PHONE: 801-409-1066

E-MAIL: JMATHIS@PTGPRO.COM

SOCAL CHURCH OF CHRIST INTERIOR RENOVATION

1036 W TAFT AVE ORANGE, CA 92865



NOTE TO ALL CONTRACTORS:
THE MATERIALS AND LABOR COVERED BY THIS CONTRACT MUST CONFORM TO THE SAFETY ORDERS OF THE STATE, OSHA, AND THE DIVISION OF WORKER'S COMPENSATION.

SUBCONTRACTOR RESPONSIBILITY: ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BUILDING CODES AND ENFORCEMENT AGENCIES. FURTHER, TO MEET THE REQUIREMENTS OF ANY BUILDING DEPARTMENT, FIRE MARSHAL, OR ANY OTHER BUILDING CODE ENFORCEMENT OFFICER.

RECORD DRAWINGS AND MAINTENANCE MANUALS: CONTRACTOR AND MAJOR SUBCONTRACTORS SHALL PROVIDE AND MAINTAIN A COMPLETE AND ACCURATE "AS BUILT" SET OF PRINTS FOR THEIR PARTICULAR TRADE. INDICATE CLEARLY AND CORRECTLY ALL WORK INSTALLED DIFFERENTLY FROM THAT SHOWN ON THE CONTRACT

DRAWINGS AND WORK WHICH MAY BE ADDED TO OR DELETED FROM THE CONTRACT. KEEP RECORD DRAWINGS UP TO DATE AS WORK PROGRESSES. LOCATE ALL STUB OUTS, SERVICE, OR FEEDER CONDUITS IN OR BELOW SLABS OR GRADE, BY PLAN DIMENSIONS AND ELEVATION. SHOW INVERT ELEVATIONS AT ALL BREAKS IN GRADE AND PIPE SIZES FOR ALL WATER AND GAS LINES. SHOW ALL MAIN SHUT OFF VALVES PLAINLY. ALL CHANGES ARE TO BE SHOWN ON BLUE PRINTS AND TRANSMITTED TO THE ARCHITECT VIA THE GENERAL CONTRACTOR. GENERAL AND MAJOR SUBCONTRACTORS SHALL PROVIDE TO OWNER A MANUAL OF ALL REQUIRED MAINTENANCE INSTRUCTIONS FOR THIS PRODUCT OR EQUIPMENT ALONG WITH THE SUPPLIER OR SUBCONTRACTOR NAME. ETC. THE RECORD DRAWINGS AND MAINTENANCE MANUALS ARE REQUIRED PRIOR TO FINAL PAYMENT TO THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS.

CHANGES IN WORK - NOTE TO ALL CONTRACTORS:
CONTRACTOR SHALL BEAR ALL RESPONSIBILITY FOR MODIFICATIONS REQUIRED IN ARCHITECTURAL, STRUCTURAL, ELECTRICAL, OR PLUMBING SYSTEMS DUE TO SUBSTITUTION OF EQUIPMENT.

NOTE TO ALL CONTRACTORS:

CONCERNING THIS PROJECT.

A WORD ABOUT BUILDING GOD'S WAY AND HOW THE CONSTRUCTION IS BEING COMPLETED: THE BGW PROGRAM IS FAR DIFFERENT THAN ANY OTHER PROCESS FOR CONSTRUCTING BUILDINGS. CHURCHES AND CHRISTIAN SCHOOLS ARE THE FOUNDATION AND FABRIC OF OUR COMMUNITIES AND WE MUST DO EVERYTHING POSSIBLE TO "STRETCH" THE DOLLARS GOD HAS

MONEY THAT IS GIVEN OR BORROWED FOR THE PURPOSE OF CONSTRUCTION OF THIS PROJECT. AS CONSTRUCTION IS UNDERWAY IT IS THE INTENT OF THE MINISTRY TO BE A STRONG WITNESS FOR CHRIST ON THE JOB SITE WITH MANY PROGRAMS DURING THE CONSTRUCTION TIME FRAME THAT IMPACT THOSE THAT ARE PARTICIPATING IN THIS PROJECT. IT IS THE DESIRE OF

ALL INVOLVED TO HONOR GOD IN ALL DECISIONS THAT ARE MADE

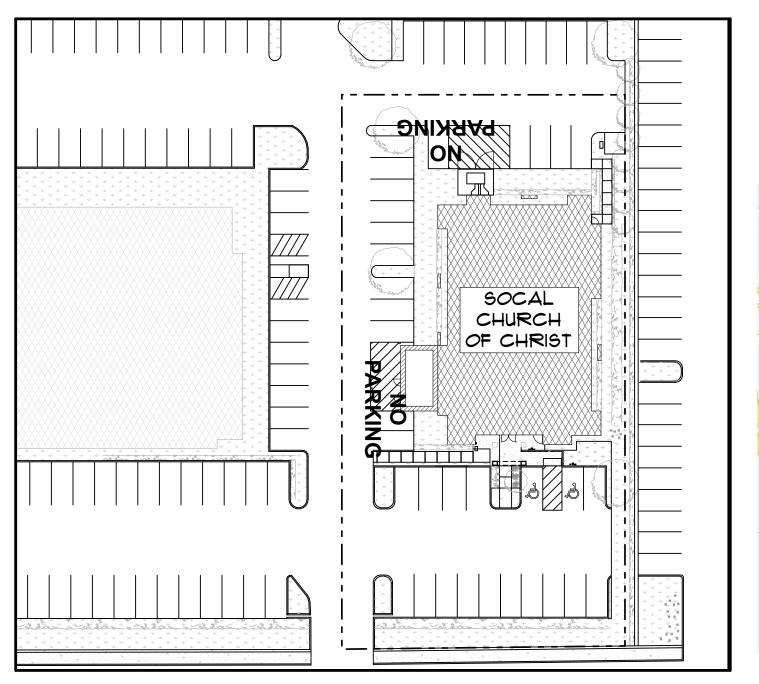
GIFTED TO US IN ORDER TO BE THE BEST STEWARDS POSSIBLE OF THE

	ABBREVIATIONS
BBGHCHLEEFFFFFGGGTHZMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMM	ABOVE FINISHED FLOOR BOTTOM OF BOTTOM OF BEAM CENTERLINE COLUMN ELEVATION EDGE OF STUD ELECTRIC WATER COOLER FINISHED FLOOR FINISHED FLOOR ELEVATION FUL HEIGHT GYP BOARD FIRE RESISTANT PANEL GAUGE GENERAL CONTRACTOR GYPSUM BOARD HORIZONTAL INSULATION METAL BUILDING MANUFACTURE MAXIMUM MAIN DISTRIBUTION PANEL MANUFACTURER MINIMUM NOT TO SCALE OVER ON CENTER REFERENCE SIMILAR SLAB LINE TOP OF TOP OF BEAM TOP OF FINISHED FLOOR TOP OF SLAB TUBE STEEL TYPICAL WATER CLOSET WITH WITHOUT

SYMBOL LEGEND				
DETAIL TITLE 9CALE: 1/8"=1'-0"	DETAIL LABEL			
3 A3Ø2	DETAIL ID			
2 (A3Ø)	SECTION ID W/CUT LINE			
	ELEVATION ID			
A	GRID ID			
N N	TRUE NORTH ARROW			
IAA	WALL TYPE			
[101A]	DOOR LABEL			
₩2>	WINDOW LABEL			
ROOM NAME 101	ROOM ID			
\triangle	ADDENDUM/REVISION ID			
@	KEYED NOTE			
MATCH LINE SEE #/A###	MATCH LINE			

NOTE FOR GENERAL, MECHANICAL, ELECTRICAL, PLUMBING AND ALL OTHER SUBCONTRACTORS: ALL CONTRACTORS ARE REQUIRED TO REVIEW ALL SHEETS OF THESE DRAWINGS AND ALL SECTIONS OF THE PROJECT MANUAL AND INCLUDE THEIR PROVISIONS IN THEIR ESTIMATE. THIS SHALL INCLUDE THIS COVER SHEET, ARCHITECTURAL, STRUCTURAL, MECHANICAL,

PLUMBING, AND ELECTRICAL.



ARCHITECTURAL SITE PLAN

DEFERRED SUBMITTAL LIST FIRE ALARM SYSTEM PER 907.2.1.1

2. FIRE SPRINKLER SYSTEM PER 903.2.1.3

THE BUILDING OFFICIAL. PLANS FOR THE DESIGN AND INSTALLATION OF THE FIRE PROTECTION SYSTEM(S) ARE A SEPARATE SUBMITTAL AND SHALL BE SUBMITTED AND APPROVED, PRIOR TO ANY INSTALLATION WORK, TO CITY OF ORANGE.

