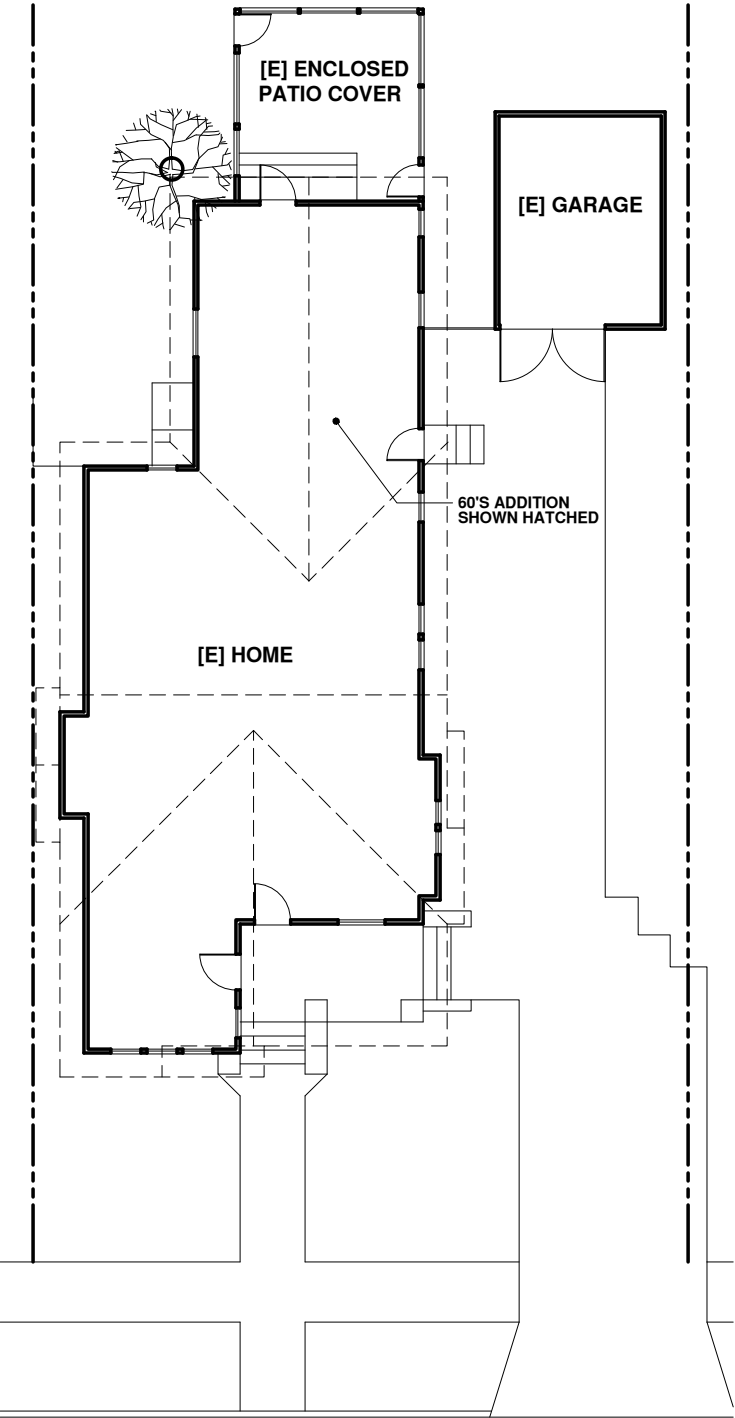


EXISTING



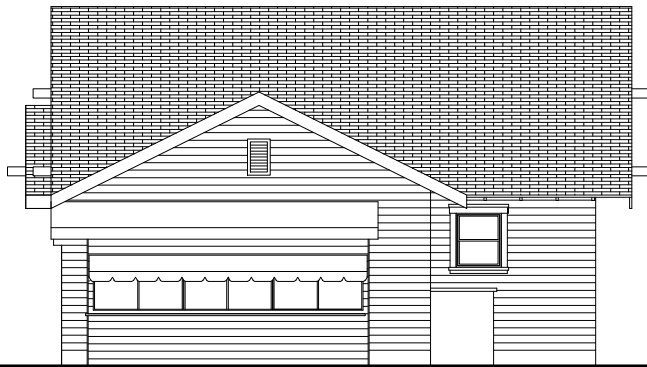
SITE PLAN

1/8" = 1'-0"



