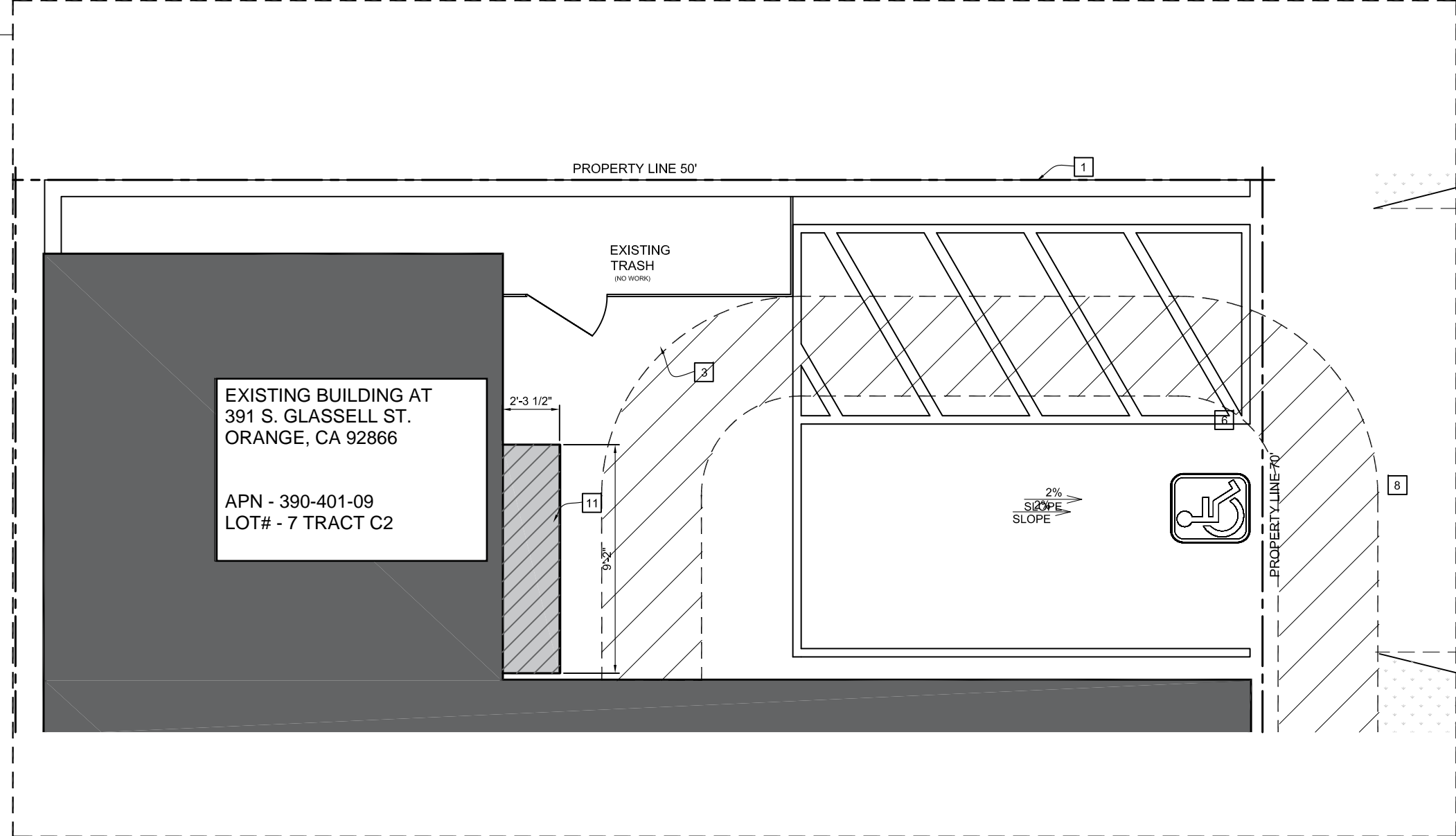


1 - SITE PLAN - EXISTING
SCALE: 1/4" = 1' - 0"

AREA MODIFICATION AS IT
PERTAINS TO THE CITY OF
ORANGE HISTORIC AND DESIGN
REVIEW BOARD.