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL BNOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY

A401 LARGE ELEVATOR SECTION

A601 DOOR & GLAZING SCHEDULE & DETAILS A602 ADA STANDARDS \$ SIGNAGE S Auto Center Dr



PLANNING REVIEW 4-18-2025				
GENERAL				
9 1	DOOR \$ GLAZING SCHEDULE \$ DETAILS		PLUMBING	
€2	ADA STANDARDS \$ SIGNAGE	P001	PLUMBING NOTES, ABBREVIATIONS AND LE	
9 1	COVER SHEET	P010	BELOW GRADE PLUMBING DEMO PLAN	
9 2	CAL GREEN	Pøll	FIRST FLOOR WASTE AND VENT DEMO PLAN	
93	CAL GREEN	PØ12	SECOND FLOOR WASTE AND VENT DEMO P	
∋ 1	LIFE SAFETY PLANS \$ CODE SUMMARY	P016	FIRST FLOOR DOMESTIC WATER DEMO PLAN	
) 2	COMMERCIAL BUILDING PLANNING WORKS	P011	SECOND FLOOR DOMESTIC WATER DEMO P	
€3	U.L DETAILS	P018	ROOF PLUMBING DEMO PLAN	
3 4	ARCHITECTURAL SITE PLAN	P100	BELOW GRADE PLUMBING PLAN	
5	EXISTING SITE PLAN	PIØI	FIRST FLOOR WASTE AND VENT PLAN	
6	ACCESSIBLE SITE PLAN	P102	SECOND WASTE AND VENT PLAN	
	FOUNDATION STRUCTURAL	P106	FIRST FLOOR DOMESTIC WATER PLAN	
9 1	STRUCTURAL GENERAL NOTES	P101	SECOND FLOOR DOMESTIC WATER PLAN	
9 2	STRUCTURAL GENERAL NOTES	P108	ROOF PLUMBING PLAN	
9 3	STRUCTURAL GENERAL NOTES	P500	PLUMBING DETAILS	
∌4	STRUCTURAL ISOMETRIC VIEWS	P5 <i>0</i> 1	PLUMBING RISERS DIAGRAMS	
∍ 1	STRUCTURAL OVERALL FOUNDATION PLAN	P5@2	PLUMBING RISERS DIAGRAMS	
) 2	STRUCTURAL ENLARGED FOUNDATION PLANS	P606	PLUMBING 9CHEDULE9	
3	STRUCTURAL OVERALL SECOND FLOOR AN	P100	PLUMBING SPECIFICATIONS	
4	STRUCTURAL ENLARGED SECOND FLOOR A	P800	PLUMBING NRCC-M-E SHEETS	
5	STRUCTURAL OVERALL ROOF FRAMING PLAN	P8 <i>0</i> 1	PLUMBING NRCC-M-E SHEETS	
6	9TRUCTURAL ENLARGED ROOF FRAMING PL.		MECHANICAL	
∋ 1	STRUCTURAL BRACED FRAME ELEVATIONS	M001	MECHANICAL LEGEND	
∍ı	STRUCTURAL TYPICAL CONCRETE DETAILS	M002	MECHANICAL NOTES AND ABBREVIATIONS	
0	STRUCTURAL CONCRETE DETAILS	MøII	FIRST FLOOR MECHANICAL DEMO PLAN	
1	STRUCTURAL CONCRETE DETAILS	MØ12	SECOND FLOOR MECHANICAL DEMO PLAN	
∌I	9TRUCTURAL TYPICAL 9TEEL DETAIL9	MØ13	ROOF MECHANICAL DEMO PLAN	
€2	9TRUCTURAL TYPICAL 9TEEL DETAIL9	MIØI	FIRST FLOOR MECHANICAL DUCTWORK PLAN	
0	STRUCTURAL STEEL DETAILS	M1@2	SECOND FLOOR MECHANICAL DUCTWORK	
	ARCHITECTURAL	M1 <i>0</i> 3	ROOF MECHANICAL DUCTWORK PLAN	

M500 MECHANICAL DETAILS M501 MECHANICAL DETAILS M600 MECHANICAL SCHEDULES

M801 MECHANICAL NRCC-M-E SHEETS

M802 | MECHANICAL NRCC-M-E SHEETS

E016 FIRST FLOOR LIGHTING DEMO RCP

EIOO ELECTRICAL SITE PLAN

EIØ3 ROOF POWER PLAN

E501 ELECTRICAL DETAILS

E800 T24 DOCUMENTATION

E801 T24 DOCUMENTATION

E802 T24 DOCUMENTATION

TA-001 GENERAL NOTES

TA-003 TYPICAL DETAILS

TA-000 COVER SHEET

EI06 FIRST FLOOR LIGHTING RCP

EI 01 SECOND FLOOR LIGHTING RCP

E602 ELECTRICAL PANEL SCHEDULES

E100 ELECTRICAL SPECIFICATIONS

E601 ELECTRICAL SCHEDULES AND RISER

AUDIO VISUAL LIGHTING (AVL)

TA-002 ABBREVIATIONS/SYMBOL LEGEND/SC.

TA-110 RI FIRST FLOOR PLAN POWER AND J-BO.

EØ11 SECOND FLOOR LIGHTING DEMO RCP

EIØI FIRST FLOOR POWER AND SYSTEMS PLAN

EI 02 SECOND FLOOR POWER AND SYSTEMS PLAN

A020 FIRST \$ SECOND FLOOR SLAB PLAN AIOI FIRST FLOOR PLAN MIGO MECHANICAL SPECIFICATIONS AI 02 SECOND FLOOR PLAN M800 MECHANICAL NRCC-M-E SHEETS

A103 FIRST FLOOR FRAMING PLAN AIØ4 SECOND FLOOR FRAMING PLAN

A001 EXISTING FLOOR PLANS

A010 DEMO PLANS

AI 05 FIRST FLOOR REFLECTED CEILING PLAN AI 06 SECOND FLOOR REFLECTED CEILING PLAN

AIOT FIRST FLOOR FINISH PLAN

A108 SECOND FLOOR FINISH PLAN AIO9 ROOF PLAN AND DETAILS

Alle MONUMENT PLAN AND DETAILS

AII2 SIGNAGE PLAN DETAILS

A201 EXTERIOR ELEVATIONS A201A PROPOSED ELEVATIONS

A201B EXISTING EXTERIOR PHOTOS A202 EXTERIOR ELEVATIONS

A301 SECTIONS A302 SECTIONS

A3Ø3 WALL TYPES A401 LARGE KITCHEN \$ CASEWORK PLANS \$ 1.

A402 LARGE RESTROOM PLANS AND ELEVATIO. A403 FINISH INTERIOR ELEVATIONS

A404 FINISH INTERIOR ELEVATIONS A405 LARGE PLATFORM PLAN AND DETAILS

A406 LARGE ELEVATOR PLAN AND DETAILS

A501 STUD FRAMING, FIXTURE BLOCKING, HEA.. A502 HEADER SCHEDULE AND FRAMING DETAILS

> TA-III FIRST FLOOR PLAN RCP POWER AND TA-112 FIRST FLOOR RCP WEIGHT LOADS

TA-120 RI SECOND FLOOR PLAN POWER AND J-TA-121 RI SECOND FLOOR PLAN RCP POWER A..

TA-310 VIEWS TA-510 SINGLE FLOOR POCKET \$ BACK BOX . TA-511 RI POWER RELAY \$ LIGHTING CONTROLS

TA-512 THEATRICAL \$ ARCHITECTURAL LIGHTI... TA-610 RI JUNCTION BOX SCHEDULE TA-611 RI JUNCTION BOX SCHEDULE CONT'D

TA-612 RI CONDUIT ONE LINE TA-613 RI PANEL SCHEDULES

TA-614 AUDIO RELAY PANEL CUT SHEETS TA-615 LIGHTING RELAY PANEL CUT SHEETS

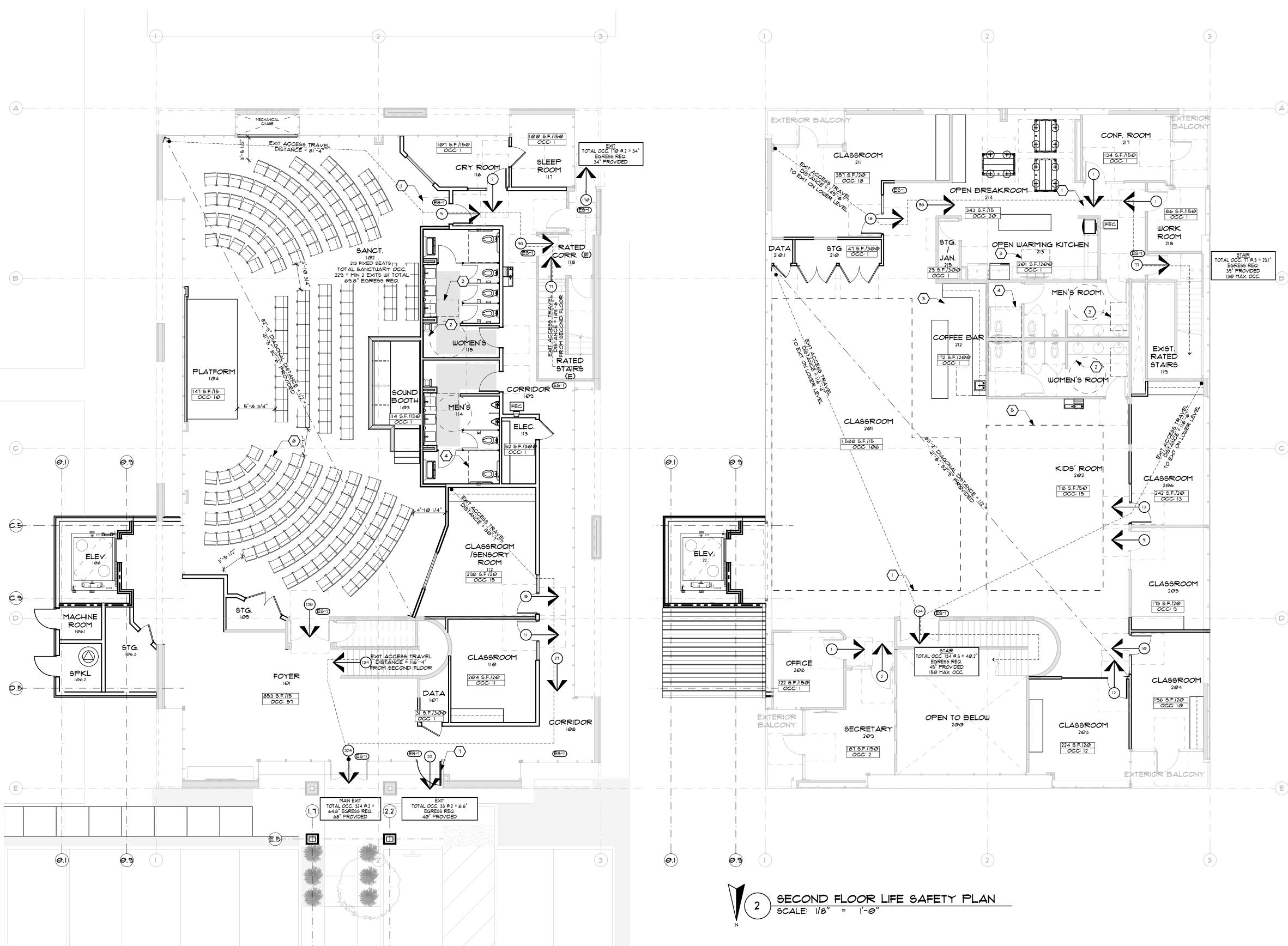


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DO NOT SCALE DRAWING

04/18/2025



FIRST FLOOR LIFE SAFETY PLAN

BUILDING CODES AND DESIGN CRITERIA APPLICABLE CODES 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE (CEC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC) 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC) 2022 CALIFORNIA REFERENCED STANDARDS CODE (CRSC) 2010 ACCESSIBILITY STANDARDS (A117.1) 2022 TITLE 24 CALIFORNIA BUILDING STANDARDS

