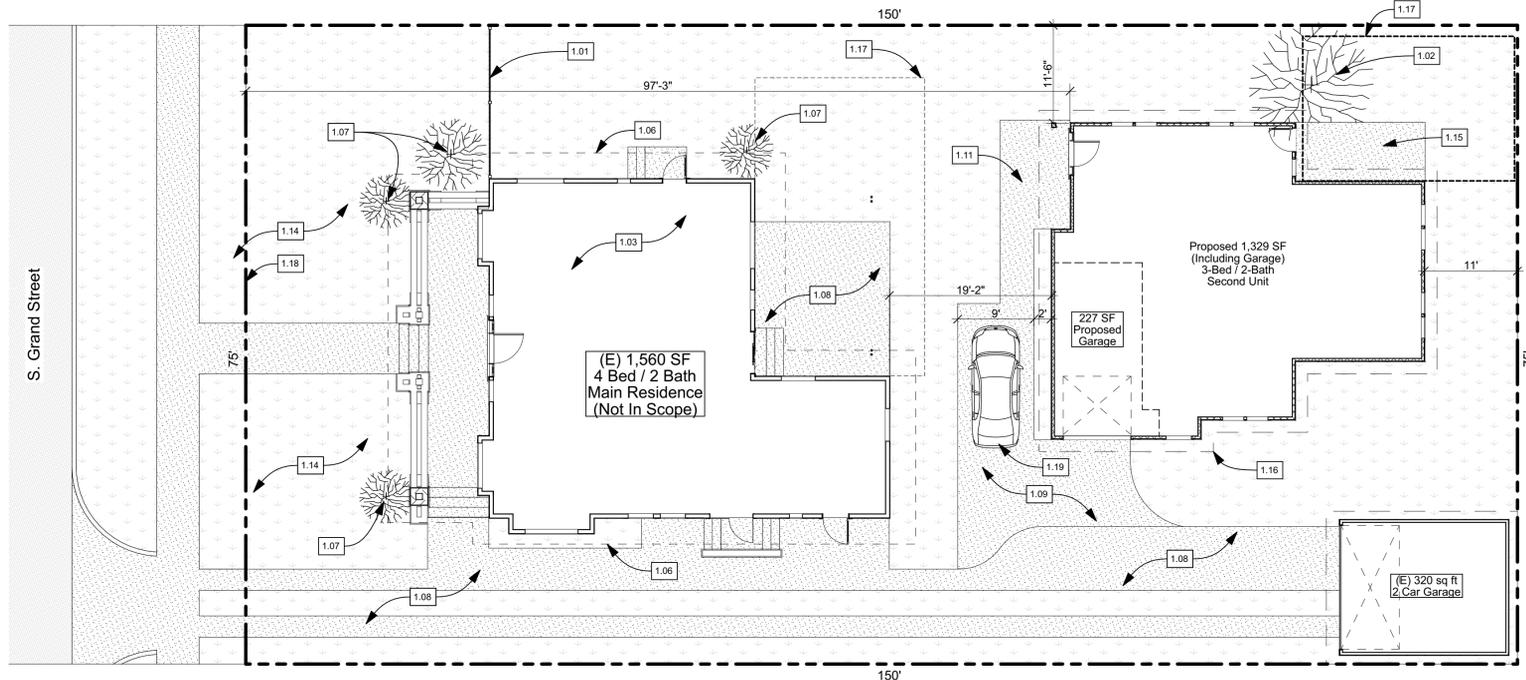


1 Existing Site Plan
SCALE: 1" = 10'



2 Proposed Site Plan
SCALE: 1" = 10'

Project Information

OWNER: Mike and Alison Vukovich
529 S. Grand Street
Orange, CA 92866
PH: 949.295.6755

APPLICANT: DSEA, Inc.
143 S. Olive St. Orange 92868 CA
PH: 714.639.3958
Contact: William Dunstan
wdunstan@dseainc.com

PROJECT ADDRESS: 529 S. Grand Street, Orange CA 92866

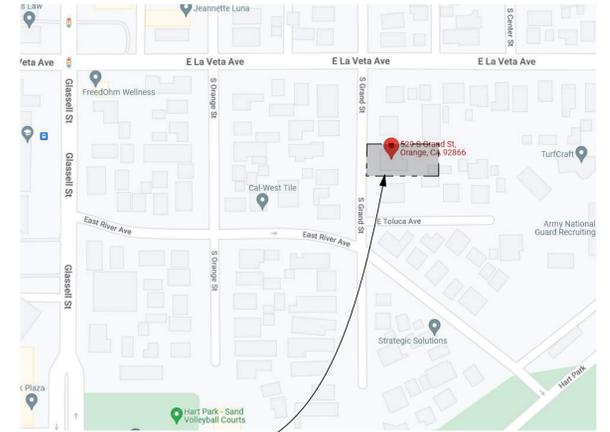
PROJECT DESCRIPTION:
This project involves the construction of a second unit in the rear of the property. The 1,329 SF unit will be a 1 story slab on grade structure with a 4:12 sloped roof to be subordinate to the existing residence and will have 3 bedrooms and 2 bathrooms with an attached 227SF 1 car garage. A second uncovered parking space is proposed adjacent to the new garage. Minor site improvements consisting of a revised concrete driveway area and a rear concrete patio are proposed. No other landscaping is proposed, the existing grass lawn will be maintained and repaired after construction. The existing residence is not in the scope of work.