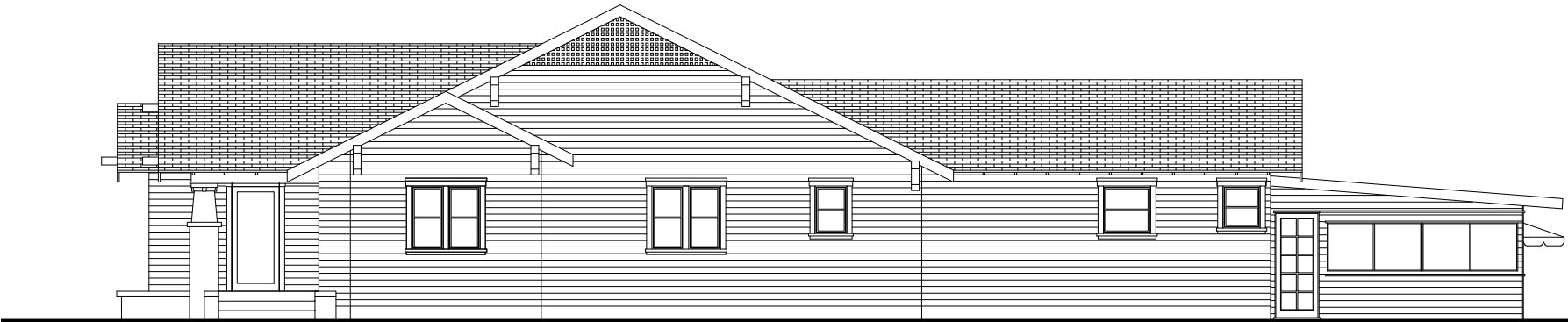
FRONT ELEVATION

3/16" = 1'-0"



REAR ELEVATION

3/16" = 1'-0"



RIGHT SIDE ELEVATION

3/16" = 1'-0"

PROJECT DESCRIPTION

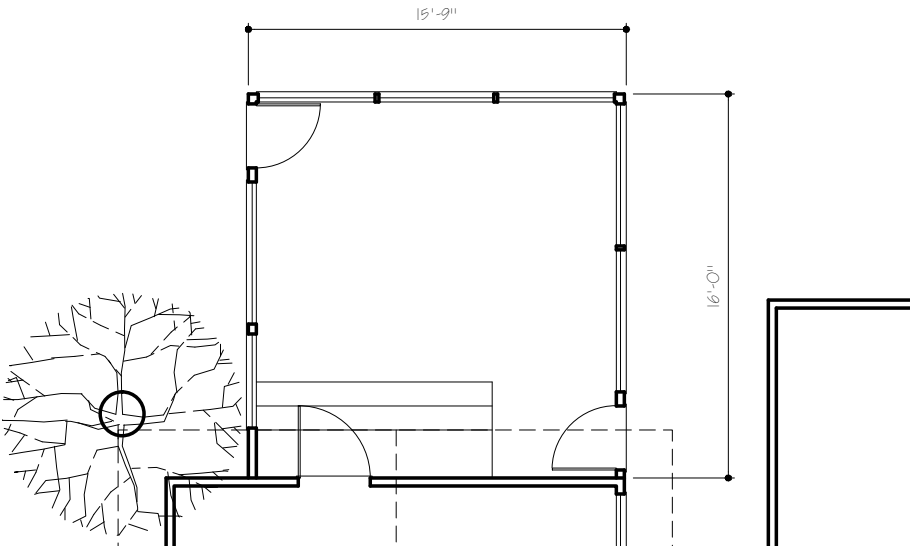
THIS PROJECT ENTAILS THE DEMOLITION OF AN EXISTING COVERED AND ENCLOSED STEP DOWN PATIO COVER AT THE REAR OF AN EXISTING CONTRIBUTING HOME IN THE OLD TOWN HISTORIC DISTRICT. THE PATIO COVER IS NOT AN HISTORIC ASSET TO THE HOME AND THE PATIO COVER IS ITSELF ATTACHED TO A NON-HISTORIC ADDITION CONSTRUCTED IN THE 1960'S

