TIGNER RESIDENCE

GENERAL NOTES

1. THESE DOCUMENTS ARE THE PROPERTY OF DEWEES DESIGN AND ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON.
2. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE DESIGNER / ENGINEER WHOSE SIGNATURE APPEARS HEREON.
3. DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
4. NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
5. REFERENCES TO ANY DRAWING OR DETAIL IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THEIR APPLICATION OF SUCH DETAIL OR DRAWINGS.
6. DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE EXISTING BUILDING AND ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER, SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT WORK. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND TO THE OWNER IMMEDIATELY. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE DESIGNER PRIOR TO INSTALLATION OF ANY WORK.
7. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL OR BOTH TO BRING TO THE IMMEDIATE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO:

C.R.C. 2019 EDITION	(CALIFORNIA RESIDENTIAL CODE)
C.E.C. 2019 EDITION	(CALIFORNIA ELECTRICAL CODE)
C.P.C. 2019 EDITION	(CALIFORNIA PLUMBING CODE)
C.M.C. 2019 EDITION	(CALIFORNIA MECHANICAL CODE)

ALL DESIGN AND PLANS BASED ON THE 2019 CALIFORNIA RESIDENTIAL (CRC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC) AND 2019 CALIFORNIA ENERGY CODE.

8. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL SAFETY, MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. EXTERIOR STUD WALLS ARE DIMENSIONED TO THE FACE OF STUDS UNLESS OTHERWISE NOTED.
10. ALL GYPSUM WALL BOARD TO BE 1/2" THICK, UNLESS OTHERWISE NOTED OR REQUIRED FOR SPECIFIC WALL CONSTRUCTION.
11. INTERIOR PARTITIONS ARE DIMENSIONED TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
12. TYPICAL STUDS AT EXTERIOR WALLS ARE TO BE 2 X 6 WOOD STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED.
13. TYPICAL STUDS AT INTERIOR WALLS ARE TO BE 2 X 4 WOOD STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED.
14. INSULATION REQUIRED (PER FED. SPEC. HH-I-521E, TYPE III):
15. ROOF: R- 30 6" MINIMUM THICKNESS
16. WALLS: R- 19 3 1/2" MINIMUM THICKNESS
17. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE DIVISION OF INDUSTRIAL SAFETY.
18. LOCATE ALL MANUALLY OPERATED CONTROLS AND SWITCHES @ +48" FROM FLOOR. LOCATE ALL CONVENIENCE OUTLETS A MINIMUM OF +12" FROM FLOOR.
19. CROSS SLOPES OF ANY WALKING SURFACES SHALL BE MINIMUM POSSIBLE AND SHALL NOT EXCEED 1/4 INCH PER FOOT. THE SLOPE OF ANY APPRECIABLY WARPED WALKING SURFACE SHALL NOT EXCEED 1 VERTICAL IN 12 HORIZONTAL IN ANY DIRECTION.
20. ALL CHIMNEYS MUST EXTEND A MINIMUM OF 2'-0" ABOVE ANY ROOF WITHIN 10'-0". SPARK ARRESTORS MUST BE PROVIDED.
21. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED TO THE STREET IN AN APPROVED DEVICE AT 2% MINIMUM.
22. ALL PREFABRICATED SKYLIGHTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF U.B.C. CHAPTER 50 AND THAT FABRICATORS SHOP DRAWINGS AND CALCULATIONS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION AT THE JOB SITE.
23. ALL TOILETS SHALL BE LOW CONSUMPTION
24. MECHANICAL PERMIT REQUIRED FOR PRE-FABRICATED FIREPLACES.
25. THESE DOCUMENTS CONTAIN INFORMATION PROPRIETARY TO MICHAEL DEWEES DESIGN AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING, OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF DEWEES DESIGN. ALL RIGHTS RESERVED.
26. ALL FILL OR BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION AS DETERMINED BY A.S.T.M. METHOD D-1557. SUBDRAINS SHALL BE PROVIDED WHERE REQUIRED.
27. THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS AND FOR BOTTOM INSPECTION, BEFORE ANY FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR IF REQUIRED BY THE BUILDING DEPARTMENT.
28. SOIL ENGINEER IS TO INSPECT FOOTING EXCAVATION BEFORE CONCRETE IS TO POURED IN PLACE INSPECTOR IF REQUIRED BY THE BUILDING DEPARTMENT.
29. SEISMIC GAS SHUT-OFF VALVE IS TO BE INSTALLED ON EACH FUEL GAS LINE ON THE DOWNSTREAM SIDE OF OF THE METER AND RIGIDLY CONNECTED.
30. ALL FOOTINGS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL PER CODE.
31. NOT USED
32. IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.
33. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOCATION AT A 2% SLOPE MINIMUM.
34. SMOKE DETECTORS SHALL BE RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DECTECTORS SHALL BE LOCATED IN EACH SLEEP'G ROOM and HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY and BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. BATTERY OPERATED SMOKE DETECTORS MAYBE USED IN EXITING CONSTRUCTION.
35. WATER HEATER MUST BE STRAPPED TO WALL PER DSA STANDARD.
36. PROVIDE 70" HIGH ABSORBANT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE." 91.807.1..4 , 91.2406.4(5), 91.1115B.9.6,7,8

SECURITY NOTES

1. ALL PIN-TYPE DOOR HINGES ACCESIBLE FROM OUTSIDE SHALL HAVE NONREMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 67L11(E.G.).
2. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. 91.6711(F)
3. GLAZED OPENINGS WITH 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2" THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS 91.6720
4. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS UNLESS SIZED AS REQUIRED HEREIN FOR STILES AND RAILS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. 91.6711A)2
5. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. 91.6722(B)
6. PROVIDE DOOR VIEWERS, VIEWPORTS, OR VIEWING WINDOWS FOR DWELLING AND GUEST ROOM ENTRANCE DOORS (ALSO SEE 6720)
7. SLIDING DOORS AND WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 916712 & 6722(A)
8. SLIDING GLASS DOORS AND WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6731 AND 91.6732.
9. SPECIFY DEAD BOLTS WITH HARDENED INSERT; DEADLOCKING LATCH WITH KEY-OPERATEDLOCKS ON EXTERIOR; LOCKS OPERABLE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT ON INTERIOR; THROW TYPE AND EMBEDMENT OF DEAD BOLTS FOR SINGLE SWINING DOOR, ACTIVE LEAF OR PAIRS OF DOORS, OR BOTTOM LEAF OF DUTCH DOOR. 9167LL
10. SPECIFY THAT STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". 91.6711(B)
11. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. HOLLOW CORE DOORS LESS THAN 1 3/8" IN THICKNESS COVERED ON THE INSIDE FACE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS A 6" ON CENTERS AROUND THE PERIMETER OR EQUIVALENT DOOR STOPS OF IN-SWINING DOORS SHALL BE OR ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB
12. WOOD PANEL TYPE DOORS WITH PANELS FABRICATED OF LUMBER NOT LESS THAN 9/16 IN THICKNESS, PROVIDED SHAPED PORTIONS OF THE PANELS ARE NOT LESS THAN 1/4 IN THICK. INDIVIDUAL PANELS SHALL NOT EXCEED 300 SQ.FT. IN AREA. sTILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH.
13. POLICE DEPARTMENT APPROVAL MUST BE REQUIRED PRIOR TO ANY SUBSTITUTIONS OF WINDOWS, SLIDING GLASS DOORS, EXTERIOR SWINGING DOORS OR DOOR HARDWARE.

