

Volumes/TA Net/01/TA PDF Server/2009 St Verena Coptic Gymnasium/2009 St Verena Gym Con Docs.pln



Vicinity Map

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St. Verena Coptic Orthodox Church Multipurpose Service Building

SITE DATA:

Total Site Area (2.551 acres):	111,121 s.f.	100.0%
Existing buildings footprint -	10,146 s.f.	
Proposed buildings footprint -	12,173 s.f.	
Total buildings footprint -	22,319 s.f.	20.1%
Existing paving area -	45,577 s.f.	
Proposed new paving - N/A		
Total paving area -	45,577 s.f.	41.0%
Existing flatwork area -	21,598 s.f.	
Proposed flatwork area -	<-2,897 s.f.>	
Total flatwork area -	18,701 s.f.	16.8%
Existing landscape area -	33,809 s.f.	
Proposed landscape area -	<-9,276 s.f.>	
Total landscape area -	24,533 s.f.	22.1%

FLOOR AREA RATIO:

Total Site Area (2.551 acres):	111,121 s.f.	100.0%
Total existing buildings area:	10,146 s.f.	
Proposed building 1st floor:	12,173 s.f.	
Proposed building 2nd floor:	5,589 s.f.	
Total proposed building area:	27,908 s.f.	
F.A.R. =	$\frac{27,908}{111,121}$	= .251

Project Team:

OWNER:
 St. Verena Coptic Orthodox Church
 491 N. Hewes St.
 Orange, CA 92869
 Ph: (714) 635-3330
 Contact: Mark Wissa
 email: wissamark@gmail.com

ARCHITECT:
 Timeless Architecture, Inc.
 9891 Irvine Center Dr., Ste. 140
 Irvine, CA 92618
 (949) 831-8110
 Jim Thayer
 email: jim@tmlsarc.com

CIVIL ENGINEER:
 EGL Associates, Inc.
 11819 Goldring Road, Unit A
 Arcadia, CA 91006
 (626) 263-3588
 Hank Jong
 email: hank@egl88.com

LANDSCAPE ARCHITECT:
 Richard M. Garcia Landscape
 1918 Kemper Ave.
 Santa Ana, CA 92705
 (714) 538-6000
 Richard Garcia
 email: rmglndarch@sbcglobal.net

Applicable Codes: This project shall comply with the following codes as adopted and amended by the City of Orange:
 2019 California Building Code
 2019 California Fire Code
 2019 California Mechanical Code
 2019 California Electrical Code
 2019 California Plumbing Code
 2019 California Energy Code
 2019 California Green Code

Occupancy: A-3
Number of Stories: Two
Type of Construction: V-B (SM)
Maximum Height: 28'-8"
Sprinklers: Yes - NFPA 13
Occupant Load: 545
Basic Allowable Area per Floor: (Per CBC Table 506.2)
 A-3: 18,000 s.f.
Actual Area: First Floor: 12,173 s.f.
 Second Floor: 5,589 s.f.
Total Building Area: 17,762 s.f.

BUILDING AREA JUSTIFICATION (First Floor):
Frontage Area Increase (If per CBC Sec. 506.2):
 $If = [F/P - 0.25]W/30 = [396/456' - 0.25]30/30 = .62$

Area Modification Formula (CBC Sec. 506.2.3): $A_a = [A_i + [NS \times I]] \times S_a$
 $A_a = 18,000 + [6,000 \times .62] \times 1 = 21,720 \text{ s.f.}$
 12,173 < 21,720, therefore ok

BUILDING AREA JUSTIFICATION (Second Floor):
Frontage Area Increase (If per CBC Sec. 506.2):
 $If = [F/P - 0.25]W/30 = [396/456' - 0.25]30/30 = .62$

Area Modification Formula (CBC Sec. 506.2.3): $A_a = [A_i + [NS \times I]] \times S_a$
 $A_a = 18,000 + [6,000 \times .75] \times 1 = 22,500 \text{ s.f.}$
 5,589 < 21,720, therefore ok

Sheet Index

TIMELESS ARCHITECTURE INC.

9891 IRVINE CENTER DRIVE - SUITE 140
 IRVINE - CALIFORNIA - 92618
 TEL: 949-831-8110 FAX: 949-951-2820
 EMAIL: MAIN@TMLSRC.COM

ARCHITECT

STAMPS

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PROJECT

St. Verena Coptic Orthodox Church Multipurpose Service Building

Site Address:
 491 N. Hewes St.,
 Orange CA 92869

Owner:
 St. Verena Coptic Orthodox Church
 491 N. Hewes St., Orange, CA 92869

Contact: Mark Wissa
 wissamark@gmail.com
 (714) 635-3330

SHEET DATA

PROJECT # 20009
 APN: 383-051-44
 PDF DATE: 9/9/21-12:05 PM

LAST SAVED BY: iMac 5k i7
 CAD FILENAME:
 20009 St Verena Gym Con Docs.pln

Cover Sheet

A001

CONCEPTUAL GRADING & DRAINAGE PLAN

CONSTRUCTION NOTES

- 1 CONSTRUCT CONCRETE WALKWAY PER ARCHITECTURAL PLAN.
- 2 CONSTRUCT INFILTRATION TRENCH PER DETAILS SHOWN HEREON.
- 3 CONSTRUCT 6" DIAMETER AREA DRAIN.
- 4 CONSTRUCT PVC SCH. 40 DRAINAGE PIPE W/0.5% SLOPE MIN.
- 5 REMOVE EX. A.C. DRIVEWAY AND CONSTRUCT 4" THK. MIN. CONC. PAVEMENT.
- 6 CONSTRUCT 36"x36" CATCH BASIN WITH TRAFFIC GRATE, FOR INFILTRATION TRENCH OVERFLOWING PURPOSES.
- 7 RE-CONSTRUCT EXISTING 18"x18" CATCH BASIN EQUIPPED WITH FLO-GARD CATCH BASIN FILTER.
- 8 CONSTRUCT CONTECH CDS UNIT OR EQUIVALENT.
- 9 CONSTRUCT ROOF DRAIN DOWNSPOUT.
- 10 CONSTRUCT 6" CF CONC. CURB.
- 11 REMOVE EX. CONC. CURB.
- 12 REMOVE EX. WHEEL STOP.
- 13 CONSTRUCT 6" HI. FENCE PER SEPARATE ARCH. PLAN.
- 14 REMOVE AND RE-CONSTRUCT EX. DRIVEWAY APPROACH ON HEWES ST. TO MEET ADA COMPLIANCE PER CITY STD. NO. 115.

SCALE: 1"=10'

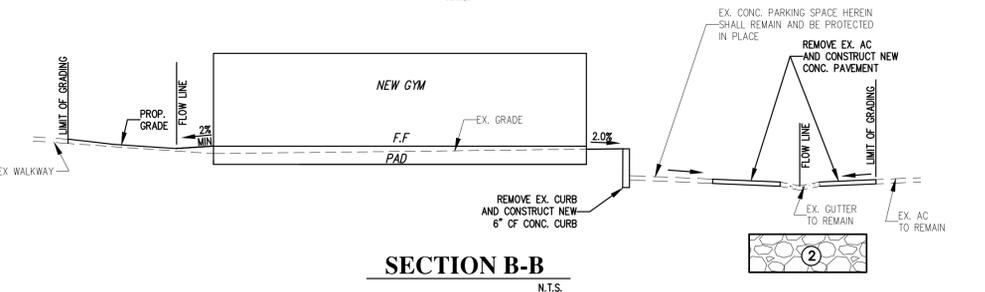
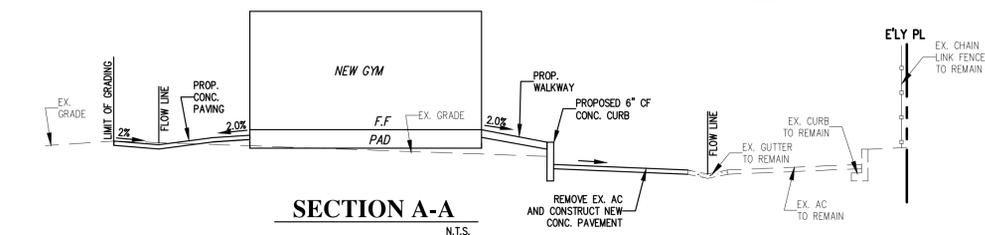
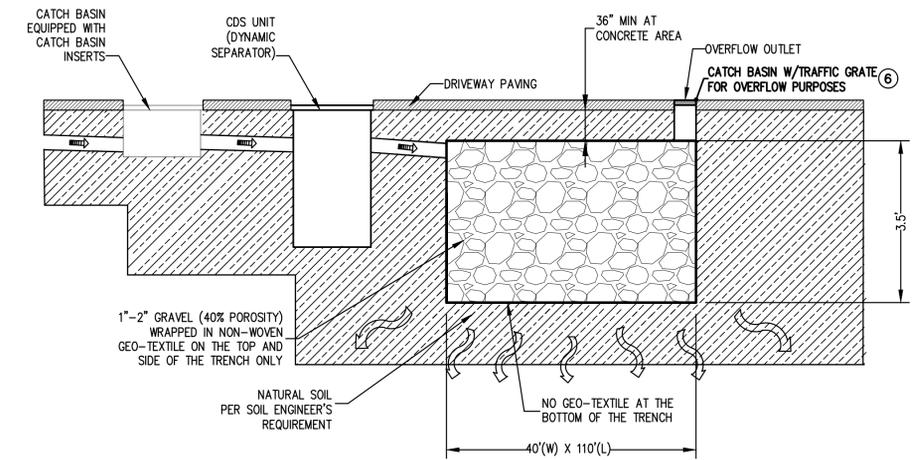
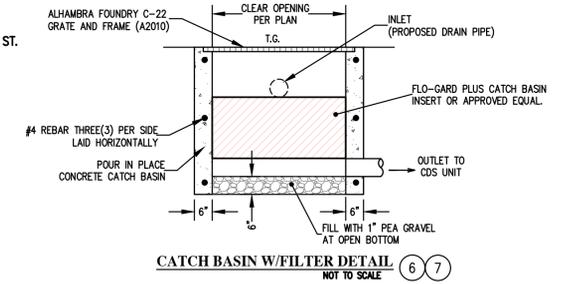
LEGEND:

- | | |
|-----------------------------------|------------------------|
| (98.23).....EXISTING ELEVATION | EX.....EXISTING |
| 99.00.....PROPOSED ELEVATION | TG.....TOP GRATE |
| ---(100)---EXISTING CONTOUR | FS.....FINISH SURFACE |
|DRAINAGE PATTERN | H.P.....HIGH POINT |
|EXISTING STRUCTURE | T.C.....TOP OF CURB |
|PROPOSED STRUCTURE | F.L.....FLOW LINE |
|PROPERTY LINE | F.S.....FINISH SURFACE |
|EXISTING CURB | F.F.....FINISH FLOOR |
|EXISTING FENCE |DOWNSPOUT |
|CATCH BASIN |EX. TREE |
|PROPOSED LAWN/LANDSCAPE AREA | |

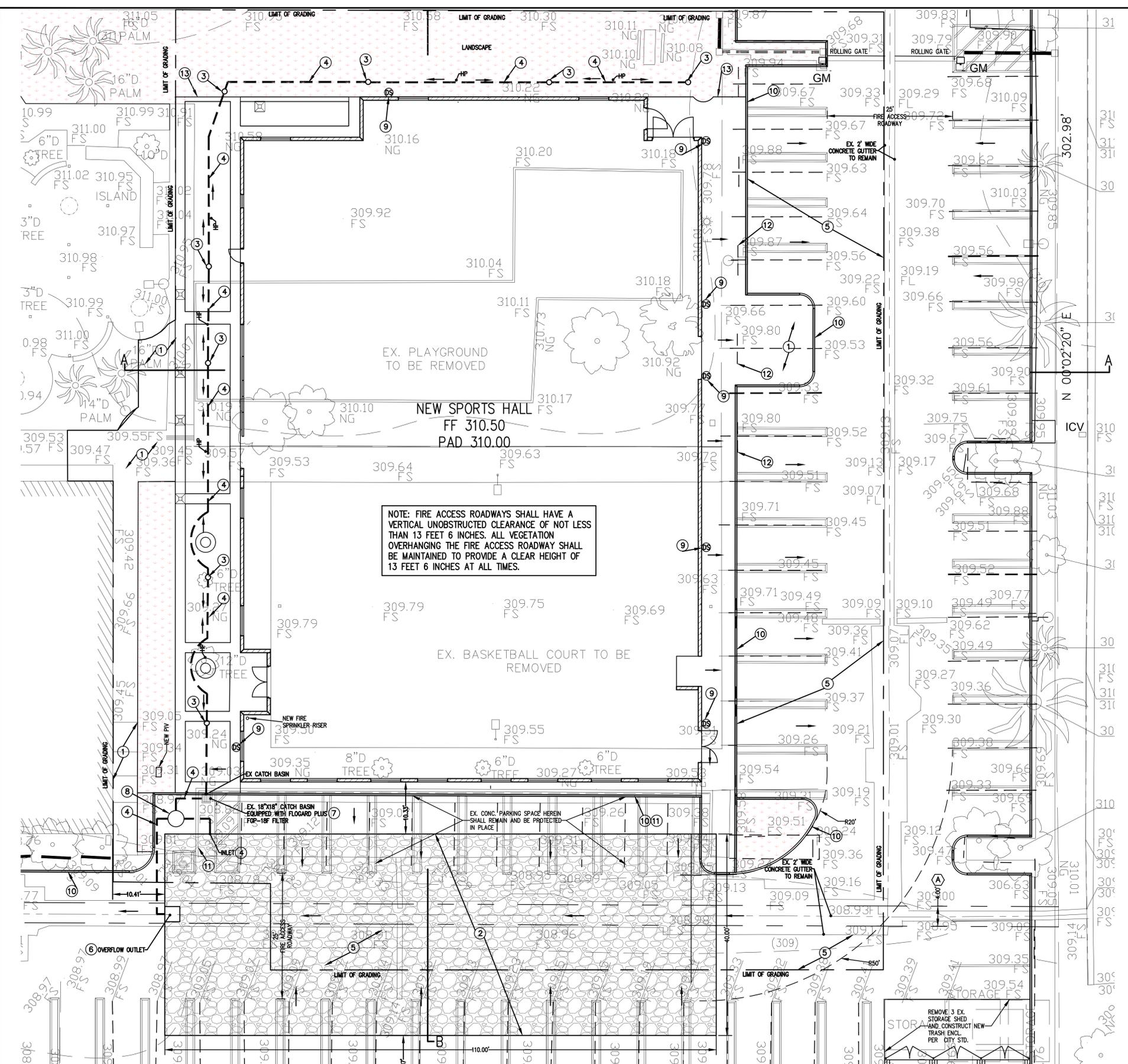
EASEMENT:

- (A) EX. DRAINAGE EASEMENT PER BOOK 11516, PAGE 936, OF OFFICIAL RECORDS

EX. ASPHALT PARKING LOT TO BE REPLACED WITH CONCRETE AS PART OF PHASE 2 (CHURCH BUILDING CONSTRUCTION RENOVATION)



NOTE: FIRE ACCESS ROADWAYS SHALL HAVE A VERTICAL UNOBSTRUCTED CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. ALL VEGETATION OVERHANGING THE FIRE ACCESS ROADWAY SHALL BE MAINTAINED TO PROVIDE A CLEAR HEIGHT OF 13 FEET 6 INCHES AT ALL TIMES.



Underground Service Alert
Call: TOLL FREE 1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS				
REV.	DATE	BY	DESCRIPTION	APPROVED

EGL Associates, Inc.
11819 GOLDRING ROAD, UNIT A
ARCADIA, CA 91006
Tel: 626-263-3588
Fax: 626-263-3599
EGL JOB#: 16-AA-053

PREPARED UNDER THE SUPERVISION OF:
HANK JONG
R.C.E. NO.: 45846 EXP. DATE: 12/31/22
DRAWN BY: GB 08/25/21
DESIGNED BY: GB 08/25/21
CHECKED BY: HJ 08/25/21

REVIEWED BY:
DATE PLANNING DIVISION
REVIEWED FOR COMPLIANCE TO CITY OF ORANGE GRADING ORDINANCE:
DATE DEPUTY DIRECTOR/CITY ENGINEER

RECOMMENDED:
DATE PRINCIPLE CIVIL ENGINEER
PUBLIC WORKS DIRECTOR

CONCEPTUAL GRADING AND DRAINAGE PLAN
APPLICANT: ST. VERENA ORTHODOX CHURCH, TEL: (714) 771-4777
NEW MULTI PURPOSE SPORTS HALL
491 N. HEWES ST., ORANGE, CA 92869
A.P.N. 383-051-44

SHEET NO. 2 OF 3

EROSION CONTROL, SEDIMENT CONTROL, AND WATER QUALITY NOTES

EROSION CONTROL, SEDIMENT CONTROL, AND WATER QUALITY NOTES:

- IN CASE OF EMERGENCY, CALL MARK WISSA AT: (909) 706-9093 DURING BUSINESS HOURS, AND (626) 233-1114 ALL OTHER TIMES.
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CIVIL ENGINEER OR OTHER RESPONSIBLE INDIVIDUAL SHALL SUBMIT PLANS FOR REVIEW BY THE CITY ENGINEER DETAILING THE PLACING OF EROSION CONTROL FACILITIES TO PROTECT AREAS SUBJECT TO STORM DAMAGE. ALL DEVICES MUST BE IN PLACE AND WORKING AT ALL TIMES. FAILURE TO PROVIDE THESE DEVICES WILL BE CAUSE TO REVOKE PERMITS OR APPROVALS BY THE CITY ENGINEER AND/OR BUILDING OFFICIAL.
- DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY INSPECTOR.
- EXCEPT AS OTHERWISE APPROVED BY THE CITY INSPECTOR, REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEEKENDS WHEN THE 5 DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE WITHOUT PRIOR APPROVAL OF THE CITY INSPECTOR.
- EROSION CONTROL DEVICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES, AND PLANS OF THESE CHANGES SUBMITTED FOR APPROVAL AS REQUIRED.
- INSURE THAT ALL EXISTING DRAINAGE COURSES AND CULVERTS ARE MAINTAINED IN WORKING CONDITION AND FREE OF SILT & DEBRIS.
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL LOOSE SOIL AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFFSITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE INSPECTOR.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING BASINS AND BASINS PUMPED DRY.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND TO CONTINUE TO MAINTAIN CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- FILL SLOPES AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO (2) FEET.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS.
- DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- TAKE NECESSARY PRECAUTIONS TO INSURE THAT ADJACENT PROPERTY NOT SUFFER DAMAGE DUE TO DEBRIS, MUD, OR INUNDATION CAUSED BY GRADING ACTIVITIES WITHIN PERMITTED AREA.
- PLACE EROSION PROTECTION AROUND ALL OUTLETS OF DOWNDRAINS THAT ARE NOT FULLY CONNECTED TO THE ULTIMATE DRAINAGE DEVICE.
- PLACE EROSION PROTECTION AROUND ALL ULTIMATE INLETS WHILE THE POSSIBILITY OF SILTATION EXISTS PRIOR TO ULTIMATE SLOPE PLANTING BECOMING EFFECTIVE.
- RESTORE ALL VEGETATION AND PLANTING ON THE EXISTING SLOPE TO ORIGINAL CONDITION.