TO REPLACE THE EXISTING ROOM ADDITION, A NEW COVERED UN-ENCLOSED PORCH WILL BE CONSTRUCTED WITH A FLOOR LEVEL TO MATCH THAT OF THE EXISTING HOME. THE NEW PORCH WILL BE PROVIDED WITH A 30" HIGH WALL ON THREE SIDES WHICH WILL BE FINISHED ON THE EXTERIOR WITH WOOD SIDING OF A SLIGHTLY DIFFERENT EXPOSURE AS THE ORIGINAL SIDING. THE NEW PORCH WILL HAVE A MATCHING GABLED ROOF 5 INCHES LOWER THAN THE REAR GABLE OF THE HOUSE AND WILL FEATURE A WOOD FINISHED CATHEDRAL CEILING ON THE INTERIOR. THE RAISED WOOD FLOOR OF THE NEW PORCH WILL BE FINISHED WITH WOOD FLOORING.

A NEW TRELLIS STRUCTURE WILL ALSO BE CONSTRUCTED ALONG A PORTION OF THE SOUTH WALL OF THE EXISTING HOME SO AS TO PROVIDE SHADE FOR THE SOUTHERN SIDE OF THE HOUSE.

BUILDING AREAS:

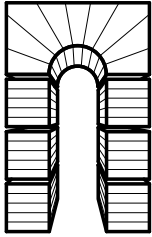
EXISTING HOME	1,674 S.F.
EXISTING ENCLOSED PATIO	251 S.F.
NEW COVERED PORCH	360 S.F.



EXIST. REAR PATIO

1/4" = 1'-0"