SCOPE OF CHANGES

- (A) REPLACE OVERHEAD
ROLL-UP DOOR WITH
NANAWALL SLIDE AND
STACK WINDOW SYSTEM.
WINDOW FRAME TO BE
PAINTED WOOD TO MATCH
OTHER WINDOWS AND
DOORS. + ADD AWNING
WITH WOOD FASCIA.
REFER TO DETAILS ON
A105.
- (B) REPLACE SOLID DOOR
WITH SINGLE WOOD
FRENCH DOOR WITH
FROSTED GLAZING. STYLE
AND FINISH TO MATCH
EXISTING FRONT ENTRY
DOORS.
- (C) REPLACE PAIR OF SOLID
DOORS WITH PAIR OF
WOOD FRENCH DOORS
WITH FROSTED GLAZING.
STYLE AND FINISH TO
MATCH EXISTING FRONT
ENTRY DOORS.



2 - PARTIAL SITE PLAN - PROPOSED
SCALE = 1/4" = 1'-0"

PROJECT ADDRESS

391 SOUTH GLASSELL STREET
ORANGE, CA 92866

LEGAL DESCRIPTION

APN 390-401-09 - LOT 7 - TRACT C2 CULVER TRACT

PROJECT DESCRIPTION

REPLACE EXISTING SOLID DOORS AT THE SOUTH AND WEST ELEVATIONS
WITH NEW DOORS WHICH CONTAIN WINDOWS AND REPLACE OVERHEAD
ROLL-UP DOOR WITH OPERABLE WINDOW WITH FROSTED GLAZING + ADD
ROOF OVERHANG WITH METAL FASCIA OVER NEW WINDOW.

CODE ANALYSIS

CODE	2019 CRC, CBC,CMC, CEC, CPC 2019 T-24 ENERGY STANDARDS V-B (NON-SPRINKLERED)
CONSTRUCTION TYPE	B (OFFICE)
OCCUPANCY	2,438 SF/100 = 25 (OFFICE)
OCCUPANT LOAD	1
STORIES	NA
FIRE SPRINKLER	5 (4 ON STREET, 1 HC STALL OFF STREET)
PARKING	

BUILDING LOT AREA

LOT AREA	3,500 SF
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EXISTING BUILDING AREA

BUILDING RFA	2,438 SF
--------------	----------

PROPOSED BUILDING AREA

BUILDING RFA	2,438 SF
--------------	----------

PROJECT INFORMATION

OWNER/ARCHITECT:
MCCLEAN DESIGN INC.
NATHAN HUNT
190 S GLASSELL ST, #203
ORANGE, CA 92866
TEL: (714) 505-0556

STRUCTURAL ENGINEER:
STRUCTURES
JED TORCEDO
2880 S. PACIFIC COAST HWY.
LAGUNA BEACH, CA 92651
TEL: (949) 715-0775

TITLE 24 ENGINEER:
FARAHMAND ENGINEERING, INC
FARITETH (FAYE) FARAHMAND
3679 MOTOR AVE, SUITE 204
LOS ANGELES, CA 90034
TEL: (310) 560-6641

PROJECT TEAM

KEYNOTES

A100 SITE PLAN (EXISTING AND PROPOSED), PROJECT INFORMATION
A101 FLOOR PLANS (EXISTING AND PROPOSED)
A102 ROOF PLANS (EXISTING AND PROPOSED)
A103 EXTERIOR ELEVATIONS, RENDERINGS AND IMAGES (EXISTING AND PROPOSED)
A105 DETAILS

SHEET INDEX

(E) BUILDING OUTLINE

(E) LOW ROOF OVERHANG

(N) LOW ROOF OVERHANG

SITE PLAN LEGEND

- PROPERTY LINE
- (E) CMU WALL TO REMAIN
- (E) WOOD FENCE / GATE
- (E) SIDEWALK
- ON STREET PARKING
- OFF-STREET HANDICAP ACCESSIBLE VAN PARKING
- (E) LOW ROOF OVERHANG
- (E) DRIVEWAY
- (E) FIRE HYDRANT
- (E) LANDSCAPED AREA
- (N) LOW ROOF OVERHANG
- HANDICAP PATH OF TRAVEL
- (E) BASKETBALL HOOP TO BE REMOVED

MCCLEAN
DESIGN

190 S GLASSELL ST, #203
ORANGE, CA 92866

714-505-0556 (T)
714-532-2924 (F)

