

MEMORANDUM

DATE	November 20, 2024	PROJECT NUMBER	24279
TO	Alonso Regalado	PROJECT	Historic Resource Assessment for 412 S. Pixley Street, Orange, CA
OF	412 S. Pixley Street, Orange, CA	FROM	Hannah Simonson, Page & Turnbull Stephanie Hodal, Page & Turnbull
CC	Mark S. Dwyer, Architect, NCARB	VIA	Email

REGARDING

**412 S. Pixley Street – Proposed Project Analysis
Memorandum Historic Resource Assessment**

Introduction

This Proposed Project Analysis Memorandum has been prepared by Page & Turnbull at the request of property owner Alonso Regalado in anticipation of a proposed project at 412 S. Pixley Street, Orange (APN 041-141-24) (**Figure 1**). The property contains a wood-frame single-family residence built in 1923 in the Craftsman style and a detached wood-frame garage, which appears to have been built in the same period. The subject property is non-contributing to both the Old Towne Orange National Register Historic District, established in 1996, and the Old Towne Orange Local Historic District, established in 1991, due to extensive prior alterations (**Figure 2 and Figure 3**).

The proposed project will renovate the existing 610-square-foot residence situated at the front (east) side of the parcel and construct a 340-square-foot addition at the rear (west) side of the residence.¹ To make room for the addition, the project will relocate the extant 170-square-foot garage from its current position at the north center side of the parcel to the northwest corner of the property, rehabilitating the building at its new location. The project will also demolish a non-original concrete slab patio surface located at the rear of the residence and a non-original wood-framed canopy spanning the space between the residence and garage.

The purpose of this memorandum is to review the proposed project for compliance with the City of Orange *Historic Preservation Design Standards*.²

¹ The proposed project drawings label the house as 645-square-feet in size. Assessor records list the house as being 610-square feet in size. This report uses the square footage assigned by the assessor.

² City of Orange, *Historic Preservation Design Standards*, December 12, 2018.



Figure 1: Subject parcel at 412 S. Pixley Street indicated by red outline. Source: Google Maps, March 2023. Edited by Page & Turnbull.



Figure 2: Detail showing the location of the non-contributing 412 S. Pixley Street property in the lower southwest quadrant of the Old Towne Orange Historic Planning Area map. Non-contributing properties are shaded green, contributing properties are shaded orange. Source: City of Orange, Community Development Department. Edited by Page & Turnbull.

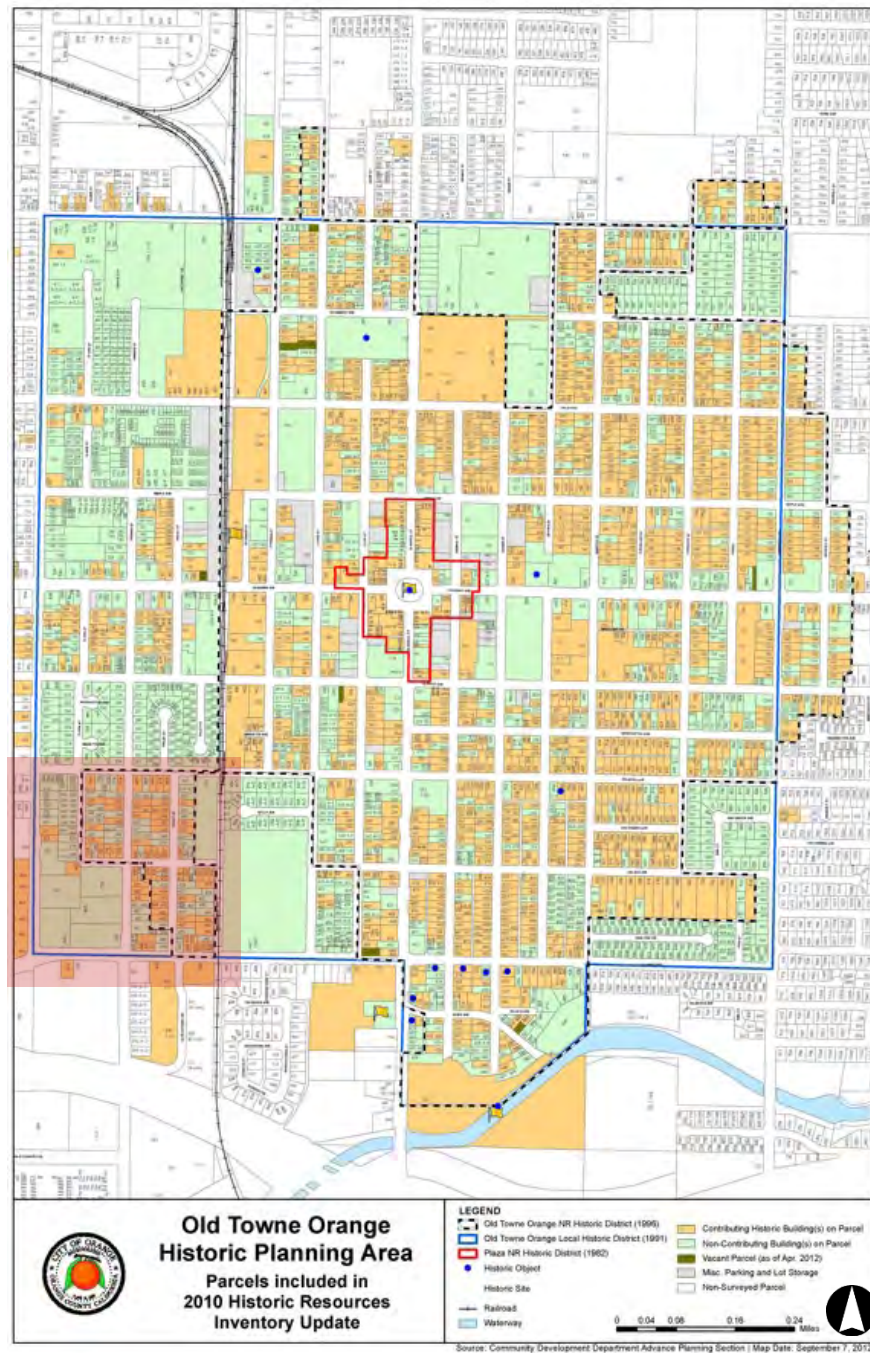


Figure 3: Map showing the full boundary of the Old Towne Orange Historic Planning Area, The area surrounding 412 S. Pixley Street in the southwest quadrant is shaded red. Non-contributing buildings are shaded green, contributing buildings are shaded orange. Source: City of Orange, Community Development Department.
Edited by Page & Turnbull.

Methodology

Page & Turnbull conducted a site visit on September 12, 2024. The purpose of the site visit was to document existing conditions of the property and surrounding neighborhood to guide the analysis of the project's compliance with the City of Orange *Historic Preservation Design Standards*, specifically the "Standards for Non-Contributing Buildings in Historic Districts" and relevant standards from the Secretary of the Interior's Standards for Rehabilitation. Page & Turnbull reviewed the proposed project plan set for 412 S. Pixley Street prepared by Architectural Design Solutions that was provided by architect Mark S. Dwyer to Page & Turnbull via email on November 19, 2024 and a State of California Department of Parks and Recreation (DPR) 523 form prepared for this property in March 2005, updated in November 2009. No additional building-specific research was conducted for the purposes of this memorandum.

Preparer Qualifications

Page & Turnbull was established in 1973 as Charles Hall Page & Associates to provide architectural and conservation services for historic buildings, resources, and civic areas. The company was one of the first architecture firms in California to dedicate its practice to historic preservation and is among the longest practicing such firms in the country. Offices are located in San Francisco, Los Angeles, Sacramento, and San Jose. Staff includes licensed architects, designers, architectural historians, conservators, and planners.

This proposed project analysis memorandum was prepared by Page & Turnbull of Los Angeles, California. Page & Turnbull staff responsible for this report include Christina Dikas, Principal-in-Charge, Hannah Simonson, Project Manager; and Stephanie Hodal, Cultural Resources Planner, primary author, all of whom meet or exceed the Secretary of the Interior's Professional Qualification Standards for Historic Architecture, Architectural History, or History.

Existing Historic Status

412 S. Pixley Street is a non-contributing building within both the Old Towne Orange Local Historic District, established in 1991, and the Old Towne Orange National Register Historic District, established in 1996. Chattel Architecture staff evaluated the existing Craftsman style residence at 412 S. Pixley Street using a DPR 523 form in March 2005 and November 2009 (**Appendix A**). Chattel found the property ineligible for listing in the National Register of Historic Places as an individual resource and as a contributing resource due to alterations since the time of original construction. The California Historical Resource Status Code (CHRSC) of "6L" was assigned to the property in the

DPR 523 forms, meaning “Determined ineligible for local listing or designation through the local government review process; may warrant special consideration in local planning.”³

Although the Chattel DPR did not specify the nature of alterations visible in 2009, the report photograph and comparison with Sanborn fire insurance maps suggests that an early full front porch across the primary (east) façade has been enclosed, the rear (west) slope of the roof changed to accommodate a rear addition, and the original exterior wood cladding replaced with stucco.

A comparison of the photograph in the 2009 DPR evaluation with current conditions reveals that additional alterations have been made to the residence since that date. These include the addition of a wood portico at the center of the primary (east) façade; removal of wood window surrounds and replacement of paired, hung wood windows with vinyl sliding windows with simulated divided lites on the primary (east) façade; removal of a window and infill of the window opening at the east end of the south façade; and the likely re-stuccoing of the house exterior. It is likely that the vinyl sliding windows now present on the north and south facades of the residence were also added after 2009.

³ California State Office of Historic Preservation Department of Parks and Recreation, *Technical Assistance Bulletin #8: User's Guide to the California Historical Resource Status Codes & Historical Resource Inventory Directory*, Sacramento, November 2004 (Status Codes updated March 1, 2020).

Property Description

The property at 412 S. Pixley Street is a rectangular 2,880-square-foot parcel located on the west side of the street between West Culver Avenue and West La Veta Avenue. It contains a one-story, 610-square-foot Craftsman style bungalow with a rectangular footprint, a 170-square-foot single-car garage, and a non-original wood-framed canopy between the two buildings. The backyard features a large concrete-paved patio adjacent to the house and a lawn planted with several fruit trees and low shrubbery. A driveway runs along the north side of the parcel to the garage. Wood fencing encloses the north, west, and south sides of the backyard behind the residence.

The one-story house has a cross-gable roof with exposed rafter tails, shallow eaves, a visible gable vent on its south side façade, and composite shingle roofing. The residence features stucco cladding, replacement vinyl sliding windows, and a single hung wood window at the rear. The residence's primary (east) façade faces S. Pixley Street and is symmetrically organized (**Figure 4**). The front doorway at the center of the façade has a metal security door and is flanked by sliding vinyl windows with simulated divided lites. A wood-framed shed-roof portico with square wood posts shelters the front door. A wood-framed shed-roof portico with square wood posts shelters the front door.



Figure 4: Primary (east) façade, view southwest.

The north façade faces the driveway and has three sliding vinyl windows (**Figure 5 and Figure 6**). A vertical-slat wood gate spans between the west end of the residence's north façade and the primary (east) façade of the garage.



Figure 5: East end of the north façade, view southwest.



Figure 6: West end of the north façade (left) and east façade of the garage (right), view southwest.

The residence's rear (west) façade faces the garage, patio, and backyard (**Figure 7**). The left (north) half of the façade features a partially-glazed wood door, covered by a wood screen door, with a rectangular wood-framed and screened opening to the door's right (south). The right (south) half of the façade steps back. It features an aluminum-framed sliding window on its left (north) end and a double-hung wood-framed sash window at its center.



Figure 7: Rear (west) façade (right), view east.

The south façade faces the neighboring driveway and house and has two vinyl sliding windows (**Figure 8 and Figure 9**). A wood-framed gable vent is visible at the center of the gable end.



Figure 8: East end of the south façade, view northwest.



Figure 9: East façade, view northwest.

The garage has a rectangular footprint, stucco cladding, and a flat roof with tile coping along the full length of its north façade and at the left (west) end of its south façade. The primary (east) façade faces the driveway with a pair of side-hinged vertical wood plank doors (**Figure 10**). The south façade of the garage faces the concrete patio (**Figure 11**). It features a wood panel door at its right (east) end with a window opening to the left (west) of the door, now covered with plywood. The rear (west) façade faces the backyard and has no openings. The north façade abuts a narrow undeveloped setback along the property line and has no openings.



Figure 10: East façade of the garage, view west.



Figure 11: West façade (left) and south façade (right) of the garage showing wood-framed patio roof, view northeast.

The north side of the backyard patio is shaded by a wood-framed shed-roof canopy (**Figure 11**). This structure is attached to the south façade of the garage and the west façade of the residence and is supported on its south side with square wood posts. The west end of the backyard is informally planted with lawn, a single large tree, one fruit tree, and low shrubs (**Figure 12 and Figure 13**).



Figure 12: Backyard, view west.



Figure 13: Backyard, view northwest.

The surrounding neighborhood is residential in character and is predominantly populated by one-story single-family residences with irregular setbacks from the sidewalk. The parcels immediately surrounding the subject property feature shallow front lawns and modest landscaping. Parcels along S. Pixley Street to the south are sited on larger parcels with deeper setbacks. The majority of houses represent Craftsman, Spanish Revival, Minimal Traditional, and Ranch styles with detached rear garages. The detached garages are generally located at the side and rear of their parcels at the end of a driveway, many placed against the rear property line. Several two-story multi-family buildings with attached garages, built in the mid- to late 20th century, are also interspersed along the block.

Proposed Project Description

The following proposed description is based on the scope of work described and illustrated in the drawing set for “Regalado Remodel, 412 S. Pixley Street, Orange, CA 92868” prepared by Architectural Design Solutions and received November 19, 2024 (**Figure 14 to Figure 18**). The full drawing set for the project is included in **Appendix B**.

Site

To prepare for construction, the proposed project will demolish the existing, non-original wood-framed shed-roof canopy and the concrete patio at the rear. It will relocate the existing 170-square

foot garage from its current position at the west end of the driveway on the north side of the house to the northwest rear corner of the parcel. The project will extend the existing driveway toward the west to meet the primary (east) façade of the relocated garage. The parcel's existing site fence, the lawn and entry walkway in front of the primary (east) façade, and the lawn and trees at the west end of the parcel will remain.

Existing Residence

The proposed project will renovate the exterior of the residence, retaining the original cross-gable roofline at the front and center of the house. The non-original shed-roof front portico will be removed. All existing windows, most of which are non-original vinyl sash windows, will be replaced with hung, wood or wood-clad sash windows. Divided-lite windows are proposed for the primary (east) elevation and for the north facade facing the residence's driveway. Square single-lite units and one divided-lite unit are proposed for the south façade facing the neighboring driveway. The existing, non-original front door and security gate will be replaced with a partially-glazed wood-panel entry door. The location and size of openings for the front door and windows will be changed to accommodate new fenestration on the primary (east) façade and on the side (north and south) facades. The residence will be clad with CertainTeed MainStreet 5" Dutchlap polymer or vinyl horizontal siding in a Granite Gray color with woodgrain finish with the appearance of wood lap siding. Roofing will consist of Owens Corning black onyx composition shingles. Doors, windows, fascia, and trim will be painted in a Sherwin Williams alabaster white.

Addition to Residence

The proposed project will demolish the rear (west) façade of the existing residence to construct a one-story, 340-square foot addition. The gabled addition will extend the north side facade 18'-10" to the west and the south side façade 22'-9" to the west. The proposed new rear (west) façade will feature a pair of glazed wood-frame doors at its center with a single hung, wood or wood-clad divided-lite window unit to the right (south) of the door opening. The addition's south façade will feature three hung, wood- or wood-clad divided-lite window units while the north façade will feature grouped square wood or wood-clad single-lite windows. The addition will use same siding, roofing, and painted doors, windows, fascia, and trim as the renovation of the existing residence to seamlessly integrate with the new materials on the extant residence.

Existing Garage

The proposed project will construct new concrete footings and a slab foundation at the northwest corner of the parcel and relocate and rehabilitate the existing garage at this new location. The proposed project will strip off the garage's current stucco cladding, retrofit the existing framing, and provide seismic bracing. The existing garage doors on the primary (east) façade will be repaired and

repainted painted and the door opening on the south façade will be fitted with a new, partially-glazed, wood panel door. The new garage cladding, roofing, door, window, and trim will match the new materials and finishes on the residence.

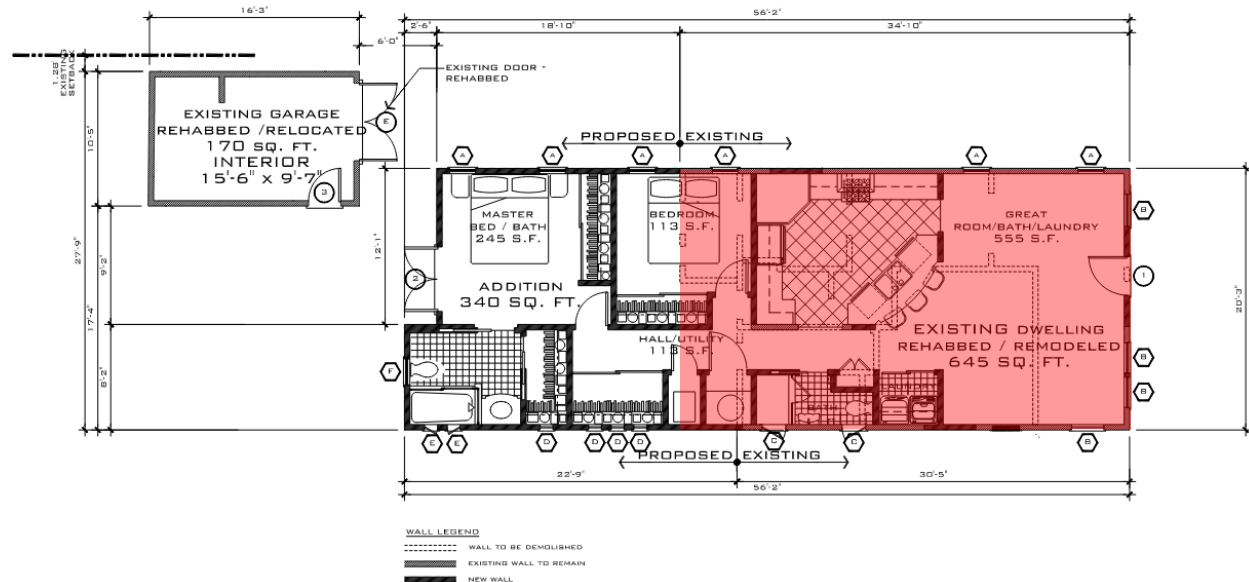


Figure 14: Proposed site plan. The footprint of the existing residence is shaded red. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-5 (November 19, 2024). Edited by Page & Turnbull.



Figure 15: Proposed primary (east) elevation with relocated garage at rear of property shown on the right. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6 (November 19, 2024).

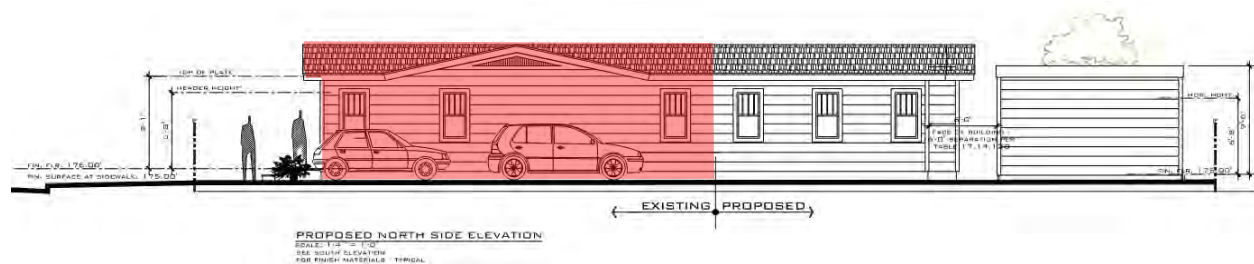


Figure 16: Proposed north elevation. The area of the existing residence is shaded red. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6. November 19, 2024. Edited by Page & Turnbull.

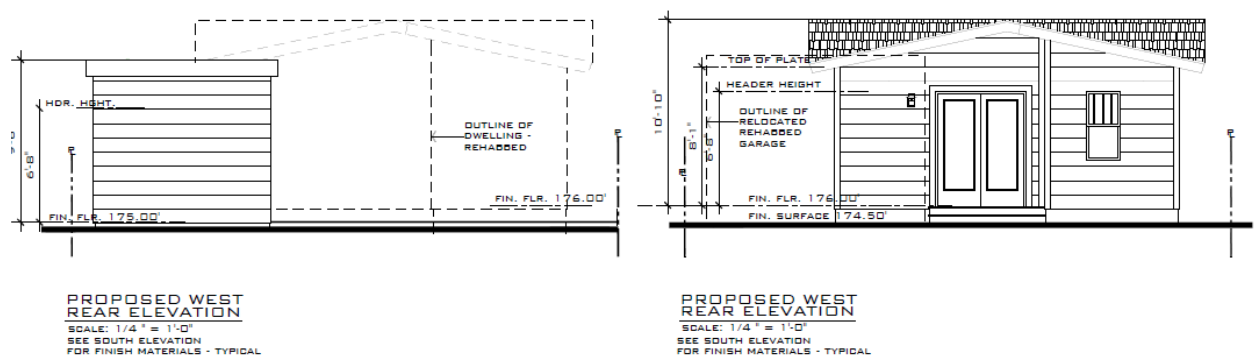


Figure 17: Proposed rear (west) elevation. Source: Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6. November 19, 2024.