ATTACHMENT "A" NOTES:

- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILE OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RUNAWAY AND DISPOSED BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ALL SLOPES WITH DISTURBED SOILS OR DENURED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT WINDSON BY WIND AND WATER.
- AS THE PROJECT OWNER OR AUTHORIZED AGENT OF OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: _____

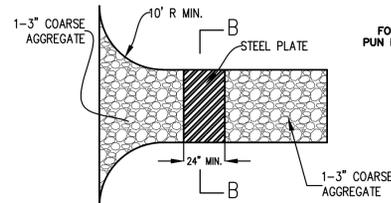
(OWNER OR AUTHORIZED AGENT OF OWNER)

SIGNATURE: _____ DATE: _____

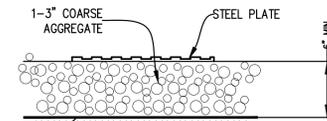
(OWNER OR AUTHORIZED AGENT OF OWNER)

EROSION CONTROL NOTES

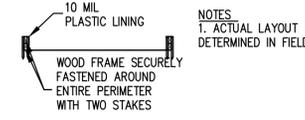
- CONSTRUCT SAND BAG EROSION CONTROL PER BMP SE-6 ALONG PROPERTY LINE EXCEPT FOR DRIVEWAYS. THE SAND BAGS SHOULD BE 10" WIDE AND 10" HIGH, MINIMUM.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER BMP TC-1 (MINIMUM 6" THICK OF 1" TO 3" COARSE AGGREGATE).
- INSTALL CHAIN LINK FENCE WITH WIND SCREEN COVER.
- INSTALL TEMPORARY CONSTRUCTION GATE.
- INSTALL MATERIAL STORAGE AREA PER BMP WM-1.



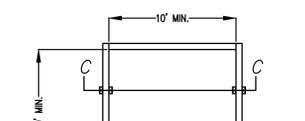
STABILIZED ENTRANCE PLAN (B)
NTS



STABILIZED ENTRANCE SECTION B-B
NTS



SECTION C-C



MATERIAL STORAGE AREA (E)
NTS

ATTACHMENT "B" NOTES:

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR THE BUILDING OFFICIAL)

- | | |
|--|---|
| <p>EROSION CONTROL</p> <ul style="list-style-type: none"> EC1 - SCHEDULING EC2 - PRESERVATION OF EXISTING VEGETATION EC3 - HYDRAULIC MULCH EC4 - HYDROSEEDING EC5 - SOIL BINDERS EC6 - STRAW MULCH EC7 - GEOTEXTILES & MATS EC8 - WOOD MULCHING EC9 - EARTH DIKES AND DRAINAGE SWALES EC10 - VELOCITY DISSIPATION DEVICES EC11 - SLOPE DRAINS EC12 - STREAMBANK STABILIZATION EC13 - POLYACRYLAMIDE <p>TEMPORARY SEDIMENT CONTROL</p> <ul style="list-style-type: none"> ES1 - SILT FENCE SE2 - SEDIMENT BASIN SE3 - SEDIMENT TRAP SE4 - CHECK DAM SE5 - FIBER ROLLS SE6 - GRAVEL BAG BERM SE7 - STREET SWEEPING AND VACUUMING SE8 - SANDBAG BARRIER SE9 - STRAW BALE BARRIER SE10 - STORM DRAIN INLET PROTECTION <p>WIND EROSION CONTROL</p> <ul style="list-style-type: none"> WE1 - WIND EROSION CONTROL EQUIPMENT TRACKING CONTROL TC1 - STABILIZED CONSTRUCTION ENTRANCE/ EXIT TC2 - STABILIZED CONSTRUCTION ROADWAY TC3 - ENTRANCE/ OUTLET TIRE WASH | <p>NON-STORMWATER MANAGEMENT</p> <ul style="list-style-type: none"> NS1 - WATER CONSERVATION PRACTICES NS2 - DEWATERING OPERATIONS NS3 - PAVING AND GRINDING OPERATIONS NS4 - TEMPORARY STREAM CROSSING NS5 - CLEAR WATER DIVERSION NS6 - ILLIOT CONNECTION/DISCHARGE NS7 - POTABLE WATER/ IRRIGATION NS8 - VEHICLE AND EQUIPMENT CLEANING NS9 - VEHICLE AND EQUIPMENT FUELING NS10 - VEHICLE AND EQUIPMENT MAINTENANCE NS11 - PILE DRIVING OPERATIONS NS12 - CONCRETE CURING NS13 - CONCRETE FINISHING NS14 - MATERIAL AND EQUIPMENT USE NS15 - DEMOLITION ADJACENT TO WATER NS16 - TEMPORARY BATH PLANTS <p>WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL</p> <ul style="list-style-type: none"> WM1 - MATERIAL DELIVERY AND STORAGE WM2 - HAZARDOUS WASTE MANAGEMENT WM3 - STOCKPILE MANAGEMENT WM4 - SPILL PREVENTION AND CONTROL WM5 - SOLID WASTE MANAGEMENT WM6 - HAZARDOUS WASTE MANAGEMENT WM7 - CONTAMINATED SOIL MANAGEMENT WM8 - CONCRETE WASTE MANAGEMENT WM9 - SANITARY/ SEPTIC WASTE MANAGEMENT WM10 - LIQUID WASTE MANAGEMENT |
|--|---|

DEMOLITION NOTES

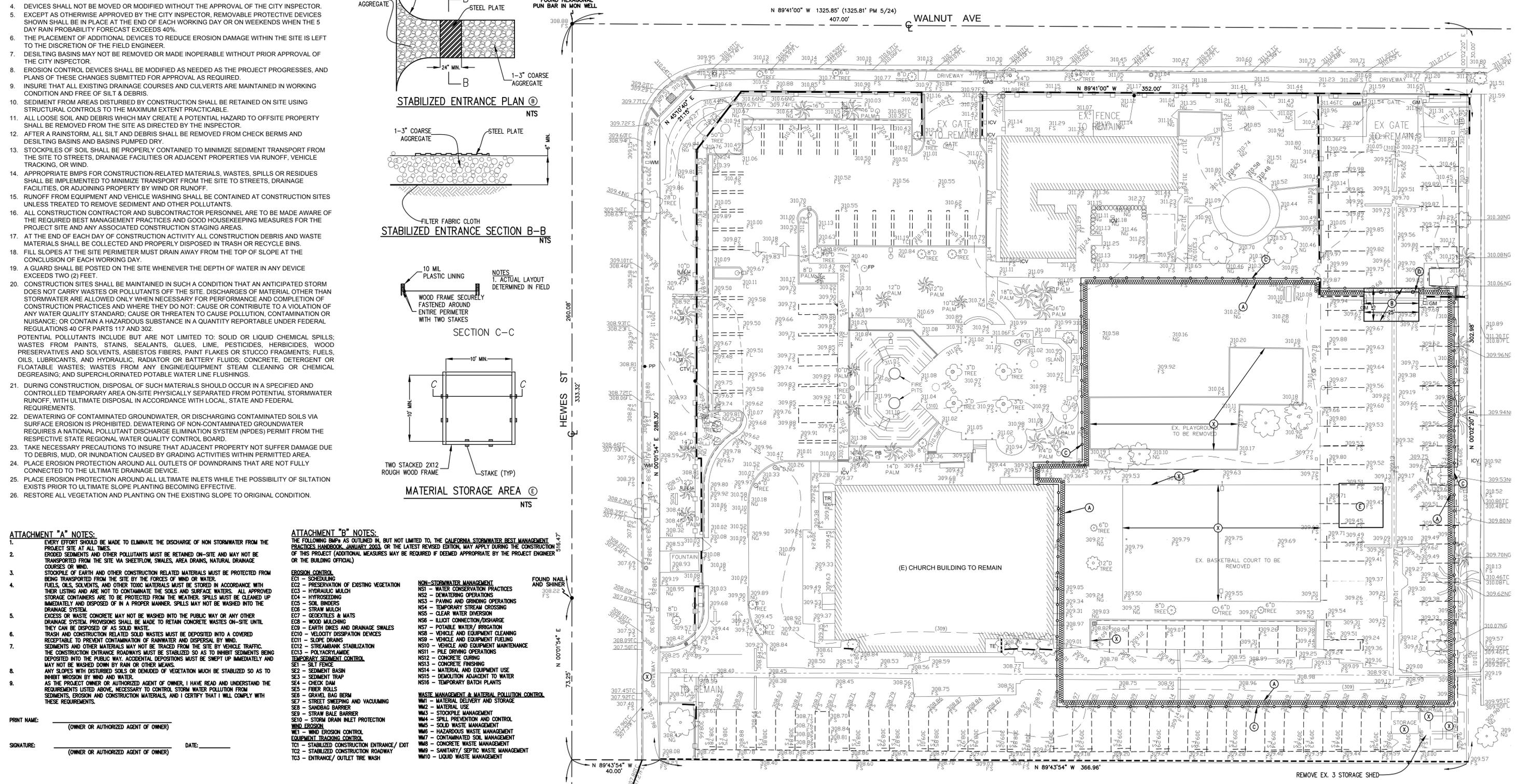
- REMOVE EXISTING PAVING/STRUCTURES.



GRAVEL BAG DETAILS (A)
BMP SE-6
NOT TO SCALE

DEMOLITION & EROSION CONTROL PLAN
LOCAL STORM WATER POLLUTION PREVENTION PLAN

SCALE: 1"=20'



Underground Service Alert

Call: TOLL FREE 1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS				
REV.	DATE	BY	DESCRIPTION	APPROVED

EGL Associates, Inc.

11819 GOLDRING ROAD, UNIT A
ARCADIA, CA 91006

Tel: 626-263-3588
Fax: 626-263-3599

REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA
45846

PREPARED UNDER THE SUPERVISION OF:
HANK JONG

R.C.E. NO.: 45846 EXP. DATE: 12/31/22

REVIEWED BY: _____ DATE: _____

PLANNING DIVISION

REVIEWED FOR COMPLIANCE TO CITY OF ORANGE GRADING ORDINANCE:

DATE: _____ DEPUTY DIRECTOR/CITY ENGINEER

RECOMMENDED: _____ DATE: _____

PRINCIPLE CIVIL ENGINEER

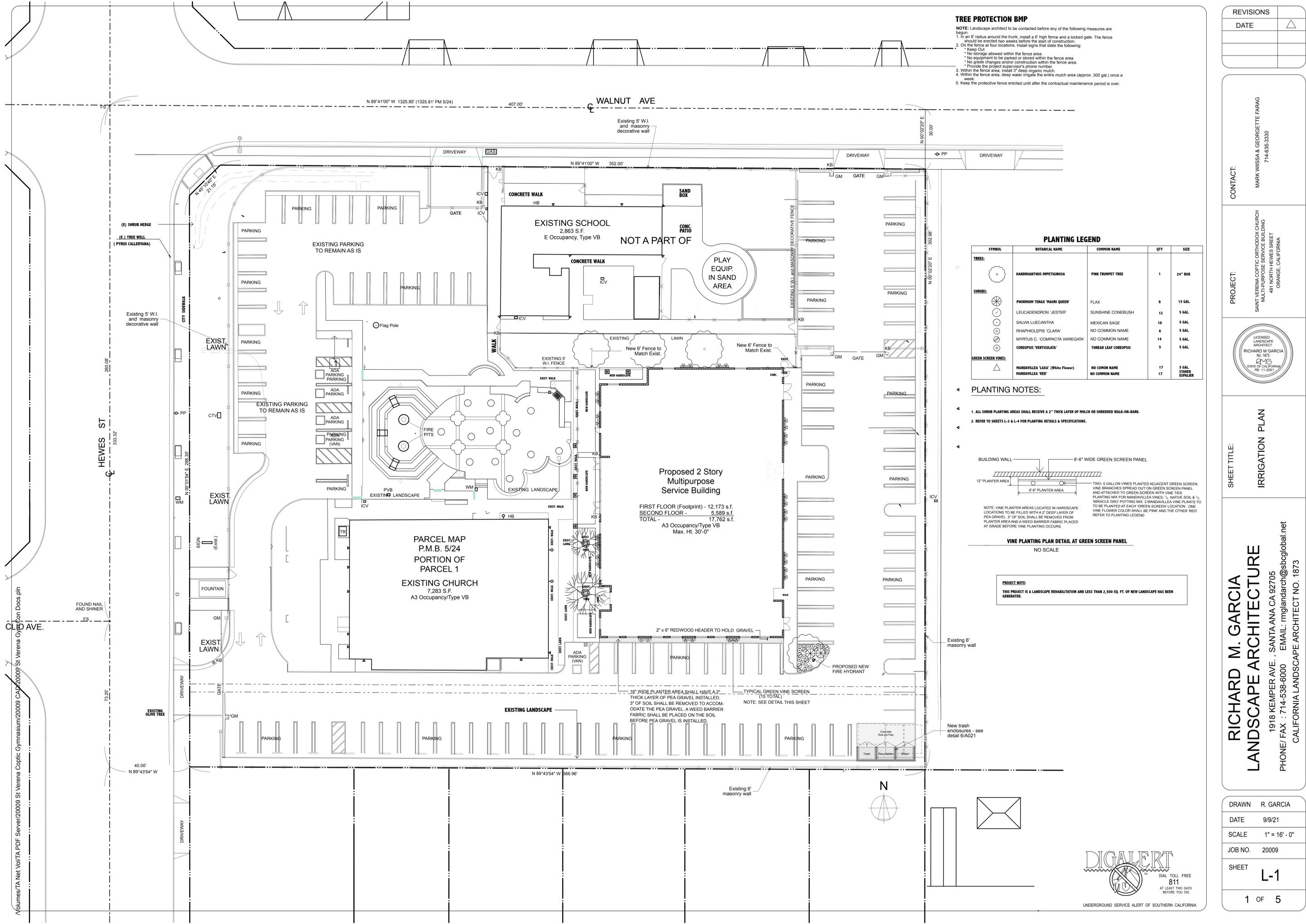
DATE: _____ PUBLIC WORKS DIRECTOR

GRADING AND DRAINAGE PLAN

APPLICANT: ST. VERENA ORTHODOX CHURCH, TEL: (714) 771-4777

NEW MULTI PURPOSE SPORTS HALL
491 N. HEWES ST., ORANGE, CA 92869
A.P.N. 383-051-44

SHEET NO. 3 OF 3

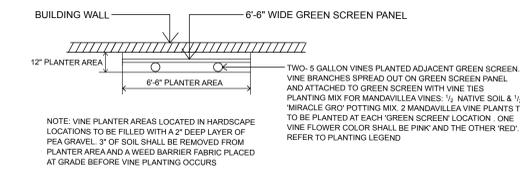


TREE PROTECTION BMP
 NOTE: Landscape architect to be contacted before any of the following measures are begun.
 1. In an 8' radius around the trunk, install a 6' high fence and a locked gate. The fence should be erected two weeks before the start of construction.
 2. On the fence at four locations, install signs that state the following:
 * Keep Out
 * No storage allowed within the fence area.
 * No equipment to be parked or stored within the fence area.
 * No grade changes and/or construction within the fence area.
 * Provide the project supervisor's phone number.
 3. Within the fence area, install 2" deep organic mulch.
 4. Within the fence area, deep water irrigate the entire mulch area (approx. 300 gal.) once a week.
 5. Keep the protective fence erected until after the contractual maintenance period is over.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
	TREES:			
	SHRUBS:			
	GREEN SCREEN VINES:			

- PLANTING NOTES:**
- ALL SHRUB PLANTING AREAS SHALL RECEIVE A 2" THICK LAYER OF MULCH OR SHREDDED WALK-ON-BARK.
 - REFER TO SHEETS L-3 & L-4 FOR PLANTING DETAILS & SPECIFICATIONS.



PROJECT NOTE:
 THIS PROJECT IS A LANDSCAPE REHABILITATION AND LESS THAN 2,500 SQ. FT. OF NEW LANDSCAPE HAS BEEN GENERATED.