craig b wheeler



architect

58 plaza square

studio g

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THE VALADEZ
RESIDENCE

139 N. HARWOOD ST.
ORANGE, CA 92866

Sheet:
EXISTING HOME

24"x36" Sheet

Scale: NOTED

11"x17" Sheet

Scale: HALF OF NOTED

Date: 25FEB21

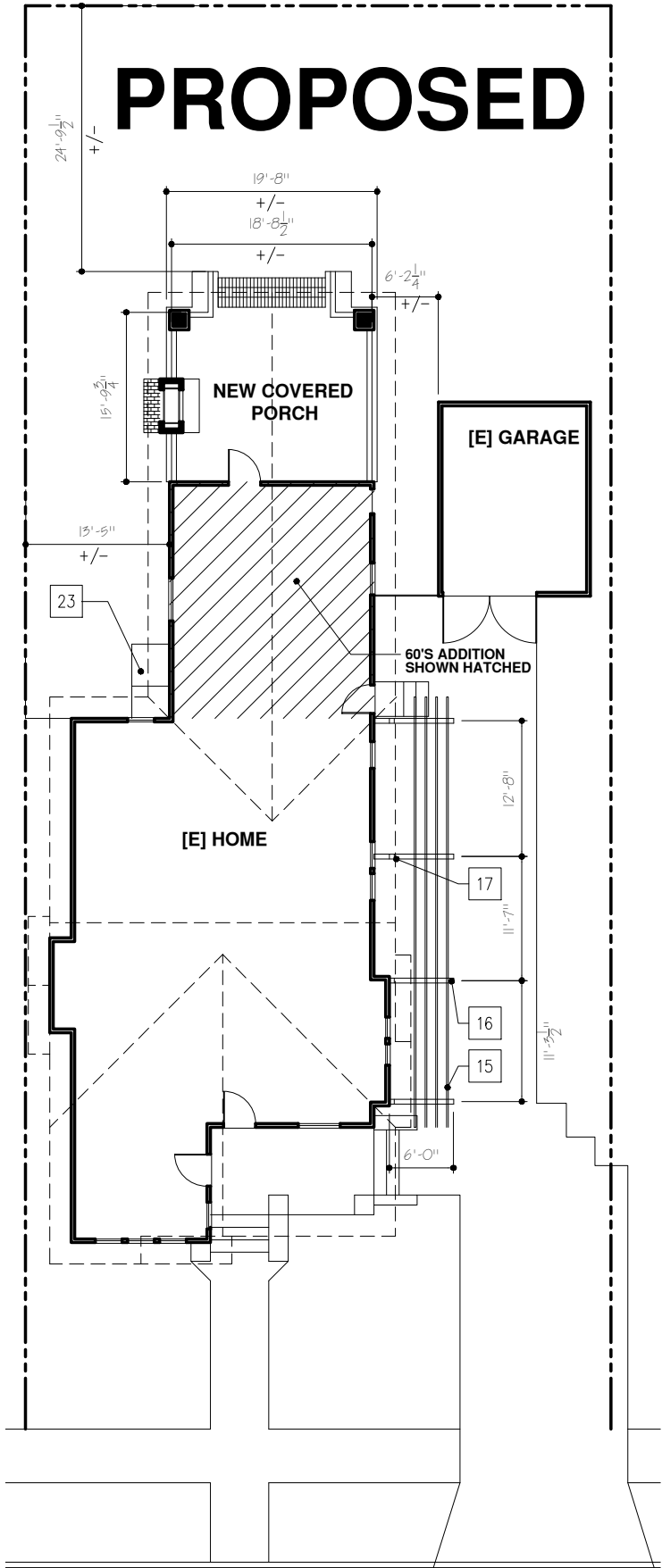
Rev.: -

Job No.: 277

Drawing File
277A5DRC.DWG

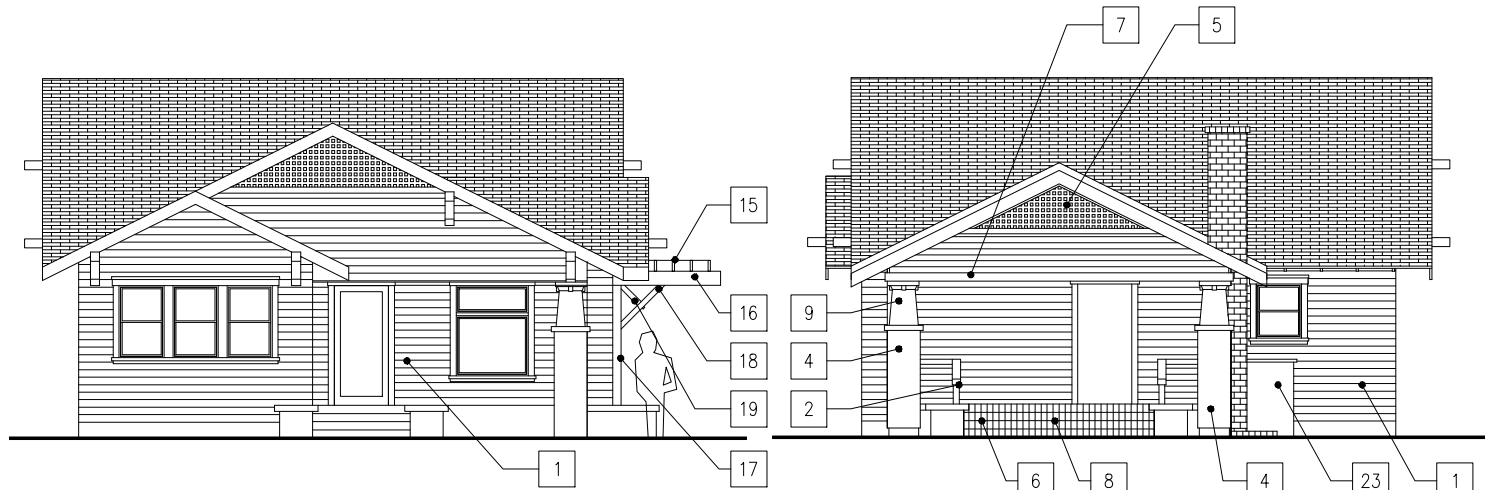
Sheet No.:

A-1



SITE PLAN

1/8" = 1'-0"

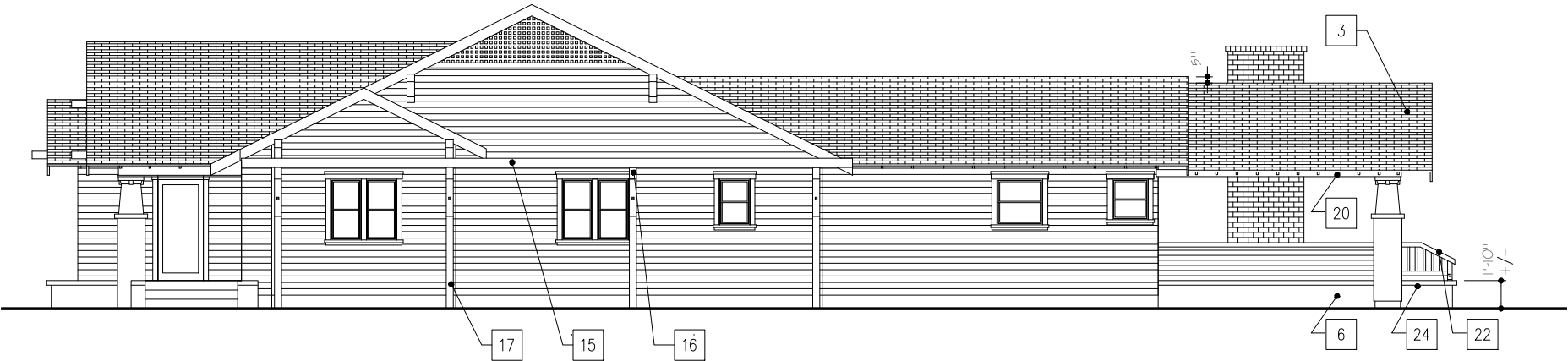


FRONT ELEVATION

3/16" = 1'-0"

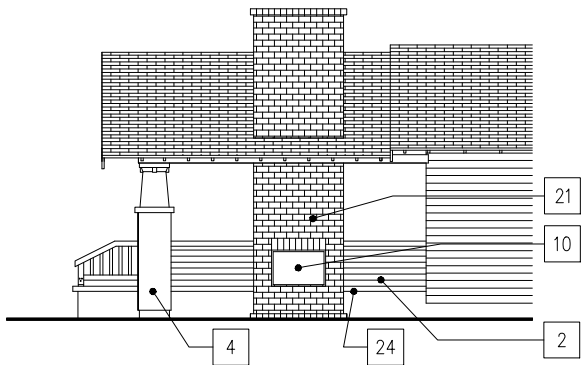
REAR ELEVATION

3/16" = 1'-0"



