

HISTORIC RESOURCES GROUP

HISTORIC ASSESSMENT REPORT 133 SOUTH CLARK STREET, ORANGE OCTOBER 2025



556 S Fair Oaks Ave, Suite 101-514
Pasadena, CA 91105

Tel 626-793-2400

historicrosourcesgroup.com

prepared for

Alan Rosen

150 South Parker Street

Orange, CA 92868

TABLE OF CONTENTS

1.0 EXECUTIVE SUMMARY 1

2.0 PROJECT SUMMARY 2

3.0 DEVELOPMENT HISTORY 5

4.0 IDENTIFICATION OF HISTORICAL RESOURCES 8

5.0 DESCRIPTION OF PROJECT SITE 13

6.0 ANALYSIS OF POTENTIAL IMPACTS 19

7.0 CONCLUSION..... 25

8.0 REFERENCES 26

Appendix A: Resumes of Authors/Contributors

Appendix B: Project Information

Appendix C: Department of Parks and Recreation Forms (2005)

1.0 EXECUTIVE SUMMARY

The Applicant proposes to construct a new detached garage (Project) at the rear of the property located at 133 South Clark Street (Project Site). The City of Orange has already approved an Accessory Dwelling Unit (ADU) at the rear of the property; the ADU is not included in the Project and is not evaluated herein. The Project Site is improved with a one- and one-half story single-family residence constructed in 1916. The Project Site is a contributing property in the locally designated Old Towne Orange Local Historic District.

Historic Resources Group (HRG), LLC has evaluated the Project for conformance with the Secretary of the Interior's Standards for Rehabilitation and the City of Orange's Historic Preservation Design Standards to identify potential impacts resulting from the Project to the Old Towne Orange Local Historic District. This evaluation included a review of existing survey data for the Project Site and the historic district; observation of the Project Site and vicinity; and review of drawings of the proposed new construction. A site visit was conducted on July 25, 2025, to observe existing conditions on the parcel. This evaluation has determined that the proposed Project meets the Secretary of the Interior's Standards for Rehabilitation and the City of Orange's Historic Preservation Design Standards.

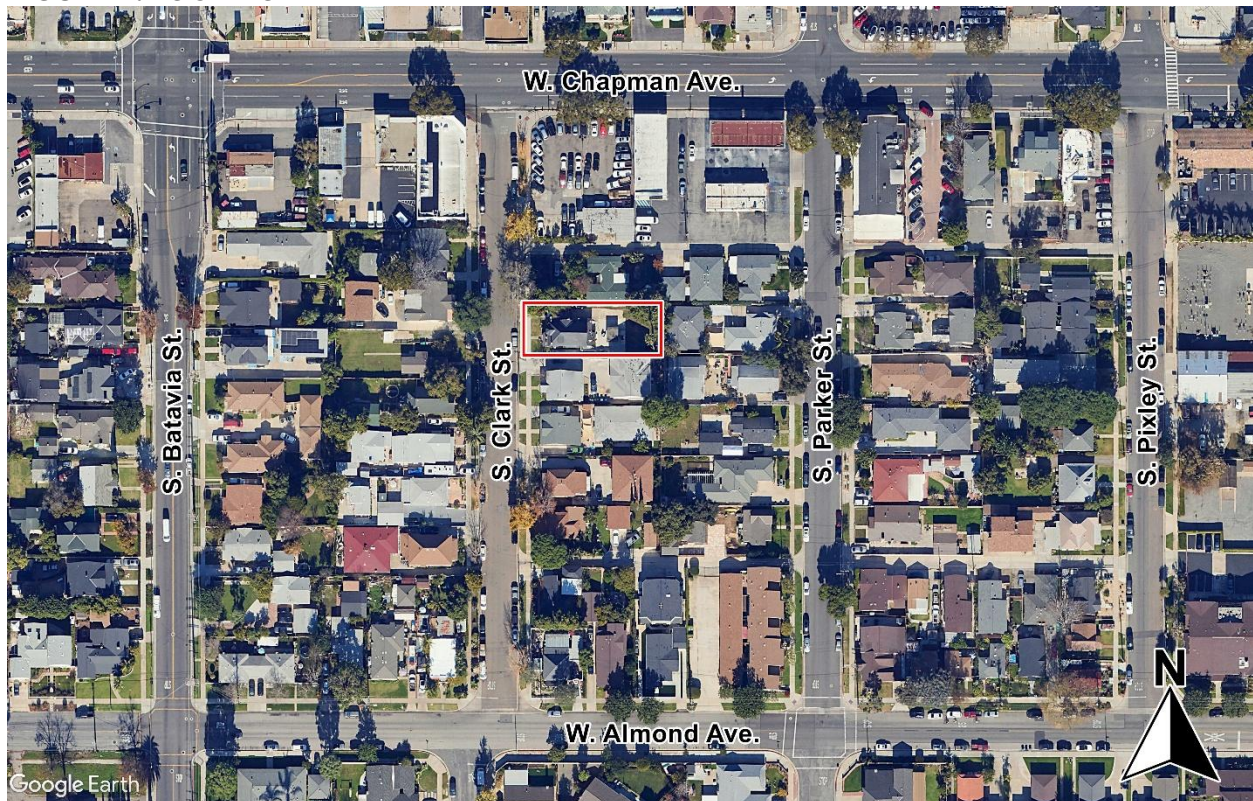
The field methods and analysis applied in this report are based on guidance from the National Park Service, the California Office of Historic Preservation, and the City of Orange for evaluating potential impacts to historical resources. Research, field inspection, and analysis for this report were performed by John LoCascio, AIA, Principal Architect; and Adam Rajper, Senior Historic Preservation Specialist, of HRG. Both are qualified professionals who meet the Secretary of the Interior's Professional Qualification Standards for their respective fields. Resumes of primary authors are included in Appendix A.

2.0 PROJECT SUMMARY

Project Location

The Project Site at 133 South Clark Street occupies lot 9, block C, of the Kordes Tract in the City of Orange (APN 390-672-06). The lot covers a total area of 6,732 square feet and is located on the east side of South Clark Street, in the block bounded by West Chapman Avenue to the north, South Parker Street to the east, West Almond Avenue to the south, and South Clark Street to the west. Two service alleys traverse the block, near the north and south ends, respectively. The Project Site fronts South Clark Street and is improved with a one- and one-half story single-family residence constructed in 1916. A location map is included in Figure 1 below.

FIGURE 1: LOCATION MAP

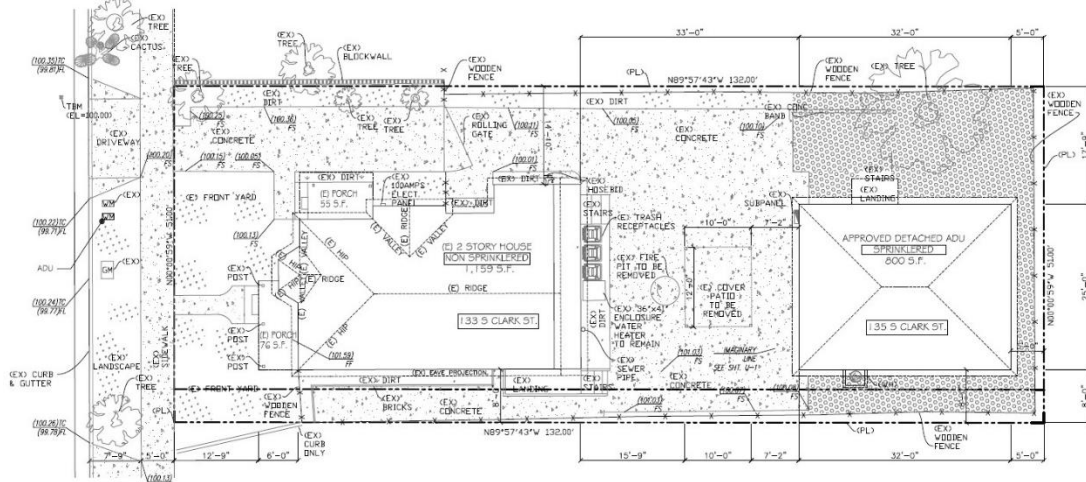


Project Site outlined in red

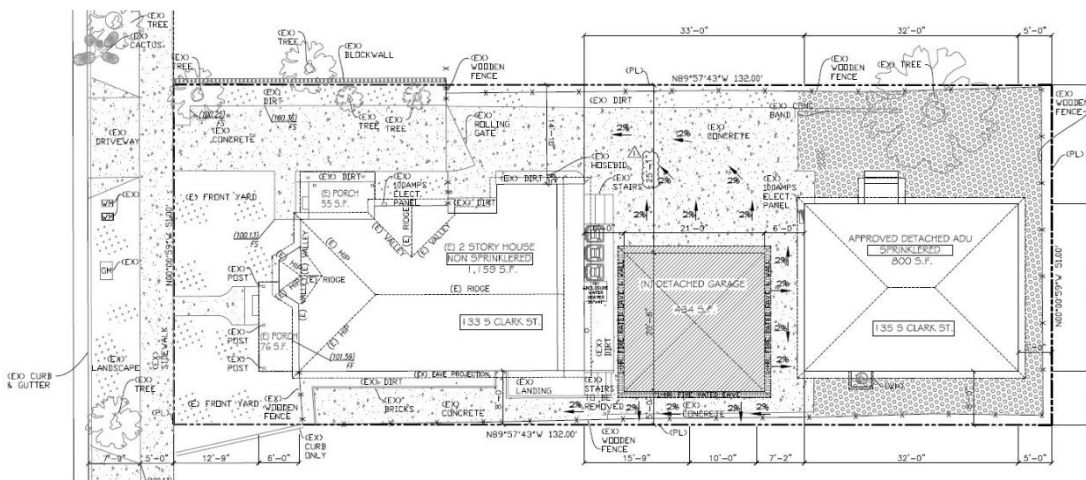
Project Description

The Project does not propose any exterior or interior alterations to the existing residence at 133 South Clark Street. The Project would be limited to the construction of one new 434-square foot detached two-car garage. The garage would have a square plan, horizontal composite siding, a hipped roof covered with composition shingles, and a pair of wood carriage doors. The garage would be 12'-4" in height. A proposed 800-square foot Accessory Dwelling Unit (ADU) at the rear of the property has already been approved by the City of Orange and is outside the scope of this report. Architectural drawings of the proposed Project, prepared by Allstar Design and Engineering Group, are included Figures 2-3 below, and in Appendix B.

FIGURE 2: EXISTING AND PROPOSED SITE PLANS

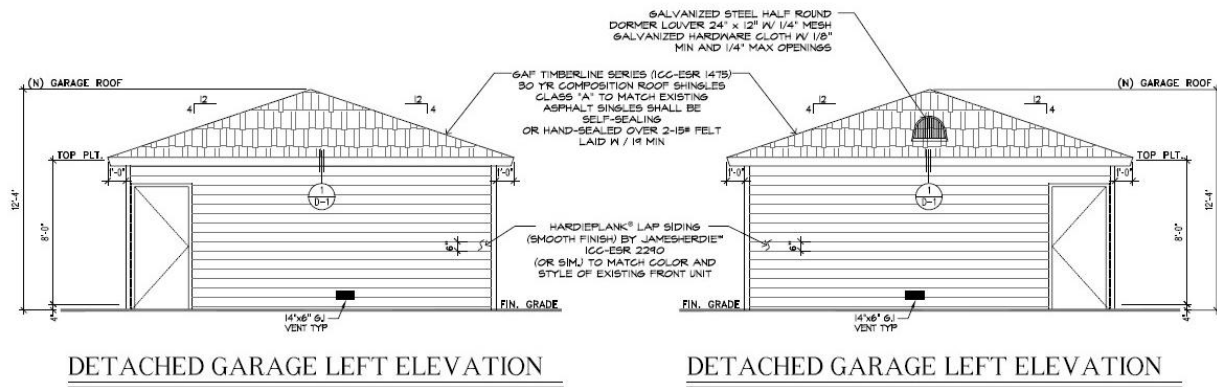
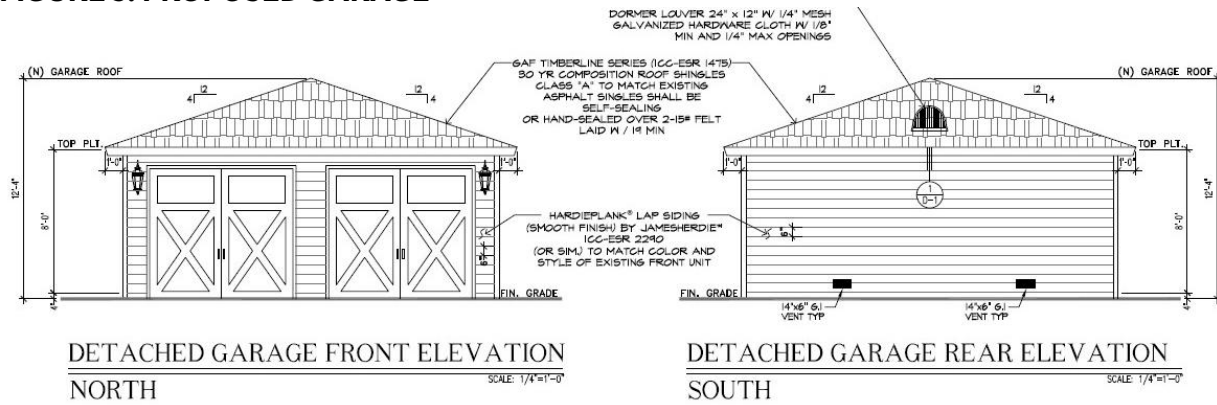


Existing Site Plan (not to scale; Allstar Design and Engineering Group)



Proposed Site Plan (not to scale; Allstar Design and Engineering Group)

FIGURE 3: PROPOSED GARAGE



Proposed elevations of new garage (not to scale; Allstar Design and Engineering Group)

3.0 DEVELOPMENT HISTORY

This report analyzes potential impacts resulting from the Project to the Old Towne Orange Local Historic District. In order to provide a general context for that analysis, a brief development history of 133 South Clark Street, a contributing property in the district, is included.