PROJECT

DRAWN BY MA / BB

DATE MAR 2019

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MCCLEAN OFFICE

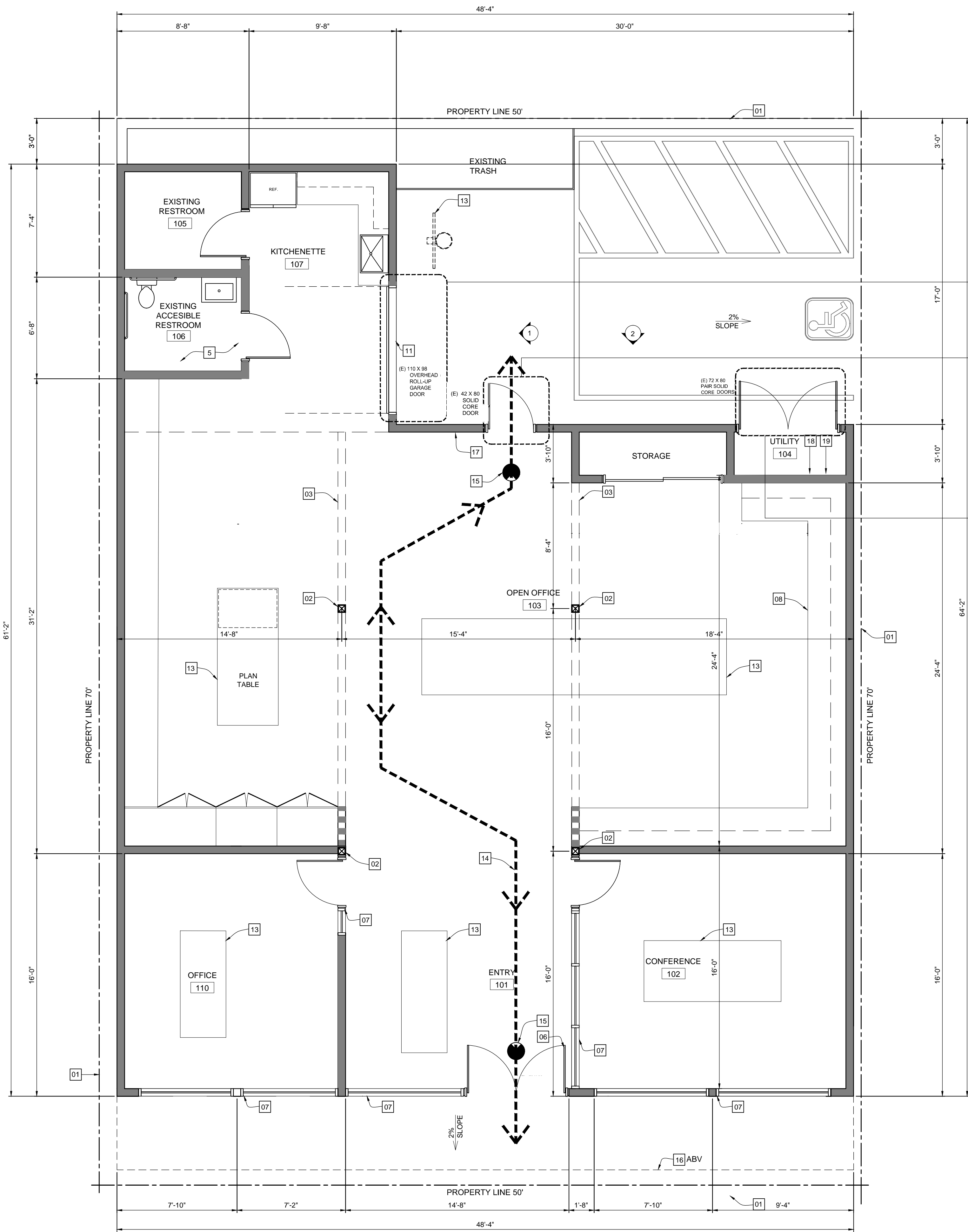
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SITE PLAN AND PROJECT INFO