APN#: 390-103-25
ZONE: R-2-6
EXISTING LOT AREA: 11,250 sq.ft.
PROPOSED USE: No change to existing use
OCCUPANCY GROUP: R3
CONSTRUCTION TYPE: VB (Fully-Sprinklered)
PARKING: (1) On-Site parking spaces
(1) Enclosed garage parking spaces
STORIES: (E) (1) Story
Proposed Second Unit: (1) Story
EXISTING AREA: (E) Residence 1,560 sq.ft.
(E) Garage 320 sq.ft.
Total 1,880 sq.ft.
PROPOSED AREA: Proposed Second Unit 1,329 sq.ft.
(E) Residence 1,560 sq.ft.
(E) Garage 320 sq.ft.
Total 3,209 sq.ft.
OPEN SPACE: 700 sq.ft. = 700 sq.ft. required for 2 units
FLOOR / AREA RATIO: 3,209 sq.ft. / 11,250 sq.ft. = .29 (.70 MAX for R-2-6)

Sheet Index

- A-1 Existing Site Plan, Proposed Site Plan and Project Information
- A-2 Proposed Floor Plan
- A-3 Proposed Roof Plan
- A-4 Proposed Exterior Elevations
- A-5 Proposed Exterior Elevations
- A-6 Exterior Details
- A-7 Perspective Renderings
- A-8 Existing Site Photos

