

BATAVIA SELF-STORAGE

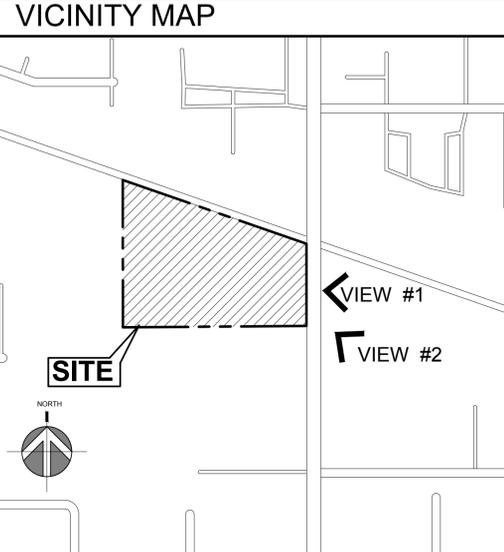
630 N BATAVIA ST, ORANGE, CA 92864



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SITE PHOTO	PROJECT DATA	STATEMENT OF OPERATION	DIRECTORY
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SITE DATA		
DESCRIPTION	REQUIRED	PROPOSED
ZONING DESIGNATION	M-2	M-2
PRIMARY LAND USE	LIGHT INDUSTRIAL	SELF-STORAGE AND OFFICE
SITE AREA	133,453 SQ. FT. (LOT SIZE)	
FLOOR AREA RATIO	0.99 (133,453 SQ. FT.)	133,372
PARKING REQ. FOR STORAGE: 0.3 SPACES PER 1,000-GROSS FLOOR AREA	40	46
PARKING REQUIRED FOR OFFICE: 3 SPACES PER 1,000 GROSS FLOOR AREA	4	4
STANDARD PARKING		4
VAN ACCESSIBLE		1
ADA		1
CLEAN AIR		2
EVCS		1
LOADING ZONE		6
TOTAL		15
PARALLEL PARKING		20
RV PARKING		14
MOTORCYCLE PARKING	300 SQ. FT. MIN.	301 SQ. FT.
BIKE RACKS	2	6
MAXIMUM LOT COVERAGE	N/A	N/A

MAXIMUM BUILDING HEIGHT	45'	BLDG. A: 15'-2" BLDG. B: 41'-4" BLDG. C: 15'-2"
MINIMUM SETBACKS		
FRONT	20'	47'-10"
SIDE	0'	1'-9" & 7'-3"
REAR	0'	1'-0" & 1'-10"

BUILDING AREA TABULATION (Square Feet)				
BUILDING	SELF-STORAGE	OFFICE	GROSS BUILDING AREA	
BUILDING A	8,693		8,693	
BUILDING B	104,667	1044	105,711	
BUILDING C	18,968		18,968	
SELF STORAGE GROSS SQ. FT.				
TOTAL	132,328	1,044	133,372	
ESTIMATED NET RENTABLE @84.68% = 112,053 SQ. FT.				
TOTAL NUMBER OF UNITS (BLDG A/B/C) = 1,266				

DEFERRED SUBMITTAL
DEFERRED PLAN SUBMITTALS, INCLUDING BUT NOT LIMITED TO, ANY OF THE FOLLOWING AS APPLICABLE:

- FIRE SPRINKLERS, UNDERGROUND FIRE LINE SERVICE, FIRE SPRINKLER MONITORING/ALARM SYSTEM, AND EMERGENCY RESPONDER RADIO COMMUNICATION SYSTEM.
- Emergency Responder Digital Radio
- SIGNAGE

SCOPE OF WORK
NEW SELF-STORAGE FACILITY, OFFICE AND MANAGER'S OFFICE WITH SITE HARDSCAPE & LANDSCAPE IMPROVEMENTS.

BUILDING CODES
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA ENERGY CODE

MANAGEMENT AND HOURS OF OPERATION
PROFESSIONAL MANAGEMENT PERSONNEL WILL BE ON SITE DURING REGULAR BUSINESS HOURS. OFFICE HOURS ARE TENTATIVELY SCHEDULED FROM 9:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 10:00 A.M. TO 4:00 P.M. SATURDAYS AND SUNDAYS. THE SECURITY GATE ACCESS FOR ESTABLISHED SELF STORAGE CUSTOMERS WITH CURRENT ACCOUNT STATUS WILL BE FROM 6:00 A.M. TO 9:00 P.M., 7 DAYS-A-WEEK.

SERVICES PROPOSED
TO PROVIDE SERVICES FOR SELF STORAGE INCLUDES LEASABLE STORAGE SPACE AND SALES OF ITEMS FOR STORAGE. REQUIRED EMPLOYEES TWO STAFF MEMBERS DURING DAY TIMES HOURS, SECURITY SYSTEM WILL BE IN PLACE DURING EVENING HOURS.

FIRE NOTES

- MONITORED FIRE SPRINKLER SYSTEM(S) ARE REQUIRED FOR THE PROPOSED BUILDINGS. PLANS SHALL BE SUBMITTED PRIOR TO CONSTRUCTION. INTERIOR/EXTERIOR FIRE DEPARTMENT ACCESS ROADWAY/FIRE LANES SHALL BE REQUIRED PER FIRE DEPARTMENT STANDARD. FIRE DEPARTMENT ACCESS ROADWAYS PROVIDING ACCESS TO THE BUILDINGS IN THIS PROJECT SHALL BE A MINIMUM OF 26 FEET WIDE. IF GATES INSTALLED, MUST COMPLY WITH FIRE DEPARTMENT STANDARDS 14'-0" MIN. WIDTH FOR DIVIDED ACCESS. KNOX BOX/KEY BOX IS REQUIRED, AND SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH FIRE DEPARTMENT STANDARDS. ACCESS GATES SHALL BE PROVIDED WITH AN "OPTICOM" RECEIVER CAPABLE OF OPENING GATES VIA DECODING OF THE "OPTICOM" STROBE SIGNAL TRANSMITTED BY FIRE, POLICE, AND AMBULANCE UNIT. ALL ACCESS GATES SHALL REQUIRE MECHANICAL MEANS FOR OPENING IN EVENT OF POWER FAILURE, SHALL NOT IMPINGE ON REQUIRED CLEAR WIDTH WHEN FULLY OPEN, AND SHALL BE EQUIPPED WITH KNOX BOX LOCK ACTUATION DEVICES.
- AN APPROVED WATER SUPPLY SYSTEM, COMPLETE WITH STREET FIRE HYDRANTS COMPLYING WITH FIRE DEPARTMENT STANDARDS SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
- KNOX BOX / KEY BOX IS REQUIRED, AND SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE FIRE DEPARTMENT STANDARDS.
- ACCESS GATES SHALL BE PROVIDED WITH AN "OPTICOM" RECEIVER CAPABLE OF OPENING GATES VIA DECODING OF "OPTICOM" STROBE SIGNAL TRANSMITTED BY FIRE, POLICE AND AMBULANCE UNITS. ALL ACCESS GATES SHALL REQUIRE MECHANICAL MEANS FOR OPENING IN THE EVENT OF POWER FAILURE. GATE SHALL IMPINGE ON REQUIRED CLEAR WIDTH WHEN FULLY OPEN, AND SHALL BE EQUIPPED WITH KNOX BOX LOCK ACTUATION DEVICES.

BUILDING A - FULLY SPRINKLERED
BUILDING B - FULLY SPRINKLERED
BUILDING C - FULLY SPRINKLERED

BUILDING OCCUPANCY & CONSTRUCTION TYPE:
S-1 IIB
B IIB

OWNER
SCIND BATAVIA POINT, LLC
11150 SANTA MONICA BLVD, SUITE 700,
LOS ANGELES, CA 90025
TELEPHONE: (310) 277-8337 EXT. 110
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E-MAIL: dmeinecke@jordanarchitects.com

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OMEGA CIVIL ENGINEERS
131 Calle Iglesia, Suite 200
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TEL.: (949) 369-6141
CONTACT: Kevin B. Colson
EMAIL: kcolson@ggogeotechnical.com

SOILS
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TEL.: (949) 369-6141
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LANDSCAPE
DMLA
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CONTACT: David Miertschin
EMAIL: david@dmlaonline.com

ELECTRICAL
IGNISIO STUDIOS
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TUSTIN, CA 92780
TEL.: (657) 231-6247
CONTACT: Tony Vu, P.E.

2nd PLAN CHECK COMMENTS RESPONSES



BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

SCHEME L A1.0 COVER

JOB NUMBER: 21-710
SCALE: N/A
DATE: 10/05/2023

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KEYNOTES:

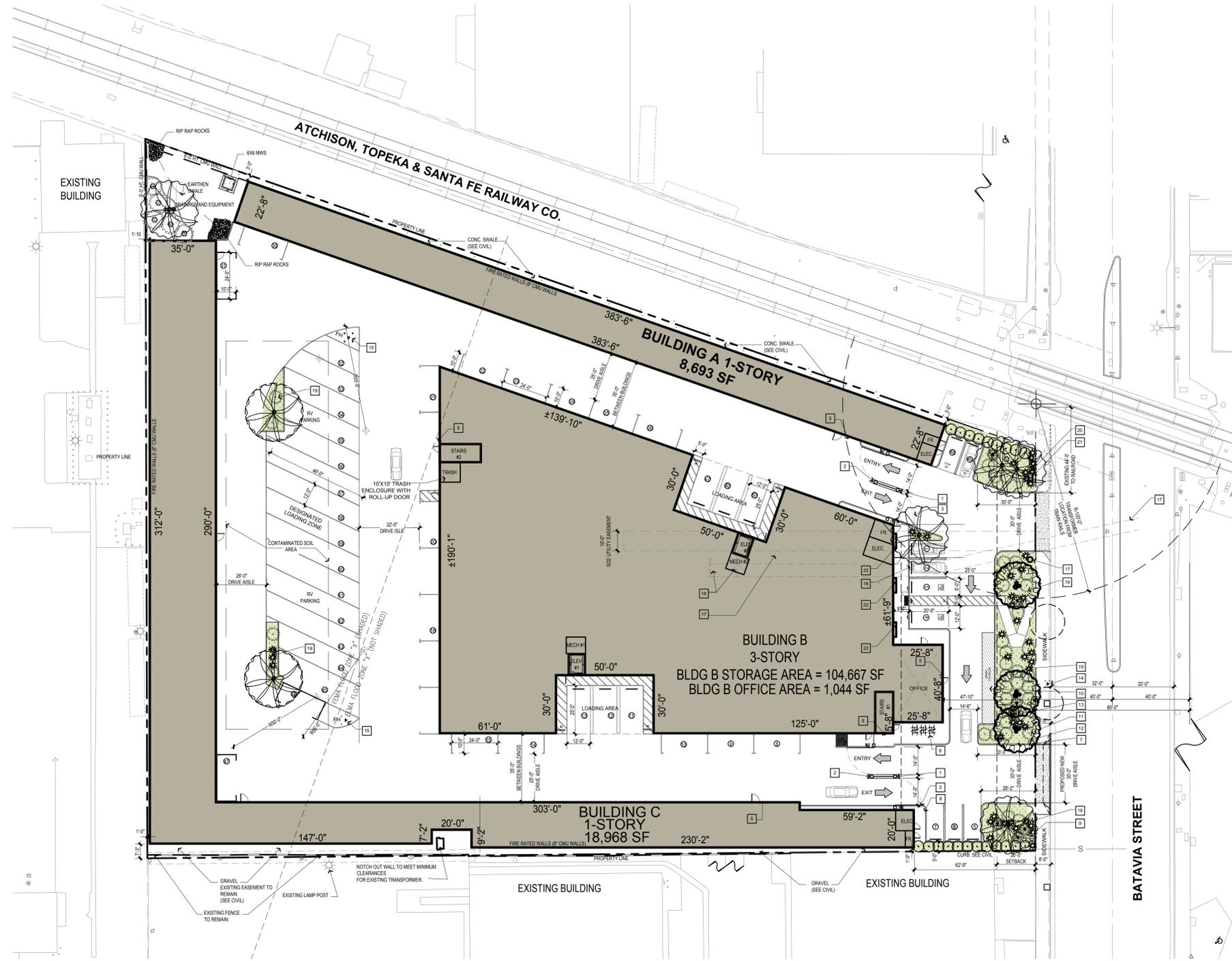
- 1 CLICK2 ENTER TRANSPONDER LOCATION (#15/A7.2). ALSO, WITH KNOX KEY BOX.
- 2 EXIT KEY PAD.
- 3 14'-0" CLEAR ENTRY/EXIT METAL SWING GATE
- 4 FIRE HYDRANT LOCATIONS, VERIFY WITH CIVIL DRAWINGS.
- 5 KNOX BOX & SPRINKLER MONITORING SYSTEM
- 6 LOCKABLE BIKE RACKS
- 7 CONCRETE CURB AT LANDSCAPE.
- 8 CONCRETE CURB AT HARDSCAPE.
- 9 6X4 TRANSFORMER. SEE CIVIL.
- 10 MOTORCYCLE PARKING
- 11 FIRE LANE ENTRANCE SIGN.
- 12 PARKING ENTRANCE SIGN.
- 13 FDC
- 14 EXISTING FIRE HYDRANT
- 15 NEW FIRE HYDRANT & BOLLARD
- 16 EXISTING SCE POWER POLE
- 17 EXISTING SCE OVERHEAD POWER LINES
- 18 NEW SCE POWER POLE LOCATION
- 19 LANDSCAPE. SEE LANDSCAPE PLAN FOR MORE INFORMATION.
- 20 IRR. BFP. SEE CIVIL FOR MORE INFO.
- 21 FIRE SERVICE TO REMAIN
- 22 PLANTER FOR THE CLIMBING PLANT TO TRELLIS

SITE PLAN NOTES:

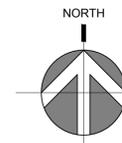
- 1. Parking lot lighting shall be provided. All lighting must be shielded, screened, or oriented so that the light will not be seen from any point beyond the exterior boundaries of the property per Section 17.12.030. See Photometrics plan.
- 2. The North side of Building A will have anti-graffiti paint/coating.

POLICE AND CRIME PREVENTION NOTES:

- 1. BUILDING MATERIALS THAT PREVENT OF DETER TUNNELING FROM ADJACENT UNITS SHOULD BE USED ON WALL AND CEILING OF INDIVIDUAL STORAGE UNITS.
- 2. IF APPLICABLE, SECURITY MESH OF WIRE MESH AT CEILING OF STORAGE UNITS SHALL COMPLY WITH THE FOLLOWING:
 - A. SECURITY MESH TO BE OF HEAVY GAUGE MATERIAL, 8-12 GAUGE.
 - B. SECURITY MESH OPENINGS SHOULD BE NO MORE THAN ONE INCH.
 - C. SECURITY MESH MUST BE SECURELY FASTENED TO PREVENT REMOVAL FROM STORAGE UNIT EXTERIOR.
- 3. NORTH WALLS AND BUILDING A WILL HAVE ANTI-GRAFFITI FINISH APPLICATION TO PREVENT GRAFFITI. AS AND ALTERNATE, LANDSCAPING LIGHTING AND SE THROUGH TYPE FENCING.



BUILDING A, B & C
1" = 30' (1)



BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

SCHEME L A1.1a

PRELIMINARY SITE PLAN

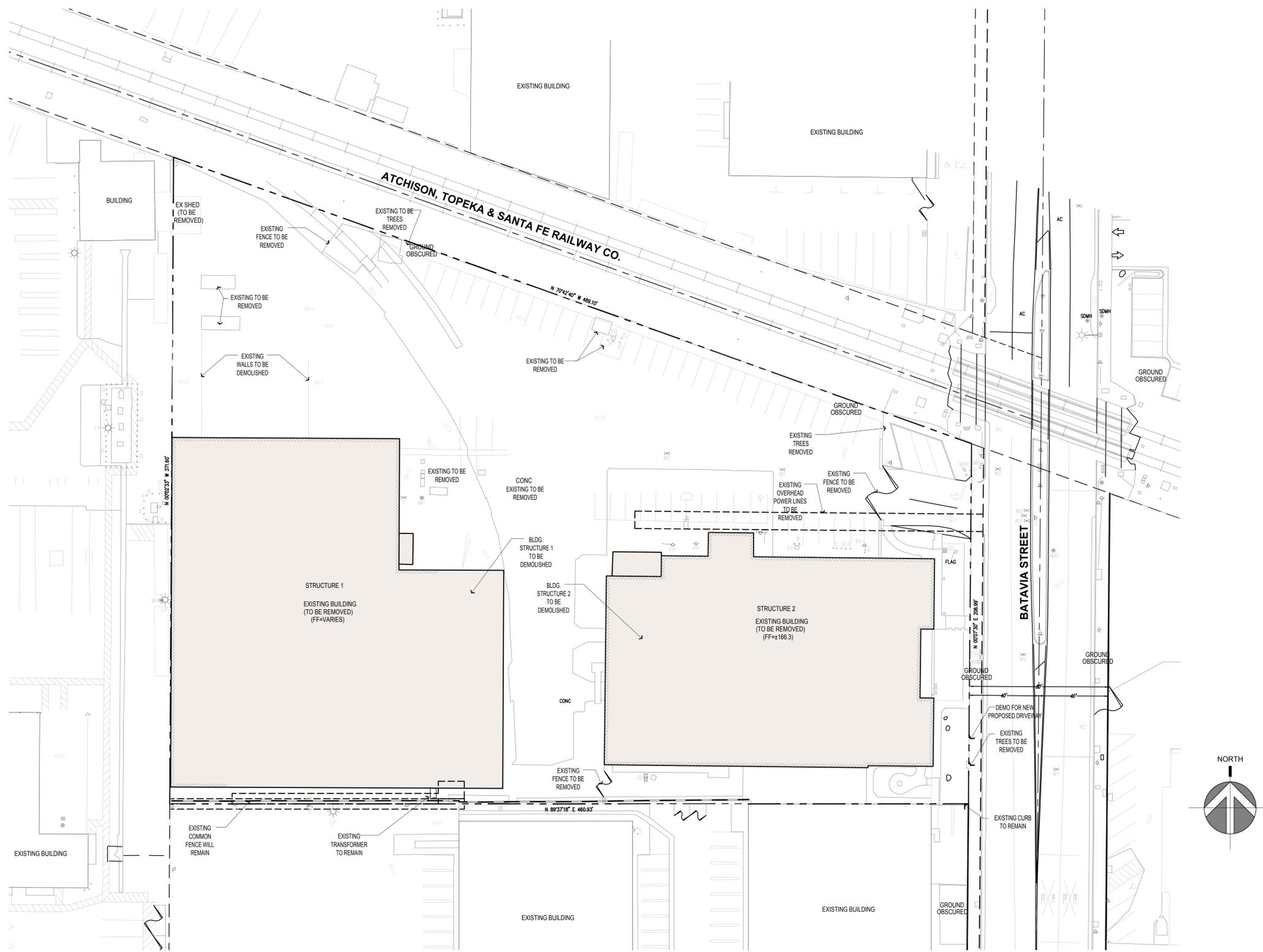
ja
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 949.388.8090

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JOB NUMBER: 21-710
 SCALE: 1" = 30'
 DATE: 10/05/2023

GENERAL DEMOLITION NOTES

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
2. REMOVAL OF EXISTING FIXTURES AND EQUIPMENT WILL REQUIRE ISOLATING THE PIPING RISERS OR MAINS VIA SHUT-OFF VALVES. INSTALL NEW ISOLATION VALVES WHERE REQUIRED FOR COMPLETION OF WORK.
3. REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY, AND UPON COMPLETION OF THE WORK, REFER TO GENERAL CONDITIONS AND DIVISION 1 SECTIONS IN THE SPECIFICATIONS.
4. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATION, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
9. EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
10. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
11. WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
12. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
13. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.



DEMO PLAN ①
1" = 30'

BATAVIA SELF-STORAGE
630 N BATAVIA ST, ORANGE, CA 92864

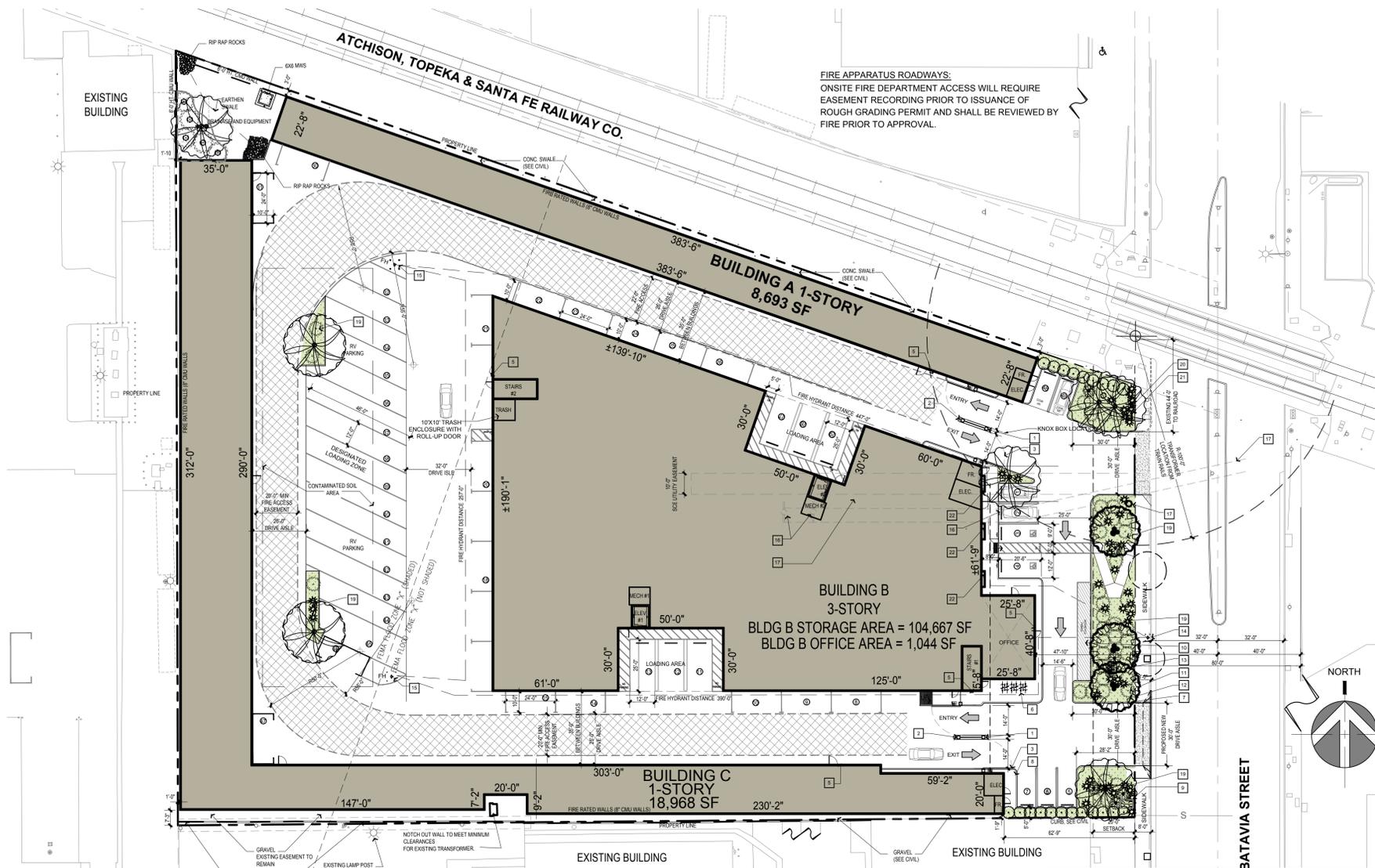
PRELIMINARY DEMO PLAN

SCHEME L A1.1b

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SCALE: 1" = 30'
DATE: 10/05/2023



FIRE NOTES

- Plans submitted during plan check shall show that the water improvement plans are consistent with the fire suppression plans and/or fire master plan. The applicant's consultant preparing the water improvement plans shall coordinate their plans with the consultant preparing the fire suppression plans and/or fire master plan so that their designs concur.
- Plans submitted during plan check shall show that the minimum separation requirements are met and that each of the various designer's plan sets match. The applicant's consultant preparing the improvement and utility plans shall coordinate their plans with the consultants preparing the landscape, architectural, surface water quality management, fire master and/or fire suppression plans so that their designs are consistent.
- At least fourteen calendar days prior to commencing construction, the applicant's civil engineer shall prepare and provide product material submittals consistent with the water improvement plans for all proposed public water system facilities to the Water Division per the City of Orange General Water Construction Notes for review and approval.
- Prior to issuance of certificate of occupancy, the applicant shall furnish and install individual pressure regulators on new services where the incoming pressure exceeds eighty-pounds per square inch.
- The fire access roadways shall be designed to support the imposed loads of the Orange Fire Department fire apparatus with a total load of 68,000 pounds. The fire apparatus is distributed as 46,000 pounds on the tandem rear axles and 22,000 pounds on the front axle. The fire access roadway shall be designed, constructed and maintained to provide all-weather driving capabilities.
- Provide a letter or statement, wet-stamped and signed by a registered engineer on the plans certifying that any new roadway meets the 68,000 pound all weather requirement or denote that the design letter meeting these conditions will be provided at rough grading plan submittal.
- The proposed buildings are required to be protected by an automatic fire sprinkler system installed in accordance with NFPA 13. A fire department connection will be part of the fire sprinkler system design for each building. The following requirements are applicable to the new structures and must be considered relative to the installation of the fire sprinkler system. Additionally, the specifications must be shown on the Fire Master Plan:
 - The fire department connection shall not be affixed to the building;
 - The fire department connection shall be located at least 40 feet away from the building;
 - The fire department connection shall be located on the address side of the building;
 - The fire department connection shall be located within 40 feet of a hydrant on the same side of the street as the hydrant;
 - The fire department connection shall not provide pressure to an on-site hydrant.
 - The location of the fire department connection shall be approved by the Fire Department.
 - Show the location of the double-check backflow prevention assembly.
- Key boxes and key switches (Knox devices) shall be provided where necessary to ensure that immediate access for firefighting, rescue and other emergency purposes is possible. At a minimum Knox devices shall be provided for the following locations:
 - The main entry to buildings equipped throughout with a fire alarm or sprinkler monitoring system.
 - Doors, perimeter pedestrian gates and other areas identified by the Fire Department. At least one pedestrian gate is required on perimeter gates.
 - Vehicular gates on driver side approach.
- In accordance with the 2019 CFC Chapter 5, Section 510.1, and local ordinance 9-19, all new buildings meeting the criteria shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. The emergency responder radio coverage system shall be installed in accordance with the City of Orange Emergency Responder Digital Radio Guideline under separate submittal.
- Trees planted along the fire access roadway and/or firefighter required walkway shall not impede the required minimum 5'0" walkway width or the required fire apparatus vertical clearance of 13'-6". The trees should be a type that the natural growth pattern would allow the required vertical clearance without reliance on regular maintenance of the tree canopies.
- The architectural, civil and landscape drawings shall be coordinated such that information relative to fire access roadway widths, required vertical clearances and location of fire protection devices (FDC's, BFD's and fire hydrants) are shown in a similar manner.
- Elevator dimensions are required to meet Section 3002.4.3a as locally amended by OMC 15.04.
- Onsite fire department access will require easement recording prior to issuance of Rough Grading Permit and shall be reviewed by Fire prior to approval.
- A Knox box shall be installed at Main Entry to building equipped with a Fire Alarm or Sprinkler monitoring system.