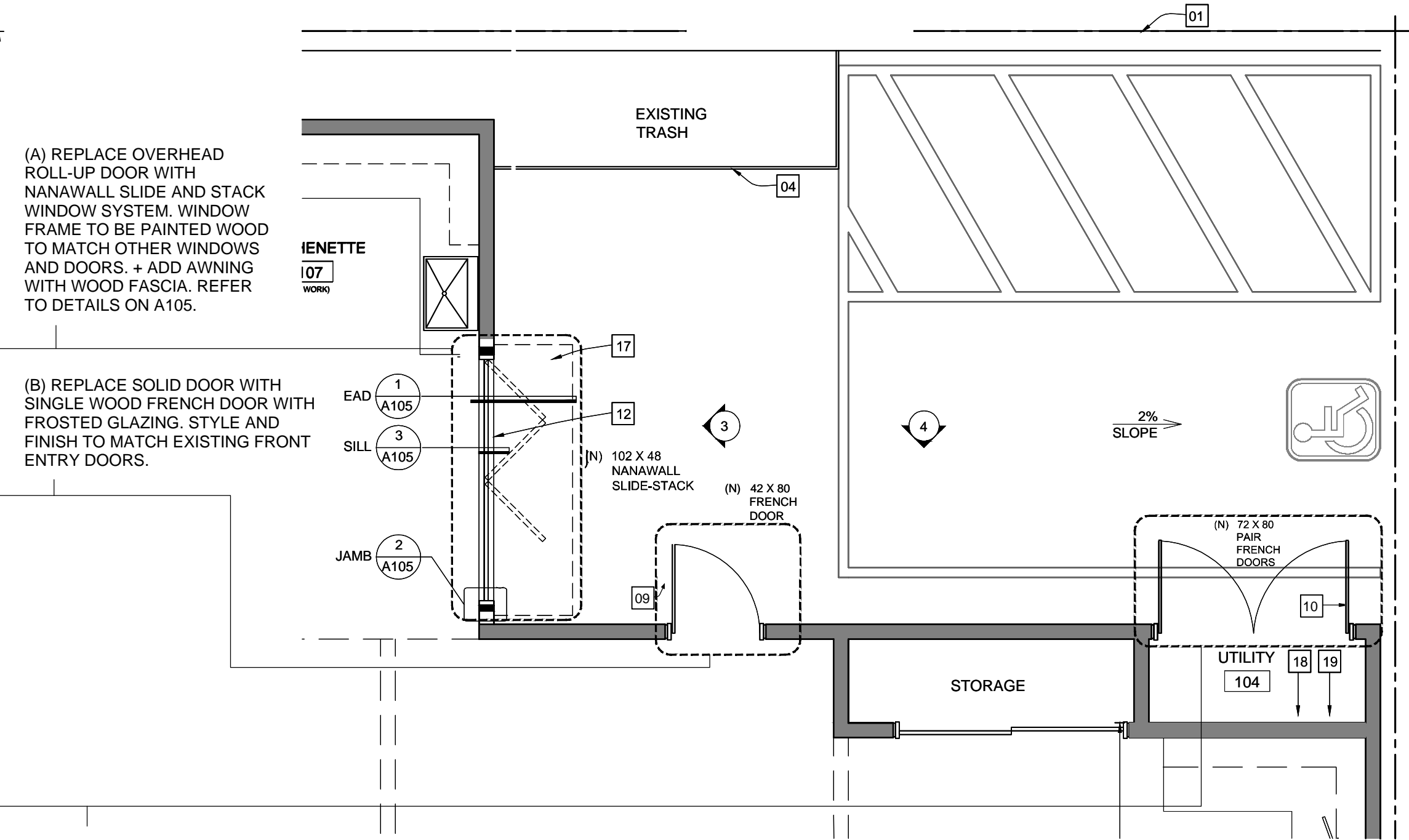


A 100

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1 - FLOOR PLAN EXISTING
SCALE: 1/4" = 1' - 0"



2 - FLOOR PLAN - PROPOSED
SCALE = 1/4" = 1'-0"

EXISTING STUD WALL TO REMAIN

NEW FULL HEIGHT PARTITION, 2X4 STUDS @ 16" OC W/ 5/8" GYP. BOARD ON BOTH SIDES

WALL LEGEND

1. PROPERTY LINE

2. (E) WOOD POST TO REMAIN

3. (E) BEAM TO REMAIN

4. (E) WOOD FENCE / GATE TO REMAIN

5. (E) ADA COMPLIANT BATHROOMS - NO CHANGE

6. (E) ENTRY DOOR TO REMAIN. VERIFY EXISTENCE AND PROPER FUNCTION OF ADA COMPLIANT LEVER HARDWARE

7. (E) STOREFRONT WINDOWS TO REMAIN

8. (E) MODULAR OFFICE FURNITURE TO REMAIN

9. (N) WOOD FRENCH DOOR - OPENING WILL REMAIN THE SAME SIZE AS EXISTING. STYLE AND FINISH TO MATCH EXISTING FRONT ENTRY DOORS

10. (N) PAIR WOOD FRENCH DOORS - OPENING WILL REMAIN THE SAME SIZE AS EXISTING. STYLE AND FINISH TO MATCH EXISTING FRONT ENTRY DOORS

11. (E) ROLL-UP DOOR

12. (N) NANAWALL SLIDE AND STACK WINDOW SYSTEM. WINDOW FRAME TO BE PAINTED WOOD.