LDING COMPONENTS	Bu	
TOTAL: 13,518 SF 6,324 SF 1,194 SF	BUILDING AREA 191 FLOOR AREA 2ND FLOOR AREA	
V-E	CONSTRUCTION TYPE	
YES	AUTOMATIC SPRINKLER SYSTEM	
YES	FIRE ALARM SYSTEM	
A-3	OCCUPANCY CLASSIFICATION	
,	ALLOWABLE NUMBER OF STORIES ALLOWABLE NUMBER OF STORIES WITH SPRINKLER SYSTEM	
2	NUMBER OF EXISTING STORIES	
40	ALLOWABLE HEIGHT	
± 31	EXISTING HEIGHT	
10,500 SF / FLOOR	ALLOWABLE AREA WITH FRONTAGE INCREASE	
CRITERIA	SEE STRUCTURAL DESIGN COVER SHEET FOR STRUCTURA	

ORANGE POLICE COMMERCIAL REQUIREMENTS

THE CITY OF ORANGE MUNICIPAL CODE SECTION 15.52 REQUIRES THAT ALL BUILDING WITHIN THE CITY MEET SPECIFIC SECURITY STANDARDS (ORDINANCE # 6-22). THE FOLLOWING ITEMS SHALL BE REQUIRED ON ANY NEW OR REMODELED COMMERCIAL BUILDING/TENANT SPACE.

STRIKE PLATE – 16 GAUGE SCREWS- 3" IN WOOD FRAMED JAMBS ALUMINUM JAMB REINFORCED NON-REMOVABLE HINGE PINS (NRP) ON OUT SWINGING DOORS OPERABLE WINDOWS/SLIDING DOORS SHALL HAVE PASSED C.M.B.S.O. FORCED ENTRY TEST EXTERIOR DOORS - 16 GAUGE HOLLOW METAL OR SOLID CORE WOOD EXTERIOR DOOR HARDWARE SHALL COME FROM CURRENT CITY OF ORANGE APPROVED PRODUCTS LIST ONE MOTION LEVER HARDWARE, DEADBOLT FUNCTION REQUIRED ON ALL EXTERIOR DOORS (UNLESS PANIC REQUIRED) SOLID STEEL CYLINDER GUARD/APPROVED ESCUTCHEON REQUIRED EXTERIOR PAIR OF DOORS REQUIRE AUTOMATIC 5/8" METAL FLUSH BOLTS AT HEAD \$ THRESHOLD DOUBLE DOORS WITH PANIC HARDWARE REQUIRE FULL LENGTH ASTRAGAL APPROVED BY THE POLICE DEPARTMENT OFFICE SUITE DOORS IN MULTI-OCCUPANCY/TENANT BUILDING TO BE SECURED AS EXTERIOR DOORS (I.E.-DEADBOLT) SKYLIGHTS SHALL BE PROTECTED BY RATED BURGLARY/IMPACT GLAZING, OR APPROVED BURGLAR BARS HYAC OR AIR DUCT/YENT REQUIRE BURGLAR BARS/SCREEN ON ANY OPENING EXCEEDING 96 SQUARE INCHES

[RON BARS AT LEAST 1/2 IN ROUND OR I IN FLAT STEEL MATERIAL SPACED NO MORE THAN 5 INCHES APART \$ SECURELY FASTENED]

BUILDING ADDRESS NUMBERS SHALL BE ILLUMINATED, CONTRAST AND BETWEEN 8 AND 12 INCHES IN HEIGHT LIGHTING AT EXTERIOR DOORWAYS SHALL BE MAINTAINED MINIMUM I FC. AT GROUND WITH VANDAL PROOF LENSES

LIGHTING ON PARKING \$ ACCESS AREAS SHALL BE MAINTAINED MINIMUM I FC. AT GROUND WITH VANDAL PROOF LENSES

ANY EXTERIOR CHANGES TO EXISTING BUILDING T.I.'S MUST MEET SECURITY ORDINANCE REQIREMENTS

CRIME PREVENTION BUREAU

(714)-744-7327 OR (714) 744-7555

	SIGNAGE LEGEND				
	SYMB <i>O</i> L	DESCRIPTION			
	(ES-1)	ILLUMINATED VISUAL "EXIT" SIGN			
	FEC	FIRE EXTINGUISHER CABINET. T.O. EXTINGUISHER IS LESS THAN 60" A.F.F.			

	(F.E.C	.) FIRE EXTINGUISHER	SCHEDULE SUMMA	ARY
ROOM	1#	LOCATION	POTTER ROEMER CABINET MODEL #	RATING
109		CORRIDOR	7 <i>0</i> 23-A	2-A
213		KITCHEN AREA	7 <i>0</i> 23-A	2-A

* FIRE EXTINGUISHER CABINET LOCATION PROVIDING MAX. 15' TRAVEL DISTANCE

PLUMBING FIXTU 422.1							
<u>TOTAL</u>	WATER	CLOSETS	<u>URINALS</u>	LAVAT	ORIES	<u>D.F.</u>	OTHER
527 OCC.	MALE	FEM.	MALE	MALE	FEM.		
TOTAL REQ'D	3 (201-400)	6 (201-300)	3 (201-400)	2 (201-400)	4 (201-300)	3 (251-500)	1 SERV. SINK
TOTAL PROVIDED	4	٦	3	6	6	4	1

LIFE SAFETY PLAN KEYED NOTES:

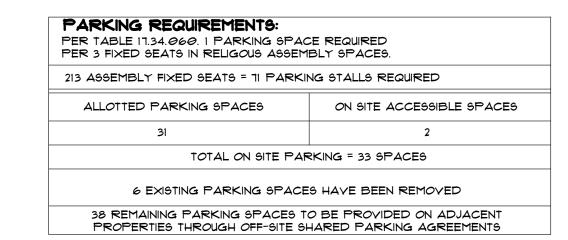
- ADA REQUIRED MANEUVERING CLEARANCE
- (2) 61" FLOOR TURNING RADIUS
- 3 30"×52" CLEAR FLOOR SPACE
- 4 56"X60" CLEAR FLOOR SPACE
- (5) PLAY FENCING, BY OWNER
- 6 FIXED PEW CHAIR SEATING
- 1 SAFETY GLAZING REQUIRED

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PROJECT SUMMARY

THIS PROJECT CONSISTS OF THE RENOVATION AND CHANGE OF USE OF THE EXISTING OFFICE SPACE BUILDING TO RELIGIOUS ASSEMBLY USE. THE EXISTING FACILITY CONSISTS OF 5,863 SF OF FIRST FLOOR SPACE AND 6,981 SF OF SECOND FLOOR SPACE. THE FIRST FLOOR WILL BE RENOVATED TO PROVIDE A SANCTUARY WITH THE CAPACITY FOR 213 FIXED SEATS.

ACCESSORY TO THIS RELIGIOUS ASSEMBLY SPACE WILL BE THE ADDITION OF ACCESSORY CLASSROOM SPACES. THE SECOND FLOOR WILL BE RENOVATED TO PROVIDE ADDITIONAL ACCESSORY MEETING AND CLASSROOM SPACE. TO PROVIDE ACCESSIBILITY TO THE SECOND FLOOR ACCESSORY SPACES AN ELEVATOR ADDITION IS PROPOSED ADDING AN ADDITIONAL 668 SF TO THE BUILDING, 461 SF ON THE FIRST FLOOR AND 201 SF ON THE SECOND FLOOR.