FIRE-FLOW REQUIREMENTS

BUILDINGS ARE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13

BUILDING A
 *STORAGE:
 BUILDING CONSTRUCTION TYPE: IIB
 OCCUPANCY CLASSIFICATION: S-1
 PER REFERENCE TABLE B105.1(2)
 FLOOR AREA = 8,693 SF
 FIRE-FLOW (gallons per minute) = 2,000
 FLOW DURATION (hours) = 2
 PER REFERENCE TABLE B105.2
 SECTION 903.3.1.1 OF THE CALIFORNIA FIRE CODE - 25% OF THE VALUE IN TABLE B105.1(2)
 FIRE-FLOW (gallons per minute) = 2,000 x 25% = 500 gallons per minute.
 MINIMUM FIRE-FLOW REQUIRED = 1,500 GPM

BUILDING B
 STORAGE:
 BUILDING CONSTRUCTION TYPE: IIB
 OCCUPANCY CLASSIFICATION: S-1
 PER REFERENCE TABLE B105.1(2)
 FLOOR AREA = 104,667 SF
 FIRE-FLOW (gallons per minute) = 7,000
 FLOW DURATION (hours) = 4
 PER REFERENCE TABLE B105.2
 SECTION 903.3.1.1 OF THE CALIFORNIA FIRE CODE - 25% OF THE VALUE IN TABLE B105.1(2)
 FIRE-FLOW (gallons per minute) = 7,000 x 25% = 1,750 gallons per minute.
 MINIMUM FIRE-FLOW REQUIRED = 1,500 GPM

OFFICE
 BUILDING CONSTRUCTION TYPE: VB
 OCCUPANCY CLASSIFICATION: B
 PER REFERENCE TABLE B105.1(2)
 FLOOR AREA = 1,044 SF
 FIRE-FLOW (gallons per minute) = 1,500
 FLOW DURATION (hours) = 2
 PER REFERENCE TABLE B105.2
 SECTION 903.3.1.1 OF THE CALIFORNIA FIRE CODE - 25% OF THE VALUE IN TABLE B105.1(2)
 FIRE-FLOW (gallons per minute) = 1,500 x 25% = 375 gallons per minute.
 MINIMUM FIRE-FLOW REQUIRED = 1,500 GPM

BUILDING C
 *STORAGE:
 BUILDING CONSTRUCTION TYPE: IIB
 OCCUPANCY CLASSIFICATION: S-1
 PER REFERENCE TABLE B105.1(2)
 FLOOR AREA = 18,961 SF
 FIRE-FLOW (gallons per minute) = 2,750
 FLOW DURATION (hours) = 2
 PER REFERENCE TABLE B105.2
 SECTION 903.3.1.1 OF THE CALIFORNIA FIRE CODE - 25% OF THE VALUE IN TABLE B105.1(2)
 FIRE-FLOW (gallons per minute) = 2,750 x 25% = 688 gallons per minute.
 MINIMUM FIRE-FLOW REQUIRED = 1,500 GPM

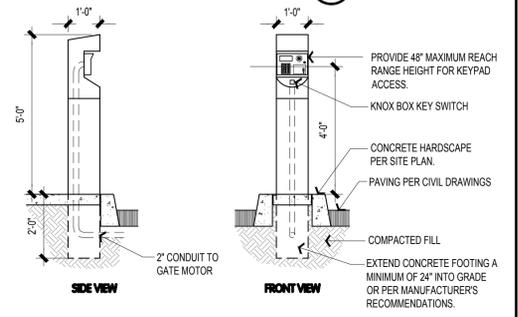
DEFERRED SUBMITTALS

- DEFERRED SUBMITTALS ARE AS FOLLOWS:
- FIRE SPRINKLERS
 - UNDERGROUND FIRE SERVICE
 - FIRE SPRINKLER MONITORING / ALARM SYSTEM
 - EMERGENCY RESPONDER RADIO COMMUNICATION SYSTEM

KEYNOTES:

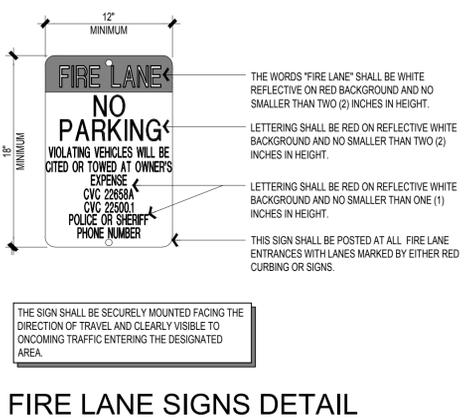
- CLICK ENTER TRANSPONDER LOCATION (#15/A7.2). ALSO, WITH KNOX KEY BOX.
- EXIT KEY PAD.
- 14'-0" CLEAR ENTRY/EXIT METAL SWING GATE
- FIRE HYDRANT LOCATIONS, VERIFY WITH CIVIL DRAWINGS.
- KNOX BOX & SPRINKLER MONITORING SYSTEM
- LOCKABLE BIKE RACKS
- CONCRETE CURB AT LANDSCAPE.
- CONCRETE CURB AT HARDSCAPE.
- 6X4 TRANSFORMER. SEE CIVIL.
- MOTORCYCLE PARKING
- FIRE LANE ENTRANCE SIGN.
- PARKING ENTRANCE SIGN.
- FDC
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT & BOLLARD
- EXISTING SCE POWER POLE
- EXISTING SCE OVERHEAD POWER LINES
- NEW SCE POWER POLE LOCATION
- LANDSCAPE. SEE LANDSCAPE PLAN FOR MORE INFORMATION.
- IRR. BFP. SEE CIVIL FOR MORE INFO.
- FIRE SERVICE TO REMAIN
- PLANTER FOR THE CLIMBING PLANT TO TRELLIS

FIRE ACCESS PLAN

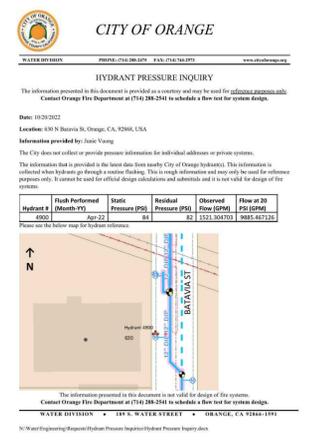


ENTRY/EXIT KEYPAD ELEVATIONS

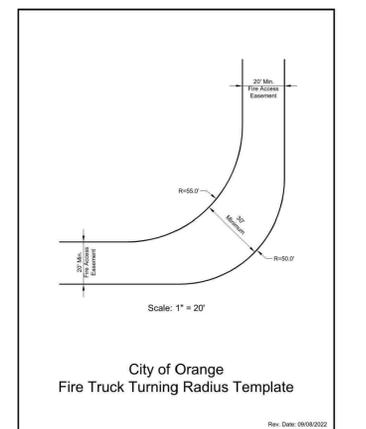
APX KEYPAD AND BOLLARD AND BY PTI INTEGRATED SYSTEMS, OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 PROVIDE KNOX BOX KEY SWITCH OVERRIDE AS REQUIRED PER FIRE DEPARTMENT.
 SCALE: 3/8" = 1'-0"



FIRE LANE SIGNS DETAIL



HYDRANT PRESSURE INQUIRY



City of Orange Fire Truck Turning Radius Template

FIRE CODES:
 PLANS SUBMITTED FOR BUILDING PLAN CHECK SHALL COMPLY WITH THE CALIFORNIA FIRE CODE AS AMENDED BY THE CITY OF ORANGE. REFER TO CITY OF ORANGE FIRE DEPARTMENT'S FIRE MASTER PLAN GUIDELINES AND THE CALIFORNIA FIRE CODE CHAPTER 5 FOR REQUIREMENTS RELATED TO FIRE APPARATUS ACCESS ROADWAYS AND WATER SUPPLY.

BATAVIA SELF-STORAGE
 630 N BATAVIA ST, ORANGE, CA 92864

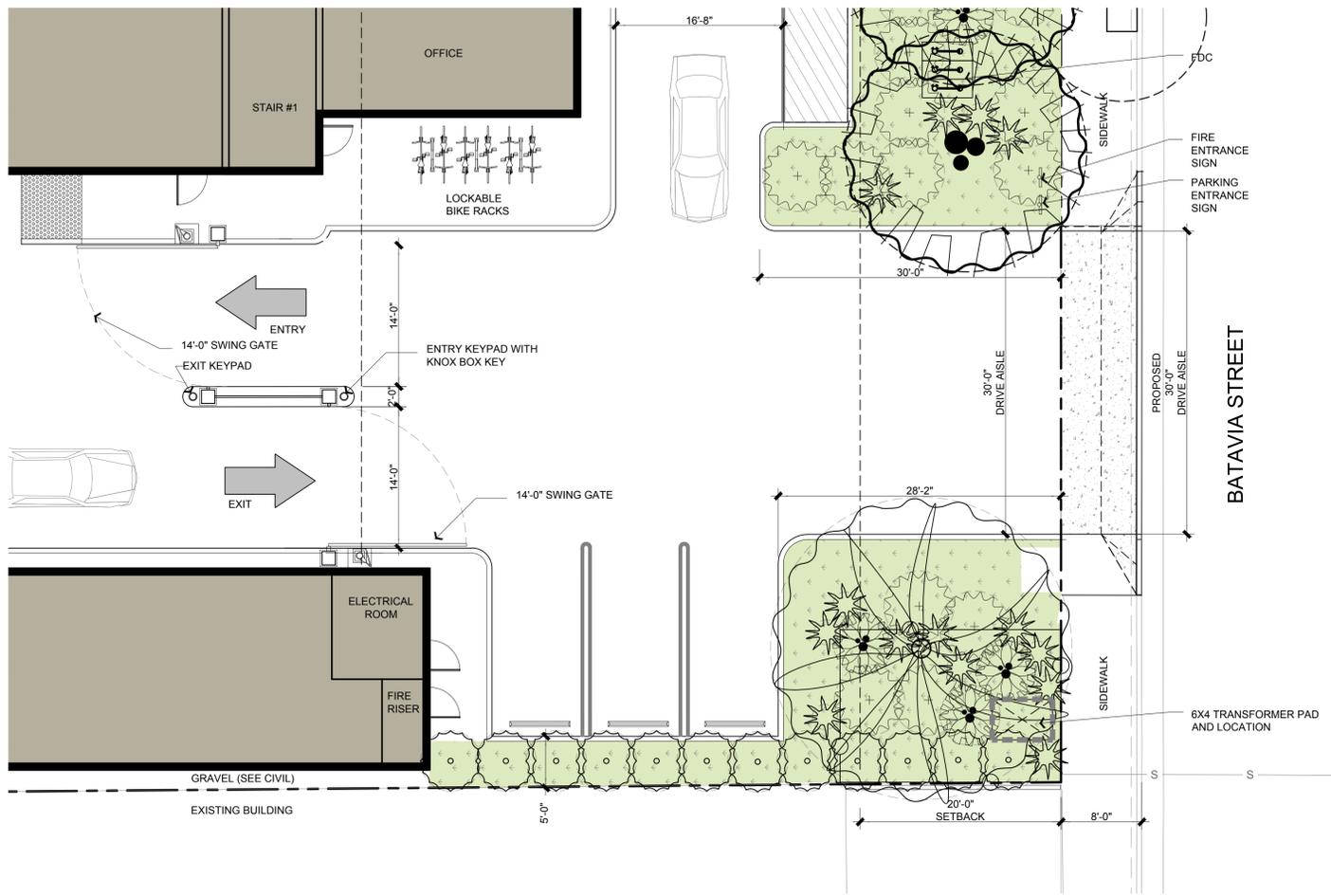
PRELIMINARY FIRE PLAN

SCHEME L A1.2

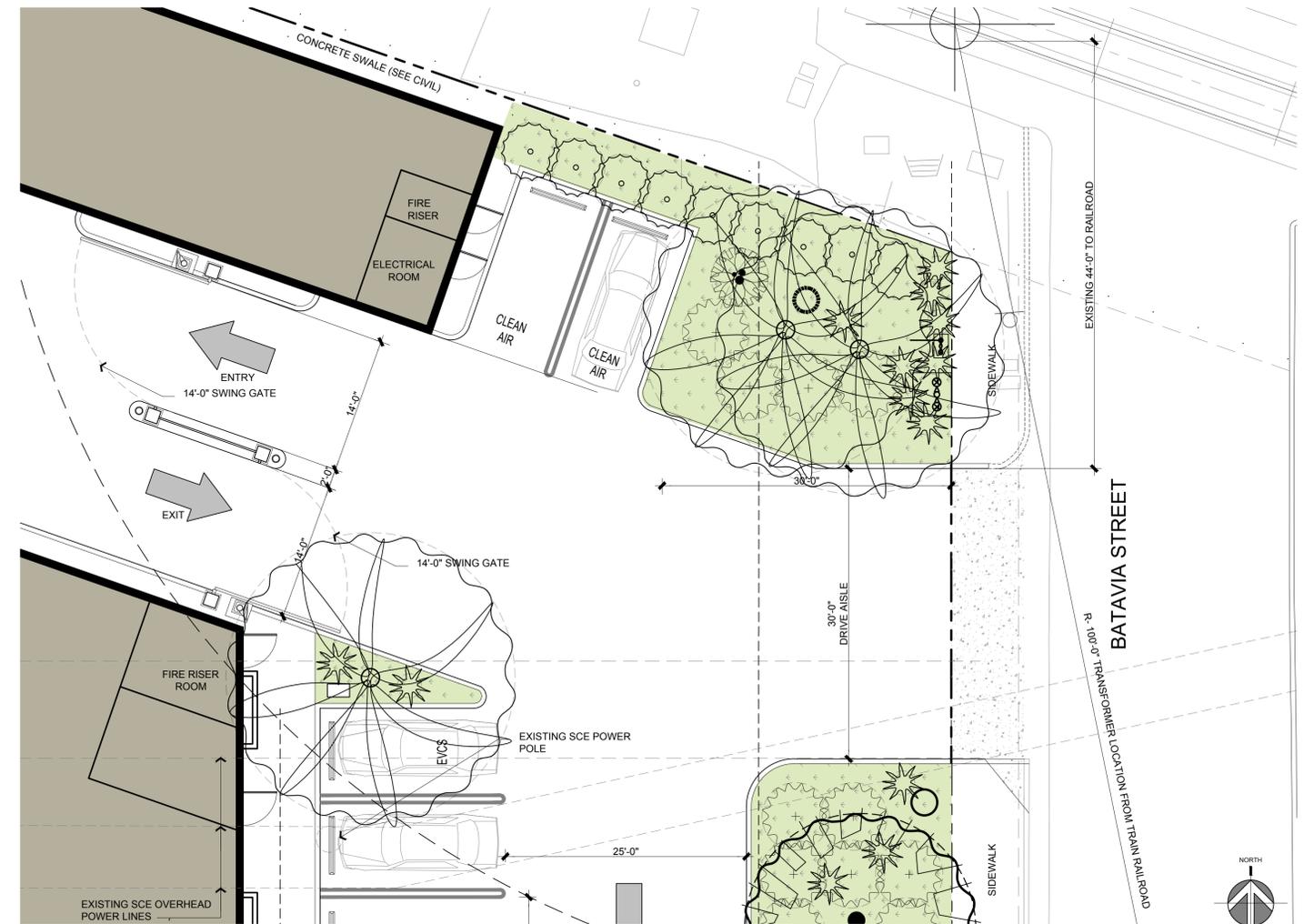
Jordan Architects
 131 CALLE IGLESIA, SUITE 100
 SAN CLEMENTE, CA 92672
 949.388.8090

JOB NUMBER: 21-710
 SCALE: 1/32"=1'-0"
 DATE: 10/05/2023

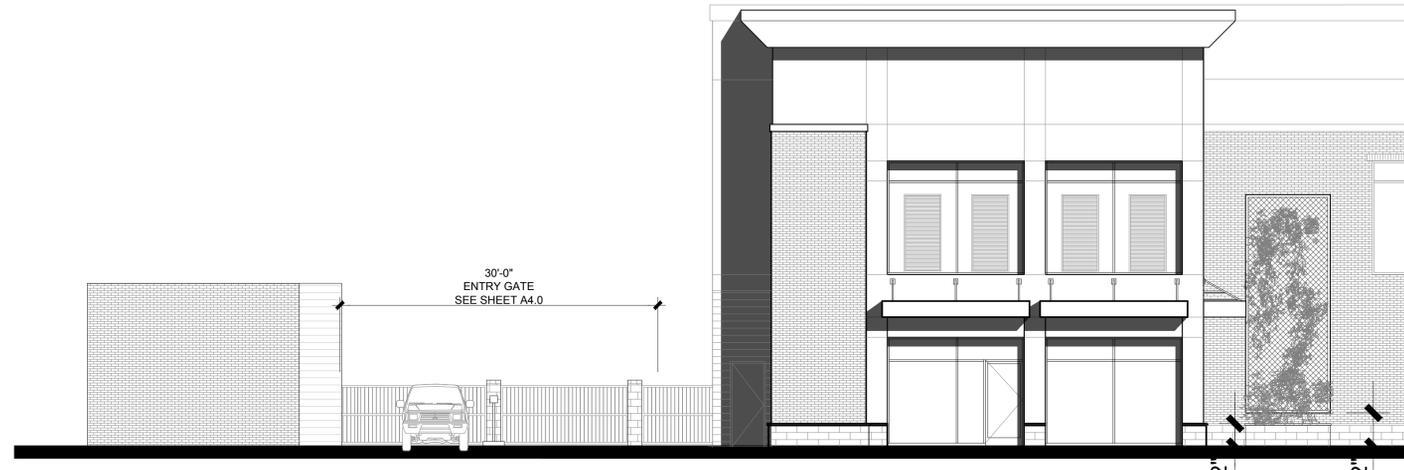
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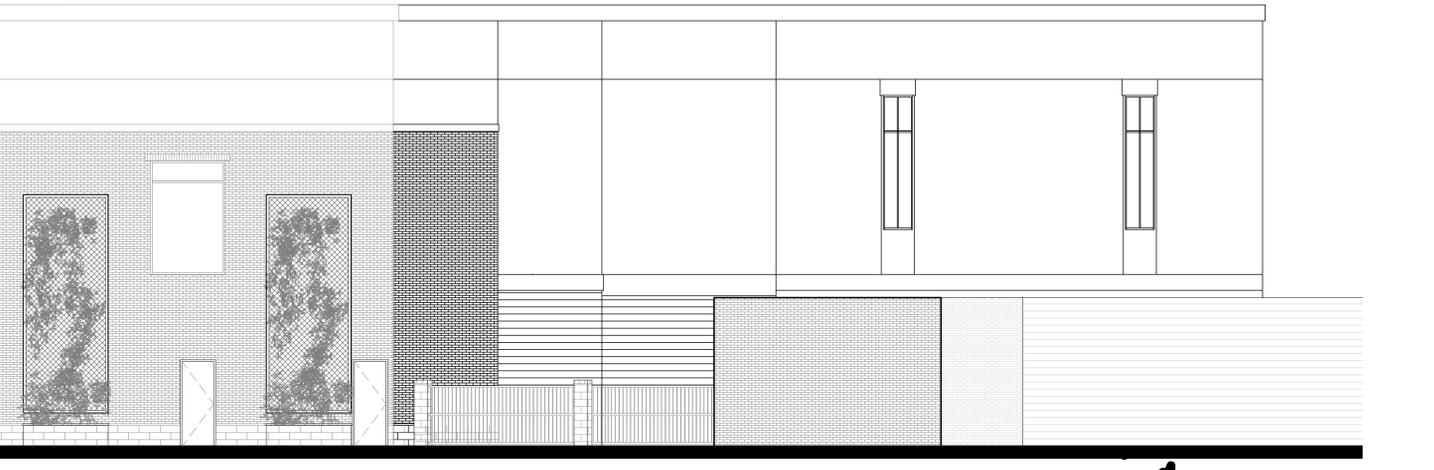
ENLARGED ENTRY AT BLDG B/C ②
1/8"=1'-0"



ENLARGED ENTRY AT BLDG A/B ①
1/8"=1'-0"



ENTRY GATE AT BLDG B/C ④
1/8"=1'-0"



ENTRY GATE AT BLDG A/B ③
1/8"=1'-0"

BATAVIA SELF-STORAGE PRELIMINARY ENLARGED ENTRY

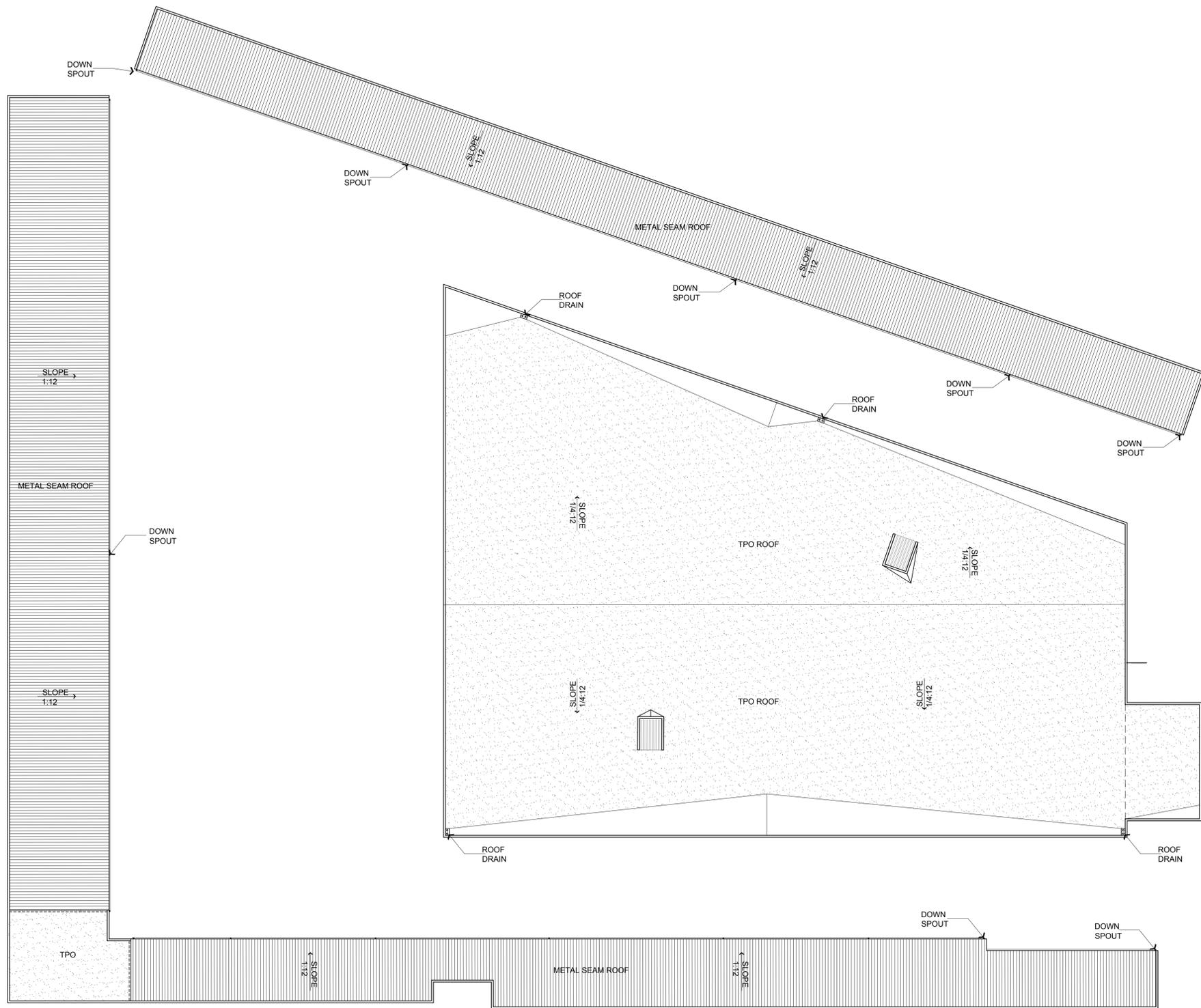
630 N BATAVIA ST, ORANGE, CA 92864

SCHEME L A1.3

JOB NUMBER: 21-710
SCALE: 1/8" = 1'-0"
DATE: 10/05/2023

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BLDG A and B ROOF PLAN ①
1" = 20'