13. (N) MODULAR OFFICE FURNITURE

14. (E) EMERGENCY EGRESS PATH WAY

15. (E) ENTRY / EXIT SIGNAGE

16. (E) ROOF OVERHANG WITH WOOD FASCIA

17. (N) ROOF OVERHANG WITH WOOD FASCIA OVERHANG AT FRONT ENTRY.

18. (E) ELECTRICAL AND GAS UTILITY METERS

19. (E) MAIN ELECTRICAL PANEL

KEYNOTES

NOTE : WHEN SHEET IS PRINTED
AT HALF SIZE (12X18) ALL SCALES
WILL BE REDUCED BY HALF.

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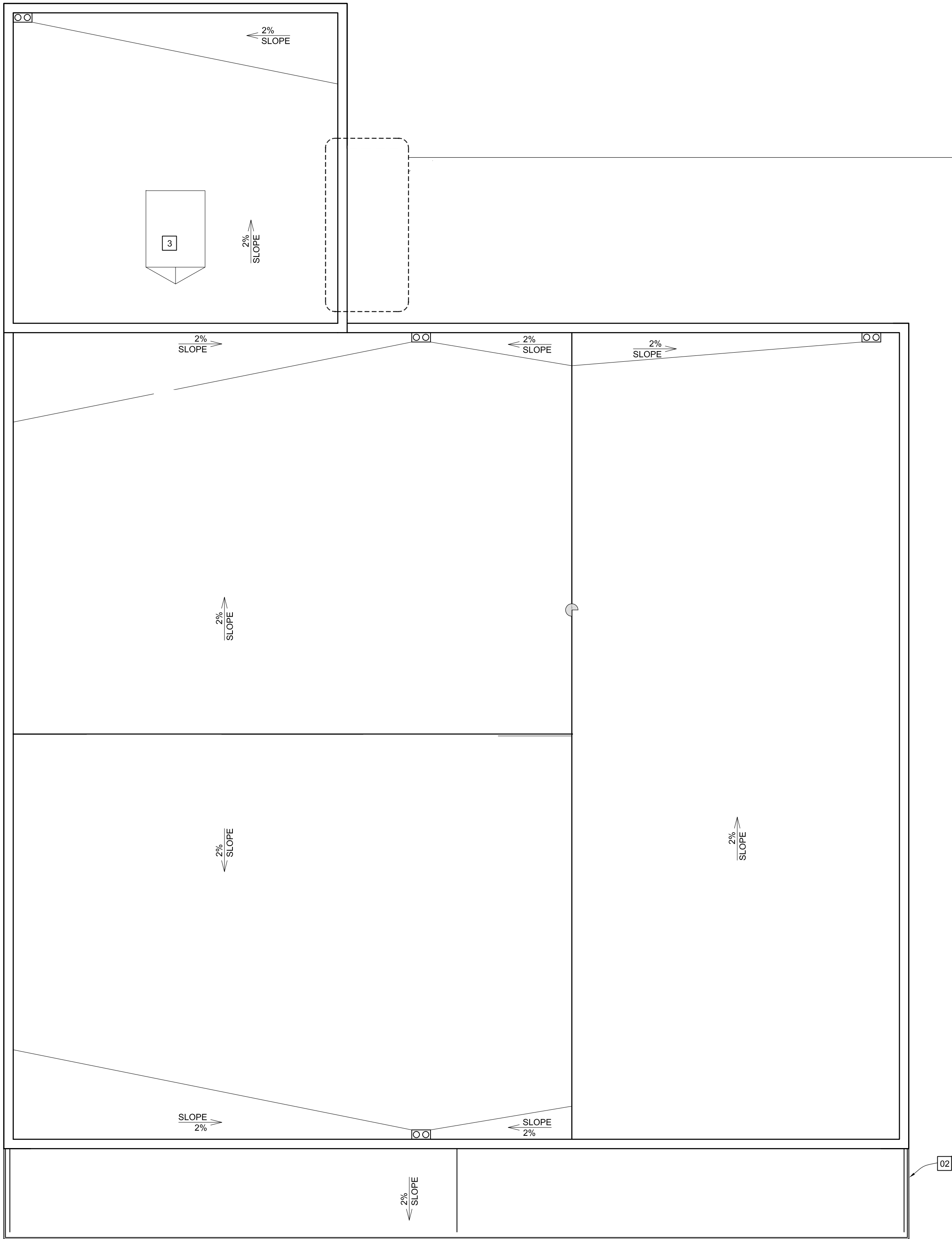
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FLOOR PLAN - EXISTING AND PROPOSED