FIRE DEPARTMENT NOTES

1. TYPE OF CONSTRUCTION VB
2. REQUIRED FIRE FLOW 1000 GALLONS PER MINUTE.
3. REDUCTION FOR SPRINKLERS NA GALLONS PER MINUTE
4. REQUIRED FIRE FLOW 1000
5. ACTUAL FIRE FLOW INFORMATION TO BE PROVIDED BY CITY OF ORANGE - PUBLIC WORKS - WATER DIVISION UNDER SEPARATE REPORT

SEPARATE PERMIT AND DEFERRED SUBMITTAL FOR ELECTRICAL PERMIT PER [CRC R106.3.3]

ABBREVIATIONS

A.B.	Anchor Bolt	MFG.	Manufacturer	E.O.S.	Edge of Slab	SQ. FT.(SF.)	Square Feet
A.C.	Asphaltic Concrete	MIN.	Minimum	EQ.	Equal	S.S. (S/S)	Stainless Steel
ACOUST.	Acoustical	MISC.	Miscellaneous	EXSTG.	Existing	ST.	Street
AC.T.	Acoustical Tile	M.O.	Masonry Opening	EXT.	Exterior	STL.	Steel
ADJ.	Adjustable	MTL.	Metal	F.A.U.	Forced Air Unit	STOR.	Storage
ADDL.	Additional	N.	North	F	Fixed Glass	S.T.S.	Stud to Stud
AGG.	Aggregate	N.E.C.	National Electrical Code	FIN. GRD.	Finished Grade	STUC.	Stucco
ALUM.	Aluminum	N.I.C.	Not in Contract	FIN.	Finish	STR.	Structure
APPROX.	Approximate	NO./(#)	Number	F.L.	Flow Line	STRL.	Structural
ARCH.	Architect(ural)	N.T.S.	Not to Scale	FLR.	Floor	SUSP.	Suspended
ASPH.	Asphalt	O.C. (O/C)	On Center	FLRTG.	Flooring	SYM.	Symmetrical
@	At	O.D.	Overflow Drain	FLUOR.	Fluorescent	S4S	Surface Four Sides
BD.	Board	OPNG.	Opening	F.O.	Face Of	S3S	Surface Three Sides
BLDG.	Building	OPP.	Opposite	F.O.C.	Face of Concrete	T	Treads
BLK.	Block	O/	Over	F.O.F.	Face of Finish	T&B	Top and Bottom
BLKG.	Blocking	OVHD.	Overhead	F.O.M.	Face of Masonry	T.O.C.	Top of Concrete
BM.	Beam	P	Paint	F.O.S.	Face of Stud	T.O.C.	Top of Curb
BOTT.	Bottom	PAV.	Paving	F.S.	Floor Sink	T.O.F.	Top of Finish
CAB.	Cabinet	PERP.	Perpendicular	FT.	Feet	T.O.P.	Top of Parapet
CARP.	Carpet	PL.	Plate	FTG.	Footing	T.O.R.	Top of Roof
C.C.	Center to Center	P.L.	Plate Line	GA.	Gauge	T.O.S.	Top of Sheathing
CEM.	Cement	P.L.	Property Line	GAL.	Gallon	T.O.S.	Top of Slab
CEM. PLAS.	Cement Plaster	PLAS.	Plastic	GALV.	Galvanized	T.O.W.	Top of Wall
C.L.	Center Line	PLYWD.	Plywood	G.I.	Galvanized Iron	T./TEMP.	Tempered
CER.	Ceramic	PR.	Pair	G.S.	Galvanized Steel	T&G	Tongue and Groove
C.I.	Cast Iron	PREFAB	Prefab	GL.	Glass	TYP.	Typical
C.J.	Ceiling Joist	PROP.	Property	G.L.B.	Glue Laminated Beam	UL	Underwriter Label
CLG.	Ceiling	PTD.	Painted	GOVT.	Government	U.N.O.	Unless Noted Otherwise
CLKG.	Caulking	%	Percent	GRD.	Grade	U.B.C.	Uniform Building Code
CLR.	Clear	QTY.	Quantity	GYP.	Gypsum	U.M.C.	Uniform Mechanical Code
C.M.U.	Concrete Masonry Unit	R	Risers	GYP. BD.	Gypsum Board	U.P.C.	Uniform Plumbing Code
C.O.	Concrete Opening	R.	Radius	H.B.	Hose Bid	VAR.	Varies
COL.	Column	RD.	Road	H.C.	Hollow Core	VERT.	Vertical
COMM.	Commercial	R.D.	Roof Drain	HDWR.	Hardware	VOL.	Volume
CONC.	Concrete	REF.	Reference	HT.	Height	V.T.	Vinyl Tile
CONT.	Continuous	REINF.	Reinforcement	H.M.	Hollow Metal	W.	West
CU. FT.	Cubic Feet	REQD.	Required	HORIZ.	Horizontal	W	Wide Flange
CU. IN.	Cubic Inches	RES. FLR.	Resilient Flooring	HR.	Hour	W/	With
CU. YD.	Cubic Yard	RET.	Retaining	INSUL.	Insulation	WD.	Wood
DET.	Detail	RM.	Room	INT.	Interior	W.G.	Wire Glass
DIA.	Diameter	RO.	Rough	JNT.	Joint	W/H	Water Heater
DIM.	Dimension	R.O.	Rough Opening	JST.	Joist	W/O	Without
DN.	Down	S.	South	LAM.	Laminated	W.P.	Waterproofing
E.	East	S.C.	Solid Core	LGTH.	Length	WT.	Weight
EA.	Each	SECT.	Section	LN.	Line	YD.	Yard
E.J.	Expansion Joint	SHT.	Sheet	LT.	Light	Z.S.	Zipper Strip
E.D.F.	Electric Drinking Fountain	SHTG.	Sheath ing	MAT.	Material		
ELEV.	Elevation	SIM.	Similar	MAX.	Maximum		
		S&P	Shelf and Pole	MAX	Maxwell		
		SPECS.	Specifications	MET.	Metal		
		SQ. IN.	Square Inches				

ENERGY NOTES

1. THE BUILDING DESIGN MEETS THE REQUIREMENTS OF TITLE 24, PART 2, CH.2-53.
2. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2-53 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3.
3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIALS.
4. DOORS AND WINDOWS BETWEEN CONDITIONED AND OUTSIDE OR UNCONDITIONED SPACES, SUCH AS GARAGES AND COMPARTMENTS FOR CENTRAL AIR GAS FURNACES, SHALL BE FULLY WEATHER-STRIPPED.
5. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS LISTED IN TABLE 2-53V OF REGULATIONS.
6. ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING SHALL BE PROVIDED WITH BACK DRAFT DAMPERS.
7. CAULK AROUND A LL PLUMBING AND ELECTRIC PENETRATIONS INTO THE BUILDING ENVELOPE.
8. CAULK AND SEAL AROUND ALL WINDOW AND DOOR FRAMES AND BETWEEN WALL SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
9. DUCTS SHALL BE CONSTRUCTED, INSTALLED, AND INSULATED ACCORDING TO CHAPTER 10 OF THE 1979 UNIFORM MECHANICAL CODE. ALL JOINTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.
10. STORAGE TYPE WATER HEATERS AND STORAGE TANKS FOR SOLAR WATER HEATING SYSTEMS SHALL BE EXTERNALLY WRAPPED WITH INSULATION OF R-12 OR GREATER, UNLESS SO INTERNALLY INSULATED. PROVIDE MINIMUM R-3 INSULATION ON WATER HEATER INLET AND OUTLET
11. PIPE FOR THE FIRST FIVE FEET IN UNCONDITIONED SPACES.
12. INSULATE RECIRCULATING HOT WATER PIPING IN UNHEATED SPACES.
13. GAS FIRED HOUSEHOLD HEATING AND COOLING APPLIANCES, SHOWER HEADS AND FAUCETS SHALL COMPLY WITH THE APPLIANCE EFFICIENCY STANDARDS.
14. GENERAL LIGHTING IN KITCHEN AND BATHROOMS SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 25 LUMENS/WATT.
15. THERMOSTATICALLY CONTROLLED HEATING OR COOLING SYSTEMS (EXCEPT HEAT PUMPS) SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH CAN BE MANUALLY PROGRAMMED TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST TWO PERIODS WITHIN 24 HOURS.

BUILDING INFORMATION

LEGAL DESCRIPTION

ZONE:	R-1-6
CONSTRUCTION:	TYPE V - NON RATED NON-SPRINKLERED
LOT SIZE:	6,809 SF

PROJECT DESCRIPTION

1. DEMOLITION OF EXISTING TWO-CAR GARAGE. RE-LOCATION OF EXISTING EXTERIOR WATER HEATERS.
2. PROPOSED ADDITION OF MASTER BEDROOM, MASTER BATHROOM, LAUNDRY ROOM AND GARAGE AND RE-CONFIGURATION OF EXISTING HALLWAY AT FRONT ONE-STORY, SINGLE-FAMILY RESIDENCE.
3. PROPOSED ADDITION OF GARAGE FOR REAR RESIDENCE. 1-HOUR RATED WALL BETWEEN PROPOSED GARAGE AND EXISTING ONE-STORY, SINGLE-FAMILY RESIDENCE.
4. PROPOSED METAL GUTTERS AND DOWNSPOUTS AT EXISTING RESIDENCES AND ADDTIONS.