Historical Development

According to its original building permit, which was listed in a local newspaper, the single-family residence on the Project Site was built at a cost of \$300 for Missouri-born owner Oliver Augustus Korse (1882-1945).¹ Korse arrived in Orange County around 1892 and resided there until his death.² United States Federal Census records indicate that Korse worked variously as a fruit packer, house mover, bee keeper, and farmworker between 1900 and 1930.³ A detached garage (non-extant) was added at the rear of the property by 1922.⁴ In 1923, Korse sold the residence to his sister, Sarah S. Korse (1873-1946).⁵ Survey photographs of the residence in 1991 and 2005 are provided below.



Image 1. 133 South Clark Street in 1991 (Department of Parks and Recreation Form, 523 Series, for 133 South Clark Street, 2005).

¹ Permit listed in *The Register*, October 2, 1916. Kordes purchased the parcel from Anna Fitzgerald in 2016, as recorded in *The Register* on October 9, 1916.

² Obituary of Oliver Augustus Korse, *The Register*, February 5, 1945.

³ United States Census records available through [ancestry.com](https://www.ancestry.com).

⁴ Sanborn Fire Insurance Map, Orange, sheet 8, January 1922.

⁵ Real estate transaction recorded in *The Register*, December 5, 1923.



Image 2. 133 South Clark Street in 2005 (Department of Parks and Recreation Form, 523 Series, for 133 South Clark Street, 2005).

Alterations

Before 133 South Clark street was last surveyed in 2005, the following major exterior alterations occurred:

- **Front porch:** A projecting porch, composed of a scored concrete slab, wood posts, and a shed roof, was added on the primary (west, South Clark Street) façade between 1950 and 1991.⁶
- **Front door:** The original wood panel door on the primary façade was replaced between 1991 and 2005.⁷
- **Secondary door:** A door on the secondary (south) façade was either replaced or added at an unknown date.
- **Rear Service Porch:** The original projecting service porch on the rear (east) façade was extensively altered after 1950: the service porch was reduced in size on the south side; original cladding materials on the service porch were replaced with composite siding panels; a door was replaced on the service porch; and a utility enclosure, wood stoop, and metal bay window were added on the service porch.⁸
- **Dormer:** The dormer on the secondary (south) façade is likely non-original.
- **Original Garage:** An original detached garage at the rear of the property was demolished between 1922 and 1950.⁹

⁶ Sanborn Fire Insurance Map, Orange, sheet 8, June 1950; Department of Parks and Recreation Form, 523 Series, for 133 South Clark Street, 2005.

⁷ Department of Parks and Recreation Form, 523 Series, for 133 South Clark Street, 2005.

⁸ Sanborn Fire Insurance Map, Orange, sheet 8, June 1950.

⁹ Sanborn Fire Insurance Map, Orange, sheet 8, January 1922; June 1950 update.

Since 133 South Clark Street was last surveyed in 2005, the following major exterior alterations have occurred:

- **Windows:** All original wood windows on the residence were replaced with vinyl windows.¹⁰
- **Security Door:** A metal security door was installed over the front door on the primary façade between 2014 and 2015.¹¹

¹⁰ Department of Parks and Recreation Form, 523 Series, for 133 South Clark Street, 2005.

¹¹ Department of Parks and Recreation Form, 523 Series, for 133 South Clark Street, 2005; Google Street View, May 2014 and April 2015.

4.0 IDENTIFICATION OF HISTORICAL RESOURCES

Old Towne Orange Local Historic District

The Project Site is located in the Old Towne Orange Local Historic District which was designated by the City Council in 1998. 133 South Clark Street is a contributing property in the district.

The Old Towne Orange Local Historic District includes the smaller Old Towne Orange Historic District which is listed in the National Register of Historic Places and California Register of Historical Resources. The local historic district is roughly bound by Walnut Avenue to the north, Cambridge Street to the east, La Veta Avenue and Santiago Creek to the south, and Batavia Avenue to the west. The Old Towne Orange Local Historic District is considered a historical resource for the purpose of this report.

The Project Site is located in the vicinity of other contributing properties in the Old Towne Orange Local Historic District. For purposes of this report, a study area of properties in the vicinity of the Project Site (Study Area) has been identified. The Study Area includes properties that immediately border the Project Site and therefore have a reasonable potential to be impacted by the Project, either through direct impacts as a result of construction activity, or indirectly due to changes in the setting resulting from the proposed new construction. As shown in Table 1 below, there are five (5) properties in the Study Area, of which four (4) are contributing properties in the Old Towne Orange Local Historic District.

Maps of the Old Towne Orange Local Historic District and Study Area are included in Figures 4 and 5 below.

133 SOUTH CLARK STREET (PROJECT SITE)



133 South Clark Street is a contributing property in the Old Towne Orange Local Historic District. 133 South Clark Street was first surveyed in 1982, when the City Council authorized a historic resources survey to identify, evaluate and document all pre-1940 buildings throughout the City of Orange. The purpose of the survey was to gather data needed to prepare a Historic Preservation Element for the City's General Plan.¹²

The 1982 survey was updated in 1991.¹³ In 2005, the City conducted another historic resources survey; 133 South Clark Street was surveyed at that time. The 2005 Department of Parks and Recreation Form, 523 Series, for the property is included in Appendix C. It describes 133 South Clark Street as follows:

Historic Resources Inventory #038085: Box plan with pyramid roof. Front portion of roof extends to form porch overhang and is supported by wood posts. Angled bay window on front facade rises up through main roof and is topped by a conical roof itself. Windows are high, vertical, double-hung windows. Some modifications have been made to the house,

¹² City of Orange Planning Department, Historic Inventory Old Towne, 1982.

¹³ AEGIS, City of Orange Historic Building Inventory Update, Final Report, October 1991.

including addition of dormer on side, new siding, and lattice work connecting porch posts.¹⁴

ADJACENT PROPERTIES

As summarized in Table 1 below, the Study Area includes (5) properties that immediately border the Project Site. Of these, four (4) properties are contributors to the Old Towne Orange Local Historic District.

**TABLE 1. PROPERTIES IN THE OLD TOWNE ORANGE LOCAL HISTORIC DISTRICT
ADJACENT TO THE PROJECT SITE**

NUMBER	STREET	DATE	CONTRIBUTOR?	CURRENT PHOTOGRAPH (HRG, 2025)
123	S. Clark St.	1924	Yes	
141-143	S. Clark St.	1909	Yes	
126-130	S. Parker St.	1923	Yes	

¹⁴ Chattel, Inc. Department of Parks and Recreation Form, 523 Series, for 133 South Clark Street. May 2005.

NUMBER	STREET	DATE	CONTRIBUTOR?	CURRENT PHOTOGRAPH (HRG, 2025)
134-136	S. Parker St.	1966	No	
142-144	S. Parker St.	1911	Yes	

The map displays the Portola area in San Francisco, highlighting the boundaries of Portola Middle School (blue line) and Portola High School (red dashed line). The map includes major streets such as W Collins Av, W Chapman Av, W La Veta Av, and W Fairhaven Av, as well as landmarks like Orange High, Portola Middle, Hart Park, and Fairhaven Memorial Park. A red star marks the location of the Portola Middle School.

1:18,056

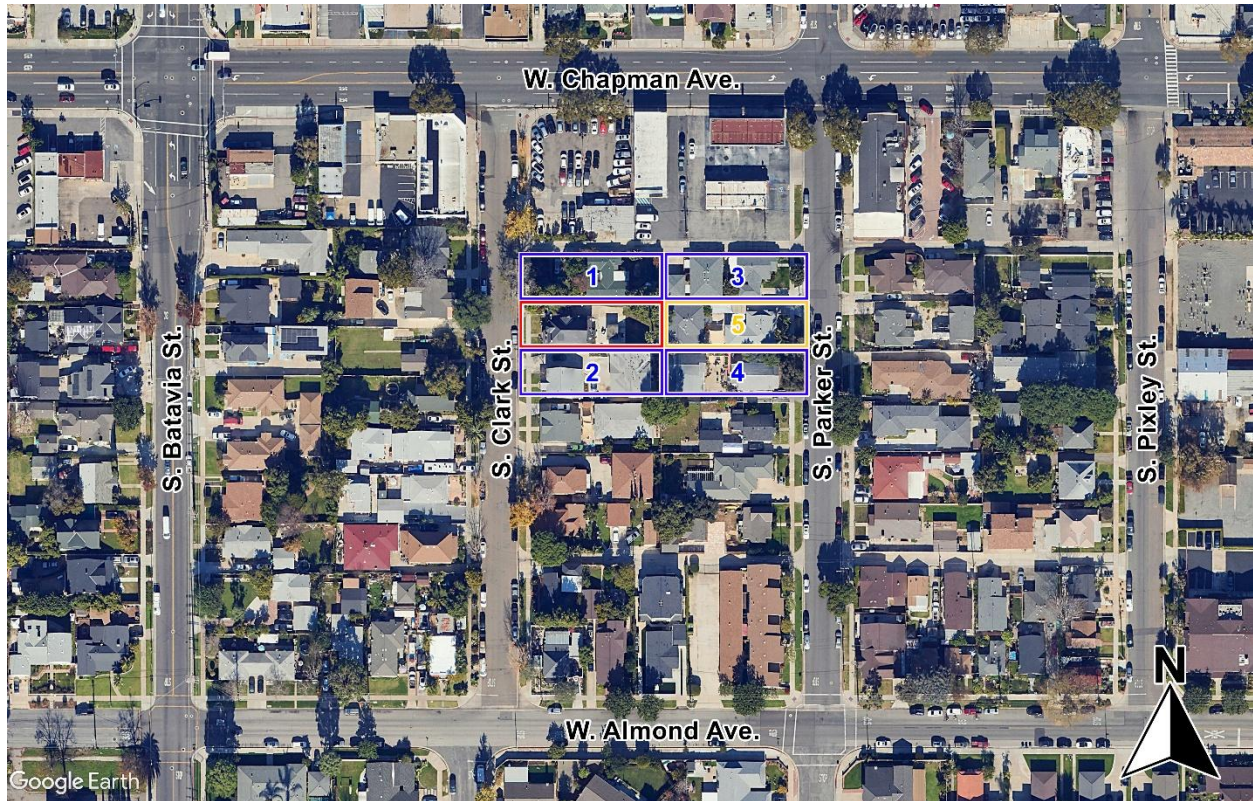
0 0.17 0.35 0.7 mi

0 0.28 0.55 1.1 km

Historic Resources Group

133 S. Clark St., Orange

FIGURE 5: MAP OF STUDY AREA



Project Site outlined in red (source: Google Earth).

KEY

1. 123 South Clark Street (contributor to local historic district)
2. 131 South Clark Street (contributor to local historic district)
3. 126 South Parker Street (contributor to local historic district)
4. 142 South Parker Street (contributor to local historic district)
5. 134 South Parker Street (non-contributor to local historic district)

5.0 DESCRIPTION OF PROJECT SITE

The single-family residence at 133 South Clark Street was constructed in 1916. It is flanked by residential properties, set back from South Clark Street behind a landscaped front yard, and in the Residential Vernacular style. The residence has a simple massing; an asymmetrical primary (west, South Clark Street) façade composition; wood frame walls clad with wood drop siding; and a low-pitched combination hipped and gable composition roof with shallow boxed eaves. The primary façade features a bay window and non-original projecting porch composed of a scored concrete slab, wood posts, and a composition shed roof with scalloped bargeboard. An original projecting porch on the secondary (north) façade matches this porch in design. Fenestration includes non-original vinyl vertical and horizontal sliding windows with simple wood casings and sills; a front door covered by a non-original metal security door; a partially glazed wood door on the secondary (north) façade that is possibly original; and two non-original doors on the rear (east) and secondary (south) facades. A dormer on the south side of the building is likely non-original. A projecting service porch covered by a composition shed roof on the rear façade partially retains its original footprint, but its exterior materials and fenestration are non-original. There is a concrete driveway on the north side of the property. Front landscaping consists of a concrete walkway, grass lawn, mature growth trees, and plantings. A metal driveway gate and wood fence enclose the rear yard. At the rear, there is concrete hardscape and a detached accessory dwelling unit (ADU) that is under construction.

Character-defining Features

Character-defining features are those visual aspects and physical features or elements, constructed during a historic property's period of significance, that give the property its historic character and contribute to its historic integrity. Character-defining features should be considered in the planning and design of a project and should be preserved to the maximum extent possible. In general, retaining character-defining features retains the integrity of an historic property; i.e., contributes to retaining the property's eligibility as an historical resource.

Character-defining features of 133 South Clark Street include:

- Simple form and one- and one-half story massing
- Asymmetrical primary (west, South Clark Street) façade composition
- Wood drop siding
- Bay on primary façade (windows non-contributing)
- Projecting porch on secondary (north) façade
- Low-pitched combination hipped and gable composition roof with shallow boxed eaves (dormer non-contributing)
- Overall fenestration pattern and simple wood windowsills and wood window and door casings

Photographs of existing conditions on the Project Site are included below.