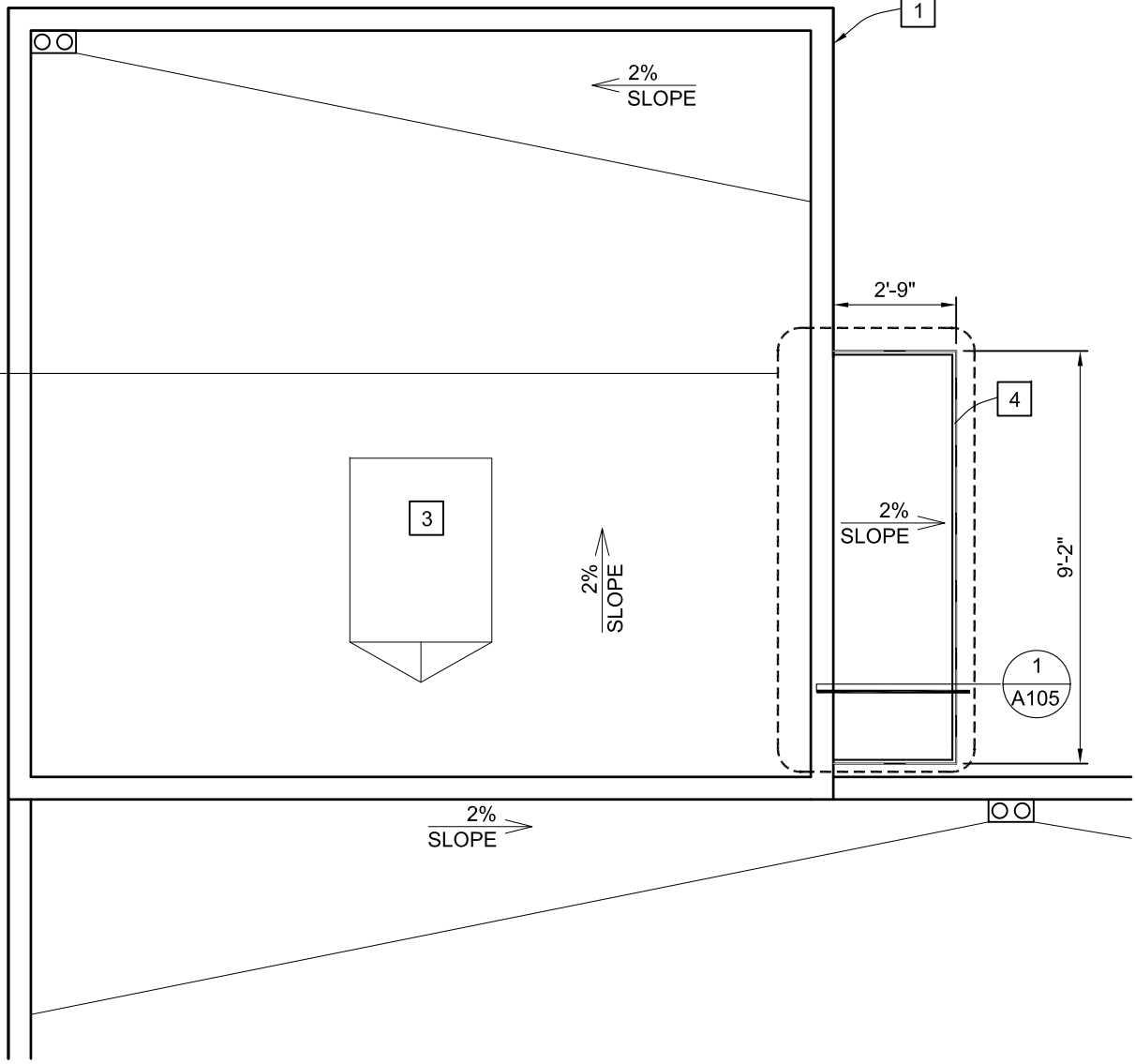
A 101

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1 - ROOF PLAN - EXISTING
SCALE: 1/4" = 1' - 0"

(A) ADD OVERHANG ROOF
ABOVE OPERABLE WINDOW
BELOW.