PROJECT DIRECTORY

OWNER

LORI TIGNER

151/155 SOUTH PARKER STREET
ORANGE CA. 92868

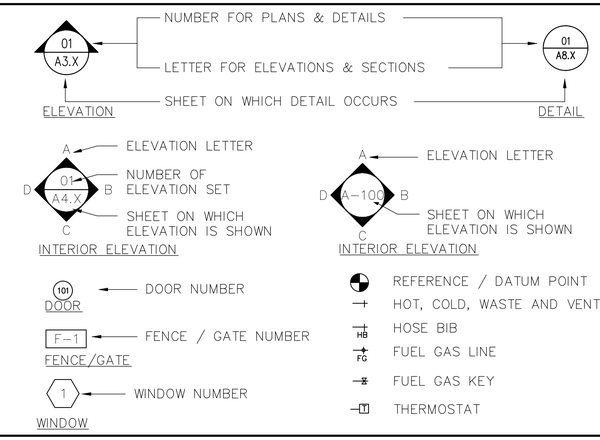
DESIGNER

DEWEES DESIGN
191 SOUTH ORANGE STREET
STUDIO "D"
ORANGE, CA 92866
949-246-2809
DONNIE@DEWEESDESIGN.COM
ATTN: DONNIE DEWEES

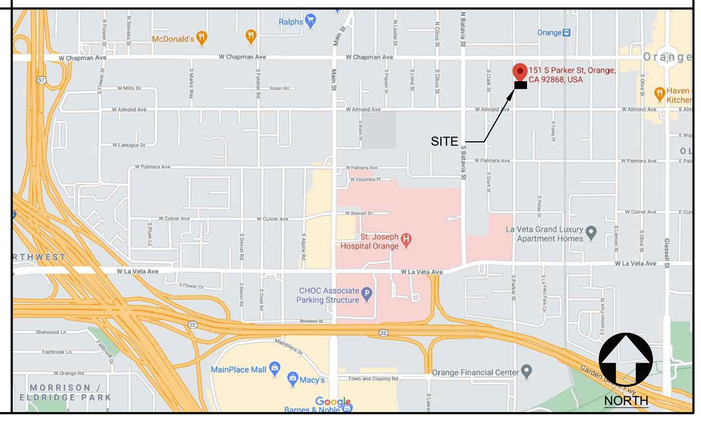
SHEET INDEX

T.01	TITLE SHEET
G1.0	EXISTING PHOTOGRAPHS
A1.0	EXISTING SITE PLAN/DEMO PLAN
A1.1	PROPOSED SITE PLAN
A2.1	PROPOSED FLOOR PLAN/DEMO PLAN
A2.2	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS (SOUTH/EAST)
A3.2	EXTERIOR ELEVATIONS (NORTH/WEST)
A4.1	BUILDING SECTIONS

DRAWINGS SYMBOLS



VICINITY MAP



DEWEES DESIGN

ORANGE, CALIFORNIA
PH: 949.246.2809

www.deweesdesign.com

PLANNING SUBMITTAL - DRC REVIEW 04-07-21

PLANS PREPARED BY:

DONNIE T. DEWEES
PRINCIPAL
DEWEES DESIGN

PROJECT NAME:

Tigner Residence

151 / 155 South Parker Street
Orange, CA 92868

SHEET TITLE

TITLE SHEET

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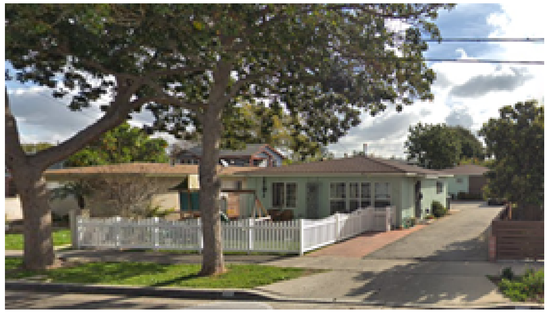
PROJECT NO.:	DD-#21-02
LAST ISSUE DATE:	01-27-2021
BY: ALX	CHKD: DD
CONCEPTUAL DESIGN	02-15-21
PLANNING SUBMITTAL	02-24-21
PLANNING SUBMITTAL DRC REVIEW	04-07-21
1	-
2	-
3	-

FILE:

SHEET

T.01



SUBJECT PROPERTY - FRONT HOUSE

SUBJECT PROPERTY - FRONT HOUSE / REAR HOUSE BEYOND

SUBJECT PROPERTY - FRONT HOUSE

SUBJECT PROPERTY - REAR HOUSE AND GARAGE

NEIGHBOR TO THE NORTH

SUBJECT PROPERTY - FRONT HOUSE

NEIGHBOR TO THE SOUTH

NEIGHBORS DIRECTLY ACROSS THE STREET TO THE WEST

PLANNING SUBMITTAL-DRC SUBMITTAL-04-07-21

DEWEES DESIGN

ORANGE, CALIFORNIA
PH: 949.246.2809

www.deweesdesign.com

PLANS PREPARED BY:

DONNIE T. DEWEES
PRINCIPAL
DEWEES DESIGN

PROJECT NAME:

Tigner Residence

151 / 155 South Parker Street
Orange, CA 92868

SHEET TITLE

EXISTING PHOTOGRAPHS

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PROJECT NO.: DD-#21-02

LAST ISSUE DATE: 01-27-2021

BY: ALX CHKD: DD

CONCEPTUAL DESIGN 02-15-21

PLANNING SUBMITTAL 02-24-21

1 – –

2

3

FILE:

SHEET

G1.0

PROJECT STATISTICS

EXISTING SITE AREA -	6,809 GSF
FRONT HOUSE (151 S. PARKER ST) -	872 GSF
REAR HOUSE (155 S. PARKER ST)-	854 GSF
GARAGE-	389 GSF
TOTAL	2,115 GSF
TOTAL LOT COVERAGE-	31%
EXISTING F.A.R-	25%

KEYNOTES

NO.		PROV. BY	INSTAL. BY
01	EXISTING GARAGE WALLS, ROOF AND SLAB TO BE REMOVED.	CON.	CON.
02	EXISTING CONCRETE PAVING, AC PAVING AND FLATWORK TO BE REMOVED.	CON.	CON.
03	EXISTING POWERPOLE	CON.	CON.
04	EXISTING 6'-0" HIGH WOOD FENCING AND GATE	CON.	CON.
05	EXISTING 4'-0" HIGH VINYL PICKET FENCE	CON.	CON.
06	EXISTING GATE	CON.	CON.
07	EXISTING 6'-0" HIGH CMU WALL	CON.	CON.
08	EXISTING 4'-0" HIGH CMU WALL	CON.	CON.