PHOTOGRAPHS OF HISTORICAL RESOURCES ON THE PROJECT SITE
Historic Resources Group, July 2025



Image 1: Primary (west, South Clark Street) façade, view east



Image 2: Primary façade, view east



Image 3: Primary and secondary (north) façades, view southeast



Image 4: Primary and secondary (south) façades, view northeast



Image 5: Rear (east) façade, view southwest



Image 6: Rear and secondary (north) façades, view southwest



Image 7: Rear and secondary (south) façades, view northwest



Image 8: Rear yard, proposed location of garage, view southwest



Image 7: Rear yard, approved ADU (outside scope of this report), view northeast

6.0 ANALYSIS OF POTENTIAL IMPACTS

Framework for Analysis

THE SECRETARY OF THE INTERIOR'S STANDARDS

The Secretary of the Interior's Standards for the Treatment of Historic Properties (the Standards) provide guidance for reviewing proposed projects that may affect historical resources. The Standards and associated Guidelines address four distinct historic "treatments" including: (1) preservation, (2) rehabilitation, (3) restoration, and (4) reconstruction. The specific Standards and Guidelines associated with each of these possible treatments are provided on the National Park Service's website regarding the treatment of historical resources.¹⁵

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation, rehabilitation, and maintenance of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The Standards for Rehabilitation (36 CFR 67) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features, or finishes that are important in defining the building's historic character. The Standards are applied taking into consideration the economic and technical feasibility of each project.

HISTORIC PRESERVATION DESIGN STANDARDS

The City of Orange's Historic Preservation Design Standards (HPDS) were adopted by the City Council on December 12, 2018. The purpose of the HPDS is to protect the distinct sense of place conveyed by Orange's historic buildings and neighborhoods. The HPDS are based on the *Secretary of the Interior's Standards for Rehabilitation* to help property owners, design professionals and residents understand the features that make buildings and neighborhoods special and provide guidance on how best to preserve those features; and guide the design of new construction so that it relates respectfully to historic buildings.

¹⁵ U.S. Department of the Interior, National Park Service, *Technical Preservation Services*, "The Secretary of the Interior's Standards for the Treatment of Historic Properties,"

<http://www.nps.gov/tps/standards.htm> (accessed August 2025).

Analysis of Project Impacts

This report evaluates potential impacts resulting from the Project to the Old Towne Orange Local Historic District. The Project Site at 133 South Clark Street is a contributing property in the historic district. Historical resources in immediate proximity to a potential project are more likely to be adversely impacted, specifically by way of construction activities that have the potential to de-stabilize adjacent properties or alterations to the immediate setting of the resources. Historical resources physically separated from the Project Site by other buildings or streets, or by additional distance, are less likely to be adversely impacted due to this spatial separation.

THE SECRETARY OF THE INTERIOR'S STANDARDS

The Project is evaluated below against the applicable Standards for Rehabilitation to identify potential impacts to the Old Towne Orange Local Historic District. Because the Project consists only of new construction on the Project Site and does not propose any alteration or rehabilitation of 133 South Clark Street, Standards 1 through 7 are not applicable. Therefore, the Project is evaluated against applicable Standards 8, 9, and 10.

Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The Project Site is not located in an identified archeological zone and has been disturbed for previous development. Therefore, it is not likely that excavation for the Project may uncover unknown archeological resources on the site.¹⁶ **If unexpected archeological resources are found, and they are identified, protected, preserved, and/or documented in consultation with a qualified archeologist, the Project would meet Standard 8.**

Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The Project does not propose new additions or exterior alterations to the existing 1,159 square-foot residence at 133 South Clark Street or any adjacent contributing properties in the Old Towne Orange Local Historic District. The Project would be limited to a new 434-square-foot detached garage. The proposed garage would be structurally independent of the existing residence and would not destroy historic materials or features that characterize the property, the adjacent contributing properties, or the Old Towne Orange Local Historic District. All existing contributors would remain unaltered and would continue to convey the significance of the historic district. The Project would partially alter the historic setting by introducing new construction in a location on the lot that was not historically developed. However, the proposed garage would be situated at the rear of the lot, behind the residence, following the general historical development pattern in the historic district. The proposed garage would be minimally visible from the public right-of-way; would not obstruct primary views of the historical resource or adjacent contributing properties

¹⁶ Recommendations for identification and treatment of possible archaeological resources are beyond the scope of this

report; the Lead Agency would need to determine whether archaeological resources would be impacted by this project.

from the public right-of-way; and would be clearly subordinated to the contributing properties by its location and smaller size and massing. Additionally, the new construction would be differentiated from the old by its design, a simplified interpretation of the Residential Vernacular style that references, but does not copy, the design of the existing residence and other contributing buildings in the historic district. In summary, the new construction would be compatible with the existing residence and the historic district in terms of location, size, scale, massing, and proportions; and would be largely concealed from view from the street. **The Project meets Standard 9.**

Standard 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed garage would be free-standing and structurally independent of the existing residence at 133 South Clark Street. If removed in the future, the essential form and integrity of the residence, the adjacent contributing properties, and the overall historical setting of the Old Towne Orange Local Historic District would be unimpaired. **The Project meets Standard 10.**

HISTORIC PRESERVATION DESIGN STANDARDS

The Project is evaluated below against the City of Orange's *Historic Preservation Design Standards*. Overall, the Project meets the intent of the *Historic Preservation Design Standards*.

Standards for Historic Residential Buildings: Garages and Accessory Structures: Setting

1. *The prevailing pattern of open space in the front and side yards of contributing properties should be preserved.*

The Project is located in the rear yard of the Project Site. Therefore, it would preserve the prevailing pattern of open space in the front and side yards of contributing properties in the Old Towne Orange Local Historic District. **The Project meets this guideline.**

Standards for Historic Residential Buildings: Garages and Accessory Structures

4. *New garages and accessory structures should be similar in size, scale, and design to historic garages and accessory structures in the historic districts.*
 - a. *A garage attached to a historic house is generally inappropriate. New garages and accessory structures typically should be located behind the rear wall of the historic house.*
 - b. *New garages or accessory structures should not compete visually with the historic residence and should be subordinate in height, width, and area in comparison to the existing primary structure.*
 - c. *Accessory structures may reflect the architectural style of the existing house through similar materials, windows, roof patterns, and simplified architectural details.*

- d. *Basic rectangular forms, with simple hip or gable roofs, are appropriate for most new garages and accessory structures.*
- e. *Single-bay garage doors are more appropriate than double-bay garage doors on new structures.*

The proposed 434-square-foot detached garage would be similar in size, scale, and design to historic garages in the Old Towne Orange Local Historic District; would be subordinate in height, width, and area to the existing 1,159 square-foot residence; would be differentiated from the residence by its design, a simplified interpretation of the Residential Vernacular style that references, but does not copy, the design of the existing residence and other contributing buildings in the historic district; would feature a square plan with a simple low-pitched hipped roof that is compatible with the residence. The Project proposes double-bay garage doors. Although a single-bay garage door would be more appropriate, the Project would install a pair of wood carriage doors in each bay in order to maintain consistency with historic accessory structures in the Old Towne Orange Local Historic District. The carriage doors would recall, but not copy, historic carriage doors in the district. Moreover, the new garage would be located behind the rear wall of the residence, with its primary façade oriented perpendicularly to the historic building; this would minimize visibility of the double-bay garage doors from the public right-of-way. **The Project meets this guideline.**

Standards for New Construction Related to Historic Buildings: Infill Construction

1. *The location of new primary and secondary structures on a lot should be consistent with the historic pattern of front and side yard setbacks.*

The proposed garage would follow the general historical development pattern in the Old Towne Orange Local Historic District, including front and side yard setbacks. A review of Sanborn Fire Insurance Maps indicates that the Kordes Tract, in which the property is located, was historically developed with single-family residences fronting the street, with detached garages and accessory buildings at the rear.¹⁷ **The Project meets this guideline.**

2. *New buildings should be similar in mass and scale to surrounding buildings.*
 - a. *If a new building is larger than its neighbors, it should be modulated so that the appearance of the mass is located back from the street and is less visible.*
 - b. *Properties with new construction are recommended to use the average Floor Area Ratio of historic properties on the surrounding street as a model for compatible new development.*

The proposed garage would be similar in mass and scale to surrounding buildings; and would be situated at the rear of the lot. As such, the new building would not obstruct primary views of the historical resource or adjacent contributing properties; and would not be highly visible from the

¹⁷ Sanborn Fire Insurance Map, Orange, Orange, California, sheet 8, January 1922.

public right-of-way. **The Project meets this guideline.**

3. *The height and roof form of a new building should be comparable to surrounding historic buildings.*
 - a. *Roofing materials and details should be similar to those found on historic properties.*
 - b. *Dormers should be similar in size and style to historic properties.*

The proposed garage would be comparable in height to adjacent accessory building in the Old Towne Orange Local Historic District. The proposed garage would also feature a low-pitched hipped roof covered with composition shingles, consistent with the residence and other contributing properties in the historic district. **The Project meets this guideline.**

4. *A new primary building should have a main entrance and façade parallel to and facing the street.*

The Project does not propose a new primary building. **This guideline is not applicable.**

5. *The progression of public to private spaces from the street should be maintained.*
 - a. *A sheltered building entrance or front porch may be appropriate to create a transitional space from the street to the interior of the building.*

The proposed garage would be situated at the rear of the lot to maintain the progression of public and private space from South Clark Street. **The Project meets this guideline.**

6. *New construction should have a similar pattern of windows and doors on elevations visible from the street to those found in surrounding historic buildings.*

The proposed garage would be situated at the rear and therefore not be highly visible from the public right-of-way. **This guideline is not applicable.**

7. *The use of traditional building materials found on historic buildings in the Historic District is encouraged for new construction.*
 - a. *Exterior materials shall be compatible with the size, scale, design, texture, reflectivity, durability and color of historic materials used on comparable historic buildings in the Historic District.*
 - b. *Use of simplified versions of traditional architectural details is encouraged.*
 - c. *Alternates to traditional building materials may be considered, if the alternate material is compatible with the design and appearance of comparable historic features on similar contributing buildings in the Historic District.*

The proposed garage would incorporate horizontal composite siding and a low-pitched composition hipped roof that are consistent with the residence and other contributing properties in the Old Towne Orange Local Historic District. **The Project meets this guideline.**

8. *The height, mass and scale of new secondary buildings should be minimized as much as possible.*
 - a. *In general, secondary buildings should be no taller than the primary building. In limited areas, secondary buildings may be taller than primary buildings, if this condition is already typical of the streetscape of the surrounding blocks.*
 - b. *The design of secondary buildings should be subordinate to the primary building on the lot.*
 - c. *Historic accessory structures were typically utilitarian buildings with limited decorative elements. Basic rectangular building forms and simple roof configurations are appropriate.*

The proposed garage would be 12'-4" in height. The height of the residence is 20.' Therefore, the proposed garage would not be taller than the residence. Additionally, the proposed garage would be subordinated to the residence and other contributing properties in the Old Towne Orange Local Historic District by its location in the rear yard; and would embody a utilitarian design that is a simplified interpretation of the Residential Vernacular style that references, but does not copy, the design of the existing residence and other contributing buildings in the historic district; and would feature a square plan with simple low-pitched hipped roof that is compatible with the residence. **The Project meets this guideline.**

9. *Infill construction should adhere to the sections on Standards for Historic Residential Buildings – Setting or Standards for Historic Commercial Buildings – Setting.*

As noted above under *Standards for Historic Residential Buildings: Garages and Accessory Structures*, the Project is located in the rear yard of the Project Site. Therefore, it would preserve the prevailing pattern of open space in the front and side yards of contributing properties in the Old Towne Orange Local Historic District. **The Project meets this guideline.**

7.0 CONCLUSION

The Project Site at 133 South Clark Street is a contributing property in the Old Towne Orange Local Historic District. The Project proposes to construct a detached garage at the rear of the property. This analysis has demonstrated that the Project conforms with the applicable Secretary of the Interior's Standards for Rehabilitation and the City of Orange's Historic Preservation Design Standards. The new construction would be compatible in size, scale, design, massing, and proportions with the existing contributing building on the Project Site; and it would not result in a substantial change to the site and environment of the property or adjacent contributors in the Old Towne Orange Local Historic District. Therefore, the Project would not result in any impacts to the Old Towne Orange Local Historic District.

8.0 REFERENCES

- Brigandi, Phil. *A Brief History of Orange, Orange County Historical Society*, 2011. Accessed June 20, 2024, https://www.orangecountyhistory.org/wp/?page_id=197.
- City of Orange. *General Plan*. Adopted March 2020.
- City of Orange. *Historic Preservation Design Standards*. Adopted by Orange City Council December 12, 2018.
- Curtis, John Obed. *Moving Historic Buildings*. Washington, D.C.: U.S. Department of the Interior, National Park Service, 1979.
- State of California, Department of Parks and Recreation. "California Office of Historic Preservation Technical Assistance Series #6: California Register and National Register: A Comparison." Sacramento, CA: Office of Historic Preservation, 2011.
- U.S. Department of the Interior. *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*. Washington D.C.: National Park Service, 1997.
- U.S. Department of the Interior. *National Register Bulletin 16: How to Complete the National Register Registration Form*. Washington, D.C.: National Park Service, 1997.
- United States Department of the Interior, National Park Service. "National Register of Historic Places Registration Form, Old Towne Orange Historic District," May 19, 1997.
- Weeks, Kay D., and Anne E. Grimmer. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*. Washington, D.C.: United States Department of the Interior, National Park Service, 2017.