Vicinity Map



Project Site: 529 S. Grand Street, Orange, CA 92866

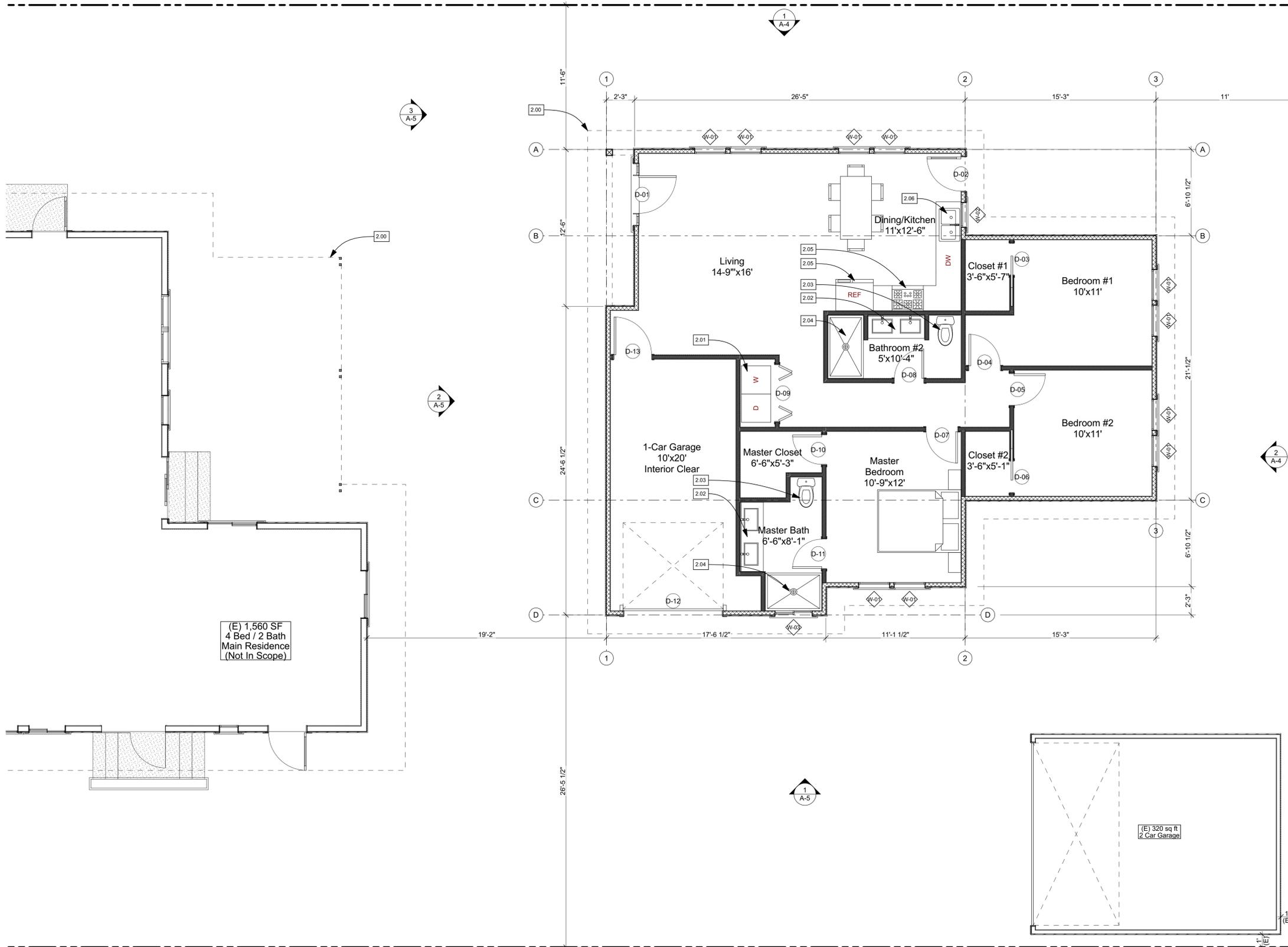
Vicinity F.A.R. Analysis

(Including proposed FAR for 515 S. Grand St. Info gathered from assessors parcel maps, google earth & MLS websites)

Address	Lot Area	Bldg Area	FAR
504/512 S Grand St. / 324 E. La Veta Ave. (Non-Historic Property)	8,610 SF	3,410 SF	.40
515 S. Grand St.	7,140 SF	2,139 SF	.29
520 S. Grand St.	6,700 SF	3,020 SF	.45
529 S. Grand St.	11,250SF	3,209 SF	.29
536 S. Grand St.	3,400 SF	1,502 SF	.44
545 S. Grand St.	11,250SF	3,702 SF	.33
552 S. Grand St.	5,982 SF	1,950 SF	.33

Site Plan Keynotes

- 1.01 (E) Fence to remain
- 1.02 (E) Fruit tree to remain.
- 1.03 (E) Main residence not in scope.
- 1.04 Extent of proposed scope of work.
- 1.05 (E) Property line.
- 1.06 (E) Main residence roof overhang shown dashed.
- 1.07 (E) Tree to remain, protect in place.
- 1.08 (E) Concrete to remain, protect in place.
- 1.09 Proposed concrete driveway up to garage and exterior parking.
- 1.11 Proposed concrete walkway providing access to second unit.
- 1.14 (E) Landscaping to remain.
- 1.15 Proposed concrete backyard patio.
- 1.16 Proposed residence roof overhang shown dashed.
- 1.17 Area represents 350 sq. ft. of required open space for each unit.
- 1.18 (E) Property line.
- 1.19 Dashed line represents uncovered parking space.



Floor Plan Keynotes

- 2.00 Extents of roof overhang above.
- 2.01 Washer and dryer attachments.
- 2.02 Bathroom double sink.
- 2.03 Floor mounted toilet.
- 2.04 2'-10"x5' shower.
- 2.05 Refrigerator
- 2.06 Double basin sink.

DOOR SCHEDULE					
MARK	LOCATION	WIDTH	HEIGHT	TYPE	NOTES
D-01	Living Room	3'	6'-8"	Solid Core Wood	Full Glass Sidelites along Door
D-02	Kitchen	2'-8 1/2"	6'-8"	Solid Core Wood	Upper Half Glass Lite in Door
D-03	Closet #1	2'-6"	6'-8"	Wood	
D-04	Bedroom #1	2'-6"	6'-8"	Wood	
D-05	Bedroom #2	2'-6"	6'-8"	Wood	
D-06	Closet #2	2'-6"	6'-8"	Wood	
D-07	Master Bedroom	2'-6"	6'-8"	Wood	
D-08	Bathroom #2	2'-4"	6'-8"	Wood	
D-09	Laundry	4'-6"	6'-8"	Wood	
D-10	Master Closet	2'-4"	6'-8"	Wood	
D-11	Master Bath	2'-4"	6'-8"	Wood	
D-12	Garage	8'	7'	Wood	Sectional Wood Rollup Door
D-13	Garage	3'	6'-8"	Wood	

WINDOW SCHEDULE					
ID	WIDTH	HEIGHT	TYPE	MATERIAL	NOTES
W-01	2'-6"	4'	Double hung	Wood	
W-02	2'	3'	Double hung	Wood	
W-03	3'	1'-6"	Sliding	Wood	

Floor Plan Legend

- Non-rated ext. wall assembly, 5" horizontal lapped siding o/ 1/2" plywood o/ 2x4 wood studs @ 16"o.c. w/ R-13 batt insul. w/ 5/8" gyp. bd @ int., use W.R. gyp. bd. @ bathroom. Refer to elevations for finish information.
- Non-rated int. wall assembly, 2x4 wood studs @ 16"o.c. w/ sound insul. w/ 1/2" gyp. bd. both sides, use W.R. gyp. bd. at bathroom. Refer to elevations for finish information.
- Window. Refer to Window Schedule for more information.
- Door. Refer to Door Schedule for more information.