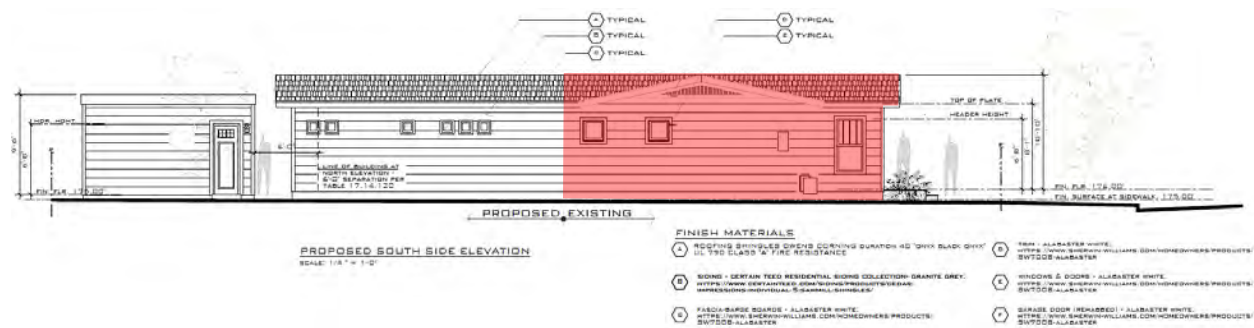


Figure 18: Proposed south elevation. The area of the existing residence is shaded red. Source: Architectural Design Solutions, "Regalado Remodel," Sheet A-6. November 19, 2024. Edited by Page & Turnbull.

Structural Assessment of Extant Garage

Engineer Shucry Yaghi, PE, provided a structural assessment of the wood-frame garage in a report dated September 24, 2024 (**Appendix C**). He notes that the garage currently sits on a slab on grade, likely without footings, which is sinking below grade. It is built with two-by-four lumber, with later

two-by-four reinforcement to shore up a sagging roof. Shucri reports that there is evidence of dry rot at the exposed ends of the original two-by-four roof joists and likely dry rot at the lower sections of the studs and sill plates. Further, the extant window is covered with plywood and settling has made the existing man door difficult to close. Shucri concludes that the garage can be moved but will require new cladding in most areas, retrofitting of the existing framing, seismic upgrading, and new footings and slab. He recommends that, while relocation and rehabilitation is feasible, a new garage be constructed that will meet the planning department requirements. As currently proposed, the garage will be relocated.

Proposed Project Compliance Analysis

Since the subject property is a district non-contributor, the proposed project's sensitivity to the character of the Old Towne Orange National Register Historic District and the Old Towne Orange Local Historic District is reviewed in this section by considering Standard 9 of the *Secretary of the Interior's Standards for Rehabilitation*, as well as the "Standards for Non-Contributing Buildings in Historic Districts" in the City of Orange *Standards for Non-contributing Buildings in Historic Districts*.⁴

Secretary of the Interior's Standards for Rehabilitation: Standard 9

Rehabilitation Standard 9 focuses on designing new additions or alterations so that they will not negatively affect the integrity of a historic resource but will also remain different enough from the original to avoid false historicism. In the context of 412 S. Pixley Street, the following discussion considers the ability of the proposed project to remain compatible with the character of the broader Old Towne Orange National Register and the Old Towne Orange Local Historic Districts.

Rehabilitation Standard 9 - New additions, exterior alterations or related new construction will not destroy the historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.⁵

Discussion

The proposed project will retain the existing enclosed porch at the front of the extant residence and the original cross-gable roof. New polymer or vinyl horizontal siding with a wood-grain finish will replace non-original stucco cladding on the existing house and be used for the addition and garage.

⁴ "Standards for Non-Contributing Buildings in Historic Districts," *City of Orange Historic Preservation Design Standards*, (December 12, 2018), 49-50.

⁵ Secretary of the Interior's Standards for Rehabilitation, National Park Service U.S. Department of the Interior.

Most of the houses in the surrounding District are designed in the Craftsman style with examples of Spanish Revival, Minimal Traditional, and Ranch styles interspersed. The majority of the Craftsman houses feature horizontal board or board-like cladding with shingle roofs. Thus, the proposed project is compatible in cladding with properties that characterize the Old Towne Orange National Register and the Old Towne Orange Local Historic Districts.

The project will retain the form and appearance of the original cross gable from the front. It will remove the non-original west slope at the rear of the house and replace it with a gable roof covering the area behind the original cross gable and the new construction. Gabled and cross-gabled roofs are characteristic of the Craftsman residences in the Old Towne Orange National Register and the Old Towne Orange Local Historic Districts making the proposed design compatible with other homes in the neighborhood. The height of the roofs is also comparable to adjacent properties, as the addition is the same height as the existing residence.

The proposed fenestration consists of wood or wood-clad divided-lite windows, which will replace non-original vinyl sliding windows, and partially glazed wood-panel doors. These materials are also characteristic of the Craftsman residences in the neighborhood and Districts, and are more compatible than the existing windows, making this aspect of the proposed design compatible with the surrounding design context.

The proposed project retains its detached garage at the side and rear of the residence, a feature commonly found in the historic district. While the new construction will extend the residence to the rear, the addition will not be wider or higher than the existing residence. The depth of the new construction on the parcel and the position of the relocated garage is similar to the massing and siting of buildings on adjacent lots on S. Pixley Street and elsewhere in the district. While many neighboring properties have detached rear garages, their locations and setbacks are various, including some at the very rear of the lot, others toward the center, and some with openings not facing the street. The proposed project will not alter the driveway location or overall pattern of detached rear garages in the neighborhood and is thus compatible with the overall street character.

The proposed project design does not detract from the overall character of the street or historic district. Per Standard 9, the design is compatible with the historic materials, features, size, scale and proportions, and massing of other nearby properties in the Old Towne Orange National Register and the Old Towne Orange Local Historic Districts.

City of Orange Historic Preservation Design Standards: Standards for Non-Contributing Buildings in Historic Districts

The section on Standards for Non-Contributing Buildings in Historic Districts in the *City of Orange Historic Preservation Design Standards* provides specific guidance for projects like 412 S. Pixley Street:

“Although non-contributing buildings are not considered to be historic, they have an impact on the streetscape of the historic district and alterations or additions to these properties should be in keeping with the character of the neighborhood.”⁶

The following section states the Standards and provides a brief discussion of proposed project adherence to the Standards.

1 Non-contributing properties shall comply with the Standards for Historic Residential Buildings –Setting.⁷

The proposed project maintains the neighborhood’s common open space patterns, typical front and side-yard setbacks, and the property’s historic driveway location. The project will not replace extant paving or hardscape. The width of the driveway will not be changed, and the extension of the driveway will occur toward the rear of the property where it will be minimally visible from the street. The front yard will continue to be used for landscape. No front yard fencing will be installed, and the existing rear and side yard wood fences will be retained. The large mature trees on the parkway and at the southwest corner of the rear yard will be retained. No artificial turf is proposed for use on the site.

The proposed project adheres to Standard 1.

2 Non-contributing properties shall comply with the Standards for Historic Building Features – Mechanical Systems.⁸

The proposed project will not locate any mechanical equipment on the exterior of the residence and will not install any solar panels on the site or roof.

The proposed project adheres to Standard 2.

⁶ “Standards for Non-Contributing Buildings in Historic Districts,” *Historic Preservation Design Standards* (City of Orange, December 12, 2018), 49.

⁷ “Standards for Historic Residential Buildings – Setting,” *Historic Preservation Design Standards*, (City of Orange, December 12, 2018), 27-29.

⁸ “Standards for Historic Building Features – Mechanical Systems,” *Historic Preservation Design Standards*, (City of Orange, December 12, 2018), 25-26.

3 Front porches are a common feature of historic residences in Old Towne. Removing or infilling an existing front porch on a non-contributing building is generally not compatible with the Historic District.

The extant residence had a full-width front porch that was previously enclosed at an earlier date. The proposed project will not remove or change the existing enclosed porch. The project will remove a non-historic portico at the front door which was added to the façade after 2009.

The proposed project adheres to Standard 3.

4 The primary building should have a main entrance and façade oriented toward the street.

The proposed project retains the orientation of the main entrance and primary façade facing S. Pixley Street.

The proposed project adheres to Standard 4.

5 Windows and doors should be compatible with the building's predominant architectural style or with historic buildings in the Historic District.

The proposed project will replace non-original and incompatible vinyl sliding windows with hung, wood or wood-clad divided-lite window units on the primary (east), north, and rear (west) facades. The vertical orientation, pattern of lites, and wood material are compatible with the Craftsman style of the house and with those on surrounding historic houses. The south elevation facing the neighboring driveway will feature square wood-or wood-clad single-lite windows. These windows will be different from surrounding historic windows due to their shape but will be compatible in material and scale. The existing non-original doors will be replaced with partially glazed wood panel doors which are also compatible with the character of the historic district.

The proposed project adheres to Standard 5.

6 The use of traditional building materials found on historic buildings in the Historic District is encouraged for non-contributing buildings.

6a ***Exterior materials shall be compatible with the size, scale, design, texture, reflectivity, durability, and color of traditional materials used in the Historic District.***

The proposed project will clad the existing residence and new construction with CertainTeed MainStreet 5" Dutchlap polymer or vinyl horizontal siding in a Gray Granit color with woodgrain finish and Owens Corning black onyx composition shingle roofing, replacing non-original stucco siding. Wood or wood clad windows as well as wood doors, fascia, and trim will be painted in Sherwin Williams Alabaster White. These materials are generally compatible with the scale, design, texture, reflectivity, durability, and color of other Craftsman style buildings in the Historic District.

The proposed project adheres to Standard 6a.

6b ***Alternatives to traditional building materials may be considered if the alternative material is compatible with the building's predominant architectural style or with comparable contributing buildings in the Historic District.***

The contemporary materials of the proposed project are compatible with the horizontal cladding, hung windows, dark-toned shingle roofing, and wood trim that predominate on surrounding Craftsman houses of the same period in the Historic District.

The proposed project adheres to Standard 6b.

6c ***Vinyl windows are inappropriate for use on non-contributing buildings.***

The proposed project will use wood or wood clad windows, replacing existing non-original vinyl windows.

The proposed project adheres to Standard 6c.

7 ***The use of elaborate architectural details or ornamentation that is not compatible with the building's predominant architectural style or surrounding contributing buildings should be avoided.***

The proposed project does not add elaborate architectural detail or ornamentation to the residence.

The proposed project adheres to Standard 6c.

- 8** **Additions to non-contributing buildings should be compatible with the mass, scale, and setbacks of the existing building and surrounding historic properties.**
- 8a** ***Generally, an addition should be no larger than the existing width and height of the non-contributing building and should not exceed the dimensions of surrounding historic properties.***

The proposed project will retain the width and height of the non-contributing residence. The depth of the new addition and new garage location is similar to that of surrounding historic properties.

The proposed project adheres to Standard 8a.

- 8b** ***The prevailing pattern of setbacks on the street should be retained.***

The proposed project retains the setback of the existing residence which shares the setback of adjacent houses at the north end of S. Pixley Street. Detached garages in the historic district have a variety of rear setbacks and locations. The proposed relocated garage will retain the general pattern of rear, detached garages.

The proposed project adheres to Standard 8b.

- 8c** ***Simple roof forms that reflect the form of the non-contributing building and surrounding historic buildings are appropriate.***

The proposed project retains the extant residence's cross gable roof. The rear addition will be covered by a gable roof that integrates with and extends from the existing roof structure. Gable roof forms are compatible with the character of the surrounding historic buildings.

The proposed project adheres to Standard 8c.

- 8d** ***Second story additions to a one-story structure are discouraged. If proposed, a second story addition shall not cause a loss of privacy for surrounding properties***

and shall be compatible with the size, mass, and scale of properties on the same street.

The proposed project does not add a second story.

The proposed project adheres to Standard 8d.

8e *Conversion of attic space to habitable area within the existing roofline is encouraged. A half story addition may be appropriate, provided that the scale, size, and roof form are compatible with the streetscape.*

The proposed project does not convert attic space to habitable area as the property does not have an attic.

Standard 8e does not apply.

Overall, the proposed project adheres to all of the relevant guidelines in City of Orange “Standards for Non-Contributing Buildings in Historic Districts.” The following table summarizes the findings discussed above.

TABLE 1: ADHERENCE TO STANDARDS FOR NON-CONTRIBUTING BUILDINGS IN HISTORIC DISTRICTS

City of Orange Standards for Non-Contributing Buildings in Historic Districts⁹	Project Compliance with Standards
1: Non-contributing properties shall comply with the Standards for Historic Residential Buildings –Setting.	Adheres to Standard 1
2: Non-contributing properties shall comply with the Standards for Historic Building Features – Mechanical Systems.	Adheres to Standard 2
3: Front porches are a common feature of historic residences in Old Towne. Removing or infilling an existing front porch on a non-contributing building is generally not compatible with the Historic District.	Adheres to Standard 3
4: The primary building should have a main entrance and façade oriented toward the street.	Adheres to Standard 4
5: Windows and doors should be compatible with the building’s predominant architectural style or with historic buildings in the Historic District.	Adheres to Standard 5

⁹ “Standards for Non-Contributing Buildings in Historic Districts,” *Historic Preservation Design Standards*, (City of Orange, December 12, 2018), 49-50.

City of Orange Standards for Non-Contributing Buildings in Historic Districts⁹	Project Compliance with Standards
6: The use of traditional building materials found on historic buildings in the Historic District is encouraged for non-contributing buildings.	---
6a: Exterior materials shall be compatible with the size, scale, design, texture, reflectivity, durability, and color of traditional materials used in the Historic District.	Adheres to Standard 6a
6b: Alternatives to traditional building materials may be considered, if the alternative material is compatible with the building's predominant architectural style or with comparable contributing buildings in the Historic District.	Adheres to Standard 6b
6c: Vinyl windows are inappropriate for use on non-contributing buildings.	Adheres to Standard 6c
7: The use of elaborate architectural details or ornamentation that is not compatible with the building's predominant architectural style or surrounding contributing buildings should be avoided.	Adheres to Standard 7
8: Additions to non-contributing buildings should be compatible with the mass, scale, and setbacks of the existing building and surrounding historic properties.	---
8a: Generally, an addition should be no larger than the existing width and height of the non-contributing building and should not exceed the dimensions of surrounding historic properties.	Adheres to Standard 8a
8b: The prevailing pattern of setbacks on the street should be retained.	Adheres to Standard 8b
8c: Simple roof forms that reflect the form of the non-contributing building and surrounding historic buildings are appropriate.	Adheres to Standard 8c
8d: Second story additions to a one-story structure are discouraged. If proposed, a second story addition shall not cause a loss of privacy for surrounding properties and shall be compatible with the size, mass, and scale of properties on the same street.	Adheres to Standard 8d
8e: Conversion of attic space to habitable area within the existing roofline is encouraged. A half story addition may be appropriate, provided that the scale, size, and roof form are compatible with the streetscape.	N/A Building does not have an attic.

Conclusion

As the above analysis demonstrates, the proposed project, as currently designed, complies with general guidance provided by Standard 9 of the *Secretary of the Interior's Standards for Rehabilitation*. Page & Turnbull finds the project also complies with the City of Orange "Standards for Non-Contributing Buildings in Historic Districts."

APPENDICES

Appendix A – 2009 DPR Form, 412 S. Pixley Street

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #

HRI # 112374

Trinomial ORA

NRHP Status Code 6L

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 412 - S PIXLEY ST , # City: Orange Zip: 92868

d. UTM: (Give more than one for large and/or linear resources) Zone ' mE/ mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Stucco or plaster

Non-contributor to National Register due to alterations.

*P3b. Resource Attributes: (HP2)--Single family property
(List attributes and codes)

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☒ Element of District ☐ District ☐ Other (Isolates, etc.)



P5b. Description of Photo: 2005
(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1923

☒ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto; J. Snow

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded:

March, 2005; November, 2009

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update.

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet(s) ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

112374

*NRHP Status Code

6L

Page 2 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES

B4. Present Use:

RES

*B5. Architectural Style: Bungalow

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1923 ☒ Historic ☐ Prehistoric ☐ Both
Significant alterations. Altered as of 2005: Applied stucco; Infilled/altered porch; and Roof.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Interwar Development (c. 1921 - 1941) Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: High level of alteration.

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: November, 2009

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #

HRI # 112374

Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

PIXLEY_S_412__APN_041-141-24

Recorded by:

D. Gest, P. LaValley, D. Matsumoto; J. Snow
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: March, 2005; November, 2009

☒ Continuation ☐ Update

Years Surveyed: 1991, 2005

Description of Photo: 1991

Listed in National Register: 1997

General Plan: LDR # of Buildings: 1

Planning Zone: R-3 # of Stories: 1

Lot Acre: 0.0656 # of Units: 1

Principal Building Sqft: 650

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

Appendix B – Proposed Project Drawing Set for “Regalado Remodel, 412 S. Pixley Street, Orange, CA 92868” prepared by Architectural Design Solutions (November 19, 2024)

REGALADO REMODEL
412 S. PIXLEY ST.
ORANGE, CA. 92868
NOVEMBER - 2024

ARCHIECTURAL DESIGN SOLUTIONS
CONTACT:
MARK S. DWYER, ARCHITECT NCARB
ADDRESS:
PO BOX 1392
WRIGHTWOOD, CA. 92397
TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

412 S. PIXLEY ST.
ORANGE, CA. 92868

ASSESSOR'S PARCEL NUMBER:
APN 041-141-24
TRACT 545 / LOT 24

GENERAL PLAN LAND USE:
RESIDENTIAL

ZONING:
R1-6

LAND USE:
LOW DENSITY RESIDENTIAL

LOT SIZE:
2,880 SQ. FT. (.066 AC)

FLOOR AREA:
EXISTING:
645 SQ. FT. DWELLING
170 SQ. FT. GARAGE
PROPOSED:
985 SQ. FT. DWELLING
170 SQ. FT. GARAGE

DENSITY:
1/.066

PROPERTY LINES:
NO CHANGE

BUILDING CODE:
CALIFORNIA RESIDENTIAL CODE 2022 EDITION
TYPE VN CONSTRUCTION
R-3 OCCUPANCY
ONE UNIT TWO BEDROOMS

SCOPE OF WORK
1. REHAB THE EXISTING DWELLING
1.1. UPGRADE ALL UTILITY SYSTEMS
1.2. REMODEL - REDO ENTIRE INTERIOR
1.3. UPGRADE DWELLING EXTERIOR - EXTERIOR WALLS / ROOF
2. ADD TWO BEDROOMS / TWO BATHS
3. RELOCATE EXISTING GARAGE - REHAB INTERIOR AND EXTERIOR
4. RELANDSCAPE YARD

FLOOR AREA RATIO STUDY FOR THE 400 BLOCK OF SOUTH PIXLEY STREET BETWEEN WEST CULVER AVENUE
AND WEST LA VETA AVENUE CITY OF ORANGE, CALIFORNIA 92868

TOTALS
(12) C / (13) NC = 30.25% (E) FAR / (12) C / (13) NC = 30.75% (P) FAR
(12) C = 28.5% (E) FAR / (12) C = 28.5% (P) FAR

SUB-STANDARD LOTS - 2,880 SF.
(2) C / (1) NC = 34% (E) FAR / (2) C = 37.5% (E) FAR
(2) C / (1) NC = 38% (P) FAR / (2) C = 37.5% (P) FAR