1. ---

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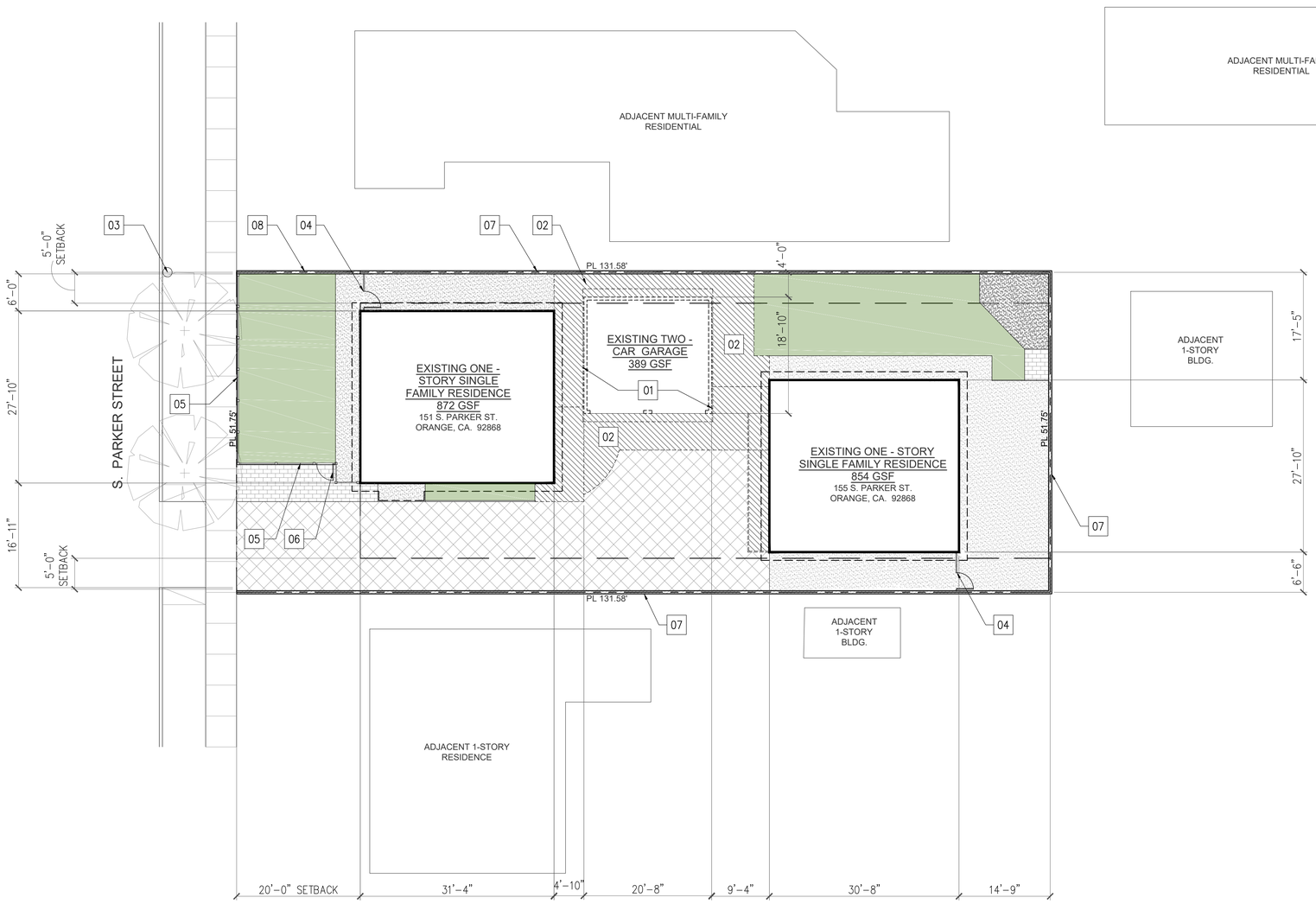
03



NORTH

EXISTING CONCRETE PAVING, AC PAVING FENCING AND FLATWORK TO BE REMOVED

EXISTING 6" CMU WALL @ EXISTING PROPERTY LINE

EXISTNG AC PAVING

EXISTING LANDSCAPE AREA

EXISTING CONCRETE PAVING

EXISTING BRICK PAVERS

EXISTING SITE PLAN / DEMO PLAN | 1"=10'-0" | 10 | LEGEND | 04

DEWEES DESIGN

ORANGE, CALIFORNIA
PH: 949.246.2809

www.deweesdesign.com

PLANS PREPARED BY:

DONNIE T. DEWEES
PRINCIPAL
DEWEES DESIGN

PROJECT NAME:

Tigner Residence

151 / 155 South Parker Street
Orange, CA 92868

PLANNING SUBMITTAL - DRC REVIEW 04-07-21

SHEET TITLE

EXISTING SITE PLAN

DEMO PLAN

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SHEET

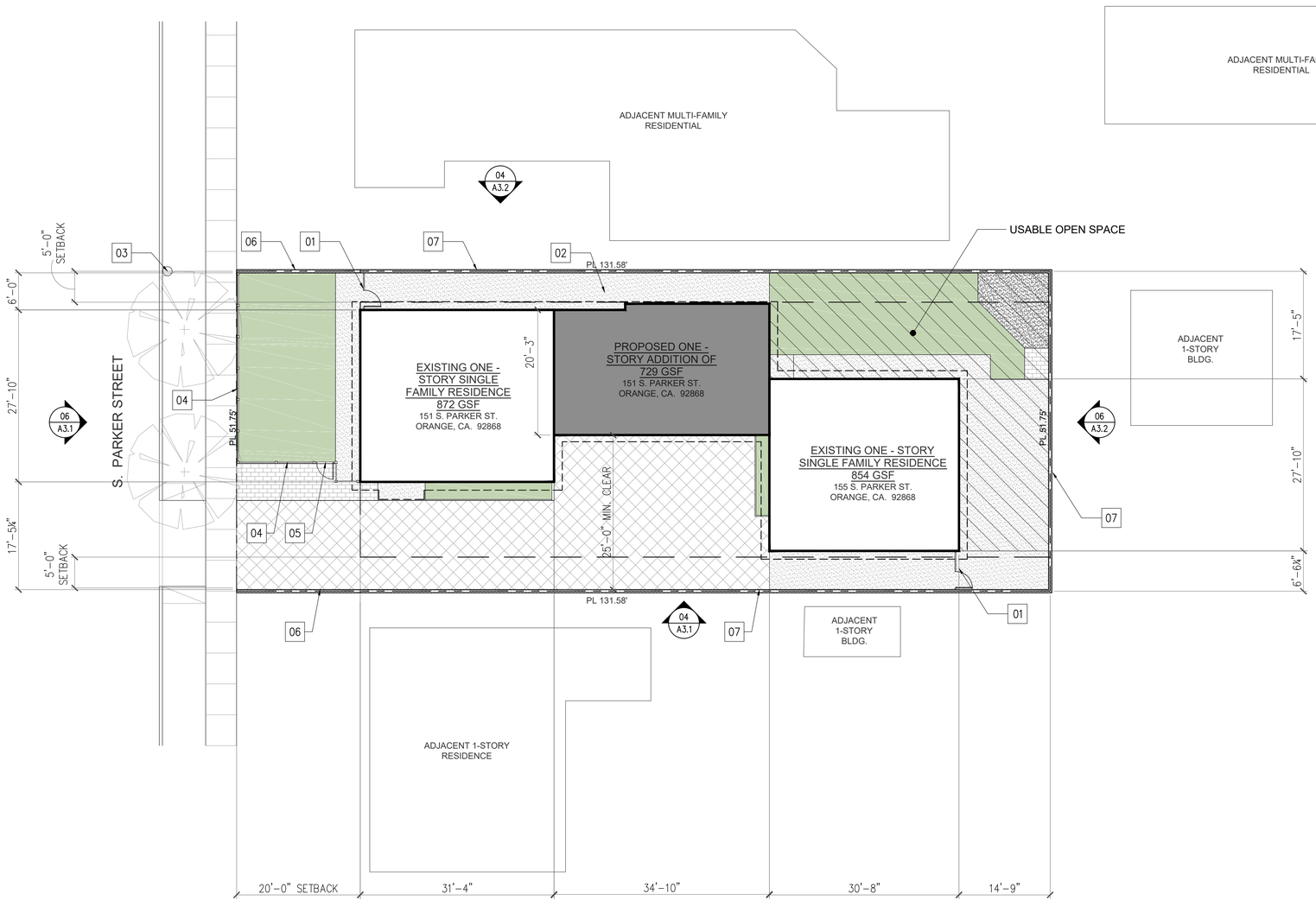
A1.0

USABLE OPEN SPACE CALCULATION

USABLE OPEN SPACE REQUIRED-	900 SF
USABLE OPEN SPACE PROVIDED-	1,179 SF

PROJECT STATISTICS

EXISTING SITE AREA -	6,809 GSF
FRONT HOUSE (151 S. PARKER ST) -	872 GSF
REAR HOUSE (155 S. PARKER ST)-	854 GSF
GARAGE-	389 GSF
TOTAL	2,115 GSF
TOTAL LOT COVERAGE-	31%
EXISTING F.A.R-	25%
FRONT HOUSE (151 S. PARKER ST) -	872 GSF
REAR HOUSE (155 S. PARKER ST) -	854 GSF
PROPOSED ADDITION	**729 GSF**
TOTAL	2,455 GSF
PROPOSED F.A.R.	36%



KEYNOTES

NO.		PROV. BY	INSTAL. BY
01	EXISTING 6'-0" WOOD FENCE AND GATE	CON.	CON.
02	PATCH AND REPAIR CONCRETE PAVING AS NECESSARY.	CON.	CON.
03	EXISTING POWERPOLE	CON.	CON.
04	EXISTING 4'-0" HIGH VINYL PICKET FENCE	CON.	CON.
05	EXISTING GATE	CON.	CON.
06	EXISTING 4'-0" HIGH CMU WALL	CON.	CON.
07	EXISTING 6'-0" HIGH CMU WALL	CON.	CON.