2 - ROOF PLAN - PROPOSED
SCALE = 1/4" = 1'-0"

1.	LINE OF EXISTING ROOF PARAPET
2.	LINE OF EXISTING ROOF OVERHANG
3.	(E) MECHANICAL HVAC EQUIPMENT - NO CHANGE, UPGRADE OR ADDITION
4.	(N) ROOF OVERHANG WITH WOOD FASCIA. TO MATCH OVERHANG AND FASCIA AT FRONT ELEVATION
KEYNOTES	

NOTE : WHEN SHEET IS PRINTED
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ROOF PLAN - EXISTING AND PROPOSED



A 102

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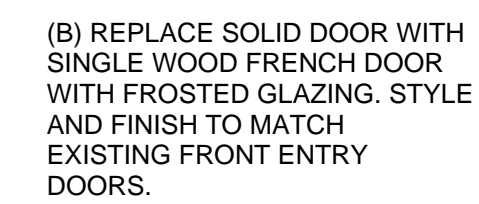
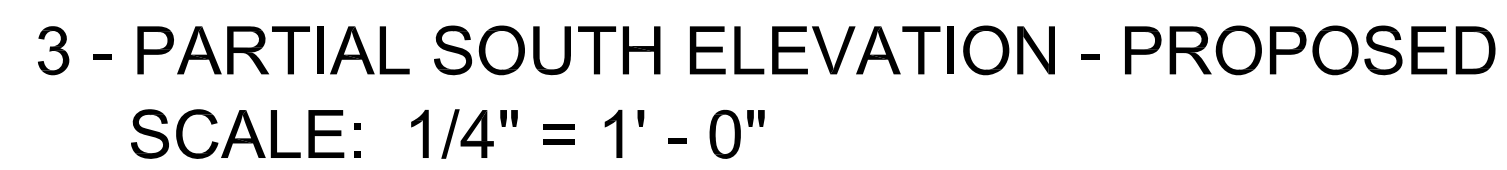
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EXTERIOR ELEVATIONS EXISTING AND PROPOSED



A 103

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1 - PARTIAL SOUTH ELEVATION - EXISTING
SCALE = 1/4" = 1'-0"



(A) REPLACE OVERHEAD ROLL-UP DOOR WITH NANAWALL SLIDE AND STACK WINDOW SYSTEM. WINDOW FRAME TO BE PAINTED WOOD TO MATCH OTHER WINDOWS AND DOORS. + ADD AWNING WITH WOOD FASCIA. REFER TO DETAILS ON A105.



