

OWNER: Mike and Alison Vukovich
529 S. Grand Street
Orange, CA 92866
PH: 949.295.6755

APPLICANT: DSEA, Inc.
143 S. Olive St. Orange 92868 CA
PH: 714.639.3958
Contact: William Dunstan
wdunstan@dseainc.com

PROJECT ADDRESS: 529 S. Grand Street, Orange CA 92866

PROJECT DESCRIPTION:

This project involves the construction of a second unit in the rear of the property. The 1,329 SF unit will be a 1 story slab on grade structure with a 4:12 sloped roof to be subordinate to the existing residence and will have 3 bedrooms and 2 bathrooms with an attached 227SF 1 car garage. A second uncovered parking space is proposed adjacent to the new garage. Minor site improvements consisting of a revised concrete driveway area and a rear concrete patio are proposed. No other landscaping is proposed; the existing grass lawn will be maintained and repaired after construction. The existing residence is not in the scope of work.

APN#: 390-103-25

ZONE: R-2-6

EXISTING LOT AREA: 11,250 sq.ft.

PROPOSED USE: No change to existing use

OCCUPANCY GROUP: R3

CONSTRUCTION TYPE: VB (Fully-Sprinklered)

PARKING: (1) On-Site parking spaces
(1) Enclosed garage parking spaces

STORIES: (E) (1) Story
Proposed Second Unit: (1) Story

EXISTING AREA:

(E) Residence	1,560 sq.ft.
(E) Garage	320 sq.ft.
Total	1,880 sq.ft.

PROPOSED AREA:

Proposed Second Unit	1,329 sq.ft.
(E) Residence	1,560 sq.ft.
(E) Garage	320 sq.ft.
Total	3,209 sq.ft.

OPEN SPACE: 700 sq.ft. = 700 sq.ft. required for 2 units

FLOOR / AREA RATIO: 3,209 sq.ft. / 11,250 sq.ft. = .29 (.70 MAX for R-2-6)