REVISIONS

DATE	
	△

CONTACT:
 MARK WISSA & GEORGETTE FARAG
 714-635-3330

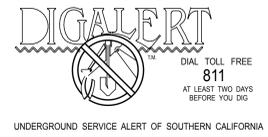
PROJECT:
 SAINT VERENA COPTIC ORTHODOX CHURCH
 MULTIPURPOSE SERVICE BUILDING
 491 NORTH HEWES STREET
 ORANGE, CALIFORNIA

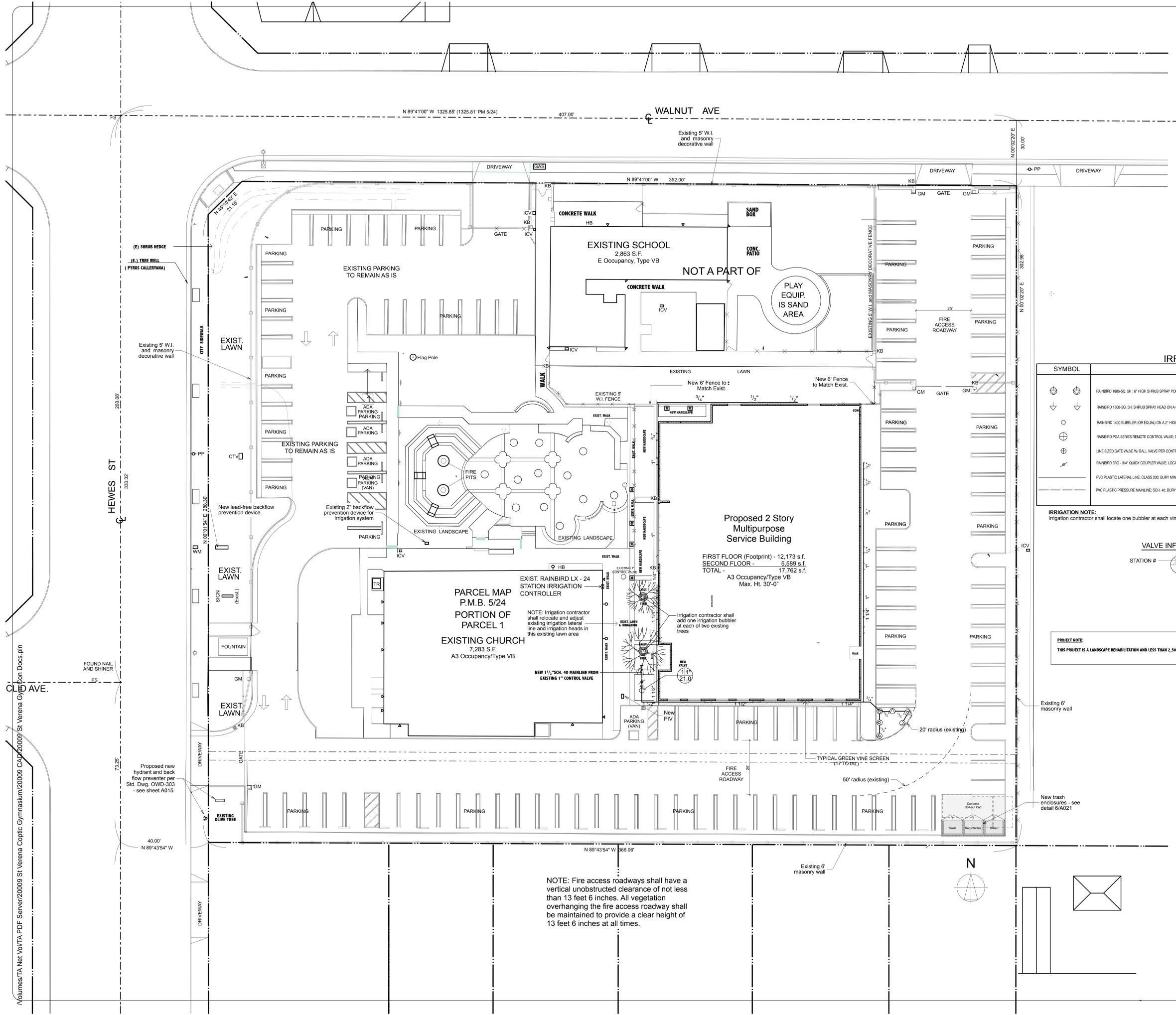


SHEET TITLE:
 IRRIGATION PLAN

RICHARD M. GARCIA
LANDSCAPE ARCHITECTURE
 1918 KEMPER AVE., SANTA ANA CA 92705
 PHONE/ FAX : 714-538-6000 EMAIL: rmglandarch@sbcbglobal.net
 CALIFORNIA LANDSCAPE ARCHITECT NO. 1873

DRAWN R. GARCIA
DATE 9/9/21
SCALE 1" = 16' - 0"
JOB NO. 20009
SHEET L-1
 1 OF 5





REVISIONS	DATE
	△

CONTACT: MARK WISSA & GEORGETTE FARAG
714-635-3330

PROJECT: SAINT VERENA COPTIC ORTHODOX CHURCH
MULTIPURPOSE SERVICE BUILDING
491 NORTH HEWES STREET
ORANGE, CALIFORNIA



SHEET TITLE: IRRIGATION PLAN

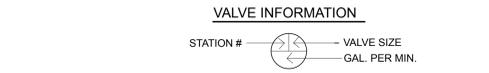
RICHARD M. GARCIA
LANDSCAPE ARCHITECTURE

1918 KEMPER AVE., SANTA ANA CA 92705
PHONE/ FAX : 714-538-6000 EMAIL: rmglandarch@sbcbglobal.net
CALIFORNIA LANDSCAPE ARCHITECT NO. 1873

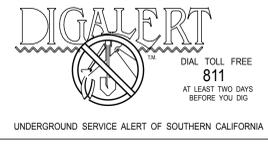
DRAWN	R. GARCIA
DATE	10/22/21
SCALE	1" = 16' - 0"
JOB NO.	20009
SHEET	L-3
	3 OF 5

SYMBOL	DESCRIPTION
	RAINBIRD 1800-SQ, 5/8" HIGH SHRUB SPRAY POP-UP HEAD, 10, 20 GPM, 5' R
	RAINBIRD 1800-SQ, 5/8" SHRUB SPRAY HEAD ON A 6" HIGH RISER, 10, 20 GPM, 5' R
	RAINBIRD 1400 BUBBLER (OR EQUAL) ON A 2" HIGH RISER, 25 TO 2.0 GPM (TO BE USED AT VINE GREEN SCREENS)
	RAINBIRD PGA SERIES REMOTE CONTROL VALVE, SEE PLAN FOR SIZE, LOCATE IN PLASTIC VALVE BOX
	LINE SIZED GATE VALVE W/ BALL VALVE PER CONTRACTOR, LOCATE IN PLASTIC VALVE BOX
	RAINBIRD SRC - 3/4" QUICK COUPLER VALVE, LOCATE IN PLASTIC VALVE BOX
	PVC PLASTIC LATERAL LINE, CLASS 200, BURY MINIMUM 12" BELOW GRADE
	PVC PLASTIC PRESSURE MAINLINE, SCH. 40, BURY MINIMUM 18" BELOW GRADE

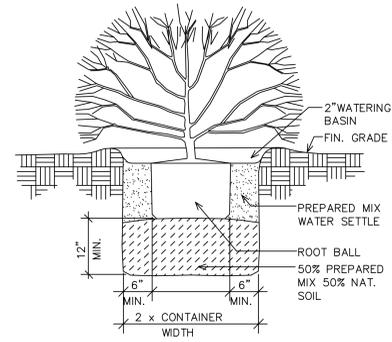
IRRIGATION NOTE:
Irrigation contractor shall locate one bubbler at each vine location



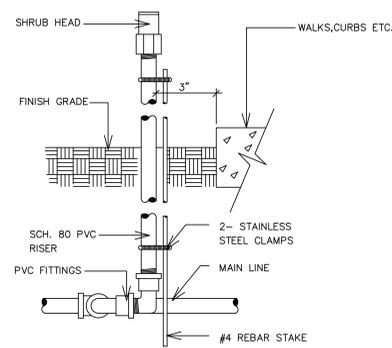
PROJECT NOTE:
THIS PROJECT IS A LANDSCAPE REHABILITATION AND LESS THAN 2,500 SQ. FT. OF NEW LANDSCAPE HAS BEEN GENERATED.



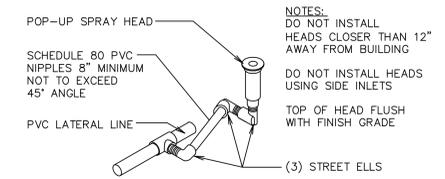
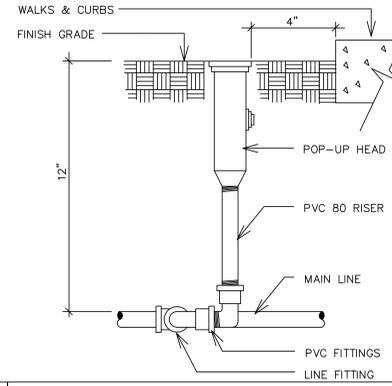
NOTE: Fire access roadways shall have a vertical unobstructed clearance of not less than 13 feet 6 inches. All vegetation overhanging the fire access roadway shall be maintained to provide a clear height of 13 feet 6 inches at all times.



1 SHRUB PLANTING

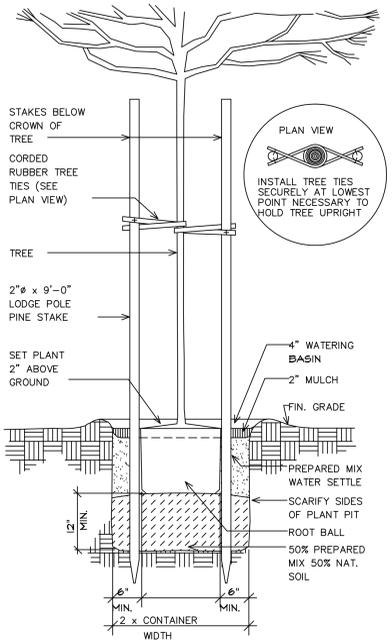


2 SHRUB HEAD ASSEMBLY

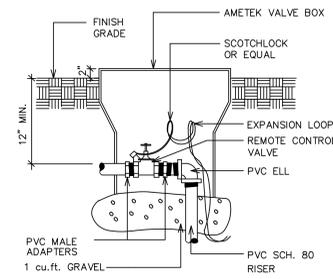


A SPRAY HEAD ASSEMBLY
1 1/2" = 1'-0"

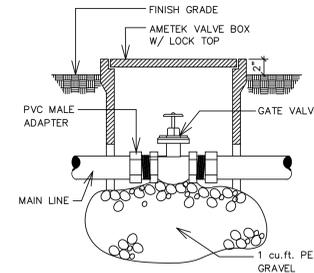
3 POP UP SHRUB HEAD & ASSEMBLY



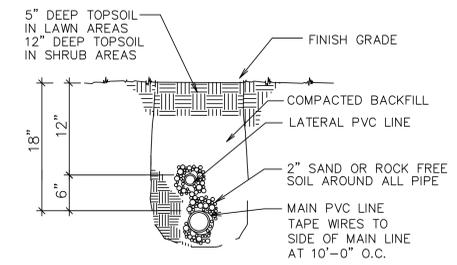
4 TREE STAKING (24" BOX MAX.)



5 CONTROL VALVE



6 GATE VALVE



7 TRENCH SECTION

REVISIONS	DATE
	△

OWNER:
MARK WISSA & GEORGETTE FARAG
714-655-3330

PROJECT:
SAINT VERENA COPTIC ORTHODOX CHURCH
MULTI-PURPOSE SERVICE BUILDING
481 NORTH HEWES STREET
ORANGE, CALIFORNIA



SHEET TITLE:
LANDSCAPE DETAILS

RICHARD . M . GARCIA
LANDSCAPE ARCHITECTURE
1918 KEMPER AVE. · SANTA ANA CA 92705
PHONE/ FAX : 714-538-6000 EMAIL: rmglandarch@sbcglobal.net
CALIFORNIA LANDSCAPE ARCHITECT NO. 1873

DRAWN	
DATE	5-16-2021
SCALE	NONE
JOB NO.	
SHEET	L-4
	4 OF 5

PLANTING SPECIFICATIONS:

1. GENERAL CONDITIONS:

- A. The Contractor shall verify measurements on the drawings before beginning work. In case of error or discrepancy in the drawings or specifications or in the work, he or she shall notify the owner immediately. The contractor shall be held responsible for any damages or loss due to his or her failure to observe these instructions.
- B. Sub-surface Drainage or Soil Conditions: Should sub-surface drainage or soil conditions be encountered, would be detrimental to growth or survival of plant material, the Contractor shall notify the Owner in writing, stating the condition and submitting a proposal covering cost of correction. If the Contractor fails to notify the Owner of such conditions, he shall be responsible for plant material under the guarantee clause of the specification bid.

2. SOIL TEST: The Contractor shall provide the Owner with agricultural soil tests from an approved soil and plant laboratory, if required by the owner. The cost of the test shall be included in the landscape bid.

3. SOIL PREPARATON:

- A. Existing Soil: Use existing soil found on the site, with exception of mounding material, which is to be imported and shall be sandy loam soil, free of weeds and noxious materials.
- B. Rototilling: Prior to soil conditioning, all planting areas shall be rototilled to a depth of 6" in order to break up compacted soil.
- C. Soil Conditioning: Soil shall be amended by incorporating the following conditioners:
 - 1. 4 cubic yards organic soil prep or humus per 1000 sq. ft.
 - 2. 20 lbs. of 10-10-5 commercial fertilizer per 1000 sq. ft.

Soil prep and fertilizer shall be spread evenly over planting areas, including mounds, and rototilled thoroughly into top 6" of soil. The above soil preparation shall not apply to slopes steeper than 4 to 1, unless noted otherwise on plans.

D. Fine Grading: Upon completion of rototilling, planting shall be finish graded, watered, rolled and checked for smoothness, to facilitate natural runoff. Finish grades shall be 1" below adjacent concrete flatwork and curb, except lawns shall be flush.

4. PLANTING INSTALLATION:

- A. Location of Plants: All planting locations shown on the Planting Plan are approximate. Final location of shrubs and trees shall be determined by the Contractor in the field.
- B. Condition of Plants: All plant material shall be healthy, shapely, well rooted, and free from insects. All plants not conforming to these standards shall be removed from the site and replaced with suitable plants. Plants shall not be allowed to dry out before or while being planted. Keep exposed roots moist and protected from the sun and drying winds.
- C. Planting Time: No planting shall take place during extremely hot, dry, windy, or freezing weather.
- D. Shape and Size of Plants: Plant material shall be symmetrical, typical for variety and species, and shall conform to measurements specified in the plant list.
- E. Substitutions: Substitutions will be permitted only as indicated, or if proof is submitted that any plant specified is not available a proposal will be considered for the use of the nearest equivalent size or variety with an equitable adjustment of the contract price.
- F. Quantities: Quantities given in the plant list on the drawings are for the convenience of the Contractor only. Quantities shown shall be furnished and installed as shown.
- G. Placing Plants: Plant holes size shown on construction detail sheet. Fill each plant hole with water before planting. Backfill bottom of pit and tamp firmly. Set plants in center of pit so that the crown of the plant is approximately 1" above finish grade. Fill pit with soil and tamp crown of plant down to approximately 1/2" above finish grade.
- H. Backfill: Backfill for all shrub and tree planting pits shall be 2/3 existing site soil and 1/3 soil conditioning amendments.
- I. Water Basin: Construct a temporary basin above finish grade, forming a watering basin larger than the original root ball. Remove basin after watering plants several times. When planting on slopes or when trees are being watered with an irrigation bubbler, do not remove basin.
- J. Deep Watering: After planting, water shall be applied to each tree and shrub by means of a hose, until material about root is completely saturated from the bottom of the hole to the top of the ground.
- K. Distribution: No more plants shall be distributed about the landscape area than can be planted and watered on the same day.
- L. Ground Cover: Planting areas receiving ground cover shall be moistened prior to planting. No flat material to be planted in dry soil. Plants shall be planted in a staggered spacing, with soil tamped firmly. Water with a misting spray immediately after planting, to provide penetration to the root system.
- M. Fertilizer Tablets: Plant tablets shall be placed 4-6" deep into plant pit and about 2" from root tips. Do not place pills in the bottom of the hole. Use AGRIFORM planting tablets at the following ratio:
 - One - 5 gram per ground cover flat plant
 - Two - 21 gram per 1 gallon plant
 - Three - 21 gram per 5 gallon plant
 - Six - 21 gram per 15 gallon plant
 - Two - 21 gram per each 2" box size

IRRIGATION SPECIFICATIONS:

1. GENERAL CONDITIONS:

A. All scaled dimensions are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions. Spacing of irrigation heads and location of valves and backflow preventers shall be as indicated on the drawings. Any deviation from the plans must have the approval of the Owner and the Landscape Architect.

B. It is the responsibility of the Irrigation Contractor to familiarize himself with all grade differences, locations of walls, etc. He shall coordinate his work with the General Contractor and other subcontractors for locating pipe sleeves through walls, under roadways, paving, etc.

C. It is the Contractor's responsibility to review irrigation drawings and note any areas where he believes additional heads are needed. The Contractor is responsible for full coverage of the irrigation system and to provide any additional equipment as necessary.

D. The Contractor shall not allow or cause any of his work to be covered or enclosed until it has been inspected, tested, and approved by authorized city or county inspectors.

E. All local, municipal and state laws, rules and regulations governing or relating to any portion of this work shall be adhered to.

3. MATERIALS:

- A. All mainline pressure line from the point of connection to valves shall be as prescribed by local code.
- B. All irrigation pipe shall be Polyvinyl Chloride pipe (PVC). All PVC pipe and fittings shall bear N.S.F. seal of approval, name of manufacturer, class or schedule and size.
- C. Provide schedule 40 PVC sleeves under paving (except 5' or less sidewalks) for the purpose of running irrigation pipes and control wire to automatic valves.

3. INSTALLATION:

- A. Trenches for all PVC pipes shall be straight with bottoms on uniform slope. Provide a minimum cover of 12" for earth for lateral lines and 18" of earth for pressure lines. The bottom of the trench shall be smooth and free from rocks before pipe is placed inside.
- B. Backfill material shall be free from large stones, lumps, and other foreign material.
- C. Water service for irrigation system shall be stubbed at 'point of connection' or normally the water meter, unless otherwise noted on plan. The Irrigation Contractor shall assume all irrigation work from the point of connection to the end of irrigation system.
- D. The Irrigation Contractor shall be responsible for the installation of all irrigation pipe lines shown under paving and other construction features of the project. Coordinate work with the Owner, General Contractor, or job superintendent.

4. TESTING:

- A. After all new irrigation piping and risers are in place and connected and all necessary work has been completed, and prior to the installation of irrigation heads, control valves shall be opened and a full head of water used to flush out system. After the system thoroughly flushed, risers shall be capped off, and the entire system pressure tested.
- B. Irrigation lines shall be tested in place before backfilling for a period of not less than one hour, and shall show no leakage or loss of pressure. During the test period, the minimum test pressure at the highest head of the system shall be 100lbs. p.s.i.
- C. At the conclusion of the test, the heads shall be installed and tested for operation in accordance with design requirements under normal operating pressure.

5. ADJUSTING OF WATER SPRAY:

- A. The Irrigation Contractor shall flush and adjust all irrigation heads for optimum performance and to prevent overspray onto walks and buildings as much as possible. This shall include selecting the best degree of arc to fit existing site conditions.
- B. This should be done as soon as the Irrigation Contractor is one the job and followed up until the power is on.
- C. **Control Wire:** All wire from controller to electric control valves shall be U.F. #14-600 volt direct burial. Use black for pilot, and white for common. Provide an expansion curl at each wire connection and at least every 100 feet. Bundle and tape wire together every 12 feet. Install in common trench with mainline pipe whenever possible. Provide minimum 18" earth cover.
- D. Wire connections shall be made with "Scotch-Loc" wire connector sealing packs #3576 or approved equal.
- E. All electrical work shall comply with applicable codes.

7. MAINTENANCE:

- A. After the final construction inspection has been made and passed, the irrigation system will be maintained for a period of 60 days.
- B. At the end of the maintenance period a final maintenance inspection shall be made. If the work is satisfactory, the basic maintenance period will end. If the work is unsatisfactory, the basic maintenance period will continue at no additional expense to the owner, until the work has been completed, inspected and approved by the Owner.