APPENDIX A

RESUMES OF AUTHORS/CONTRIBUTORS

HISTORIC RESOURCES GROUP

12 S. Fair Oaks Avenue, Suite 200
Pasadena, CA 91105 - 3816

Tel 626-793-2400

historicresourcesgroup.com



Professional License

California Architect C24223

Education

Master's Degree, Historic
Preservation, University of
Southern California

Bachelor of Architecture,
University of Southern California

Honors and Awards

National Trust for Historic
Preservation, Richard H. Driehaus
Foundation National Preservation
Award

Los Angeles Conservancy
Preservation Award

California Preservation
Foundation Preservation Design
Award

City of Pasadena Historic
Preservation Award

AIA Institute Honor Award

JOHN LOCASCIO, AIA

Principal Architect

Experience Profile

Years of Experience: 31

John LoCascio has been with HRG since 2011, involved in historic preservation since 2002, and a licensed, practicing architect since 1993.

John's areas of focus at HRG include historic architecture and technology, building conservation, historic structure reports and federal historic rehabilitation tax credit projects. He provides technical assistance for construction documents, advises on compliance with the Secretary of the Interior's Standards and the use of the State Historic Building Code, provides construction monitoring, and paint and materials sampling and analysis services. John has worked on a wide variety of buildings and structures in California as well as in other states. He is currently advising on historic tax credit projects in Los Angeles, the San Francisco Bay area, and Washington State. In addition, John regularly provides historic architecture consultation for numerous LAUSD campus modernization projects.

John LoCascio meets the *Secretary of the Interior's Professional Qualifications Standards* in Architecture and Historic Architecture.

Selected Projects

28th Street YMCA Rehabilitation and Adaptive Reuse, Los Angeles
Academy Museum of Motion Pictures Rehabilitation, Hollywood
Angelus Funeral Home Historic Tax Credit Project, Los Angeles
CBS Columbia Square Rehabilitation and Adaptive Reuse, Hollywood
Chapman University VPO Packing House Rehabilitation, Orange
Climate Pledge Arena Historic Tax Credit Project, Seattle
Constance Hotel Historic Tax Credit Project, Pasadena
Grand Central Air Terminal Rehabilitation & Adaptive Reuse, Glendale
Los Angeles International Airport Preservation Plan and HSRs
Mayfair Hotel Historic Tax Credit Project, Los Angeles
Venice High School Comprehensive Modernization, Los Angeles

Professional Affiliations

American Institute of Architects

HISTORIC RESOURCES GROUP

12 S. Fair Oaks Avenue, Suite 200
Pasadena, CA 91105 - 3816

Tel 626-793-2400

historicresourcesgroup.com



Education

Master of Historic
Preservation, Columbia
University
Bachelor of Architecture,
California State Polytechnic
University, Pomona

Professional Affiliations

Association for
Preservation Technology
Columbia University
Preservation Alumni
Pasadena Heritage
The 1947 Partition Archive
Society of Architectural
Historians

ADAM RAJPER

Senior Historic Preservation Specialist

Experience Profile

Years of Experience: 9

Adam has worked in historic preservation in the non-profit, private, and public sectors. He joined HRG in 2022; his areas of focus include preparing documentation in support of CEQA, NEPA and Section 106 environmental review, and historic resources assessments.

Adam has utilized his architecture and conservation skills to prepare Historic Structures reports, provide building envelope consultations, develop treatment plans, conduct easement property inspections, and review projects proposing exterior maintenance and alterations. In general, Adam has worked on a variety of projects, including state and federal historic tax credit applications, local preservation incentives, National Register nominations, Historic Structure Reports, Historic American Building Survey (HABS) documentation reports, historic resource surveys, historic context statements, and historic rehabilitations.

Prior to joining HRG, Adam was a senior architectural historian for consulting firms in California and Texas, most recently MacRostie Historic Advisors in Houston. He also served as Preservation Director for Pasadena Heritage and Historic Preservation Specialist for the City of San Antonio Office of Historic Preservation.

Adam Rajper meets the *Secretary of the Interior's Professional Qualification Standards* in Historic Preservation in History, Architectural History and Historic Architecture.

Selected Projects

Aurora Apartment Hotel National Register Nomination
American National Insurance Company National Register Nomination
Friedrich Refrigeration Company Official Texas Historical Marker
Mills Act Historic Property Contract Program Inspections
RMS Queen Mary Historic Structures Report
Rancho Los Amigos Historic Survey

APPENDIX B

PROJECT INFORMATION

PROPERTY INFORMATION:		
ADDRESS: 133 S CLARK STREET ORANGE, CALIFORNIA 92668		
OWNER:	ALAN S. ROSEN	(714)376-8620
A.P.N. :		39067206
TRACT :		398
BLOCK :		C
LOT :		9
ZONING :		R-1-6
CONSTRUCTION TYPE:		V-B
OCCUPANCY:		U-1

LOT/PARCEL AREA: 6,732 SQ FT	
(E) S.F.D. LIVING AREA (3 BEDS 2 BATHS)	1,159 SQ. FT
(E) FRONT PORCH:	76 SQ. FT
(E) LEFT PORCH:	55 SQ. FT
APPROVED DETACHED ADU(3 BEDS 2 BATHS)(BLDG25-0042)	800 SQ. FT
APPROVED ADU FRONT PORCH (BLDG25-0042)	15 SQ. FT
(N) DETACHED GARAGE	434 SQ. FT
PROPOSED FAR	0.35

- NEW DETACHED GARAGE (434 SQ. FT.)


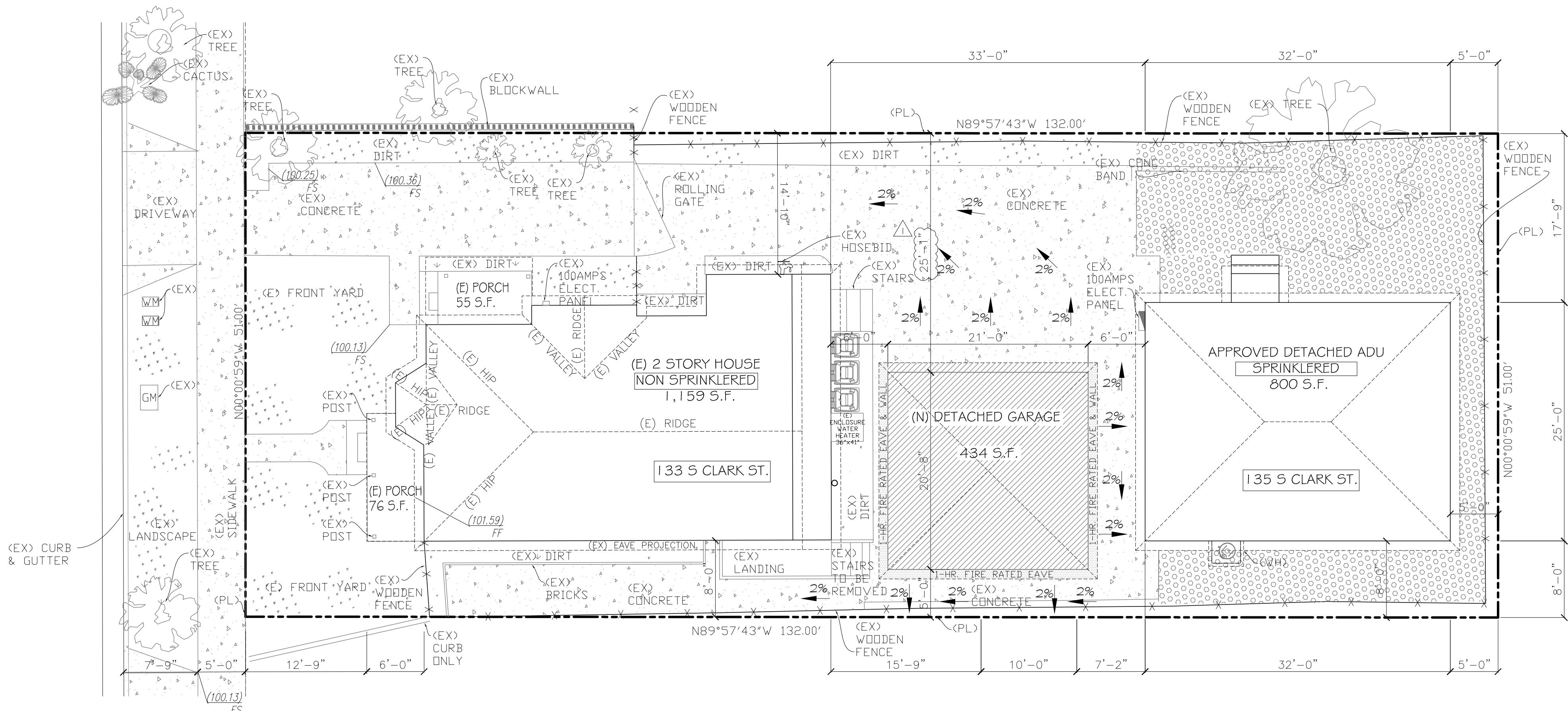
SITE PLAN	C-1
EXISTING SITE PLAN	C-2
FLOOR PLAN / ELEVATIONS	G-1
SECTIONS / ROOF PLAN	G-2

ALL WORK SHALL CONFORM TO THE REQUIREMENTS
OF THE FOLLOWING CODES AND LOCAL ORDINANCES:

- * 2022 CALIFORNIA RESIDENTIAL CODE
- * 2022 CALIFORNIA BUILDING CODE
- * 2022 CALIFORNIA MECHANICAL CODE
- * 2022 CALIFORNIA PLUMBING CODE
- * 2022 CALIFORNIA ELECTRICAL CODE
- * 2022 CALIFORNIA TITLE 24 ENERGY CODE

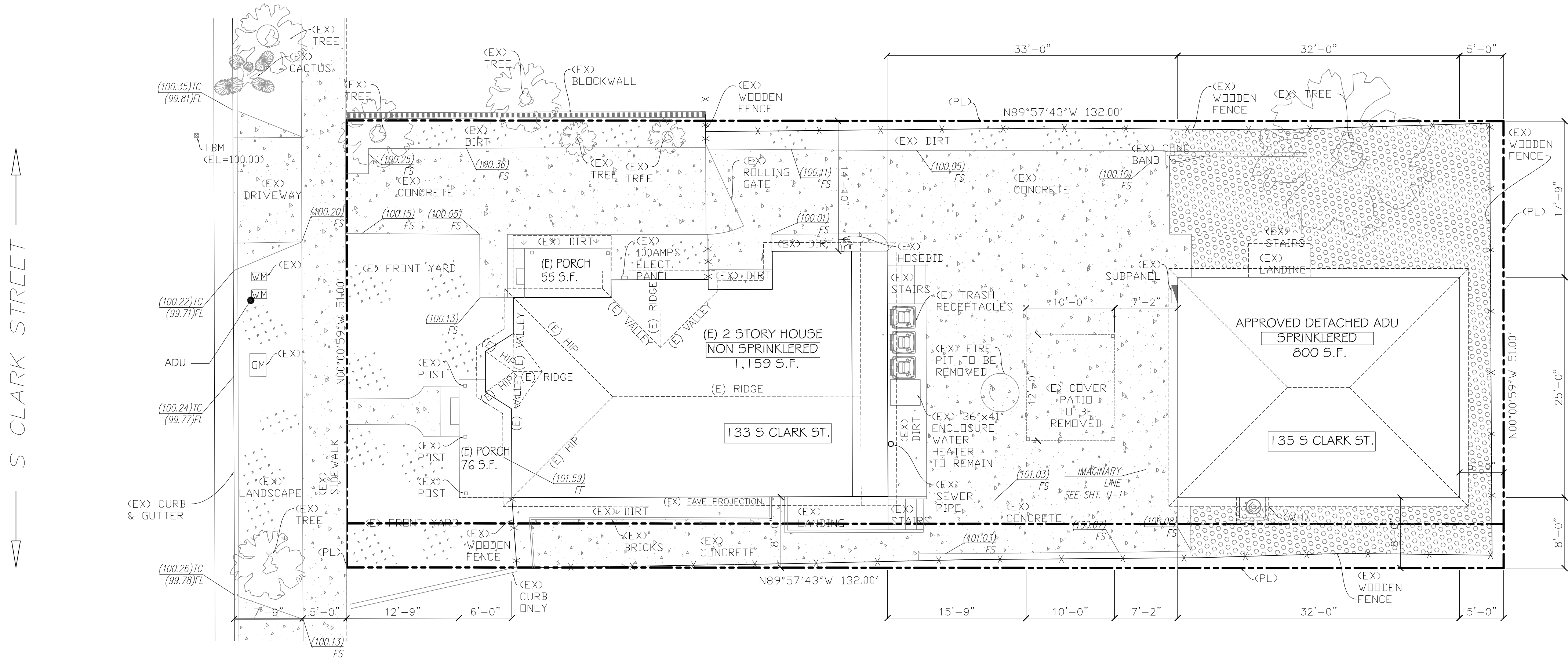
AB.	ANCHOR BOLT	EN.	EAGE NAILING	PL.	PLATE
ADJ.	ADJUSTABLE	ELEV.	ELEVATION	PENNY(6)	NAILS
ABV.	ABOVE	ENGR.	ENGINEER	PLYWD.	PLYWOOD
ACI.	AMERICAN	EQ.	EQUAL	P.SF.	POUNDS PER
	CALCULATE	EQUIP.	EQUIPMENT	SQ.	SQUARE FOOT
	INSTITUTE	EXIST (E)	EXISTING	P.SI.	POUNDS PER
AISC.	AMERICAN	EXP.	EXPANSION		SQUARE INCH
	INSTITUTE OF	FIN.	FINISH	PRESS.	PRESSURE
	STEEL CONSTR.	FL.	FIELD	RADIUS	
A.S.T.M.	AMERICAN SOCIETY	F.N.	FLOOR	REINF.	REINFORCING
	FOR TESTING	FTG.	FOOTING	REQD.	REQUIRED
	& MATERIALS	FND.	FOUNDATION	RM.	ROOM
ARCH.	ARCHITECTURAL	FRMG.	FRAMING	SCHED.	SCHEDULE
BM.	BEAM	GA.	GAUGE	SHTG.	SHEATHING
BO.	BOARD	GALV.	GALVANIZED	SHT.	SHEET
BLK.	BLOCK	GLB.	GLUE LAM BEAM	SM.	SIMILAR
BLDG.	BUILDING	GRD.	GRADE	SPEC.	SPECIFICATION
BLDG.	BUILDING	HDR.	HOLDUP	STOR.	STAGGER
		HDR.	HANGER	STD.	STANDARD
CLG.	CEILING	HDR.	HEADER	STL.	STEEL
CLR.	CLEAR	HT.	HIGHT	STIFF.	STIFFENER
COL.	COLUMN	HORIZ.	HORIZONTAL	STRUCT.	STRUCTURAL
CMU.	CONCRETE	IN.	INCH	SQ.	SQUARE
	MASONRY	ID.	INSIDE DIAMETER	SYM.	SYMMETRICAL
	UNIT	INT.	INTERIOR	THK.	THICK
C.J.	CONSTRUCTION	JST.	JOIST	UNIF.	UNIFORM
	JOINT	LAM.	LAMINATED	UNIF.	UNIFORM
CONC.	CONCRETE	LT. WT.	LIGHT WEIGHT	BUILD.	BUILDING
CONN.	CONNECTION	MB.	MACHINE BOLT	UNO.	UNLESS
CONSTR.	CONSTRUCTION	MAS.	MASONRY	NOTED	NOTED
	CONTINUOUS	MAX.	MAXIMUM		OTHERWISE
DEMO.	DEMOLISH	MTL.	METAL	VERT.	VERTICAL
DET.	DETAIL	MIN.	MINIMUM	WT.	WEIGHT
DIA.	DIAMETER	NOT TO SCALE		WFLD.	WELDED WIRE
DIA. (ø)	DIAMETER	NO. or #	NUMBER		FABRIC
DIM.	DIMENSION	O.C.	ON CENTER	WWM.	WELDED WIRE
DBL.	DOUBLE	OPNG.	OPENING		MESH
DWG.	DRAWING	OPPOSITE	OPPOSITE	WF.	WIDE FLANGE
EA.	EACH	OD.	OUTSIDE DIA.	W/	WITH