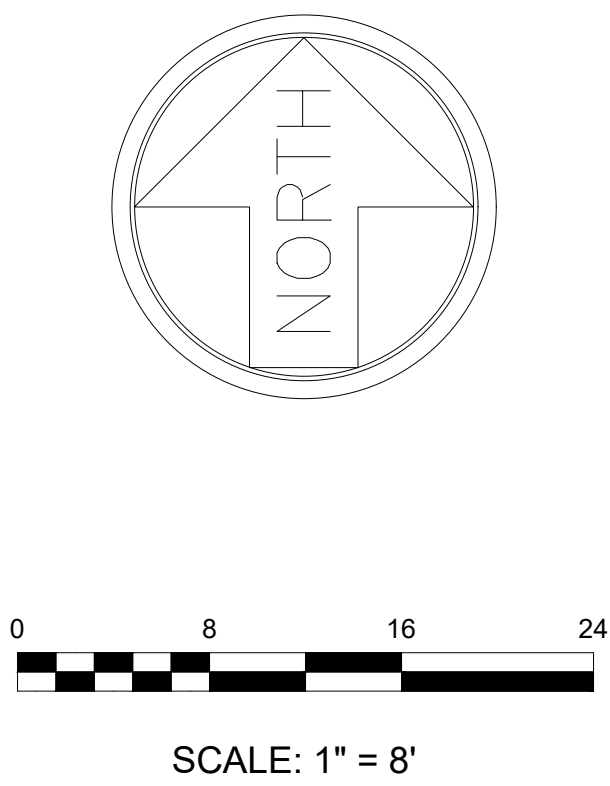
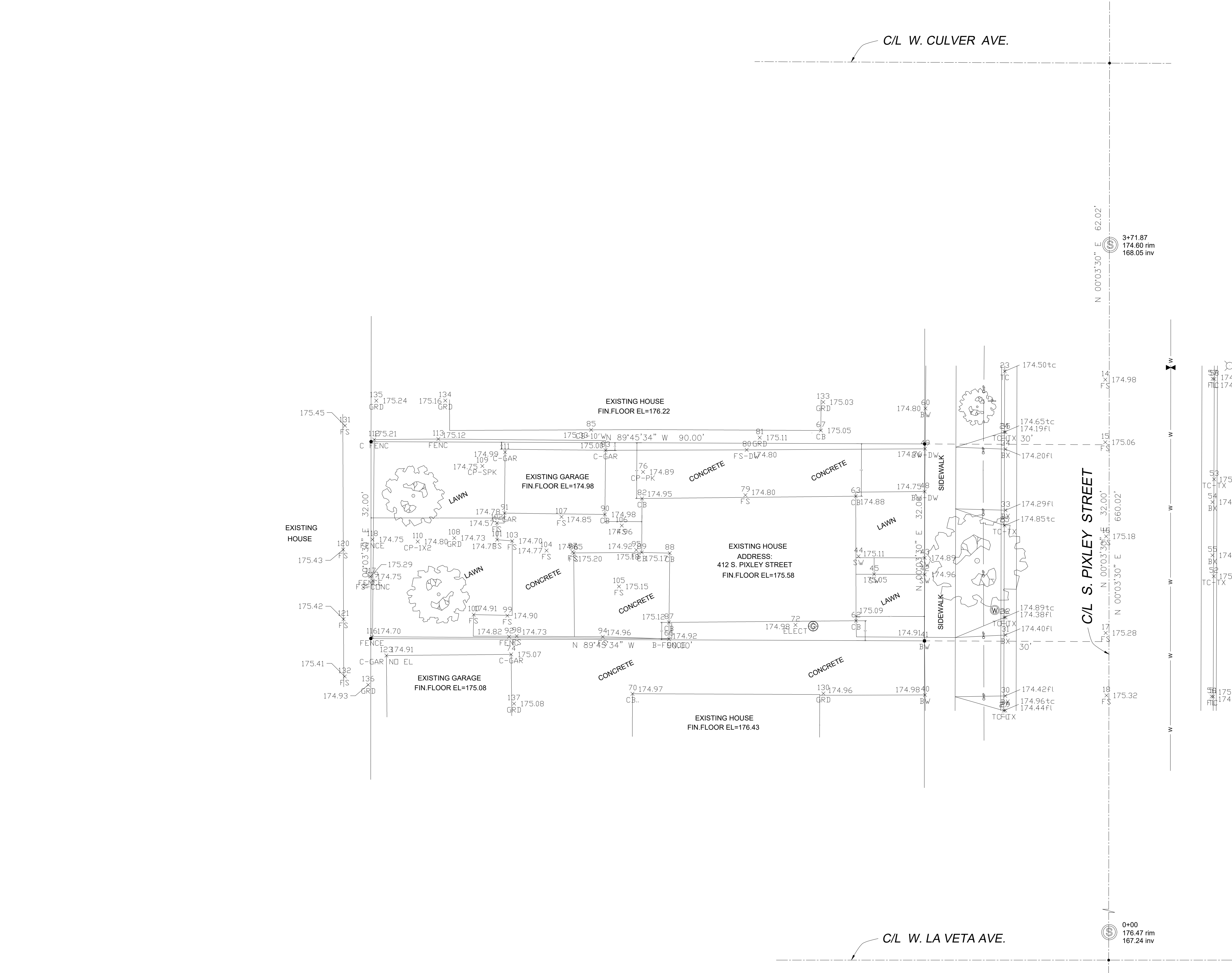
SUB-STANDARD LOTS - 2,112 SF.
(2) C = 68% (E) FAR / (2) C = 68% (P) FAR

SUB-STANDARD LOTS - COMBINED
(4) C / (1) NC = 48% (E) FAR / (4) C = 52.75% (E) FAR
(4) C / (1) NC = 50% (P) FAR / (4) C = 52.75% (P) FAR

SHEET INDEX

- T1 - TITLE SHEET
S1 - SURVEY
S-2 - FLOOR AREA RATIO ANALYSIS
S-3 - SITE PLAN - 100 FOOT RADIUS
A1 - EXISTING SITE / ROOF PLAN
A2- EXISTING FLOOR PLAN
A2A - DEMOLITION PLAN
A3 - EXISTING EXTERIOR ELEVATIONS
A4 - PROPOSED SITE / ROOF PLAN
A5 - PROPOSED FLOOR PLAN
A6 - PROPOSED EXTERIOR ELEVATIONS
A6A - PROPOSED EXTERIOR FINISHES / WINDOWS
A6B - PROPOSED EXTERIOR DOORS
A6C - EXTERIOR ELEVATION COMPARISON E/P
A6D - EXTERIOR ELEVATION COMPARISON E/P
A6E - EXTERIOR ELEVATION COMPARISON E/P
A7 - SITE PHOTOS
A7A - SITE PHOTOS
A8 - EXTERIOR ELEVATIONS - COLORED

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
T-1
ARCHITECTURAL DESIGN SOLUTIONS

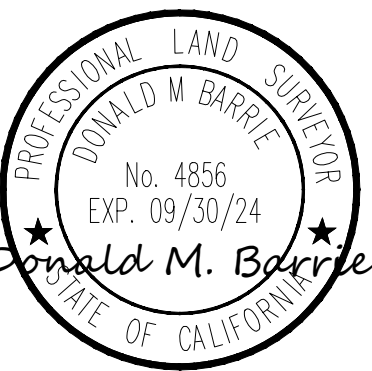


LEGEND

These standard symbols will be found in the drawing.

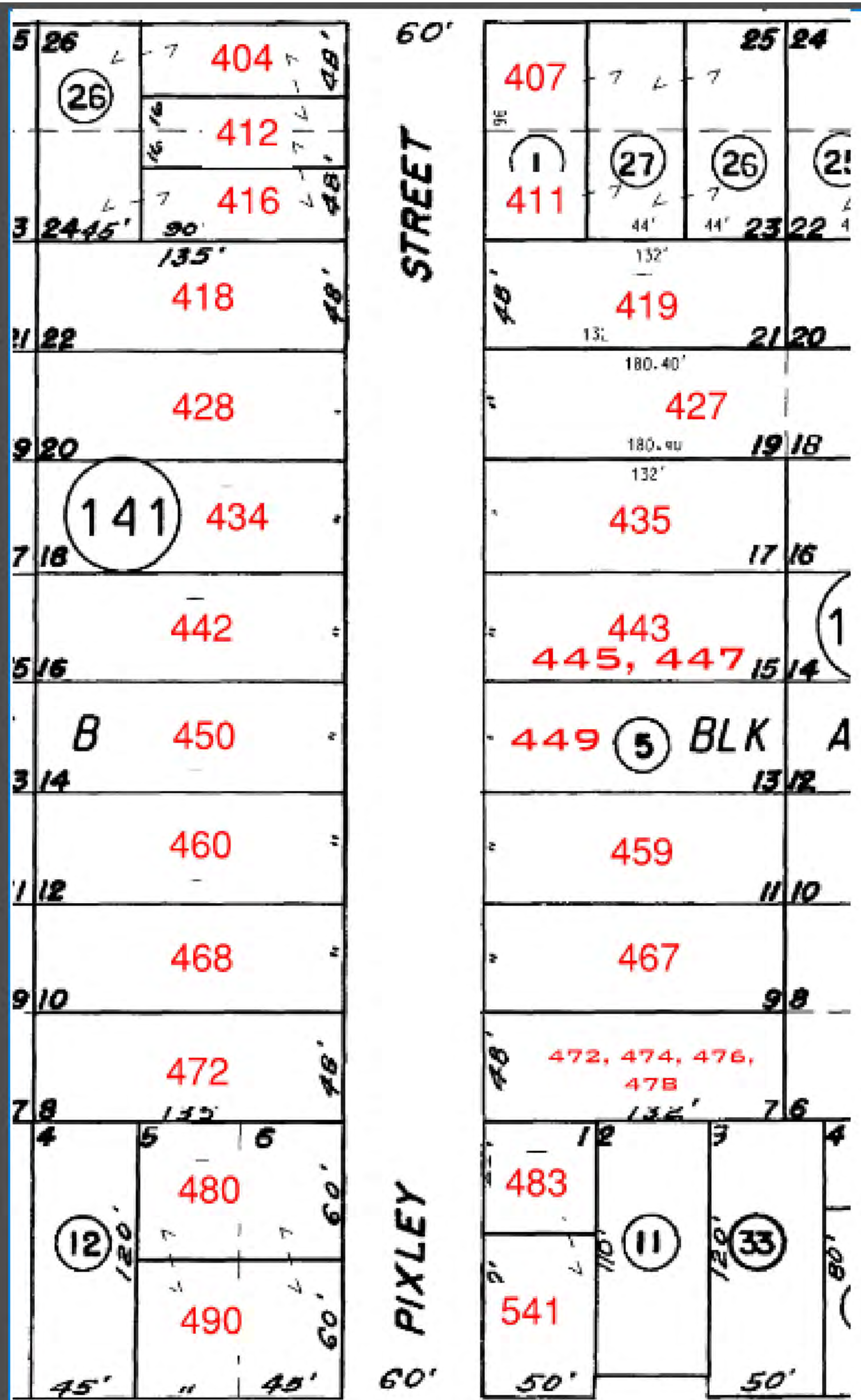
- WATER METER
- SIGN
- SEWER MAN HOLE
- GAS METER
- FIRE HYDRANT
- WATER VALVE

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868



S-1

<p>BASIS OF BEARINGS: THE CENTERLINE OF PIXLEY STREET SHOWN AS N 0°03'30" W PER TRACT MAP 545, M.M. 18/11</p>		<p>LEGAL DESCRIPTION: THE SOUTH 16 FEET OF THE EAST 90 FEET OF LOT 26 AND THE NORTH 16 FEET OF THE EAST 90 FEET OF LOT 24, IN BLOCK B OF TRACT NO. 545, LA VETA HOME TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 18, PAGE 11 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY</p>		<p>PREPARED BY: DON BARRIE & ASSOCIATES LAND SURVEYORS 1240 B N. JEFFERSON STREET ANAHEIM, CA.</p>		<p>PREPARED FOR: ALONSO REGALADO 412 S. PIXLEY STREET ORANGE, CA.</p>		<table><tr><th colspan="3">TOPOGRAPHIC SURVEY</th></tr><tr><td>DRAWN D.B.</td><td>DATE 1/8/2024</td><td rowspan="2">412 S. PIXLEY ST. ORANGE, CA</td></tr><tr><td>APPROVED D.B.</td><td>DATE 1/13/2024</td></tr><tr><td>SCALE 1" = 8'</td><td>SHEET 1 of 1</td><td>PROJECT NO.</td></tr></table>			TOPOGRAPHIC SURVEY			DRAWN D.B.	DATE 1/8/2024	412 S. PIXLEY ST. ORANGE, CA	APPROVED D.B.	DATE 1/13/2024	SCALE 1" = 8'	SHEET 1 of 1	PROJECT NO.
TOPOGRAPHIC SURVEY																					
DRAWN D.B.	DATE 1/8/2024	412 S. PIXLEY ST. ORANGE, CA																			
APPROVED D.B.	DATE 1/13/2024																				
SCALE 1" = 8'	SHEET 1 of 1	PROJECT NO.																			
<p>BENCH MARK: O.C.S. B.M. 1E-105-83 FOUND 3 3/4" DISC STAMPED "1E-105-83" IN THE NORTHWEST CORNER OF A CATCH BASIN LOCATED AT THE SOUTHEASTERLY CORNER OF LEMON STREET AND LA VETA AVENUE ELEV.= 183.693(ft) NAVD88</p>		<p>LOT AREA: 2,880 sq.ft. 0.066 ac.</p>																			



FLOOR AREA RATIO STUDY FOR THE 400 BLOCK OF SOUTH PIXLEY STREET BETWEEN WEST CULVER AVENUE AND WEST LA VETA AVENUE CITY OF ORANGE, CALIFORNIA 92868
PROPERTY SQ. FT. TAKEN FROM PropertyRec.com

ADDRESS	LOT SQ. FT.	LIVING SF.	GARAGE SF.	TOTAL SF.	CALCULATION	FLOOR AREA RATIO
WEST SIDE						
C 404	2,880 SF.	959 SF.	216 SF.	1,175 SF.	1,175/2880 = .333	41%
NC 412	2,880 SF.	645 SF. (E)	170 SF.	815 SF.	815/2880 = .282	28%(E)
	2,880 SF.	985 SF. (P)	170 SF.	1,155 SF.	1,155/2880 = .401	40%(P)
C 416	2,880 SF.	708 SF.	260 SF.	968 SF.	968/2880 = .336	34%
NC 418	6,480 SF.	1,044 SF.	360 SF.	1,404 SF.	1,404/6480 = .2161	22%
C 428	6,480 SF.	840 SF.	320 SF.	1,160 SF.	1,160/6480 = .179	18%
C 434	6,480 SF.	948 SF.	324 SF.	1,272 SF.	1,272/6480 = .196	20%
C 442	6,480 SF.	766 SF.	170 SF.	936 SF.	936/6480 = .144	14%
C 450	6,480 SF.	1,000 SF.	192 SF.	1,192 SF.	1,192/6480 = .183	18%
C 460	6,480 SF.	1,174 SF.	360 SF.	1,534 SF.	1,534/6480 = .236	24%
NC 468	6,480 SF.	766 SF.	170 SF.	936 SF.	936/6480 = .144	14%
NC 472-8	6,534 SF.	3,100 SF. (4 UNITS - 472, 474, 476 & 478)		3,100 SF.	3,100/6534 = .474	47%
NC 480	5,400 SF.	932 SF.	280 SF.	1,212 SF.	1,212/5400 = .224	22%
NC 490	5,400 SF.	855 SF.	290 SF.	1,145 SF.	1,145/5400 = .212	21%

SUMMARY
(7) C / (6) NC = 25% (E) FAR / (7) C / (6) NC = 26% (P) FAR
(7) C = 24% (E) FAR / (7) C = 24% (P) FAR

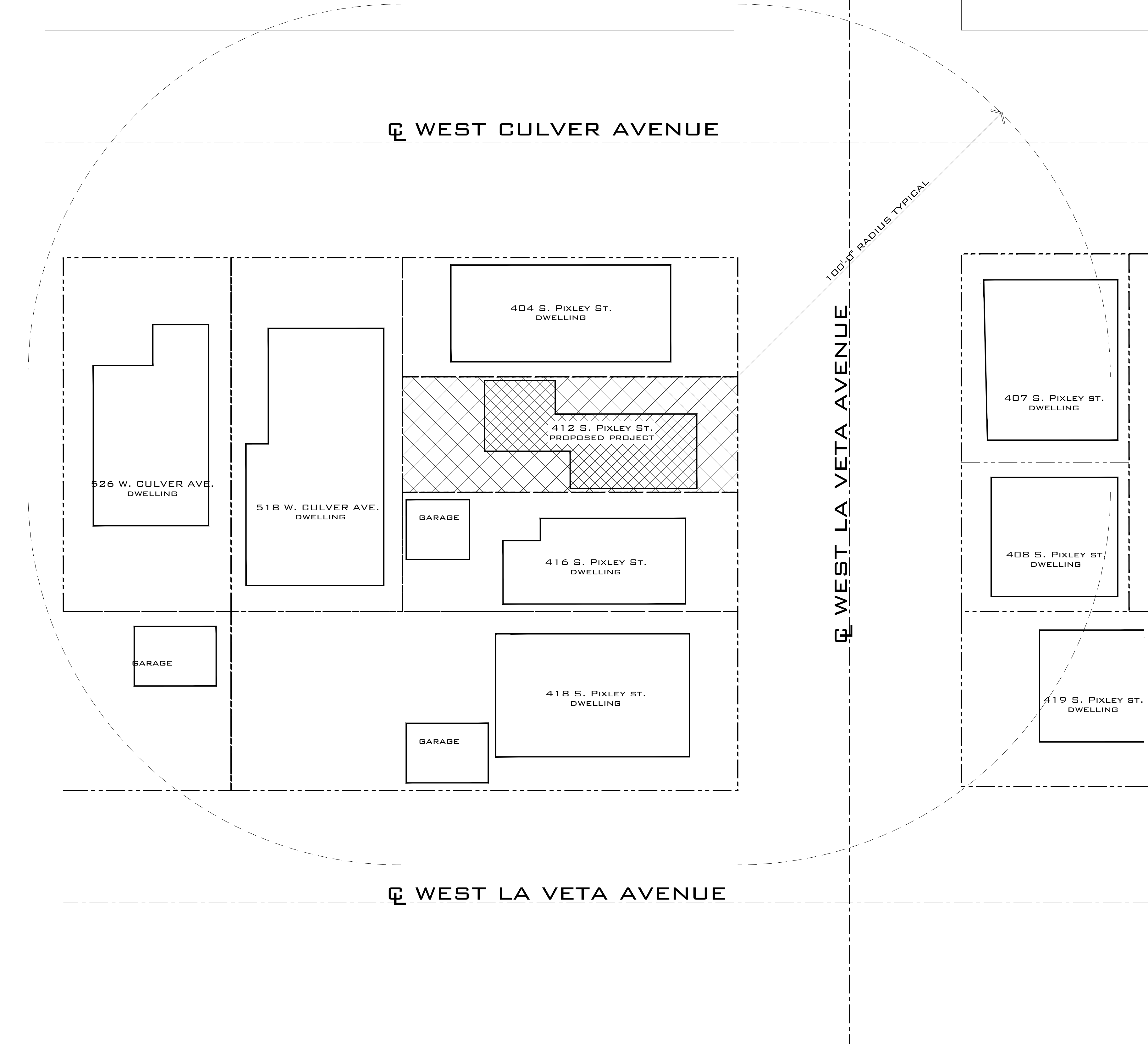
SUB-STANDARD LOTS - 2,880 SF.
(2) C / (1) NC = 34% (E) FAR / (2) C = 37.5% (E) FAR
(2) C / (1) NC = 38% (P) FAR / (2) C = 37.5% (P) FAR

FLOOR AREA RATIO STUDY FOR THE 400 BLOCK OF SOUTH PIXLEY STREET BETWEEN WEST CULVER AVENUE AND WEST LA VETA AVENUE CITY OF ORANGE, CALIFORNIA 92868
PROPERTY SQ. FT. TAKEN FROM PropertyRec.com - (407 & 411 from City records)

ADDRESS	LOT SQ. FT.	LIVING SF.	GARAGE SF.	TOTAL SF.	CALCULATION	FLOOR AREA RATIO
EAST SIDE						
NC 541						
W. La Veta	3,500 SF.	1,070 SF.	200 SF.	1,270 SF.	1,270/3,500 = .362	36%
NC 483	2,500 SF.	1,304 SF.	376 SF.	1,680 SF.	1,680/2500 = .672	67%
NC 475	6,336 SF.	1,081 SF.	288 SF.	1,369 SF.	1,369/6336 = .216	21%
C 467	6,336 SF.	1,272 SF.	288 SF.	1,560 SF.	1,560/6336 = .246	24%
C 459	6,336 SF.	936 SF.	348 SF.	1,324 SF.	1,324/6336 = .208	20%
NC 449	6,336 SF.	857 SF.	360 SF.	1,217 SF.	1,217/6336 = .192	19%
NC 3 UNITS						
443/445/447	6,336 SF.	2,868 SF.	INCLUSIVE	2,868 SF.	2,868/6336 = .452	45%
C 435	6,336 SF.	936 SF.	170 SF.	1,106 SF.	1,106/6336 = .174	17%
NC 427	8,659 SF.	796 SF.	360 SF.	1,156 SF.	1,156/8659 = .133	13%
NC 419	6,534 SF.	1,841 SF.	INCLUSIVE	1,184 SF.	1,841/6534 = .142	28%
C 411	2,112 SF.	1,435 SF.	INCLUSIVE	1,435 SF.	1,435/2112 = .679	68%
C 407	2,112 SF.	1,435 SF.	INCLUSIVE	1,435 SF.	1,435/2112 = .679	68%

SUMMARY
(5) C / (7) NC = 35.5% (E) FAR / (5) C / (7) NC = 35.5% (P) FAR
(6) C = 33% (E) FAR / (6) C = 33% (P) FAR
SUB-STANDARD LOTS - 2,112 SF.
(2) C = 68% (E) FAR / (2) C = 68% (P) FAR

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS



ARCHIECTURAL DESIGN SOLUTIONS
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TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