REVISIONS	DATE
	△

OWNER :
MARK WISSA & GEORGETTE FARAG
714-655-3330

PROJECT:
SAINT VERENA COPTIC ORTHODOX CHURCH
MULTI-PURPOSE SERVICE BUILDING
481 NORTH HEWES STREET
ORANGE, CALIFORNIA

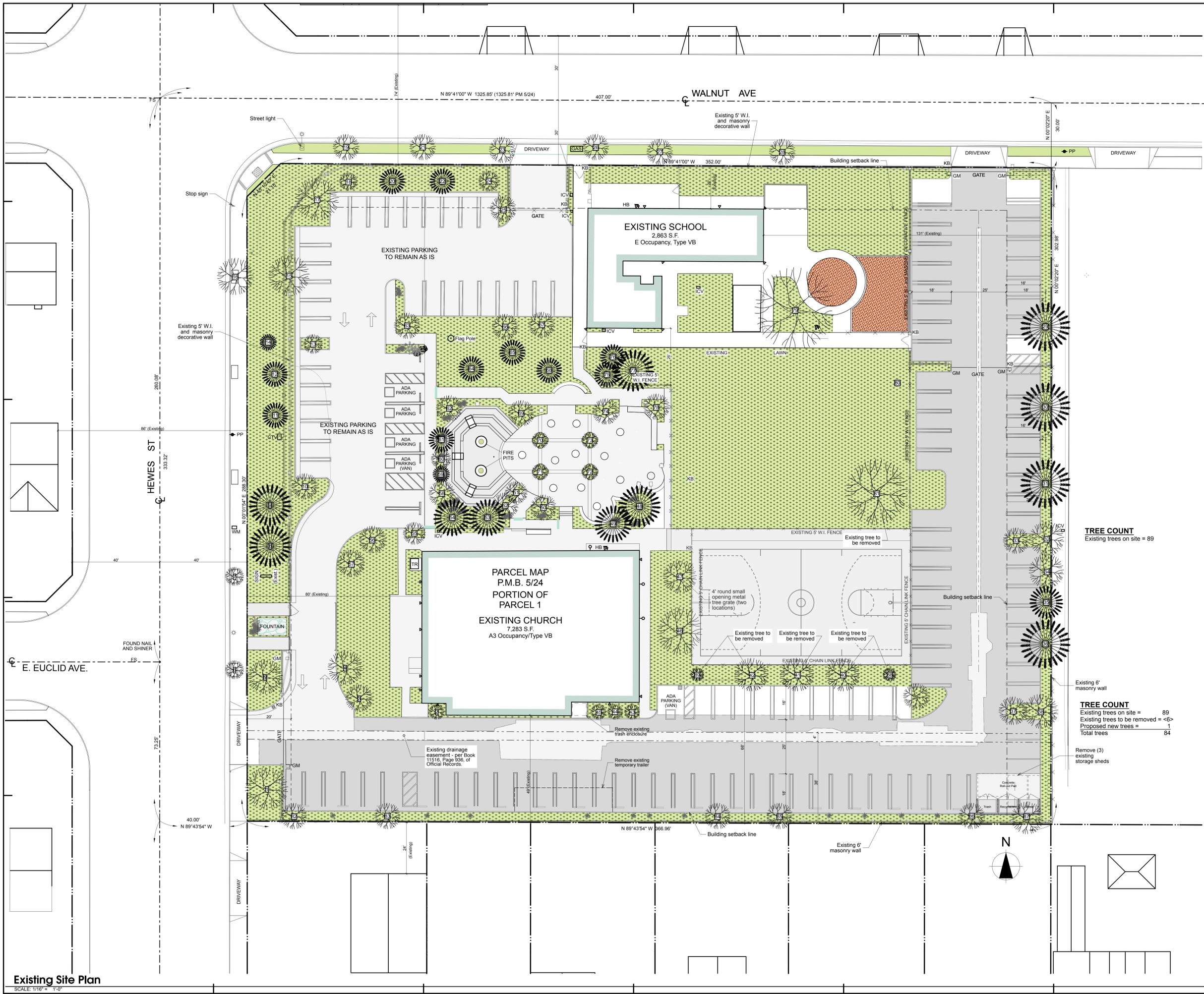


SHEET TITLE:
SPECIFICATIONS

RICHARD . M . GARCIA
LANDSCAPE ARCHITECTURE
1918 KEMPER AVE. , SANTA ANA CA 92705
PHONE/ FAX : 714-538-6000 EMAIL: rmglandarch@sbcglobal.net
CALIFORNIA LANDSCAPE ARCHITECT NO. 1873

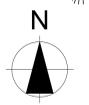
DRAWN	
DATE	5-16-2021
SCALE	
JOB NO.	
SHEET	L-5
	5 OF 5

Volumes/TA Net/TA PDF Server/20009 St Verena Coptic Gymnasium/20009 St Verena Gym Con Docs.pln



TREE COUNT
Existing trees on site = 89

TREE COUNT
Existing trees on site = 89
Existing trees to be removed = <6>
Proposed new trees = 1
Total trees = 84



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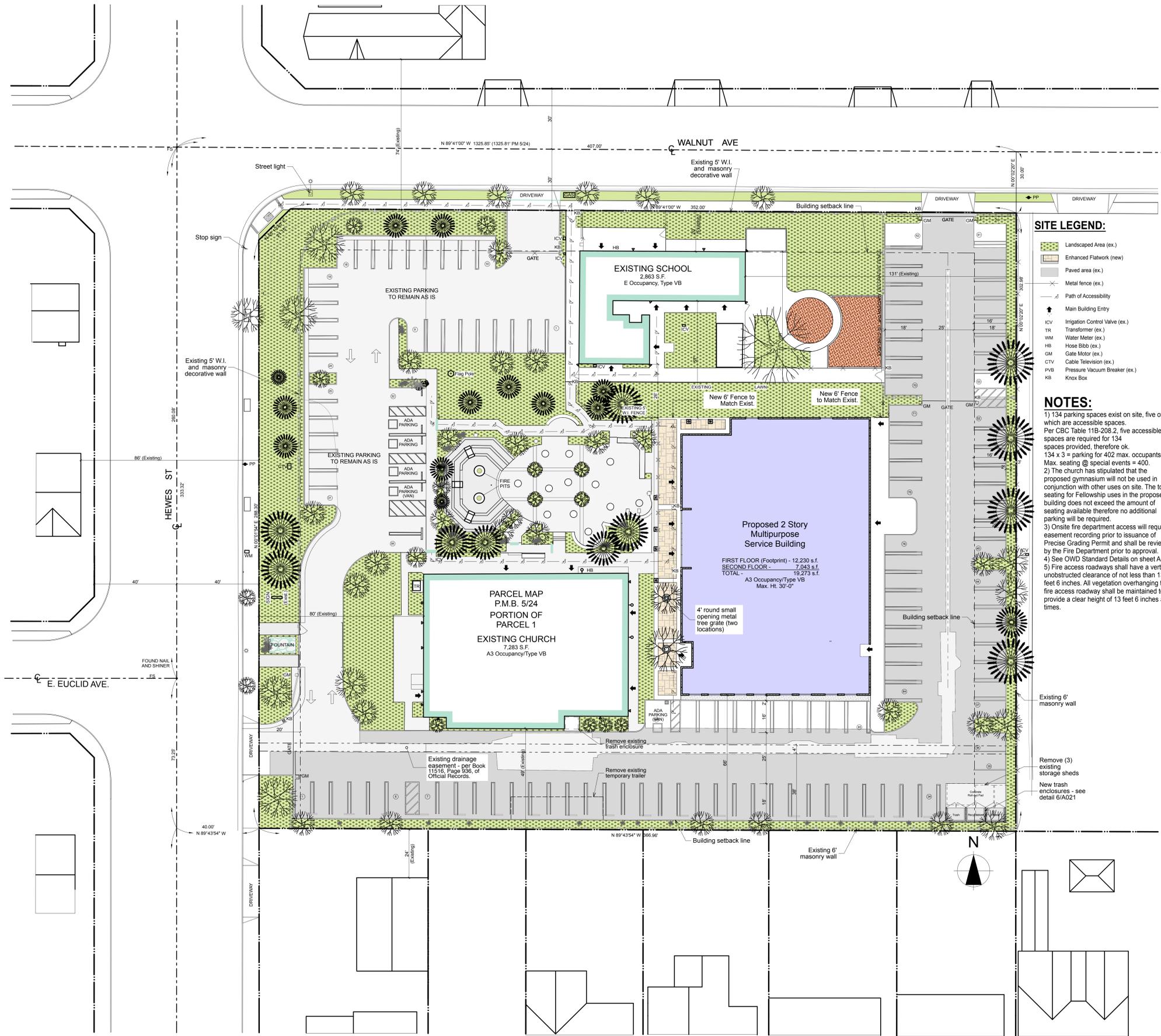
St. Verena Coptic Orthodox Church Multipurpose Service Building

Site Address:
491 N. Hewes St.,
Orange CA 92869
Owner:
St. Verena Coptic Orthodox Church
491 N. Hewes St., Orange, CA 92869
Contact: Mark Wisca
wissamark@gmail.com
(714) 635-3330

PROJECT #	20009
APN:	383-051-44
PDF DATE:	12/3/21-12:12 PM
LAST SAVED BY:	iMac 5k 17
CAD FILENAME:	20009 St Verena Gym Con Docs.pln



ARCHITECT



SITE LEGEND:

- Landscaped Area (ex.)
- Enhanced Flatwork (new)
- Paved area (ex.)
- Metal fence (ex.)
- Path of Accessibility
- Main Building Entry
- Irrigation Control Valve (ex.)
- Transformer (ex.)
- Water Meter (ex.)
- Hose Bibb (ex.)
- Gate Motor (ex.)
- Cable Television (ex.)
- Pressure Vacuum Breaker (ex.)
- Knox Box

NOTES:

- 1) 134 parking spaces exist on site, five of which are accessible spaces. Per CBC Table 11B-209.2, five accessible spaces are required for 134 spaces provided, therefore ok. 134 x 3 = parking for 402 max. occupants. Max. seating @ special events = 400.
- 2) The church has stipulated that the proposed gymnasium will not be used in conjunction with other uses on site. The total seating for Fellowship uses in the proposed building does not exceed the amount of seating available therefore no additional parking will be required.
- 3) Onsite fire department access will require easement recording prior to issuance of Precise Grading Permit and shall be reviewed by the Fire Department prior to approval.
- 4) See OWD Standard Details on sheet A015.
- 5) Fire access roadways shall have a vertical unobstructed clearance of not less than 13 feet 6 inches. All vegetation overhanging the fire access roadway shall be maintained to provide a clear height of 13 feet 6 inches at all times.

STAMPS



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PROJECT

St. Verena Coptic Orthodox Church Multipurpose Service Building

Site Address:
 491 N. Hewes St.,
 Orange CA 92869

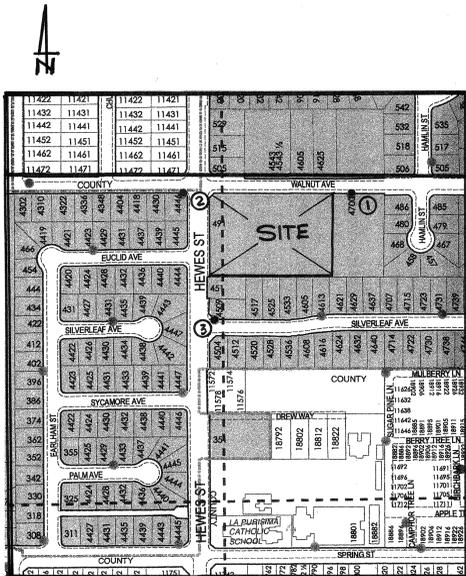
Owner:
 St. Verena Coptic Orthodox Church
 491 N. Hewes St., Orange, CA 92869

Contact: Mark Wissca
 wissamark@gmail.com
 (714) 635-3330

SHEET DATA

PROJECT #	20009
APN:	383-051-44
PDF DATE:	12/3/21-12:12 PM
LAST SAVED BY:	iMac 5k i7
CAD FILENAME:	20009 St Verena Gym Con Docs.pln

Site Plan



**FIRE HYDRANTS LOCATIONS
WITHIN 400 FT. OF PROJECT SITE
& IT'S WATER FLOW REPORTS**

**Orange City Fire Department
Fire Prevention Division
Flow Test Record**

TEST HYDRANT DATA
 LOCATION: 4700 Walnut Ave.
 HYDRANT I.D. NO.: 4727 SIZE MAIN: 10" TYPE HYDRANT: wet
 STATIC (PSI): 74
 RESIDUAL (PSI): 73
 PRESSURE DROP (PSI): 1 "K" FACTOR FOR (PDI)": 1.00

FLOW HYDRANT(S) DATA
 LOCATION NO. 1: 4446 Walnut Ave. I.D. NO.: 1273
 LOCATION NO. 2: _____ I.D. NO.: _____
 LOCATION NO. 3: _____ I.D. NO.: _____

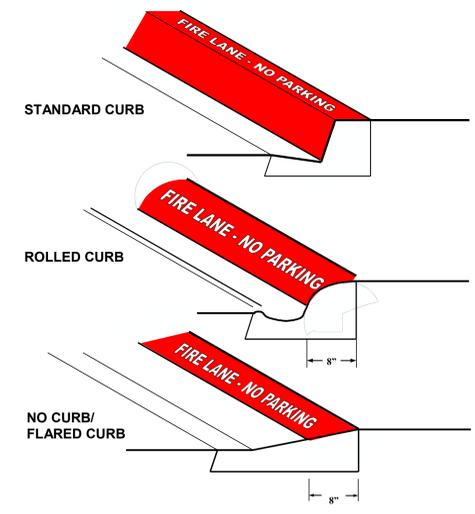
#1 PITOT-PSI 40 GPM 1060 (4" OR 2 1/2") 2 1/2"
 #2 PITOT-PSI _____ GPM _____ (4" OR 2 1/2")
 #3 PITOT-PSI _____ GPM _____ (4" OR 2 1/2")

CALCULATED TEST AND FLOW DATA Q1 X PD2 K = Q2
 (Completed by test company) PDI K
 STATIC (PSI) 74
 DESIRED RESID 20
 PRESSURE DROP (PD2) 54 "K" FACTOR FOR (PD2) 364
 (ENTER K-FACTOR IN FORMULA)
1060 TIMES 364 DIVIDED BY 100 EQUALS 9158 GPM @ 20 PSI RESIDUAL
 (Q1) (PD2/K) (PDI/K) (Q2)

TEST CONDUCTED FOR: 4911 N. Hewes St./ Designer
 (LOCATION & REASON)
 NAME: Daniel Jilaka
 TITLE: Field Technician
 COMPANY: Spectrum Fire Protection
 DATE: 11/21/14 TIME: 8:30 AM INSPECTOR: R. DeMauro

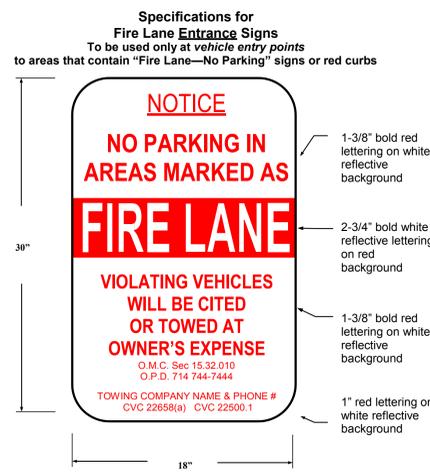
Fire Flow Test

Fire Lane Identification - Red Curbs



1. Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
2. Curbs shall be painted OSHA safety red.
3. "FIRE LANE - NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.

1 Fire Lane Identification



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.
 This sign shall be posted at all vehicle entrances to areas marked with either red curbs or fire lane "No Parking" signs. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.
 Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

2 Fire Lane Entrance Signs



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.
 Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

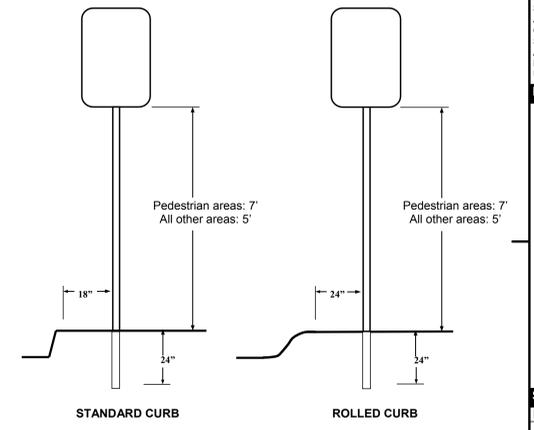
3 Fire Lane No Parking Signs

- INSPECTION REQUIREMENTS**
1. OFD site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Call the Fire Prevention office at (714) 288-2541 for inspection scheduling.
 2. A lumber drop inspection shall be performed prior to delivery to the site. All-weather access roads capable of supporting 68,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
 3. For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. To schedule an appointment call the Fire Prevention office at (714) 288-2541.
 4. Phased installation of fire access roads requires additional inspections.
 5. An original approved, signed, wet-stamped OFD fire master plan shall be available on-site.
 6. Access roads and hydrants shall be maintained and remain clear of obstructions at all times.
 7. Areas where parking is not permitted shall be clearly identified.
 8. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections and a notice of correction or parking will be issued.
 9. Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the OFD prior to installation and use.
 10. The project address shall be clearly posted and visible from the public road during.
 11. All gates which are required for fire department access shall be equipped with either a Knox or fire department padlock.
 12. Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

- GENERAL REQUIREMENTS**
13. Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved OFD Fire Master Plan.
 14. Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 68,000 lbs. and surfaced to provide all-weather driving capabilities.
 15. Additional fire lane markings may be required at the time of inspection depending on field conditions.
 16. Address numbers shall be located and be of a color and sized so as to be plainly visible and legible from the roadway.
 17. Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC.
 18. Approved access walkways shall be provided to all required openings and all rescue windows.
 19. Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
 20. Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
 21. Any future modification to the approved Fire Master Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the OFD.
 22. Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in related portions of the 2019 CFC and CBC and Orange Municipal Code. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.

- PROJECT-SPECIFIC REQUIREMENTS (Include only those notes that are applicable to the project as designed; some notes may need to be modified to address specific project conditions)**
23. An underground piping plan is required for the installation of an automatic fire sprinkler system or for a private fire hydrant system. A separate plan submittal is required.
 24. An automatic fire sprinkler system shall be installed in accordance with applicable codes and ordinances, amendments, and guidelines. Sprinkler systems, other than those listed in CFC Chapter 9, shall be monitored by an approved central station. Separate plan submittals for the sprinkler and monitoring systems are required. Design of an automatic fire sprinkler system shall be based on a current flow test (within 12 months of the submitted design) which has been conducted per NFPA 13 requirements and witnessed by a fire department representative.
 25. A fire alarm system shall be installed in accordance with applicable codes and ordinances, amendments, and guidelines. A separate plan submittal is required.

**Mounting Specifications for
Fire Lane Entrance and No Parking Signs**



Signs shall be mounted facing the direction of vehicular travel.
 Signs may be mounted on existing posts or buildings where the centerline of the sign is no more than 24" from the edge of the roadway.
 Depth of bury shall be a minimum of 24" and rebar, a concrete footing, or another method to prevent removal of the sign is recommended. Footings for signs located in the public right-of-way shall be per the local jurisdiction's requirements.

4 Fire Lane Signs Mounting

TIMELESS ARCHITECTURE INC.