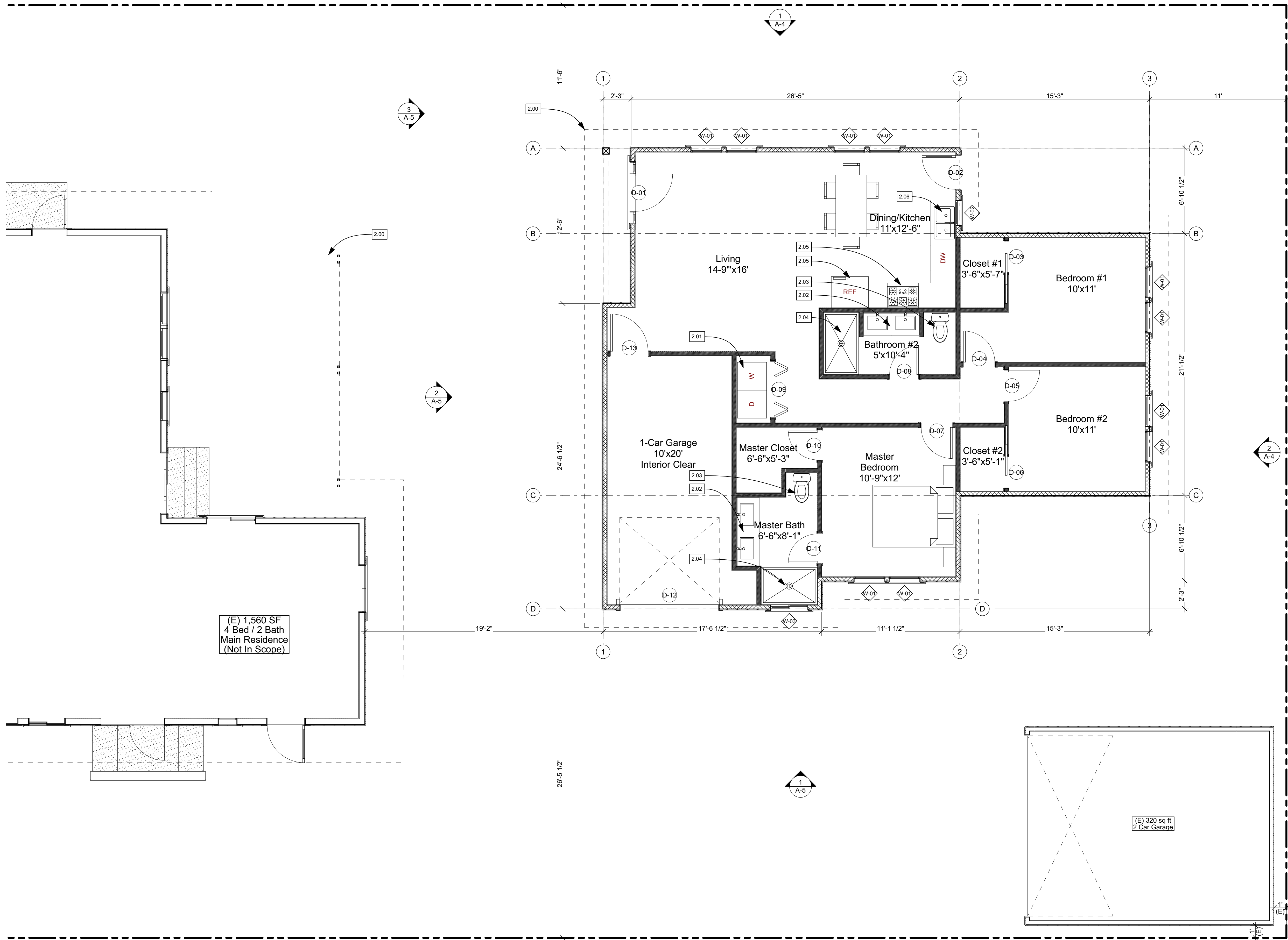
A-1	Existing Site Plan, Proposed Site Plan and Project Information
A-2	Proposed Floor Plan
A-3	Proposed Roof Plan
A-4	Proposed Exterior Elevations
A-5	Proposed Exterior Elevations
A-6	Exterior Details
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Project Site: 529 S. Grand
Street, Orange, CA 92866

(Including proposed FAR for 515 S. Grand St. Info gathered from assessors parcel maps, google earth & MLS websites)

		Address	Lot Area	Bldg Area	FAR
S Grand St.	504/512 S Grand St. (Non-Historic Property)	505 S. Grand St. / 324 E. La Veta Ave.	8,610 SF	3,410 SF	.40
	520 S Grand St.	515 S. Grand St.	7,140 SF	2,139 SF	.29
	529 S Grand St. (Non-Historic Property)	529 S Grand St.	6,700 SF	3,020 SF	.45
	536 S Grand St.	536 S. Grand St.	11,250SF	3,209 SF	.29
	552 S Grand St.	545 S. Grand St.	3,400 SF	1,502 SF	.44
		552 S. Grand St.	11,250SF	3,702 SF	.33
			5,982 SF	1,950 SF	.33

- 1.01 (E) Fence to remain
- 1.02 (E) Fruit tree to remain.
- 1.03 (E) Main residence not in scope.
- 1.04 Extent of proposed scope of work.
- 1.05 (E) Property line.
- 1.06 (E) Main residence roof overhang shown dashed.
- 1.07 (E) Tree to remain, protect in place.
- 1.08 (E) Concrete to remain, protect in place.
- 1.09 Proposed concrete driveway up to garage and exterior parking.
- 1.11 Proposed concrete walkway providing access to second unit.
- 1.14 (E) Landscaping to remain.
- 1.15 Proposed concrete backyard patio.
- 1.16 Proposed residence roof overhang shown dashed.
- 1.17 Area represents 350 sq. ft. of required open space for each unit.
- 1.18 (E) Property line.
- 1.19 Dashed line represents uncovered parking space.