1 Proposed Floor Plan
SCALE: 1/4" = 1'-0"

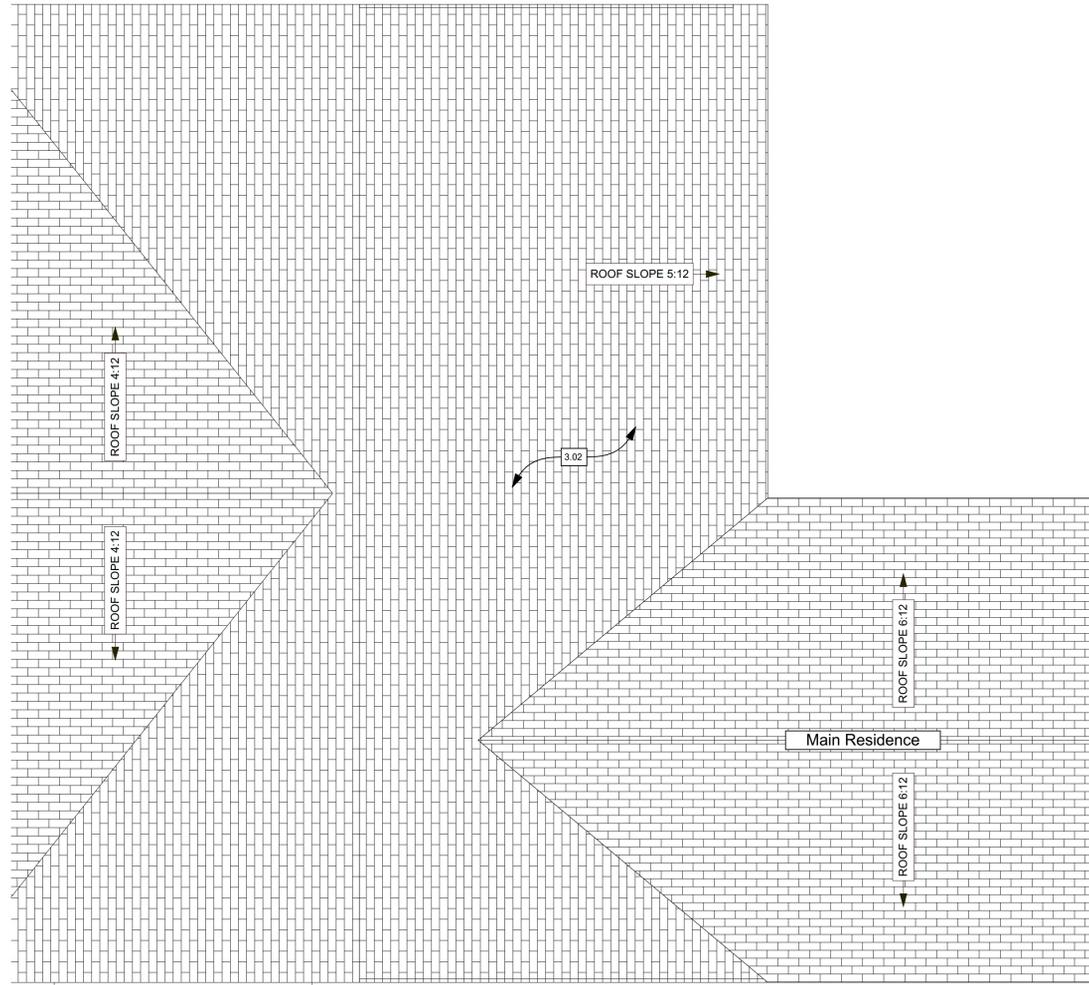
DSEA
ARCHITECTURE | PLANNING | 3D MODELING
145 S. Olive Street
Orange, CA 92866
714.639.3958
ARCHITECT'S FAX
#Contact E-mail

Proposed Floor Plan
529 South Grand Street
New Second Unit
529 S. Grand Street, Orange CA 92866