8991 IRVINE CENTER DRIVE - SUITE 140
 IRVINE - CALIFORNIA - 92618
 TEL: 949-831-8110 FAX: 949-951-2820
 EMAIL: MAIN@TMLSA.COM

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PROJECT

St. Verena Coptic Orthodox Church Multipurpose Service Building
 Site Address: 4911 N. Hewes St., Orange CA 92869
 Owner: St. Verena Coptic Orthodox Church, 4911 N. Hewes St., Orange, CA 92869
 Contact: Mark Wissca, wissamark@gmail.com, (714) 635-3330

SHEET DATA

PROJECT # 20009
 APN: 383-051-44
 PDF DATE: 12/7/21-12:37 PM

LAST SAVED BY: iMac 5k i7
 CAD FILENAME: 20009 St Verena Gym Con Docs.pln

Fire Master Plan Notes

A013

**CFC TABLE B105.1:
Minimum Required Fire Flow and Flow Duration for Buildings
as adopted by the OFD**

Type IAIB ¹	FIRE FLOW CALCULATION AREA (square feet)				FIRE FLOW (gallons/minute) ²		Flow Duration
	Type IVA ¹	Type IVB ¹	Type IVBIB ¹	Type VB ¹	Unsprinklered ³	Sprinklered ⁴	
0-22700	0-12700	0-8200	0-5900	0-3000	1500	1500	2
22701-30200	12701-17000	8201-10900	5901-7900	3001-4000	1750	1500	
30201-38700	17001-21800	10901-12900	7901-9800	4001-5200	2000	1500	
38701-48300	21801-24200	12901-17400	9801-12600	5201-7700	2250	1500	
48301-59000	24201-33200	17401-21300	12601-16400	7701-9400	2500	1500	
59001-70900	33201-39700	21301-25500	16401-18400	9401-11300	2750	1500	
70901-83700	39701-47100	25501-30100	18401-21800	11301-13400	3000	1500	
83701-97700	47101-64900	30101-35200	21801-25900	13401-15600	3250	1500	
97701-112700	64901-83400	35201-40000	25901-29300	15601-18000	3500	1500	
112701-128700	83401-12400	40001-46400	29301-33000	18001-20600	3750	1500	
128701-145900	12401-162100	46401-52500	33001-37000	20601-23300	4000	1500	
145901-164200	162101-20400	52501-59100	37001-42700	23301-26300	4250	1500	
164201-183400	20401-250100	59101-66000	42701-47700	26301-29300	4500	1500	
183401-203700	250101-30300	66001-73300	47701-53000	29301-32600	4750	1500	
203701-225200	30301-36600	73301-81100	53001-60600	32601-36000	5000	1500	
225201-247700	36601-43900	81101-89200	60601-69400	36001-39600	5250	1500	
247701-271200	43901-52200	89201-97700	69401-79000	39601-43400	5500	1500	
271201-295900	52201-61500	97701-106500	79001-89400	43401-47400	5750	1500	
295901+	61501+	106501+115600	89401-99600	47401-51600	6000	1500	
		115601-125500	99601-109600	51601-55700	6250	1563	
		125501-135500	109601-119600	55701-60200	6500	1625	
		135501-145500	119601-129600	60201-64800	6750	1688	
		145501-156700	129601-140200	64801-69600	7000	1750	
		156701-167900	140201-151000	69601-74600	7250	1813	
		167901-179400	151001-162000	74601-79800	7500	1875	
		179401-191400	162001-173300	79801-85100	7750	1938	
		191401+	173301+	85101+	8000	2000	

¹ Construction Types based upon actual construction without applying 1-hour equivalency allowed by CFC Table 601 footnote 'd'.
² Fire flow measured at 20 psi.
³ Unsprinklered homes: Minimum fire flow for a detached, unsprinklered single-family residence/duplex up to 3600 sq. ft. is 1000 gpm for one hour. Fire-flow and flow duration for dwellings having a fire-flow calculation area in excess of 3,600 square feet shall not be less than that specified in the table above.
⁴ Sprinklered homes: When a detached single-family residence/duplex is equipped with an approved automatic sprinkler system, the fire flow may be reduced to 500 gpm for 1/2 hour and 50% of that required for an unsprinklered structure for one hour.

**CFC TABLE C105.1: Hydrant
Quantity and Spacing as
adopted by the OFD**

FLOW REQUIREMENT from Table B105.1	Minimum # of Hydrants	Average Hydrant Spacing (feet) s, t, u, v, w	Maximum Distance to Hydrant (feet) x, y
up to 1750	1	500	250
1751-2250	2	450	225
2251-2500	3	450	225
2501-3000	3	400	225
3001-4000	4	350	210
4001-5000	5	300	180
5001-5500	6	300	180
5501-6000	6	250	150
6001-7000	7	250	150
7001+	8 or more ⁵	200	120

¹ Reduce by 100 feet for dead-end streets or roads.
² Where streets are provided with median dividers which can be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis up to a fire-flow requirement of 7,000 gallons per minute and 400 feet for higher fire-flow requirements.
³ Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
⁴ Reduce by 50 feet for dead-end streets or roads.
⁵ One hydrant for each 1,000 gallons per minute or fraction thereof.
⁶ The spacing between hydrants serving only detached sprinklered single family residences/duplexes may be increased to 600 feet.
⁷ The maximum distance to a hydrant serving a sprinklered detached single family residence/duplex may be increased to 300 feet.



CITY OF ORANGE

WATER DIVISION PHONE: (714) 288-2475 FAX: (714) 744-2973 www.cityoforange.org

HYDRANT PRESSURE INQUIRY

The information presented in this document is provided as a courtesy and may be used for reference purposes only. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

Date: 8/9/2021

Location: 491 N Hewes St, Orange, CA, 92869, USA

Information provided by: Junie Vuong

The City does not collect or provide pressure information for individual addresses or private systems.

The information that is provided is the latest data from nearby City of Orange hydrant(s). This information is collected when hydrants go through a routine flushing. This is rough information and may only be used for reference purposes only. It cannot be used for official design calculations and submittals and it is not valid for design of fire systems.

Hydrant #	Test Performed (Month-YY)	Static Pressure (PSI)	Residual Pressure (PSI)	Observed Flow (GPM)	Flow at 20 PSI (GPM)
1273	Dec-20	80	78	1483.735826	9311.122934
1982	Dec-20	80	74	1445.190645	5011.008525
4327	Dec-20	76	74	1445.190645	8737.566186

Please see attached map for hydrant reference.

The information presented in this document is not valid for design of fire systems. Contact Orange Fire Department at (714) 288-2541 to schedule a flow test for system design.

WATER DIVISION • 189 S. WATER STREET • ORANGE, CA 92866-1591

N:\Water\Requests\Hydrant Pressure Inquiries\Hydrant Pressure Inquiry.docx

8/11/2021

Fire Department – Fire Prevention Division
 Rosie Flores, Plans Examiner
rflores@cityoforange.org

RE: Major Site Plan Review No. 1054-21 and Design Review Committee No. 4799-15 – 491 N. Hewes St. Comment #25

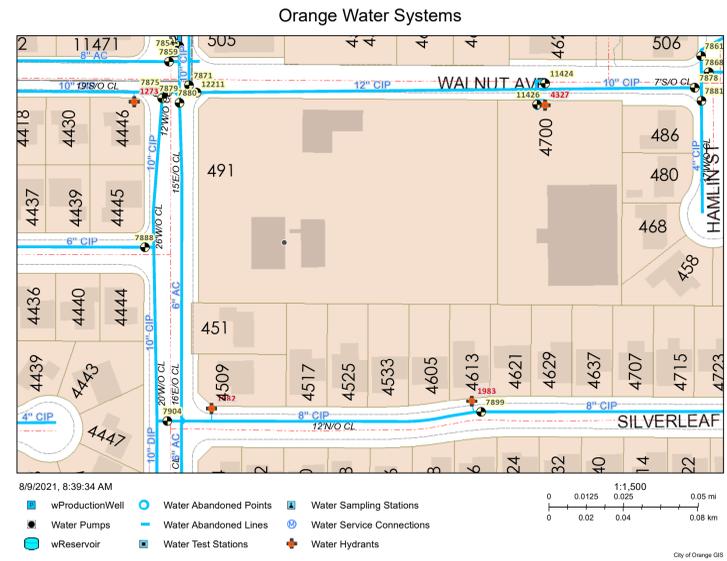
1. Mark Wissa (Engineer) has reviewed comment #25 pertaining to ensuring that the new roadway and access fire truck lane will meet the all weather 68,000 lbs loading requirement. Following the criteria set by the geotechnical engineering regarding the in-situ soil materials along with the proposed/existing pavement section, it is concluded that the 3 inches of Asphalt pavement overlying 4 inches of crushed miscellaneous aggregate base (or the alternative 4 inches of Portland cement concrete pavement section) will be sufficient to structurally support a conservatively assumed fire truck traffic flow on the new roadway and access road.



Mark Wissa, P.E.
 Construction Committee Chair

Note: If different soil conditions are encountered or alternative pavement sections are to be proposed, please notify engineer for further evaluation.

1 Hydrant Pressure Inquiry



8/9/2021, 8:39:34 AM

- wProductionWell
- Water Abandoned Points
- Water Sampling Stations
- Water Pumps
- Water Abandoned Lines
- Water Service Connections
- wReservoir
- Water Test Stations
- Water Hydrants

Scale: 1:1,500 (0 to 0.05 mi / 0 to 0.08 km)

City of Orange GIS



9891 IRVINE CENTER DRIVE - SUITE 140
 IRVINE - CALIFORNIA - 92618
 TEL: 949-831-8110 FAX: 949-951-2820
 EMAIL: MAIN@TMLSR.C.COM

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PROJECT

St. Verena Coptic Orthodox Church Multipurpose Service Building

Site Address:
 491 N. Hewes St.,
 Orange CA 92869
 Owner:
 St. Verena Coptic Orthodox Church
 491 N. Hewes St., Orange, CA 92869
 Contact: Mark Wissa
wissamark@gmail.com
 (714) 635-3330

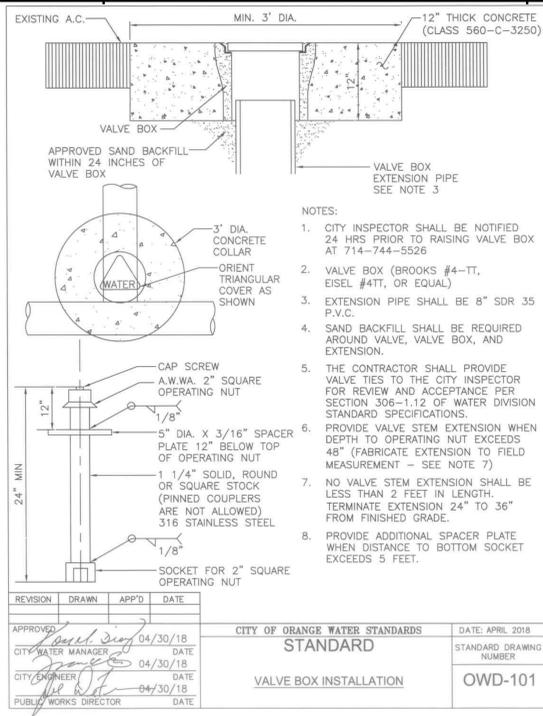
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PDF DATE:	12/7/21-12:37 PM
LAST SAVED BY:	iMac 5k 17
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Fire Master Plan Notes

A014

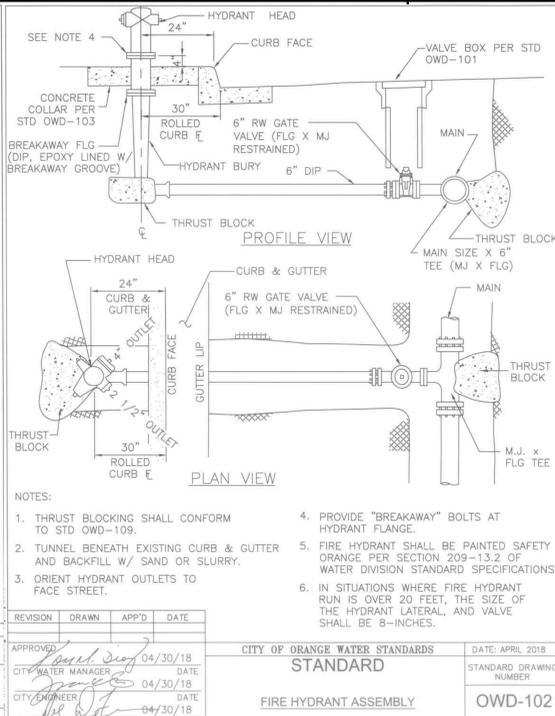
2 Fire Department - Comment 25 Letter



REVISION	DRAWN	APP'D	DATE

APPROVED: *[Signature]* DATE: 04/30/18
 CITY WATER MANAGER
 CITY ENGINEER: *[Signature]* DATE: 04/30/18
 CITY ENGINEER
 PUBLIC WORKS DIRECTOR: *[Signature]* DATE: 04/30/18
 PUBLIC WORKS DIRECTOR

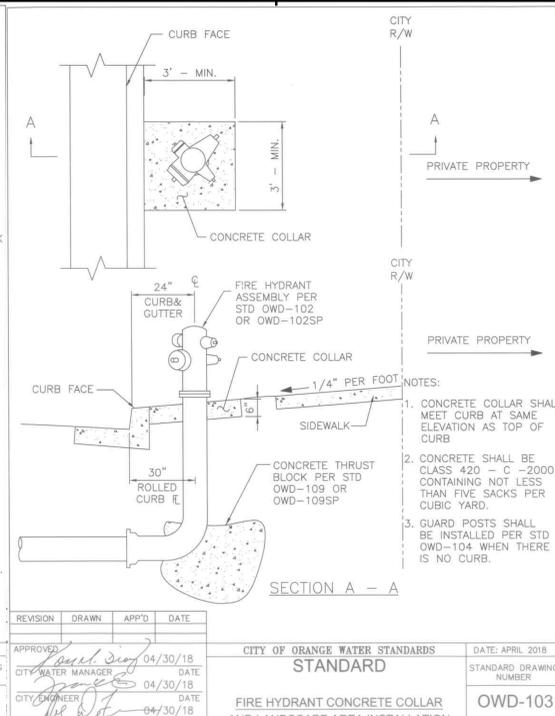
CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 VALVE BOX INSTALLATION
 STANDARD DRAWING NUMBER: OWD-101



REVISION	DRAWN	APP'D	DATE

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 CITY WATER MANAGER
 CITY ENGINEER: *[Signature]* DATE: 04/30/18
 CITY ENGINEER
 PUBLIC WORKS DIRECTOR: *[Signature]* DATE: 04/30/18
 PUBLIC WORKS DIRECTOR

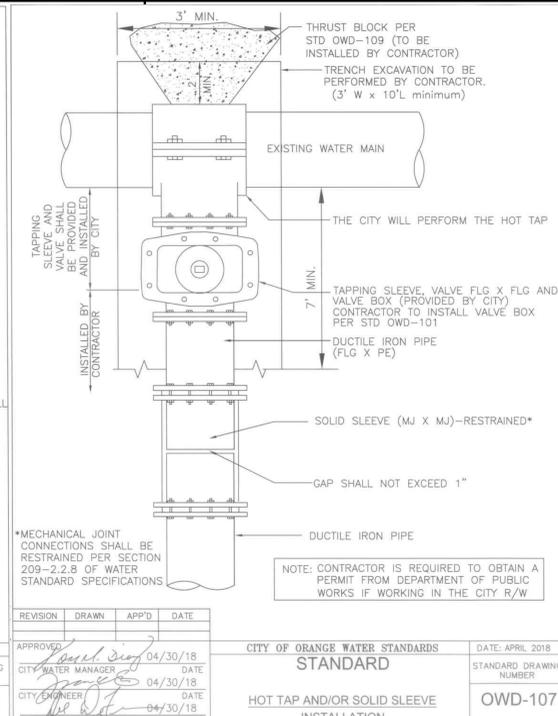
CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 FIRE HYDRANT ASSEMBLY
 STANDARD DRAWING NUMBER: OWD-102



REVISION	DRAWN	APP'D	DATE

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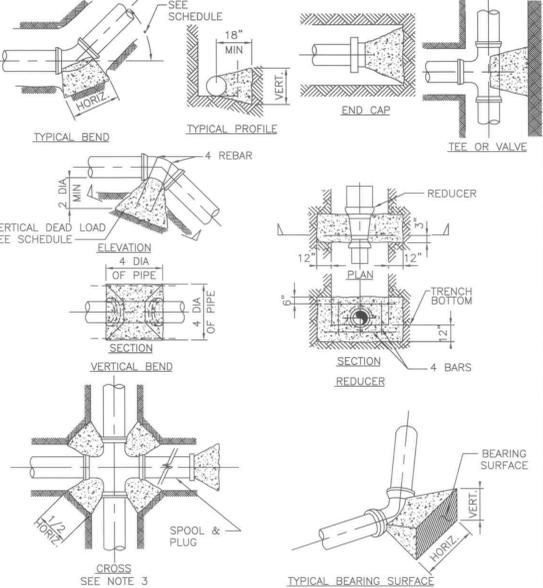
CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 FIRE HYDRANT CONCRETE COLLAR AND LANDSCAPE AREA INSTALLATION
 STANDARD DRAWING NUMBER: OWD-103



REVISION	DRAWN	APP'D	DATE

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CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 HOT TAP AND/OR SOLID SLEEVE INSTALLATION
 STANDARD DRAWING NUMBER: OWD-107



REVISION	DRAWN	APP'D	DATE

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 CITY ENGINEER
 PUBLIC WORKS DIRECTOR: *[Signature]* DATE: 04/30/18
 PUBLIC WORKS DIRECTOR

CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 THRUST BLOCK DETAILS
 STANDARD DRAWING NUMBER: OWD-109
 SHEET 1 OF 2

MINIMUM SIZE OF THRUST BLOCK BEARING SURFACE

PIPE SIZE	11 1/4" BEND	22 1/2" BEND	45" BEND	90" BEND	TEE	END CAP
SIZE	HORIZ. VERT.					
4"	1'-8" 0'-9"	1'-8" 0'-9"	2'-4" 1'-0"	3'-3" 1'-4"	2'-8" 1'-3"	2'-8" 1'-3"
6"	1'-9" 1'-0"	2'-6" 1'-3"	3'-6" 1'-6"	4'-8" 2'-3"	4'-0" 2'-0"	4'-0" 2'-0"
8"	2'-4" 1'-0"	3'-4" 1'-6"	4'-8" 2'-0"	6'-4" 3'-0"	5'-4" 2'-4"	5'-4" 2'-4"
10"	3'-0" 1'-4"	4'-3" 1'-9"	5'-9" 2'-6"	7'-10" 3'-6"	6'-8" 3'-0"	6'-8" 3'-0"
12"	3'-6" 2'-0"	5'-0" 2'-3"	6'-10" 3'-0"	9'-6" 4'-3"	7'-10" 3'-6"	7'-10" 3'-6"