ZONING \$ LAND-USE INFO			
ZONE DISTRICT	INDUSTRIAL MANUFACTURING DISTRICT (M-2)		
LAND USE DESIGNATION	INDUSTRIAL (1)		
BUILDING COMPONENTS			
BUILDING AREA 19T FLOOR AREA 2ND FLOOR AREA	<u>TOTAL: 13,518 SF</u> 6,324 SF 7,194 SF		
CONSTRUCTION TYPE	V-B		
AUTOMATIC SPRINKLER SYSTEM	YES		
FIRE ALARM SYSTEM	YES		
OCCUPANCY CLASSIFICATION	A-3		
ALLOWABLE NUMBER OF STORIES ALLOWABLE NUMBER OF STORIES WITH SPRINKLER SYSTEM	1 2		
NUMBER OF EXISTING STORIES	2		
ALLOWABLE HEIGHT	40'		
EXISTING HEIGHT	± 31 ′		
ALLOWABLE AREA WITH FRONTAGE INCREASE	10,500 SF / FLOOR		
SEE STRUCTURAL DESIGN COVER SHEET FOR STRUCTURA	L CRITERIA		

ARCHITECTURAL SITE PLAN KEYED NOTES:

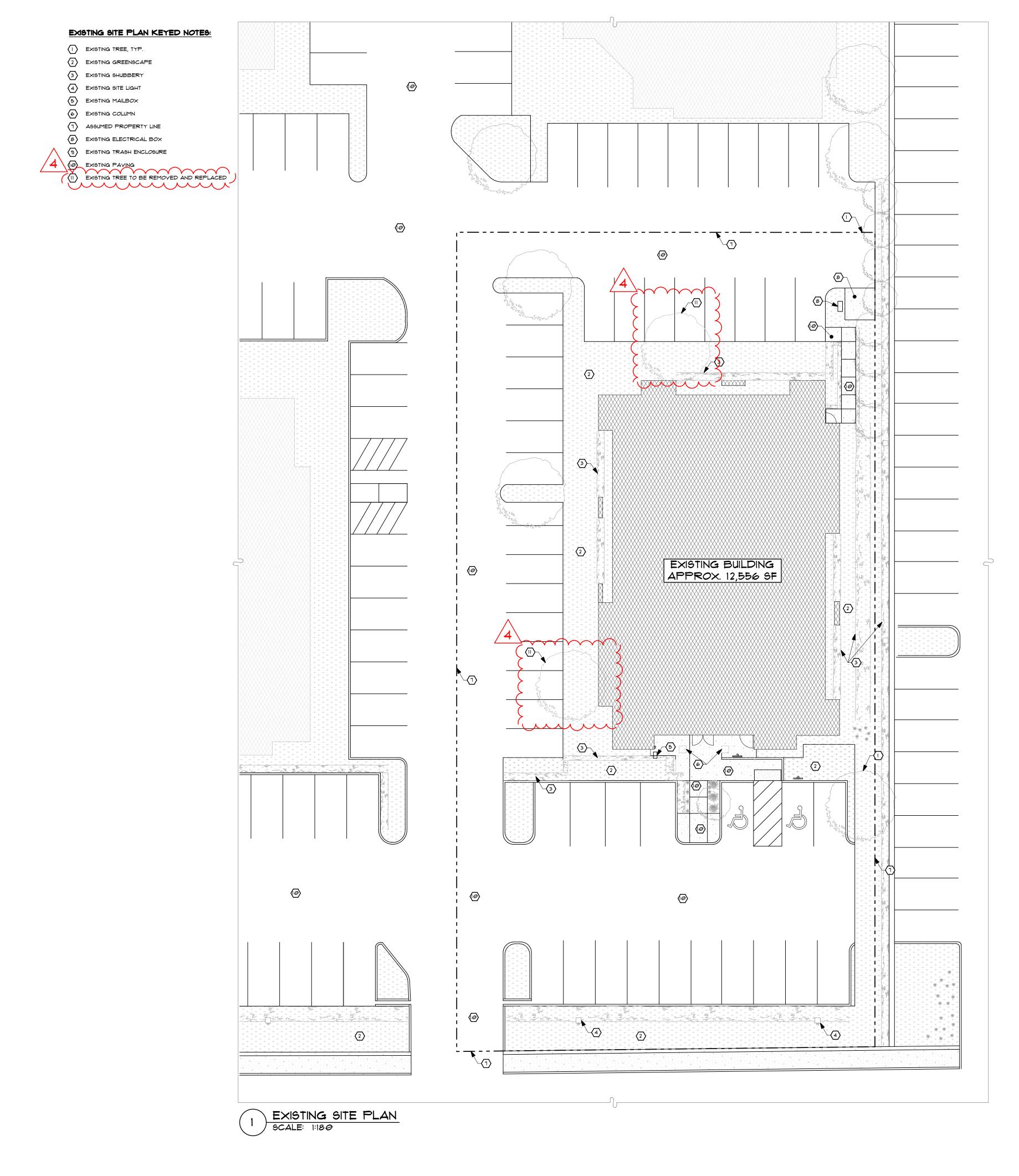
NEW CONCRETE PAYING





ARCHITECTURA SITE PLAN

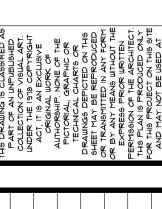
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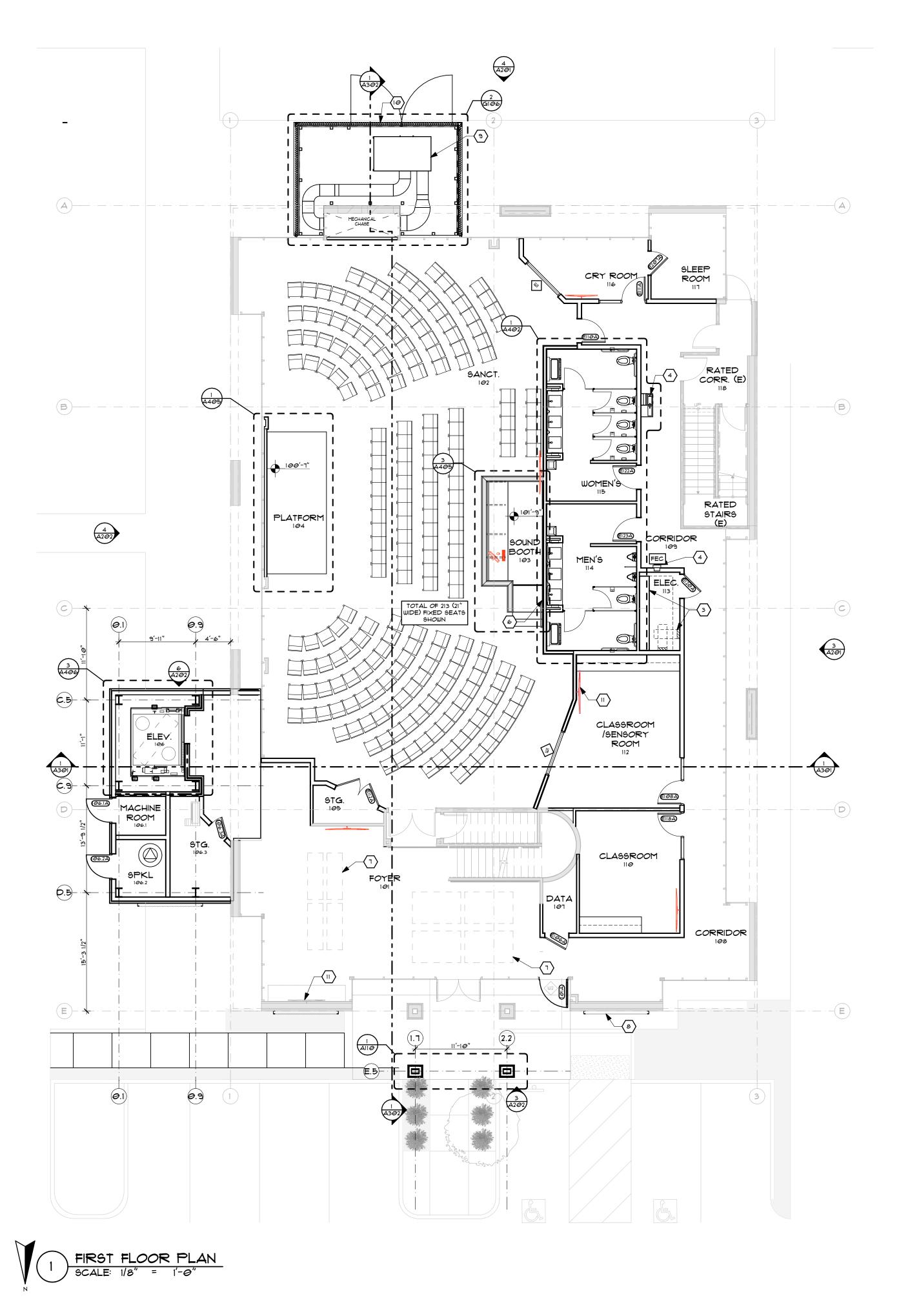


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FLOOR PLAN GENERAL NOTES

DIMENSIONING AND WALL TYPES.
 A. SEE FRAMING PLAN FOR ALL FRAMING.

DIMENSIONS AND WALL TYPES.

2. GYP9UM DRYWALL

A. CORRIDOR GYP9UM PANEL9. PROVIDE 5/8" IMPACT RESISTANT "TYPE "X" GYPSUM WALLBOARD COMPLYING WITH ASTM C1629 (USG "MOLD TOUGH VH-1" OR EQUAL) TO 4'-0" A.F.F. AT ALL CORRIDOR/HALLWAY LOCATIONS. B. RESTROOM GYPSUM PANELS. PROVIDE 5/8" MOISTURE AND MOLD RESISTANT "TYPE X" GYPSUM WALL BOARD COMPLYING WITH ASTM C1396 AT ALL RESTROOM, KITCHEN AND WET ROOM
APPLICATIONS (USG SHEETROCK "MOLD TOUGH

FIRECODE X" OR EQUAL). C. TILE BACKER. PROVIDE 5/8" GLASS-MAT TILE BACKER BOARD AT ALL TILE APPLICATIONS COMPLYING WITH ASTM D3273. (USG DUROCK OR D. SEE WALL TYPES SHEET FOR ALL CONTROL JOINT DETAILS. HORIZONTAL AND VERTICAL

- CONTROL JOINTS WILL BE REQ'D. 3. **SOUND INSULATION.** ALL INTERIOR WALLS, EXCEPT STORAGE AREAS, SHALL BE SOUND INSULATED. 3-5/8" AND 4" FRAMED WALLS TO HAVE R-II AND 6" FRAMED WALLS TO HAVE R-19, UNFACED BATT
- 4. FIRE EXTINGUISHERS. FIRE EXTINGUISHERS SHALL BE INSTALLED IN SEMI-RECESSED CABINETS.
- 5. **Interior Signage.** See Signage Plan and Code Review Sheet for Required Signage.