A-2

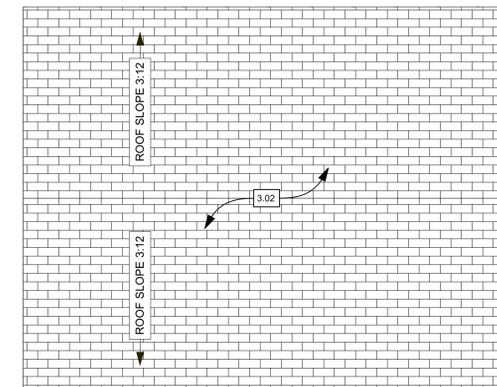
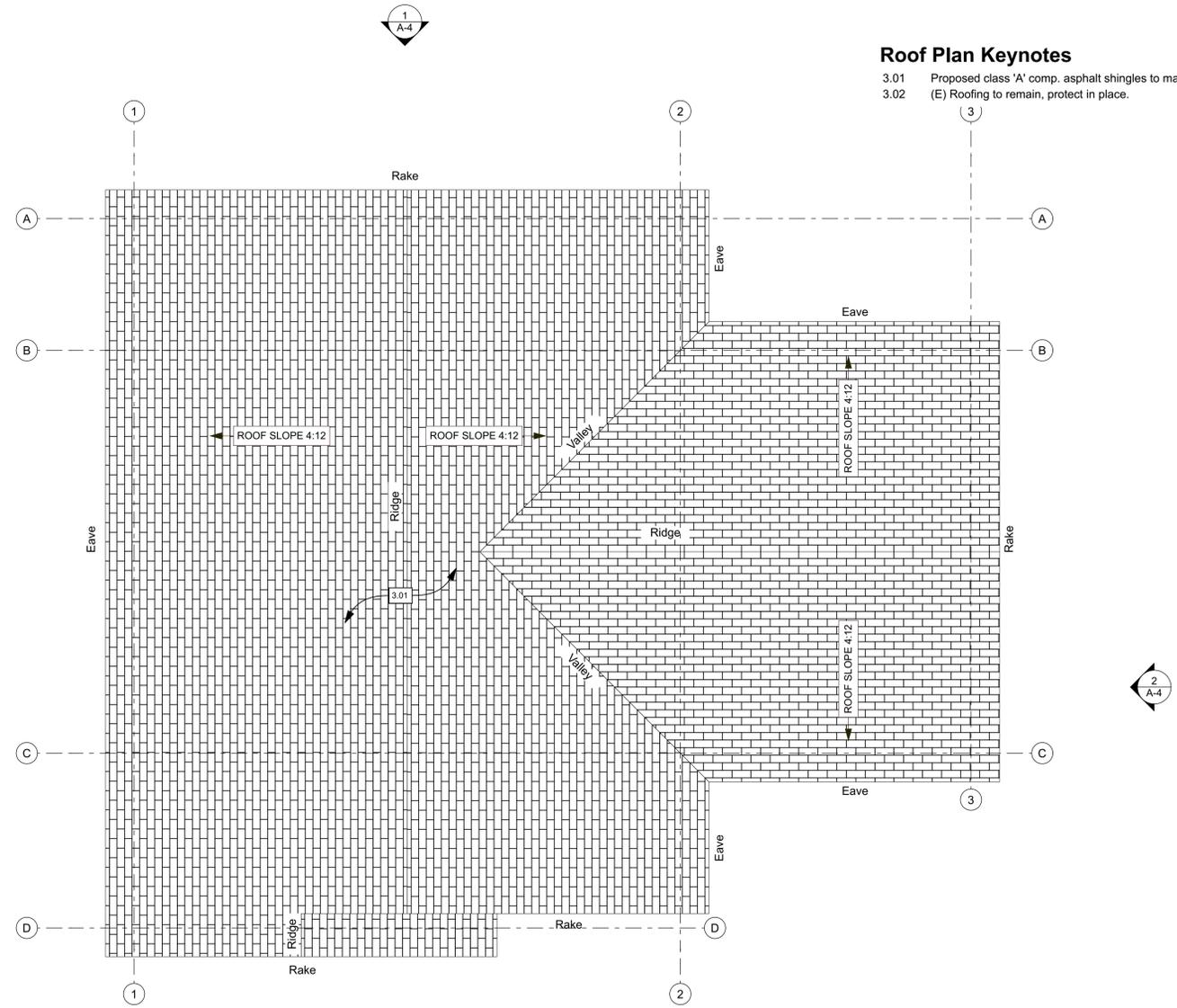
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Roof Plan Keynotes

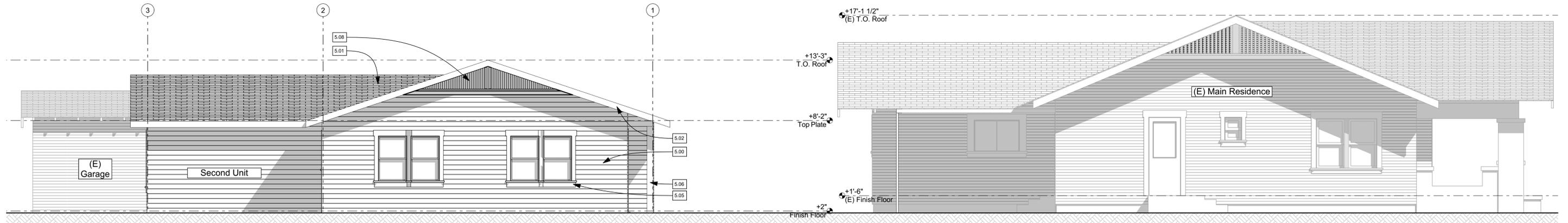
- 3.01 Proposed class 'A' comp. asphalt shingles to match (E) main residence.
- 3.02 (E) Roofing to remain, protect in place.