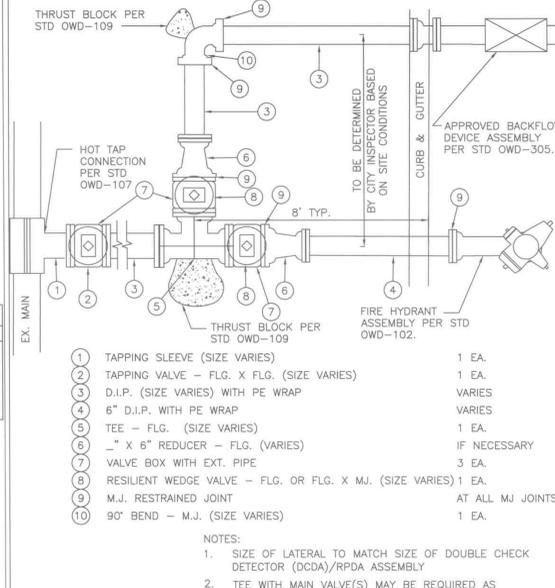
VERTICAL DEAD LOAD (MIN. CUBIC YARDS)

PIPE SIZE	11 1/4" BEND	22 1/2" BEND	45" BEND
4"	0.3	0.5	0.9
6"	0.5	1.0	2.0
8"	0.9	1.8	3.5
10"	1.4	2.8	5.5
12"	2.0	4.0	7.8

REVISION	DRAWN	APP'D	DATE

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 PUBLIC WORKS DIRECTOR

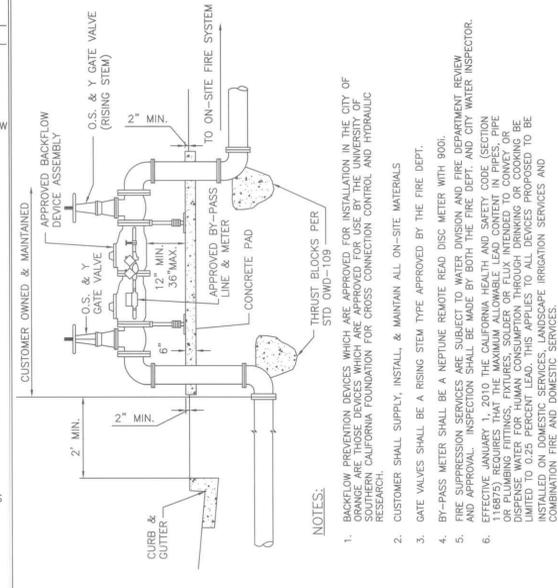
CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 THRUST BLOCK DETAILS
 STANDARD DRAWING NUMBER: OWD-109
 SHEET 2 OF 2



REVISION	DRAWN	APP'D	DATE

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 CITY ENGINEER
 PUBLIC WORKS DIRECTOR: *[Signature]* DATE: 04/30/18
 PUBLIC WORKS DIRECTOR

CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 COMBINATION FIRE HYDRANT & APPROVED BACKFLOW DEVICE ASSEMBLY FOR LONG SIDE STREET CROSSING
 STANDARD DRAWING NUMBER: OWD-303



REVISION	DRAWN	APP'D	DATE

APPROVED: *[Signature]* DATE: 04/30/18
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 CITY ENGINEER: *[Signature]* DATE: 04/30/18
 CITY ENGINEER
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 PUBLIC WORKS DIRECTOR

CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 TYPICAL 4" AND LARGER BACKFLOW PREVENTION DEVICE
 STANDARD DRAWING NUMBER: OWD-305
 SHEET 1 OF 3



8991 IRVINE CENTER DRIVE - SUITE 140
 IRVINE - CALIFORNIA - 92618
 TEL: 949-831-8110 FAX: 949-951-2820
 EMAIL: MAIN@TMLSRARC.COM

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CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 VALVE BOX INSTALLATION
 STANDARD DRAWING NUMBER: OWD-101

CITY OF ORANGE WATER STANDARDS DATE: APRIL 2018
STANDARD
 FIRE HYDRANT ASSEMBLY
 STANDARD DRAWING NUMBER: OWD-102



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PROJECT

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 Site Address:
 491 N. Hewes St.,
 Orange CA 92869
 Owner:
 St. Verena Coptic Orthodox Church
 491 N. Hewes St., Orange, CA 92869
 Contact: Mark Wisca
 wissamark@gmail.com
 (714) 635-3330

SHEET DATA

PROJECT #	20009
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CAD FILENAME:	2009 St Verena Gym Con Docs.pln

OWD Standard Details

A015



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PROJECT

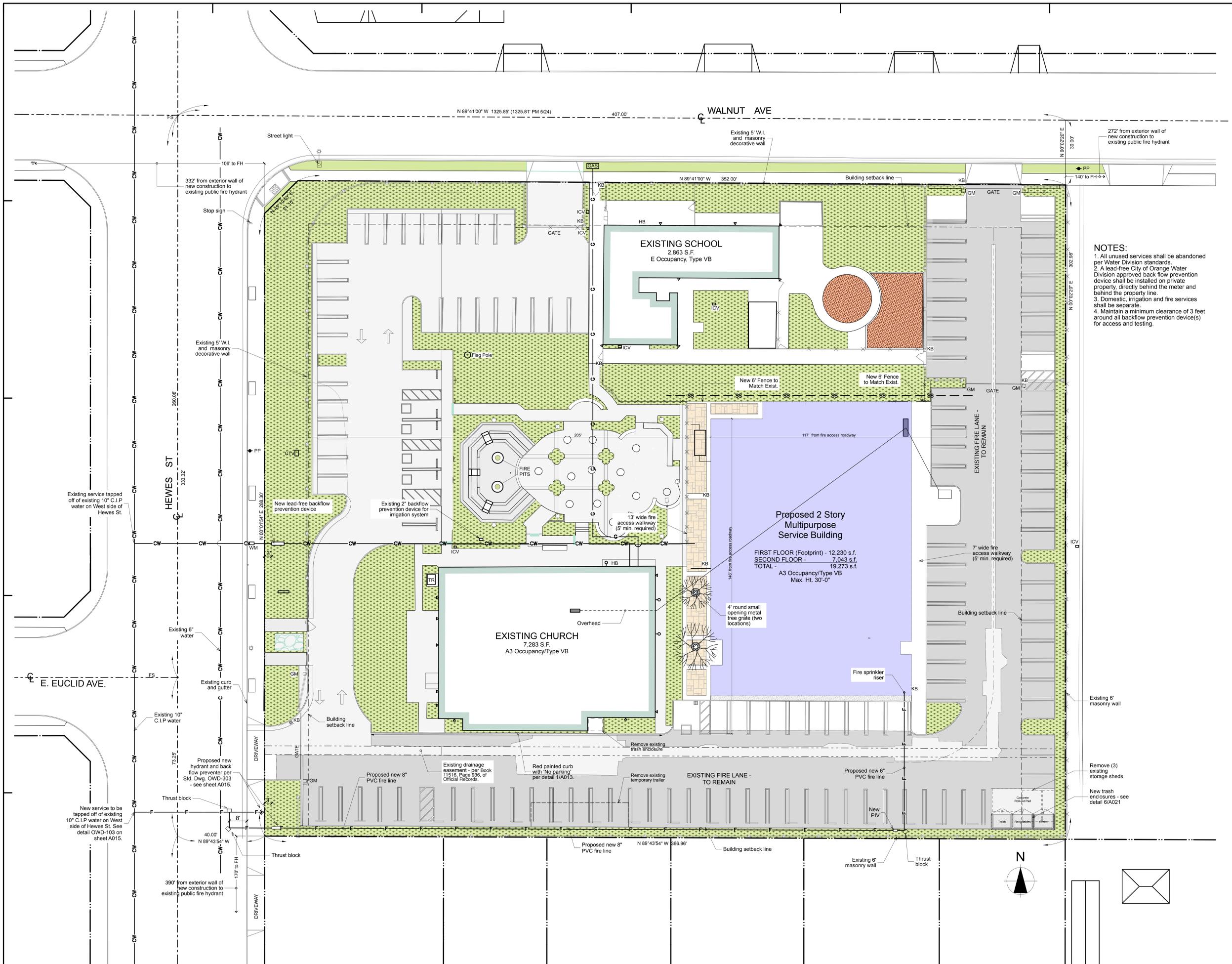
St. Verena Coptic Orthodox Church Multipurpose Service Building

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491 N. Hewes St.,
Orange CA 92869
Owner:
St. Verena Coptic Orthodox Church
491 N. Hewes St., Orange, CA 92869
Contact: Mark Wisca
wissamark@gmail.com
(714) 635-3330

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PROJECT #	20009
APN:	383-051-44
PDF DATE:	1/21/22-2:37 PM
LAST SAVED BY:	iMac 5k 17
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Site Utility Plan



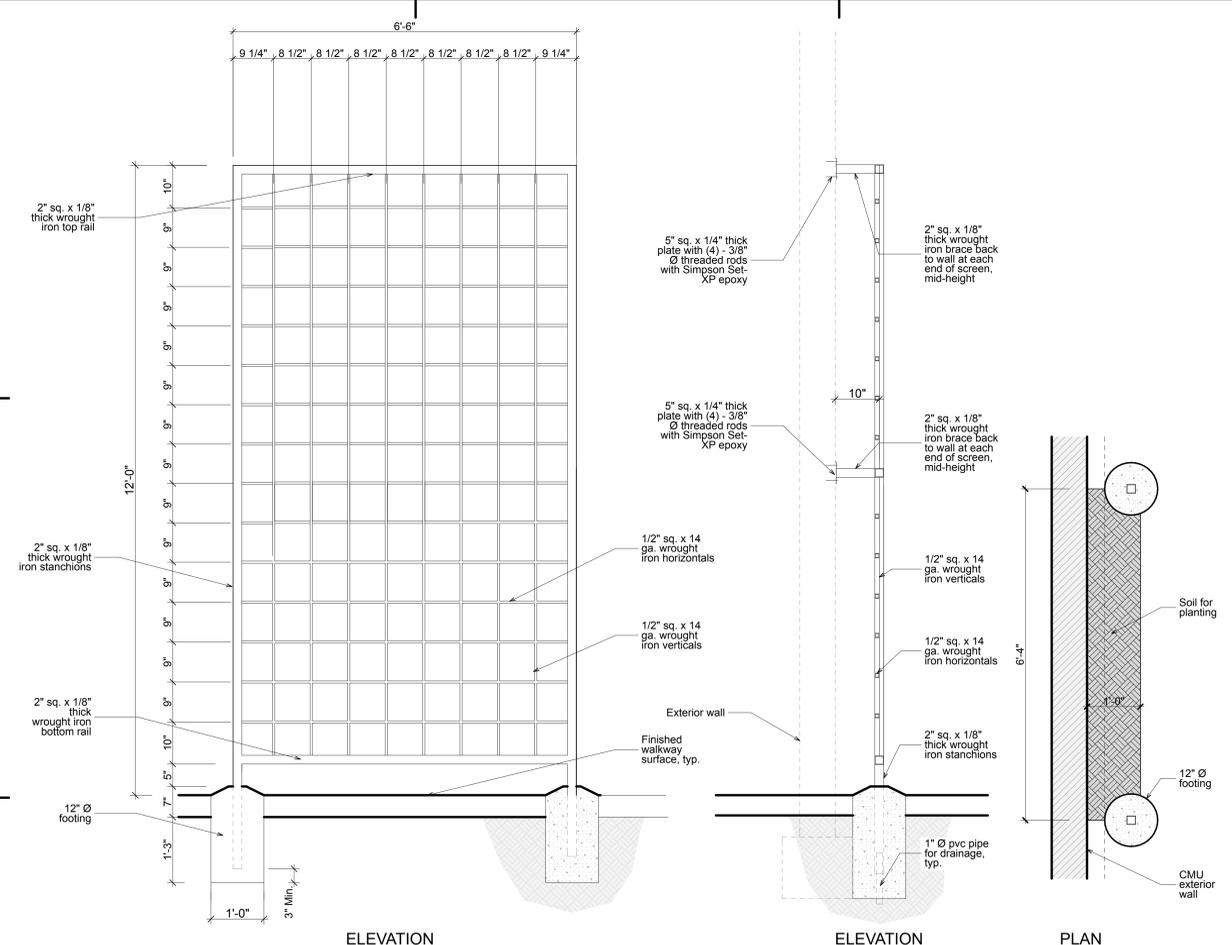
- NOTES:**
1. All unused services shall be abandoned per Water Division standards.
 2. A lead-free City of Orange Water Division approved back flow prevention device shall be installed on private property, directly behind the meter and behind the property line.
 3. Domestic, irrigation and fire services shall be separate.
 4. Maintain a minimum clearance of 3 feet around all backflow prevention device(s) for access and testing.

Site Utility Plan

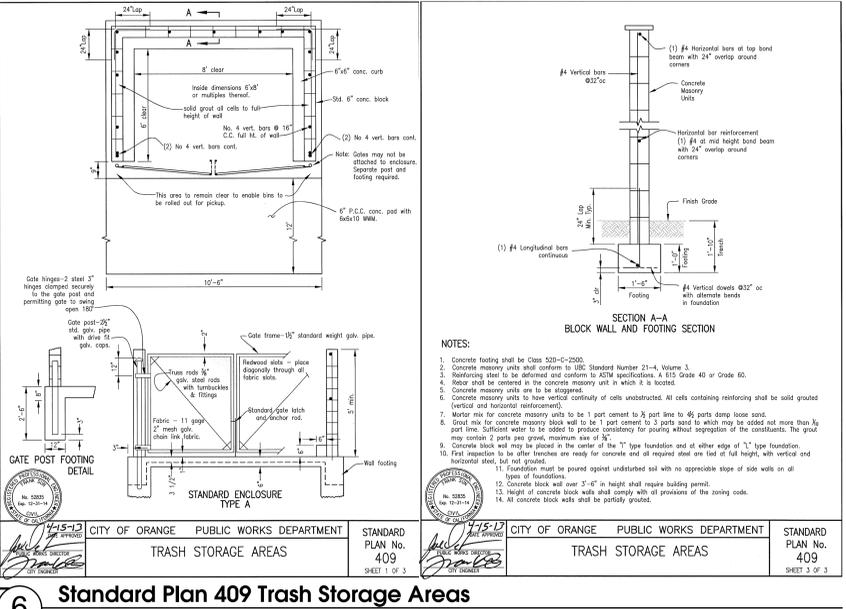


Volumes/TA Net/Vol/TA PDF Server/20009 St Verena Coptic Gymnasium/20009 CAD/20009 St Verena Gym Con Docs.pln

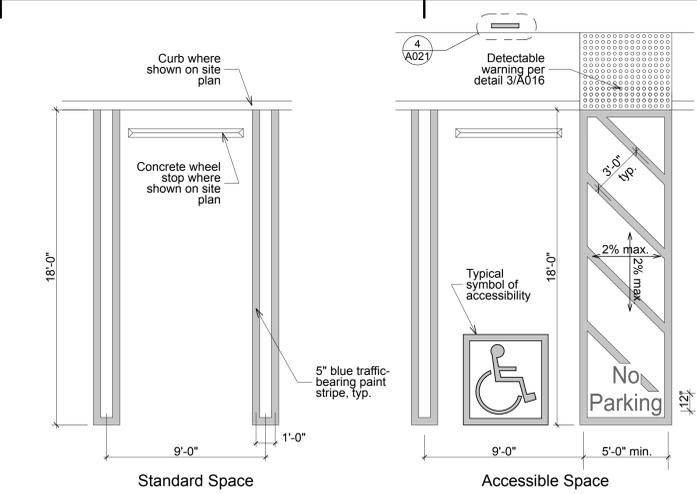
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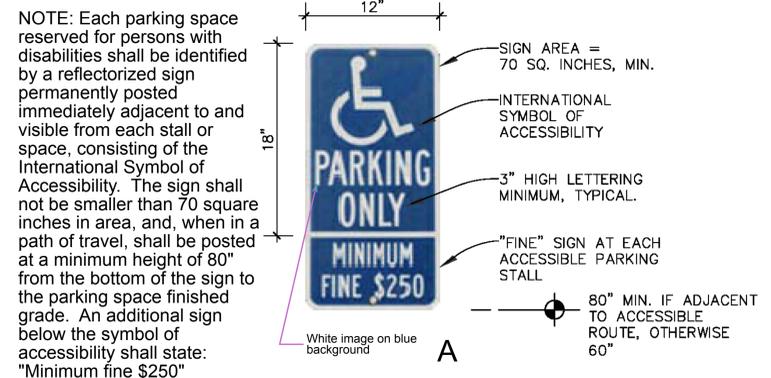
1 Green Screens
SCALE: 3/4" = 1'-0"



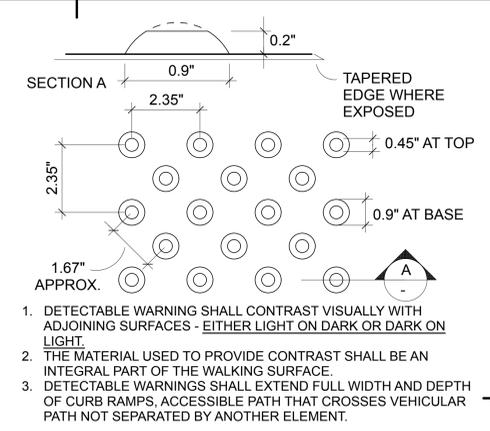
6 Standard Plan 409 Trash Storage Areas



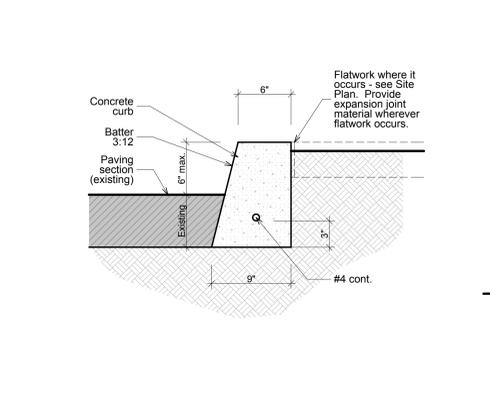
2 Parking Strip
SCALE: 1/4" = 1'-0"



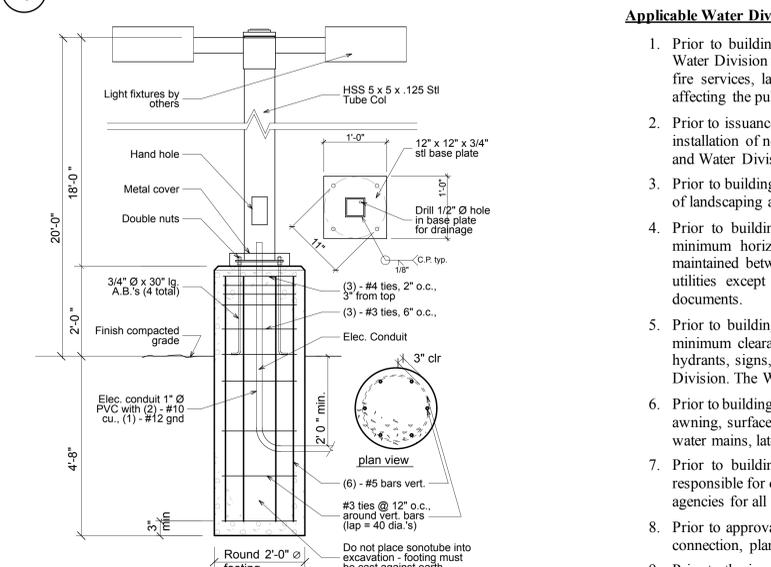
4 Accessible Parking Sign
SCALE: 1/4" = 1'-0"



3 Truncated Domes
SCALE: 1/8" = 1'-0"



5 Curb Detail
SCALE: 1 1/2" = 1'-0"



General Notes

- Contractor shall verify all dimensions and conditions.
- Structural pipe shall conform to ASTM A501, ASTM A53 Grade 'B' Type E or S, Fy = 35 ksi, min.
- Structural tube shall conform to ASTM A500, Grade 'B', Fy = 46 ksi.
- Structural steel plate shall conform to ASTM A36.
- All bolts shall conform to ASTM A325-N with washer, U.N.O.
- Welding shall conform to AISC specs or 2010 CBC and performed by a certified welder using arc process E70XX electrodes. Shop welds by approved fabricator. Continuous inspection required for all field welding.
- Fabrication, erection and painting of structural steel shall conform to AISC Section M.
- All hollow steel sections must be capped and welded all around to prevent water from entering the section.
- All steel less than 1/4" thick shall be galvanized or use double coat of primer.
- Soil type assumed: Sand, Silty Sand, Clayey Sand, Silty Gravel and Clayey Gravel. Allowable lateral bearing pressure = 100 lbs./Sq. ft./ft.
- Concrete to have ultimate compressive strength of 2500 psi @ 28 days and shall be poured against undisturbed soil (no forms).
- Aggregate for hard rock concrete shall conform to ASTM C-33 with max. size of 3/4" coarse aggregate.
- Concrete mixing shall conform to ASTM C-94.
- All holes shall be drilled or punched.
- All works shall conform to 2013 Edition of CBC.
- Engineer is responsible only for the structural integrity of this project. Any alteration will void this detail.
- Reinforcing steel shall comply with ASTM A-615 grade 60, deformed.
- Provide pedestrian protection during light pole erection per CBC Section 3303.
- Design wind load = 85 MPH Exp. 'C'.
- Match existing light standard (height and design of fixture).