412 S. PIXLEY ST.
ORANGE, CA. 92868

ASSESSOR'S PARCEL NUMBER:
APN 041-141-24
TRACT 545 / LOT 24

GENERAL PLAN LAND USE:
RESIDENTIAL

ZONING:
R1-6

LAND USE:
LOW DENSITY RESIDENTIAL

LOT SIZE:
2,880 SQ. FT. (.066 AC)

FLOOR AREA:
EXISTING:
645 SQ. FT. DWELLING
170 SQ. FT. GARAGE
PROPOSED:
985 SQ. FT. DWELLING
170 SQ. FT. GARAGE

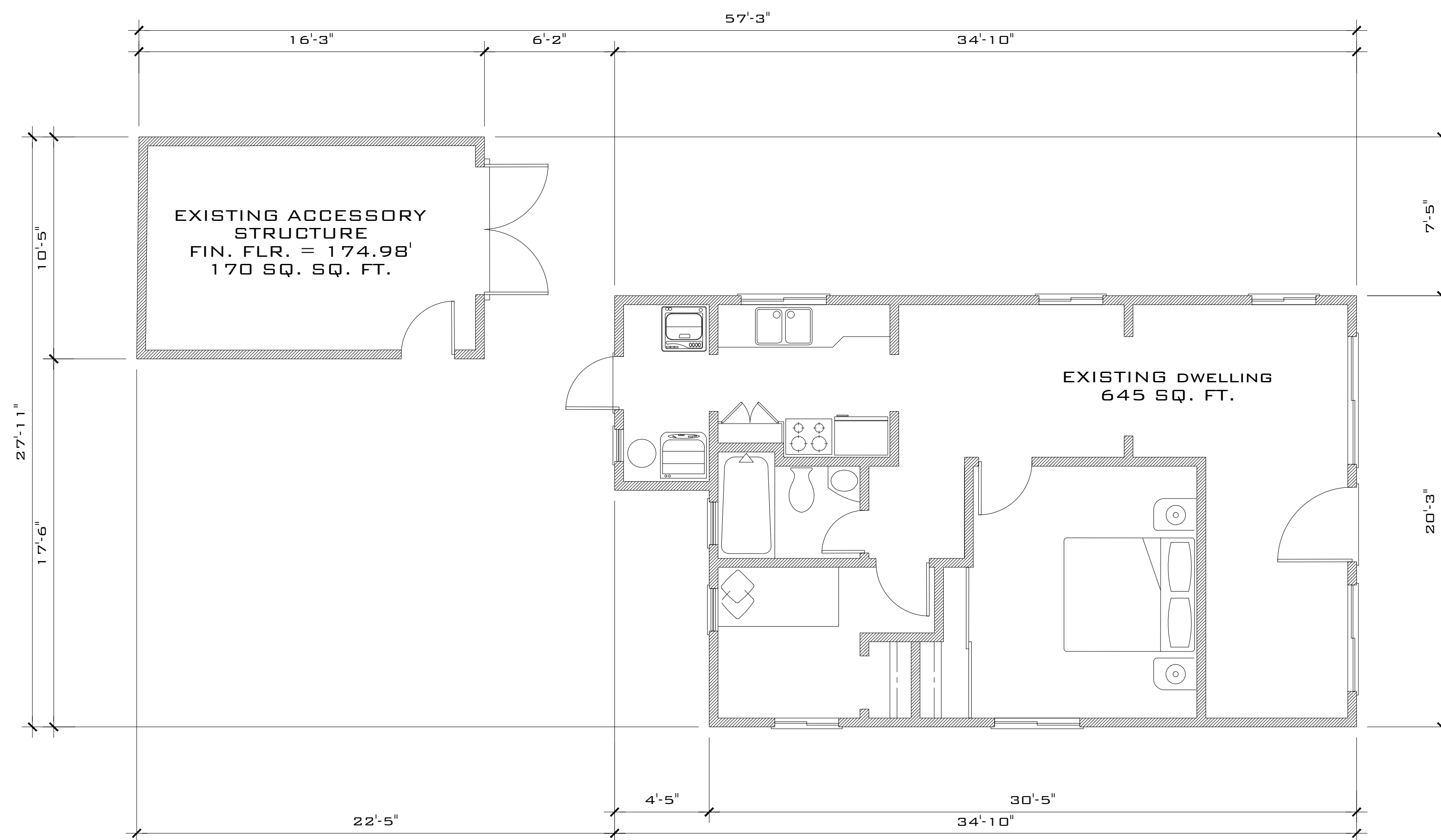
DENSITY:
1/.066

PROPERTY LINES:
NO CHANGE

BUILDING CODE:
CALIFORNIA RESIDENTIAL CODE 2022 EDITION
TYPE VN CONSTRUCTION
R-3 OCCUPANCY
ONE UNIT TWO BEDROOMS

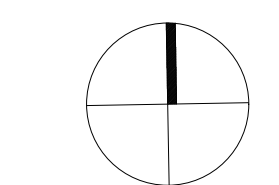
EXISTING SITE / 100 FT RADIUS
SCALE: 1/16" = 1'-0"





EXISTING FLOOR PLAN

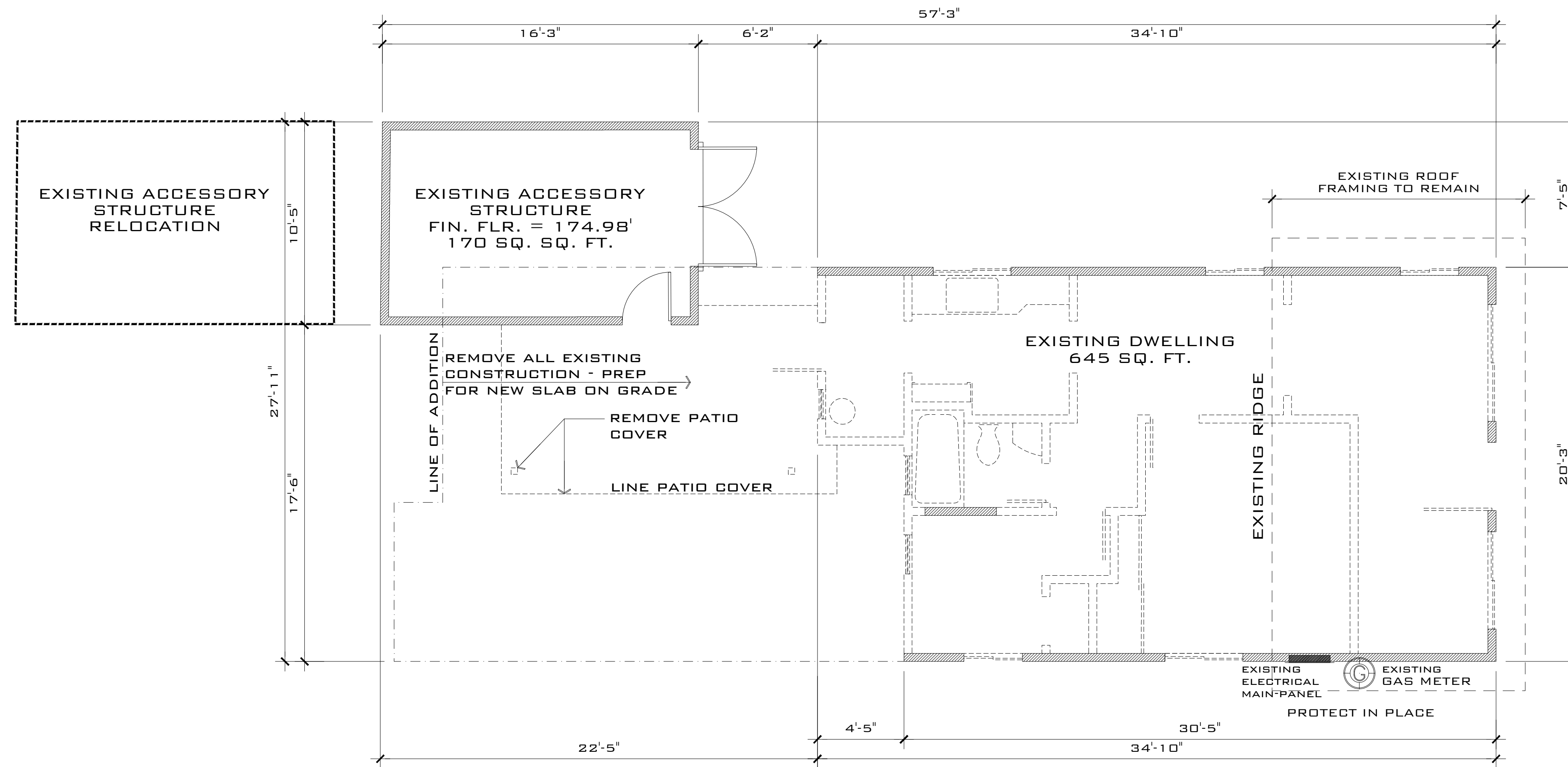
SCALE: 1/4" = 1'-0"



PLAN
NORTH

15' 5' 0'

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
A-2 ARCHITECTURAL DESIGN SOLUTIONS



WALL LEGEND

----- WALL TO BE DEMOLISHED

===== EXISTING WALL TO REMAIN

ALL GAS LINES / FIXTURES TO BE REMOVED

ALL WATER LINES / FIXTURES TO BE REMOVED

ALL ELECTRICAL CONDUITS / FIXTURES TO BE REMOVED

ALL EXTERIOR WINDOWS TO BE REMOVED

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

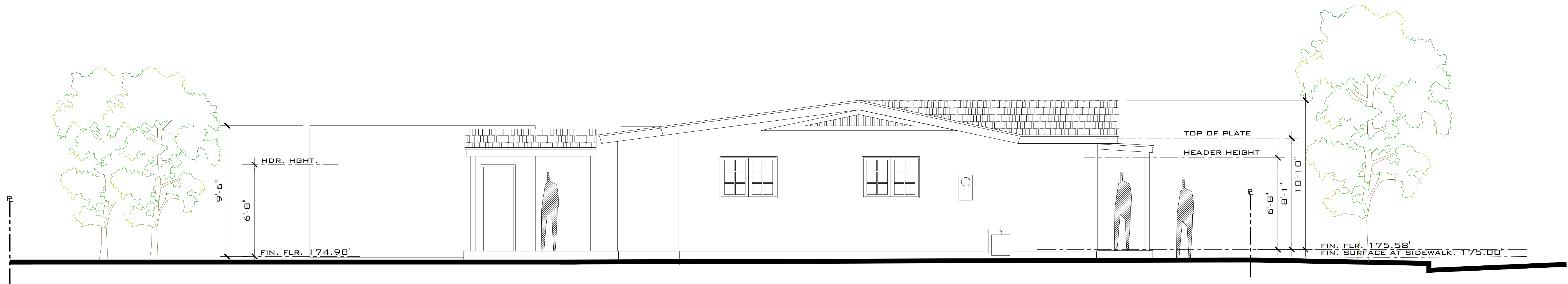


15' 5' 0'

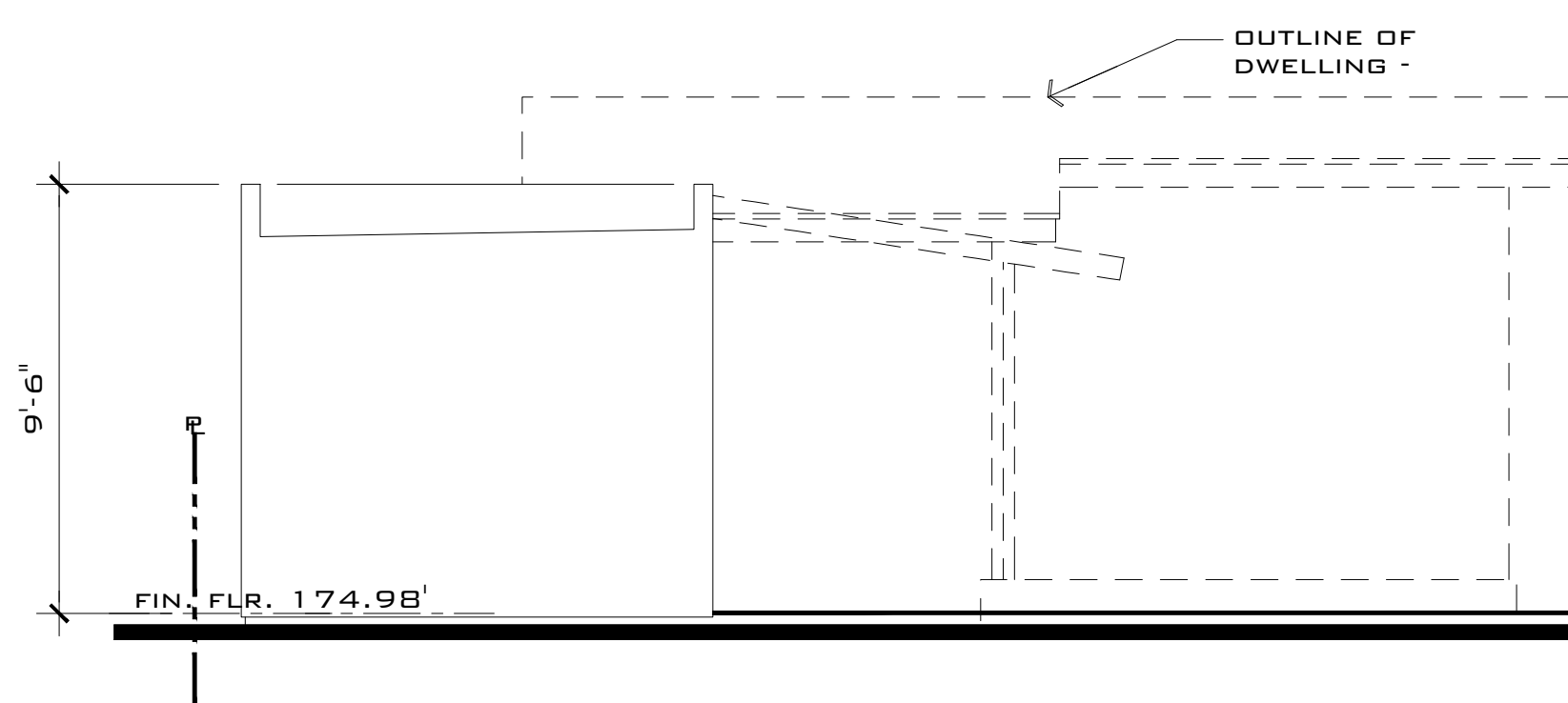
A-2A

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868

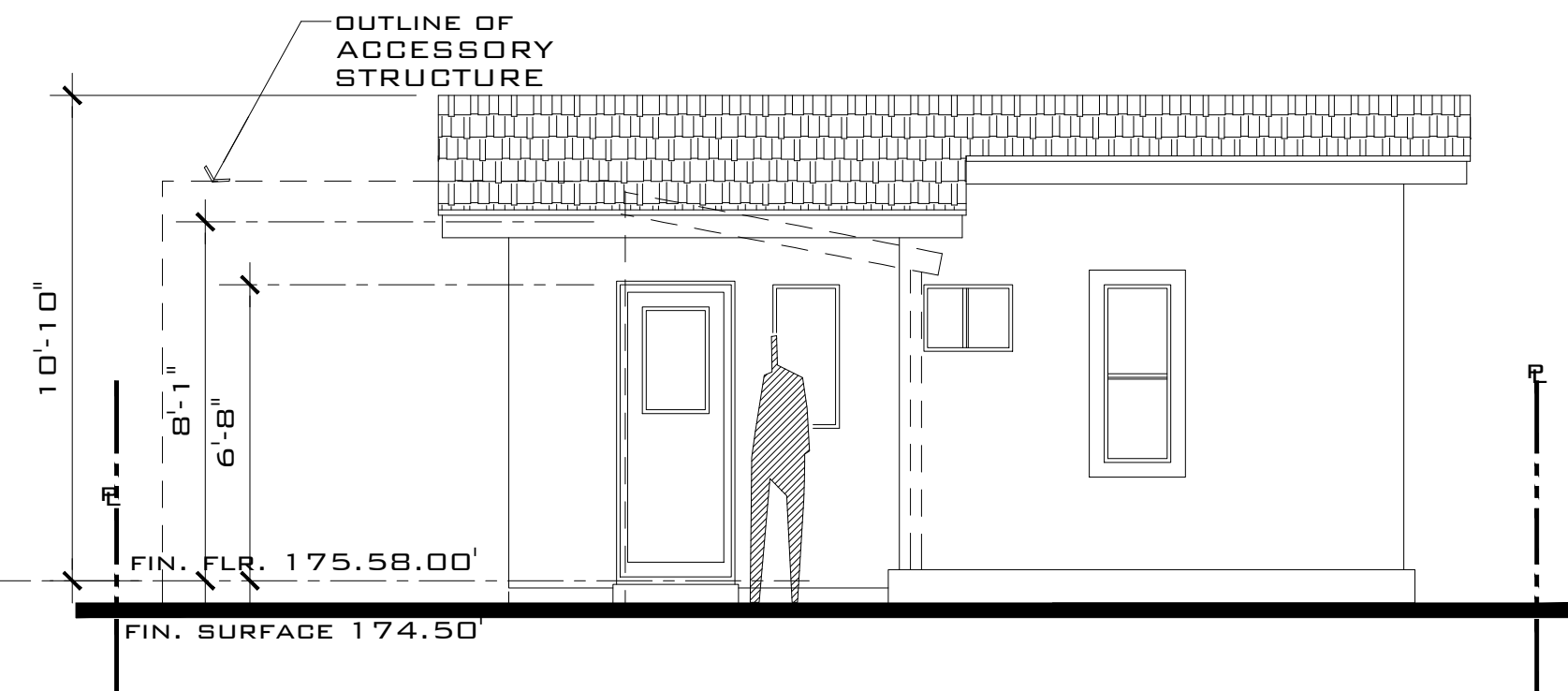
ARCHITECTURAL DESIGN SOLUTIONS



EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



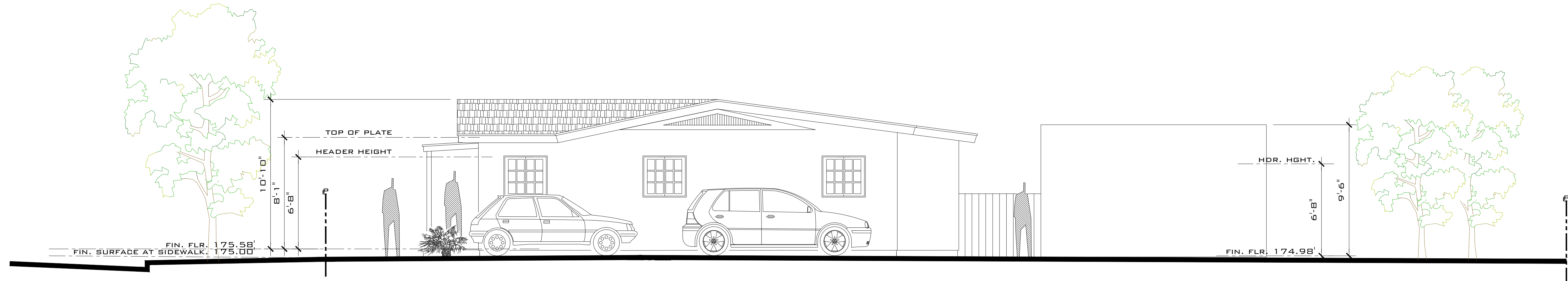
EXISTING WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868
A-3 ARCHITECTURAL DESIGN SOLUTIONS

TABLE 17.14.070
NOTE (C) 4

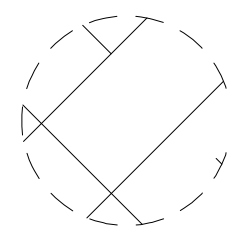
TABLE 17.14.160 (D) MIN.
EXISTING SETBACK
0'-0" SIDE YARD SETBACK

PROPOSED SITE ROOF PLAN

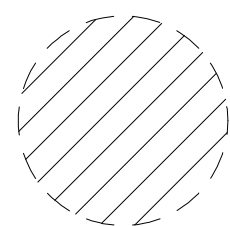
SCALE: 1/4" = 1'-0"