Floor Plan Keynotes

- 2.00 Extents of roof overhang above.
- 2.01 Washer and dryer attachments.
- 2.02 Bathroom double sink.
- 2.03 Floor mounted toilet.
- 2.04 2'-10"x5' shower.
- 2.05 Refrigerator
- 2.06 Double basin sink.

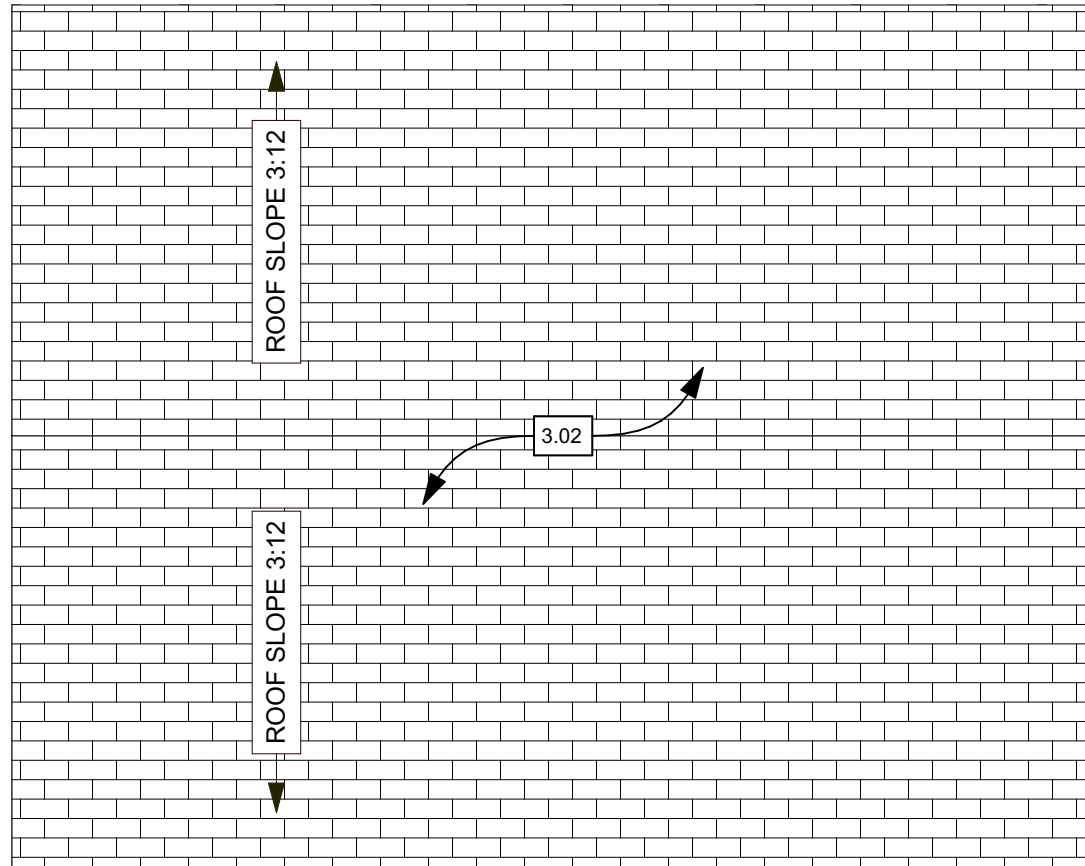
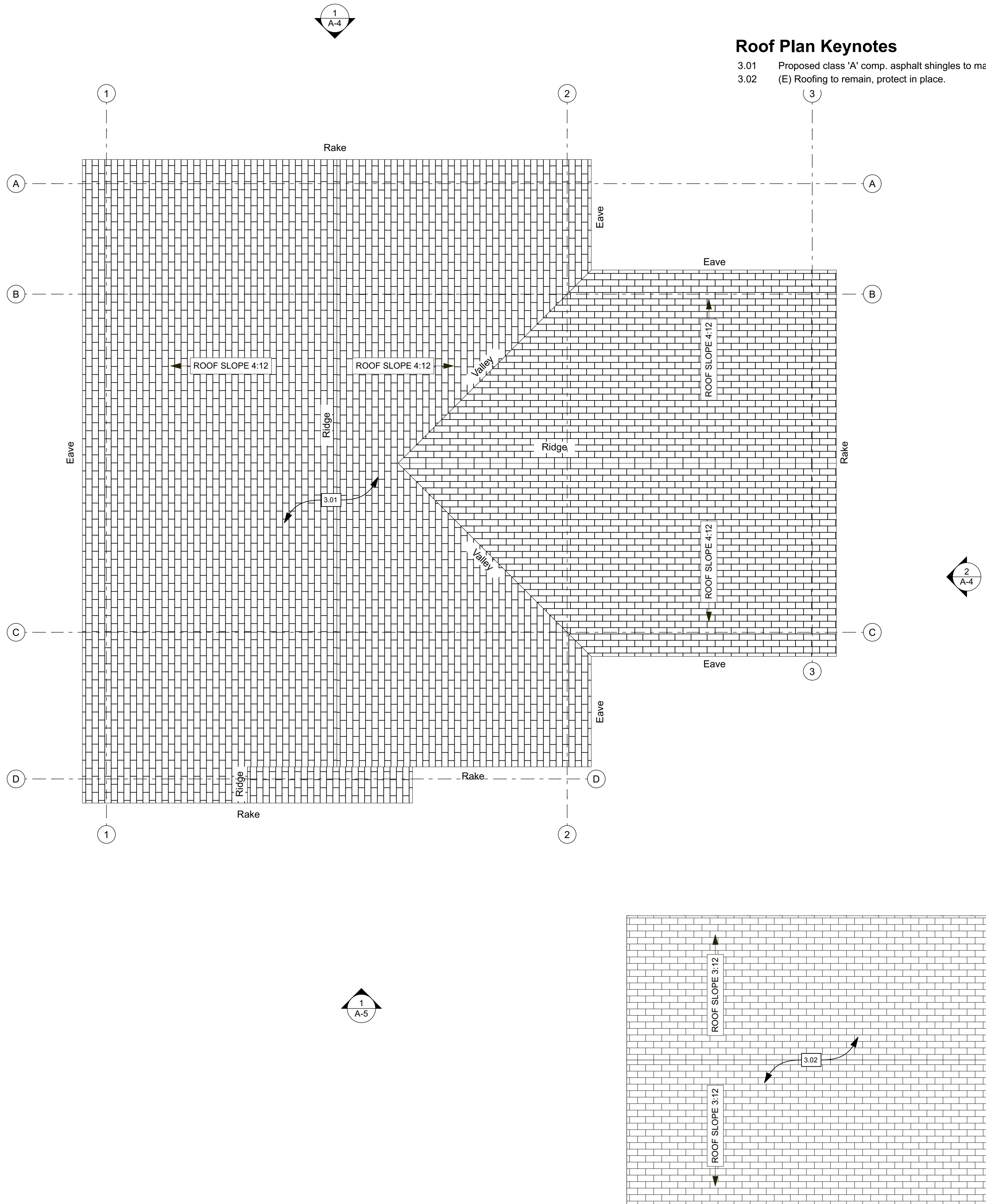