7 Light Standard
NOT TO SCALE

Applicable Water Division Standard Conditions

- Prior to building permit issuance, the applicant shall submit improvement plans to the Water Division for review and approval for any new fire hydrants, domestic water services, fire services, landscape services, and any other proposed improvements or relocations affecting the public water system facilities.
- Prior to issuance of the certificate of occupancy, the applicant shall be responsible for the installation of necessary fire hydrants and fire services as approved by the Fire Department and Water Division.
- Prior to building permit issuance, the Water Division shall approve the type and location of landscaping and fire service (backflow prevention) device for proposed City services.
- Prior to building permit issuance, construction documents shall show that a six foot minimum horizontal clearance and a one foot minimum vertical clearance would be maintained between City water mains, laterals, services, meters, fire hydrants and all other utilities except sewer. The Water Division shall review and approve the construction documents.
- Prior to building permit issuance, construction documents shall show that an eight-foot minimum clearance is provided between City water mains, laterals, services, meters, fire hydrants, signs, or trees or other substantial shrubs and plants as required by the Water Division. The Water Division shall review and approve the construction documents.
- Prior to building permit issuance, construction documents shall show that permanent signs, awning, surface water quality management features or other structures are not built over water mains, laterals, services, meters, or fire hydrants as required by the Water Division.
- Prior to building permit issuance for the first phase of work, the applicant shall be responsible for obtaining approval of all of the necessary encroachment permits from affected agencies for all public water construction work.
- Prior to approval of a water improvement plan, the applicant shall satisfy all water main connection, plan check, and inspections charges as determined by the Water Division.
- Prior to the issuance of any grading permit, the applicant shall construct all public and/or private improvements to the satisfaction of the Water Division. The applicant may be required to enter into an agreement with the City of Orange, and post security in a form and amount acceptable to the City Engineer and/or Water Division to ensure construction of said improvements.
- Plans submitted during plan check shall show that the water improvement plans are consistent with the fire suppression plans and or fire master plan. The applicant's consultant preparing the water improvement plans shall coordinate their plans with the consultants preparing the fire suppression plans and/or fire master plan so that their designs concur.
- Plans submitted during plan check shall show that the minimum separation requirements are met and that each of the various designer's plan sets match. The applicant's consultant preparing the improvement and utility plans shall coordinate their plans with the consultants preparing the landscape, architectural, surface water quality management, fire master and/or fire suppression plans so that their designs are consistent.
- At least fourteen calendar days prior to commencing construction, the applicant's civil engineer shall prepare and provide product material submittals consistent with the water improvement plans for all proposed public water system facilities to the Water Division per the City of Orange General Water Construction Notes for review and approval.
- Prior to issuance of certificate of occupancy, the applicant shall furnish and install individual pressure regulators on new services where the incoming pressure exceeds eighty-pounds per square inch.

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PROJECT

St. Verena Coptic Orthodox Church Multipurpose Service Building
Site Address:
491 N. Hewes St.,
Orange, CA 92869
Owner:
St. Verena Coptic Orthodox Church
491 N. Hewes St., Orange, CA 92869
Contact: Mark Wissca
wissamark@gmail.com
(714) 635-3330

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Site Details



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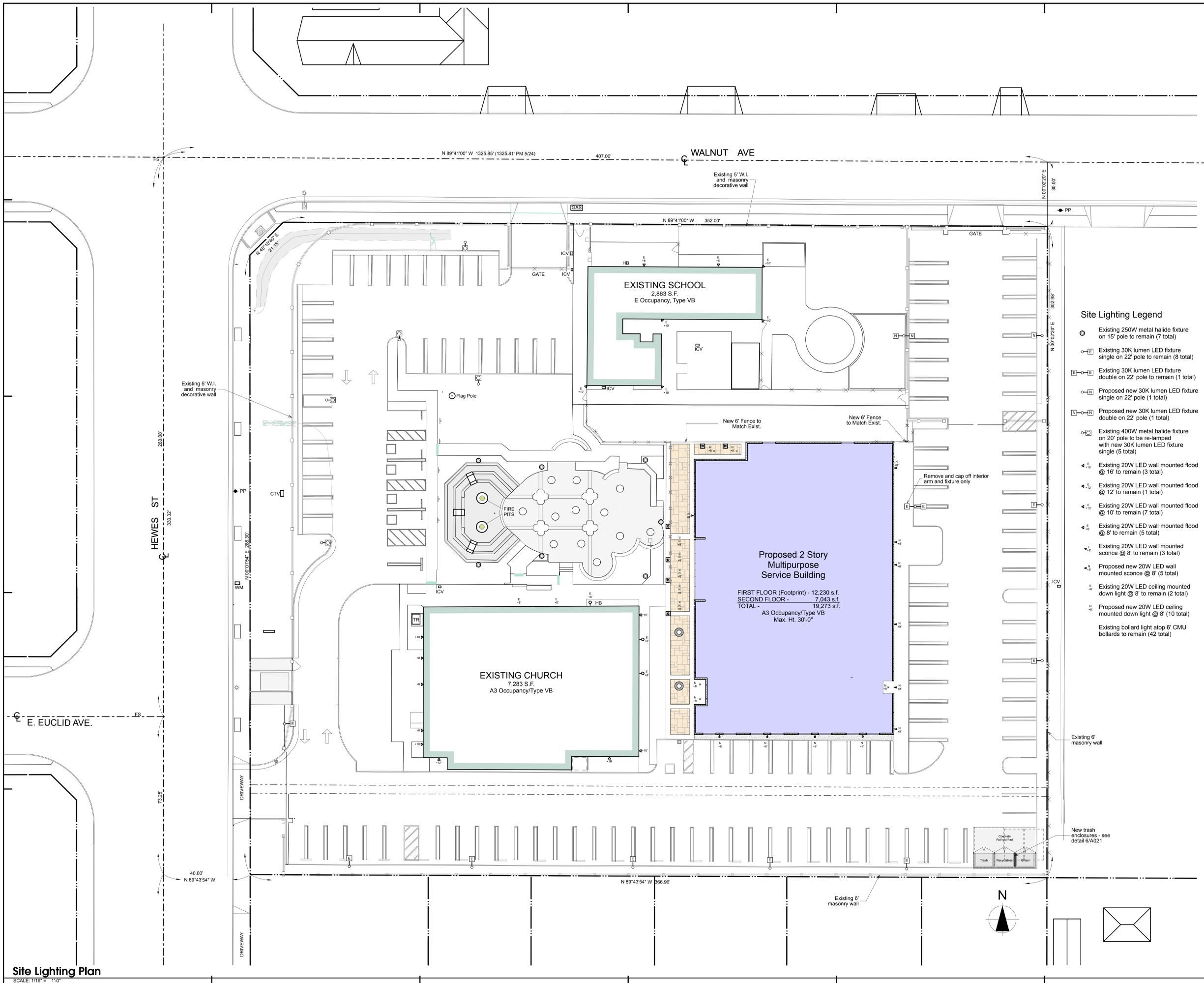
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Site Lighting Plan

A025



Site Lighting Legend

- ⊙ Existing 250W metal halide fixture on 15' pole to remain (7 total)
- ⊙ Existing 30K lumen LED fixture single on 22' pole to remain (8 total)
- ⊙ Existing 30K lumen LED fixture double on 22' pole to remain (1 total)
- ⊙ Proposed new 30K lumen LED fixture single on 22' pole (1 total)
- ⊙ Proposed new 30K lumen LED fixture double on 22' pole (1 total)
- ⊙ Existing 400W metal halide fixture on 20' pole to be re-lamped with new 30K lumen LED fixture single (5 total)
- ⊙ Existing 20W LED wall mounted flood @ 16' to remain (3 total)
- ⊙ Existing 20W LED wall mounted flood @ 12' to remain (1 total)
- ⊙ Existing 20W LED wall mounted flood @ 10' to remain (7 total)
- ⊙ Existing 20W LED wall mounted flood @ 8' to remain (5 total)
- ⊙ Existing 20W LED wall mounted sconce @ 8' to remain (3 total)
- ⊙ Proposed new 20W LED wall mounted sconce @ 8' (5 total)
- ⊙ Existing 20W LED ceiling mounted down light @ 8' to remain (2 total)
- ⊙ Proposed new 20W LED ceiling mounted down light @ 8' (10 total)
- Existing bollard light atop 6' CMU bollards to remain (42 total)

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Owner: St. Verena Coptic Orthodox Church
Contact: Mark Wissca

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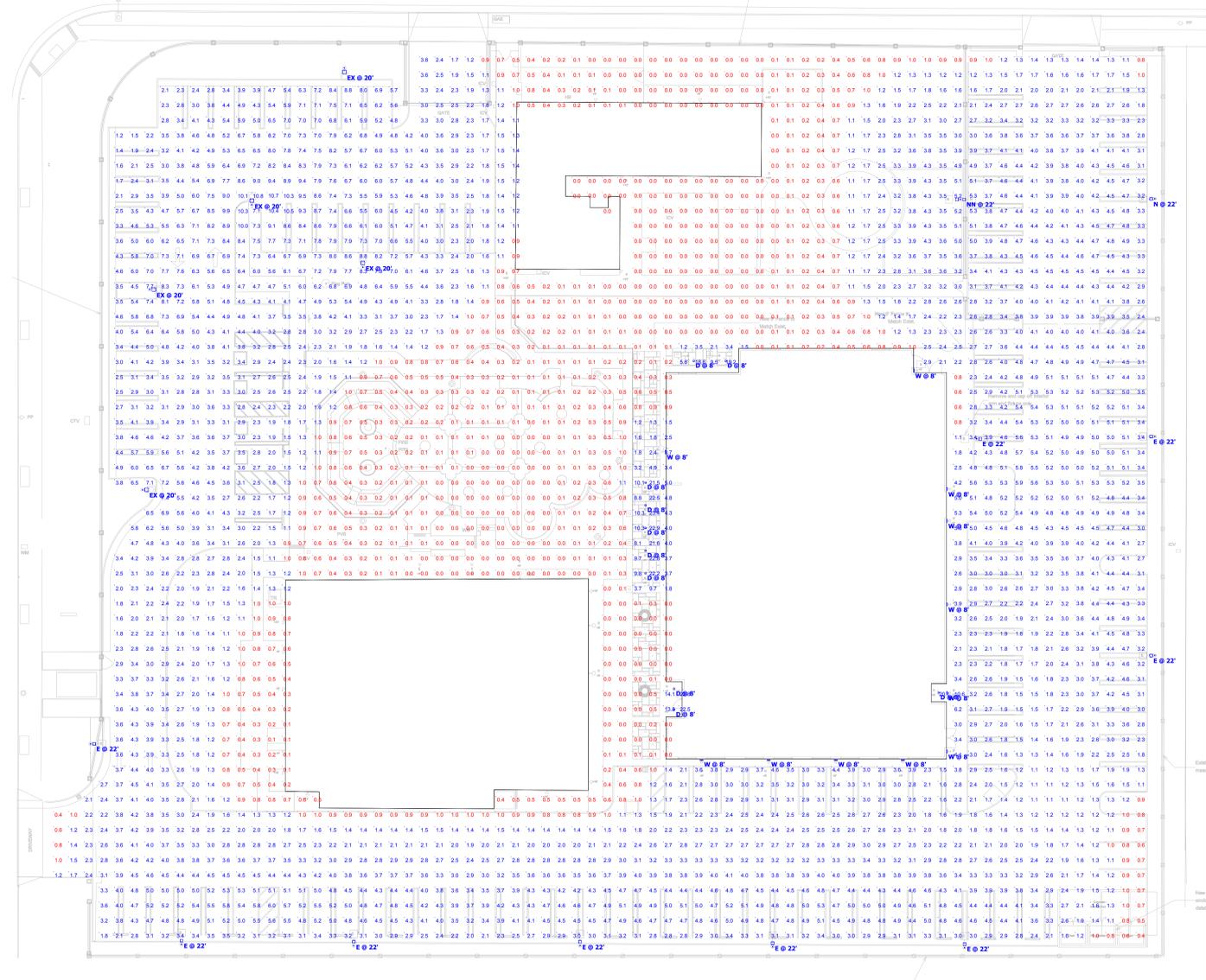
Site Photometric

Schedule table with columns: Symbol, Label, Quantity, Manufacturer, Catalog Number, Description, Lamp, Number of Lamps, Filename, Lumens Per Lamp, Light Loss Factor, Wattage. Includes items D, N, NN, and W.

Product specification for D-Series Size 1 LED Area Luminaire, including technical drawings, specifications, and ordering information.

Product specification for D-Series Size 1 LED Wall Luminaire, including technical drawings, specifications, and ordering information.

Product specification for LDN6 LED luminaire, including technical drawings, features and specifications, and ordering information.



Plan View Scale - 1" = 20ft



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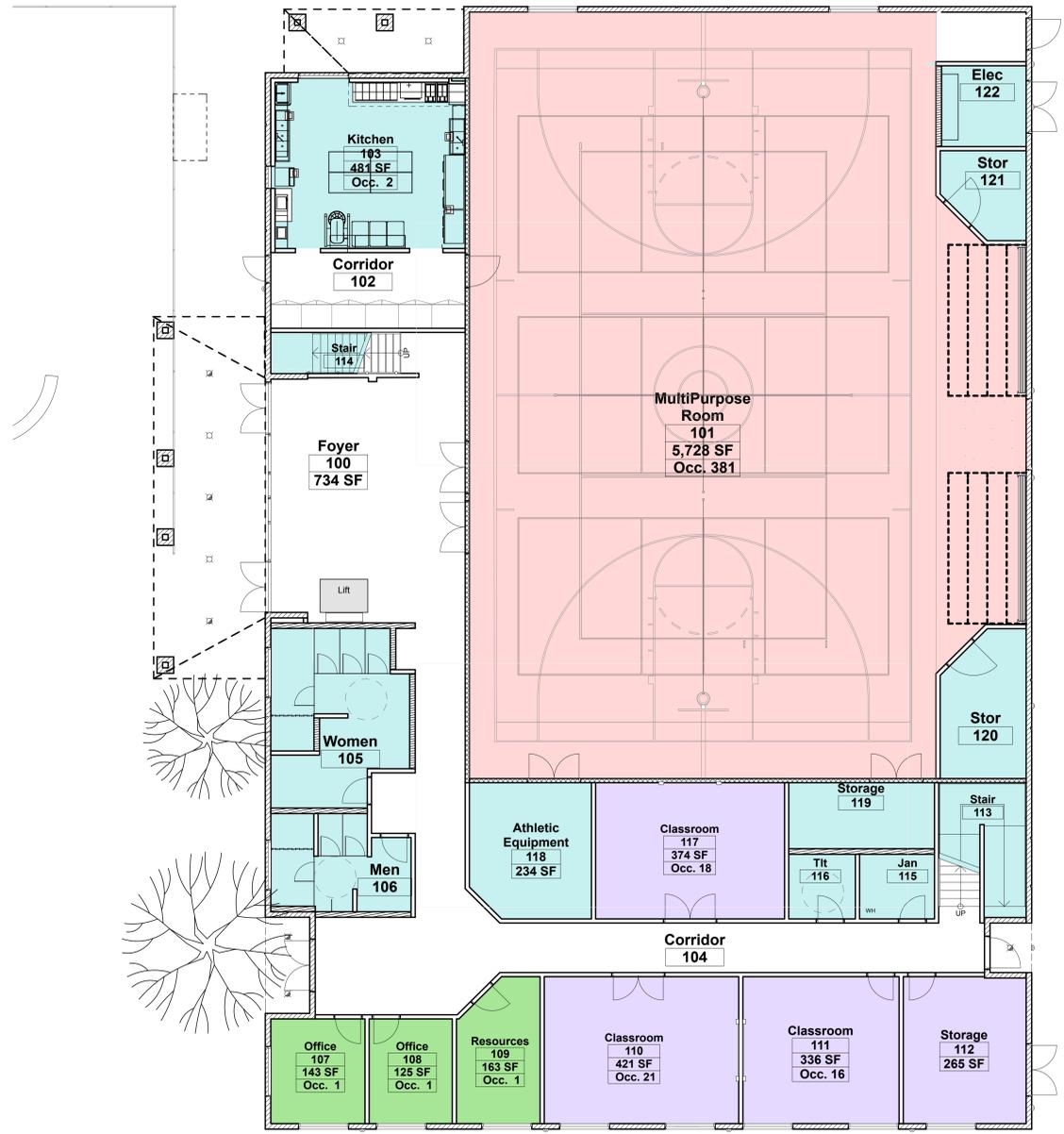
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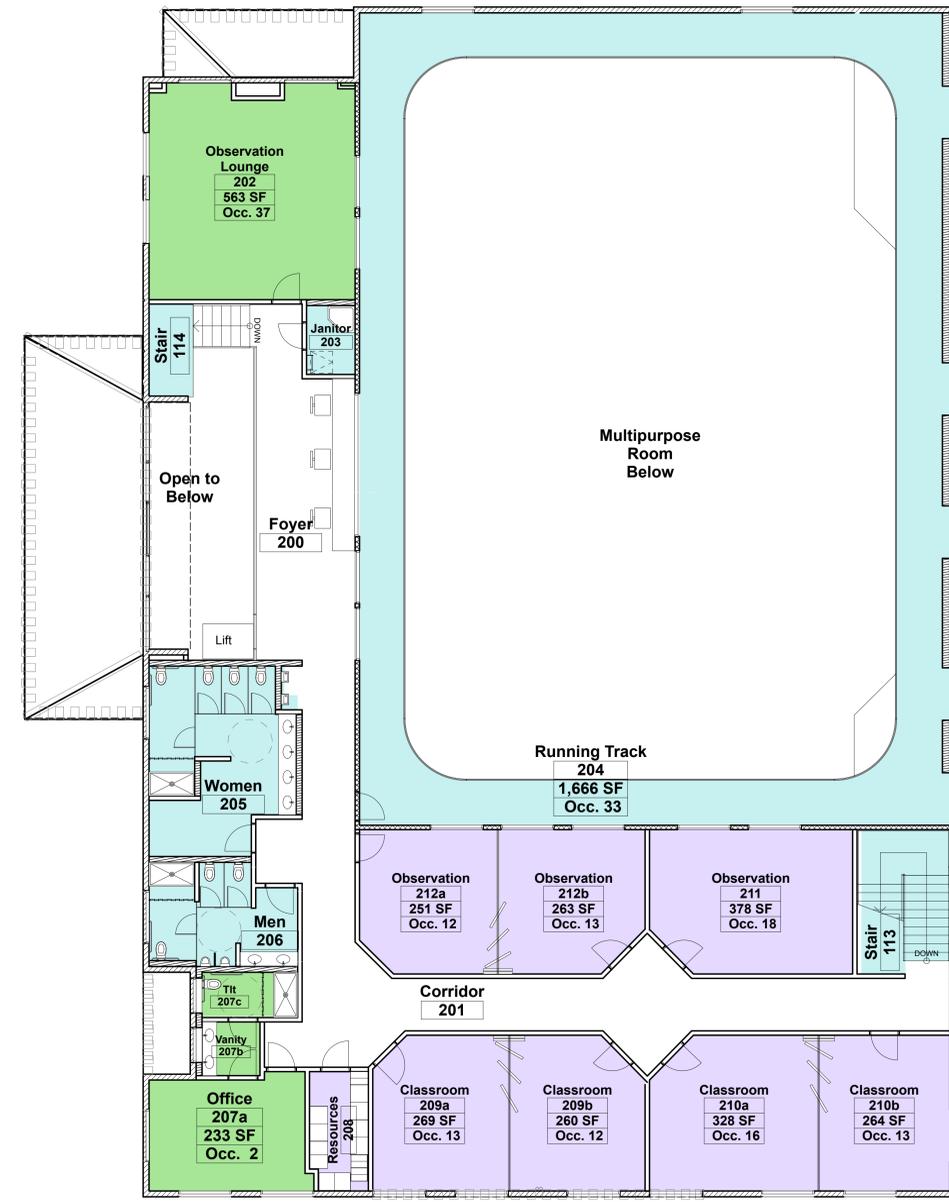
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Floor Plans MPB