NOTE:
ROOFING SHINGLES
OWENS CORNING
OAKRIDGE 40 "DEEP SHADOW"
UL 790 CLASS "A" FIRE RESISTANCE
EXISTING



AREA OF NEW CONSTRUCTION



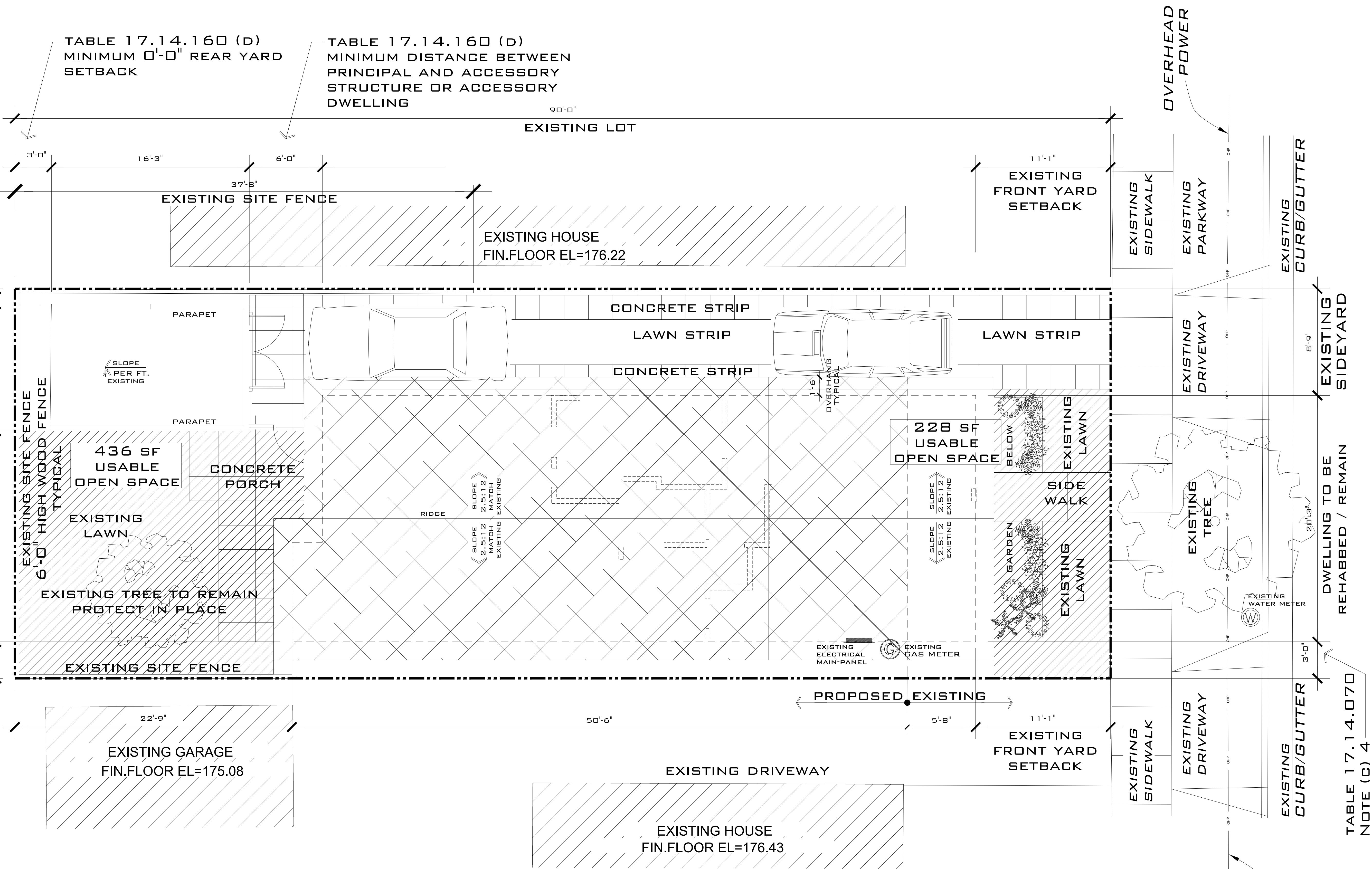
664 SF
USABLE OPEN SPACE



15' 5' 0'

ARCHIECTURAL DESIGN SOLUTIONS
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WRIGHTWOOD, CA. 92397
TELEPHONE:
949 887 2292
EMAIL:
mark@archdesignsol.com

SEE SHEET S-3 FOR ADDITIONAL INFORMATION



C/L S. PIXLEY STREET

REGALADO REMODEL
412 S. PIXLEY STREET

ORANGE, CA 92868

A-4

ARCHITECTURAL DESIGN SOLUTIONS

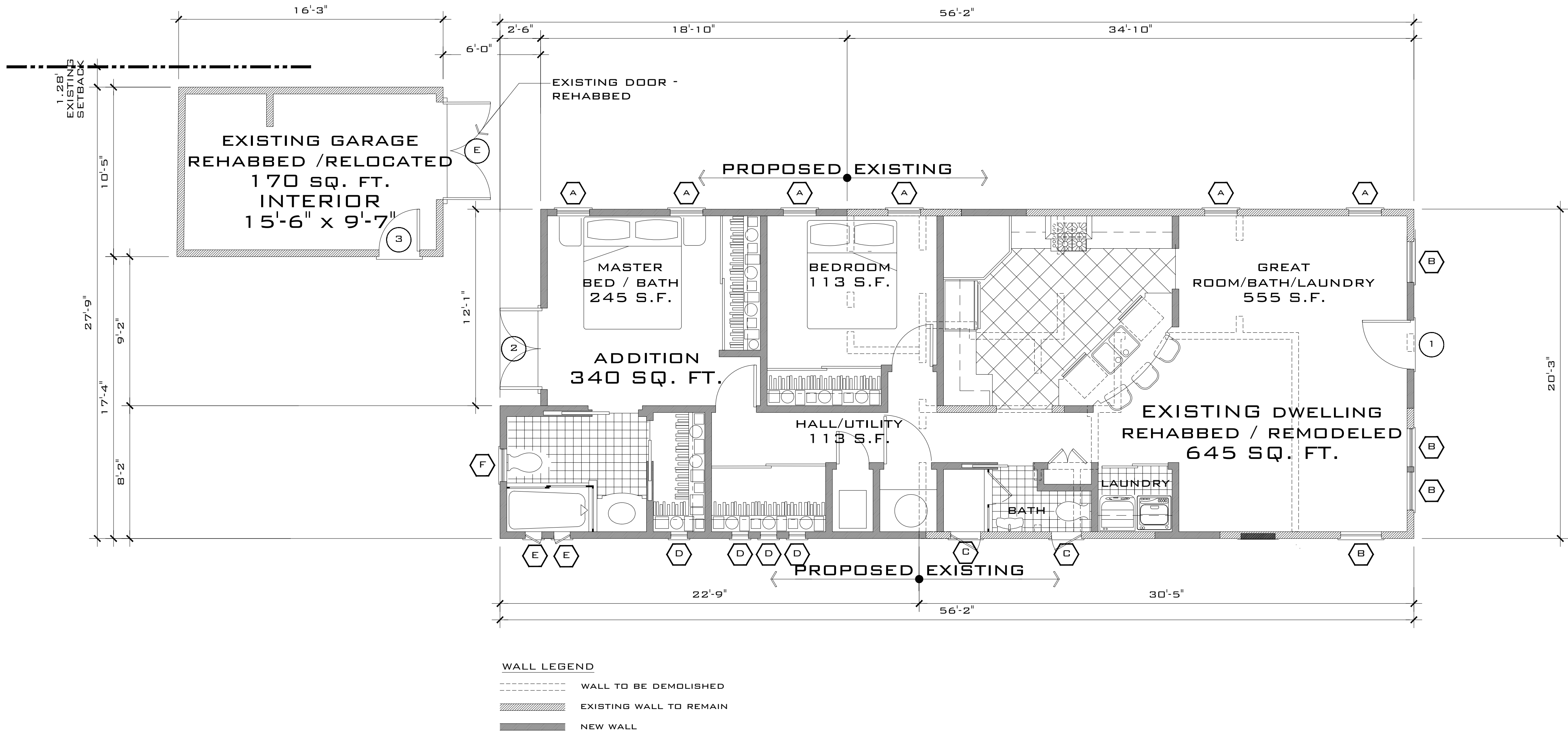
C/L S. PIXLEY STREET

WINDOW SCHEDULE

MARK	QUANTITY	SIZE	OPERATION	FRAME	REMARKS
A	6	2'-0" x 4'-0"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A
B	4	2'-6" x 4'-0"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A
C	2	2'-0" x 2'-0"	CASEMENT	WOOD EXT WOOD INT	SEE SHEET A-6A
D	4	1'-0" x 1'-0"	FIXED	WOOD EXT WOOD INT	SEE SHEET A-6A
E	2	1'-0" x 1'-0"	CASEMENT	WOOD EXT WOOD INT	SEE SHEET A-6A
F	1	2'-0" x 3'-6"	DBL HUNG	WOOD EXT WOOD INT	SEE SHEET A-6A

DOOR SCHEDULE

MARK	QUANTITY	SIZE	TYPE	MATERIAL	REMARKS
1	1	3'-0" x 6'-8"	SWING	WOOD/GLASS	SEE SHEET A-6B
2	1	5'-0" x 6'-8"	DBL DOOR SWING	WOOD/GLASS	SEE SHEET A-6B
3	1	2'-6" x 6'-8"	SWING	WOOD/GLASS	SEE SHEET A-6B



PROPOSED FLOOR PLAN

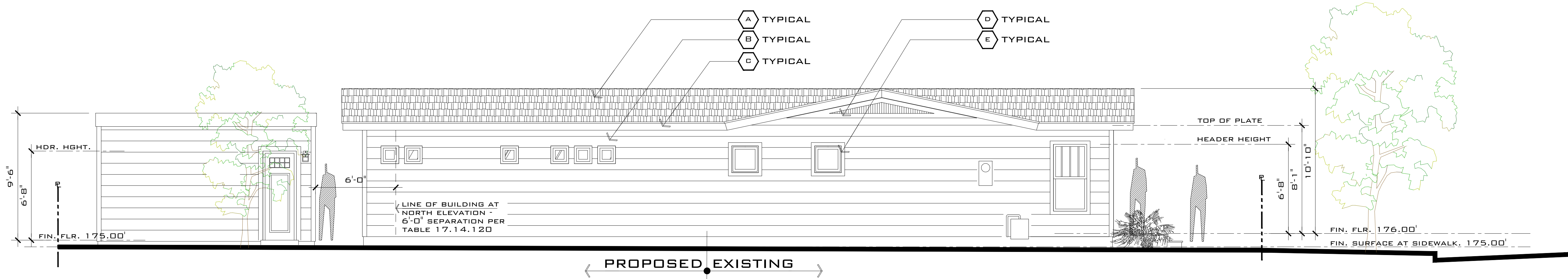
SCALE: 1/4" = 1'-0"



15' 5' 0'

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868

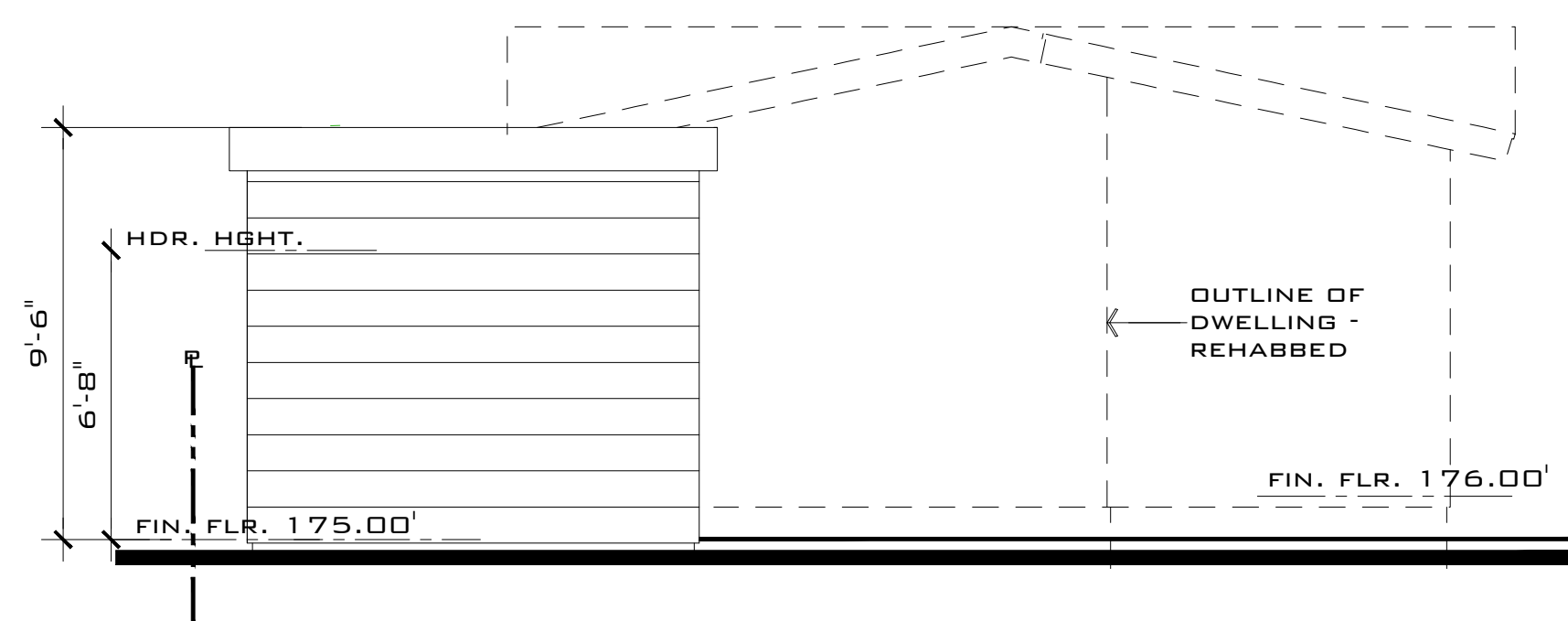
ARCHITECTURAL DESIGN SOLUTIONS



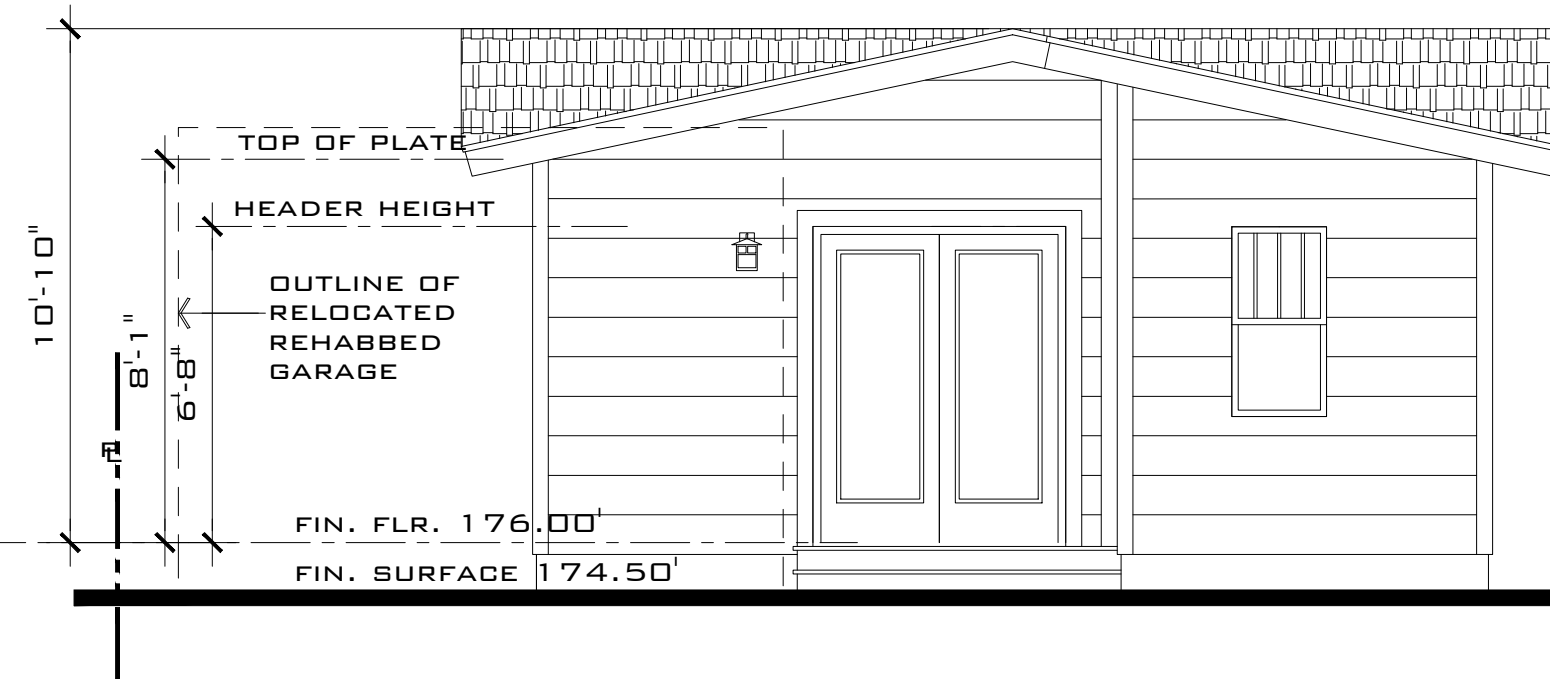
PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FINISH MATERIALS

- | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A ROOFING SHINGLES OWENS CORNING DURATION 40 "ONYX BLACK ONYX" UL 790 CLASS "A" FIRE RESISTANCE | D TRIM - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |
| B HTTPS://WWW.CERTAINTEED.COM/PRODUCTS/SIDING-PRODUCTS/MAINSTREET?MARKETINGPROFILE=DOUBLE_4%22_DUTCHLAP&MARKETINGCOLOR=GRANITE_GRAY | E WINDOWS & DOORS - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |
| C FASCIA-BARGE BOARDS - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER | F GARAGE DOOR (REHABBED) - ALABASTER WHITE: HTTPS://WWW.SHERWIN-WILLIAMS.COM/HOMEOWNERS/PRODUCTS/SW7008-ALABASTER |



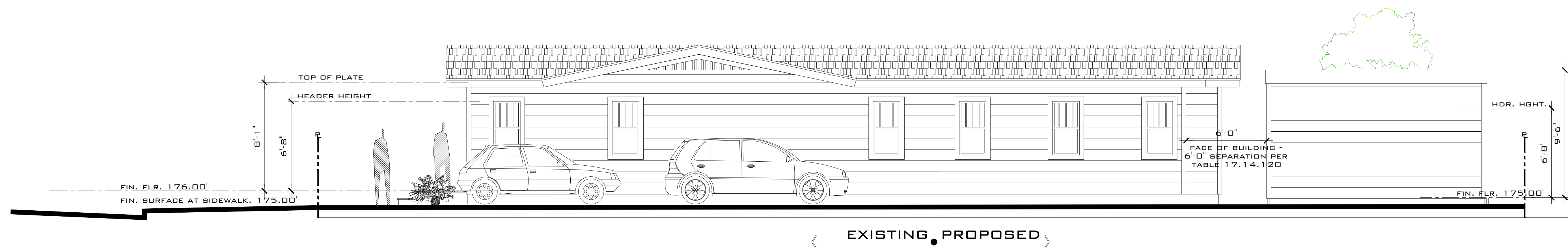
PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL



PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL

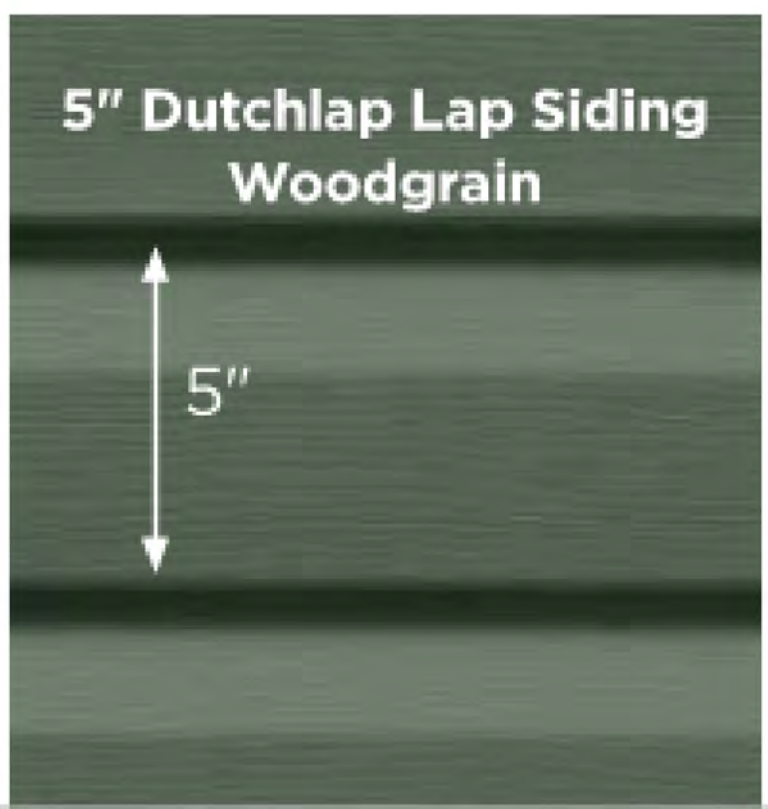


PROPOSED EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"
SEE SOUTH ELEVATION FOR FINISH MATERIALS - TYPICAL

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS

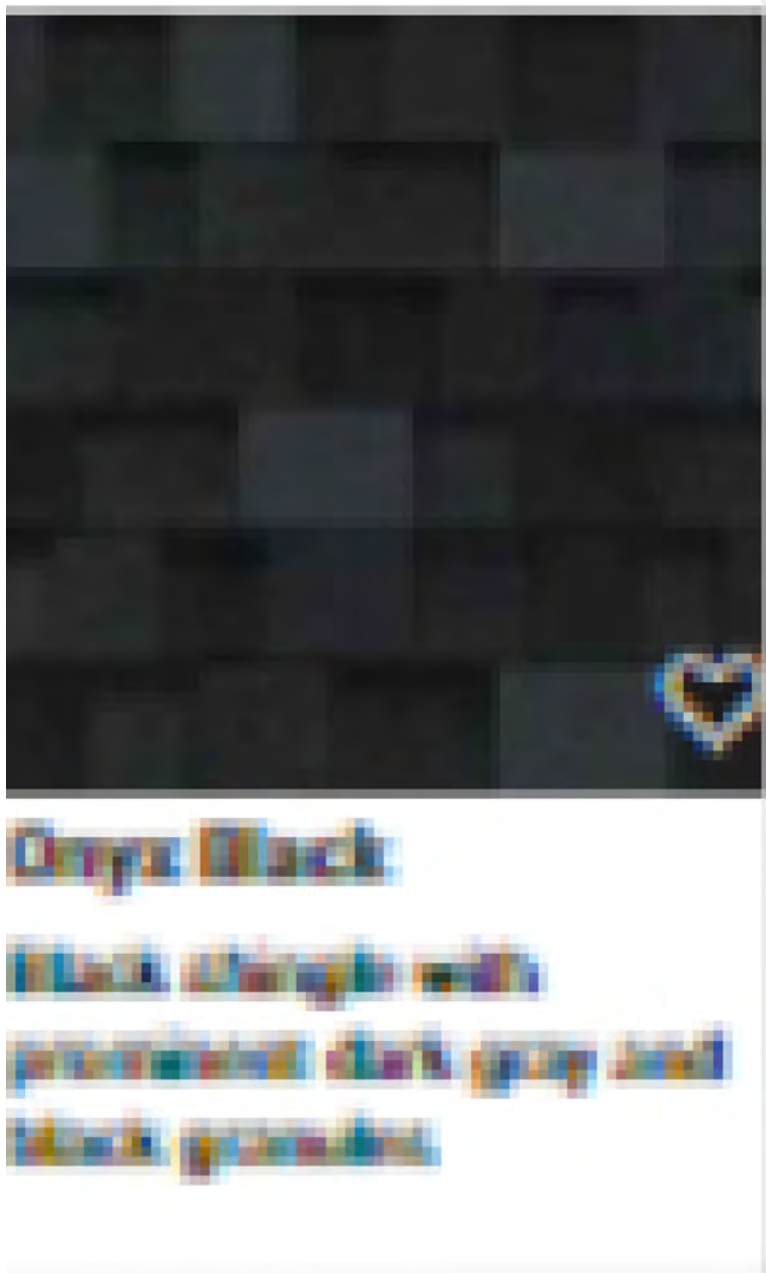


5" Dutchlap Woodgrain	•	•	•	•	•	•	•	•	•	•
6-1/2" Beaded Brushed										•
8" Clapboard Woodgrain										
Deluxe Colors	Autumn Red	Sable Brown*	Hearthstone*	Spruce*	Forest*	Pacific Blue*	Wedgewood Blue	Flagstone*	Charcoal Gray*	Castle Stone
										Granite Gray

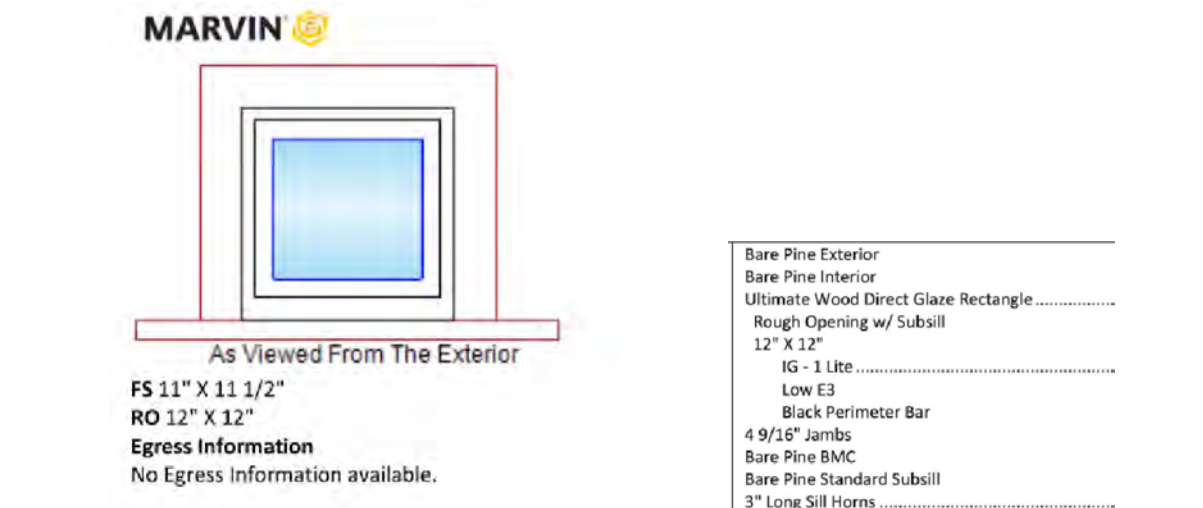
https://www.certainteed.com/products/siding-products/mainstreet?marketingprofile=double_4%22_dutchlap&marketingcolor=granite_gray

PROPOSED EXTERIOR FINISH MATERIALS

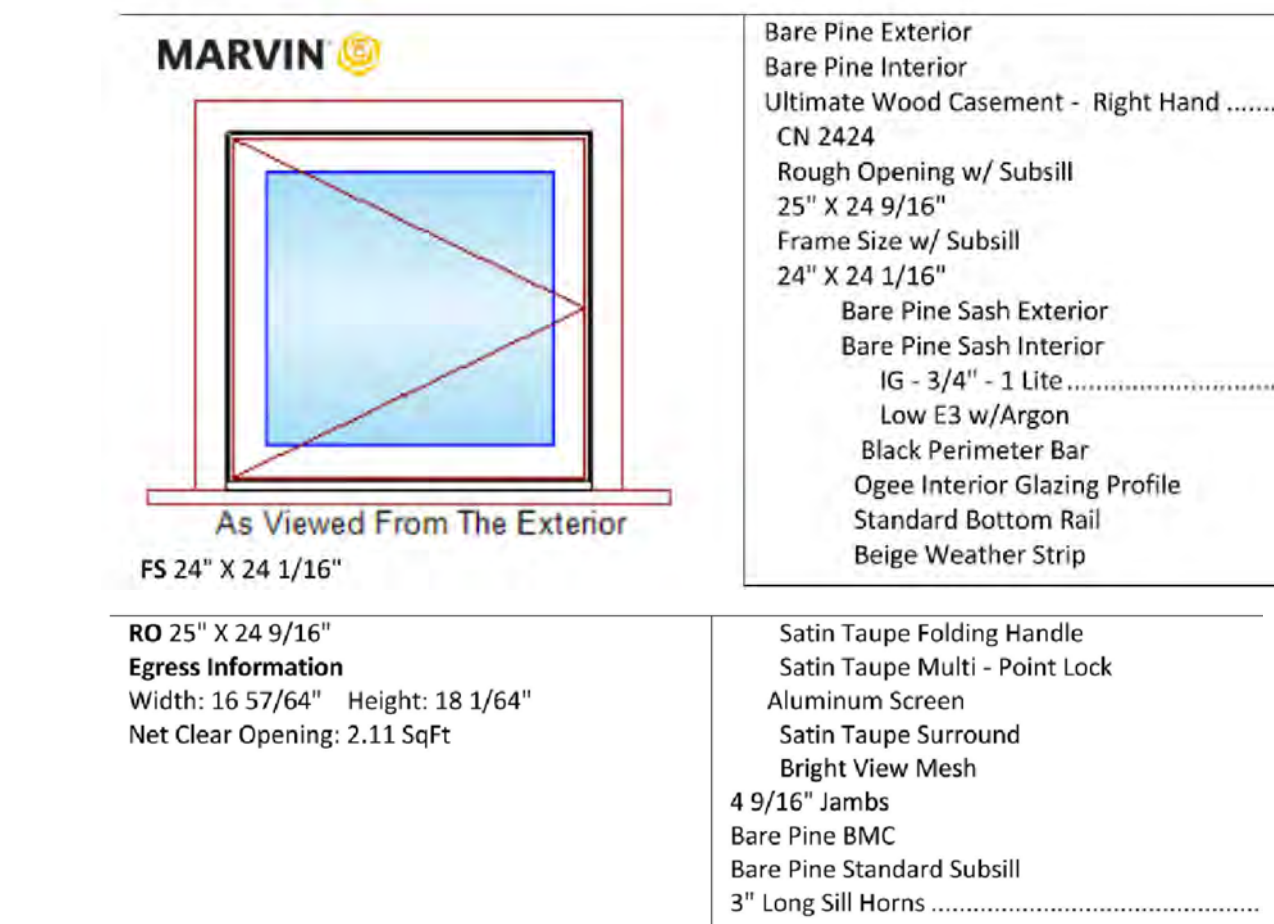
- [FASCIA-BARGE BOARDS - ALABASTER WHITE:](https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster)
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>
- [TRIM - ALABASTER WHITE:](https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster)
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>
- [WINDOWS & DOORS - ALABASTER WHITE:](https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster)
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>
- [GARAGE DOOR \(REHABBED\) - ALABASTER WHITE:](https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster)
<https://www.sherwin-williams.com/homedowners/products/sw7008-alabaster>



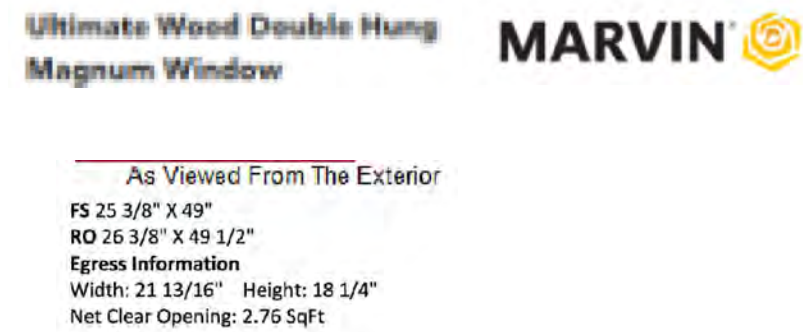
[ROOFING SHINGLES OWENS CORNING DURATION 40](https://www.owens-corning.com/duration40)
"ONYX BLACK ONYX"
UL 790 CLASS "A" FIRE RESISTANCE



<https://www.marvin.com/products/windows/picture>



<https://windowsolutionsplus.com/marvin-signature-ultimate-casement-push-out-window/>



<https://www.marvin.com/products/windows/double-hung/ultimate-wood-double-hung-magnum-window>

PROPOSED WINDOWS

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412 S. PIXLEY STREET
ORANGE, CA. 92868
ARCHITECTURAL DESIGN SOLUTIONS
A-6A



https://www.homedepot.com/p/Krosswood-Doors-36-in-x-96-in-Craftsman-Alder-Left-Hand-6-Lite-Clear-Provincial-Stain-Wood-Dentil-Shelf-Single-Prehung-Front-Door-Phed-KA-550DS-30-80-134-LH-PR/309338359?MERCH=REC_-PIPSEM_-314277374_-6_-N/A_-N/A_-N/A_-N/A_-N/A#overlay

1

36 in. x 96 in. Craftsman Alder Left Hand 6-Lite Clear Provincial Stain Wood/Dentil Shelf Single Prehung Front Door



https://www.doors.com/products/full-lite-knotty-alder-solid-core-double-door-1?variant=48926348378393¤cy=USD&utm_medium=product_sync&utm_source=google&utm_content=sag_organic&utm_campaign=sag_organic&utm_term=&utm_campaign=performance+max+all+products&utm_source=adwords&utm_medium=ppc&hsa_acc=6178487494&hsa_cam=21734932468&hsa_grp=&hsa_ad=&hsa_src=x&hsa_tgt=&hsa_kw=&hsa_mt=&hsa_net=adwords&hsa_ver=3&gclid=EAIaIQobChMI4LUIOMQVIQMVFQCTBH1MNY9NEAQYBIABEGLLVVD_BWE

2

FULL LITE KNOTTY ALDER SOLID CORE DOUBLE DOOR



<https://www.discountdoorsandmore.com/product/8-lite-over-2-panel-craftsman-mahogany-exterior-single-door-slab-HTC-50/>

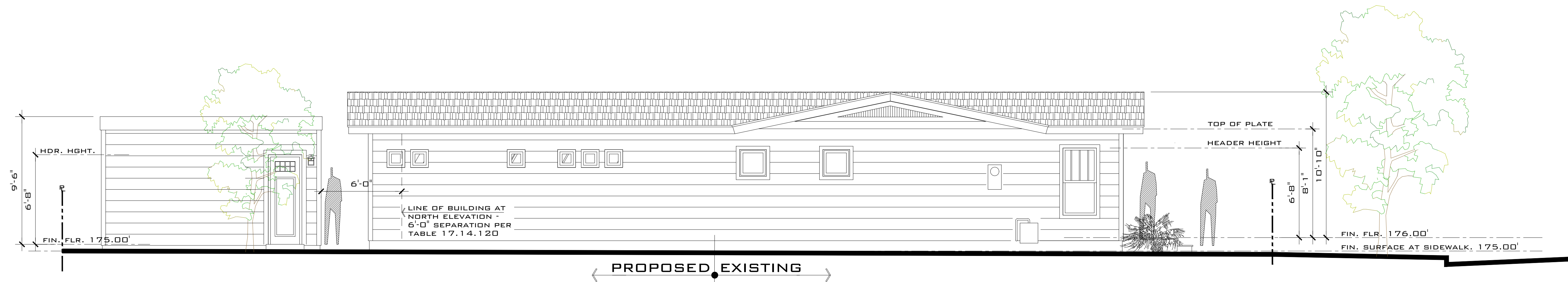
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8-LITE OVER 2-PANEL CRAFTSMAN EXTERIOR SINGLE DOOR SLAB - HTC 50

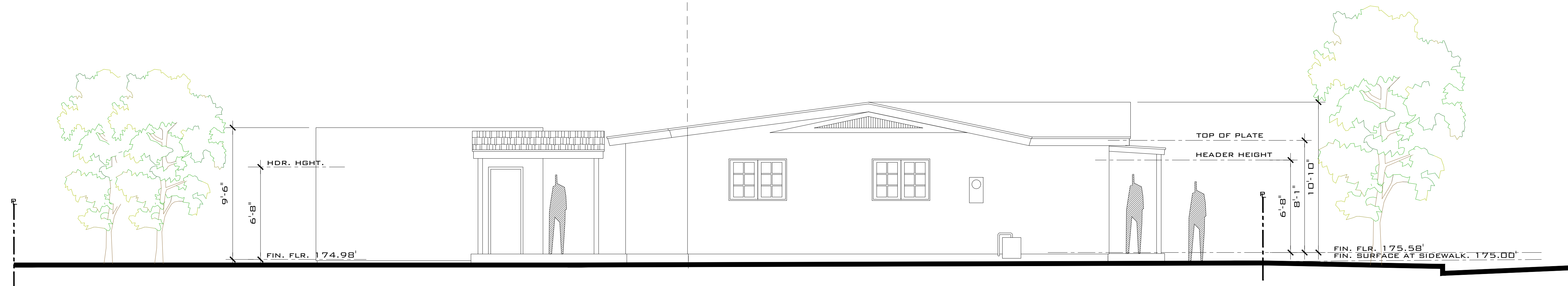
REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA. 92868