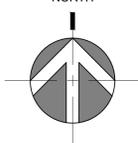
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SCHEME L A1.4
PRELIMINARY ROOF PLAN

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JOB NUMBER: 21-710
SCALE: 1" = 20'
DATE: 10/05/2023

NORTH



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BLDG B - 1ST FLOOR PLAN LOCKERS ①
3/32"=1'-0"

BATAVIA SELF-STORAGE

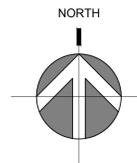
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SCHEME L A2.1 PRELIMINARY UNIT MIX

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BATAVIA SELF-STORAGE

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BLDG B - SECOND FLOOR PLAN ①
3/32"=1'-0" SCHEME L A2.2
PRELIMINARY UNIT MIX

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BATAVIA SELF-STORAGE

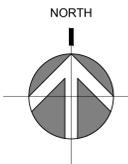
630 N BATAVIA ST, ORANGE, CA 92864

BLDG B - THIRD FLOOR PLAN ①
3/32"=1'-0"

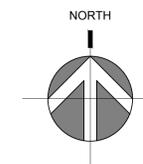
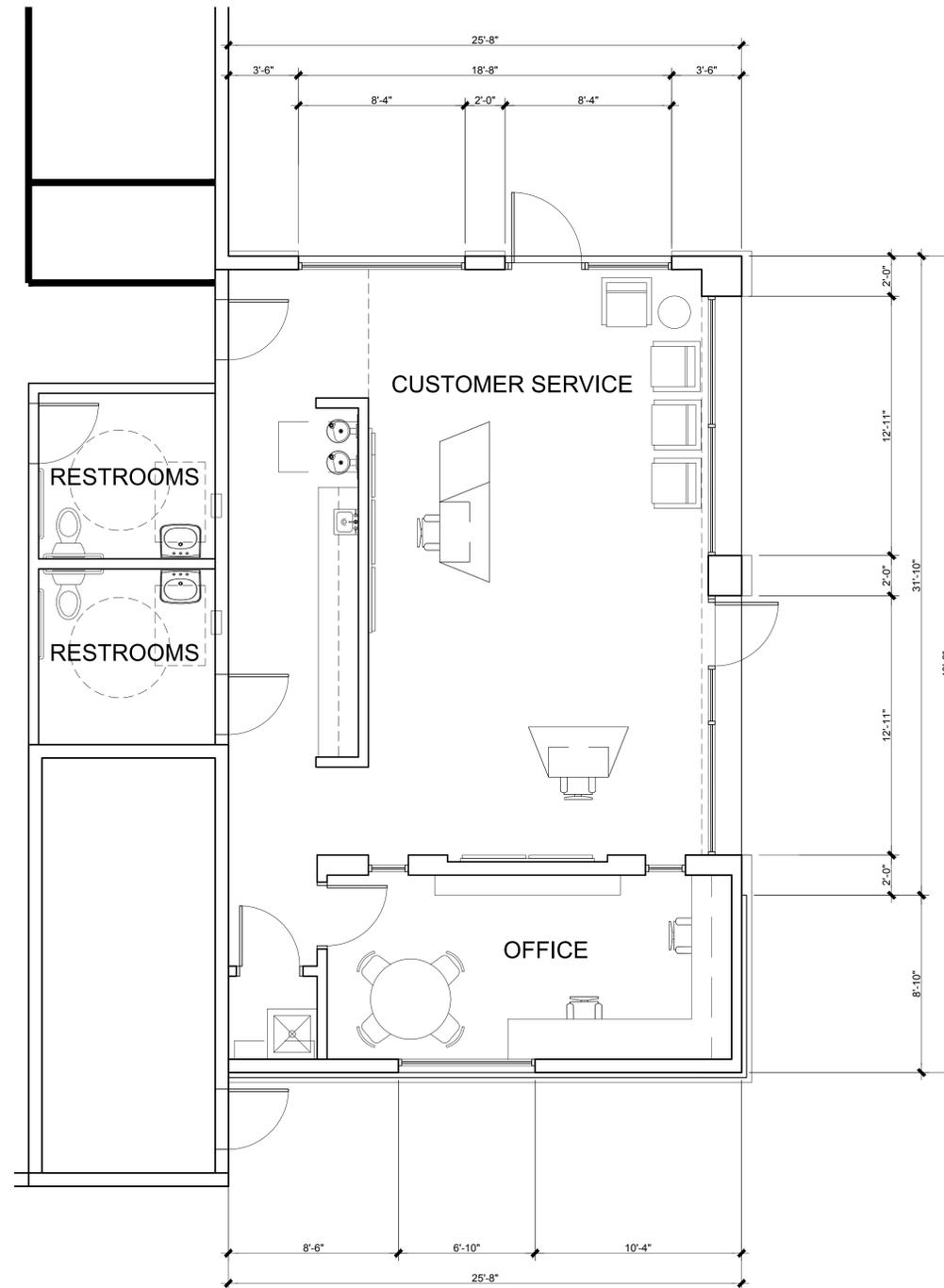
SCHEME L A2.3 PRELIMINARY UNIT MIX

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JOB NUMBER: 21-710
SCALE: 3/32"=1'-0"
DATE: 10/05/2023



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BLDG B - ENLARGED OFFICE FLOOR PLAN ①
1/4"=1'-0"

BATAVIA SELF-STORAGE
630 N BATAVIA ST, ORANGE, CA 92864

ENLARGED OFFICE FLOOR PLAN

SCHEME L A2.4

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JOB NUMBER: 21-710
SCALE: 1/4"=1'-0"
DATE: 10/05/2023

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**BATAVIA SELF-STORAGE
CONCEPTUAL UNIT MIX TABULATION_scheme L**
PREPARED ON JANUARY 17th, 2023

		BUILDING A				BUILDING B - 1st FLOOR				BUILDING B - 2nd FLOOR				BUILDING B - 3rd FLOOR				BUILDING C				TOTAL					
		NON-CLIMATE		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL		NON-CLIMATE		CLIMATE CONTROL		QTY.	AREA	AREA RATIO			
UNIT SIZE	UNIT AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	QTY.	AREA	AREA RATIO			
(in feet)	(in sq. ft)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq.ft.)	(unit)	(sq. ft)	(%)			
5 X 4	20	0	0	0	0	0	0	0	0	0	0	6	120	0	0	6	120	0	0	0	0	12	240	0.2%			
5 X 5	25	0	0	1	25	0	0	3	75	0	0	45	1,125	0	0	45	1,125	0	0	6	150	100	2,500	2.2%			
5 X 6	30	0	0	0	0	0	0	0	0	0	0	2	60	0	0	2	60	0	0	1	30	5	150	0.1%			
5 X 9	45	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0.0%			
4 X 10	40	0	0	0	0	0	0	0	0	0	0	3	120	0	0	3	120	0	0	0	0	6	240	0.2%			
5 X 10	50	0	0	1	50	6	300	19	950	0	0	91	4,550	0	0	91	4,550	0	0	35	1,750	243	12,150	10.8%			
5 X 16	80	0	0	0	0	0	0	0	0	0	0	1	80	0	0	1	80	0	0	0	0	2	160	0.1%			
6 X 8	48	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	48	1	48	0.0%			
6 X 10	60	0	0	0	0	0	0	0	0	0	0	13	780	0	0	13	780	0	0	11	660	37	2,220	2.0%			
7 X 10	70	0	0	0	0	0	0	1	70	0	0	0	0	0	0	0	0	0	0	29	2,030	30	2,100	1.9%			
7 X 11	77	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	154	2	154	0.1%			
8 X 10	80	0	0	4	320	0	0	1	80	0	0	1	80	0	0	1	80	0	0	0	0	7	560	0.5%			
8 X 14	112	0	0	1	112	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	112	0.1%			
9 X 10	90	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	720	8	720	0.6%			
9 X 15	135	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0.0%			
10 X 10	100	0	0	3	300	0	0	50	5,000	0	0	107	10,700	0	0	107	10,700	0	0	2	200	269	26,900	24.0%			
10 X 11	110	0	0	0	0	0	0	1	110	0	0	1	110	0	0	1	110	0	0	0	0	3	330	0.3%			
10 X 12	120	0	0	0	0	0	0	0	0	0	0	1	120	0	0	1	120	0	0	0	0	2	240	0.2%			
10 X 13	130	0	0	0	0	0	0	0	0	0	0	2	260	0	0	2	260	0	0	0	0	4	520	0.5%			
10 X 14	140	0	0	0	0	0	0	2	280	0	0	3	420	0	0	3	420	0	0	0	0	8	1,120	1.0%			
10 X 15	150	0	0	0	0	0	0	18	2,700	0	0	7	1,050	0	0	7	1,050	2	300	0	0	34	5,100	4.6%			
10 X 16	160	0	0	0	0	0	0	1	160	0	0	2	320	0	0	2	320	0	0	0	0	5	800	0.7%			
10 X 17	170	0	0	0	0	0	0	0	0	0	0	2	340	0	0	2	340	0	0	0	0	4	680	0.6%			
10 X 18	180	0	0	0	0	0	0	3	540	0	0	2	360	0	0	2	360	27	4,860	0	0	34	6,120	5.5%			
10 X 19	190	0	0	0	0	1	190	1	190	0	0	1	190	0	0	1	190	0	0	0	0	4	760	0.7%			
10 X 20	200	0	0	0	0	22	4,400	7	1,400	0	0	23	4,600	0	0	23	4,600	0	0	0	0	75	15,000	13.4%			
10 X 21	210	0	0	0	0	0	0	1	210	0	0	2	420	0	0	2	420	0	0	0	0	5	1,050	0.9%			
10 X 22	220	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	9	1,980	0	0	9	1,980	1.8%			
10 X 23	230	0	0	0	0	1	230	1	230	0	0	0	0	0	0	0	0	0	0	0	0	2	460	0.4%			
10 X 24	240	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	14	3,360	0	0	14	3,360	3.0%			
10 X 25	250	0	0	0	0	3	750	5	1,250	0	0	0	0	0	0	0	0	0	0	0	0	8	2,000	1.8%			
10 X 28	280	0	0	0	0	0	0	0	0	0	0	1	280	0	0	1	280	0	0	0	0	2	560	0.5%			
10 X 30	300	0	0	0	0	20	6,000	2	600	0	0	0	0	0	0	0	0	0	0	0	0	22	6,600	5.9%			
11 X 19	209	0	0	0	0	0	0	0	0	0	0	2	418	0	0	2	418	0	0	0	0	4	836	0.7%			
11 X 21	231	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0.0%			
12 X 23	276	33	9,108	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	33	9,108	8.1%			
20 X 21	420	0	0	0	0	1	420	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	420	0.4%			
LOCKERS 5 X 5	25	0	0	0	0	0	0	265	6,625	0	0	0	0	0	0	0	0	0	0	0	0	265	6,625	5.9%			
LOCKERS 5 X 4	20	0	0	0	0	0	0	3	60	0	0	0	0	0	0	0	0	0	0	0	0	3	60	0.1%			
LOCKERS 5 X 7	35	0	0	0	0	0	0	2	70	0	0	0	0	0	0	0	0	0	0	0	0	2	70	0.1%			
LOCKERS 5 X 8	40	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0.0%			
TOTAL		33	9108	10	807	54	12290	386	20600	0	0	318	26503	0	0	318	26503	52	10500	95	5742	1266	112,053	100.0%			
PERCENTAGE (%)		3%	8%	1%	1%	4%	11%	30%	18%	0%	0%	25%	24%	0%	0%	25%	24%	4%	9%	8%	5%	100%	100%				
																					NON CLIMATE CONTROL (REGULAR UNITS)				139	31,898	28.5%
																					CLIMATE CONTROL UNITS				1127	80,155	71.5%
																					TOTAL				1266	112,053	100.0%
UNIT AVERAGE (in sf /unit) =		89																									
NET RENTABLE =		112,053																									
																					TOTAL GROSS STORAGE AREA=				132,328.00	84.68%	

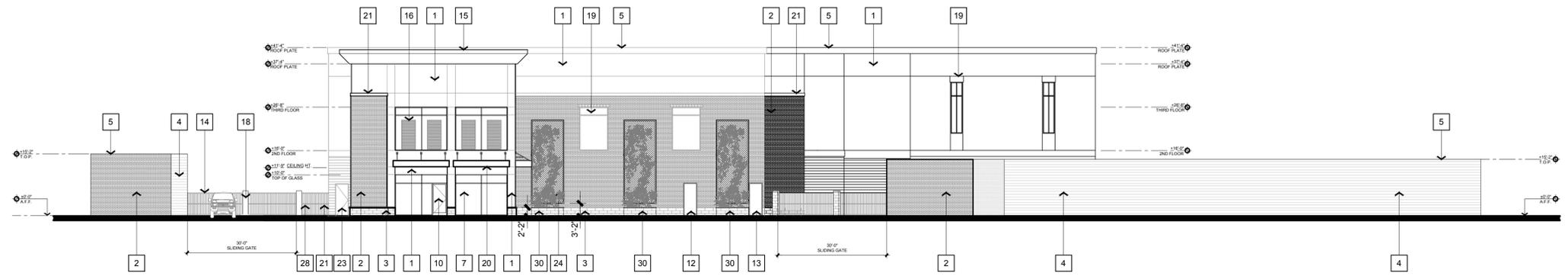
BATAVIA SELF-STORAGE
630 N BATAVIA ST, ORANGE, CA 92864

SCHEME L A2.5
PRELIMINARY UNIT MX TAB.

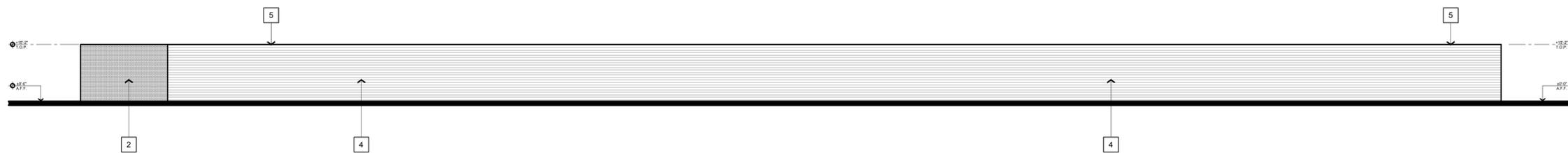
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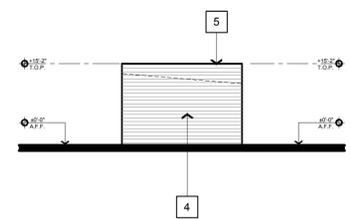




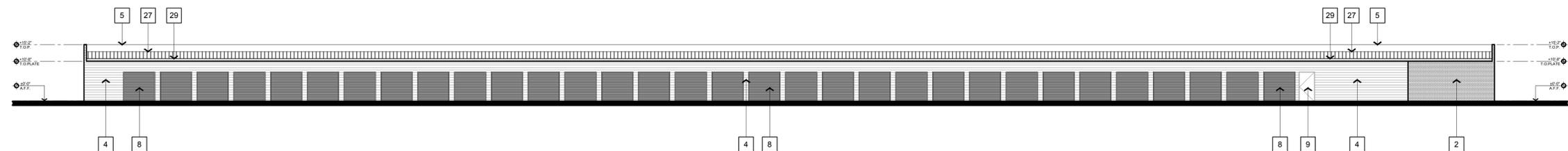
BLDG C/B/A - OVERALL EAST ELEVATION ①
1/16"=1'-0"



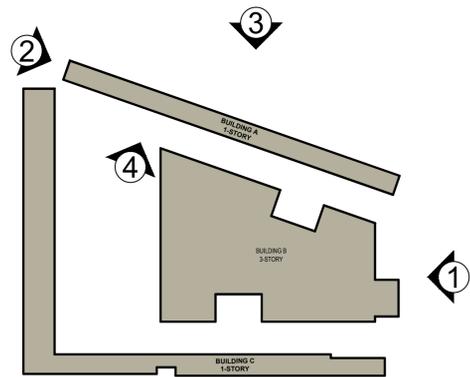
BLDG A - NORTH ELEVATION ③
1/16"=1'-0"



BLDG A - NORTH ELEVATION ②
1/16"=1'-0"



BLDG A - SOUTH ELEVATION ④
1/16"=1'-0"



KEY PLAN ⑤
N/A

NOTES:

- . WALL PACKS WILL BE PROVIDED BY ELECTRICAL ENGINEER CALCULATIONS FOR LIGHTING REQUIREMENTS.
- . NO AWNINGS. CANOPIES AS DESIGNED WILL BE METAL STRUCTURES WITH CONNECTING RODS. THIS WILL NEED TO BE DESIGNED BY STRUCTURAL ENGINEER CONSULTANT. A PROCESS TYPICALLY COMPLETE AT CONSTRUCTION DRAWINGS PHASE.
- . VINES DETAILS. WILL BE PROVIDED IN CONSTRUCTION DOCUMENTS.

KEYNOTES:

- | | | |
|---|---|--|
| 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL | 11 N/A | 21 PEDESTRIAN ACCESS |
| 2 BRICK | 12 ELECTRICAL ROOM | 22 BREAK METAL |
| 3 LIME STONE | 13 FIRE RISER ROOM - KNOX KEY BOX WILL BE PROVIDED. | 23 STAIR ACCESS |
| 4 DECORATIVE CMU BLOCK | 14 14'-0" CLEAR ENTRY/EXIT METAL SWING GATE | 24 GALV. WIRE TRELLIS WITH METAL FRAMING FOR CLIMBING PLANTS |
| 5 PARAPET. | 15 PARAPET RIGID FOAM WITH STUCCO FINISH | 25 WINDOWS |
| 6 COVERED LOADING AREA. | 16 FAUX DOORS | 26 ELEVATOR DOOR ACCESS |
| 7 STOREFRONT WINDOWS | 17 TRASH | 27 STANDING SEAM METAL ROOF |
| 8 STORAGE UNIT ROLL-UP DOOR | 18 CLICK2 ENTER TRANSPONDER LOCATION WITH KNOX KEY BOX. | 28 SECURITY FENCING |
| 9 DOOR ACCESS TO STORAGE UNITS | 19 FAUX WINDOW | 29 METAL GUTTER |
| 10 OFFICE ENTRANCE | 20 METAL CANOPY | 30 PLANTER |

BATAVIA SELF-STORAGE PRELIMINARY EXT. ELEVATIONS

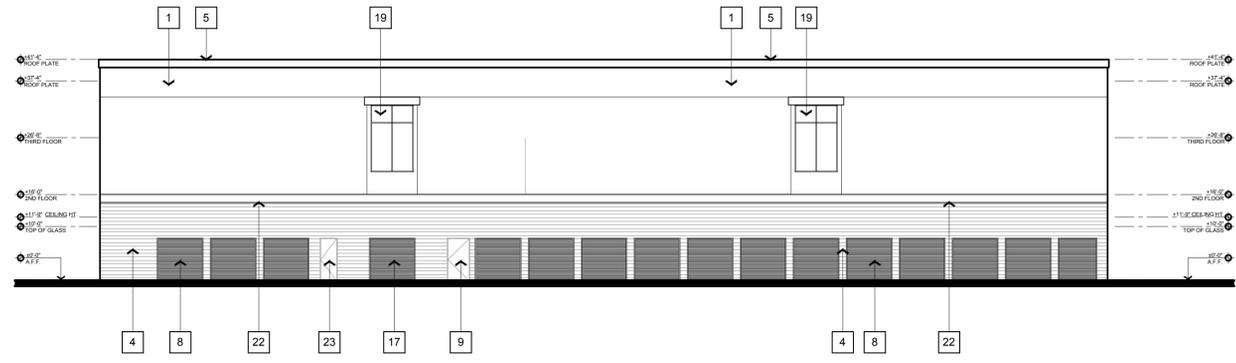
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SCHEME L A3.0

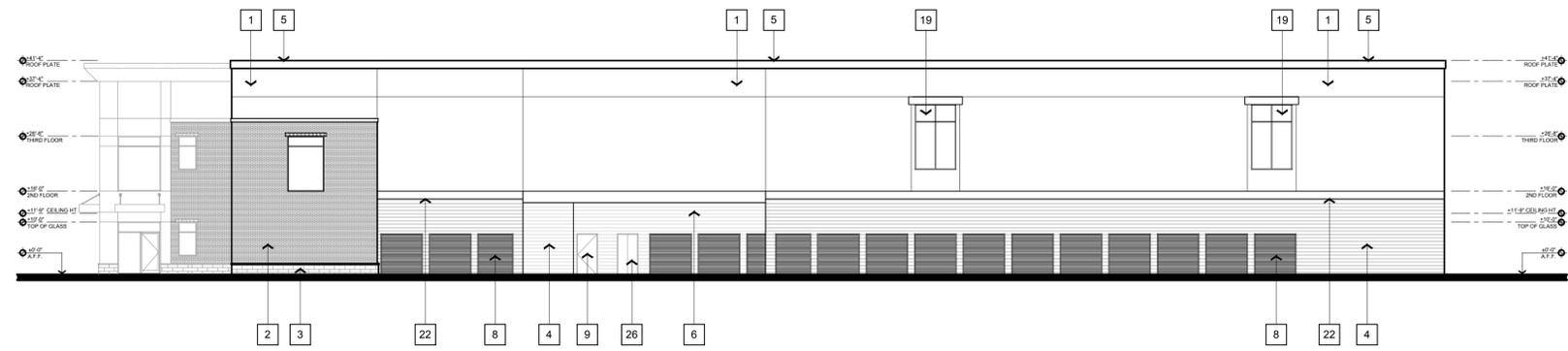
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JOB NUMBER: 21-710
SCALE: 1/16"=1'-0"
DATE: 10/05/2023

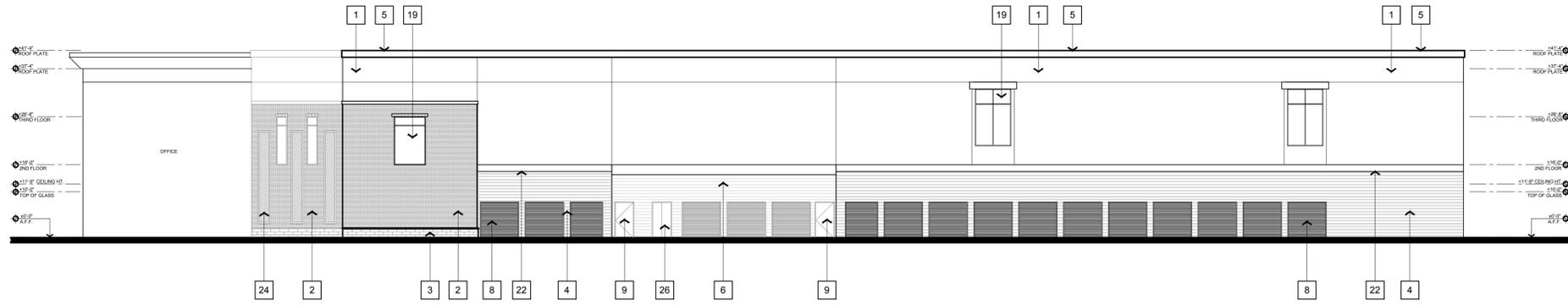
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SAN CLEMENTE, CA 92672
949.388.8090



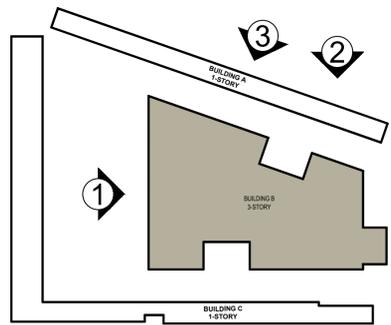
BLDG B - WEST ELEVATION ①
1/16"=1'-0"



BLDG B - TRUE NORTH ELEVATION ②
1/16"=1'-0"



BLDG B - NORTH ELEVATION ③
1/16"=1'-0"



KEY PLAN ④
N/A

NOTES:

- . WALL PACKS WILL BE PROVIDED BY ELECTRICAL ENGINEER CALCULATIONS FOR LIGHTING REQUIREMENTS.
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KEYNOTES:

- | | | |
|---|---|--|
| 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL | 11 N/A | 21 PEDESTRIAN ACCESS |
| 2 BRICK | 12 ELECTRICAL ROOM | 22 BREAK METAL |
| 3 LIME STONE | 13 FIRE RISER ROOM - KNOX KEY BOX WILL BE PROVIDED. | 23 STAIR ACCESS |
| 4 DECORATIVE CMU BLOCK | 14 14'-0" CLEAR ENTRY/EXIT METAL SWING GATE | 24 GALV. WIRE TRELLIS WITH METAL FRAMING FOR CLIMBING PLANTS |
| 5 PARAPET. | 15 PARAPET RIGID FOAM WITH STUCCO FINISH | 25 WINDOWS |
| 6 COVERED LOADING AREA. | 16 FAUX DOORS | 26 ELEVATOR DOOR ACCESS |
| 7 STOREFRONT WINDOWS | 17 TRASH | 27 STANDING SEAM METAL ROOF |
| 8 STORAGE UNIT ROLL-UP DOOR | 18 CLICK2 ENTER TRANSPONDER LOCATION WITH KNOX KEY BOX. | 28 SECURITY FENCING |
| 9 DOOR ACCESS TO STORAGE UNITS | 19 FAUX WINDOW | 29 METAL GUTTER |
| 10 OFFICE ENTRANCE | 20 METAL CANOPY | 30 PLANTER |

BATAVIA SELF-STORAGE PRELIMINARY EXT. ELEVATIONS

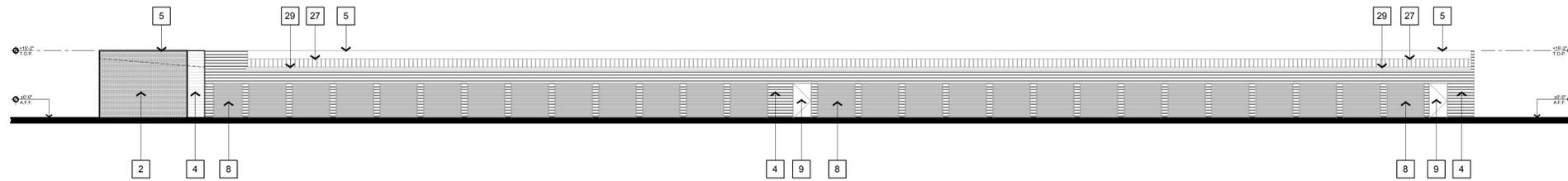
630 N BATAVIA ST, ORANGE, CA 92864

SCHEME L A3.1

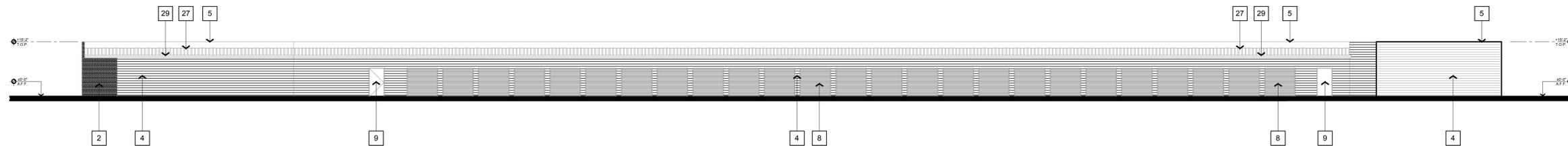
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JOB NUMBER: 21-710
SCALE: 1/16"=1'-0"
DATE: 10/05/2023

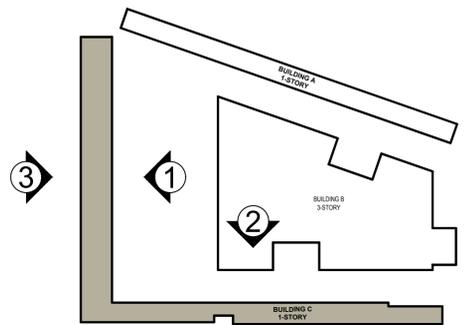
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131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090



BLDG C - WEST ELEVATION ①
1/16"=1'-0"



BLDG C - NORTH ELEVATION ②
1/16"=1'-0"



KEY PLAN ⑤
N/A



BLDG C - EAST ELEVATION ③
1/16"=1'-0"



BLDG C - SOUTH ELEVATION ④
1/16"=1'-0"

NOTES:

- . WALL PACKS WILL BE PROVIDED BY ELECTRICAL ENGINEER CALCULATIONS FOR LIGHTING REQUIREMENTS.
- . NO AWNINGS. CANOPIES AS DESIGNED WILL BE METAL STRUCTURES WITH CONNECTING RODS. THIS WILL NEED TO BE DESIGNED BY STRUCTURAL ENGINEER CONSULTANT. A PROCESS TYPICALLY COMPLETE AT CONSTRUCTION DRAWINGS PHASE.
- . VINES DETAILS. WILL BE PROVIDED IN CONSTRUCTION DOCUMENTS.

KEYNOTES:

- | | | |
|---|---|--|
| 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL | 11 N/A | 21 PEDESTRIAN ACCESS |
| 2 BRICK | 12 ELECTRICAL ROOM | 22 BREAK METAL |
| 3 LIME STONE | 13 FIRE RISER ROOM - KNOX KEY BOX WILL BE PROVIDED. | 23 STAIR ACCESS |
| 4 DECORATIVE CMU BLOCK | 14 14'-0" CLEAR ENTRY/EXIT METAL SWING GATE | 24 GALV. WIRE TRELLIS WITH METAL FRAMING FOR CLIMBING PLANTS |
| 5 PARAPET. | 15 PARAPET RIGID FOAM WITH STUCCO FINISH | 25 WINDOWS |
| 6 COVERED LOADING AREA. | 16 FAUX DOORS | 26 ELEVATOR DOOR ACCESS |
| 7 STOREFRONT WINDOWS | 17 TRASH | 27 STANDING SEAM METAL ROOF |
| 8 STORAGE UNIT ROLL-UP DOOR | 18 CLICK2 ENTER TRANSPONDER LOCATION WITH KNOX KEY BOX. | 28 SECURITY FENCING |
| 9 DOOR ACCESS TO STORAGE UNITS | 19 FAUX WINDOW | 29 METAL GUTTER |
| 10 OFFICE ENTRANCE | 20 METAL CANOPY | 30 PLANTER |

BATAVIA SELF-STORAGE PRELIMINARY EXT. ELEVATIONS

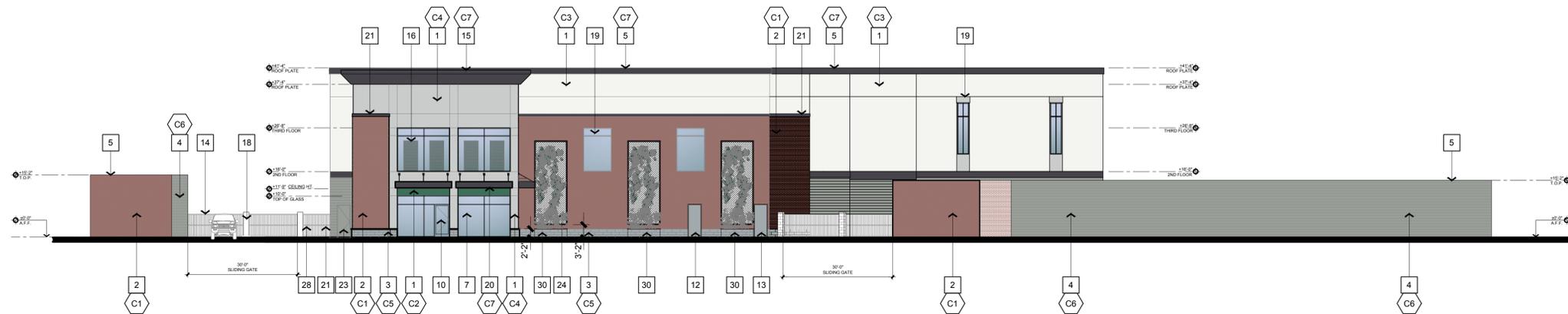
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SCHEME L A3.3

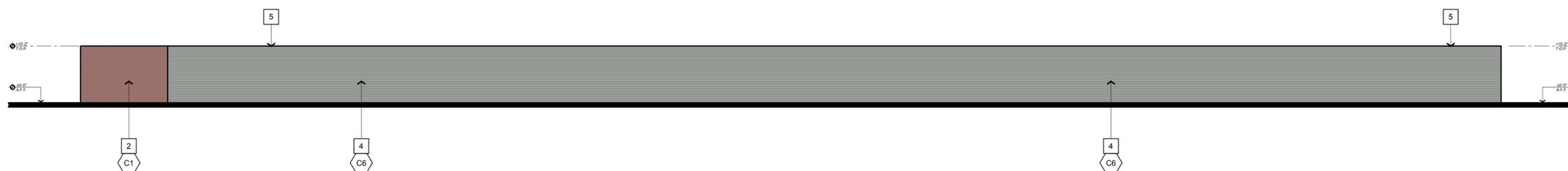
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SCALE: 1/16"=1'-0"
DATE: 10/05/2023

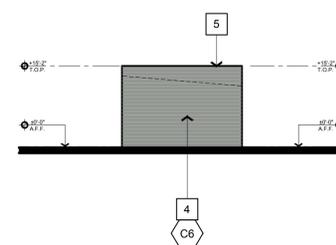




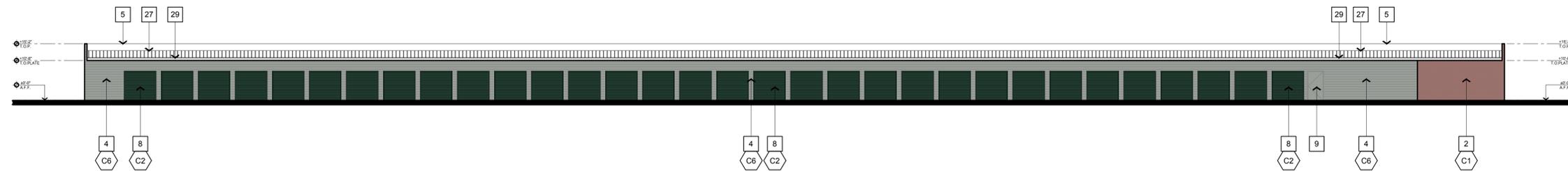
BLDG C/B/A - OVERALL EAST ELEVATION ①
1/16"=1'-0"



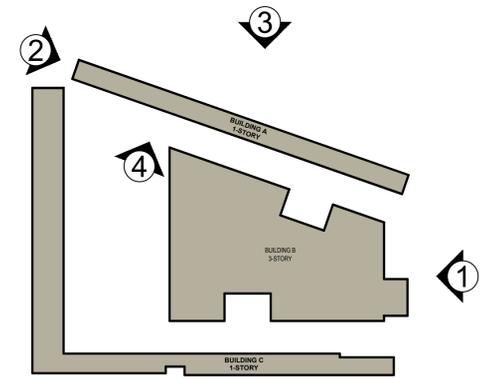
BLDG A - NORTH ELEVATION ③
1/16"=1'-0"



BLDG A - WEST ELEVATION ②
1/16"=1'-0"



BLDG A - SOUTH ELEVATION ④
1/16"=1'-0"



KEY PLAN ⑤
N/A

- KEYNOTES:**
- 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL
 - 2 BRICK
 - 3 LIME STONE
 - 4 DECORATIVE CMU BLOCK
 - 5 PARAPET.
 - 6 COVERED LOADING AREA.
 - 7 STOREFRONT WINDOWS
 - 8 STORAGE UNIT ROLL-UP DOOR
 - 9 DOOR ACCESS TO STORAGE UNITS
 - 10 OFFICE ENTRANCE

- 11 N/A
- 12 ELECTRICAL ROOM
- 13 FIRE RISER ROOM - KNOX KEY BOX WILL BE PROVIDED.
- 14 14'-0" CLEAR ENTRY/EXIT METAL SWING GATE
- 15 PARAPET RIGID FOAM WITH STUCCO FINISH
- 16 FAUX DOORS
- 17 TRASH
- 18 CLICK2 ENTER TRANSPONDER LOCATION WITH KNOX KEY BOX.
- 19 FAUX WINDOW
- 20 METAL CANOPY

- 21 PEDESTRIAN ACCESS
- 22 BREAK METAL
- 23 STAIR ACCESS
- 24 GALV. WIRE TRELLIS WITH METAL FRAMING FOR CLIMBING PLANTS
- 25 WINDOWS
- 26 ELEVATOR DOOR ACCESS
- 27 STANDING SEAM METAL ROOF
- 28 SECURITY FENCING
- 29 METAL GUTTER
- 30 PLANTER

COLOR LEGEND:

 C1 USED BRICK MANUFACTURER: ORCO BLOCK COLOR: USED BRICK (LRV 62)	 C4 STUCCO MANUFACTURER: OMEGA 35-CLOUD	 C7 PAINT MANUFACTURER: DUNN EDWARDS DE 6385-BLACK BEAN
 C2 PAINT MANUFACTURER: DUNN EDWARDS DEFD 36-VERDIGRIS GREEN	 C5 STONE MANUFACTURER: EL DORADO STONE NICKEL-ZEN 24	
 C3 STUCCO MANUFACTURER: OMEGA 242-MIST	 C6 MASONRY DECORATIVE BLOCK MANUFACTURER: ORCO BLOCK STERLING MW-PRECISION	

NOTES:

- WALL PACKS WILL BE PROVIDED BY ELECTRICAL ENGINEER CALCULATIONS FOR LIGHTING REQUIREMENTS.
- NO AWNINGS. CANOPIES AS DESIGNED WILL BE METAL STRUCTURES WITH CONNECTING RODS. THIS WILL NEED TO BE DESIGNED BY STRUCTURAL ENGINEER CONSULTANT. A PROCESS TYPICALLY COMPLETE AT CONSTRUCTION DRAWINGS PHASE.
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BATAVIA SELF-STORAGE

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SCHEME L A3.4

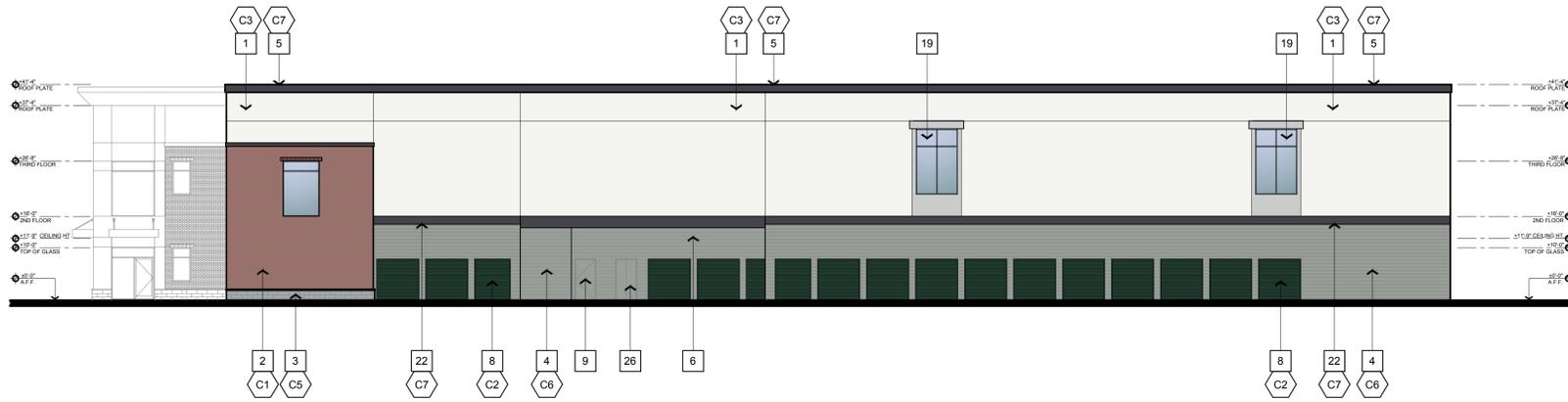
COLOR EXT. ELEVATIONS

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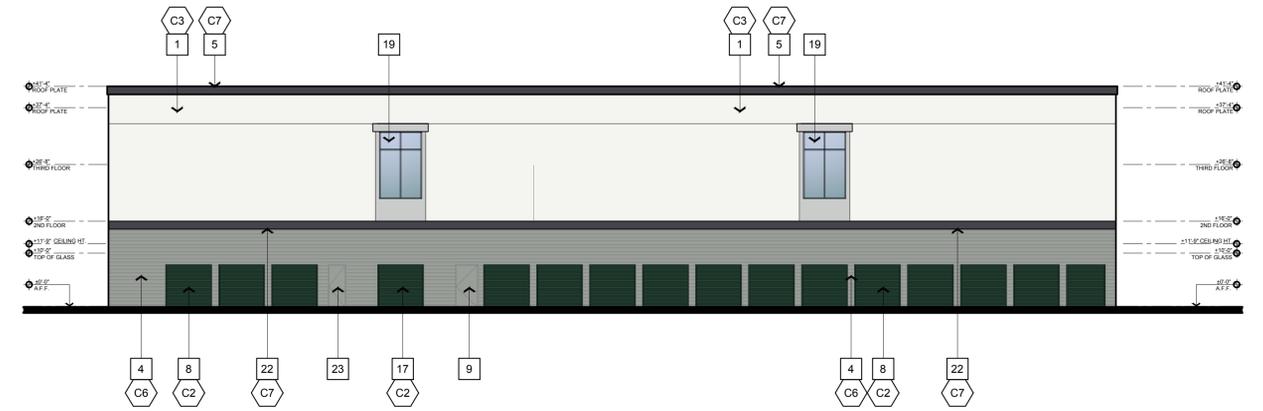
JOB NUMBER: 21-710
SCALE: 1/16"=1'-0"
DATE: 10/05/2023



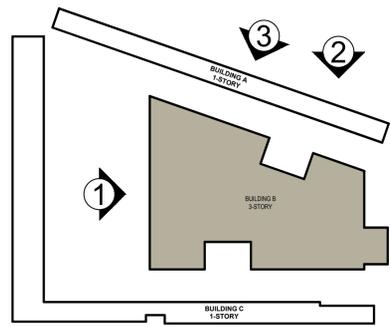
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SAN CLEMENTE, CA 92672
949.388.8090



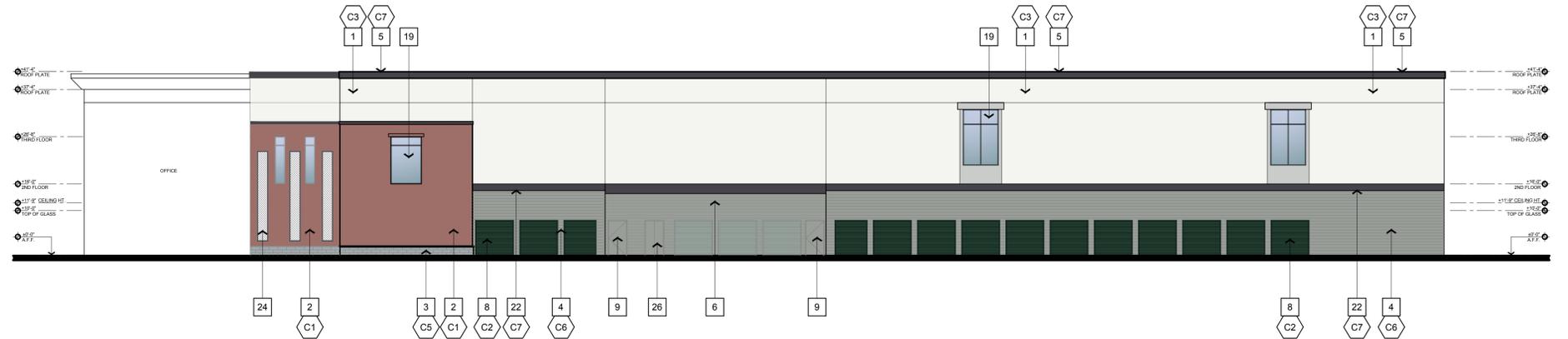
BLDG B - TRUE NORTH ELEVATION ②
1/16"=1'-0"



BLDG B - EAST ELEVATION ①
1/16"=1'-0"



KEY PLAN ④
N/A



BLDG B - NORTH ELEVATION ③
1/16"=1'-0"

KEYNOTES:

- | | | |
|---|---|--|
| 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL | 11 N/A | 21 PEDESTRIAN ACCESS |
| 2 BRICK | 12 ELECTRICAL ROOM | 22 BREAK METAL |
| 3 LIME STONE | 13 FIRE RISER ROOM - KNOX KEY BOX WILL BE PROVIDED. | 23 STAIR ACCESS |
| 4 DECORATIVE CMU BLOCK | 14 14'-0" CLEAR ENTRY/EXIT METAL SWING GATE | 24 GALV. WIRE TRELLIS WITH METAL FRAMING FOR CLIMBING PLANTS |
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| 10 OFFICE ENTRANCE | 20 METAL CANOPY | 30 PLANTER |

COLOR LEGEND:

- | | | |
|---|--|--|
| C1 USED BRICK MANUFACTURER: ORCO BLOCK COLOR: USED BRICK (LRV 62) | C4 STUCCO MANUFACTURER: OMEGA 35-CLOUD | C7 PAINT MANUFACTURER: DUNN EDWARDS DE 6385-BLACK BEAN |
| C2 PAINT MANUFACTURER: DUNN EDWARDS DEF2 36-VERDIGRIS GREEN | C5 STONE MANUFACTURER: EL DORADO STONE NICKEL-ZEN 24 | |
| C3 STUCCO MANUFACTURER: OMEGA 242-MIST | C6 MASONRY DECORATIVE BLOCK MANUFACTURER: ORCO BLOCK STERLING MW-PRECISION | |

NOTES:

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- VINES DETAILS, WILL BE PROVIDED IN CONSTRUCTION DOCUMENTS.

BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

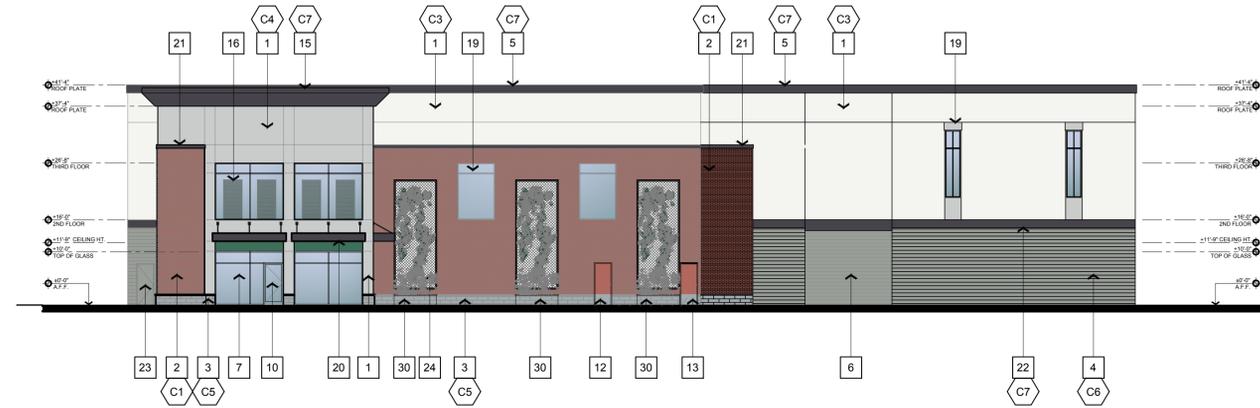
SCHEME L A3.5

COLOR EXT. ELEVATIONS

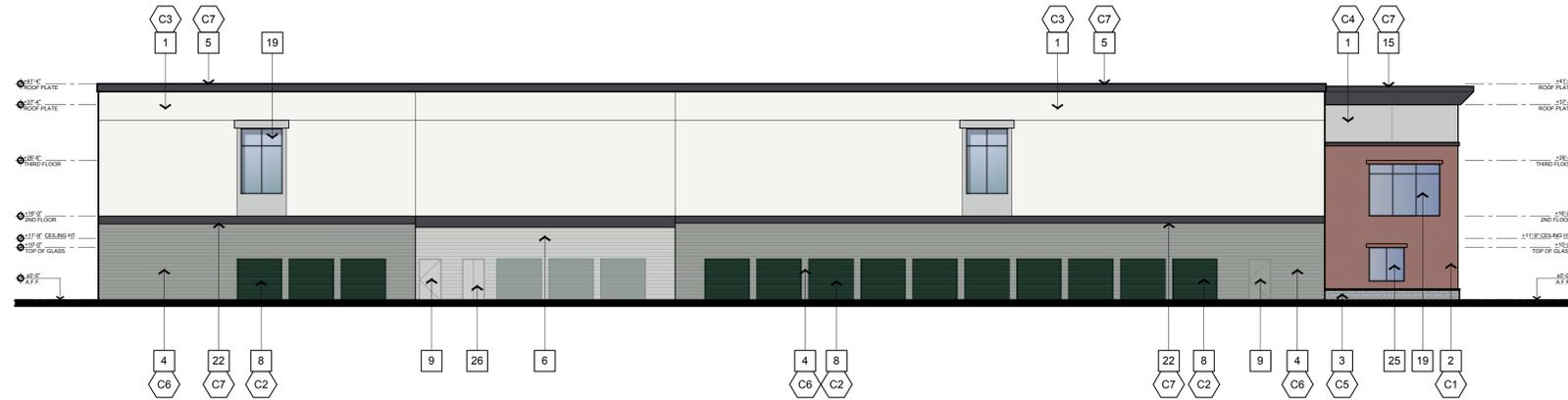
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SCALE: 1/16"=1'-0"
DATE: 10/05/2023

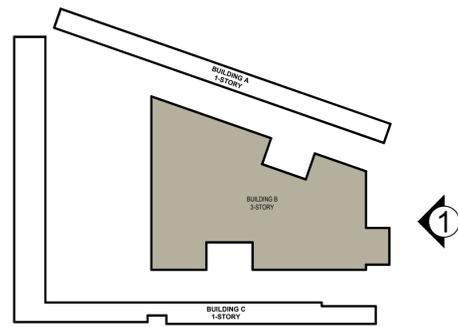




BLDG B - WEST ELEVATION ①
1/16"=1'-0"



BLDG B - SOUTH ELEVATION ③
1/16"=1'-0"



KEY PLAN ③
N/A

KEYNOTES:

- | | | |
|---|---|--|
| 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL | 11 N/A | 21 PEDESTRIAN ACCESS |
| 2 BRICK | 12 ELECTRICAL ROOM | 22 BREAK METAL |
| 3 LIME STONE | 13 FIRE RISER ROOM - KNOX KEY BOX WILL BE PROVIDED. | 23 STAIR ACCESS |
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| 10 OFFICE ENTRANCE | 20 METAL CANOPY | 30 PLANTER |

COLOR LEGEND:

- | | | |
|---|--|--|
| C1 USED BRICK MANUFACTURER: ORCO BLOCK COLOR: USED BRICK (LRV 62) | C4 STUCCO MANUFACTURER: OMEGA 35-CLOUD | C7 PAINT MANUFACTURER: DUNN EDWARDS DE 6385-BLACK BEAN |
| C2 PAINT MANUFACTURER: DUNN EDWARDS DEF2 36-VERDIGRIS GREEN | C5 STONE MANUFACTURER: EL DORADO STONE NICKEL-ZEN 24 | |
| C3 STUCCO MANUFACTURER: OMEGA 242-MIST | C6 MASONRY DECORATIVE BLOCK MANUFACTURER: ORCO BLOCK STERLING MW-PRECISION | |

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BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

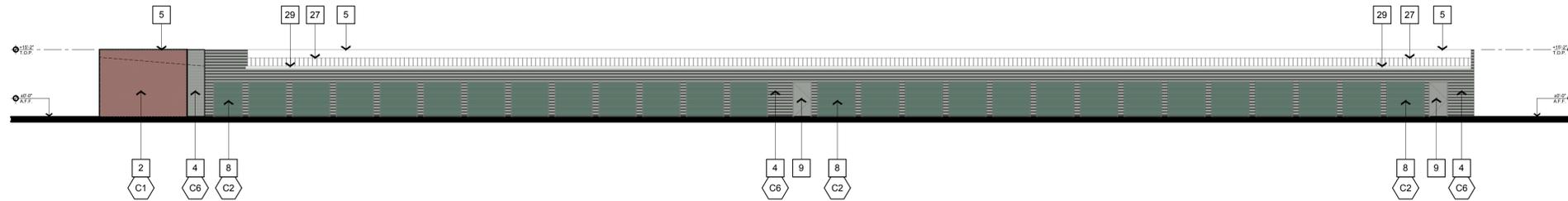
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COLOR EXT. ELEVATIONS

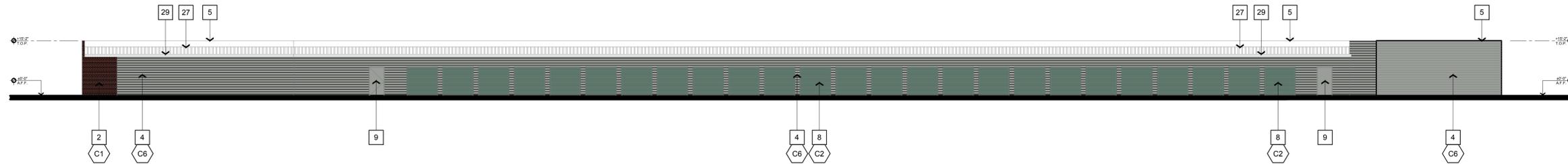
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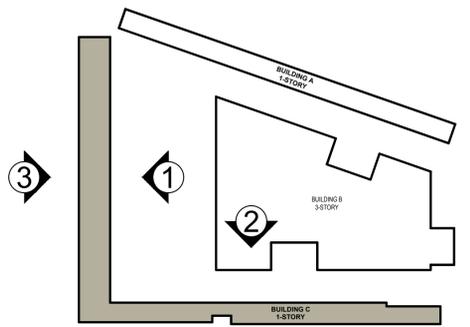
JORDAN ARCHITECTS
131 CALLE IGLESIA, SUITE 100
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949.388.8090



BLDG C - WEST ELEVATION ①
1/16"=1'-0"



BLDG C - NORTH ELEVATION ②
1/16"=1'-0"



KEY PLAN ⑤
N/A



BLDG C - EAST ELEVATION ③
1/16"=1'-0"



BLDG C - SOUTH ELEVATION ④
1/16"=1'-0"

KEYNOTES:

- | | | |
|---|---|--|
| 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL | 11 N/A | 21 PEDESTRIAN ACCESS |
| 2 BRICK | 12 ELECTRICAL ROOM | 22 BREAK METAL |
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| 10 OFFICE ENTRANCE | 20 METAL CANOPY | 30 PLANTER |

COLOR LEGEND:

- | | | |
|---|--|--|
| C1 USED BRICK MANUFACTURER: ORCO BLOCK COLOR: USED BRICK (LRV 62) | C4 STUCCO MANUFACTURER: OMEGA 35-CLOUD | C7 PAINT MANUFACTURER: DUNN EDWARDS DE 6385-BLACK BEAN |
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| C3 STUCCO MANUFACTURER: OMEGA 242-MIST | C6 MASONRY DECORATIVE BLOCK MANUFACTURER: ORCO BLOCK STERLING MW-PRECISION | |

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BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

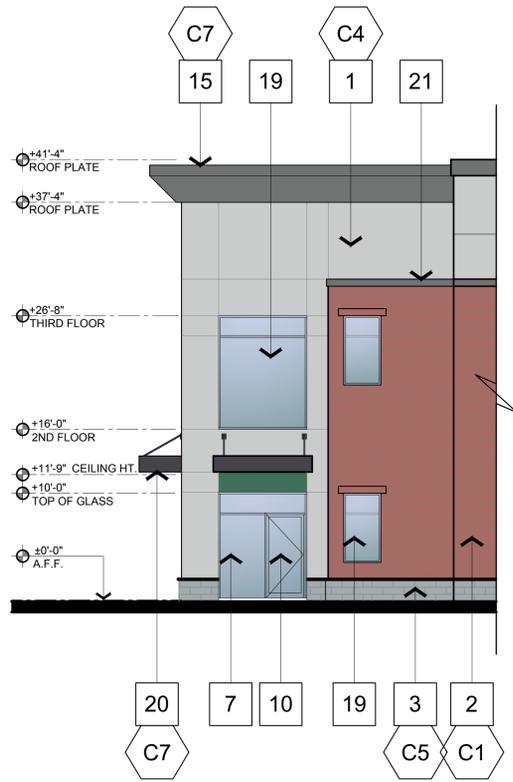
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COLOR EXT. ELEVATIONS

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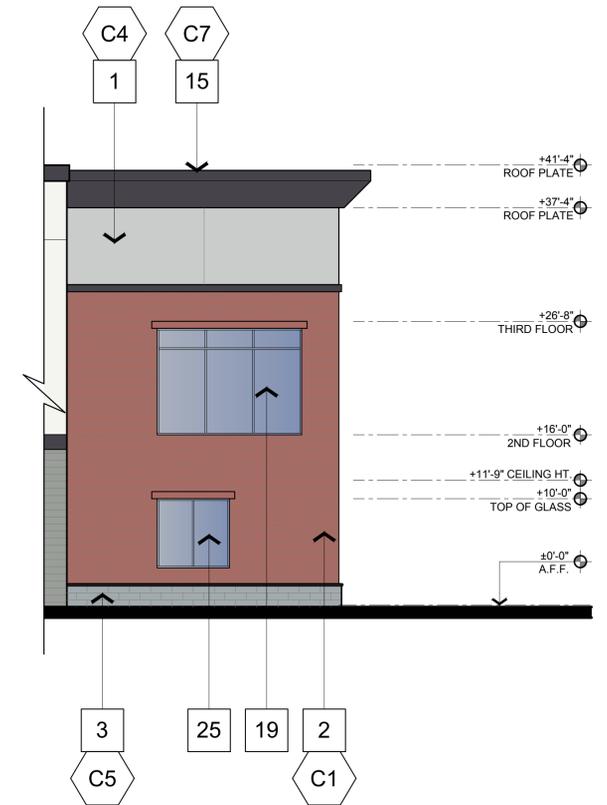
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131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090



OFFICE-NORTH ELEVATION ③
1/8"=1'-0"



OFFICE-EAST ELEVATION ②
1/8"=1'-0"

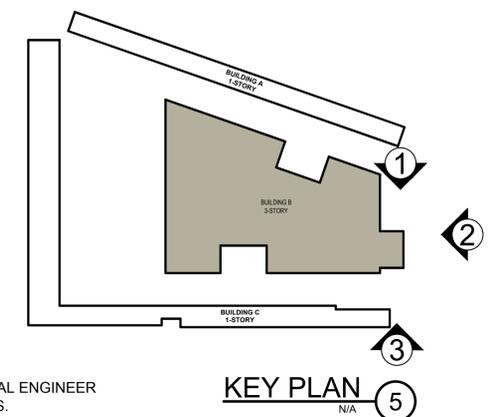


OFFICE-SOUTH ELEVATION ①
1/8"=1'-0"

- KEYNOTES:**
- | | | |
|---|---|--|
| 1 20/30 SAND FINISH STUCCO WITH GALV. EXPANSION METAL | 11 N/A | 21 PEDESTRIAN ACCESS |
| 2 BRICK | 12 ELECTRICAL ROOM | 22 BREAK METAL |
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| 9 DOOR ACCESS TO STORAGE UNITS | 19 FAUX WINDOW | 29 METAL GUTTER |
| 10 OFFICE ENTRANCE | 20 METAL CANOPY | 30 PLANTER |

- COLOR & MATERIAL LEGEND:**
- | | | |
|--|--|--|
| C1 USED BRICK
MANUFACTURER: ORCO BLOCK
COLOR: USED BRICK
(LRV 62) | C4 STUCCO
MANUFACTURER: OMEGA
35-CLOUD | C7 PAINT
MANUFACTURER: DUNN EDWARDS
DE 6385-BLACK BEAN |
| C2 PAINT
MANUFACTURER: DUNN EDWARDS
DEFD 36-VERDIGRIS GREEN | C5 STONE
MANUFACTURER: EL DORADO STONE
NICKEL-ZEN 24 | |
| C3 STUCCO
MANUFACTURER: OMEGA
242-MIST | C6 MASONRY DECORATIVE BLOCK
MANUFACTURER: ORCO BLOCK
STERLING MW-PRECISION | |

- NOTES:**
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 - VINES DETAILS. WILL BE PROVIDED IN CONSTRUCTION DOCUMENTS.



BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

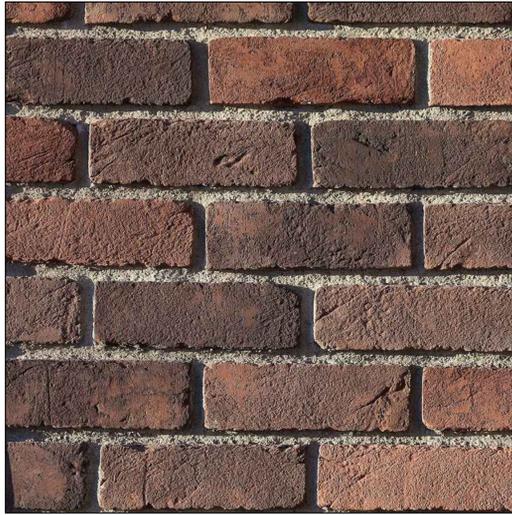
SCHEME L A3.8

COLOR EXT. ELEVATIONS

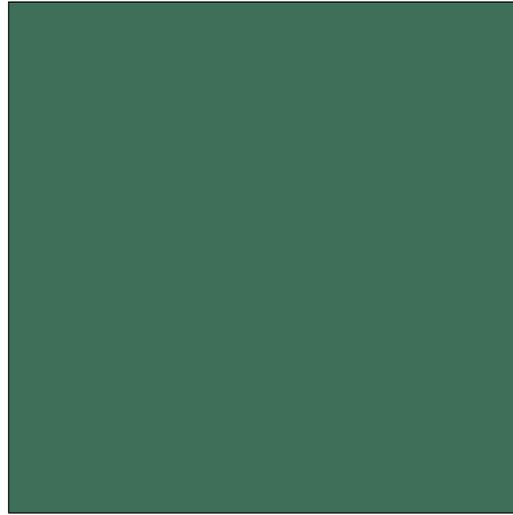
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JOB NUMBER: 21-710
SCALE: 1/16"=1'-0"
DATE: 10/05/2023

ja
JORDAN ARCHITECTS
131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090



C1 BRICK
MANUFACTURER: EL DORADO STONE
TUNDRA BRICK-HARTFORD



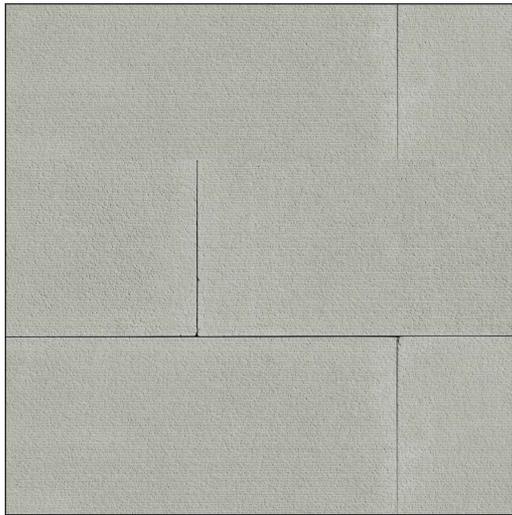
C2 PAINT
MANUFACTURER: DUNN EDWARDS
DEFD 36-VERDIGRIS GREEN



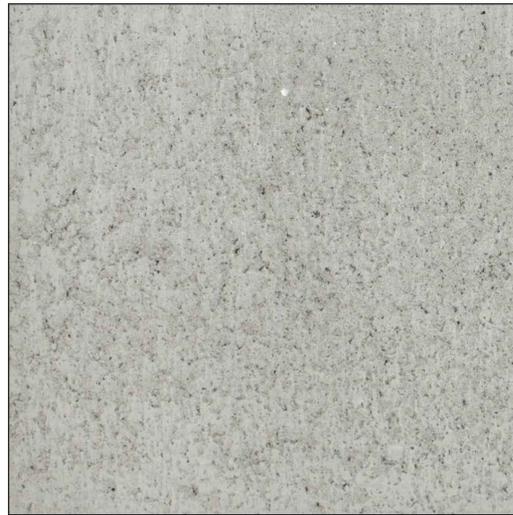
C3 STUCCO
MANUFACTURER: OMEGA
242-MIST



C4 STUCCO
MANUFACTURER: OMEGA
35-CLOUD



C5 STONE
MANUFACTURER: EL DORADO STONE
NICKEL-ZEN 24



C6 MASONRY DECORATIVE BLOCK
MANUFACTURER: ORCO BLOCK
STERLING MW-PRECISION



C7 PAINT
MANUFACTURER: DUNN EDWARDS
DE 6385-BLACK BEAN

BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

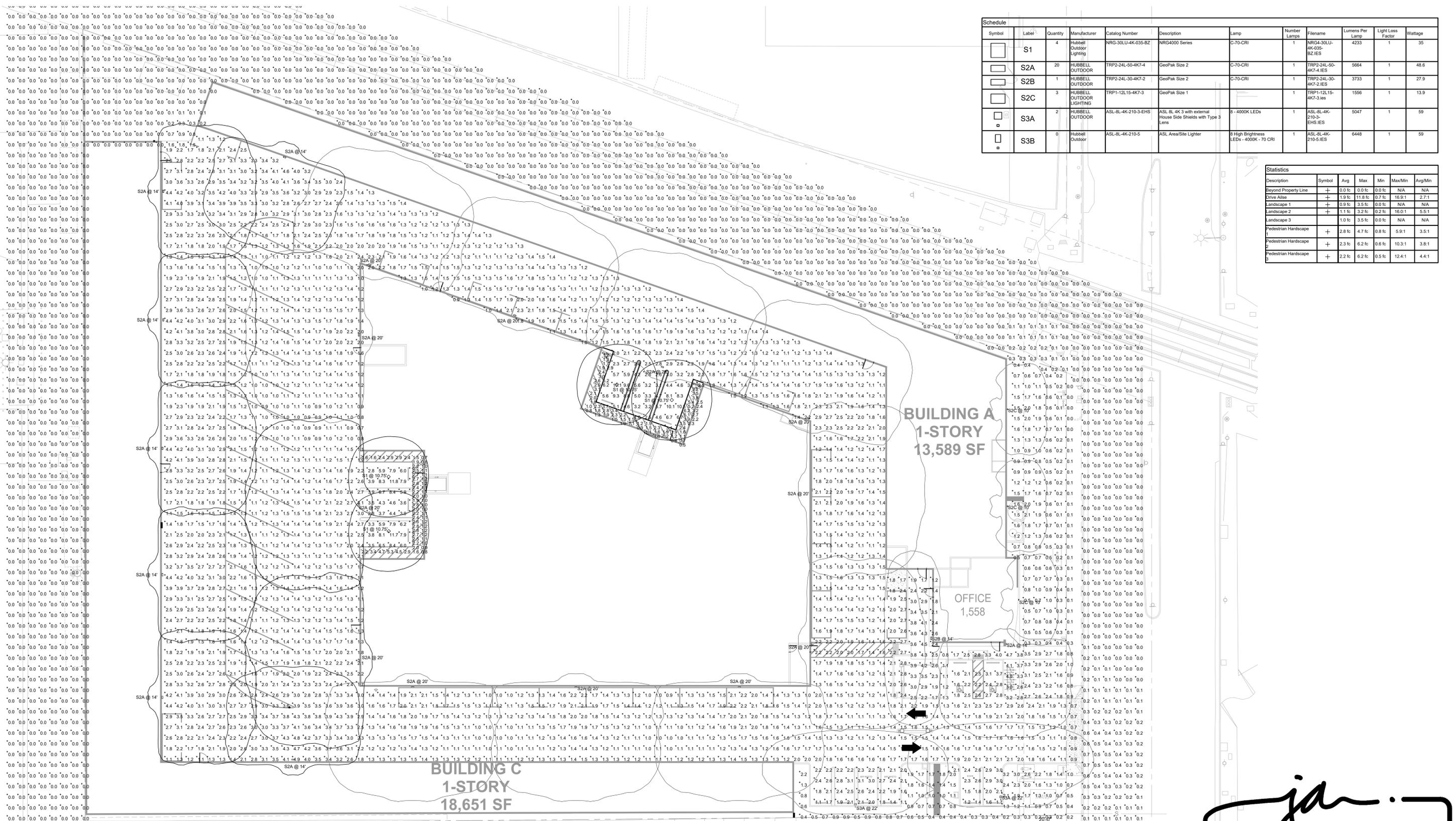
SCHEME L A3.9

COLOR & MATERIAL BOARD

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JOB NUMBER: 21-710
SCALE: 1/16"=1'-0"
DATE: 10/05/2023





Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	S1	4	HUBBELL Outdoor Lighting	NRG-30LU-4K-035-BZ	NRG4000 Series	C-70-CRI	1	NRG4-30LU-4K-035-BZ.IES	4233	1	35
[Symbol]	S2A	20	HUBBELL OUTDOOR	TRP2-24L-50-4K7-4	GeoPak Size 2	C-70-CRI	1	TRP2-24L-50-4K7-4.IES	5664	1	48.6
[Symbol]	S2B	1	HUBBELL OUTDOOR	TRP2-24L-30-4K7-2	GeoPak Size 2	C-70-CRI	1	TRP2-24L-30-4K7-2.IES	3733	1	27.9
[Symbol]	S2C	3	HUBBELL OUTDOOR LIGHTING	TRP1-12L15-4K7-3	GeoPak Size 1		1	TRP1-12L15-4K7-3.IES	1556	1	13.9
[Symbol]	S3A	2	HUBBELL OUTDOOR	ASL-8L-4K-210-3-EHS	ASL-8L-4K-3 with external House Side Shields with Type 3 Lens	8 - 4000K LEDs	1	ASL-8L-4K-210-3-EHS.IES	5047	1	59
[Symbol]	S3B	0	HUBBELL Outdoor	ASL-8L-4K-210-5	ASL Area/Site Lighter	8 High Brightness LEDs - 4000K - 70 CRI	1	ASL-8L-4K-210-5.IES	6448	1	59

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Drive Aisle	+	1.9 fc	11.8 fc	0.7 fc	16.9:1	2.7:1
Landscape 1	+	0.9 fc	3.5 fc	0.0 fc	N/A	N/A
Landscape 2	+	1.1 fc	3.2 fc	0.2 fc	16.0:1	5.5:1
Landscape 3	+	1.0 fc	3.5 fc	0.0 fc	N/A	N/A
Pedestrian Hardscape 1	+	2.8 fc	4.7 fc	0.8 fc	5.9:1	3.5:1
Pedestrian Hardscape 2	+	2.3 fc	6.2 fc	0.6 fc	10.3:1	3.8:1
Pedestrian Hardscape 3	+	2.2 fc	6.2 fc	0.5 fc	12.4:1	4.4:1

BATAVIA SELF-STORAGE

630 N. BATAVIA ST, ORANGE, CA 92864

EXTERIOR PHOTOMETRICS

ja
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 131 CALLE IGLESIA, SUITE 100
 SAN CLEMENTE, CA 92672
 949.388.8090

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JOB NUMBER: 21-710
 SCALE: 1/20" = 1' - 0"
 DATE: 03/18/2022

NRG®4000 SERIES LUMASQUARE® II LED	Cat.#		
	Job	Type	S1A
Approvals			

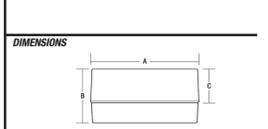
SPECIFICATIONS

Intended Use: Commercial indoor and outdoor surface-mount lowbay applications such as mechanical rooms, utility areas, outdoor retail, covered loading docks, or any medium to low mounting height application where an energy saving, high performance fixture is required. Saves 60-80% compared to traditional metal halide sources.

Construction: One-piece, injection-molded, clear prismatic acrylic refractor. High temperature acrylic for reduced yellowing, uniform light distribution and low glare. Fully gasketed for weatherproof/hugobond integrity. High transmittance acrylic featuring 82-84% efficiencies plus three times impact strength of standard acrylic. Stainless steel vandal-resistant screws standard.

Rugged, die-cast housing has a durable Lekrocolor® finish available in bronze, white, black and gray. Mounts over recessed J-box and features two convenient 1/2" side hubs for surface conduit mounting and an internal channel for thru wiring.

Optics/Electrical: Fixtures are designed for operating ambient temperatures of -40°C to 40°C. Two 0-10V dimming drivers, 120-277V, 50/60 Hz. Fixture available in 350 mA or 700 mA for increased lumen output. 10KA surge suppressor is included.