FLOOR PLAN KEYED NOTES:

- ACCE99IBLE HI/LO DRINKING FOUNTAIN W/ BOTTLE FILLER. REF. PLUMBING
- 2 CASEWORK, REF. LARGE PLAN/INTERIOR ELEVATIONS
- FIRE EXTINGUISHER CABINET, REF. FIRE EXTINGUISHER SCHEDULE
- 5 SOFFIT/CEILING ELEMENT ABOVE, REF. RCP 6 1-1/2" DIA. HANDRAIL, POWDER COATED FINISH, COLOR: BLACK.

(3) ELECTRICAL PANEL/EQUIPMENT, REF. ELECTRICAL

- (1) CEILING CLOUD OR SOFFIT ABOVE
- 8 METAL LATTICE, SEE EXTERIOR ELEVATIONS 9 MECHANICAL EQUIPMENT, REF. MECHANICAL
- MECHANICAL EQUIPMENT ENCLOSURE, REF. 2/GI 06
- (II) DISPLAY SCREEN
- (12) EXISTING TABLE TO REMAIN

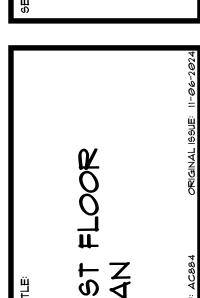
WALL LEGEND

EXISTING WALL

NEW WALL FRAMING

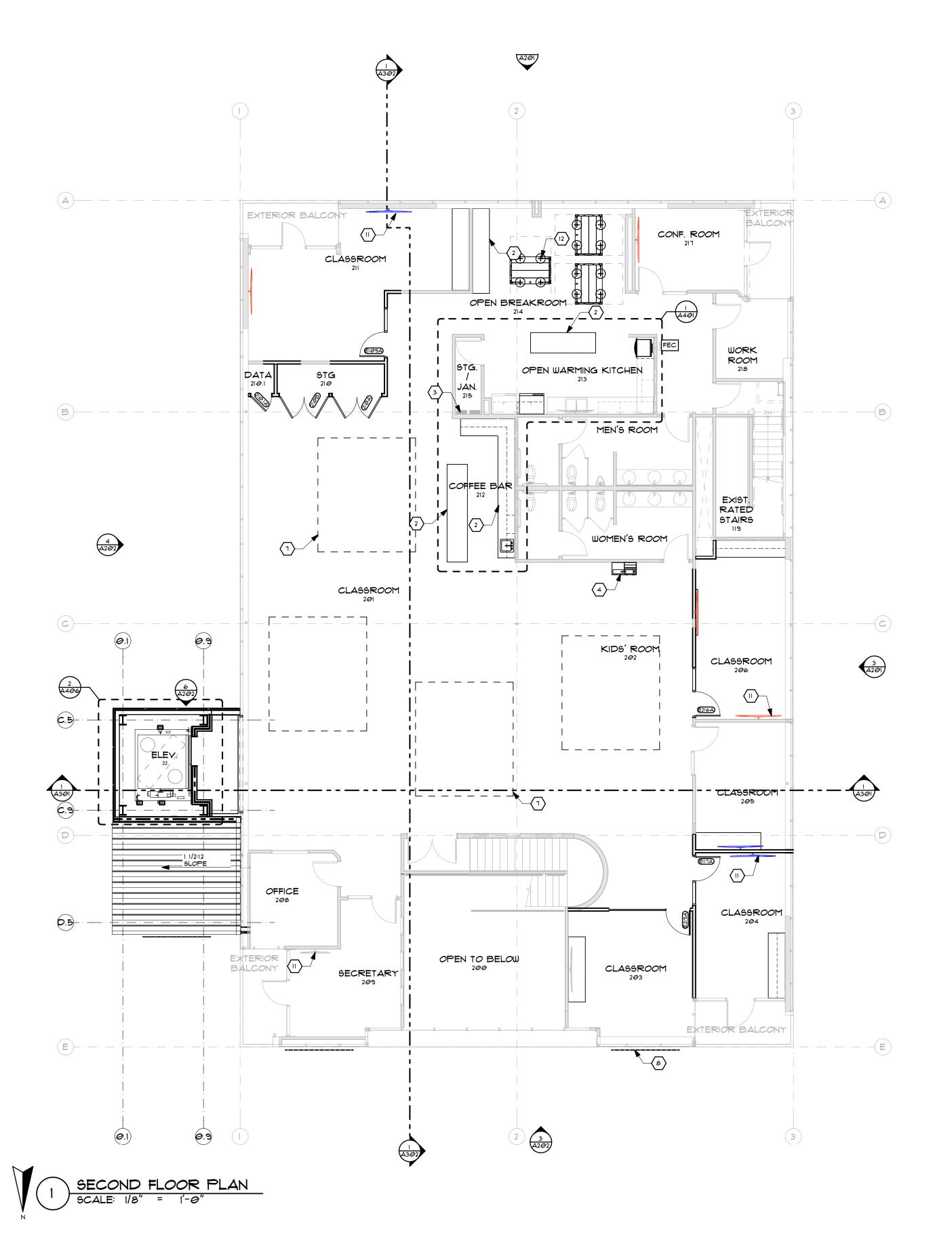
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FLOOR PLAN GENERAL NOTES

- 1. **DIMENSIONING AND WALL TYPES.**A. SEE FRAMING PLAN FOR ALL FRAMING
- DIMENSIONS AND WALL TYPES.
- 2. GYP9UM DRYWALL

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- CONTROL JOINTS WILL BE REQ'D. 3. **SOUND INSULATION.** ALL INTERIOR WALLS, EXCEPT STORAGE AREAS, SHALL BE SOUND INSULATED. 3-5/8" AND 4" FRAMED WALLS TO HAVE R-II AND 6" FRAMED WALLS TO HAVE R-19, UNFACED BATT
- 4. FIRE EXTINGUISHERS. FIRE EXTINGUISHERS SHALL BE INSTALLED IN SEMI-RECESSED CABINETS.
- 5. **Interior Signage.** See Signage Plan and Code Review Sheet for Required Signage.

FLOOR PLAN KEYED NOTES:

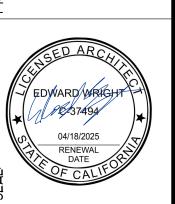
- ACCE99IBLE HI/LO DRINKING FOUNTAIN W/ BOTTLE FILLER. REF. PLUMBING
- CASEWORK, REF. LARGE PLAN/INTERIOR ELEVATIONS
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- MECHANICAL EQUIPMENT ENCLOSURE, REF. 2/GI 06 (II) DISPLAY SCREEN
- (12) EXISTING TABLE TO REMAIN

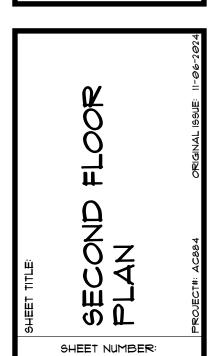
WALL LEGEND
EXISTING WALL
NEW WALL FRAMING



BGWARCHITECTS

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A102

ROOF PLAN GENERAL NOTES

- 1. STANDING SEAM ROOFING. ALL ARCHITECTURAL STANDING SEAM ROOFING CALLED OUT ON PLAN TO BE MBCI "BATTENLOK" OR EQUAL ARCHITECTURAL STANDING SEAM METAL ROOF. ALL ROOF TRIMS, DOWNSPOUTS AND GUITERS TO BE COLOR MATCHED TO ROOF.

 2. ROOF INSULATION (SHED ROOF / STANDING SEAM). ALL SHED ROOF WISTANDING SEAM ROOF TO HAVE 4" POLYISO INSULATION.

 3. VENTS THROUGH ROOF. SEE MECHANICAL DESIGN FOR TYPICAL VENT THRU ROOF DETAILS, ROOFING CONTRACTOR TO PROVIDE OR APPROVE ALL ROOF PENETRATIONS.

 4. RTU SERVICE AREA ROOF PROTECTION. PROVIDE WALK-OFF PADS AROUND ALL RTU'S AND AT ALL ROOF ACCESS HATCHES. PROVIDE TREADED FULLY ADHERED PADS IN ACCOMPANIONS. DASHED LINES AT RTU'S INDICATE CLEAR SERVICE AREA REQUIREMENTS.

 5. RTU CLEARANCES. MAINTAIN MIN. 10' OFFSET BETWEEN ROOF VENT'S AND RTU'S. MECHANICAL CONTRACTOR TO COORDINATE WITH ROOFER ON ALL ROOF PENETRATIONS PRIOR TO ROOF INSTALLATION. CRICKETS TO BE CONSTRUCTED OF TAPERED EPS INSULATION. INSTALLING CONTRACTOR TO PROVIDE SHOP DRAWING OF ALL CRICKETS FOR ARCHITECT'S REVIEW AND APPROVAL.

 1. CLEAR SERVICE AREA REQUIREMENTS. DASHED LINES AT RTU'S INDICATE CLEAR SERVICE AREA REQUIREMENTS.

 2. ROOF TRANSITIONS AT RTU'S. SINGLE PLY SHEET MEMBRANE ROOF EXTENDS UP AND OVER RTU CURBS. ROOFING CONTRACTOR TO TERMINATE RTU SKIRT FLASHING TO CURB. ALLOW ADEQUATE EXCESS FOR UNIT MOVEMENT.