ARCHITECTURAL DESIGN SOLUTIONS

A-6B

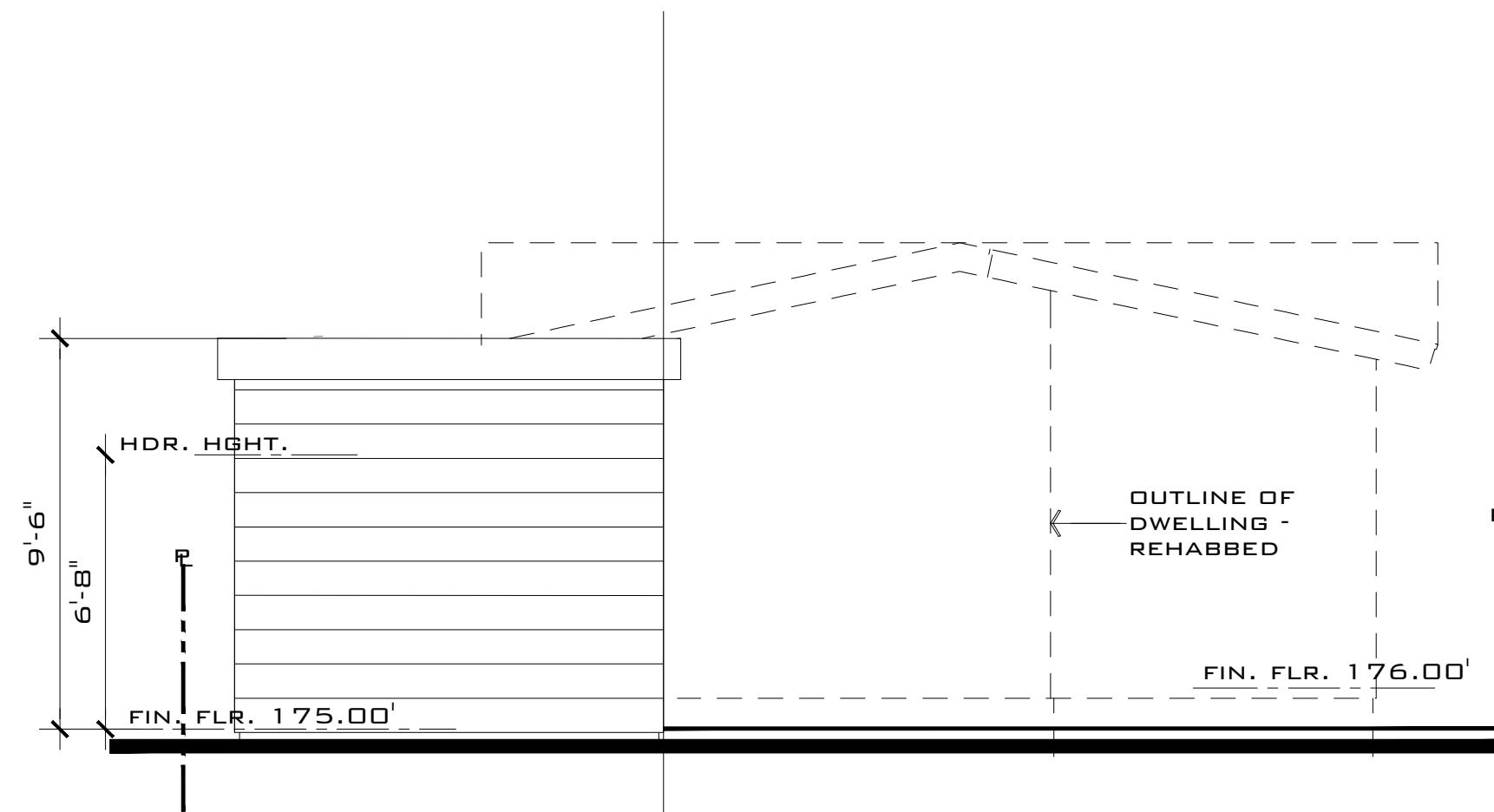


PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

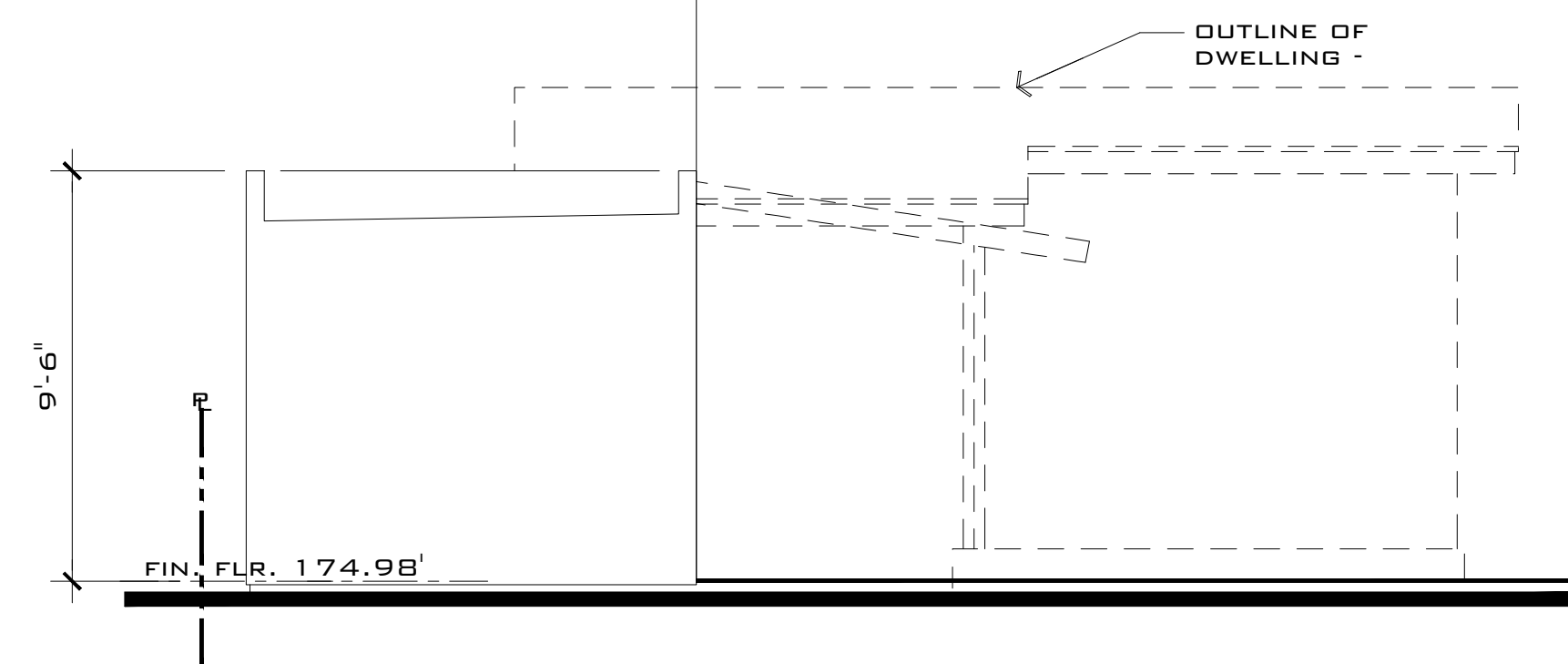


EXISTING SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

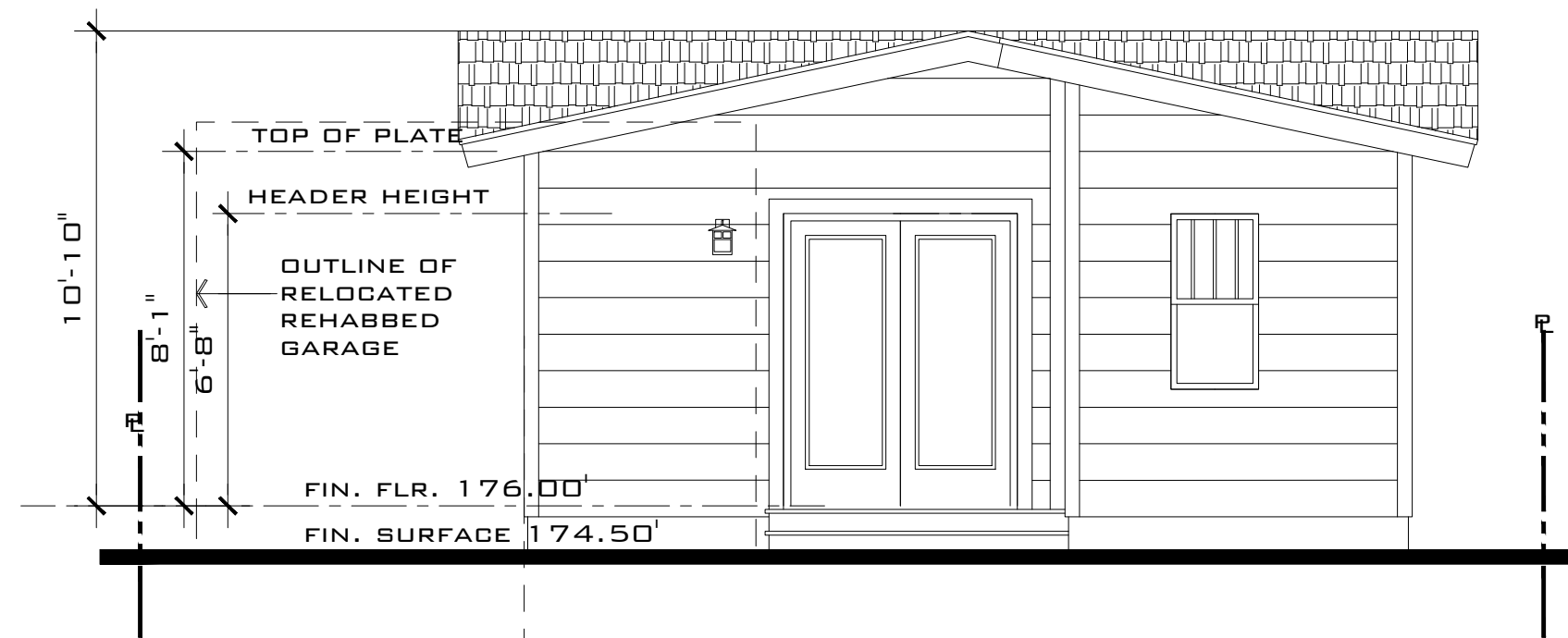
EXISTING ELEVATION VS PROPOSED ELEVATIONS



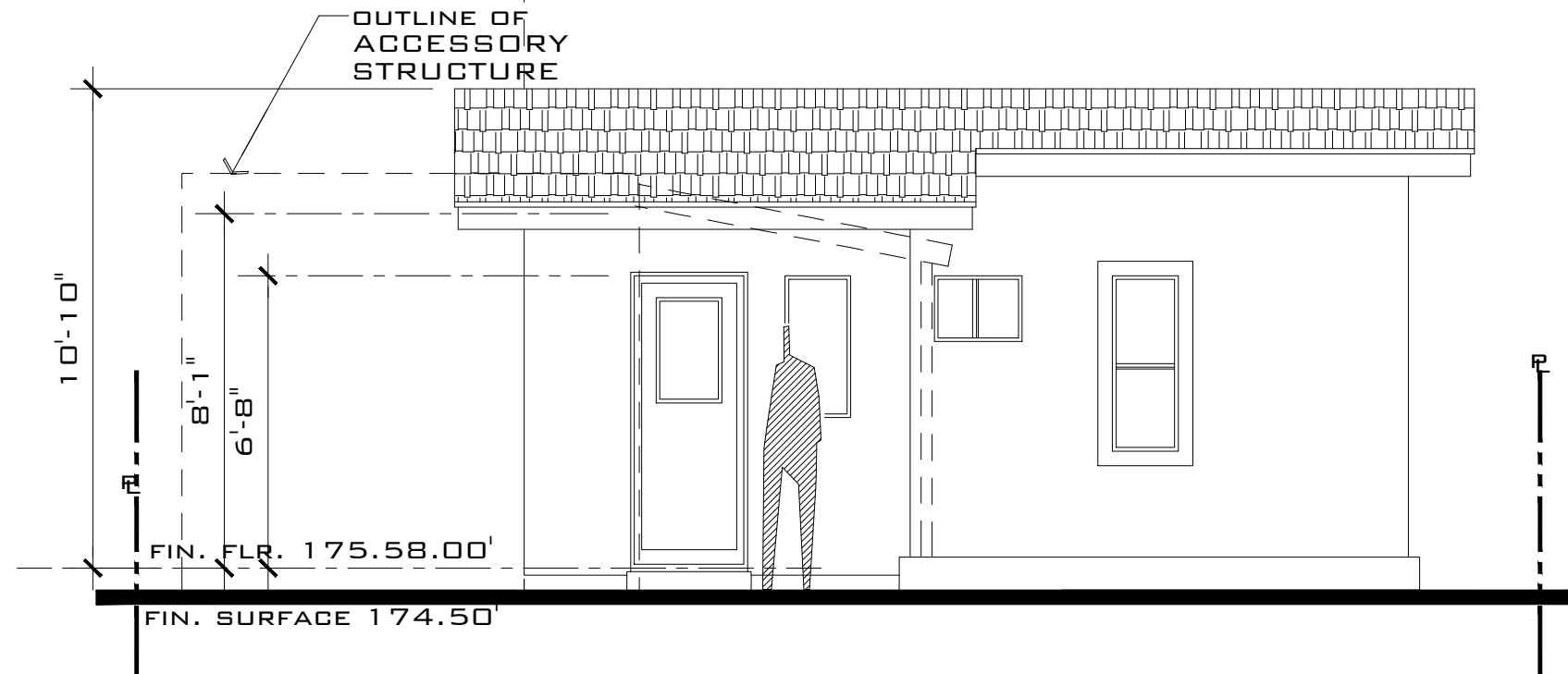
PROPOSED WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



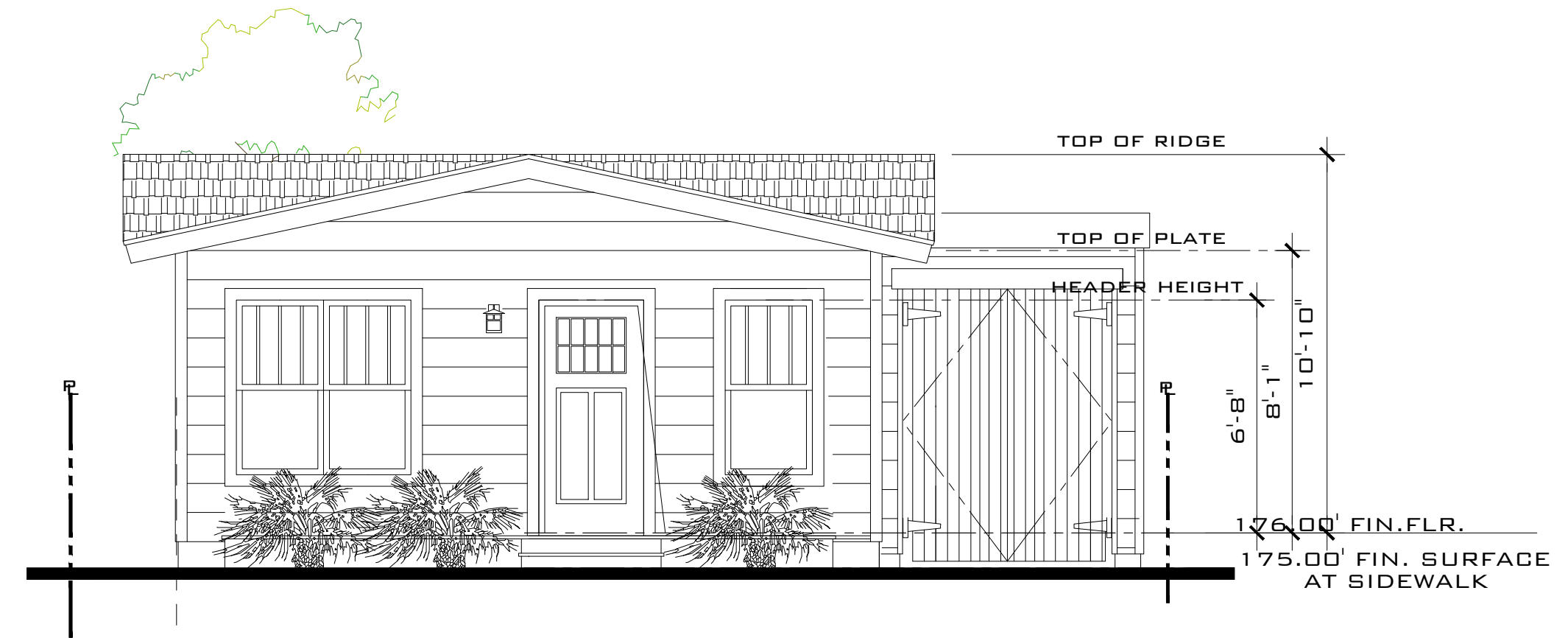
EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST
REAR ELEVATION
SCALE: 1/4" = 1'-0"

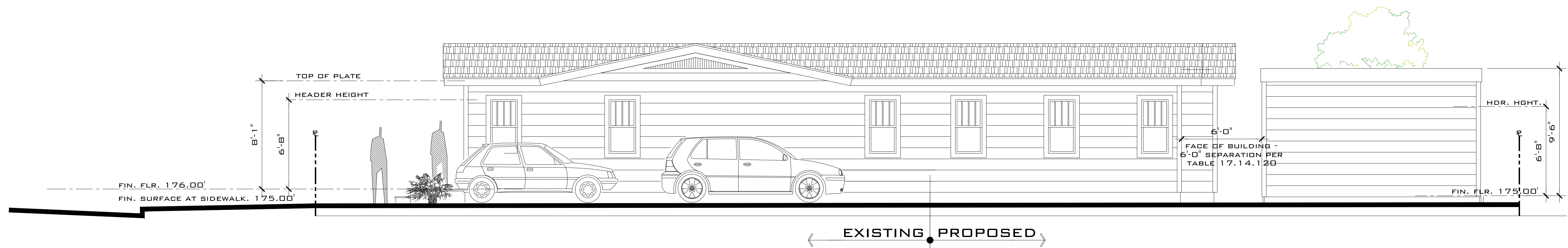


PROPOSED EAST
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

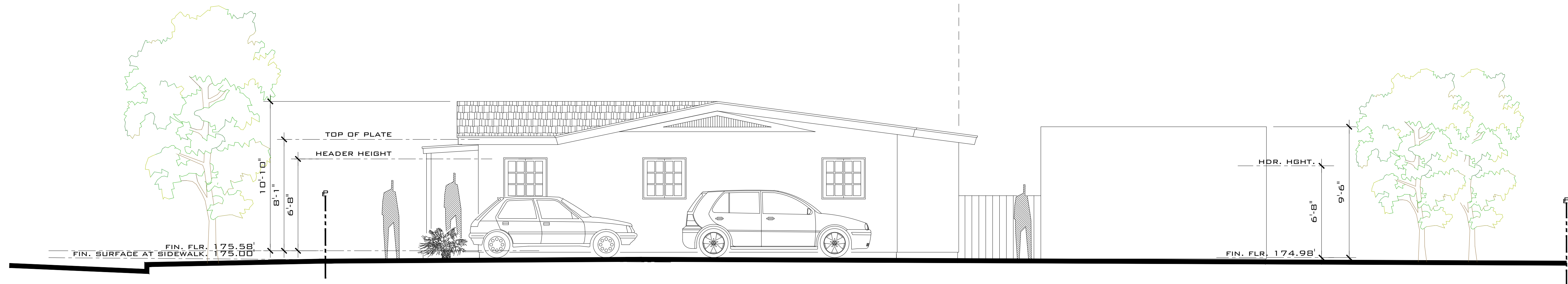


EXISTING EAST
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION VS PROPOSED ELEVATIONS



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION VS PROPOSED ELEVATIONS

REGALADO REMODEL
412 S. PIXLEY STREET
ORANGE, CA 92868

ARCHITECTURAL DESIGN SOLUTIONS

A-6E



416



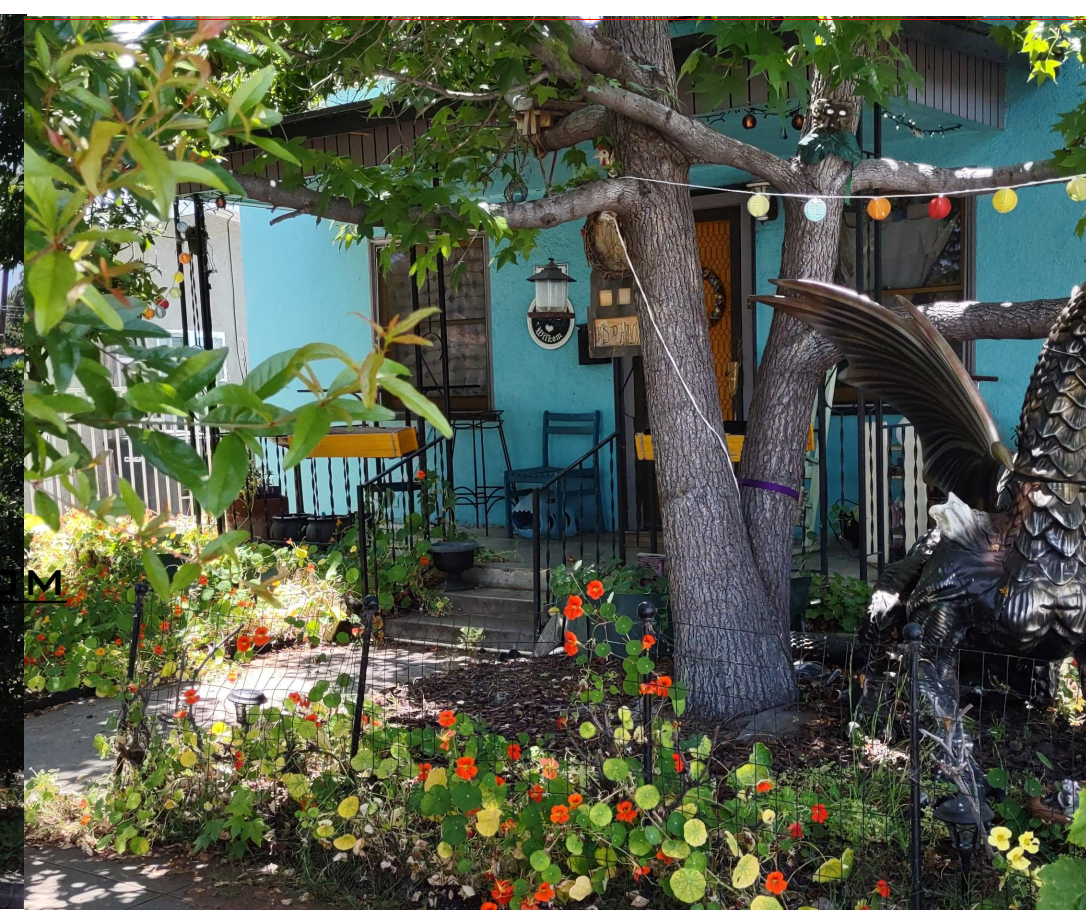
416



412



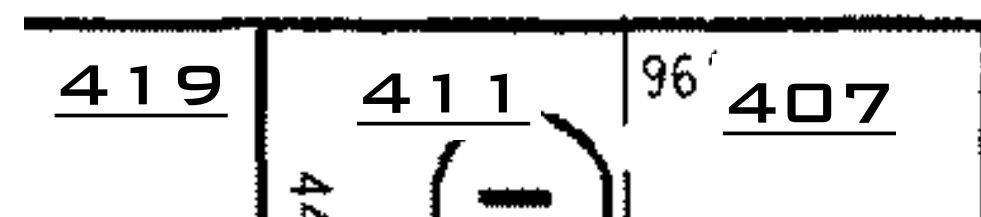
412



404



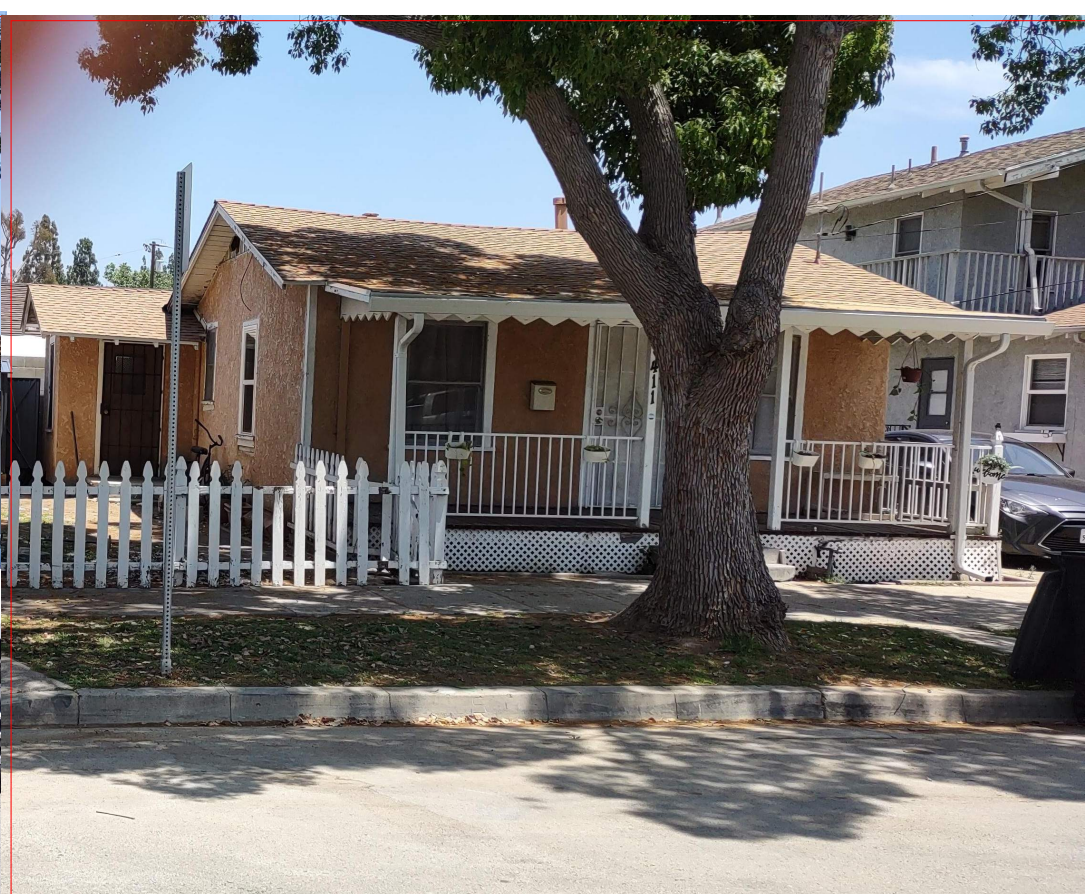
STREET 60'