CERTIFICATIONS/LISTINGS

ORDERING INFORMATION - 10-DAY QUICK-SHIP

Catalog Number	System Watts	Delivered Lumens	Voltage	CCT	# Drivers/Current	Mounting Height	Weight lbs. (kg)	PKG. CODE
NRG-4-30LU-4K-035-BZ	35	4234	120-277V	4000K	1@350mA	up to 16 ft.	13.9 (6.3)	BC
NRG-4-30LU-4K-8Z	70	7504	121-277V	4000K	1@700mA	up to 16 ft.	13.9 (6.3)	BC
NRG-4-30LU-5K-035-BZ	35	4471	122-277V	5000K	1@350mA	up to 16 ft.	13.9 (6.3)	BC
NRG-4-30LU-5K-8Z	70	7727	123-277V	5000K	1@700mA	up to 16 ft.	13.9 (6.3)	BC

ORDERING INFORMATION - MADE TO ORDER

NRG-4 - 30L - U - [] - [] - []

FAMILY	LED COUNT	VOLTAGE	CCT	DRIVE CURRENT	FINISH
NRG-4 Lumasquare II	30L 30 LEDs	U 120V-277V	3K 3000K 4K 4000K 5K 5000K	BLANK 700mA 035 350mA	BZ Bronze WH White BL Black GR Gray

REPLACEMENT PART

Catalog Number	Description
800-3289-0100	Replacement refractor kit

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GEOPAK Series 1 SIZE 1 - TRP1/QSP1/RD1	DATE:	LOCATION:
	TYPE: S2C	PROJECT:
Approvals		

FEATURES

- GeoPak Series consists of three compact Geometric wall-packs shapes in four popular finishes
- "Normally On" emergency luminaire for architectural applications
- 12 high-power LEDs create 3115 lumens in AC and 658 lumens in emergency mode
- Environmentally friendly, long-life Lithium Iron Phosphate battery
- Standard Temperature Range: 0°C to 40°C, Optional Heater: -30°C to 40°C
- Zero uplight (UO), dark sky, neighbor friendly
- Wet Location Listed to UL924

RELATED PRODUCTS

RD2 GeoPak TRP2 GeoPak QSP2 GeoPak

CERTIFICATIONS/LISTINGS

SPECIFICATIONS

CONSTRUCTION

- Housing is made from die-cast aluminum with a hinged back-plate for ease of installation and maintenance
- The LED bezel and trim-plate are made of stainless steel
- Five powder coat standard finishes, plus custom color options
- Wet Location Listed to UL924 and UL1598 Standard

OPTICS

- 12 high power LEDs delivering up to 3,000 lumens
- Up to 118 lumens per watt
- Type II, III and IV distributions for a wide variety of applications
- Zero uplight (UO), dark sky, neighbor friendly

INSTALLATION

- Universal plate for mounting to standard 3 1/2" and 4" square electrical boxes. All connections are made from connections at the rear of the unit
- Optional back-box accessory available for surface conduit application. See BB-Geo accessories

KEY DATA

Lumen Range	1471-2942
Wattage Range	13.9-28.2
Efficacy Range (LPW)	95-118
Fixture Projected Life (Hours)	L70-345K
Weights lbs. (kg)	10.5-11.5 (4.8-5.2)

Page 15 Rev. 11/28/19 TRP1/RD1/QSP1 LED SPEC © 2019 Hubbell Outdoor Lighting, a division of Hubbell Lighting, Inc. Specifications subject to change without notice. 701 Millennium Blvd • Greenville, SC 29607 • Tel 864.678.1000 / Website www.hubbelloutdoor.com

GEOPAK SERIES SIZE 2 LED Architectural Wallpack TRP2/RD2/QSP2	Cat.#		
	Job	Type	S2A S2B
Approvals			

SPECIFICATIONS

Applications: Medium sized architectural wallpacks in three stylish shapes accentuate building architecture and provide excellent illumination and uniformity

Construction:

- Die-cast aluminum housing and door
- Seven powder coat standard finishes, plus custom color options

LEDS:

- 24 or 32 high power LEDs deliver up to 10,800 lumens
- Up to 146 lumens per watt
- Different lenses offer a variety of distribution patterns - Type I, II, III and IV (Forward Throw)
- 3000K - 70 CR, 4000K - 70 CRI, and 5000K - 70 CRI, CCT nominal

Electrical:

- Optional Dual Drivers & Dual Power Feeds for 50, 70 and 90 watt versions
- 120-277, 247 and 480 voltage, 50/60Hz
- Power factor ≥ 90%
- THD (Total Harmonic Distortion) <20%
- Ambient operating temperature -40°C to 40°C

Installation/Mounting:

- Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box). Fixture attaches by two Allen-head hidden fasteners for tamper resistance.
- Black box accessory available for surface conduit application
- Optional inverted/up mounting (must specify when ordering)

Options/Controls:

- Drivers are 0-10V dimming standard
- Photo-cell and occupancy sensor options available for complete on/off and dimming control

Universal button photocontrol for dusk to dawn energy savings

Occupancy sensor options available for complete on/off and dimming control

In addition, GeoPak Size 2 can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbelloutdoor.com/siteSync for more details

IP65 rated housing

DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org

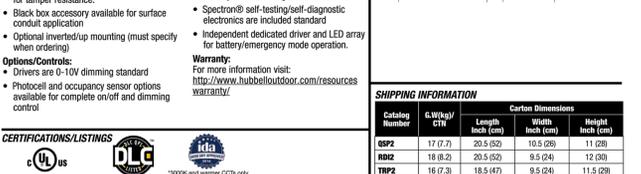
Zero uplight (UO), dark sky, neighbor friendly

Drivers IP66 and RoHS compliant

Battery Backup:

- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress.
- Includes a long-life Lithium Iron Phosphate battery with optional battery heater for cold temperature application.
- Utilizes 4 LEDs in emergency mode with 657 lumens. Each of the 4 LEDs in emergency are designed to function independently in the unlikely event of a single LED malfunction
- Spectron® self-testing/self-diagnostic electronics are included standard
- Independent dedicated driver and LED array for battery/emergency mode operation.

Warranty: For more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>



ORDERING INFORMATION ORDERING EXAMPLE: TRP2-24L30-3K7-2-UNV-0B

FAMILY	LEDS - WATTAGE	CCT	DISTRIBUTION	VOLTAGE	FINISH	CONTROL OPTIONS	OPTIONS
TRP2	24L-30 24 LEDs, 30 watts	3K7 3000K	1 Type I	UNV 120-277V	BL Black Textured	PD Button Photocontrol	SP Single Fuse & Fuse Holder
RD2	24L-30 24 LEDs, 30 watts	4K7 4000K	2 Type II	120 120V	DB Dark Bronze Textured	SCP Programmable occupancy sensor, factory default is 10% light output	DF Double Fuse & Fuse Holder
QSP2	QSP options	70CR 7000K	3 Type III	208 208V	GT Graphite Textured	SCP Sensor Control, On/Off	E Battery Pack (0°C)
	24L-30 24 LEDs, 30 watts	5K7 5000K	4 Type IV	240 240V	GYS Light Gray Smooth	SWP SiteSync Pre-Commission w/Occupancy Sensor	EHF Battery Pack (-30°C) with heater
	32L-30 32 LEDs, 90 watts	UNV 3478V	277 277V	487 480V	PS Platinum Silver Smooth	SPEC SCP/SCO & SWPM MOUNT HEIGHT	2DF Dual Drivers
		UNV 347V	277 277V	487 480V	WH White Textured	-BF Up to 8ft mount height -2OF Up to 20ft mount height	2PF Dual Power Feeds
					CC Custom Color		CS Comfort Shield

SECONDARY MOUNTING

BLANK Downlight Only
 NV Inverted/Up Mounting

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ASL LED SERIES AREA/SITE/ROAD LIGHTER	Cat.#		
	Job	Type	S3A
Approvals			

SPECIFICATIONS

Construction:

- Stylized vertically finned die-cast and extruded aluminum for maximum heat dissipation
- Separate optical and electrical compartment for improved thermal management and optimum component operation

EPA: 8L - 50W²
 16L - 82 W²
 24L - 74 W²

Optics:

- Premium engineered individual acrylic lenses deliver IES Type II, III, IV and V distributions
- Lens distributions are field rotatable (in 90° increments) or interchangeable for job site fine-tuning
- 3000K, 4000K, or 5000K (70 CRI) CCT
- Zero uplight

Electrical:

- Configured with 8, 16, or 24 High current and high output LEDs to replace 150, 250 and 400W HID respectively
- Universal 120-277 VAC input voltage, 50/60 Hz
- Single driver, 2100mA drive current
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 10KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes fixture off-line for protection when device is consumed

Controls:

- 0-10V dimming standard photocell, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming leads can be pulled for use with remote control devices, order as special

Installation:

- Tool-less entry to wiring/driver compartment
- Universal mounting block works with #2 drill pattern (See page 4 illustration)
- Fixture ships with slotted mounting block to accommodate wide range of drill patterns for easy retrofit opportunities (See page 4 illustration for dimensions)
- Must arm filter accessory or option available for 2-3/8" OD brackets

Finish:

- T502 Harmost polyester powder paint finish applied at nominal 2.5 mil thickness

Warranty: Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

Listings:

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org>
- Listed to UL 1598 and CSA C22.2#250 0-24 for wet locations and 40°C ambient temperatures
- IP65 optical assembly
- IDA approved



ORDERING INFORMATION - STOCK CONFIGURATIONS

Catalog Number	Description	Mtg.	Distribution	Wattage	# Drivers Drive Current	Voltage	CCT	Lumens	LPW	Weight lbs. (kg)
ASL-16L-3	Medium size 16 LED configuration, Dark Bronze	Arm	Type III	123	1@2100mA	120V-277V	4000K	11153	91	18 (8.16)
ASL-16L-4	Medium size 16 LED configuration, Dark Bronze	Arm	Type IV	123	1@2100mA	120V-277V	4000K	11417	93	18 (8.16)
ASL-24L-3	Large size 24 LED configuration, Dark Bronze	Arm	Type III	181	1@2100mA	120V-277V	4000K	16384	91	20 (9.07)
ASL-24L-4	Large size 24 LED configuration, Dark Bronze	Arm	Type IV	181	1@2100mA	120V-277V	4000K	16752	93	20 (9.07)

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BATAVIA SELF-STORAGE

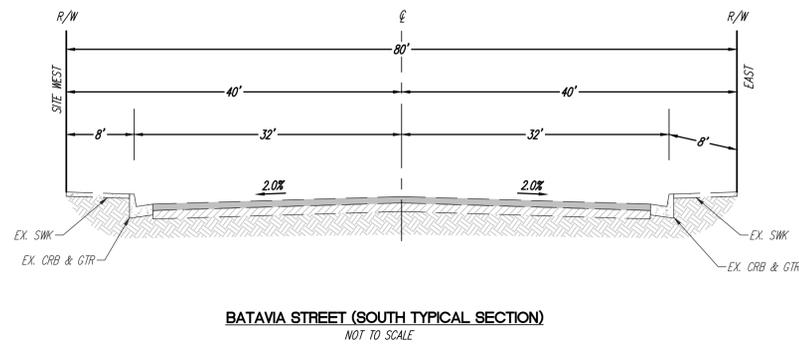
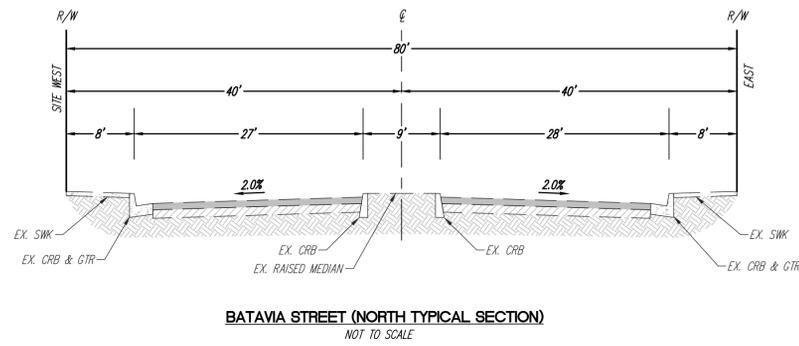
630 N. BATAVIA ST, ORANGE, CA 92864

PROPOSED FIXTURES

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JOB NUMBER: 21-710
 SCALE: NONE
 DATE: 03/18/2022





TITLE INFORMATION:

TITLE INFORMATION FOR THIS SURVEY BASED ON A PRELIMINARY REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY AS ORDER NO. 00155474-987-01-D4, EFFECTIVE DATE: JUNE 28, 2021.

VERTICAL BENCHMARK:

DESCRIPTION: ORANGE COUNTY REAL TIME NETWORK (OCRTN) CONTINUOUS GPS STATION (CGPS) "OCCCS".
ELEVATION: 221.220' (NAVD88 2006 ADJ)

LEGAL DESCRIPTION:

BEGINNING AT A POINT IN THE EAST LINE OF THE MARY C. THOMAS TRACT, AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 168 OF MISCELLANEOUS RECORDS OF LOS ANGELES COUNTY, CALIFORNIA, SAID POINT BEING DISTANT NORTH 0°06'40" WEST 342.79 FEET FROM THE NORTHWEST CORNER OF TRACT NO. 1450, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 62, PAGE 17 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE NORTH 0°06'40" WEST 779.19 FEET TO A POINT IN THE SOUTHERLY LINE OF THE RIGHT OF WAY OF THE SOUTHERN CALIFORNIA RAILROAD; NOW THE ATCHISON, TOPEKA AND SANTA FE RAILWAY COMPANY; THENCE SOUTH 70°44'00" EAST ALONG SAID SOUTHERLY RIGHT OF WAY LINE 532.03 FEET TO A POINT IN THE CENTERLINE OF BATAVIA STREET 66.00 FEET WIDE; THENCE SOUTH 0°06'30" WEST ALONG SAID CENTERLINE 600.13 FEET TO A POINT DISTANT NORTH 0°06'30" EAST 347.45 FEET FROM THE NORTHWEST CORNER OF RICHLAND FARM LOT NO. 27 AS SHOWN ON A MAP RECORDED IN BOOK 5, PAGE 123 OF MISCELLANEOUS RECORDS OF LOS ANGELES COUNTY, CALIFORNIA; THENCE SOUTH 89°35'55" WEST 499.60 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE SOUTH 407.54 FEET, SAID SOUTH 407.54 FEET BEING MEASURED ALONG BATAVIA STREET.

ALSO ACCEPTING THEREFROM THE WEST 7.00 FEET OF THE EAST 40 FEET AS DESCRIBED IN A DEED TO THE CITY OF ORANGE, RECORDED MARCH 1, 1965, IN BOOK 7429, PAGE 411, OFFICIAL RECORDS.

GRADING QUANTITIES:

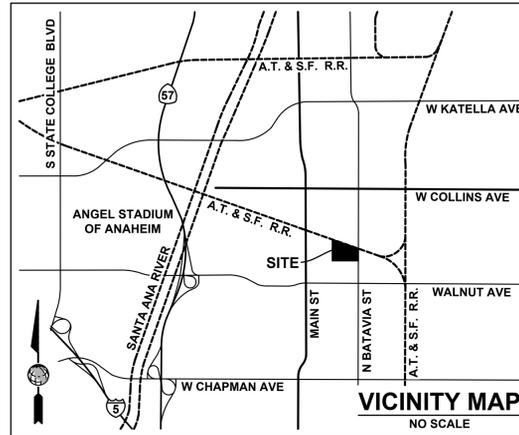
GRADED AREA	3.06 [ACRES]
MAX FILL	7.15 [FT]
MAX CUT	3.85 [FT]
FILL QUANTITIES	9,155 [CY]
CUT QUANTITIES	92 [CY]
UNDERCUT QUANTITIES	5,556 [CY]
IMPORT CONDITION	3,508 [CY]

ABBREVIATIONS:

AC	ASPHALT CONCRETE	LSCAPE	LANDSCAPE
ARCH	ARCHITECTURAL	MH	MANHOLE
B	BOLLARD	N	NORTH
BFP	BACK FLOW PREVENTER	P	PAVEMENT
BLDG	BUILDING	PIV	POST INDICATOR VALVE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
C.B.	CATCH BASIN	POC	POINT OF CONNECTION
CONC	CONCRETE	PP	PROPOSED
CRB	CURB	PROP	PROPOSED
E	EAST	PVT.	PRIVATE
ELEC	ELECTRICAL UTILITIES	RM	RM ELEVATION
E-OH	ELECTRICAL OVERHEAD	R/W	RIGHT-OF-WAY
EX	EXISTING	S	SOUTH
FDG	FIRE DEPARTMENT CONNECTION	SD	STORM DRAIN UTILITIES
FF	FINISH FLOOR	SDMH	STORM DRAIN MANHOLE
FG	FINISH GRADE	SMH	SEWER MANHOLE
FH	FIRE HYDRANT	SWR	SEWER
FL	FLOW LINE	SWK	SIDEWALK
FS	FIRE SERVICE	TC	TOP OF CURB
G	GAS FACILITIES	TW	TOP OF WALL
GTR	GUTTER	W	WEST
IE	INVERT ELEVATION	WM	WATER METER BOX
IRR	IRRIGATION	WTR	WATER
LP	LIGHT POLE	WV	WATER VALVE

PLOTTABLE EASEMENTS:

- RIGHTS TO THE PUBLIC TO ANY PORTION OF THE LAND LYING WITHIN THE AREA COMMONLY KNOWN AS BATAVIA ST.
- AN EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY PER BOOK 3673, PAGE 112 OF OFFICIAL RECORDS.
- EASEMENT TO SOUTHERN CALIFORNIA EDISON PER DOC. REC. IN BOOK 7042, PAGE 21 ON 05/12/1964
- EASEMENT TO SOUTHERN CALIFORNIA EDISON PER DOC. NO. 83-169913 REC. ON 04/22/1983



VICINITY MAP:

NO SCALE

OWNER:

SONID BATAVIA POINT, LLC
11150 SANTA MONICA BLVD. SUITE 700
LOS ANGELES, CA 90025
+1 (310) 929-8097

SITE ADDRESS:

630 NORTH BATAVIA STREET
ORANGE, CA 92868

ASSESSOR'S PARCEL NUMBER:

386-542-01

SOURCE OF TOPOGRAPHY:

TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMMETRIC MAPPING CONDUCTED BY AEROTECH MAPPING, INC. AS PHOTOGRAPHED ON OCTOBER 20, 2021. HORIZONTAL AND VERTICAL GROUND CONTROL WERE ESTABLISHED BY OMEGA LAND SURVEYING, INC. ON OCTOBER 19, 2021 WITH SUPPLEMENTAL DATA COLLECTED ON NOVEMBER 02, 2021.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF BATAVIA STREET AS SHOWN ON PARCEL MAP 82-760, FILED IN BOOK 172, PAGES 46-47 OF PARCEL MAP, SAID BEARING BEING "NORTH 0°07'30" EAST".

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM. ALL DISTANCES SHOWN ARE U.S. SURVEY FEET GROUND, UNLESS OTHERWISE NOTED.

SHEET INDEX:

NO.	DESCRIPTION
C1	TITLE SHEET
C2	CONCEPTUAL GRADING PLAN
C3	DMA MAP
C4	EXISTING SITE PLAN
C5	CONCEPTUAL SECTIONS

FLOOD ZONE:

F.E.M.A. FLOOD ZONE X PER RATE MAP NUMBER 06059C0161J

UNDERGROUND UTILITIES NOTE:

PER CITY OF ORANGE MUNICIPAL CODE SECTION 12.44.010: UTILITY LINES, NEW OFF-SITE DISTRIBUTION FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC, COMMUNICATIONS, STREET LIGHTING AND CABLE TELEVISION SHALL BE REQUIRED TO BE PLACED UNDERGROUND WITHIN ALL COMMERCIAL OR PROFESSIONAL DEVELOPMENTS, PLANNED RESIDENTIAL DEVELOPMENT AND RESIDENTIAL SUBDIVISIONS.

EXISTING LEGEND:

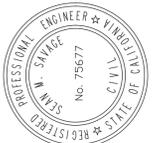
ITEM	SYMBOL
CENTERLINE	---
RIGHT-OF-WAY	---
EX. PROPERTY LINE	---
EX. CONTOUR	---
EX. SPOT ELEVATION	• 965.8'
EX. ELECTRICAL OR COMMUNICATIONS MANHOLE	⊙
EX. SANITARY SEWER & MANHOLE	⊙
EX. WATER	---
EX. FIRE HYDRANT ASSEMBLY	⊙
EX. CURB & GUTTER	---
EX. TREE	⊙
EX. POWER POLE	⊙
EX. AC BERM	---

PROPOSED LEGEND:

ITEM	SYMBOL
PROPOSED CONTOUR	---
PROPOSED PROPERTY LINE	---
PROPOSED FINISH FLOOR ELEVATION	FF=52.00
PROPOSED TOP OF CURB ELEVATION	374.00TC
PROPOSED PAVEMENT ELEVATION	374.00P
PROPOSED FLOWLINE ELEVATION	374.00FL
PROPOSED FINISHED GRADE ELEVATION	374.00FG
PROPOSED GRADIENT	1.75%
PROPOSED CURB (PVT)	---
PROPOSED PCC SIDEWALK (PUB)	---
PROPOSED AC PAVEMENT (HEAVY) (PVT)	---
PROPOSED DRIVEWAY (PUBLIC)	---
PROPOSED STORM DRAIN (PVT)	---
PROPOSED WATER LATERAL (PVT)	---
PROPOSED BFP (PVT)	---
PROPOSED FDC/PIV (PVT)	---
PROPOSED DOMESTIC WATER POINT OF CONNECTION	---
PROPOSED FIRE POINT OF CONNECTION	---
PROPOSED IRRIGATION POINT OF CONNECTION	---
PROPOSED SEWER POINT OF CONNECTION	---
PROPOSED SEWER LATERAL (PVT)	---
PROPOSED SEWER CLEANOUT (PVT)	---
PROPOSED BUILDING FOOTPRINT	---
PROPOSED STORM DRAIN STRUCTURE (PVT)	---
PROPOSED 4' WIDE RIBBON GUTTER (PVT)	---
PROPOSED BROW DITCH (PVT)	---
PROPOSED FIRE HYDRANT ASSEMBLY (PVT)	---
PROPOSED RIP RAP ENERGY DISSIPATER (PVT)	---
PROPOSED MODULAR WETLAND SYSTEM (PVT)	---
PROPOSED EARTHEN SWALE (PVT)	---
PROPOSED STEM WALL (PVT)	---



DATE
SEAN M. SAWAGE R.C.E. 75677



BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

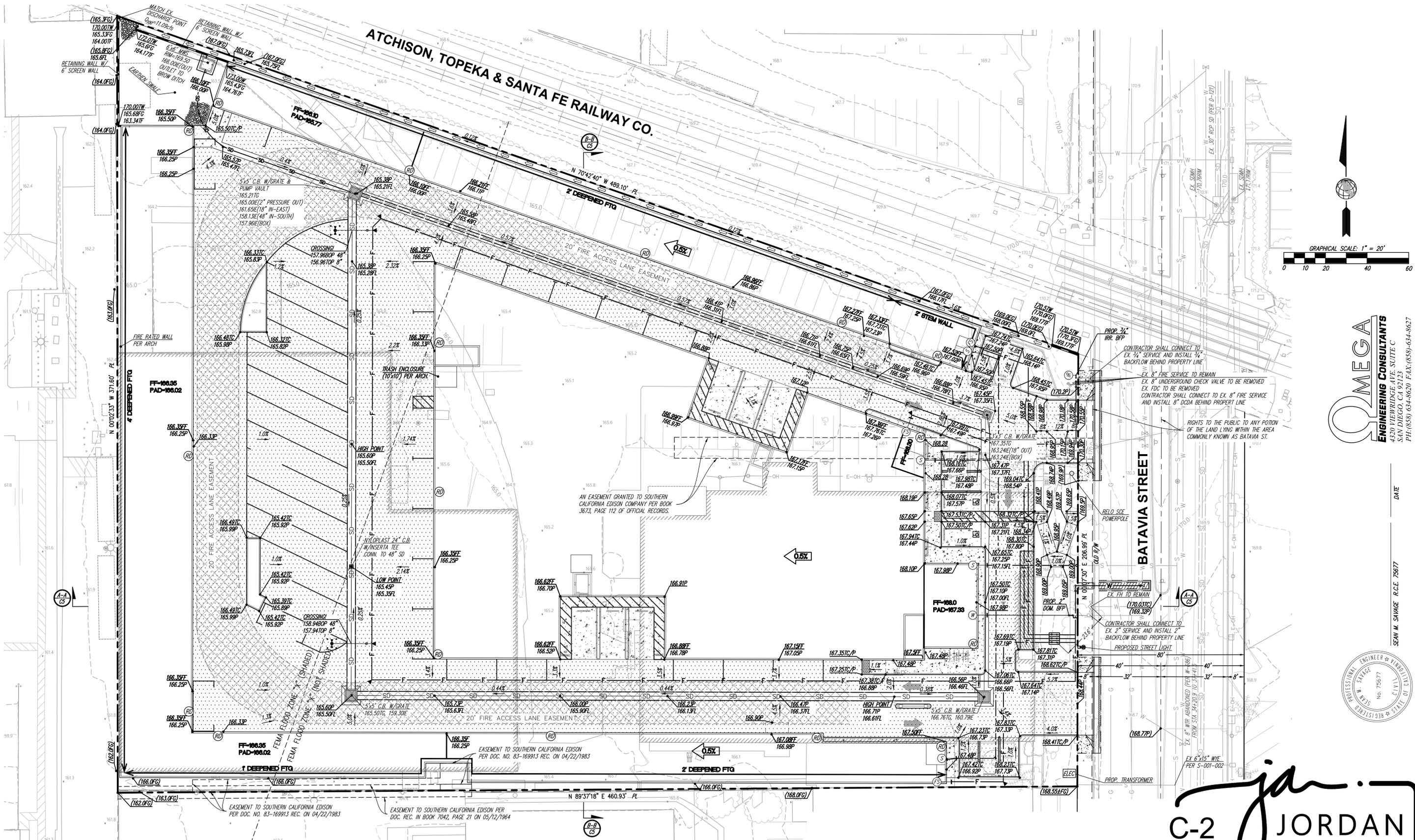
TITLE SHEET

C-1

JORDAN ARCHITECTS
131 CALLE IGLESIA, SUITE 100
SAN CLEMENTE, CA 92672
949.388.8090

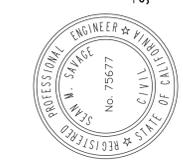
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JOB NUMBER: 21-710
DATE: 08/21/2023



OMEGA
 ENGINEERING CONSULTANTS
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 SAN DIEGO, CA 92123
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SEAN M. SAWAGE R.G.E. 75677
 DATE



BATAVIA SELF-STORAGE

630 N BATAVIA ST, ORANGE, CA 92864

CONCEPTUAL GRADING

ja
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JOB NUMBER: 21-710
 DATE: 10/05/2023

SITE SPECIFIC DATA	
PROJECT NUMBER	
PROJECT NAME	
PROJECT LOCATION	
STRUCTURE ID	
TREATMENT REQUIRED	
TREATMENT FLOW (CFS)	
NOTES	

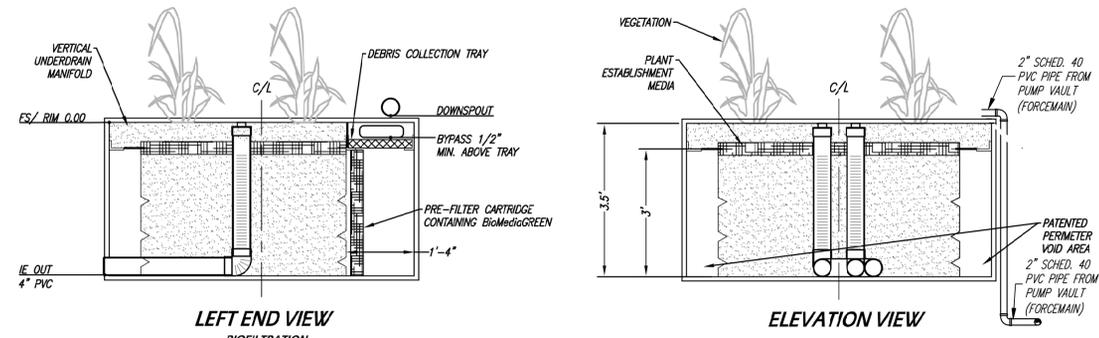
	FG-MWS-L-6-6-3.5
TREATMENT FLOW (CFS)	0.12
Vault Height (FT)	3.5
MAX OPERATING HEAD (FT)	3.0
WETLAND MEDIA VOLUME (CY)	2.37
WETLAND MEDIA LOADING RATE (GPM/ST)	1.0
ORIFICE SIZE (DIA. INCHES)	1.61

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS INSTALLING ON A PAVED SURFACE, OR A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
- DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.