1. ---

- | 03

EXISTING PROPERTY LINE

EXISTING 6'-0" HIGH CMU WALL

PROPOSED ADDITION

EXISTNG AC PAVING

EXISTING LANDSCAPE AREA

EXISTING CONCRETE PAVING

EXISTING BRICK PAVERS

USABLE OPEN SPACE REQUIRED OF 900 SQ. FT. PER MUNICIPAL CODE SECTION 17.14.07. (SEE USABLE OPEN SPACE CALCULATION ABOVE)

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PROPOSED SITE PLAN

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SHEET

A1.1

DOOR SCHEDULE

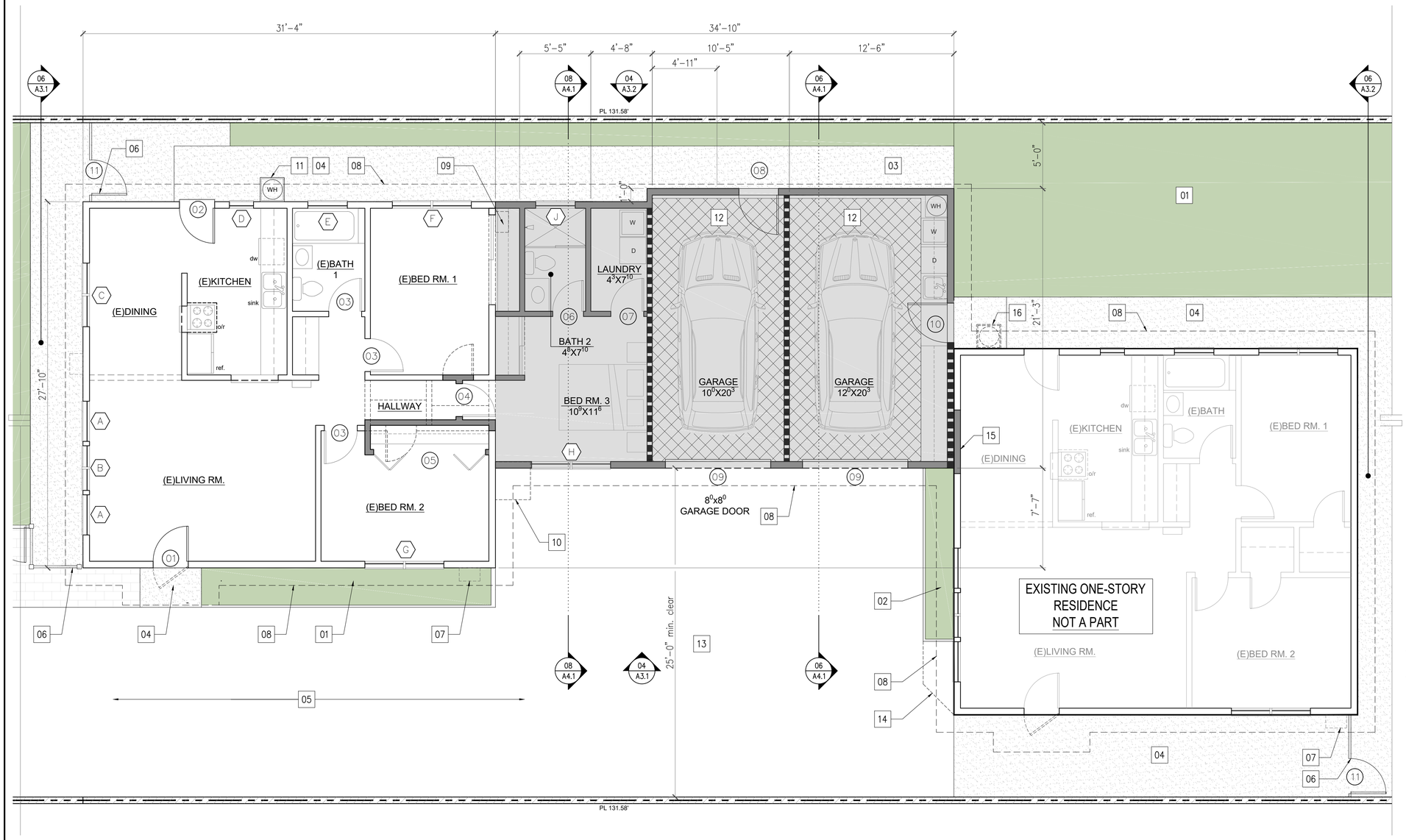
#	SIZE	TYPE / MATERIAL	HARDWARE	N OTES
01	2^8x6^8	(E) SOLID CORE WOOD/GLASS PANEL, EXT. DOOR	LOCK SET	EXISTING DOOR W/ MTL SECURITY GATE
02	2^8x6^8	(E) SOLID CORE WOOD/GLASS PANEL, EXT. DOOR	LOCK SET	EXISTING
03	2^6x6^8	(E) INTERIOR WOOD DOOR, PAINTED	LATCHSET	EXISTING
04	2^6x6^8	INTERIOR WOOD DOOR, PAINTED	LATCHSET	
05	PR 1^7x6^8	BI-FOLD WOOD CLOSET DOORS, PAINTED	LATCHSET	
06	2^4x6^8	INTERIOR WOOD DOOR, PAINTED	PRIVACY LOCK SET	BATHROOM DOOR
07	2^6x6^8	INTERIOR WOOD DOOR, PAINTED	LATCHSET	LAUNDRY DOOR
08	3^0x6^8	SOLID CORE EXTERIOR WOOD DOOR, PAINTED	LOCK SET	
09	8^0x8^0	METAL OVERHEAD ROLL-UP DOOR W/TEMP GLASS	-	WITH MOTORIZED GARAGE DOOR OPENER
10	3^0x6^8	SOLID CORE EXTERIOR WOOD/GLASS DOOR, PAINTED	LOCK SET	
11	2^8x6^0	WOOD FENCE GATE	LOCK	

WINDOW SCHEDULE

	SIZE WxH	MATERIAL	N OTES
A	3^0x5^6	(E) VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SINGLE HUNG	EXISTING
B	3^4x5^6	(E) VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SINGLE HUNG	EXISTING
C	3^8x4^2	(E) VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SLIDING	EXISTING
D	1^0x3^2	(E) VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SINGLE HUNG	EXISTING
E	3^0x1^6	(E) VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SLIDING	EXISTING
F	6^0x3^0	(E) VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SLIDING	EXISTING
G	6^0x3^6	(E) VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SLIDING	EXISTING
H	6^0x3^6	VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SLIDING	TO MATCH EXISTING
J	3^0x1^6	VINYL WINDOW W/ INTERNAL DIVIDED LIGHTS- SLIDING	TO MATCH EXISTING

KEYNOTES

NO.		PROV. BY	INSTAL. BY
01	EXISTING PLANTING AREA	CON.	CON.
02	PROPOSED LANDSCAPE AREA	CON.	CON.
03	PROPOSED CONCRETE PAVING	CON.	CON.
04	EXISTING CONCRETE PAVING	CON.	CON.
05	EXISTING AC PAVING	CON.	CON.
06	EXISTING WOOD FENCING AND GATE	CON.	CON.
07	EXISTING WALL HUNG AC UNIT	CON.	CON.
08	LINE OF ROOF OVERHANG	CON.	CON.
09	EXISTING AC UNIT TO BE REMOVED	CON.	CON.
10	EXISTING WATER HEATER TO BE REMOVED	CON.	CON.
11	RELOCATED EXISTING WATER HEATER	CON.	CON.
12	10'–0" x 20'–0" VEHICULAR CLEARANCE AREA AT GARAGE.	CON.	CON.
13	PROPOSED 10% ADMINISTRATIVE ADJUSTMENT OF REQUIRED 25'–0" GARAGE SET BACK	CON.	CON.
14	PORTION OF EXISTING LANDSCAPE AREA TO BE REMOVED.	CON.	CON.
15	EXISTING WINDOW AT DINING ROOM TO BE REMOVED	CON.	CON.
16	EXISTING WATER HEATER TO BE RE–LOCATED TO PROPOSED GARAGE. DEMO AND REMOVE EXISTING ENCLOSURE.	CON.	CON.