A detailed map of the area around 1400 S Orange St. The map shows a grid of streets including W Maple Ave, W Almond Ave, W Palmyra Ave, N Grand St, N Orange St, N Cypress St, N Lemon St, S Grand St, S Orange St, S Palmyra St, S Almond St, S Cypress St, and S Lemon St. A red dot marks the 'SITE LOCATION' at 1400 S Orange St. Other landmarks include 'Imaging Partners' (red dot), 'The French Estate' (purple dot), 'West Orange Elementary School' (green dot), 'Orange Drive' (yellow dot), 'Shoos in A.M. Fabrics' (orange dot), and 'Olive's Place' (green dot). A legend indicates 'Arbor Way' and 'Orange' (highway 78). A north arrow is in the top right corner.

 NEW DETACHED GARAGE
434 SQ. FT.

CRC 2022 SECTION R401.3 EXCEPTION:
Impervious surfaces within 10 feet (3048 mm) of the building foundation shall be sloped a minimum of 2 percent away from the building.

SCALE: 1/8" = 1'-0"



(E) SITE PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	BY

NEW DETACHED GARAGE
133 S CLARK STREET
ORANGE, CALIFORNIA 92868
EXISTING SITE PLAN

JOB NO.	24-045
DRAWN	J.N.
CHECKED	A.B.
SCALE	NOTED
DATE	9/17/25
SHEET NO.	

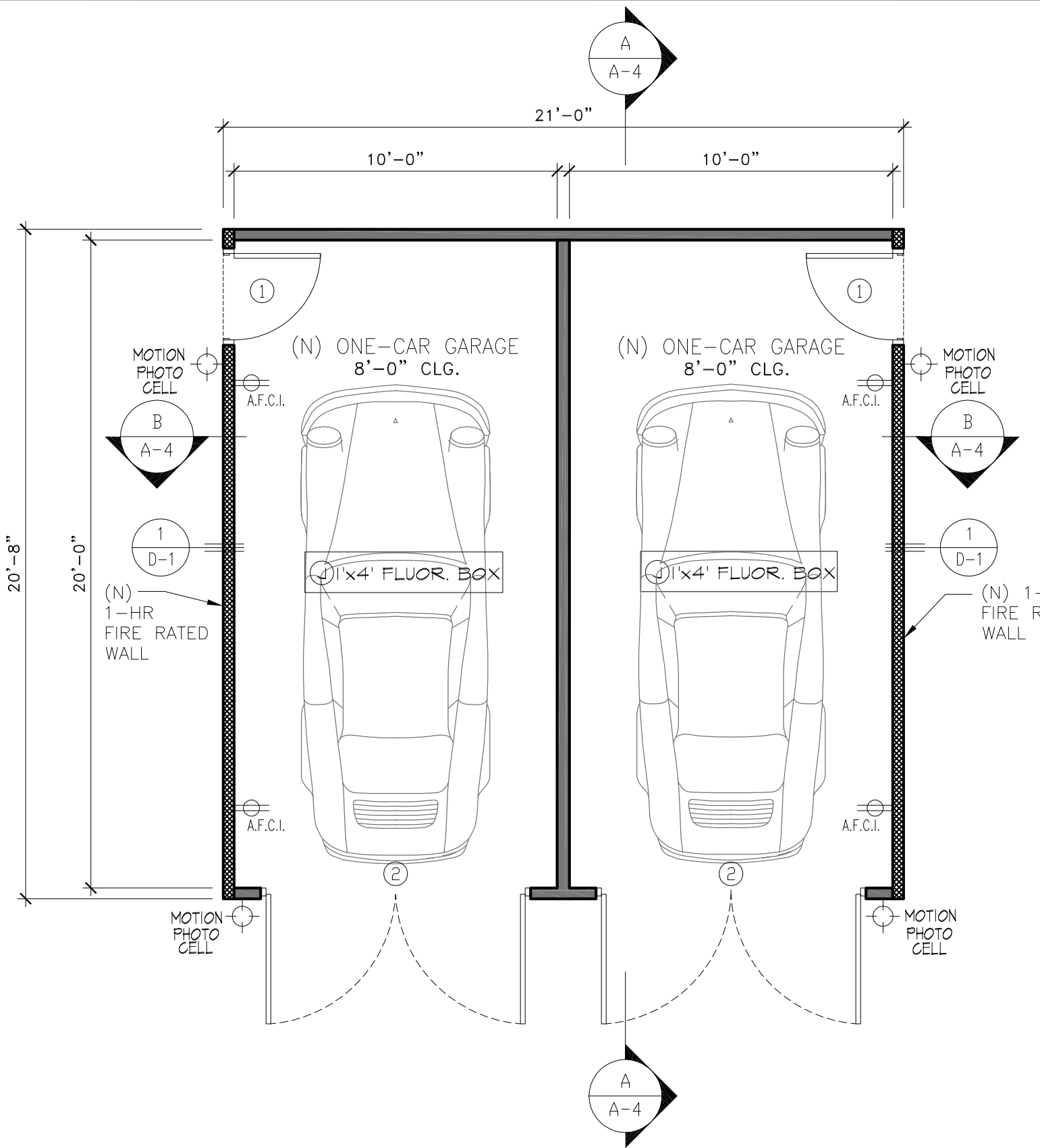
C-2

DOOR SCHEDULE					
NO.	DOOR SIZE	DOOR	FRAME	HDWR. NOTES	LOCATION
1	3'-0"x6'-8"	W.D.	W.D.	SOLID CORE	ENTRY
2	8'-0"x7'-0"	W.D.	W.D.	SWINGING DOOR	GARAGE DOOR

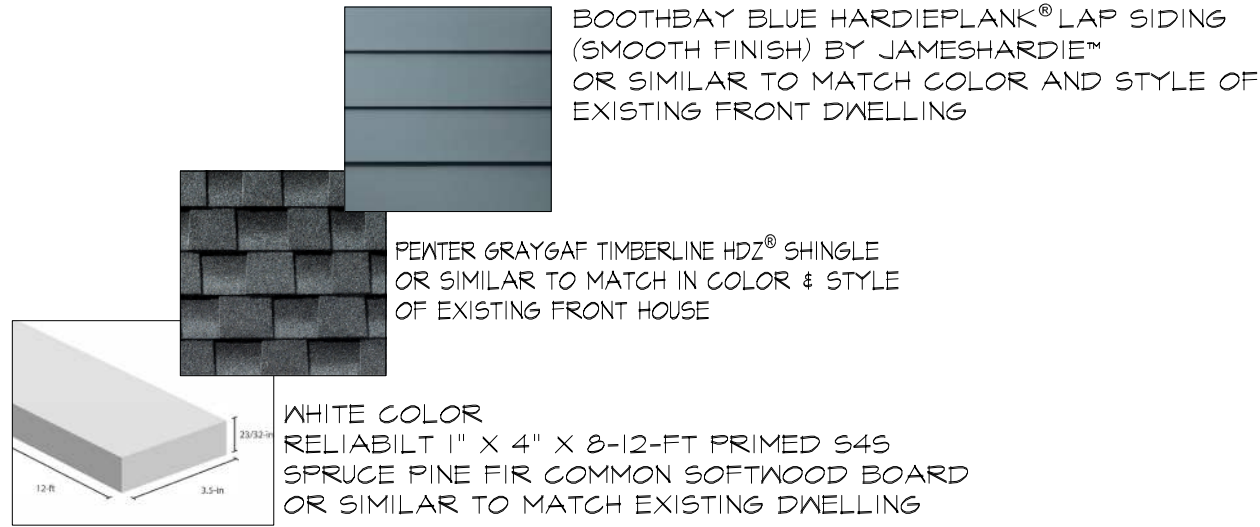
NOTE: ALL DOORS COLOR, STYLE, TYPE TO BE SELECTED BY OWNER.

WALL LEGEND	
	NEW 2 x 4 STUD WALL
	NEW 1-HR FIRE RATED WALL

ELECTRICAL LEGEND	
	DUPLEX OUTLET
	DUPLEX OUTLET 220 VOLTS
	DUPLEX OUTLET WATERPROOF GROUND FAULT INTERRUPTER
	ELECT SWITCH THREE WAY
	ELECT SWITCH FOUR WAY
	WALL MOUNTED LIGHT FIXTURE
	PHOTOCONTROL/MOTION SENSOR COMBINATION LIGHTING FEATURES SHALL BE SET AT A RATING OF 2,700 TO 3,000 KELVIN
	RECESSED DOWNLIGHT WITH DIMMER SHALL BE SEALED TYPE
	Provide Luminaires classified as high efficacy such as pin-based sockets, (compact fluorescent) or linear fluorescent lamps with electronic ballasts. Some screw socket types that are high efficacy metal halide and light emitting diode (LED) may be used as well
	VAPOR PROOF
	DUPLEX OUTLET GROUND FAULT INTERRUPTER ELECTRICAL
	LIGHT FIXTURE 1'x4' FLUOR. BOX
	1'x4' FLUORESCENT SURFACE MOUNT LIGHT



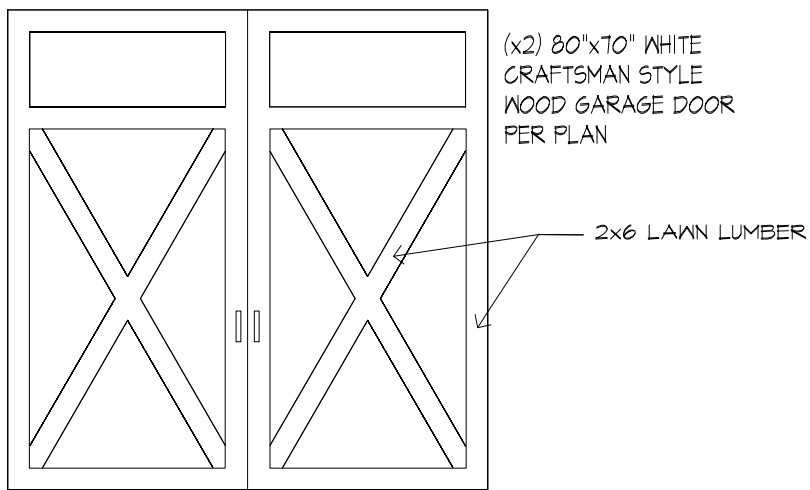
PROPOSED TWO-CAR GARAGE FLOOR PLAN
SCALE: 1/4"=1'-0"