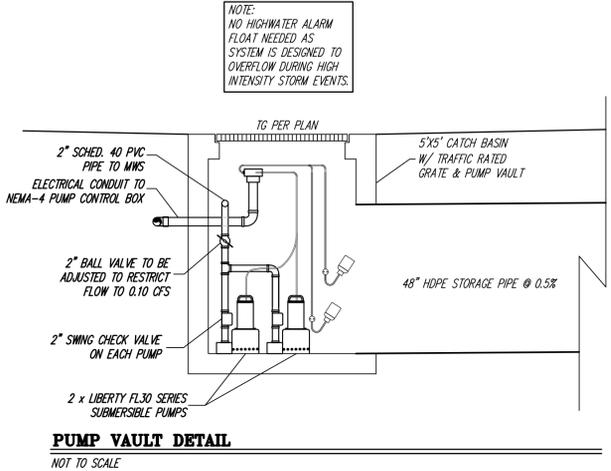
BIOCLEAN MODULAR WETLAND SYSTEMS MODEL MWS-L-6-6-3.5
 NOT TO SCALE

THE PRODUCT DESCRIBED MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING US PATENTS: 7,452,992; 7,470,150; 7,524,376; 8,363,816; RELATED FOREIGN PATENTS OR OTHER PATENTS PENDING.

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BioClean
A Forterra Company

FIBERGLASS MWS LINEAR STORMWATER BIOFILTRATION SYSTEM
FG-MWS-L-6-6-3.5



PUMP VAULT DETAIL
NOT TO SCALE

SOURCE CONTROL BMP NOTES

- ALL APPLICABLE SOURCE CONTROL BMPs SHALL BE UTILIZED
- ALL ONSITE INLETS TO BE MARKED "NO DUMPING" OR SIMILAR AND ALL OPERATIONAL PRECAUTIONS TO AVOID NON STORM WATER DISCHARGE SHALL BE FOLLOWED PER THE CITY'S BMP DESIGN MANUAL.
 - PROPOSED REFUSE AREA WILL REMAIN COVERED AND PROTECTED FROM WIND DISPERSAL. SIGNS SHALL BE PLACED WITH WORDS "DO NOT DUMP HAZARDOUS MATERIALS OR LIQUIDS HERE" OR SIMILAR. OWNER SHALL BE RESPONSIBLE TO KEEP THE AREA CLEAN OF LITTER AND SPILLS.
 - OWNER TO BE RESPONSIBLE FOR SWEEPING PLAZAS, SIDEWALKS, AND PARKING LOTS. THIS IS TO BE DONE REGULARLY AND AS NEEDED TO PREVENT ACCUMULATION OF LITTER AND DEBRIS.
 - FIRE SPRINKLER TEST WATER SHALL BE DRAINED TO THE BIOFILTRATION BASIN.
 - CONDENSATE DRAIN LINES INCLUDING AIR CONDITIONING SHALL BE ROUTED TO LANDSCAPE.
 - ROOFING, GUTTERS, AND TRIM SHALL NOT BE MADE OF COPPER OR OTHER UNPROTECTED METALS THAT MAY LEACH INTO RUNOFF MUST BE AVOIDED.

SOURCE CONTROL BMPs

STORM DRAIN STENCILING (1)

BMP PUMPED DRAWDOWN

AT 6' OF TOTAL HEAD THE FL-30 SERIES PUMPS WILL DISCHARGE STORMWATER AT A RATE OF 0.10 CFS.

DCV = 7,491 CF
 DISCHARGE FLOWRATE = 0.10 CFS

TOTAL DRAWDOWN TIME = 7,491 CF / 0.10 CFS
 = 74,910 SEC X (1 HR / 3600 SEC)
 = 20.8 HOURS

LEGEND

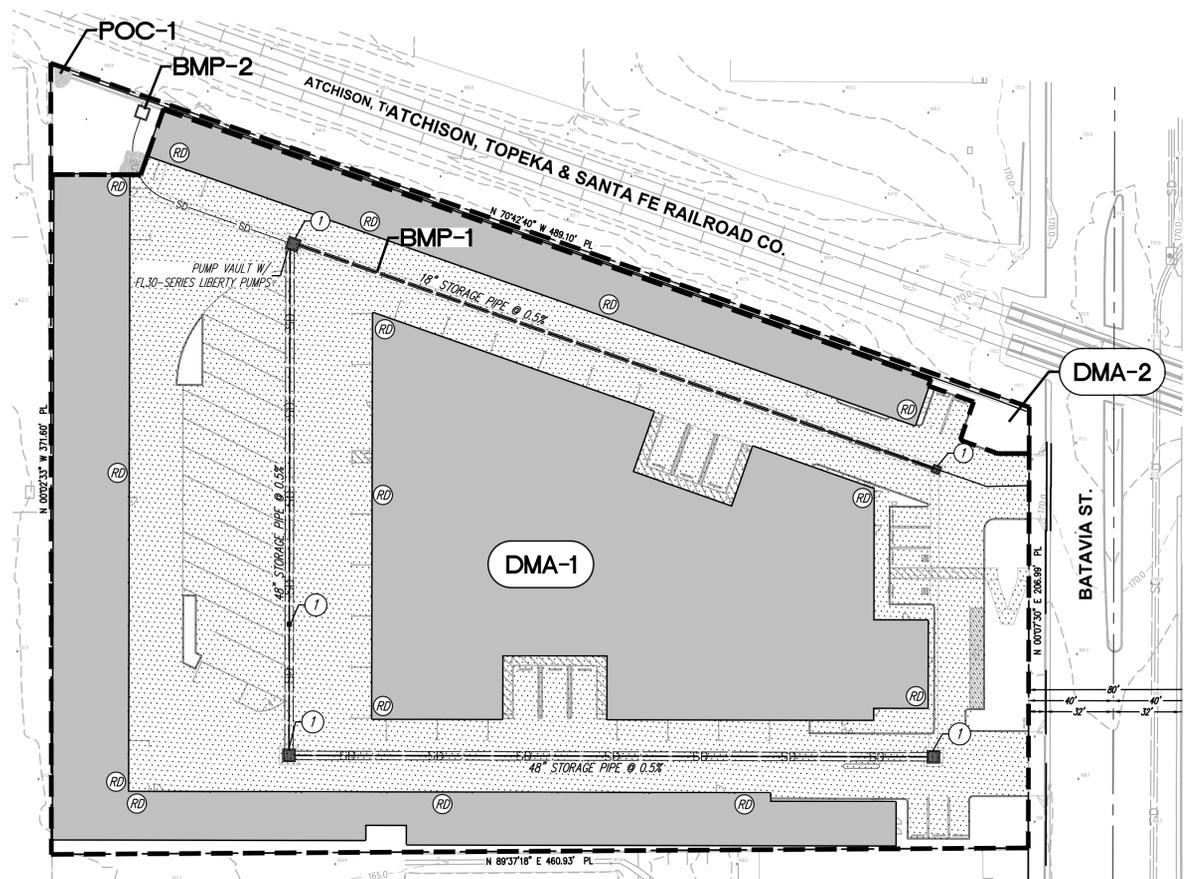
- DMA BOUNDARY
- DRAINAGE ARROWS
- POINT OF COMPLIANCE POC-#
- DRAINAGE MANAGEMENT AREA DMA-#
- IMPERVIOUS AREA
- ROOF AREA
- LANDSCAPED AREAS
- ROOF DRAIN LOCATIONS (RD)

DMA DATA TABLE

DMA-NO.	TOT. AREA (SF)	IMPERVIOUS (%)	DESIGN DCV (CF)	TYPE/TREATED BY
DMA-1	129,402	96	7,491	BMP-1 / BMP-2
DMA-2	4,051	0	-	AREA IS FULLY PERVIOUS

TREATMENT BMP DATA TABLE

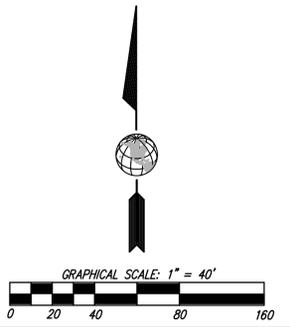
BMP-#	TREATING	PROPOSED VOLUME (CF)	DESCRIPTION
BMP-1	DMA-1	7,521	2-48" HDPE STORAGE PIPES & 18" PIPE
BMP-2	DMA-1	-	PROPRIETARY BIOFILTRATION FACILITY MODULAR WETLAND MWS-0-6-6-3.5



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SEAN M. SAVAGE R.G.E. 75677
 DATE

BATAVIA SELF-STORAGE
 630 N BATAVIA ST, ORANGE, CA 92864

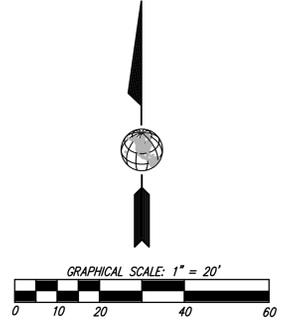
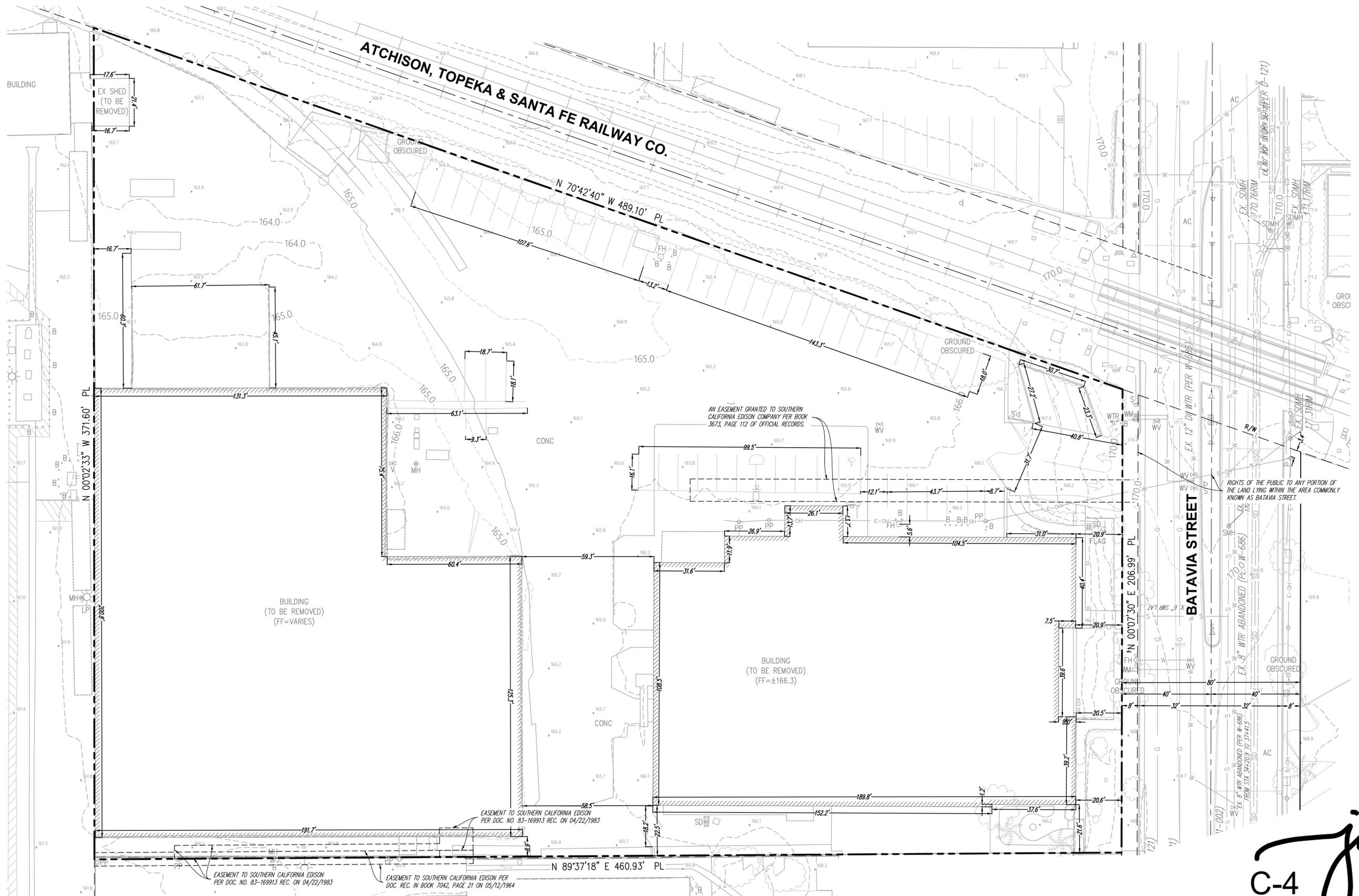


C-3 DMA PLAN

Jordan Architects
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 SAN CLEMENTE, CA 92672
 949.388.8090

JOB NUMBER: 21-710
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DATE _____
 SEAN M. SAVAGE R.C.E. 75677



BATAVIA SELF-STORAGE

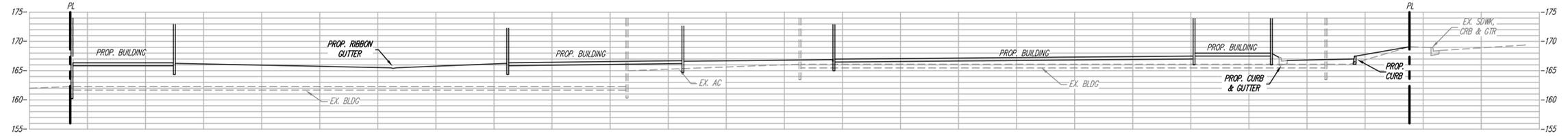
630 N BATAVIA ST, ORANGE, CA 92864

EXISTING SITE PLAN

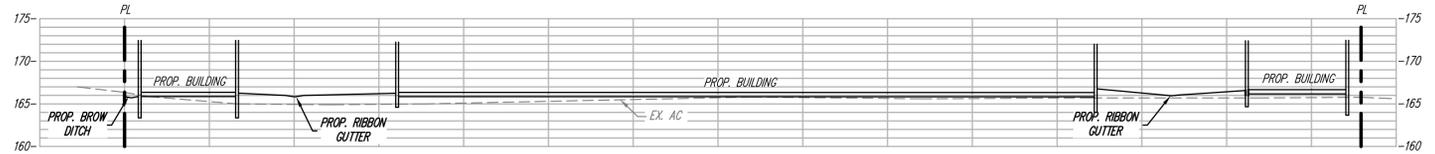
ja
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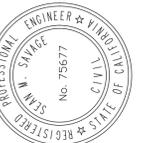
SECTION A-A
 HORIZONTAL SCALE 1"=20'
 VERTICAL SCALE 1"=10'



SECTION B-B
 HORIZONTAL SCALE 1"=20'
 VERTICAL SCALE 1"=10'

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SEAN M. SAVAGE R.C.E. 75677 DATE



BATAVIA SELF-STORAGE
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C-5 *ja* **JORDAN ARCHITECTS**
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SECTIONS

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JOB NUMBER: 21-710
 DATE: 08/21/2023

PLANT PALETTE

TREES									
SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE (20/YR.) HxW	MAINTAIN TO: HxW	WUCOLS IV REG.-RTG.
	ARB MAR	ARBUTUS "MARINA" MARINA STRAWBERRY TREE	MULTI TRUNK	36 BOX	4		30x30' +/-	SAME	3-L
	LOP CON	LOPHOSTEMON CONFERTA BRISBANE BOX		24" BOX	7		50x30' +/-	SAME	3-M

MAINTAIN 3" MIN. DEEP MULCH TO THE DRIPLINE OF THE TREES/ SHRUBS THROUGHOUT THE LIFE OF THE PLANTINGS. MULCH BARE GROUND BETWEEN ALL SHRUBS AND TREES 3" DEEP, BETWEEN GROUND COVERS 1-1/2" DEEP- USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS, 0-2 INCH SCREENED COMPOST OR PRE- APPROVED EQUAL.

SHRUBS									
SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.	
	BAC PIG	BACCHARIS P. "PIGEON POINT" DWARF COYOTE BRUSH		1 GAL			1'x6'+	3-L	
	CEA JUL	CEANOTHUS 'JULIA PHELPS' JULIA PHELPS CALIFORNIA LILAC		5 GAL			5'x8'	3-L	
	FUR FOE	FURCRAEA F. 'MEDIOPICTA' FALSE AGAVE		15 GAL			4'x3'	3-L	
	LOM BRE	LOMANDRA LONGIFOLIA "BREEZE" BREEZE DWARF MAT RUSH		1 GAL			2.5'x3'	3-L	

GROUND COVERS									
SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.	
	SEN MAN	SENECIO MANDRALISCAE BLUE KLEINIA		4" POTS @ 12" O.C.			12" x 24"	3-L	
	ROCK MULCH	DECOMPOSED GRANITE AND ROCK MULCH						DECOMPOSED GRANITE - COMPLEMENT PALETTE ROCK- GRAYS-CHARCOAL COLOR SCHEME	

VINES									
SYMBOL	KEY	BOTANICAL/COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.	
	BOU RED	BOUGAINVILLEA 'SAN DIEGO RED' TRAIN TO WALL RED BOUGAINVILLEA	TRELLIS	15 GAL	6		12'x5'+	3-L	

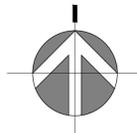
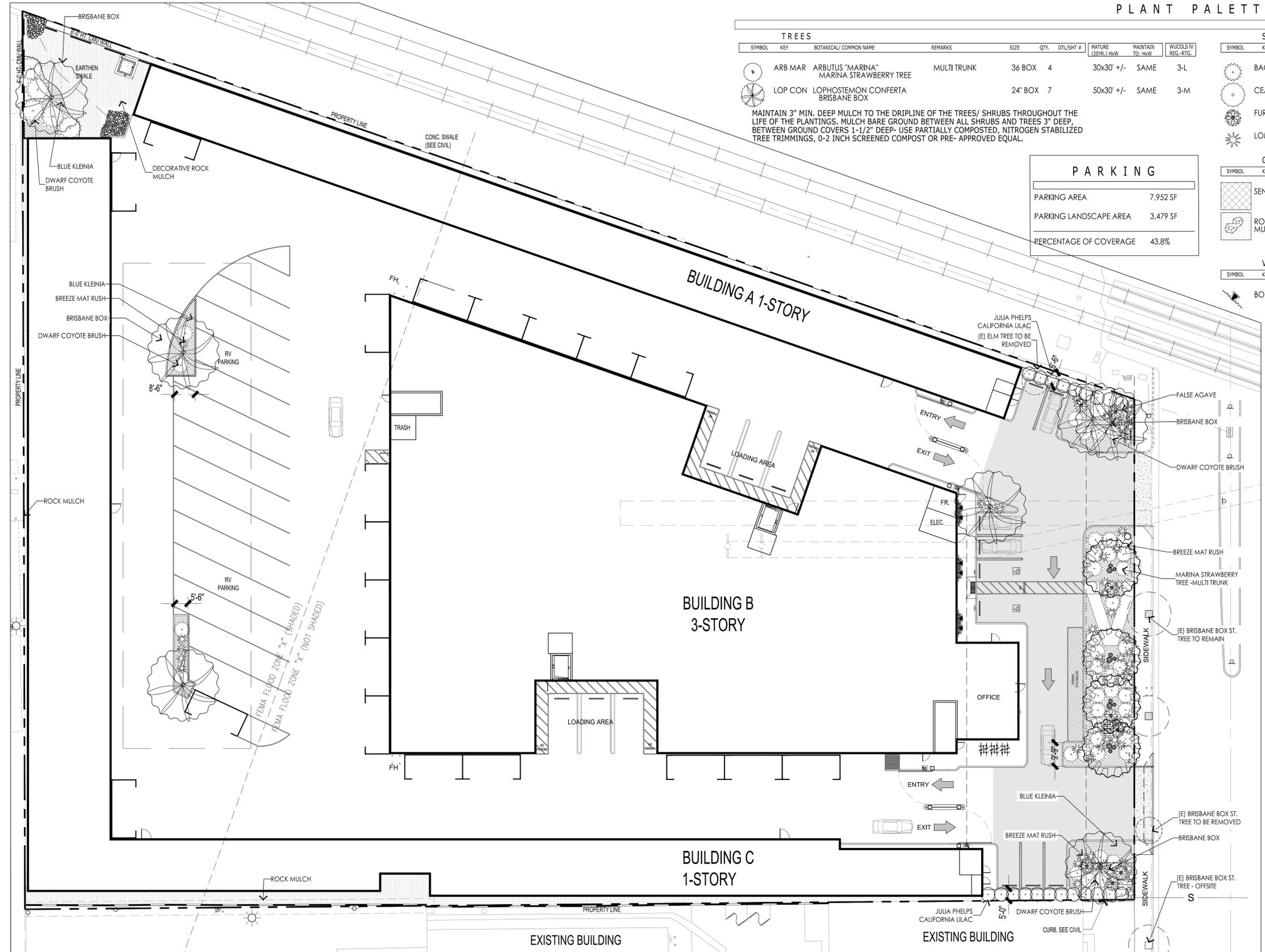
PARKING	
PARKING AREA	7,952 SF
PARKING LANDSCAPE AREA	3,479 SF
PERCENTAGE OF COVERAGE	43.8%

NOTIFY COMMUNITY SERVICES DEPARTMENT. (714)532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48 HOURS NOTICE REQUIRED.

EXISTING TREES NEAR SITE

- | | |
|--------------------|-----------------|
| BLUE GUM | FERN PINE |
| BRAZILIAN PEPPER | FLOSS SILK TREE |
| BRISBANE BOX | INDIAN LAUREL |
| LEMON SCENTED GUM | JACARANDA |
| CALIF. FAN PALMS | LOQUAT |
| CALIF. PEPPER | MAGNOLIA |
| CANARY ISLAND PALM | MAJESTIC BEAUTY |
| CANARY ISLAND PINE | RHAPHIOLEPIS |
| CARROT WOOD | PRUNUS VARIETY |
| CRAPPE MYRTLE | QUEEN PALM |

These trees that were found within a few blocks of our site, the largest is the old blue gums, the tallest are the canary pines. In the immediate industrial area around our site the trees are mostly located along the street frontage or boundaries, with very few trees located inside the lot areas. In the residential areas, the trees spread evenly across the lots



L1

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 131 CALLE IGLESIA, SUITE 100
 SAN CLEMENTE, CA 92672
 949.388.8090

BATAVIA SELF-STORAGE
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PRELIMINARY PLANTING PLAN

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JOB NUMBER: 21-710
 SCALE: 1" = 20'
 DATE: 10/05/2023

PLANT PALETTE

TREES

SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT #	MATURE (20YR.) HxW	MAINTAIN TO: HxW	WUCOLS IV REG.-RTG.
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MAINTAIN 3" MIN. DEEP MULCH TO THE DRIPLINE OF THE TREES/ SHRUBS THROUGHOUT THE LIFE OF THE PLANTINGS. MULCH BARE GROUND BETWEEN ALL SHRUBS AND TREES 3" DEEP. BETWEEN GROUND COVERS 1-1/2" DEEP- USE PARTIALLY COMPOSTED, NITROGEN STABILIZED TREE TRIMMINGS, 0-2 INCH SCREENED COMPOST OR PRE- APPROVED EQUAL.