NOTES 03

- EXISTING WALLS TO BE DEMOLISHED
- PROPOSED WALLS
- ONE–HOUR RATED WALL ASSEMBLY 2X4 WOOD STUD W/ ONE LAYER 5/8" TYPE "X" EACH SIDE.
- AREA OF PROPOSED ADDITION
- EXISTING WALL TO REMAIN.
- EXISTING 6" CMU WALL @ EXISTING PROPERTY LINES
- 10'–0" x 20'–0" VEHICULAR GARAGE CLEAR SPACE

PROPOSED FLOOR PLAN / DEMO PLAN | 1/4"=1'–0" | 08 | LEGEND | 04

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PLANNING SUBMITTAL - DRC REVIEW 04-07-21

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PRINCIPAL
DEWEES DESIGN

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PROPOSED FLOOR PLAN

DEMO PLAN

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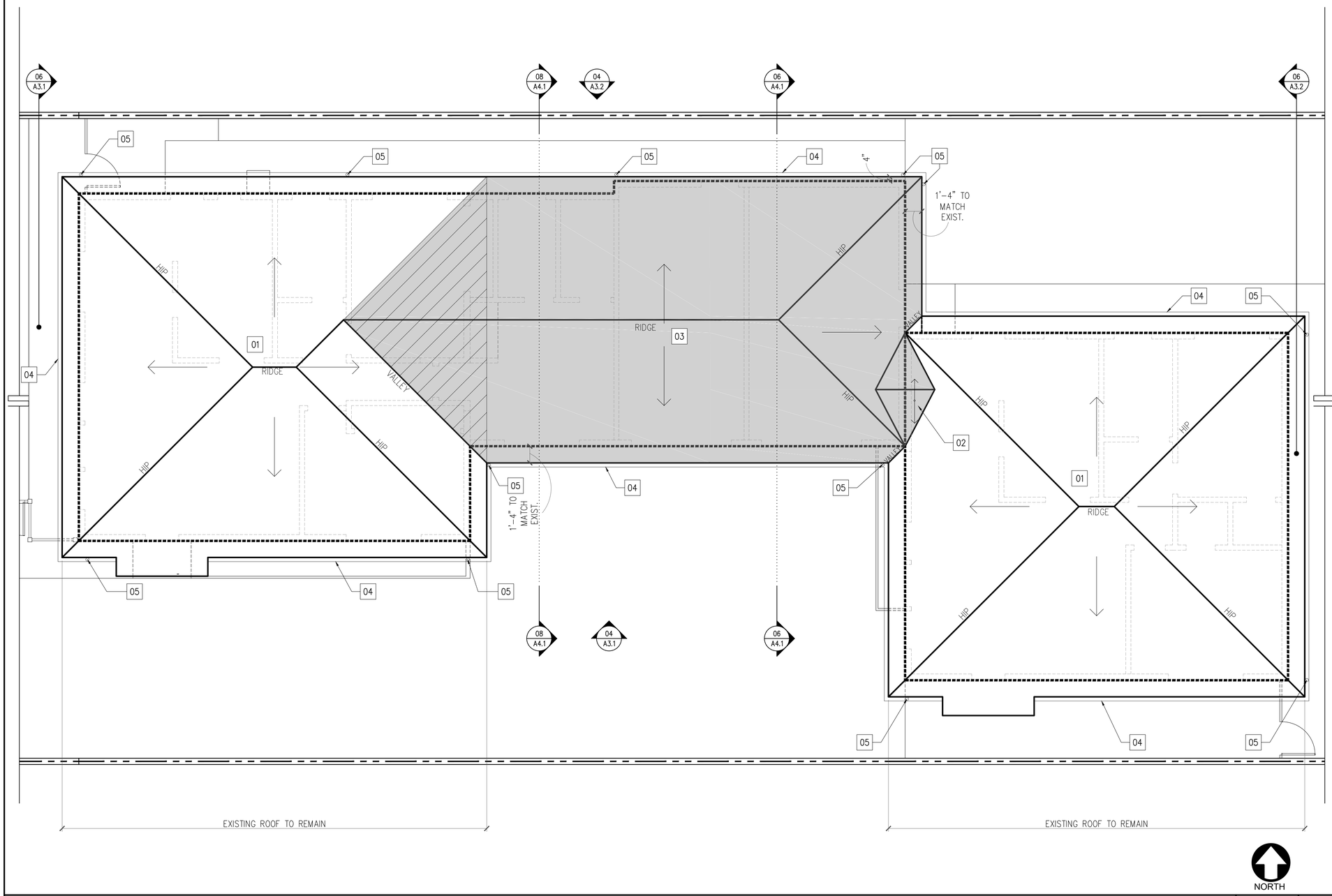

KEYNOTES

NO.		PROV. BY	INSTAL. BY
01	EXISTING ASPHALT SHINGLE ROOF AT EXISTING RESIDENCE TO REMAIN. PROTECT IN PLACE.	CON.	CON.
02	BUILT-UP CRICKET – ASPHALT SHINGLE ROOFING TO MATCH EXISTING	CON.	CON.
03	ASPHALT SHINGLE ROOFING TO MATCH EXISTING STYLE, TEXTURE AND COLOR.	CON.	CON.
04	METAL GUTTERS	CON.	CON.
05	METAL DOWNSPOUTS – PROVIDE CONCRETE RAIN BLOCK AT LANDSCAPE AREAS.	CON.	CON.

NOTES 03

AREA OF ROOF TO BE CALIFORNIA FRAMING (OVER FRAMED)

AREA OF PROPOSED NEW ROOF TO MATCH EXISTING PITCH AND MATERIAL

LEGEND 04

ROOF PLAN 1/4"=1'-0" 08

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ROOF PLAN

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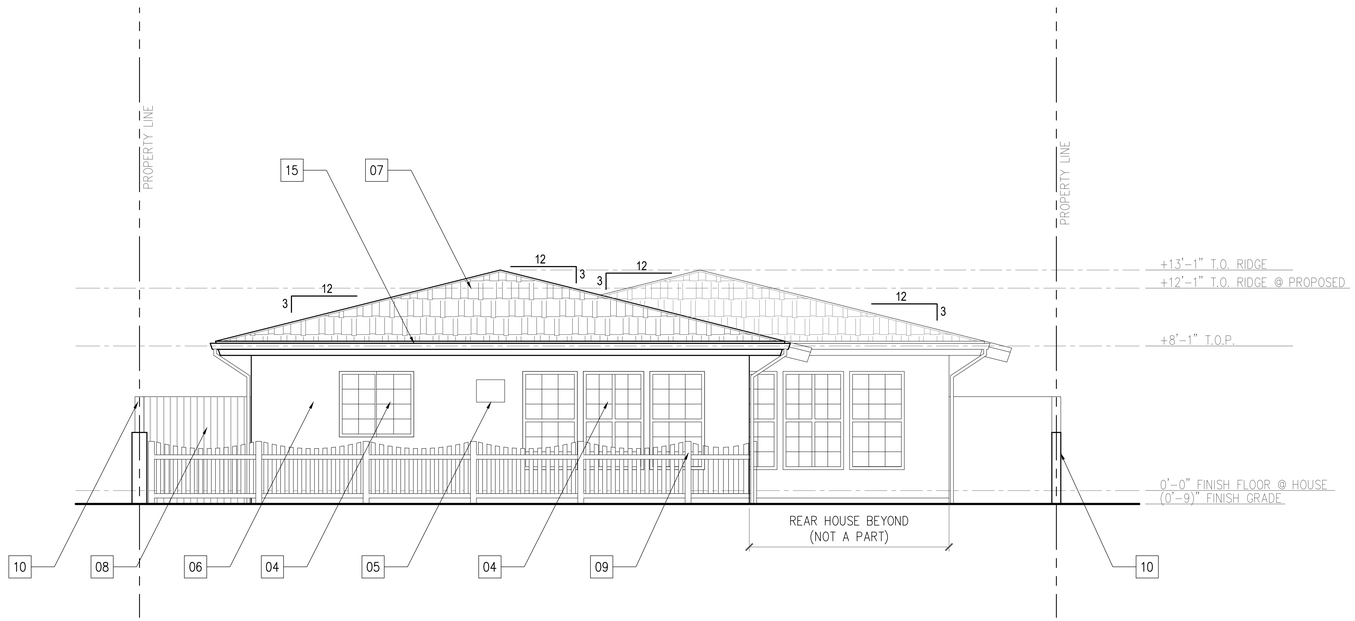
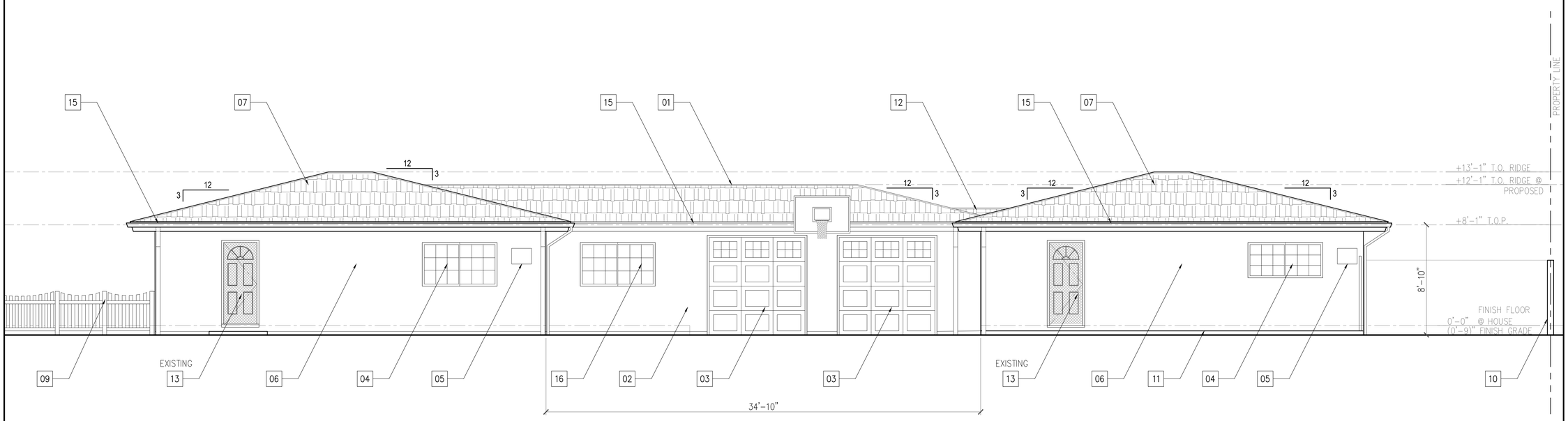
A2.2



