THE LOCATION OF THE TELECOMMUNICATION "POINT OF ENTRY" WITH THE ARCHITECT (P.O.C.'S).  
**CONTRACTOR NOTES:**  
 (1) ALL CONDUIT RISER BENDS SHALL HAVE A MINIMUM 36" RADIUS  
 (2) ALL HORIZONTAL 90 DEGREE BENDS SHALL HAVE A RADIUS OF NOT LESS THAN 5 FEET. NO MORE THAN 2 - 90 DEGREE BENDS SHALL BE PLACED IN ANY SINGLE RUN  
 (3) CONDUIT: 4" & 2" SCH-40, SCH-80 OR GP ON RISER SWEEPS  
 (4) APPROVED PLASTIC CONDUIT (PVC SCH. 40 OR GT-42 SPEC. DB 100) IS REQUIRED FOR CONSTRUCTION. CONDULETS, FLEX, TRANSITE, PLUMBERS FITTINGS, WATER AND GAS PIPES MUST NOT BE USED  
 (5) CONDUIT PLACED IN THE SAME TRENCH WITH PRIMARY POWER CONDUIT MUST BE SEPARATED BY NOT LESS THAN 12" OF WELL PACKED DIRT OR 3" OF CONCRETE  
 (6) MINIMUM COVER IS 30" UNLESS OTHERWISE APPROVED  
 (7) CONDUIT TERMINATED ON A POLE MUST BE PVC SCH. 80 TURNED UP A MINIMUM 6" ABOVE FINISHED GRADE AND SECURED FLUSH TO BASE OF POLE  
 (8) ALL CONDUIT PLACED MUST BE MANDELLED, MEASUREMENTS TAKEN AND POLYPROPYLENE LINE PROVIDED BY THE CONTRACTOR/DEVELOPER, 3/8" LINE IN 4" AND 1/4" LINE IN 2" CONDUIT

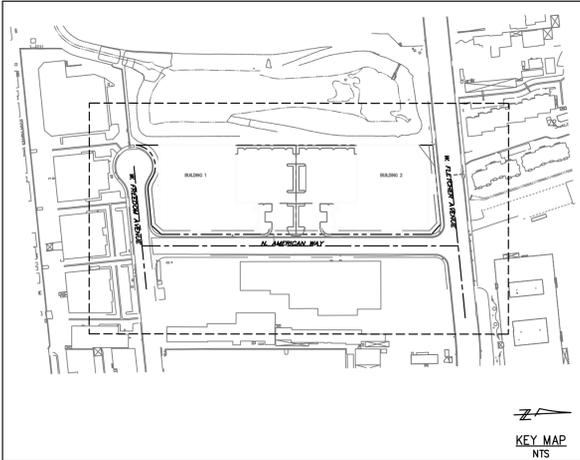
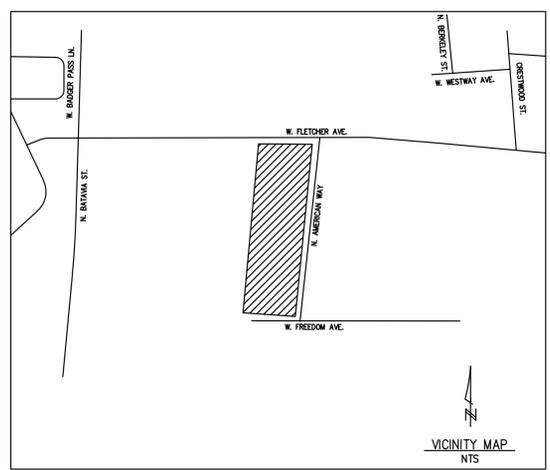
**DRY UTILITIES GENERAL CONDITIONS:**  
 THIS WORK SHALL CONSIST OF CONSTRUCTING ONE OR MORE DRY UTILITY SYSTEMS IN ACCORDANCE WITH THESE SPECIFICATIONS AND IN CONFORMITY WITH THE LINES, GRADES, DEPTH, AND TYPICAL CROSS-SECTION SHOWN IN THE PLANS OR AS ESTABLISHED BY THE UTILITY PURVEYOR. INSTALLATION OF DRY UTILITIES IS INCLUSIVE OF ALL COORDINATION, INSPECTION, TESTING AND INSTALLATION OF CONDUITS, VAULTS, HANDHOLES, SPLICE BOXES, MANHOLES, PULL BOXES AND BOLLARDS. INSTALLATION SHALL INCLUDE TRAFFIC CONTROL, EXCAVATION, SHORING, BRACING, CRUSHED ROCK BASE, CONNECTION OF CONDUIT, 2-SACK SLURRY AROUND DUCT CONNECTIONS TO STRUCTURE, SAND BEDDING, SAND SHADING, BACKFILL, COMPACTION, AND RELATED HARDWARE AND APPURTENANCES IN CONFORMANCE WITH ALL GOVERNING AGENCY REGULATIONS.  
 CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF UTILITY COMPANIES SYSTEMS IN ACCORDANCE WITH EACH UTILITY COMPANY'S SPECIFICATIONS, POLICIES, AND PROCEDURES. CONTRACTOR SHALL ALLOCATE ALL COSTS FOR LABOR, EQUIPMENT AND MATERIALS WITHIN THE CONTRACT BID ITEMS AS NECESSARY TO INSTALL THE CONDUIT SYSTEMS PER EACH UTILITY AGENCY'S REQUIREMENTS AND PRACTICES. ALL CONDUIT SYSTEMS SHALL BE MANDELLED WITH PULL ROPES INSTALLED PER THE UTILITY STANDARDS AND EACH UTILITY COMPANY'S SPECIFICATIONS.