 3. ROOF TRANSITIONS. PROVIDE

 ADDITIONAL WEATHER RESISTIVE BARRIER (ICE \$ WATER SHEED TO ALL RIDGES, VALLEYS AND HIPS. EXTEND SELF ADHERED ADDITIONAL WATER BARRIER MIN. 4' ON BOTH SIDES OF TRANSITION.

 10. ROOF BLOCKING. ALL RIDGES, VALLEYS AND HIPS. EXTEND SELF ADHERED ADDITIONAL WATER BARRIER MIN. 4' ON BOTH SIDES OF TRANSITION.

 10. ROOF BLOCKING. ALL RIDGES, VALLEYS AND HIPS. EXTEND SELF ADHERED ADDITIONAL WATER BARRIER MIN. 4' ON BOTH SIDES OF TRANSITION.

 11. ROOF CLEANING. ROOF TO REMAIN FREE AND INSTALLATION.

- BE APPROVED BY ROOFING CONTRACTOR PRIOR TO INSTALLATION.

 ROOF CLEANING. ROOF TO REMAIN FREE AND CLEAR OF CONSTRUCTION DEBRIS DURING CONSTRUCTION. ROOF SHALL BE CLEANED OF ALL CONSTRUCTION DIRT NO LESS MORE THAN 2 MONTHS PRIOR TO CERTIFICATE OF OCCUPANCY.

 ROOF PENETRATIONS. ALL ROOF PENETRATIONS TO BE APPROVED BY ROOFING CONTRACTOR PRIOR TO INSTALLATION.
- INSTALLATION.

 ROOF TO WALL FLASHING. PROVIDE MIN. 8"

 VERTICAL HEIGHT ROOF TO WALL FLASHING AT ALL

 ROOF TO WALL TRANSITIONS.

 ROOF STRUCTURE. SEE STRUCTURAL DRAWINGS FOR

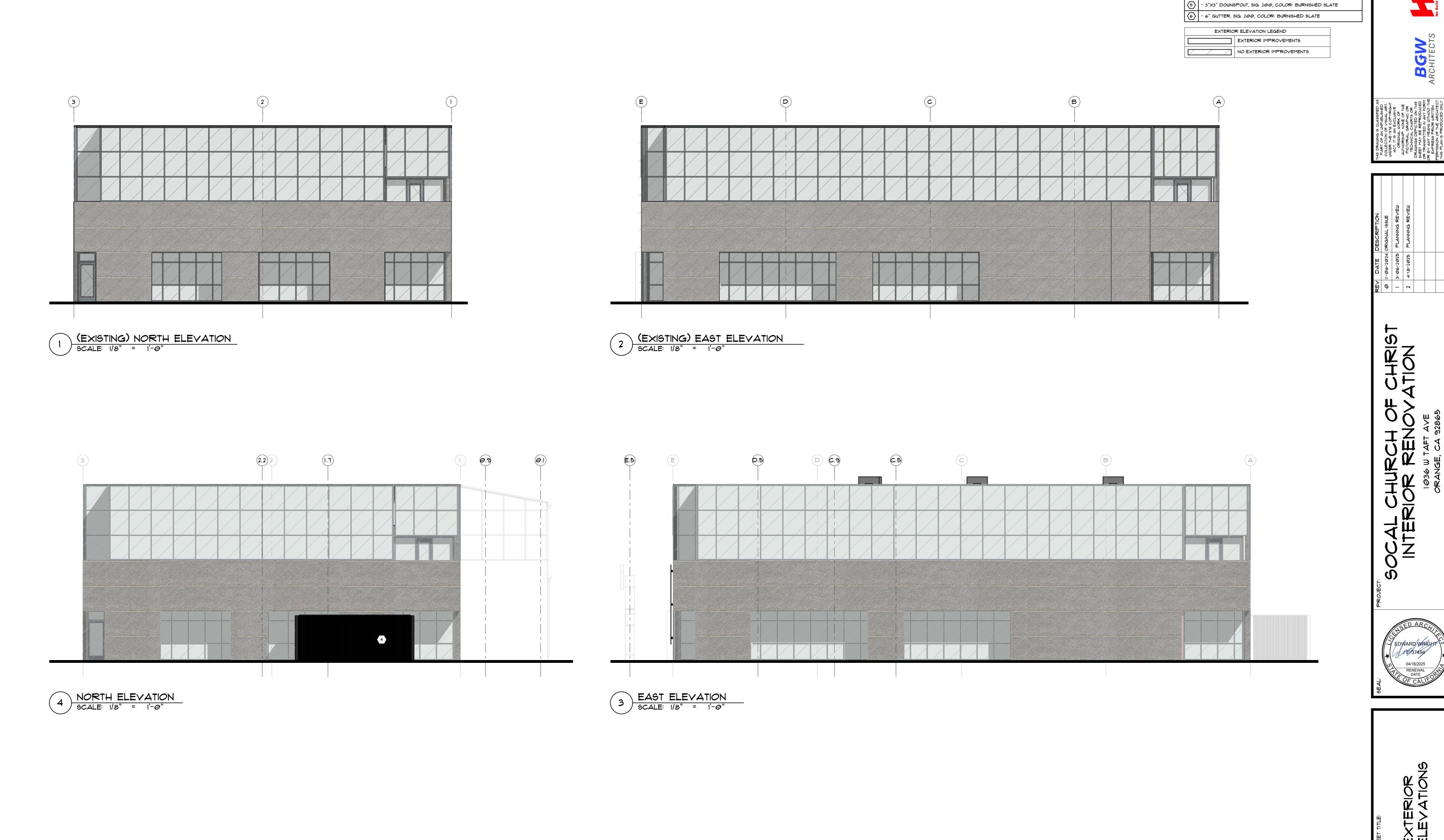
 ALL ROOF STRUCTURE DESIGN.

ROOF PLAN KEYED NOTES:

- EXISTING ROOFTOP UNITS
- 2 EXISTING ROOF ACCESS HATCH
- 3 EXISTING INTERNAL DRAIN 4 6" GUTTER \$ 3"× 3" DOWNSPOUT







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EXTERIOR FINISH SCHEDULE

- STOTHERM CI EIFS, STOSIGNATURE FINISH, TEXTURE: ROUGH 10, COLOR: OYSTER 21612

- STOTHERM CI EIFS, STOSIGNATURE FINISH, TEXTURE: FINE 30, COLOR: OYSTER 21612

- BATTENLOK HS METAL ROOF, SIG. 200, COLOR: BURNISHED SLATE

- MECHANICAL UNIT ECLOSURE, CITYSCAPES TRUE LOUVER, REF. 2/G106

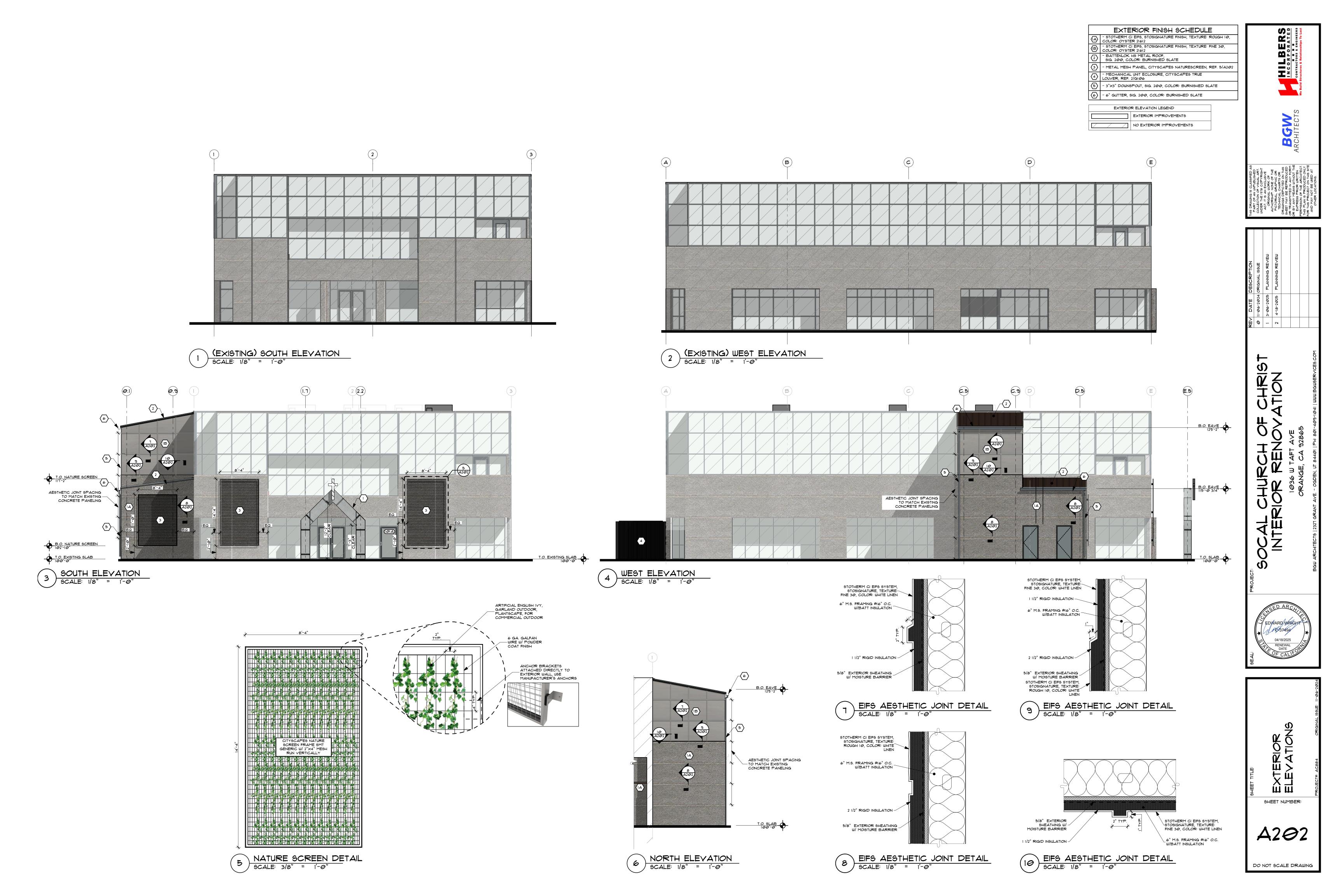
 $\left| \left\langle 3 \right\rangle \right|$ - METAL MESH PANEL, CITYSCAPES NATURESCREEN, REF. 5/A202