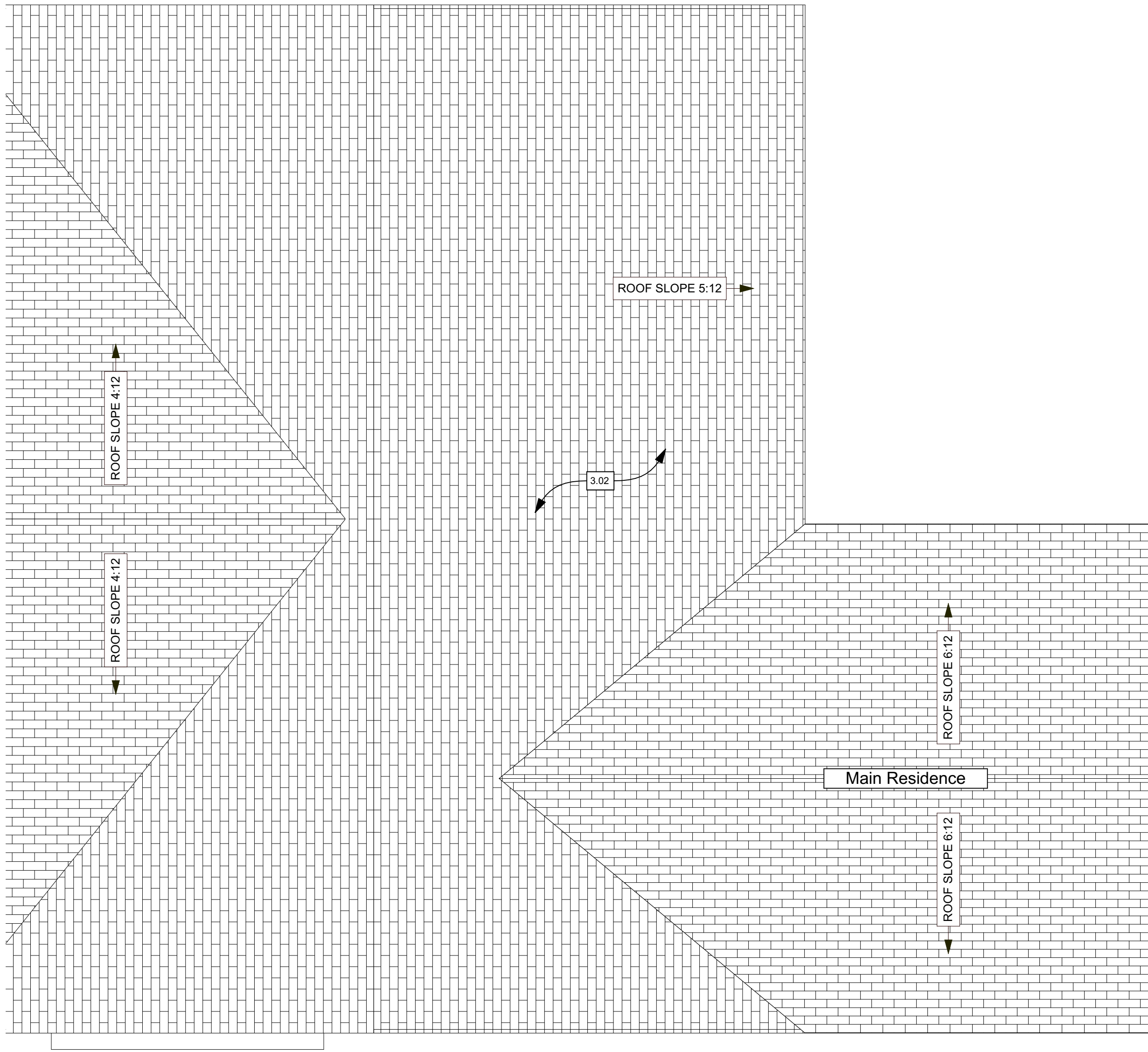
DOOR SCHEDULE					
MARK	LOCATION	WIDTH	HEIGHT	TYPE	NOTES
D-01	Living Room	3'	6'-8"	Solid Core Wood	Full Glass Sidelites along Door
D-02	Kitchen	2'-8 1/2"	6'-8"	Solid Core Wood	Upper Half Glass Lite in Door
D-03	Closet #1	2'-6"	6'-8"	Wood	
D-04	Bedroom #1	2'-6"	6'-8"	Wood	
D-05	Bedroom #2	2'-6"	6'-8"	Wood	
D-06	Closet #2	2'-6"	6'-8"	Wood	
D-07	Master Bedroom	2'-6"	6'-8"	Wood	
D-08	Bathroom #2	2'-4"	6'-8"	Wood	
D-09	Laundry	4'-6"	6'-8"	Wood	
D-10	Master Closet	2'-4"	6'-8"	Wood	
D-11	Master Bath	2'-4"	6'-8"	Wood	
D-12	Garage	8'	7'	Wood	Sectional Wood Rollup Door
D-13	Garage	3'	6'-8"	Wood	