SHRUBS

SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.
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VINES

SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.
	BOU RED	BOUGAINVILLEA "SAN DIEGO RED" RED BOUGAINVILLEA	TRAIN TO WALL TRELLIS	15 GAL	6		12'x5'+	3-L

GROUND COVERS

SYMBOL	KEY	BOTANICAL/ COMMON NAME	REMARKS	SIZE	QTY.	DTL/SHT	MATURE HxW	WUCOLS IV REG.-RTG.
	SEN MAN	SENECIO MANDRALISCAE BLUE KLEINIA		4" POTS @ 12" O.C.			12' x 24'	3-L
	ROCK MULCH	DECOMPOSED GRANITE AND ROCK MULCH					DECOMPOSED GRANITE - COMPLEMENT PALETTE ROCK- GRAYS-CHARCOAL COLOR SCHEME	

CITY NOTES

Trees are required for all projects and may be randomly located throughout the site, at all parking areas, and along all perimeter property lines at a maximum of 36' - 0" o. c.

25% of new trees shall be 24" box or larger. All other trees 15-gallon minimum. Place larger specimens at front of project.

NOTIFY COMMUNITY SERVICES DEPARTMENT, (714) 532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48 HOURS NOTICE REQUIRED.

TO CALCULATE THE QUANTITY OF TREES REQUIRED ON A PROJECT, ADD TOGETHER THE TOTAL LENGTH OF ALL THE PERIMETER PROPERTY LINES (ALL SIDES), THE TOTAL LENGTH OF THE PERIMETER OF THE BUILDINGS, AND THE TOTAL LENGTH OF ALL PARKING ROWS ON THE SITE, AND DIVIDE BY 36. THESE TREES ARE TO BE LOCATED RANDOMLY THROUGHOUT THE PROJECT UNLESS OTHERWISE NOTED. LARGER SPECIMENS ARE TO BE USED AT THE FRONT PART OF PROJECT.

TOTAL THE PL PERIMETER ((1,529) + BLDG PERIMETERS (A-812;B-955, C-1,437[3,204]) + LENGTH OF PARKING ROWS (RV-190;FRNT-29+45+19 [283]) [5,299] / DIVIDE BY 36 = # OF REQUIRED TREES [147]

PARKING

PARKING AREA	7,952 SF
PARKING LANDSCAPE AREA	3,479 SF
PERCENTAGE OF COVERAGE	43.8%

NOTIFY COMMUNITY SERVICES DEPARTMENT. (714)532-6464, FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48 HOURS NOTICE REQUIRED.



MARINA STRAWBERRY TREE



BRISBANE BOX



JULIA PHELPS LILAC



FALSE AGAVE



BREEZE MAT RUSH



BLUE KLEINIA



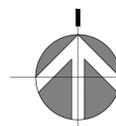
DWARF COYOTE BRUSH



DECORATIVE ROCK

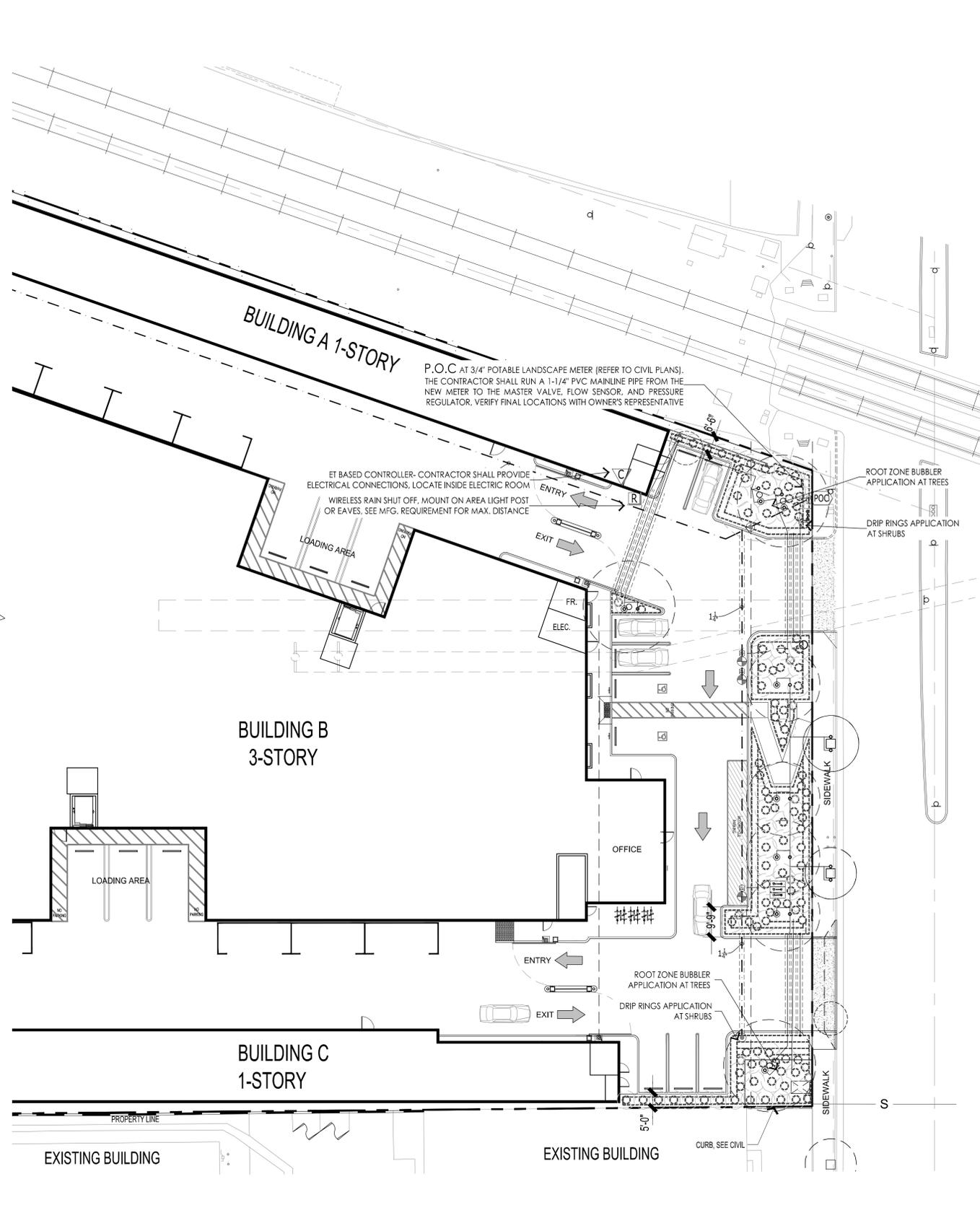
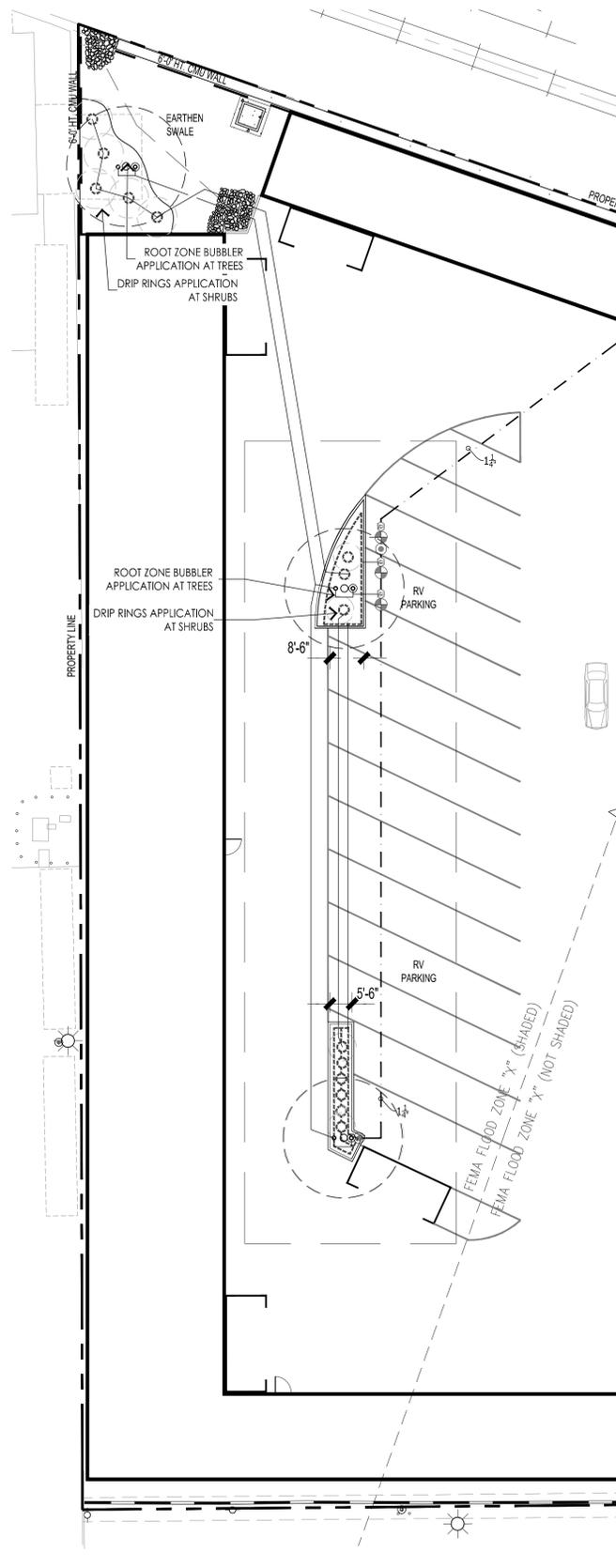
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PLANTING LEGEND & NOTES



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JOB NUMBER: 21-710
SCALE: 1" = 20'
DATE: 10/05/2023



IRRIGATION LEGEND

EQUIPMENT			
SYMBOL	DESCRIPTION	REMARKS	DETAIL
[M]	3/4" WATER METER AND 1-1/4" SERVICE LINE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR		
[R]	RAINBIRD ESP-LXMEF MODULAR CONTROLLER (24 STATION) WITH MASTER VALVE PROGRAMMABILITY, FLOW SENSING, AND WR2-RFC WIRELESS RAIN SHUT-OFF. INSTALL CONTROLLER WITHIN RAINBIRD LXMMSS WALL MOUNT LOCKING ENCLOSURE.		
[V]	NIBCO T-580A BALL VALVE (LINE SIZE)		
[P]	WILKENS #500XL PRESSURE REGULATOR (LINESIZE). INSTALL ONLY IF EXISTING STATIC PRESSURE IS GREATER THAN 80PSI		
[F]	FEBCO #825YA RP BACKFLOW PREVENTER W/ WILKINS YB BRONZE WYE STRAINER (LINE SIZE). INSTALL WITHIN V.I.T. "STRONGBOX" SB8C-30 OR DARK GREEN POWDER COATED STEEL ENCLOSURE. VERIFY EXACT MODEL PER BACKFLOW DEVICE. INSTALL PER CITY/COUNTY STANDARDS		
[S]	SUPERIOR 3300-1-1/2" NORMALLY OPEN MASTER VALVE IN RECTANGULAR VALVE BOX		
[R]	RAIN BIRD PEB SERIES REMOTE CONTROL VALVE - INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX		
[CZ]	RAIN BIRD X CZ SERIES CONTROL ZONE ASSEMBLY WITH REMOTE CONTROL PESBR LOW FLOW VALVE AND PRESSURE REDUCING MESH FILTER. INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX. FOR RECYCLED WATER SYSTEM USE PURPLE TAGS AT EACH VALVE AND INSTALL IN PURPLE BOLT COVER VALVE BOXES. PER CITY/ COUNTY REQ'S.		
[C]	RAIN BIRD 33 DLRC QUICK COUPLER VALVE - INSTALL APPROXIMATELY 150' O.C. OR WHERE SHOWN IN CIRCULAR VALVE BOX. PROVIDE (1) HOSE KEY AND SWIVEL FOR EVERY 10 VALVES INSTALLED		
[FV]	NETAFIM TL50V FLUSH VALVE-INSTALL AT LEAST ONCE AT EACH SYSTEM/ VALVE AT ENDS OF LINES AND FARTHEST FROM SOURCE. PLACE IN ROUND LOCKING VALVE BOX WITH GRAVEL AND EXTRA LENGTH OF BLANK TUBING		
[AR]	AIR RELIEF VALVE-INSTALL ONE AT EACH SYSTEM/ VALVE AT HIGH POINT(S) IN ROUND LOCKING VALVE BOX WITH GRAVEL		
[PVC]	PVC WATER PIPE SCH. 40 (MAINLINE 1-1/2" AND SMALLER)		
[PVC]	PVC WATER PIPE SCH. 40 3/4"-1-1/2" (LATERALS)		
[PVC]	ALL IRRIGATION LATERAL PIPING SHALL BE 3/4" SIZE UNLESS NOTED OTHERWISE		
[PVC]	PVC PIPE/SLEEVE SCH. 40 - 2" MIN. OR 2X DIA. OF PIPE OR WIRE BUNDLE. INSTALL WHERE SHOWN AND ALL STREET OR DRIVE CROSSINGS		

IRRIGATION OUTLETS											
SYMBOL	DESCRIPTION	Q	T	H	TT	TQ	F	PSI	RADIUS	PRECIP RATE	DETAIL
ROOT ZONE BUBBLERS AT EA. TREE AND POP-UP BUBBLER AT EACH SHRUB:											
[H]	HUNTER PROS-4-CV WITH PCN-25 BUBBLER							.25	30	---	---
[H]	HUNTER RZWS WITH PCB-25 FIXED BUBBLER (DEPTH PER ROOTBALL)							.25	30	---	---
RAINBIRD DRIPLINE - THE SYMBOL REPRESENTS AREA WATERED NOT THE EXACT LAYOUT - SCRATCH INTO SOIL AND COVER W/ MULCH TYP. - INSTALL W/ FLUSH AND AIR RELIEF VALVES PER MFG.											
[D]	TLCV9-12 - 9 GPH DRIPPERS AT 12" INTERVAL WITH 12-18" ROW SPACING							92 GPH	30	---	---

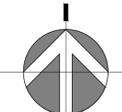
ALL IRRIGATION PIPING SHALL BE SCHEDULE 40 PVC PURPLE ALERT LINE OR PURPLE TAPED.
 ANTI-DRAIN CHECK VALVES (ADV) SHALL BE INSTALLED AT ANY WATER OUTLET SUFFERING LOW HEAD DRAINAGE - FOR SPRINKLERS USE RAINBIRD SAM'S. HUNTER HCV 50M-50F OR VALCON V5000 SERIES.
 ALL UN-BURIED PVC/POLY PIPE SHALL BE UV RESISTANT, ALL EXPOSED VALVE WIRING SHALL BE UV RESISTANT.
 ALL RECYCLED WATER LINES AND SLEEVES TO BE PURPLE ALERT LINE OR PURPLE TAPED. RECYCLED SYSTEM VALVE BOXES LIDS TO BE PURPLE.

POINT OF CONNECTION AND CONTROLLER INSTALLATION	
[POC]	POINT OF CONNECTION TO THE 1-1/4" SERVICE AND 3/4" POTABLE IRRIGATION WATER METER INSTALLED BY THE COMMUNITY WATER DISTRICT. VERIFY THE EXACT STUBOUT LOCATION PER CIVIL ENGINEER'S DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL PAY FOR ALL FEES AND PERMITS AND COORDINATE WITH THE WATER DEPARTMENT FOR THE INSTALLATION OF THE WATER METER. THE CONTRACTOR SHALL RUN A 1-1/4" SCH. 40 MAINLINE PIPE FROM THE NEW METER TO THE PRESSURE REGULATOR. THEN TO THE NORMALLY OPEN MASTER VALVE AND THE FLOW SENSOR. PROVIDE ALL REQUIRED FITTINGS TO COMPLETE THE CONNECTION TASK. FINAL LOCATION OF THIS EQUIPMENT SHALL BE APPROVED BY THE CITY AND OWNER'S AUTHORIZED REPRESENTATIVES. THE SYSTEM HAS BEEN DESIGNED FOR A MAXIMUM FLOW OF 30 GPM AT MINIMUM OPERATING PRESSURE OF 110.0 PSI. THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE IN THE FIELD BEFORE COMMENCEMENT OF THE PROJECT.
[CNTRL]	PROVIDE AND INSTALL CONTROLLER ASSEMBLY PER ALL STATE AND LOCAL CODES. FINAL LOCATION TO BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. 120VAC POWER PROVIDED BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE 120VAC POWER FROM THE SOURCE TO THE CONTROLLER LOCATION AND MAKE THE FINAL HOOKUP. ALL 120VAC POWER WIRING SHALL BE COMPLETED BY A LICENSED ELECTRICAL CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL CONNECT THE LOW VOLTAGE CONTROL WIRES TO THE CONTROLLER TERMINAL STRIP IN SEQUENCE PER THE DRAWINGS. ANY DEVIATIONS WILL BE NOTED ON THE AS-BUILT DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE LOCAL CONTROLLER AND MOISTURE SENSOR REPRESENTATIVES FOR TESTING AND INSTALLATION CERTIFICATION.

NOTIFY COMMUNITY SERVICES DEPARTMENT. (714)532-6464, FOR IRRIGATION MAINLINES PRESSURE TEST AND COVERAGE TEST. 48 HOURS NOTICE REQUIRED.



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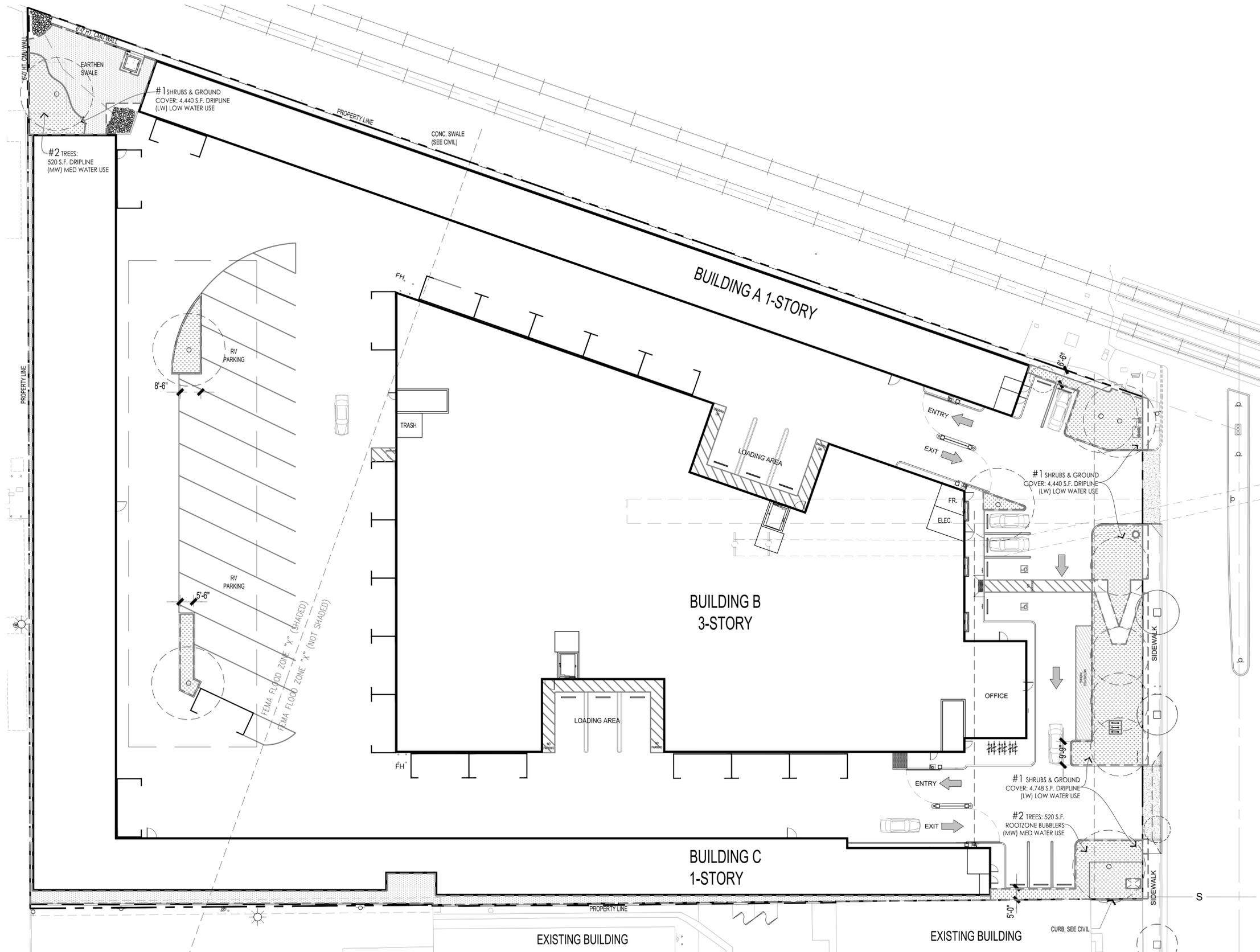
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 SAN CLEMENTE, CA 92672
 949.388.8090

BATAVIA SELF-STORAGE PRELIMINARY IRRIGATION PLAN

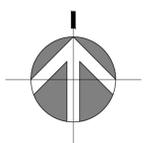
630 N BATAVIA ST, ORANGE, CA 92864

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JOB NUMBER: 21-710
 SCALE: 1" = 20'
 DATE: 10/05/2023



HYDROZONES	
	#1 SHRUBS/ G-COVERS: 4,440 S.F. (520 TREES)=3,920 S.F. DRIPLINE (LW) LOW WATER USE
	#2 TREES: 520 S.F. (13 @ 40 S.F.) ROOT ZONE BUBBLERS (MW) MEDIUM WATER USE
	#3 DECORATIVE ROCK MULCH: 3,213 S.F. NONE NO WATER USE



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HYDROZONES PLAN

L3
ja
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Appendix B: Certification of Landscape Design

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

- I am a professional appropriately-licensed in the State of California to provide professional landscape design services.
- The landscape design and water use calculations for the property located at 630 N. Batavia Street, Orange, CA 92684 (provide street address or parcel number(s)) were prepared by me or under my supervision.
- The landscape design and water use calculations for the identified property comply with the requirements of the Water Efficient Landscape Section IX of the City of Orange Landscape Standards and Specifications (Municipal Code Sections 16.50.040) and the Guidelines for Implementation of the City of Orange Water Efficient Landscape Section IX of the City of Orange Landscape Standards and Specifications.
- The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the Guidelines for Implementation of the Water Efficient Landscape Section IX of the City of Orange Landscape Standards and Specifications.

David Miertschin 8/25/23
Print Name Date

David Miertschin CA Lic #3308
Signature License Number

34032 Alcazar Dr., Dana Point, CA 92629
Address

(949) 388-3369 david@dmlaonline.com
Telephone E-mail Address

Landscape Design Professional's Stamp
(If applicable)



Appendix C: Water Efficient Landscape Worksheet

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package.

Reference Evapotranspiration (ETo)*: 49.7 x (.62) = 30.8 Landscape Area Sector Type Residential
(select one): Non-Residential

	Hydrozone #/Planting Description	Location	Plant Factor ^b (PF)	Irrigation Method ^c	Irrigation Efficiency ^e (IE)	ETAF (PF/IE)	Landscape Area (sq-ft)	ETAF x Area	Estimated Total Water Use ^d (ETWU)
Regular Landscape Area									
1	#1- LOW	SUN	0.2	DRIPLINE	0.81	0.25	3,920 SF	980	30,184
2	#2-MED	SUN	0.5	BUBBLERS	0.81	0.62	520 SF	322.4	9,930
3	#3-ROCK MULCH	VARIED	0.1	NONE	0.81	0.12	3,213 SF	385.6	11,877
4									
5									
6									
7									
8									
9									
10									
11									
12									

Average	Total	Total
.33	7,653	1,688

Average ETAF for Regular Landscape Areas* (circle one): Compliance Not In Compliance

Special Landscape Area

SLA-1									
SLA-2									
SLA-3									
SLA-4									
SLA-5									

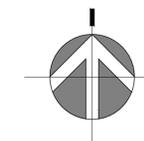
ETWU #1= (49.7)(0.62)(.25)(3,920) = (30.8)(980) = 30,184 G.P.Y. ETWU #3= (49.7)(0.62)(.12)(3,213) = (30.8)(385.6) = 11,877 G.P.Y. Totals 7,653 1,688

ETWU #2= (49.7)(.62)(.62)(520) = (30.8)(322.4) = 9,930 G.P.Y. Total Landscape Area 7,653 Site wide ETAF .33

ETWU Total 51,991 Maximum Allowed Water Allowance (MAWA)* 106,072
MAWA = (49.7)(0.62)[(0.45 x 7,653)+((1-0.45)(SLA))] = (30.8)(3,443.9+0)=106,072 G.P.Y.

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HYDROZONE CALCS.



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