BGWARCHITECTS

A201 DO NOT SCALE DRAWING

EXTERIOR ELEVATIONS

SHEET NUMBER:





VIEW #1



9TOTHERM CI EIF9 9Y9TEM, 9TO9IGNATURE, TEXTURE: FINE 30, COLOR: WHITE LINEN

1 1/2" RIGID INSULATION -

ACCENT LINE WIDTHS TO
MATCH EXISTING

EIFS AESTHETIC JOINT DETAIL

SCALE: 1/8" = 1'-0"

ACCENT LINE WIDTHS TO
MATCH EXISTING

BIFS AESTHETIC JOINT DETAIL

SCALE: 1/8" = 1'-0"

5/8" EXTERIOR SHEATHING _ W/ MOISTURE BARRIER

STOTHERM CI EIFS SYSTEM, STOSIGNATURE, TEXTURE: ROUGH 10, COLOR: WHITE

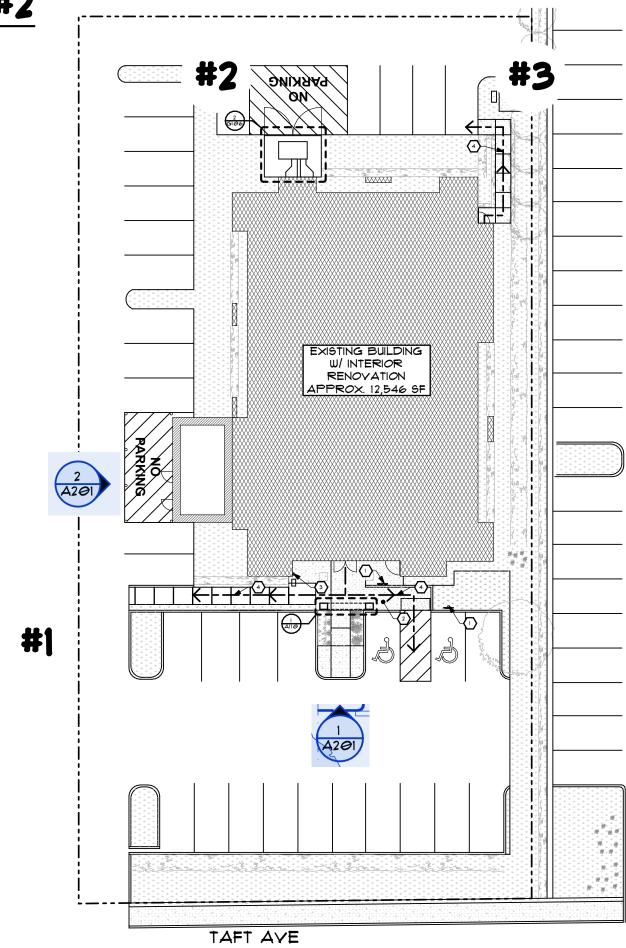
6" M.S. FRAMING @16" O.C. _ W/BATT INSULATION

2 1/2" RIGID INSULATION -

5/8" EXTERIOR SHEATHING _ W/ MOISTURE BARRIER

6" M.S. FRAMING @16" O.C.

YIEW #2

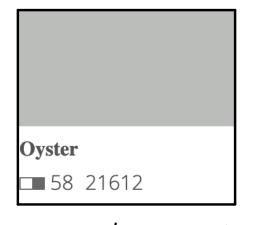


1036 W TAFT AVE. ORANGE, CA 92865 LOCATION KEY

ELEVATOR ADDITION EXTERIOR FINISH



EXISTING CONCRETE FINISH



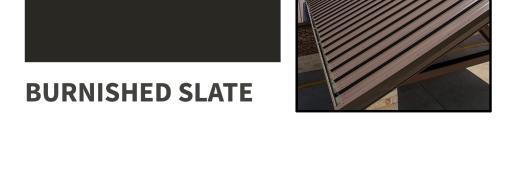
STOTHERM CI W/ STOSIGNATURE FINISH W/ ROUGH 10 \$ FINE 30 TEXTURES

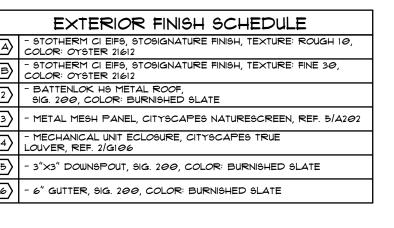
ACCENT LINE WIDTHS TO MATCH EXISTING

BATTONLOK HS METAL ROOF

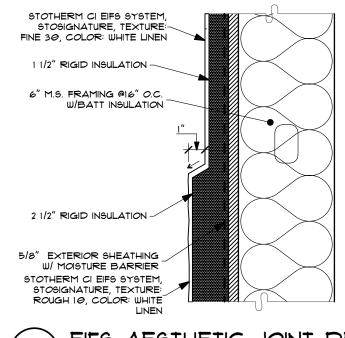




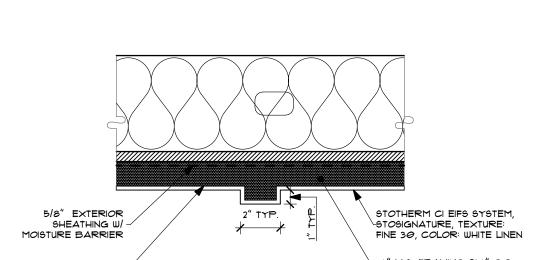




EXTERIOR ELEVATION LEGEND EXTERIOR IMPROVEMENTS NO EXTERIOR IMPROVEMENTS



9 EIFS AESTHETIC JOINT DETAIL
SCALE: 1/8" = 1'-0"

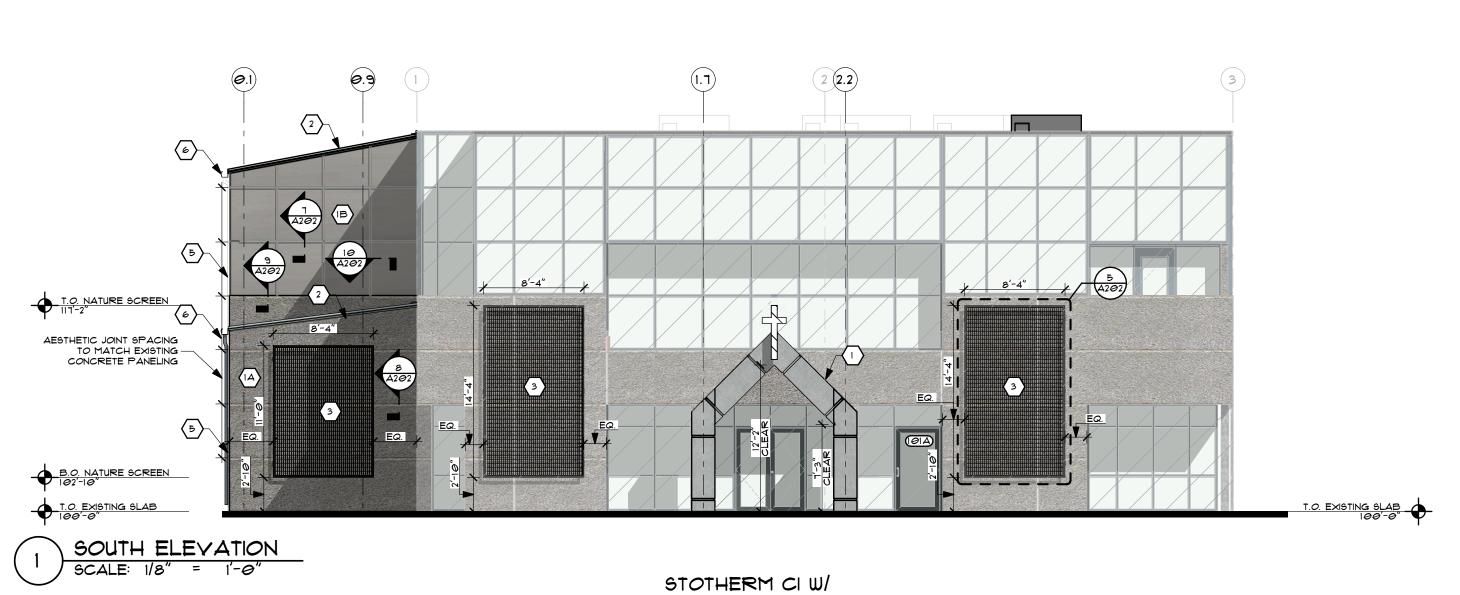


EIFS AESTHETIC JOINT DETAIL

SCALE: 1/8" = 1'-0"