WINDOW SCHEDULE					
ID	WIDTH	HEIGHT	TYPE	MATERIAL	NOTES
W-01	2'-6"	4'	Double hung	Wood	
W-01	2'-6"	4'-6"	Double hung	Wood	
W-02	2'	3'	Double hung	Wood	
W-03	3'	1'-6"	Sliding	Wood	

Floor Plan Legend

- Non-rated ext. wall assembly, 5" horizontal lapped siding o/ 1/2" plywood o/ 2x4 wood studs @ 16"o.c. w/ R-13 batt insul. w/ 5/8" gyp. bd @ int., use W.R. gyp. bd. @ bathroom. Refer to elevations for finish information.
- Non-rated int. wall assembly, 2x4 wood studs @ 16"o.c. w/ sound insul. w/ 1/2" gyp. bd. both sides, use W.R. gyp. bd. at bathroom. Refer to elevations for finish information.
- Window. Refer to Window Schedule for more information.
- Door. Refer to Door Schedule for more information.

1 Proposed Floor Plan
SCALE: 1/4" = 1'-0"



1 Proposed Roof Plan
SCALE: 1/4" = 1'-0"

- Exterior Elevation Keynotes
- 5.00

Fiber cement lapped plank siding w/ 5" exposure.
- 5.01

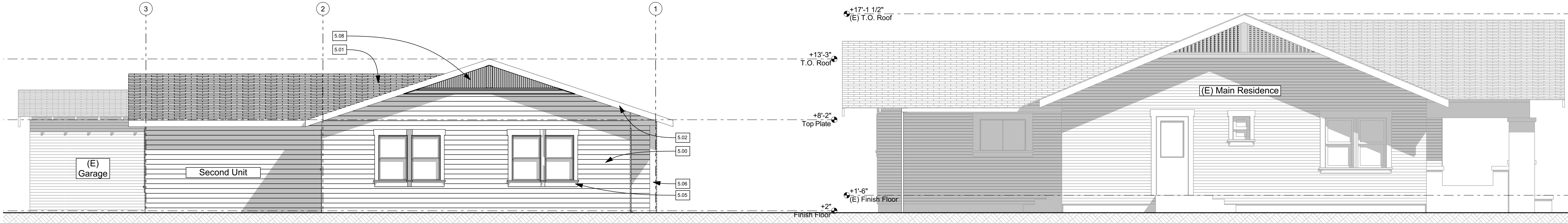
Proposed class 'A' comp. asphalt shingles to match (E) main residence.
- 5.02

2"x8" fascia board over roof eave and rake.
- 5.05

Wood trim around single hung window. Extend profiled head trim beyond jamb on both sides, typ.
- 5.06

6x wood column paint to match horizontal wood siding.
- 5.08

Gable roof vent. Equally spaced vertical 2x wood trim boards over bug screen similar to (E) main residence.