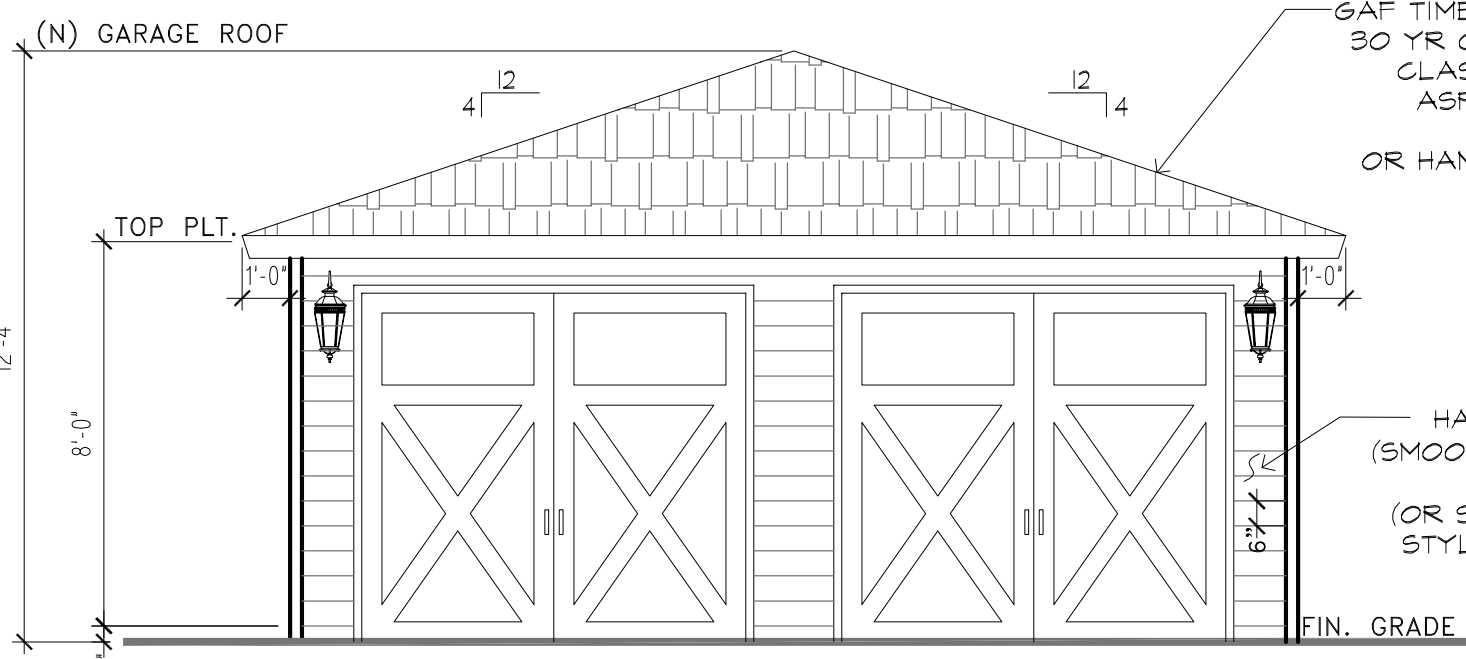
PROPOSED GARAGE COLORS MATERIALS
N.T.S.



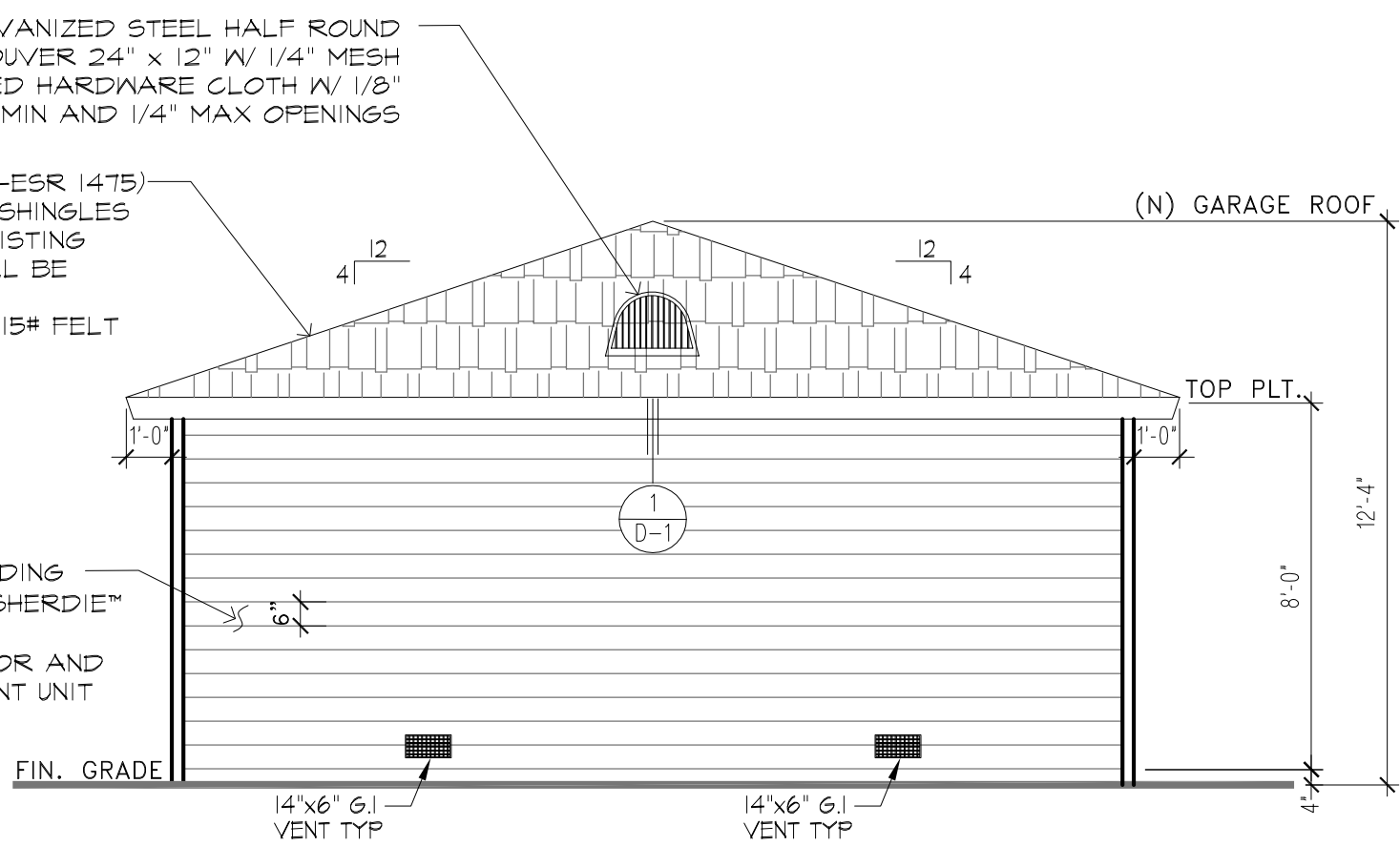
PROPOSED GARAGE ENTRY DOOR
N.T.S.



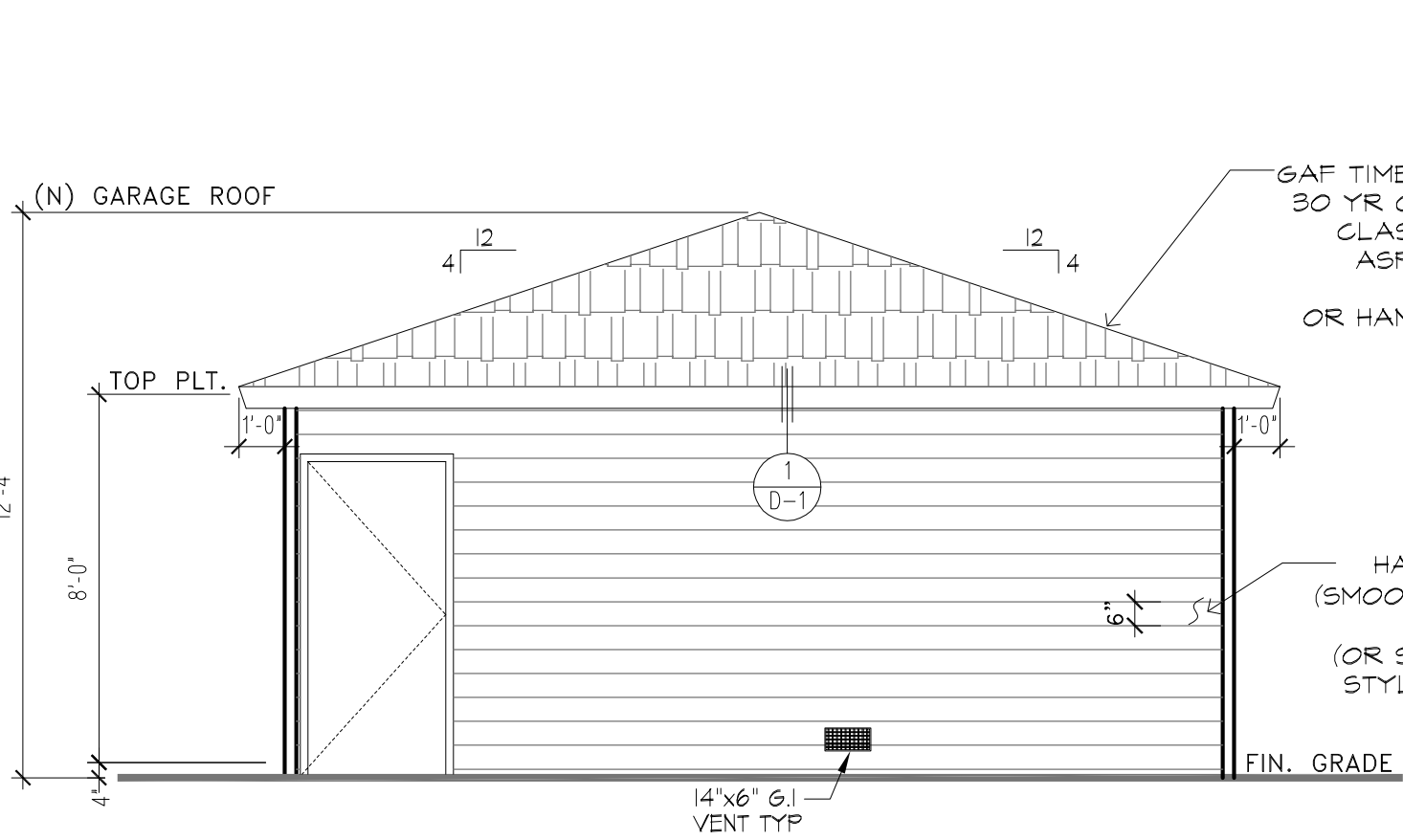
PROPOSED GARAGE DOOR
N.T.S.



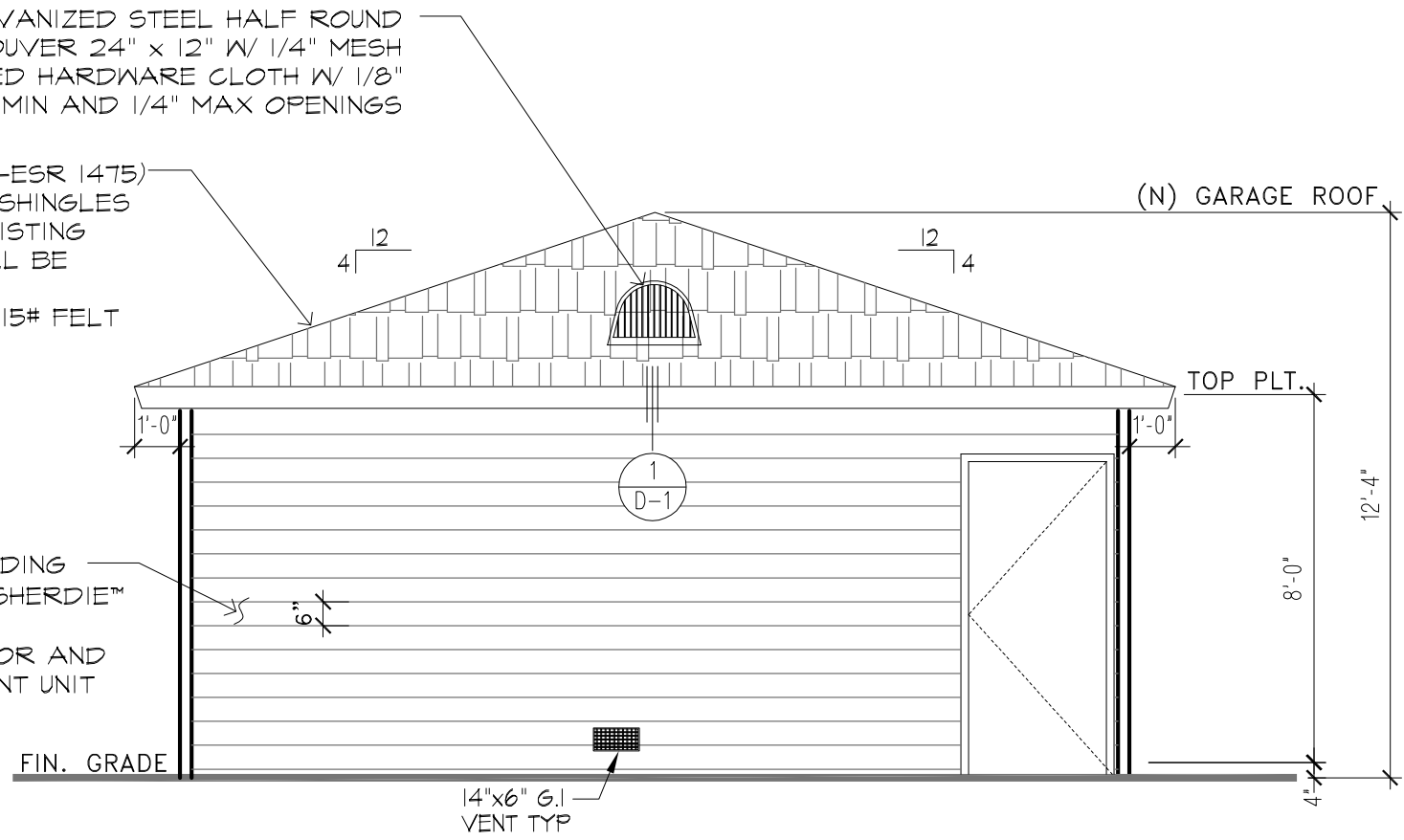
DETACHED GARAGE FRONT ELEVATION
NORTH
SCALE: 1/4"=1'-0"