6 - REAR PERSPECTIVE - PROPOSED

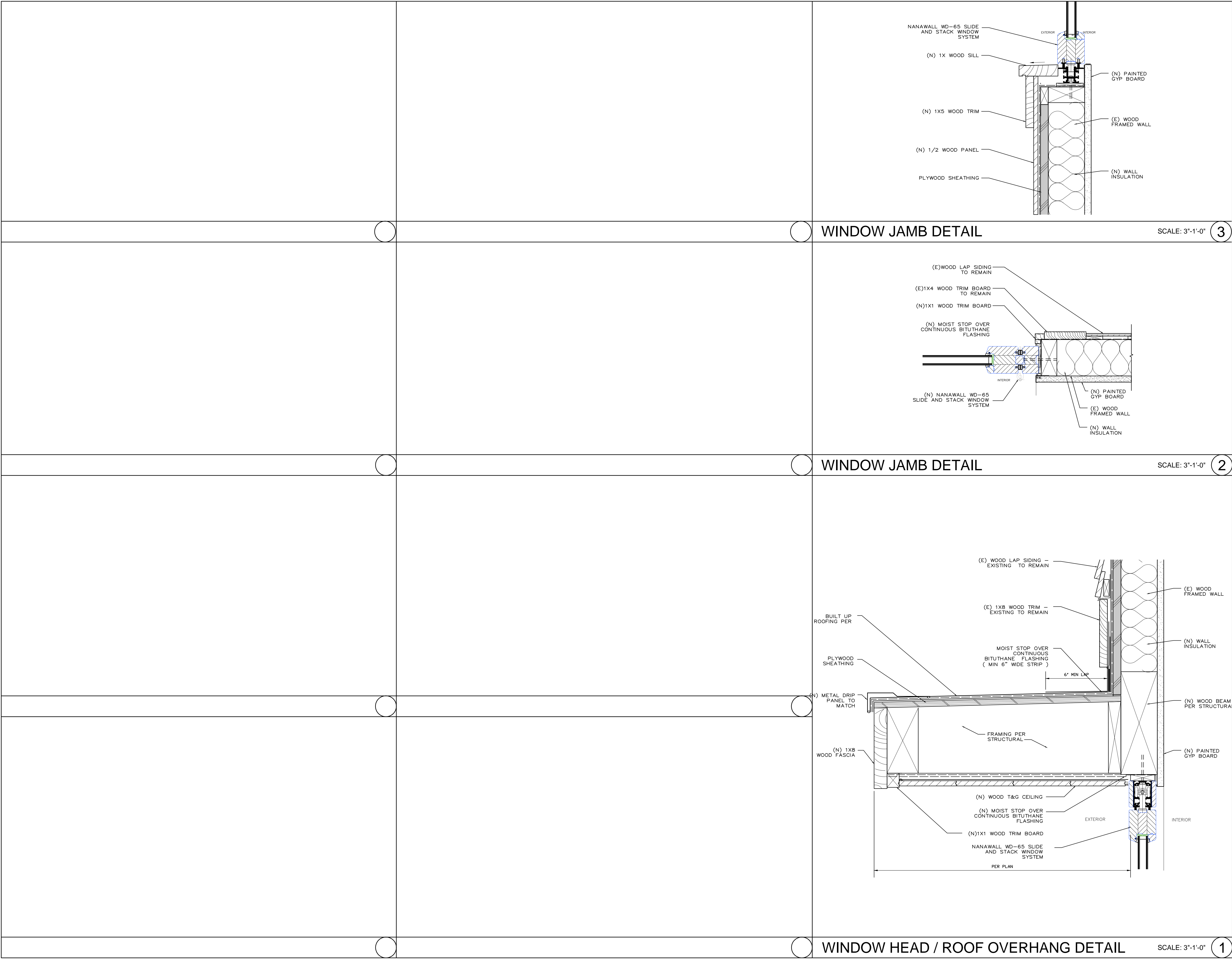


5 - REAR PERSPECTIVE - EXISTING

1. (E) ROLL-UP DOOR
2. (E) EXIT DOOR - SOLID
3. (E) UTILITY CLOSET PAIR DOORS - SOLID
4. (N) WOOD FRENCH DOOR - STYLE AND FINISH TO MATCH EXISTING FRONT ENTRY DOORS
5. (N) PAIR WOOD FRENCH DOORS - OPENING WILL REMAIN THE SAME SIZE AS EXISTING. STYLE AND FINISH TO MATCH EXISTING FRONT ENTRY DOORS
6. (E) PAINTED WOOD SIDING TO REMAIN IN PLACE.
7. (E) PAINTED WOOD TRIM TO REMAIN IN PLACE.
8. (N) PAINTED WOOD SIDING TO MATCH EXISTING.
9. (N) PAINTED WOOD TRIM TO MATCH EXISTING.
10. (N) ROOF OVERHANG WITH WOOD FASCIA. TO MATCH OVERHANG AND FASCIA AT FRONT ELEVATION
11. (N) NANAWALL SLIDE AND STACK WINDOW SYSTEM. WINDOW FRAME TO BE PAINTED WOOD.
12. (N) WOOD PANEL WITH 1X5 TRIM BOARD.

KEYNOTES

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MCCLEAN OFFICE

391 S. GLASSELL ST., ORANGE, CA 92866

DETAILS

LICENSED ARCHITECT
PAUL N. MCCLEAN
C-36197
REN. 12/31/19
STATE OF CALIFORNIA

A104

MONDAY, FEBRUARY 22, 2021 - DRC SUBMITTAL