KEYNOTES

NO.		PROV. BY	INSTAL. BY
01	ASPHALT SHINGLE ROOFING TO MATCH EXISTING STYLE, TEXTURE AND COLOR.	CON.	CON.
02	EXTERIOR CEMENT PLASTER FINISH TO MATCH EXISTING. – LIGHT SAND FINISH	CON.	CON.
03	METAL OVERHEAD ROLL–UP GARAGE DOORS WITH TEMPERED GLASS LIGHTS.	CON.	CON.
04	EXISTING VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS.	CON.	CON.
05	EXISTING WALL HUNG AC UNIT	CON.	CON.
06	EXISTING EXTERIOR CEMENT PLASTER – LIGHT SAND FINISH	CON.	CON.
07	EXISTING ASPHALT SHINGLE ROOFING	CON.	CON.
08	EXISTING 6'–0" HIGH WOOD FENCING	CON.	CON.
09	EXISTING 4'–0" HIGH VINYL PICKET FENCE	CON.	CON.
10	EXISTING 6'–0" HIGH 6" CMU WALL	CON.	CON.
11	EXISTING CONCRETE WALKWAY	CON.	CON.
12	BUILT–UP CRICKET – ASPHALT SHINGLE ROOFING TO MATCH EXISTING.	CON.	CON.
13	SOLID CORE DOOR WITH DECORATIVE METAL SECURITY DOOR. SEE A2.1 DOOR SCHEDULE FOR SIZING.	CON.	CON.
14	RE–LOCATED WATER HEATER AND ENCLOSURE	CON.	CON.
15	METAL GUTTERS AND DOWNSPOUTS	CON.	CON.
16	VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS TO MATCH. SEE WINDOW SCHEDULE A2.1 FOR SIZING.	CON.	CON.
17	SOLID CORE EXTERIOR DOOR – PAINTED SEE DOOR SCHEDULE ON A2.1 FOR SIZE.	CON.	CON.

WEST ELEVATION | 1/4"=1'-0" | 06 | 03



SOUTH ELEVATION | 1/4"=1'-0" | 04

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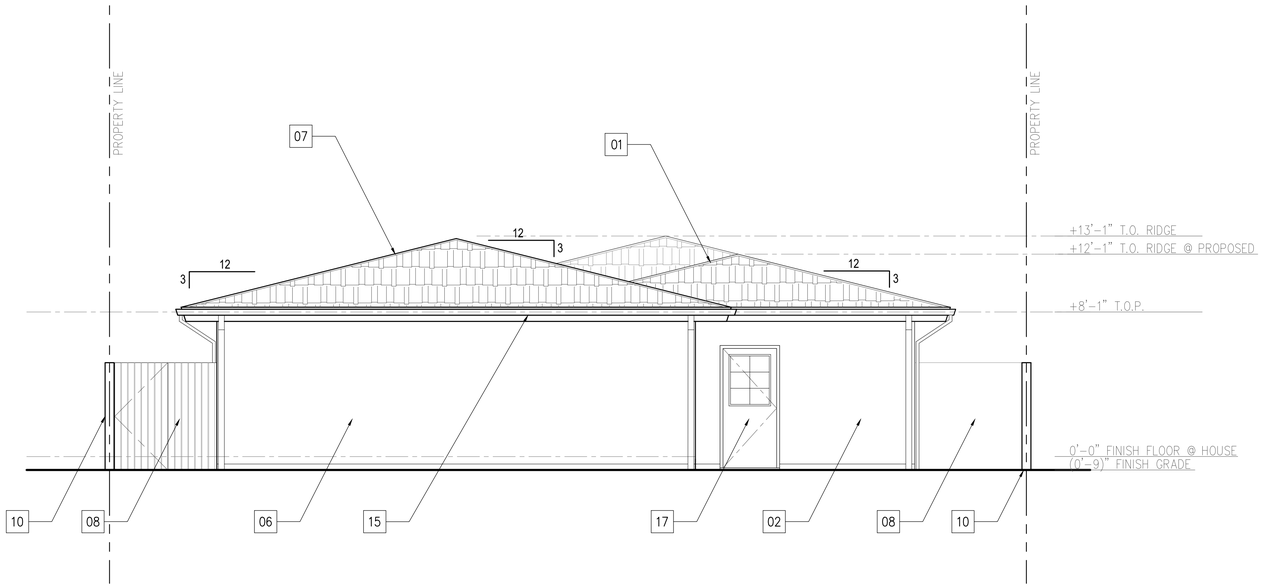