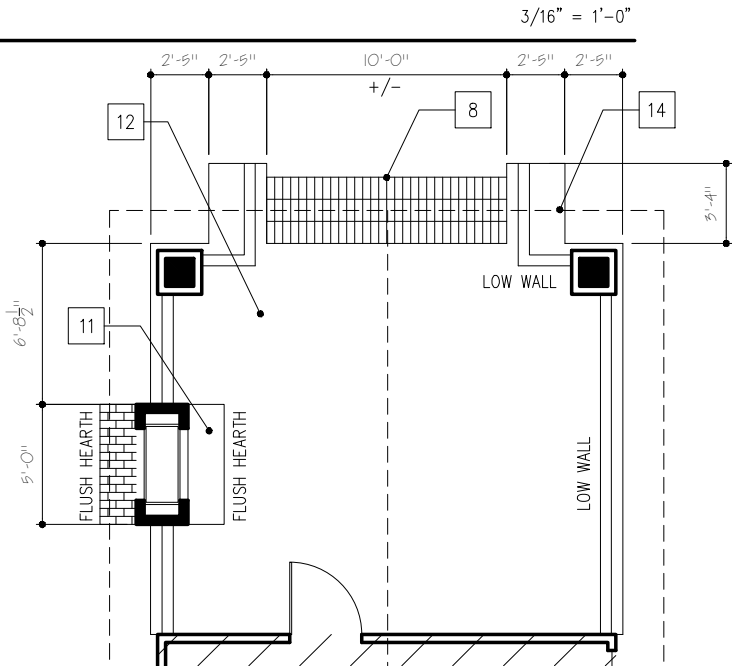
RIGHT SIDE ELEVATION

3/16" = 1'-0"



PARTIAL LEFT ELEV.

3/16" = 1'-0"



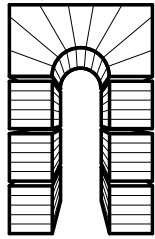
DECK PLAN

1/4" = 1'-0"

1 DRAWING NOTES

1. EXISTING WOOD SIDING W/ 5" EXPOSURE
2. NEW WOOD SIDING W/ 4" EXPOSURE
3. NEW ROOFING TO MATCH EXISTING
4. STUCCO FINISH TO MATCH TEXTURE OF PIER BASES ON EXISTING FRONT PORCH
5. NEW NON-FUNCTIONAL GRILL TO MATCH EXISTING
6. SMOOTH FINISH CONCRETE FOUNDATION TO MATCH EXISTING
7. WOOD TRIM BOARD
8. BRICK STEPS
9. ELEPHANTINE COLUMN CONSTRUCTED OF MDO PLYWOOD TO MATCH EXISTING - COLUMN TO BE SIZED TO ACCOMMODATE A 12" STRONG-WALL
10. NEW SEE-THROUGH METAL FIREBOX
11. CERAMIC TILE HEARTH TO BE SELECTED BY OWNER
12. WOOD FLOOR FINISH
13. - NOT USED -
14. LINE OF ROOF OVERHANG ABOVE
15. 2x8 TRELLIS RAFTERS
16. 6x10 TRELLIS BEAM
17. 6x6 TRELLIS POST
18. 4x6 TRELLIS BRACKET
19. 4x4 DIAGONAL BRACE
20. 2x4 RAFTER TAILS @ 16" O/C
21. 1-3/4" MAX. THICKNESS THIN BRICK VENEER
22. WOOD HANDRAIL - SHE SHEET A-3
23. EXIST. CELLAR ACCESS TO REMAIN
24. 4" PROJECTING CONCRETE BAND

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PROPOSED DESIGN

Sheet:

24"x36" Sheet

Scale: NOTED

11"x17" Sheet

Scale: HALF OF NOTED

Date: 5APR21

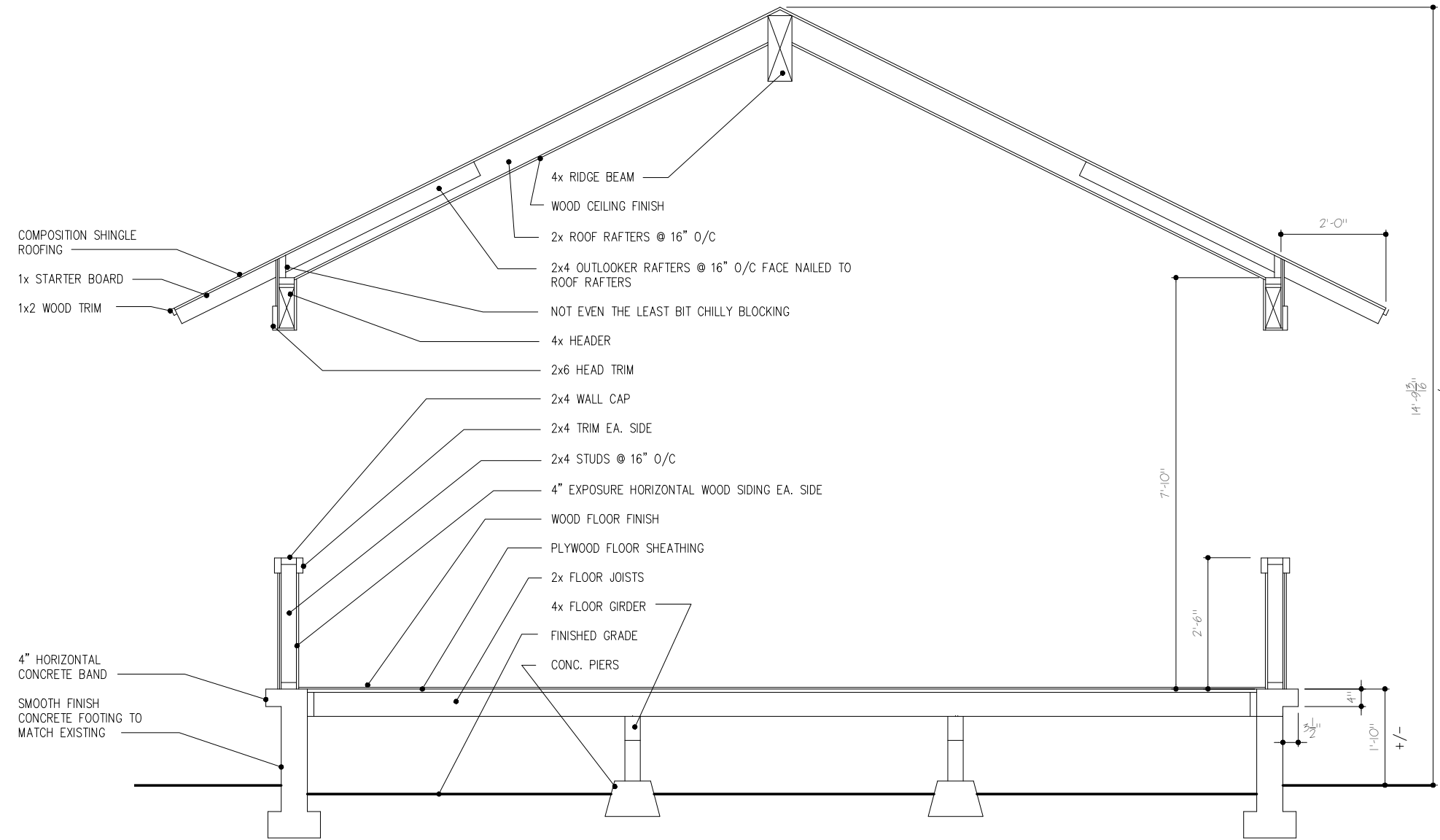
Rev.: -

Job No.: 277

Drawing File
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Sheet No.:

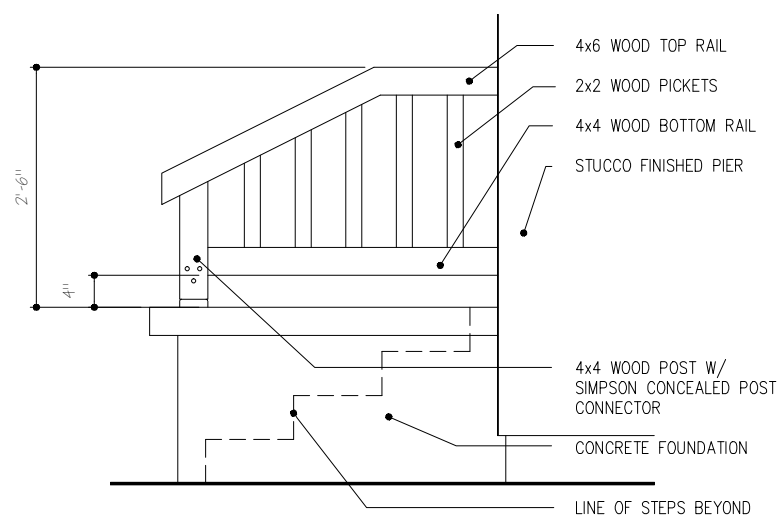
A-2



DECK SECTION

NOTE: DECK FLOOR FRAMING SHOWN IS A PRELIMINARY CONCEPT ONLY. THE CONFIGURATION OF PIERS AND GIRDERS MAY CHANGE AFTER STRUCTURAL ANALYSIS IS COMPLETED.