SITE AREA PLAN



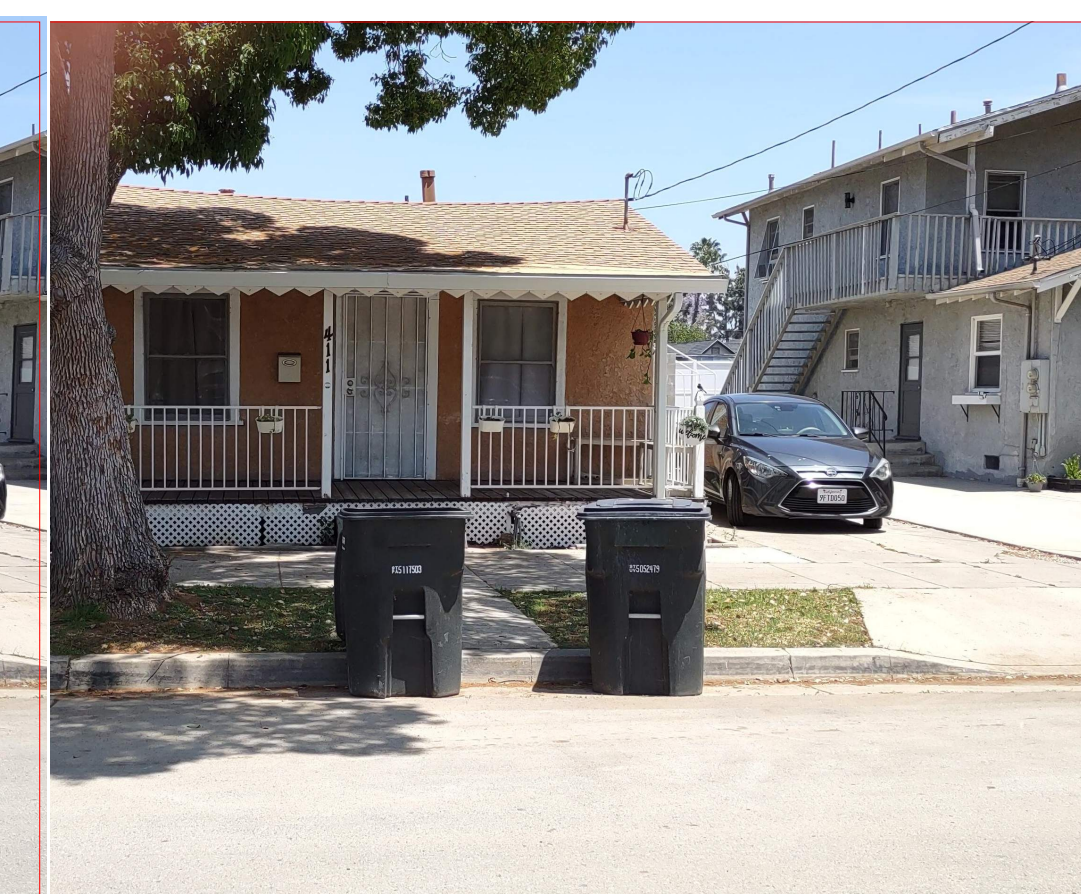
407



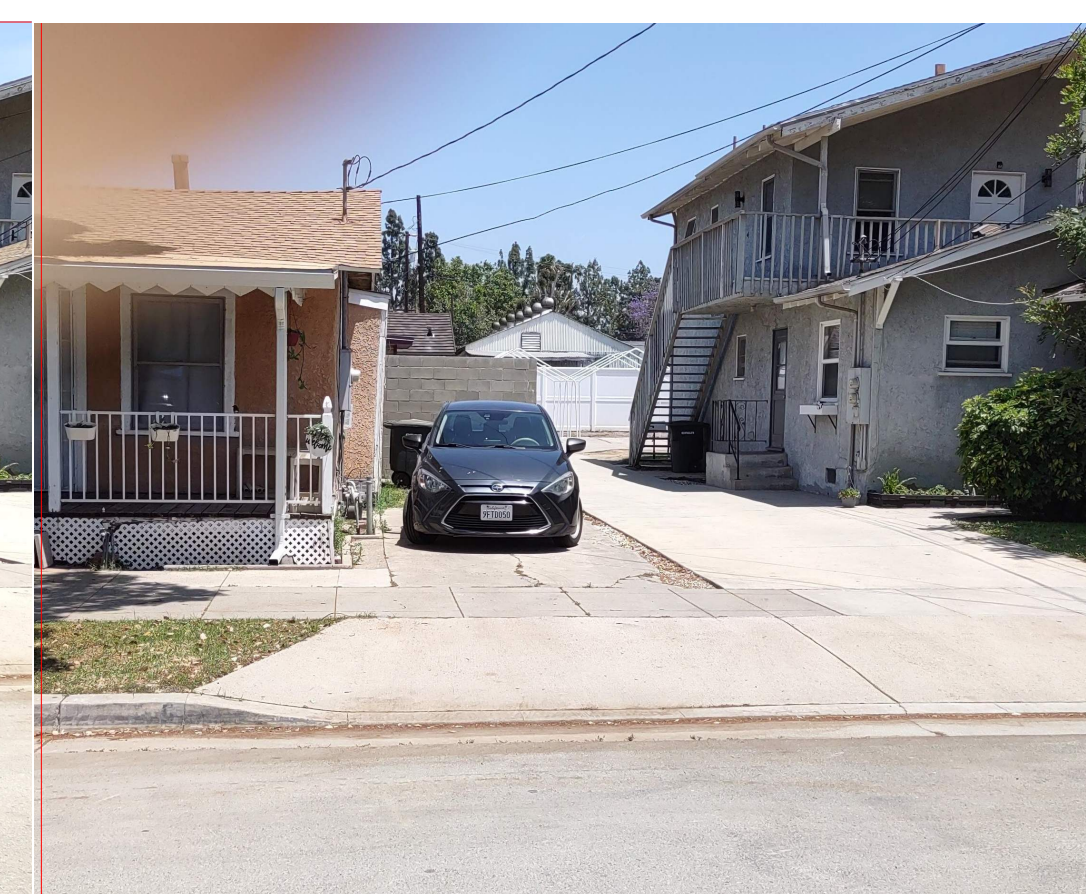
411



411



411



411/419

EXISTING SITE PHOTOS

SCALE: NTS

REGALADO REMODEL
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ORANGE, CA 92868
ARCHITECTURAL DESIGN SOLUTIONS

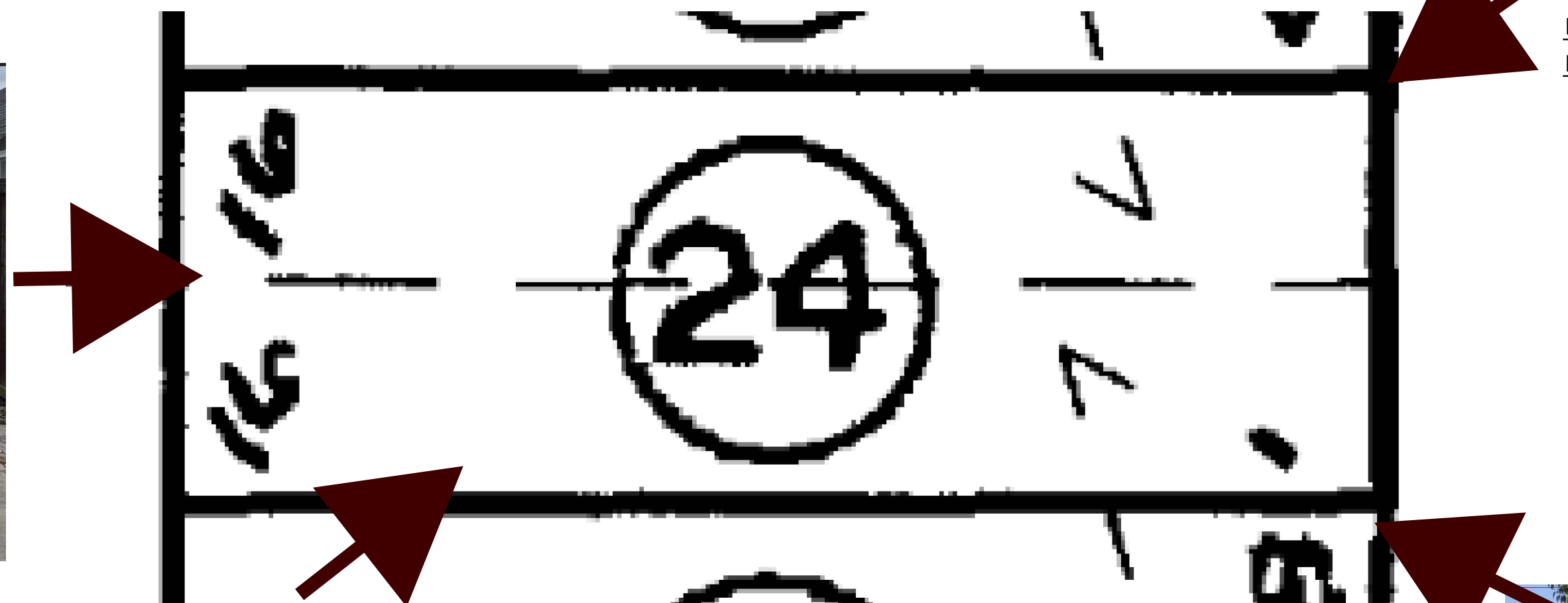
A-7



REAR FROM THE WEST



GARAGE REAR AND SIDE FROM THE WEST



FRONT AND SIDE / GARAGE FROM NORTHEAST



FRONT AND SIDE FROM SOUTHEAST

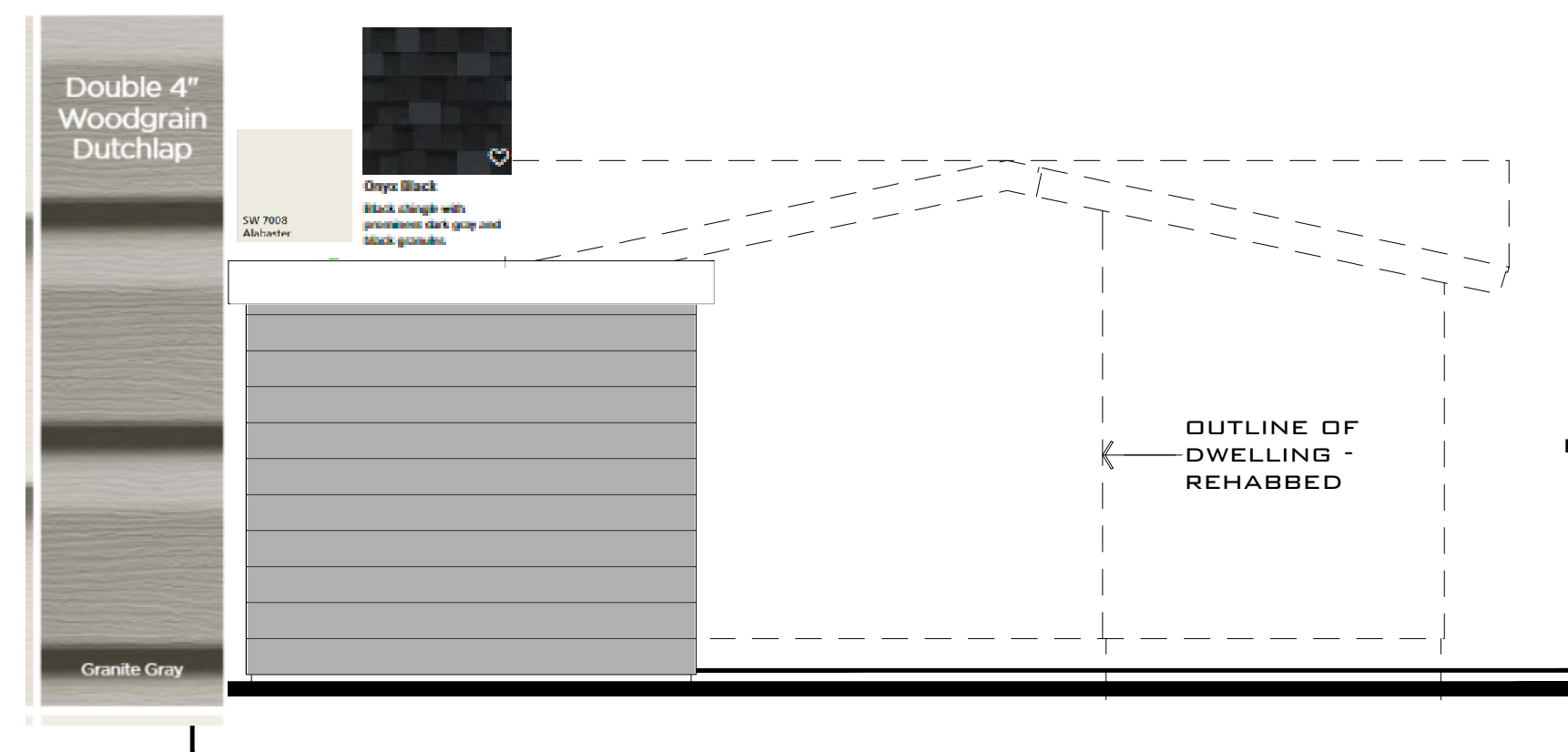


EXISTING SITE PHOTOS

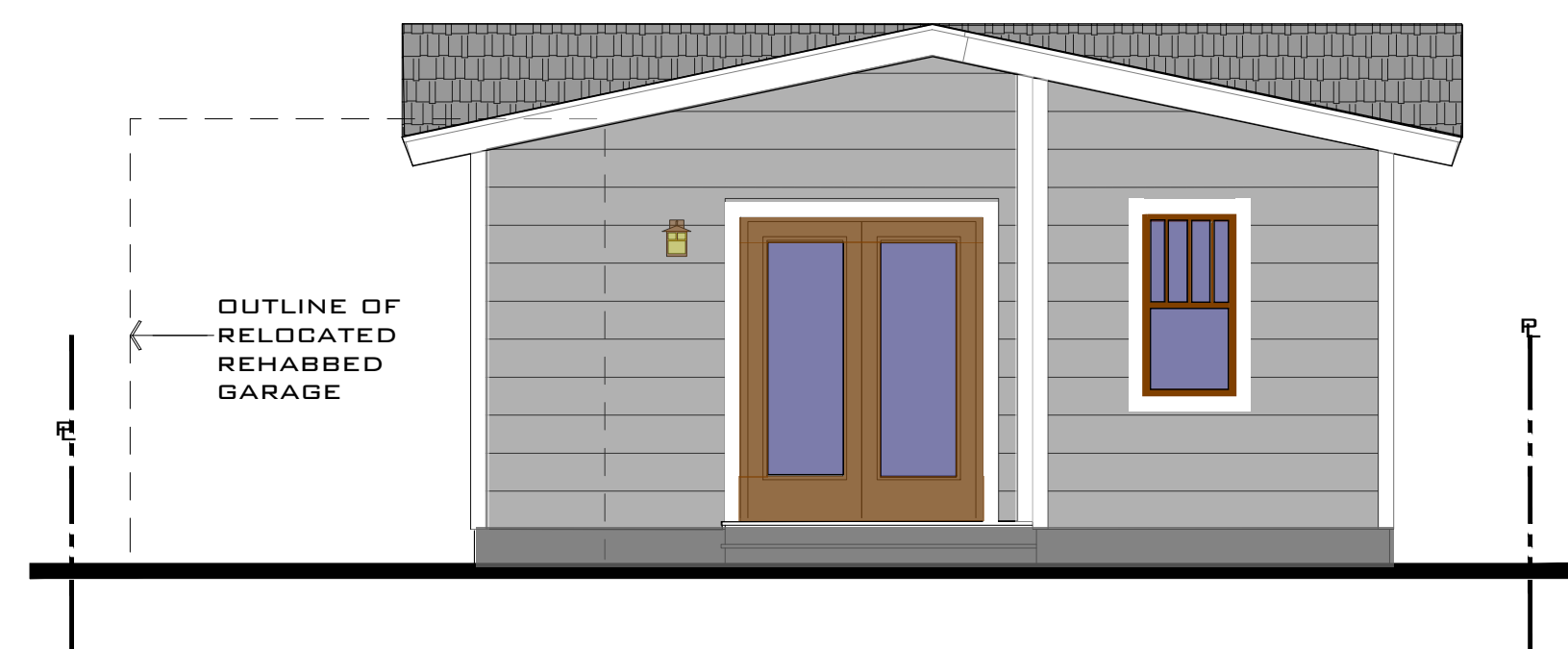
SCALE: NTS



PROPOSED SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



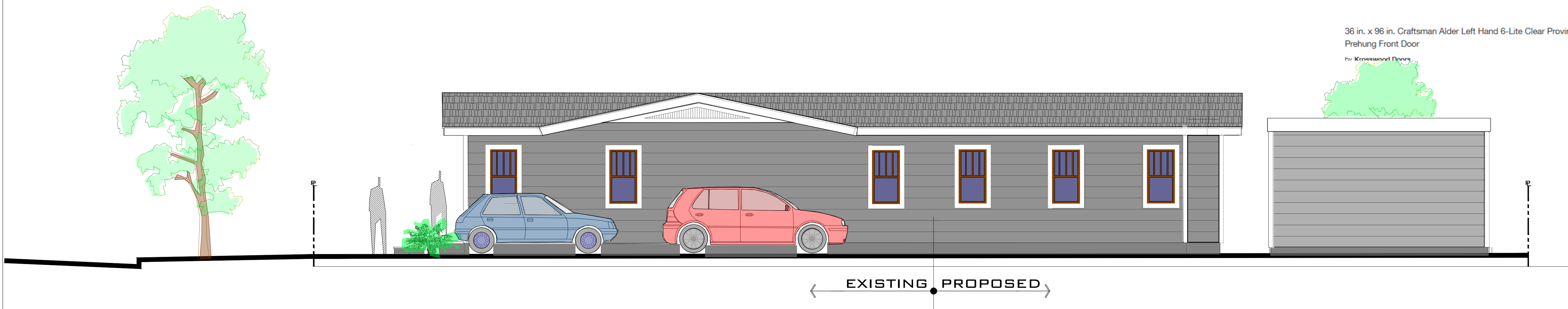
PROPOSED WEST REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

R G A L A D O R E M O D E L
4 2 S . P I X L E Y S T R E E T
O R A N G E , C A . 9 2 8 6 8
A - 0 A R C H I T E C T U R A L D E S I G N S O L U T I O N S

Appendix – Structural Assessment for 412 S. Pixley Street, Shucri Yaghi Consulting Engineers, Inc. (September 24, 2024)

SHUCRI YAGHI CONSULTING ENGINEERS, INC.

Residential & Commercial. License No. C43205

112 E. Chapman Ave, Suite D, Orange, CA 92866 TEL: 714/997-9120 yaghi-engineers@live.com

Date: 9/24/24

Job #: 24204

To: City of Orange Development Department

From: Shucri I. Yaghi, P.E.

Regarding: 412 S Pixley St
Orange, CA 92868

Subject: Structural assessment of an existing one-car garage.

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Findings:

We have visited the site and visually observed the overall structural condition of an existing one-car garage. The garage has balloon framed walls and a flat roof with cap sheets. The walls have 2x4 studs at 16" O/C with stucco exterior and drywall interior. The roof is built with old 2x4 lumber, spanning in the long direction, from front to back. Later, the roof was reinforced by adding 2x4s at 16" O/C, in the short direction. The 2x4s in the short direction were placed beneath the existing to shore up the sagging in the roof. The garage sits on a slab on grade which most likely has no footings and is sinking below grade. Newer concrete curbs were added along the left and rear sides in an effort for preventing water intrusion. The front door is a double swing wood door. There is a man door at the left side as well as a window next to it that is boarded up with plywood. The settling makes the door hard to close. There is evidence of dry rot at the exposed ends of the original 2x4 roof joists and most likely dry rot at the lower portions to the studs and sill plates due to its location being below grade.

It is our opinion that the garage can be moved, moving the garage will require stripping off most finishes, retrofitting the existing framing, and seismic upgrading, and new footings and slab. However, due to its condition and since the structure is not a contributing structure, we strongly recommend to tear it down and rebuild a similar garage that meets planning department requirements. Please see the attached photos.

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112 E. Chapman Ave, Suite D, Orange, CA 92866 TEL: 714/997-9120 yaghi-engineers@live.com

Limitations:

The professional services provided have been performed, my findings obtained, and my comments prepared in accordance with generally accepted engineering practices. The author does not undertake the guarantee of the construction or the underlying geotechnical or structural integrity of any component of the property not readily observable and specifically referenced herein. This report does not serve as a guarantee but instead serves as a memorial of a single site observation visit.

Thank you,



Shucri I. Yaghi, P.E.

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