1 Proposed Roof Plan
SCALE: 1/4" = 1'-0"

Exterior Elevation Keynotes

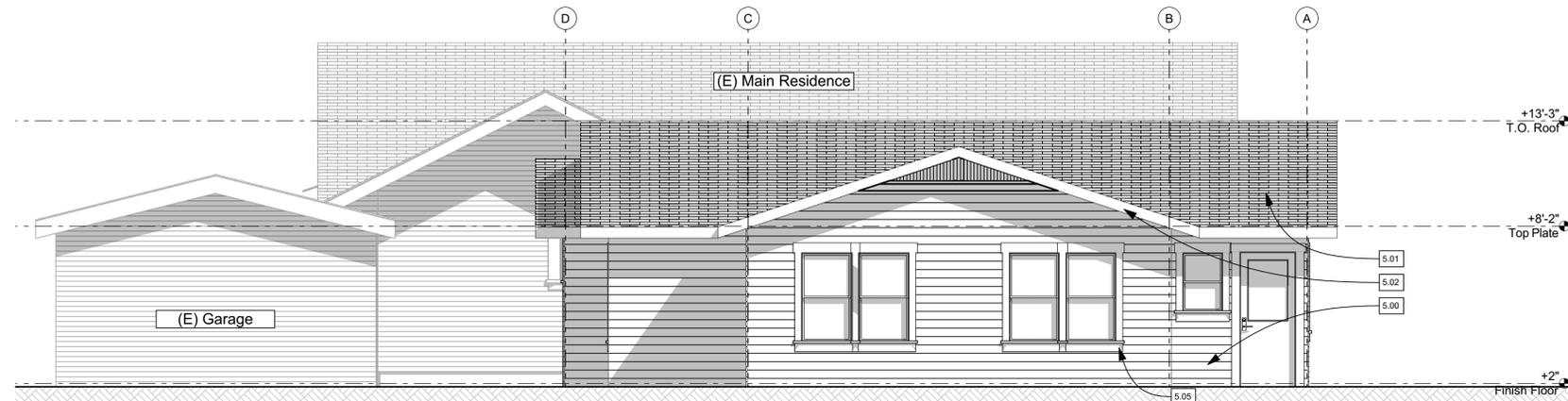
- 5.00 Fiber cement lapped plank siding w/ 5" exposure.
- 5.01 Proposed class 'A' comp. asphalt shingles to match (E) main residence.
- 5.02 2"x8" fascia board over roof eave and rake.
- 5.05 Wood trim around single hung window. Extend profiled head trim beyond jamb on both sides, typ.
- 5.06 6x wood column paint to match horizontal wood siding.
- 5.08 Gable roof vent. Equally spaced vertical 2x wood trim boards over bug screen similar to (E) main residence.



1 North Exterior Elevation

SCALE: 1/4" = 1'-0"

Note: Paint color to be determined by owner.



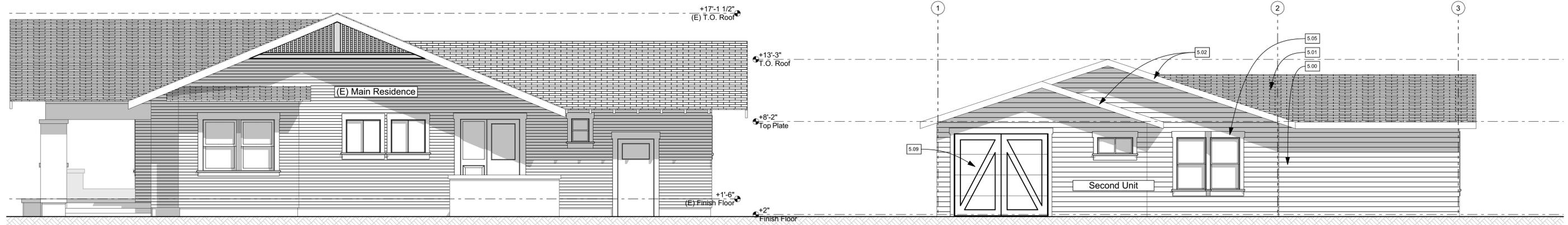
2 East Exterior Elevation

SCALE: 1/4" = 1'-0"

Note: Paint color to be determined by owner.