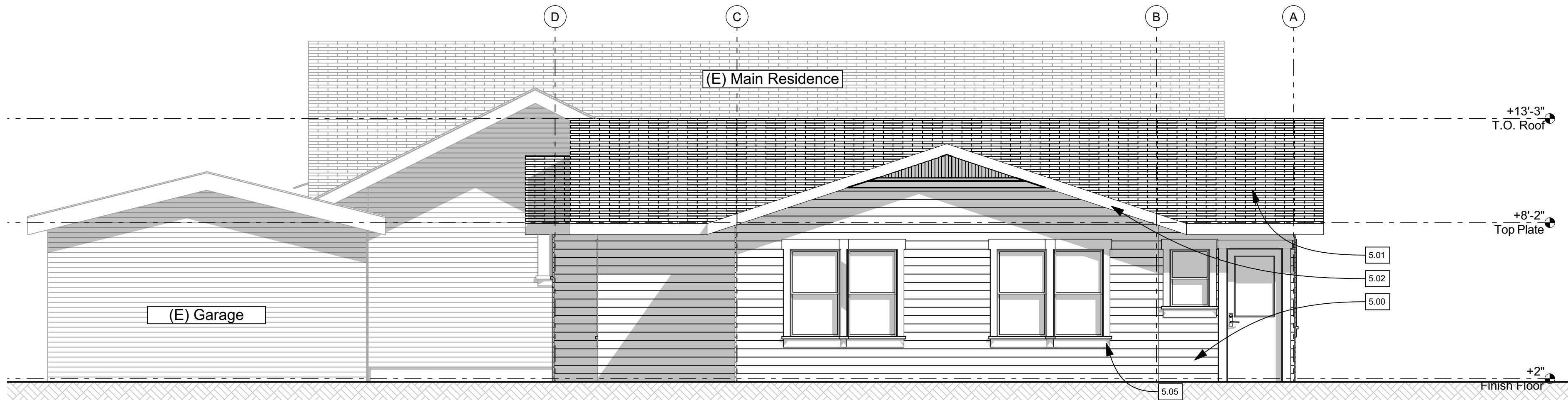


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North Exterior Elevation

SCALE: 1/4" = 1'-0"

Note: Paint color to be determined by owner.



2

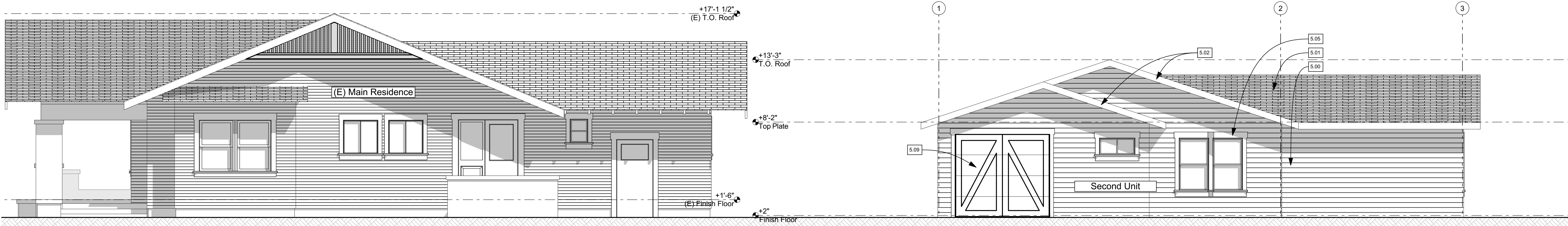
East Exterior Elevation

SCALE: 1/4" = 1'-0"

Note: Paint color to be determined by owner.