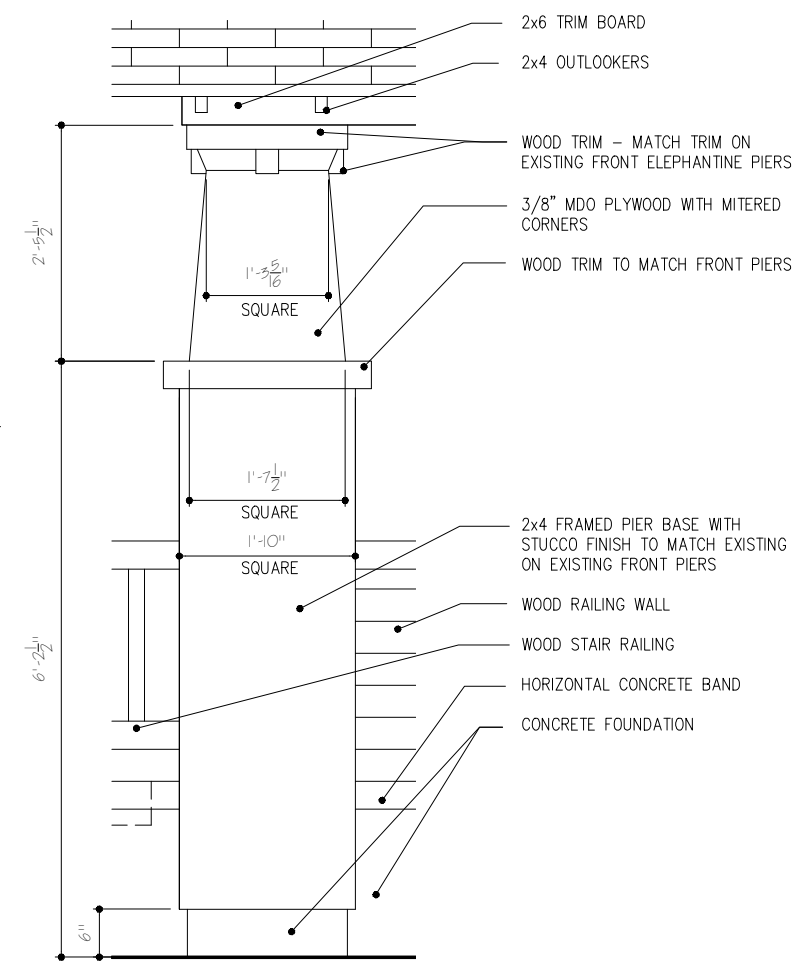
3/4" = 1'-0"



STAIR HANDRAIL

1" = 1'-0"

NOTE: UNLESS OTHERWISE NOTED, ALL WOOD TO WOOD HANDRAIL CONNECTIONS TO BE MADE WITH USE OF CONCEALED WOOD DOWELS



DECK PIER

1 = 1'-0"

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Sheet:
PROPOSED SECTION
AND DETAILS

24"x36" Sheet
Scale: NOTED
11"x17" Sheet
Scale: HALF OF NOTED
Date: 5APR21
Rev.: -

Job No.: 277
Drawing File
277A5DRC.DWG
Sheet No.:
A-3



VIEW OF THE HOME FROM THE STREET



EXISTING GARAGE



INTERIOR OF ROOM ADDITION



ROOM ADDITION FROM THE SOUTH-EAST



ROOM ADDITION FROM THE EAST



ROOM ADDITION FROM THE NORTH

PHOTOGRAPHS

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ORANGE, CA 92866

Sheet:

PHOTOGRAPHS

24"x36" Sheet

Scale: N/A

11"x17" Sheet

Scale: N/A

Date: 18FEB21

Rev.: -

Job No.: 277

Drawing File 277A5DRC.DWG

Sheet No.: A-4