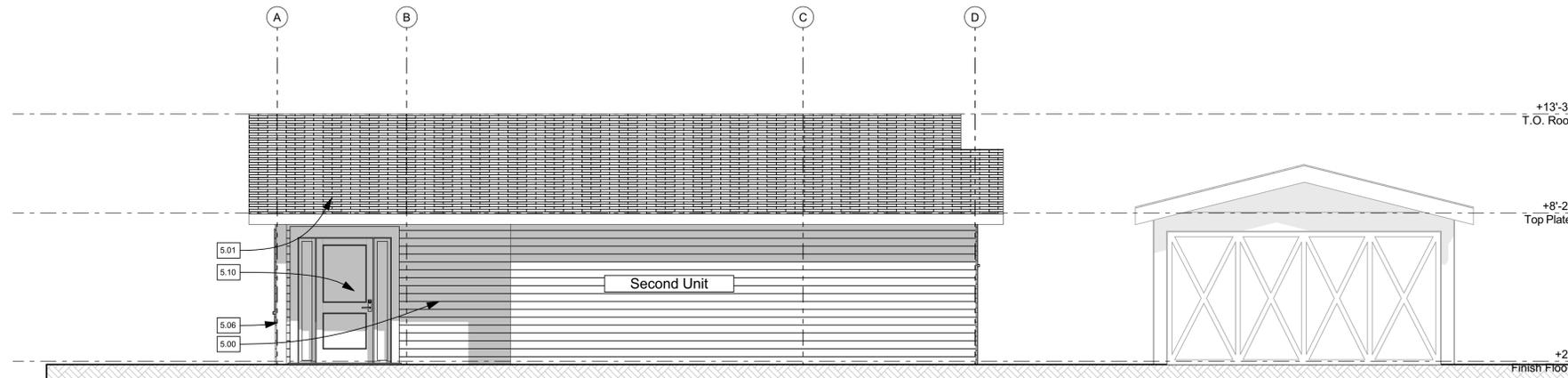
Exterior Elevation Keynotes

- 5.00 Fiber cement lapped plank siding w/ 5" exposure.
- 5.01 Proposed class 'A' comp. asphalt shingles to match (E) main residence.
- 5.02 2"x8" fascia board over roof eave and rake.
- 5.05 Wood trim around single hung window. Extend profiled head trim beyond jamb on both sides, typ.
- 5.06 6x wood column paint to match horizontal wood siding.
- 5.09 8'x7' Sectional roll up garage with carriage panel door.
- 5.10 3'x6'-9" Front door with 1'x6'-9" flanking sidelites.



1 South Exterior Elevation
SCALE: 1/4" = 1'-0"

Note: Paint color to be determined by owner.

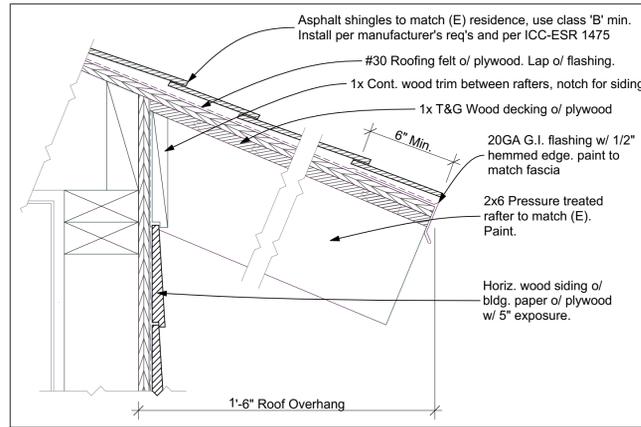


2 West Exterior Elevation
SCALE: 1/4" = 1'-0"

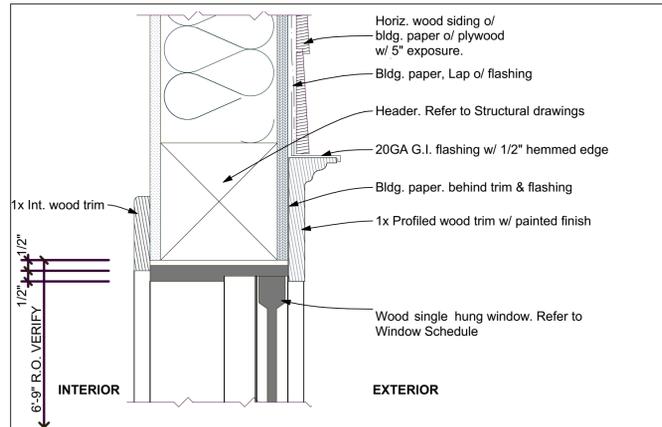
Note: Paint color to be determined by owner.