- NOTES:**
- CONDUIT TERMINATORS TO BE LOCATED AS SHOWN ON UGS SS 530-2 TO UGS 530-5 (SHEET 5). STANDARD CONDUIT ENTRANCE SHALL BE A FLATURAL DESIGN. SLIGHT VARIATIONS BY MANUFACTURERS MAY BE ALLOWED WITH COMPANY APPROVAL.
  - WHEN CABLE TRENCH OPENINGS ARE REQUIRED IN A SLAB BOX, THEY CAN BE SPECIAL ORDERED FROM THE CONCRETE PRECASTER.
  - FOR SLAB BOX STRUCTURAL DESIGN CRITERIA, SEE UGS SS 530-2 (SHEET 2) TO UGS 530-5 (SHEET 5).
  - FOR LIST OF MATERIAL REQUIREMENTS AND NOTES, SEE TABLE UGS SS 530-1 (SHEET 4).
  - CONSULT MANUFACTURERS' INSTALLATION GUIDES FOR EXCAVATION DIMENSIONS.
  - AN EIGHT-FOOT MINIMUM CLEARANCE IS REQUIRED ON DOOR SIDE OF TRANSFORMER FOR OPERATION.
  - GROUND RODS, CLAMPS, AND WIRE WILL BE FURNISHED BY CONTRACTOR. SEE UGS AC 703 FOR APPROVED GROUNDING MATERIALS. GROUND WIRE TO BE A MINIMUM OF 2/0 BARE COPPER. GROUND WIRE TO BE PLACED THROUGH CAPPED ONE-INCH PVC CONDUIT AT OTHER END OF SLAB BOX. A MINIMUM THREE-FOOT LENGTH OF GROUND WIRE SHALL BE PLACED IN SLAB BOX.
  - MASTIC SEALANT IS REQUIRED AT JOINTS.
  - TOP SURFACE OF SLAB BOX SHALL BE SET THREE INCHES ABOVE FINISHED GRADE.
  - SEE UGS SS 500 FOR APPROVED MANUFACTURERS.
- 056 REV. 02/14/11



- NOTES:**
- PLACEMENT OF THE PME ENCLOSURE IS SITE-SPECIFIC. THE DESIGN ORGANIZATION WILL DETERMINE THE PLACEMENT OF THE SWITCH DOOR OPENING BASED ON FIELD CONDITIONS.
  - TO ALLOW FOR SHAPING AND TERMINATION OF CABLES, IT IS RECOMMENDED THE STRUCTURE AND CABINET BE PLACED IN LOCATION 1 (AS SHOWN ON DRAWING) WHENEVER POSSIBLE.
  - WHEN A PME SWITCH IS INSTALLED IN PLACEMENT LOCATION 2, CABLE STEPS OR CABLE HOOKS SHALL BE USED TO SHAPE CABLE TO MAXIMIZE WORKING SPACE IN THE STRUCTURE.
  - REFER TO FIGURE UGS SS 587-2 (SHEET 2) FOR WORKING CLEARANCES.
  - ENCLOSURE TO BE PLACED ON A MINIMUM OF 6 INCHES CRUSHED ROCK. TOP SURFACE OF ENCLOSURE SHALL BE 6 INCHES ABOVE FINISHED GRADE.
  - FOUR SETS OF 1/2-INCH THREADED PLASTIC INSERTS ARE CAST-IN TO BOTH SIDES OF BASE SECTION FOR ATTACHMENT OF 30-INCH CABLE RACKS.
  - REFER TO FIGURE UGS SS 587-2 (SHEET 2) FOR WORKING CLEARANCES.
  - ENCLOSURE TO BE PLACED ON A MINIMUM OF 6 INCHES CRUSHED ROCK. TOP SURFACE OF ENCLOSURE SHALL BE 6 INCHES ABOVE FINISHED GRADE.
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  - REFER TO FIGURE UGS SS 587-2 (SHEET 2) FOR WORKING CLEARANCES.
- 055 Rev. 03/05/07