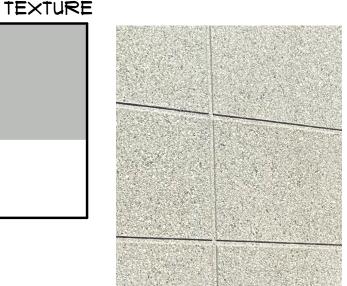


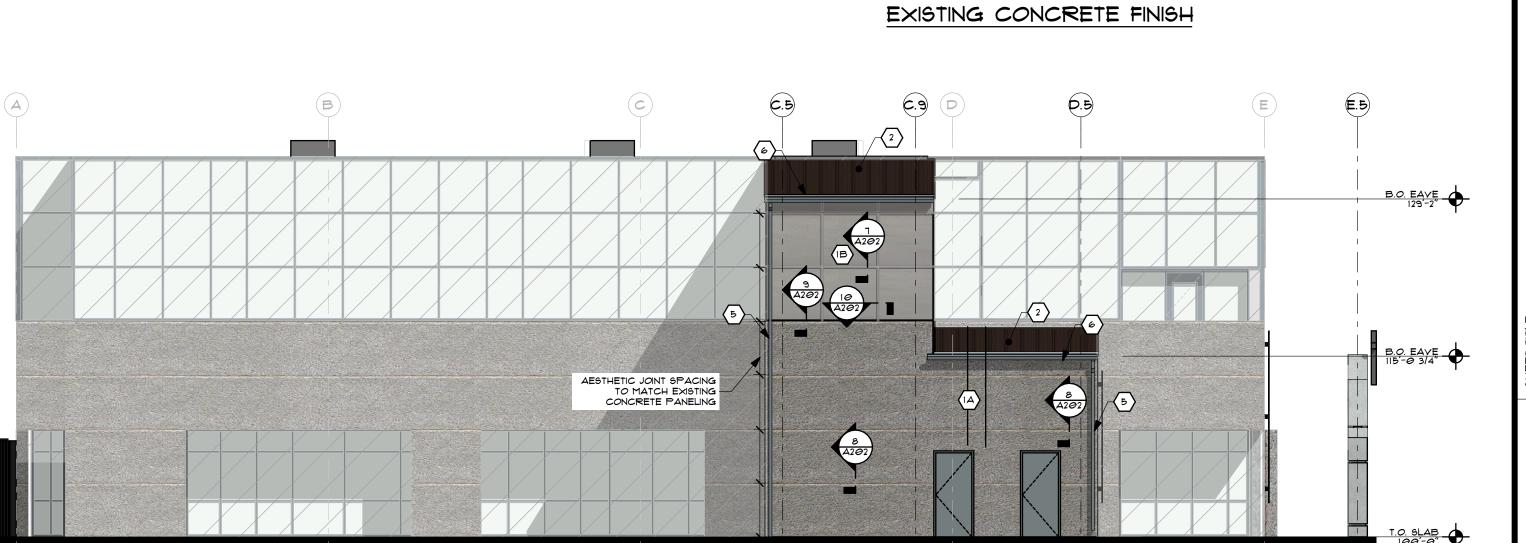
VIEW #3



STOSIGNATURE FINISH W/ CONCRETE 20 TEXTURE BATTONLOK HS METAL ROOF

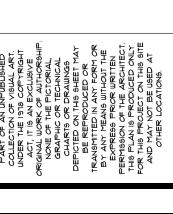


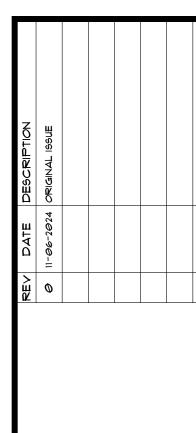




2 WEST ELEVATION SCALE: 1/8" = 1'-0"

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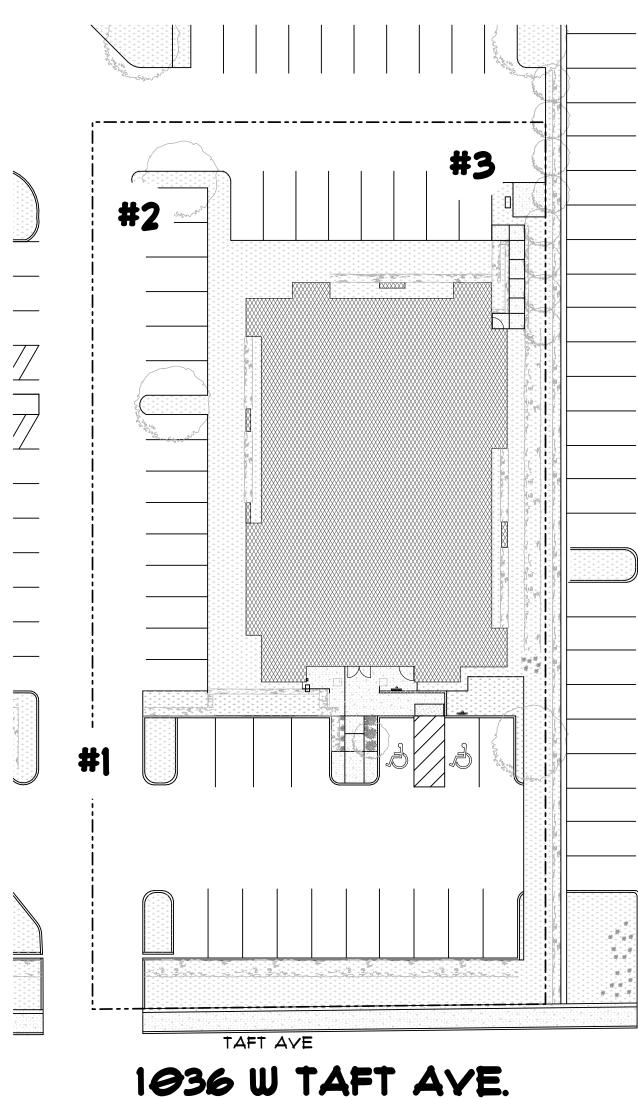




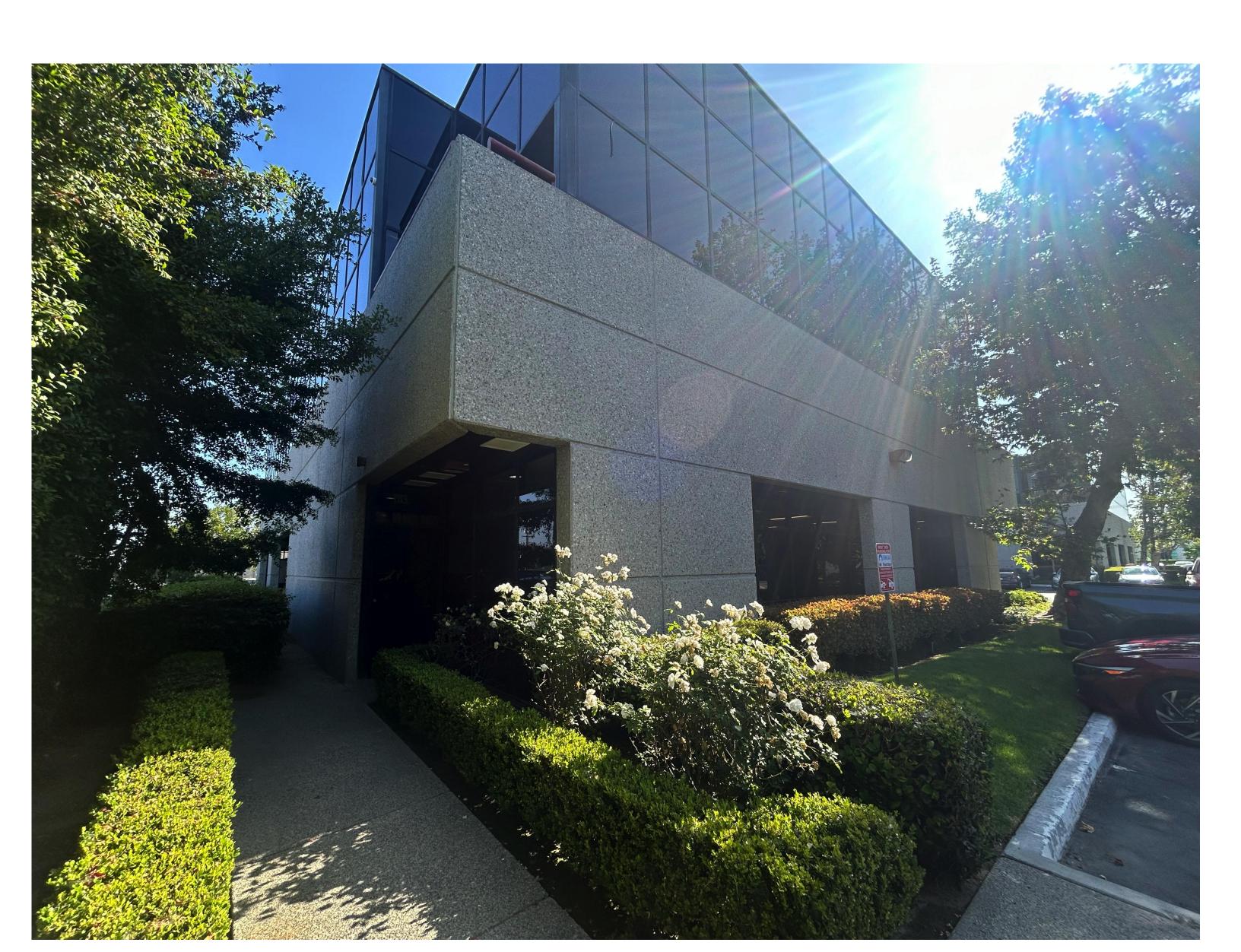
SHEET NUMBER: A201A

ELEVATION #1





ORANGE, CA 92865 LOCATION KEY



ELEVATION #3