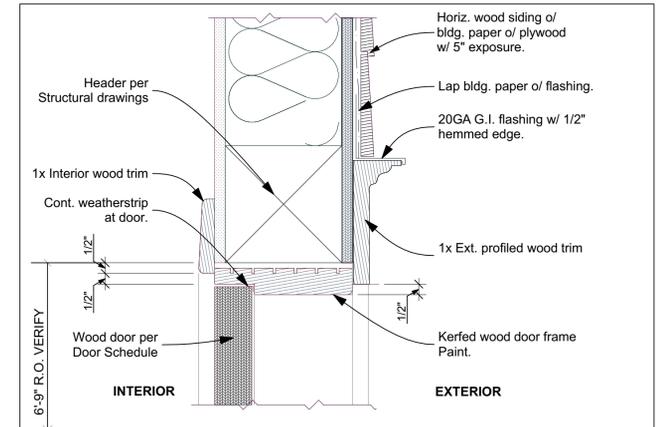
3 West Exterior Elevation Including Main Residence
SCALE: 1/4" = 1'-0"



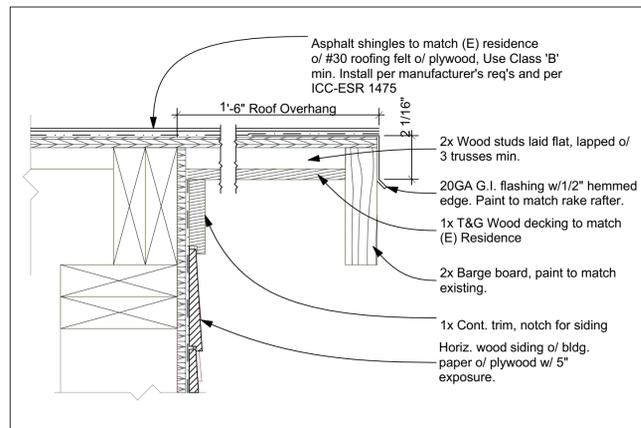
1 Roof Eave Detail
SCALE: 3" = 1'-0"



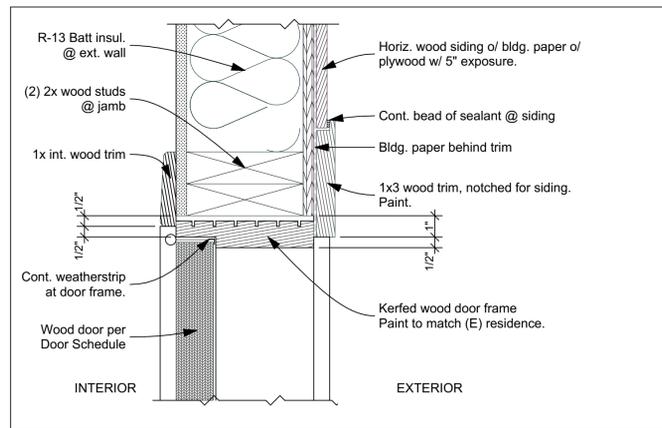
3 Window Head Detail
SCALE: 3" = 1'-0"



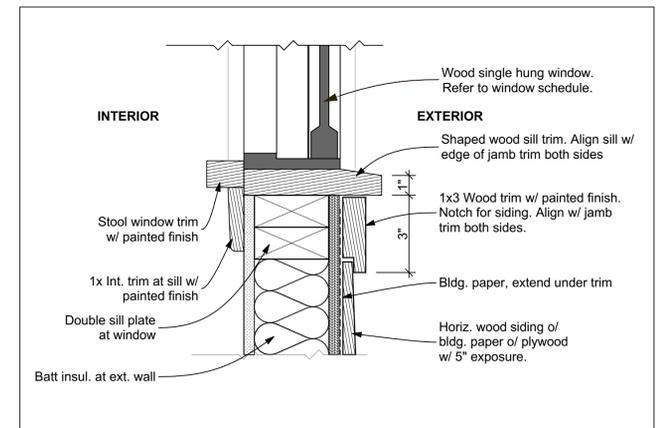
5 Door Head Detail (Jamb Sim.)
SCALE: 3" = 1'-0"



2 Rake Detail
SCALE: 3" = 1'-0"



4 Exterior Door/Window Jamb Detail
SCALE: 3" = 1'-0"



6 Window Sill Detail
SCALE: 3" = 1'-0"



1 View from Northwest Looking East

SCALE: 1:0.80



2 View from Southwest Looking Northeast

SCALE: 1:0.80



3 View from South Looking North

SCALE: 1:0.80



4 View from North Looking South

SCALE: 1:0.80



5 View from Northwest Looking Southeast

SCALE: 1:0.80



6 View from Northeast Looking Southwest

SCALE: 1:0.80



Northwest Street View



Main Residence Entry Street View



Main Residence Driveway Southwest View



Main Residence Driveway Southeast View



Southeast Garage View



Northwest Backyard View