A111



First Floor
12,230 SF



Second Floor
7,043 SF

First Floor Multipurpose Building

SCALE: 1/8" = 1'-0"

Second Floor Multipurpose Building

SCALE: 1/8" = 1'-0"

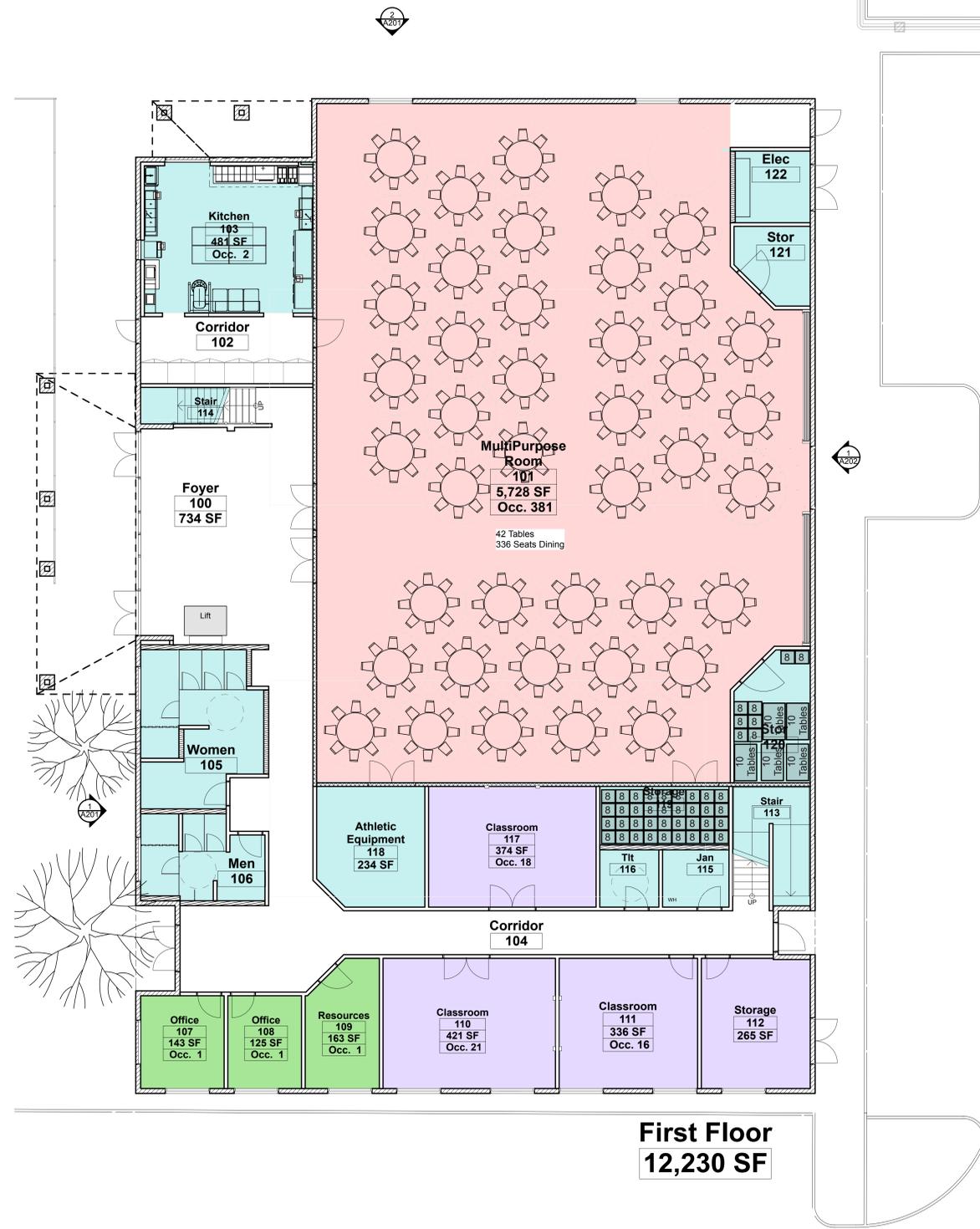
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ARCHITECT



First Floor
12,230 SF

Dining Layout Multipurpose Building
SCALE: 1/8" = 1'-0"

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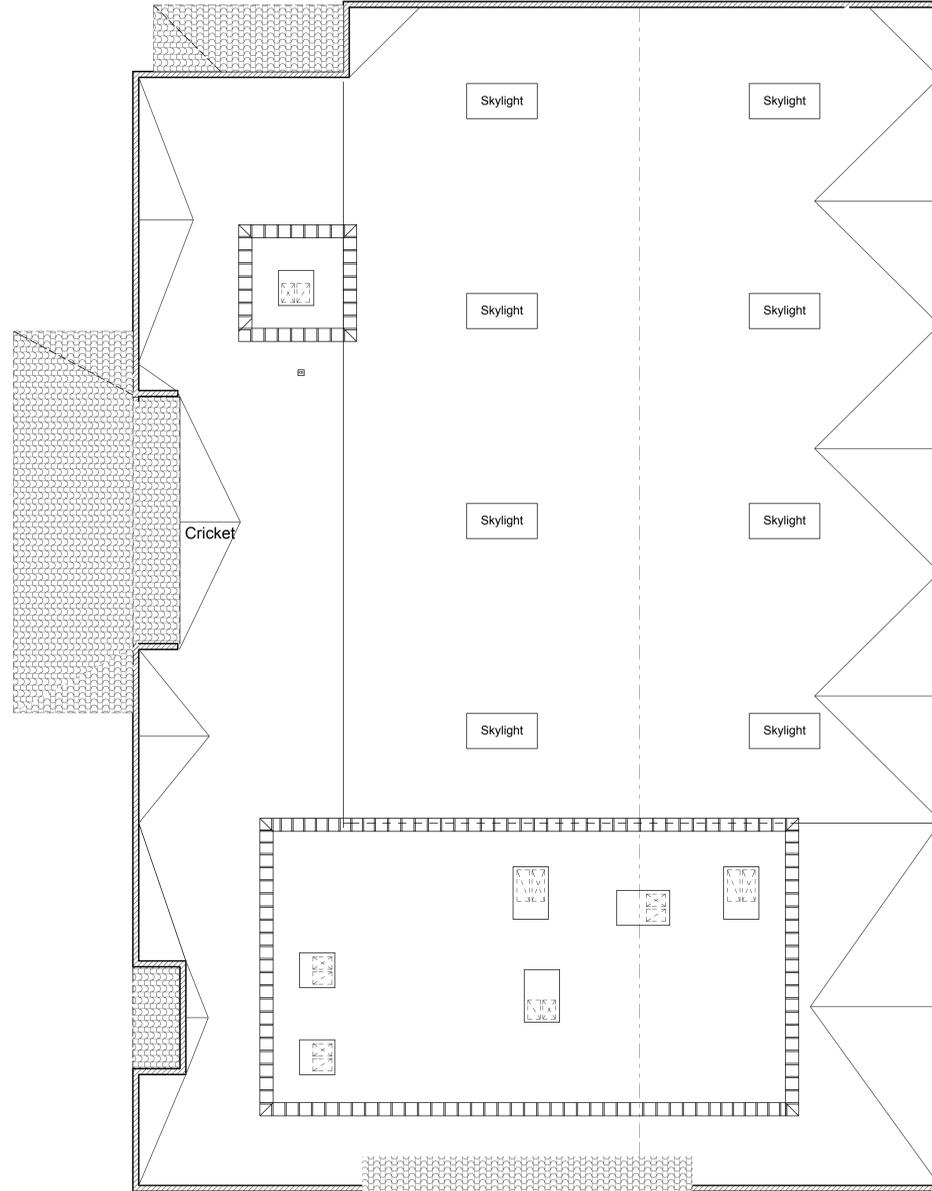
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Dining Layout MPB

A112

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Roof Plan Multipurpose Building

SCALE: 1/8" = 1'-0"



T I M E L E S S
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Roof Plan MPB

A131



ARCHITECT



1 West Elevation Multipurpose Building
SCALE: 1/4" = 1'-0"

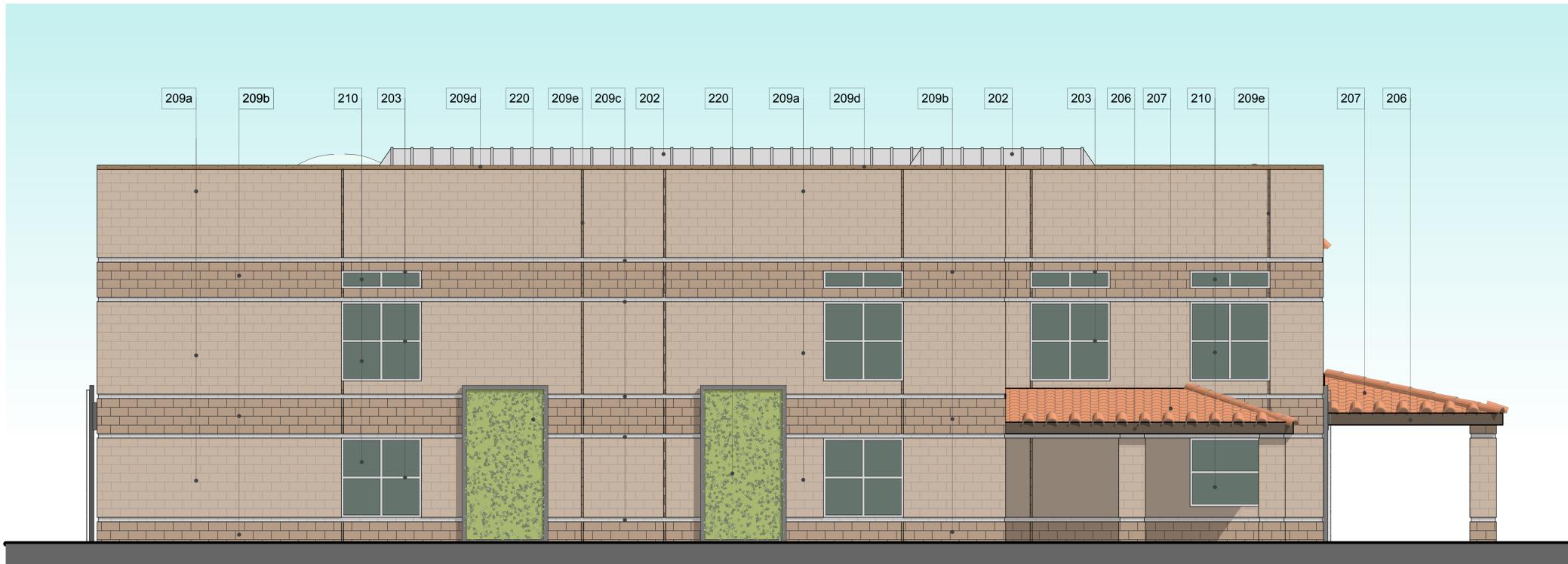
Elevation Keynotes

100 Existing To Remain

- 200 New Construction
- 201 Glass Block 8 x 8 x 4
- 202 Seves Clarity blocks (transparent)
- 202 Metal Roofing HVAC Eqpt Screen - Berridge Standing Seam Tee-Panel
Color: Zinc-Cote
- 203 Storefront Windows - Arcadia Clear Anodized Aluminum #11
Color: Clear AC-2 (www.arcadiainc.com)
- 204 Storefront Doors - Arcadia Clear Anodized Aluminum #11
Color: Clear AC-2 (www.arcadiainc.com)
- 205 8' x 8' Roll-Up Door
Clear Anodized Aluminum
- 206 Steel beam
Paint: Frazee 8706N "Saddlebury"
- 207 Mission S Tile Roofing
Boral One-Piece Mission 'S' Tile ESR-1188
Color: Terra Cotta
- 208 Steel Door
Paint: Frazee 8706N "Saddlebury"
- 209a Wall Main Courses - Manufacturer: Orco Block & Hardscape
Type: 8 x 8 x 16 Shot Blast CMU
Color: Otay Brown (www.orco.com)
- 209b Wall Accent Bands - Type: 8 x 8 x 16 Split Face CMU
Color: Otay Brown (www.orco.com)
- 209c Wall Separation Courses - Type: 8 x 4 x 16 Shot Blast CMU
Color: Natural Gray (www.orco.com)
- 209d Wall Cap - Type: 8 x 2 x 16 Shot Blast Cap
Color: Natural Gray (www.orco.com)
- 209e 3/8" Expansion Joints OR 1/2" Saw Cut to Match Width Of Expansion Joints
- 210 Glazing - Dual Pane Low E Vitro Solarban 70XL (2) Optigray + Clear insulating glass unit
- 220 Metal Green Screen with Fig Plant
Paint: Frazee 8706N "Saddlebury"
- 226 Stained Glass Behind Storefront
- 227 Exterior Wall Sconce - Shaper 673-WP Series LED by Cooper Lighting

300 To Be Removed

NOTE: 1. General Contractor to provide actual sample of materials to be installed, prior to ordering, for Architect's Office Approval.
2. Exterior to be coated with Rain Guard "Blok Lok" Clear Water Repellent. Must be applied by manufacturer approved applicator.



2 North Elevation Multipurpose Building
SCALE: 1/4" = 1'-0"

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CUP Elevations N W
Multipurpose Bldg.

A201



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ARCHITECT



1 East Elevation Multipurpose Building
SCALE: 1/4" = 1'-0"

Elevation Keynotes

100 Existing To Remain

- 200 New Construction
- 201 Glass Block 8 x 8 x 4
- 202 Seves Clarity blocks (transparent)
- 202 Metal Roofing HVAC Eqpt Screen - Berridge Standing Seam Tee-Panel
Color: Zinc-Cote
- 203 Storefront Windows - Arcadia Clear Anodized Aluminum #11
Color: Clear AC-2 (www.arcadiainc.com)
- 204 Storefront Doors - Arcadia Clear Anodized Aluminum #11
Color: Clear AC-2 (www.arcadiainc.com)
- 205 8' x 8' Roll-Up Door
Clear Anodized Aluminum
- 206 Steel beam
Paint: Frazee 8706N "Saddlebury"
- 207 Mission S Tile Roofing
Boral One-Piece Mission 'S' Tile ESR-1188
Color: Terra Cotta
- 208 Steel Door
Paint: Frazee 8706N "Saddlebury"
- 209a Wall Main Courses -
Manufacturer: Orco Block & Hardscape
Type: 8 x 8 x 16 Shot Blast CMU
Color: Otay Brown (www.orco.com)
- 209b Wall Accent Bands -
Type: 8 x 8 x 16 Split Face CMU
Color: Otay Brown (www.orco.com)
- 209c Wall Separation Courses -
Type: 8 x 4 x 16 Shot Blast CMU
Color: Natural Gray (www.orco.com)
- 209d Wall Cap -
Type: 8 x 2 x 16 Shot Blast Cap
Color: Natural Gray (www.orco.com)
- 209e 3/8" Expansion Joints OR 1/2" Saw Cut to Match Width Of Expansion Joints
- 210 Glazing - Dual Pane Low E
Vitro Solarban 70XL (2) Optigray + Clear insulating glass unit
- 220 Metal Green Screen with Fig Plant
Paint: Frazee 8706N "Saddlebury"
- 226 Stained Glass Behind Storefront
- 227 Exterior Wall Sconce - Shaper 673-WP Series LED by Cooper Lighting

300 To Be Removed

NOTE: 1. General Contractor to provide actual sample of materials to be installed, prior to ordering, for Architect's Office Approval.
2. Exterior to be coated with Rain Guard "Blok Lok" Clear Water Repellent. Must be applied by manufacturer approved applicator.



2 South Elevation Multipurpose Building
SCALE: 1/4" = 1'-0"

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CUP Elevations E S
Multipurpose Bldg.

A202