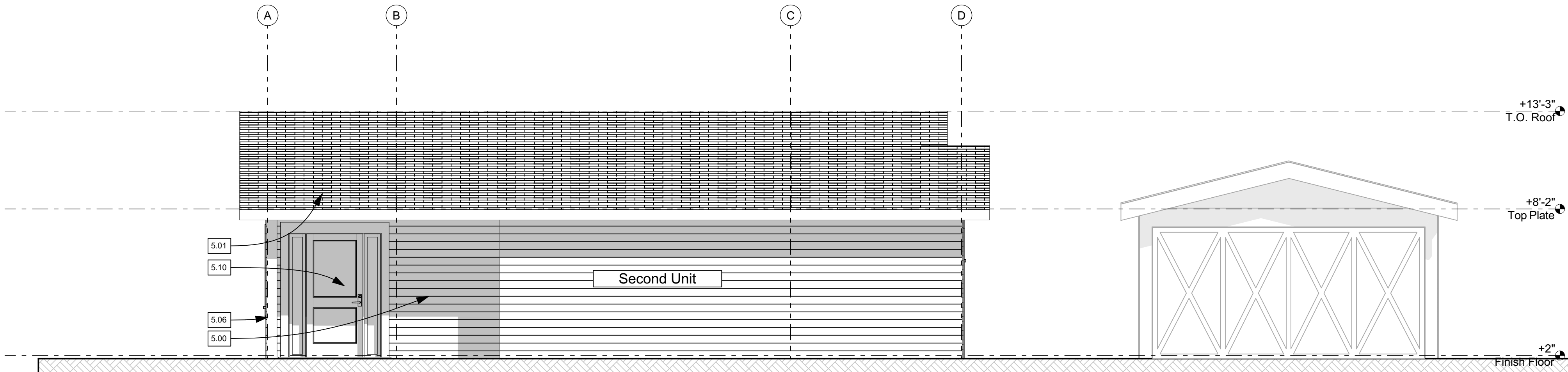
Exterior Elevation Keynotes

- 5.00 Fiber cement lapped plank siding w/ 5" exposure.
- 5.01 Proposed class 'A' comp. asphalt shingles to match (E) main residence.
- 5.02 2"x8" fascia board over roof eave and rake.
- 5.05 Wood trim around single hung window. Extend profiled head trim beyond jamb on both sides, typ.
- 5.06 6x wood column paint to match horizontal wood siding.
- 5.09 8'x7" Sectional roll up garage with carriage panel door.
- 5.10 3'x6'-9" Front door with 1'x6'-9" flanking sidelites.



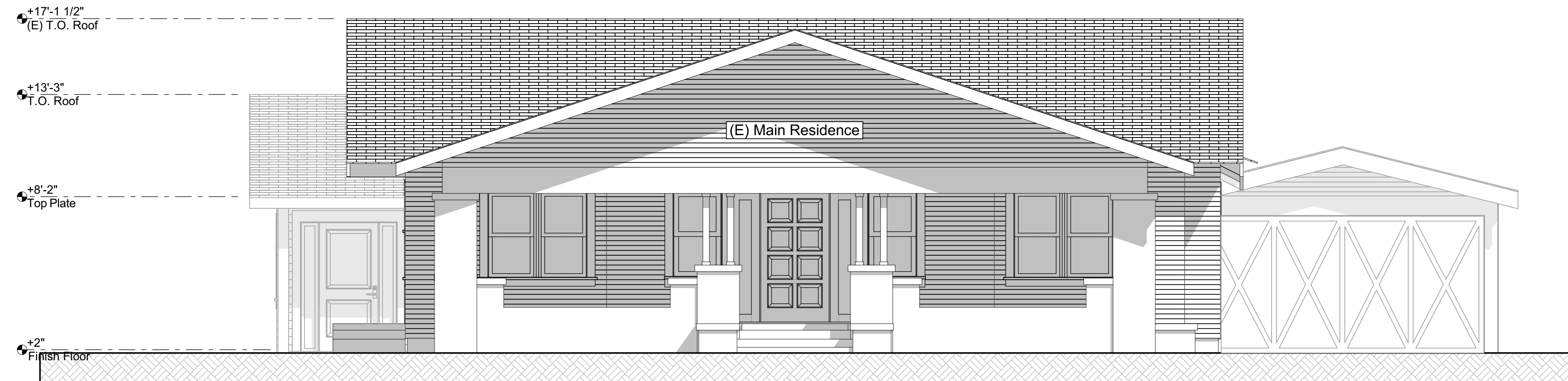
1 South Exterior Elevation
SCALE: 1/4" = 1'-0"

Note: Paint color to be determined by owner.



2 West Exterior Elevation
SCALE: 1/4" = 1'-0"

Note: Paint color to be determined by owner.



3 West Exterior Elevation Including Main Residence
SCALE: 1/4" = 1'-0"



1 View from Northwest Looking East

SCALE: 1:0.80



2 View from Southwest Looking Northeast

SCALE: 1:0.80



3 View from South Looking North

SCALE: 1:0.80



4 View from North Looking South

SCALE: 1:0.80



5 View from Northwest Looking Southeast

SCALE: 1:0.80



6 View from Northeast Looking Southwest

SCALE: 1:0.80



Northwest Street View



Main Residence Entry Street View



Main Residence Driveway Southwest View



Main Residence Driveway Southeast View



Southeast Garage View



Northwest Backyard View