**DRAFTING LEGEND**

- |         |                       |
|---------|-----------------------|
| BB      | BACK BOARD            |
| CAP PAD | CAPACITOR PAD         |
| CATV    | CABLE TV              |
| ELEC    | ELECTRIC              |
| EX      | EXISTING              |
| HH      | HAND HOLE             |
| JT      | JOINT TRENCH          |
| MH      | MANHOLE               |
| MTR     | METER                 |
| OH      | OVERHEAD              |
| PB      | PULL BOX              |
| PME     | PAD MOUNTED EQUIPMENT |
| PNL     | PANEL                 |
| SB      | SLAB BOX              |
| TELE    | TELEPHONE             |
| XFMR    | TRANSFORMER           |

**LEGEND:**

- |  |     |                               |
|--|-----|-------------------------------|
|  | E   | PROPOSED ELECTRIC TRENCH      |
|  | TEL | PROPOSED TELEPHONE TRENCH     |
|  | G   | PROPOSED GAS TRENCH           |
|  | JT  | PROPOSED JOINT TRENCH         |
|  |     | 3'X5' TELEPHONE PULLBOX       |
|  |     | 10'X12' ELECTRIC SLAB BOX     |
|  |     | 5'X10'6"X7' ELECTRIC PME 6-12 |

REVISIONS

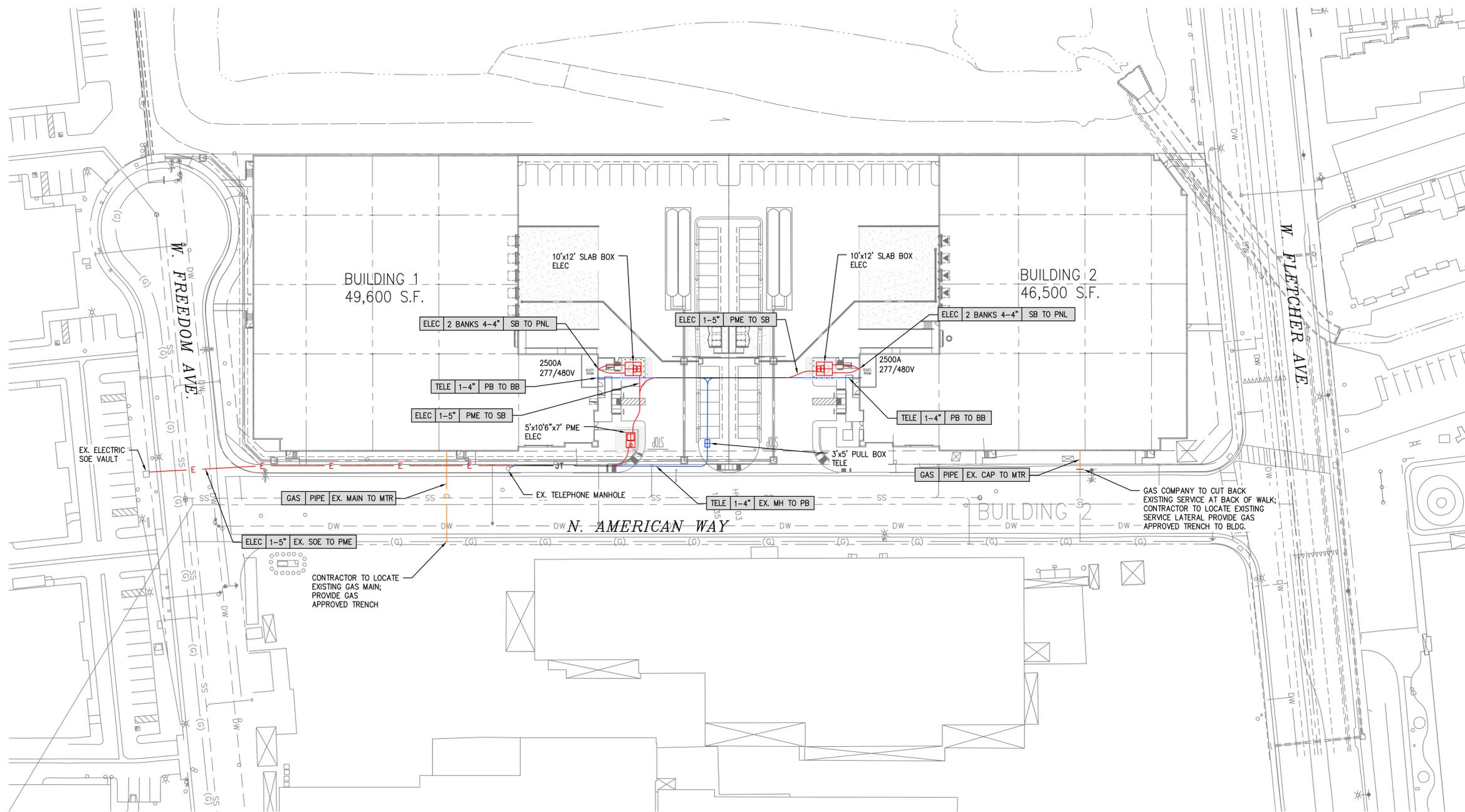
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DATE:	10/14/2021
DRAWN BY:	J.B.
JOB#:	21-034
FILE:	21-034 Cduma
<b>SHEET 1 OF 2</b>	

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