KEYNOTES

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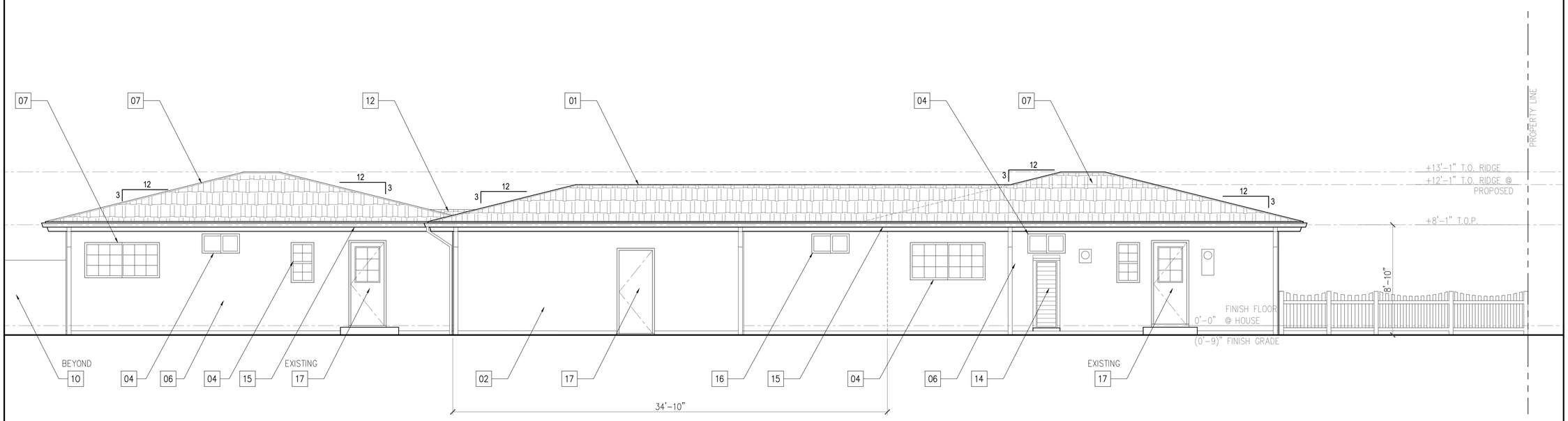
03	METAL OVERHEAD ROLL–UP GARAGE DOORS WITH TEMPERED GLASS LIGHTS.	CON.	CON.
04	EXISTING VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS.	CON.	CON.
05	EXISTING WALL HUNG AC UNIT	CON.	CON.
06	EXISTING EXTERIOR CEMENT PLASTER – LIGHT SAND FINISH	CON.	CON.
07	EXISTING ASPHALT SHINGLE ROOFING	CON.	CON.
08	EXISTING 6'–0" HIGH WOOD FENCING	CON.	CON.
09	EXISTING 4'–0" HIGH VINYL PICKET FENCE	CON.	CON.
10	EXISTING 6'–0" HIGH 6" CMU WALL	CON.	CON.
11	EXISTING CONCRETE WALKWAY	CON.	CON.
12	BUILT–UP CRICKET – ASPHALT SHINGLE ROOFING TO MATCH EXISTING.	CON.	CON.
13	SOLID CORE DOOR WITH DECORATIVE METAL SECURITY DOOR. SEE A2.1 DOOR SCHEDULE FOR SIZING.	CON.	CON.
14	RE–LOCATED WATER HEATER AND ENCLOSURE	CON.	CON.
15	METAL GUTTERS AND DOWNSPOUTS	CON.	CON.
16	VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS TO MATCH. SEE WINDOW SCHEDULE A2.1 FOR SIZING.	CON.	CON.
17	SOLID CORE EXTERIOR DOOR – PAINTED SEE DOOR SCHEDULE ON A2.1 FOR SIZE.	CON.	CON.

EAST ELEVATION | 1/4"=1'-0" | 06 | 03



NORTH ELEVATION | 1/4"=1'-0" | 04

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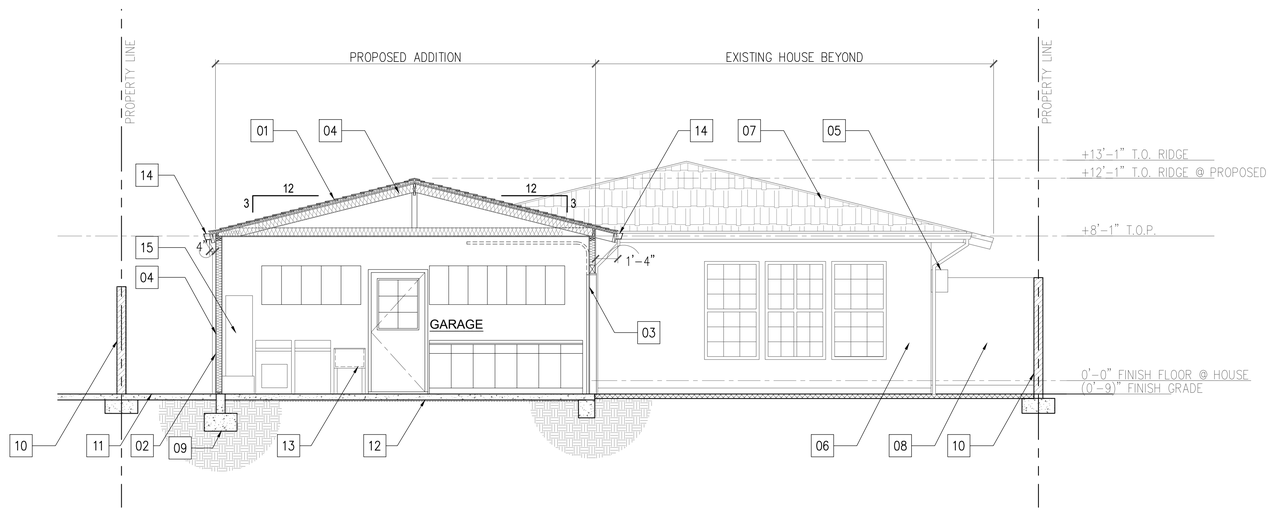
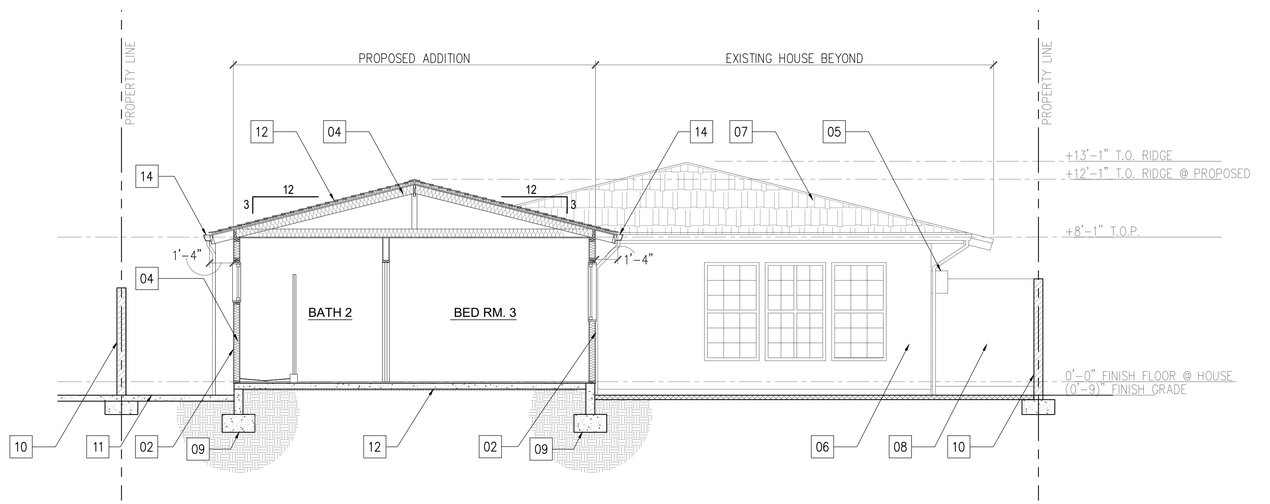
SHEET

A3.2



SECTION @ GARAGE | 1/4"=1'-0" | 06



SECTION @ PROPOSED ADDITION | 1/4"=1'-0" | 08

KEYNOTES

NO.		PROV. BY	INSTAL. BY
01	ASPHALT SHINGLE ROOFING TO MATCH EXISTING STYLE, TEXTURE AND COLOR.	CON.	CON.
02	EXTERIOR CEMENT PLASTER FINISH TO MATCH EXISTING. – LIGHT SAND FINISH	CON.	CON.
03	ROLL–UP GARAGE DOORS 8'–0 x 8'–0"	CON.	CON.
04	2x WOOD FRAMING W/BATT INSULATION	CON.	CON.
05	EXISTING WALL HUNG AC UNIT (BEYOND)	CON.	CON.
06	EXISTING EXTERIOR CEMENT PLASTER FINISH – LIGHT SAND FINISH	CON.	CON.
07	EXISTING ASPHALT SHINGLE ROOFING	CON.	CON.
08	EXISTING 6'–0" HIGH WOOD FENCING	CON.	CON.
09	CONCRETE FOUNDATION	CON.	CON.
10	EXISTING 6'–0" HIGH 6" CMU WALL	CON.	CON.
11	EXISTING CONCRETE WALKWAY	CON.	CON.
12	SLAB ON GRADE WITH VAPOR BARRIER BELOW	CON.	CON.
13	FREE–STANDING UTILITY SINK	CON.	CON.
14	METAL GUTTERS AND DOWNSPOUTS	CON.	CON.
15	RELOCATED WATER HEATER	CON.	CON.

NOTES | 03

LEGEND | 04

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PLANNING SUBMITTAL - DRC REVIEW 04-07-21

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SHEET TITLE

SECTIONS

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PLANNING SUBMITTAL DRC REVIEW	04–07–21
1	–
2	
3	

FILE: 21–02 A3_1 EE.DWG

SHEET

A4.1