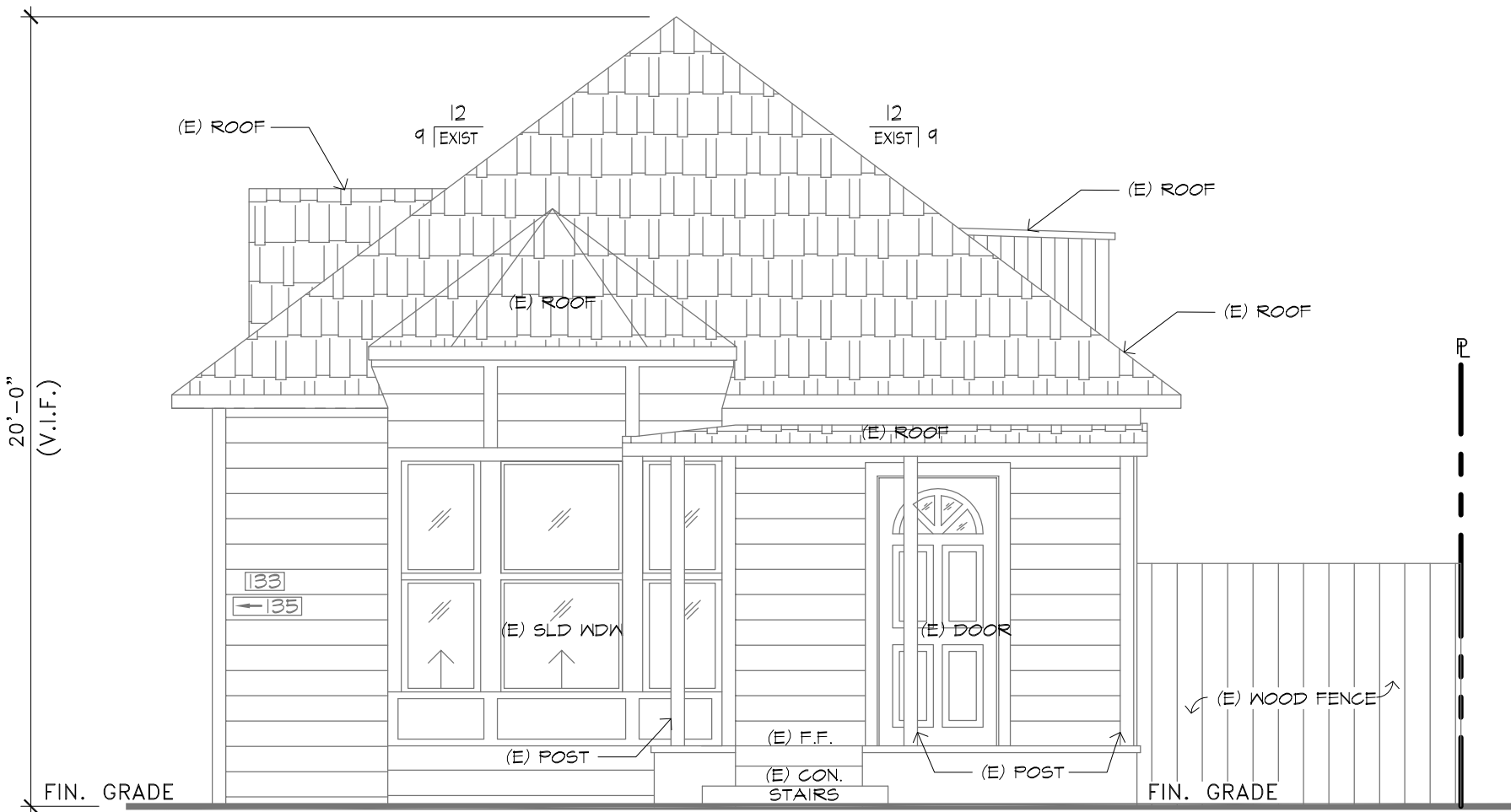
DETACHED GARAGE REAR ELEVATION
SOUTH
SCALE: 1/4"=1'-0"



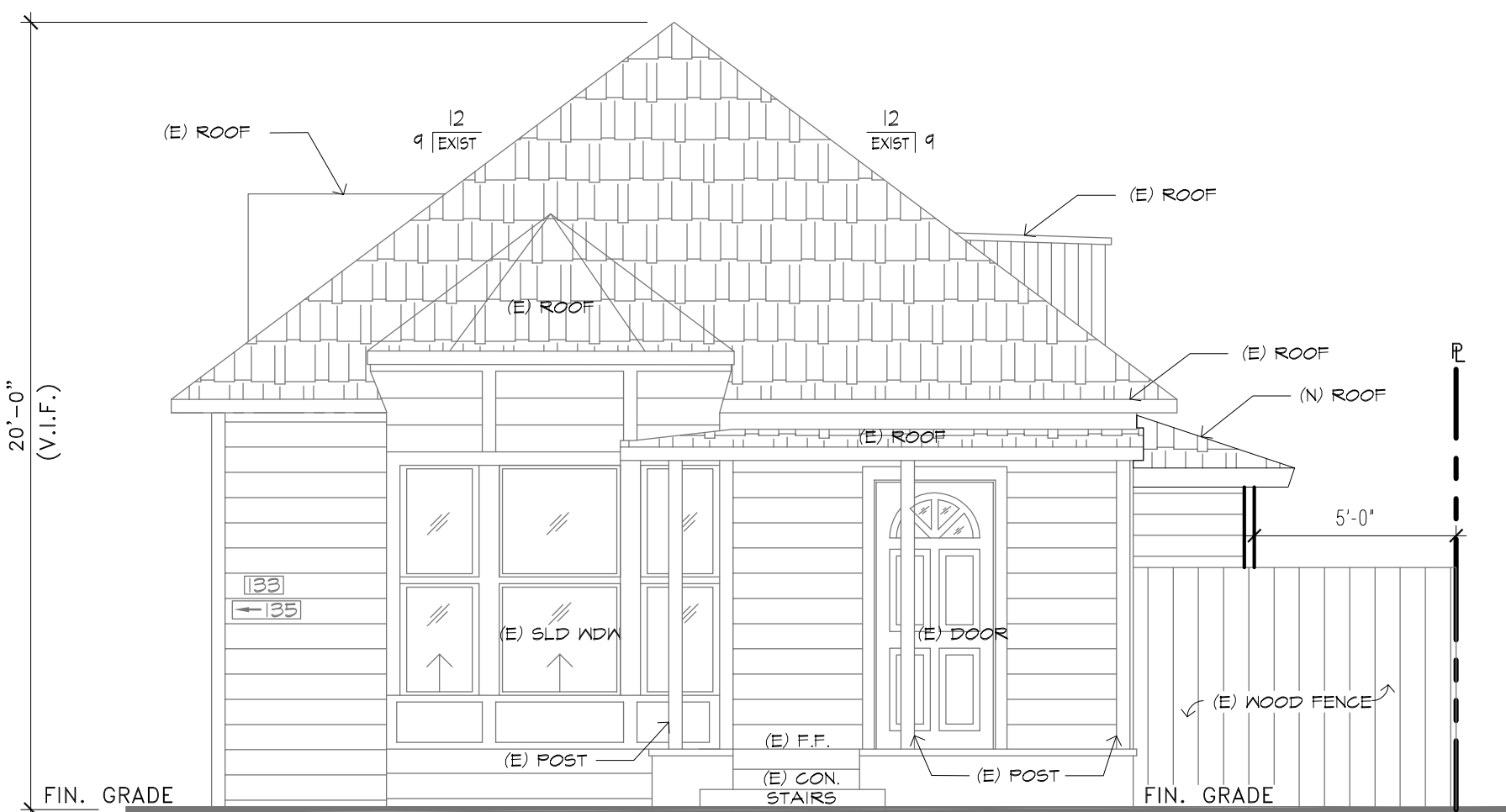
DETACHED GARAGE LEFT ELEVATION
WEST
SCALE: 1/4"=1'-0"



DETACHED GARAGE LEFT ELEVATION
EAST
SCALE: 1/4"=1'-0"



EXISTING HOUSE FRONT ELEVATION
WEST
SCALE: 1/4"=1'-0"



PROPOSED GARAGE ELEVATION AT THE REAR OF (E) HOUSE
WEST
SCALE: 1/4"=1'-0"

REVISIONS	BY
PLAN CHECK 9/17/25	AB

JOB NO.	24-045
DRAWN:	J.N.
CHECKED:	A.B.
SCALE:	NOTED
DATE:	9/17/25
SHEET NO.	

ROOF PLAN


ROOFING MATERIAL TYPE:


SCALE: 1/4"=1'-0"


GAF Timberline Cool Series Shingles (ICC-ESR 1475)
(N) 30 YR. COMPOSITION ROOF SHINGLES
CLASS "A" TO MATCH EXISTING.
ASPHALT SHINGLES SHALL BE SELF- SEALING OR
HAND- SEALED, OVER 2-15 # FELT LAID w/ 19 MIN.
HORIZONTAL OVERLAP
MATCH EXISTING


ROOF NOTES

1. ROOF SLOPE :


2. ROOF OVERHANG :


3. ROOF VENTS :


4. ROOF MATERIAL :


- TYPICAL NEW ROOF SLOPE = 4:12 U.N.O.
SEE ROOF PLAN

12" AT EAVE. (U.N.O.)
12" AT BARGE. (U.N.O.)

DORMER VENTS TO BE SELECTED BY BUILDER.
NET FREE AREA PER VENT SHALL BE
100 SQ. IN. MIN. INSTALL 6 MIN.

GALVANIZED STEEL
HALF ROUND DORMER LOUVER
24"x 12" w/ 1/4" MESH
GALVANIZED HARDWARE CLOTH
w/ 1/8" MIN. & 1/4" MAX OPENING

GAF UL CLASS "A" STANDARD ROOF SHINGLE
ICC-ESR 1475

ATTIC VENTILATION

NOTE: 50% OF THE REQUIRED VENTILATION AREA MUST BE
LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS
WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS.

- ALL VENT OPENINGS SHALL BE COVERED W/ 1/4" CORROSION RESISTANT METAL MESH.
- FRAMER SHALL BE RESPONSIBLE FOR COORDINATING W/FRAMING LAYOUT TO ACCOMMODATE ALL ATTIC VENTS
- ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-PROOF AND WALL MOUNTED LOUVERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATIONS.
- PROVIDE APPROVED INSULATION DAMS (BAFFLES) WHERE VENT BLOCKS ARE USED BETWEEN ROOF FRAMING MEMBERS TO PREVENT VENT HOLES BEING BLOCKED BY INSULATION.
- PAIN DORMER VENTS TO MATCH ROOF COLOR.

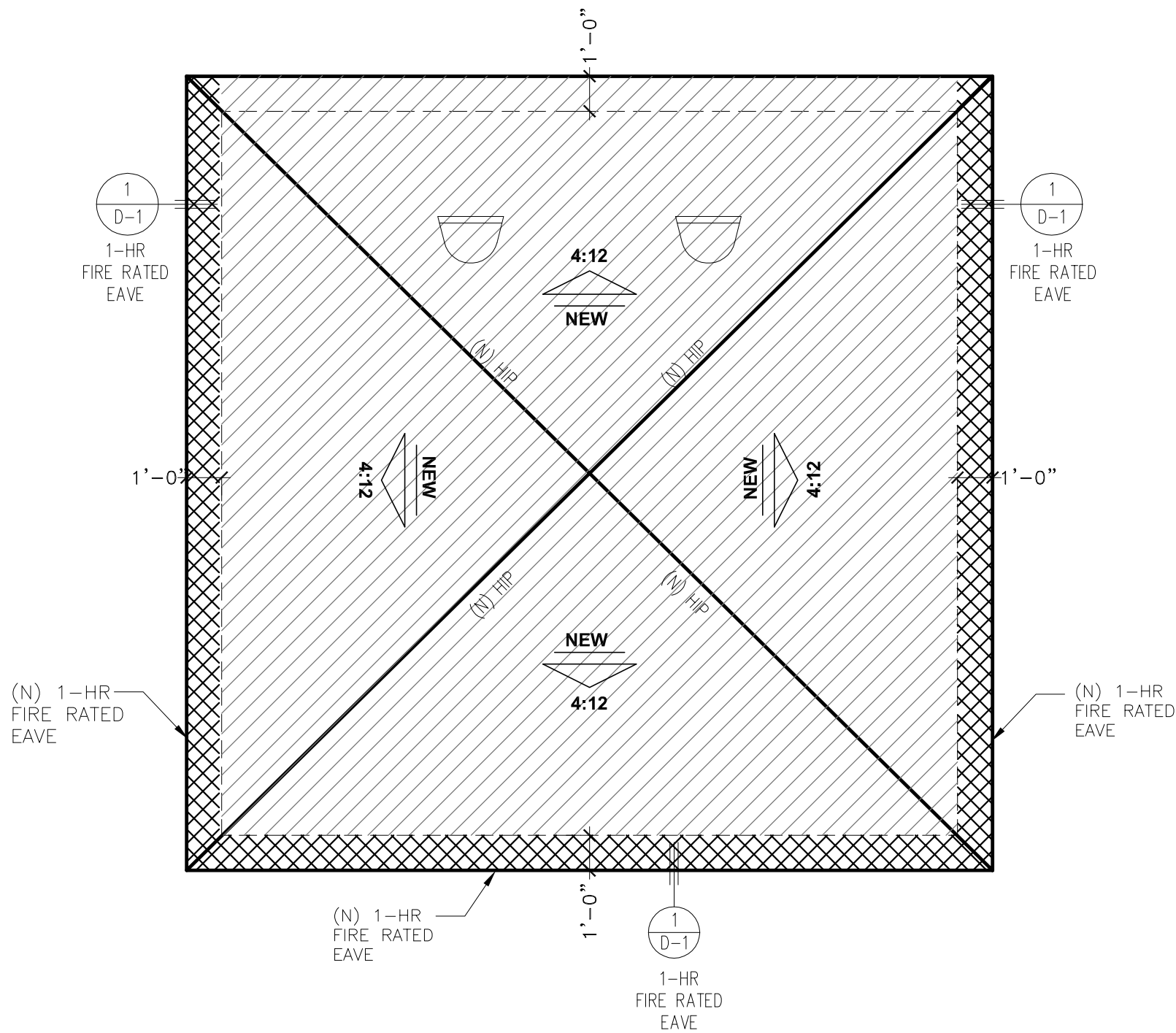
NOTE:
FOR CALIFORNIA FRAMED ROOF AREA - VERIFY LOCATION
WITH STRUCTURAL ENGINEERING DRAWINGS. UNLESS
OTHERWISE NOTED, PROVIDE VENT CUT-OUTS THROUGH
SHEATHING BELOW FOR VENTILATION AND AS APPLICABLE,
ACCESS TO CALIFORNIA FRAMED AREA.

ATTIC VENTILATION CALC.

ATTIC AREA : 441 SQ. FT.
S.F. X 1/300 X 144 = SQ. IN.

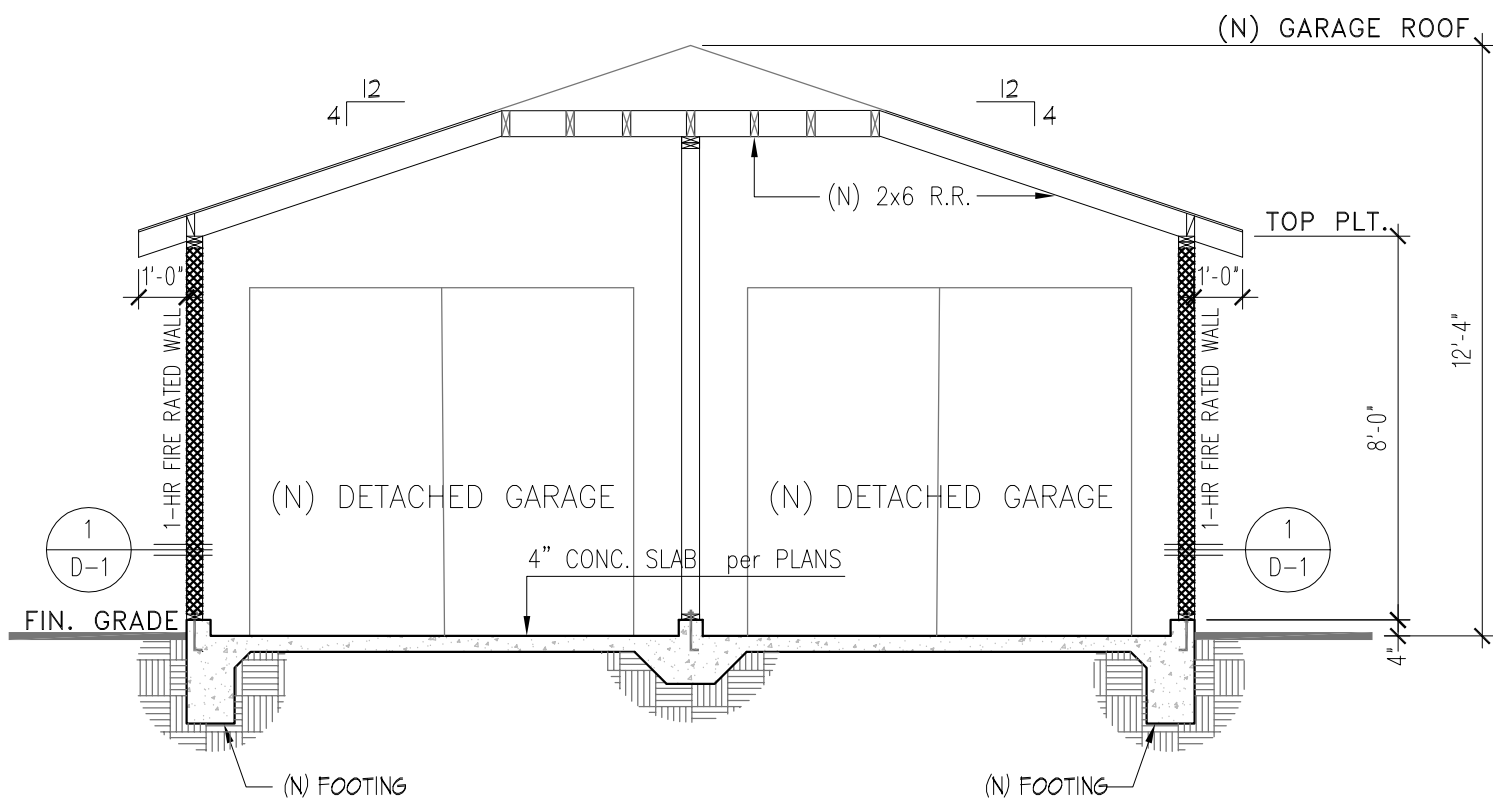
REQUIRED
441 SQ. FT. / 300 = 1.47 SQ. FT.
1.47 SQ. FT. X 144 = 211.68 SQ. IN. REQUIRED

PROVIDE
(2) DORMER VENTS AT 100 SQ. IN PER VENT = 200
(3) EAVE VENTS 9 SQ. IN PER VENT = 27
TOTAL = 227



(N) DETACHED GARAGE ROOF PLAN

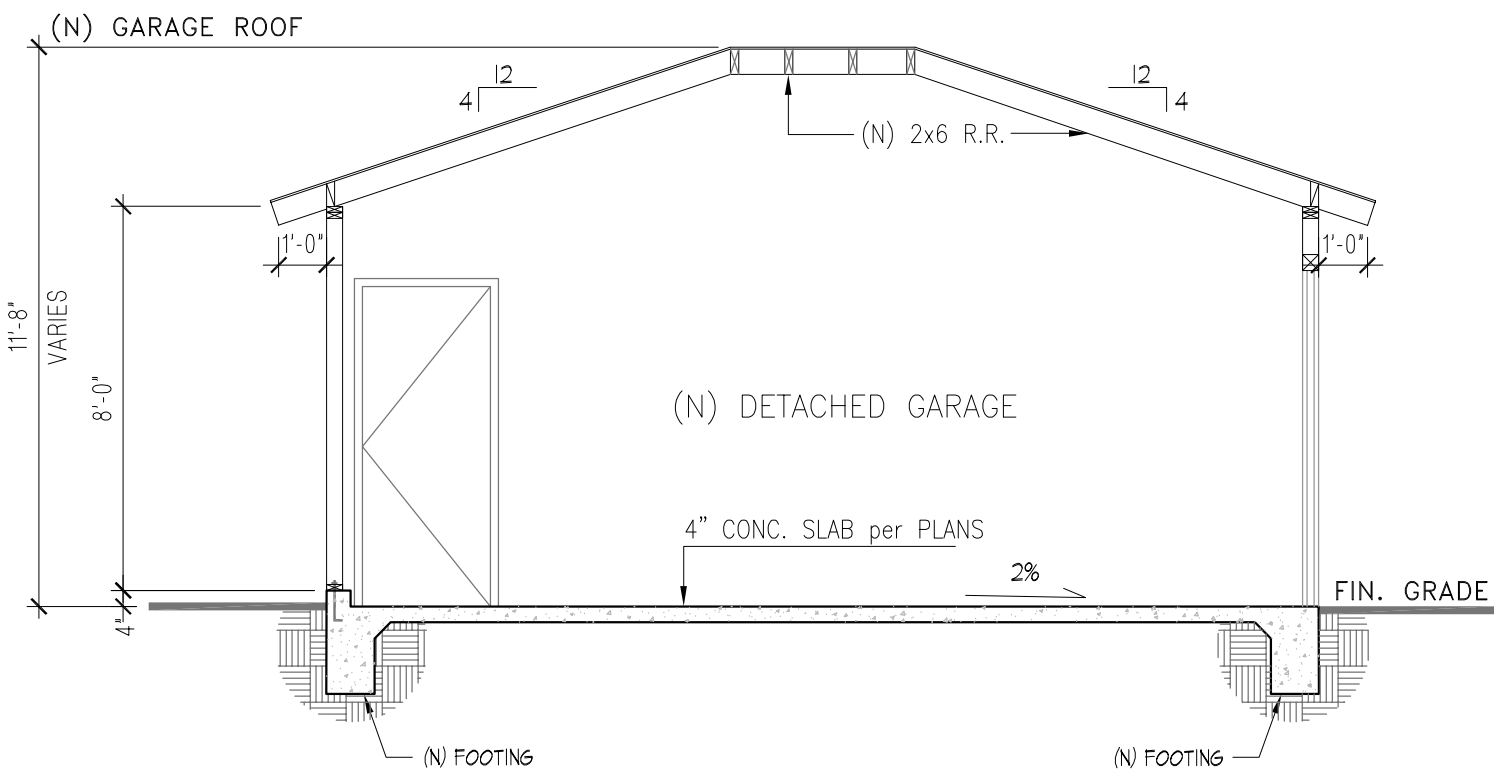
SCALE: 1/4"=1'-0"



SECTION

SCALE: 1/4"=1'-0"

A



SECTION

SCALE: 1/4"=1'-0"

B

REVISIONS BY

APPENDIX C

DEPARTMENT OF PARKS AND RECREATION FORM (2005)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 30-158719
HRI # 038085
Trinomial ORA
NRHP Status Code 5D1

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

CLARK_S_133__APN_390-672-06

P1. Other Identifier:

*P2. Location:

☐ Not for Publication

☒ Unrestricted

*a. County:

Orange

and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad:

Date:

T

R

1/4 of

1/4 of Sec

B.M.

c. Address:

133

-

S CLARK

ST

, #

City:

Orange

Zip:

92868

d. UTM:

(Give more than one for large and/or linear resources)

Zone

'

mE/

mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials:

Frame - Wood siding

Box plan with pyramid roof. Front portion of roof extends to form porch overhang and is supported by wood posts. Angled bay window on front facade rises up through main roof and is topped by a conical roof itself. Windows are high, vertical, double-hung windows. Some modifications have been made to the house, including addition of dormer on side, new siding, and lattice work connecting porch posts.

*P3b. Resource Attributes: (HP2)--Single family property
(List attributes and codes)

*P4. Resources Present:

☒

Building

☐

Structure

☐

Object

☐

Site

☒

Element of District

☐

District

☐

Other (Isolates, etc.)



P5b. Description of Photo:

2005

(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1917

☒

Historic

☐

Prehistoric

☐

Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto

Chattel Architecture

13417 Ventura Blvd.

Sherman Oaks, CA 91423

*P9. Date Recorded:

March, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation:

(Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments:

☐ NONE

☐ Location Map

☒ Continuation Sheet(s)

☒ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other (List):

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # 30-158719
HRI # 038085
*NRHP Status Code 5D1

Page 2 of 3

*Resource Name or #: CLARK_S_133__APN_390-672-06
(Assigned by Recorder)

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES B4. Present Use: RES

*B5. Architectural Style: Hip Roof Cottage

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1917 ☒ Historic ☐ Prehistoric ☐ Both

Some modifications have been made to the house, including addition of dormer on side, new siding, and lattice work connecting porch posts. Since the 1982 survey, this structure has been altered with appropriate removal of inappropriate siding and lattice work.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Early Settlement (c. 1870 - 1920) Applicable Criteria: AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: Fair Condition - Minor and reversible or appropriate changes to original structure.

Site Integrity: Accessory structure or major addition and other inappropriate changes that compromises the scale or association with the site.

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 30-158719
HRI # 038085
Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

CLARK_S_133__APN_390-672-06

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: March, 2005

☒ Continuation ☐ Update

Years Surveyed: 1982, 1991, 2005

Description of Photo: 1991

Listed in National Register:

General Plan:	LDR	# of Buildings:	1
Planning Zone:	R-3	# of Stories:	1
Lot Acre:	0.159	# of Units:	1
Principal Building Sqft:	1071		

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

