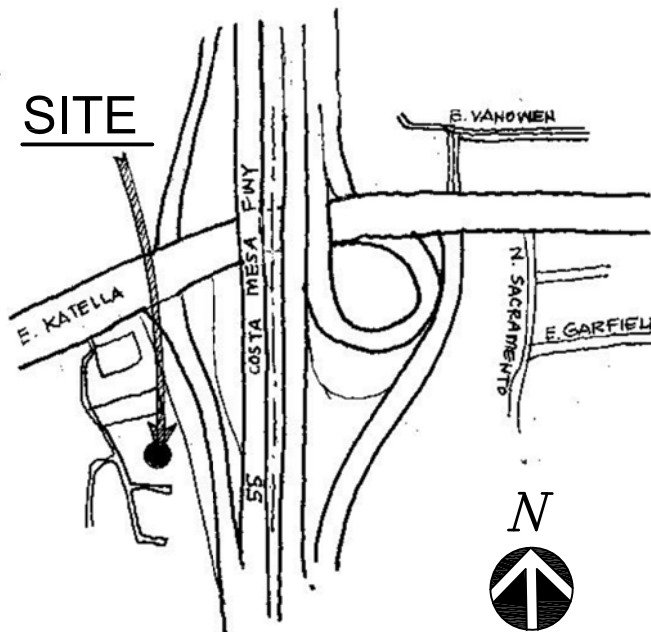


SITE PLAN KEYNOTES

- 1 EASEMENT
- 2 (E) BILLBOARD POST TO REMAIN
- 3 (E) COMMERCIAL SIGNAGE (HOWARD JOHNSON) STRUCTURE TO REMAIN
- 4 (E) SIGNAGE STRUCTURE (SHIKI) TO REMAIN AND REFACE WITH NEW SIGN
- 5 A. (E) LAMPPOST TO REMAIN. ADDITIONAL POSTS TO BE DESIGNED AND DETERMINED PER LIGHTING STANDARDS
B. (N) PROPOSED ADDITIONAL LAMP POSTS (SEE A-0.2)
- 6 (N) TRASH ENCLOSURE (SEE A-2)
- 7 (E) BUILDING FOOTPRINT PAD FOR REFERENCE
- 8 NEW CURB & LANDSCAPE
NOTE: OMC SECTION 17.34.130.C REQUIRES A SIX INCH CURB WHEREVER THE PARKING AREA ABUTS A PUBLIC WALKWAY, LANDSCAPED AREA, STREET, OR ALLEY.
- 9 ACCENT TILES @ ENTRY
- 10 CONCRETE WALKWAY
- 11 PATH OF TRAVEL
- 12 (E) CHAIN LINK FENCE @ EAST PROPERTY LINE TO BE REPLACED/FIXED AS NECESSARY. OWNER TO DEAL WITH CALTRANS. REPLACE WITH 6 FT. W. IRON FENCE. SEE L.2.
- 13 NOT USED
- 14 (E) SWALE
- 15 PROVIDE MIN. 5 FT. WIDE FIRE ACCESS WALKWAY WITH A LEVEL LOW GROUND COVER SURFACE (SEE LANDSCAPE PLAN) (SEE ALSO A-0.1)
- 16 PROPOSED FLAGPOLE
- 17 NOT USED
- 18 PROVIDE DIRECTIONAL ARROWS PER CITY STANDARDS
- 19 NOT USED
- 20 (N) 42" HIGH WROUGHT IRON FENCE. SEE L.2.
- 21 (E) ENCRANCHING SHED TO BE REMOVED BY NEIGHBOR AS REQUIRED FROM WITHIN PROPERTY
- 22 ELECTRIC VEHICLE CHARGERS
- 23 OMC SECTION 17.34.080 REQUIRES PROJECTS THAT HAVE OVER TEN PARKING SPACES TO PROVIDE PARKING AND LOCKING FACILITIES FOR BICYCLES AND MOTORCYCLES IN THE NUMBERS SPECIFIED IN TABLE 17.34.080. THE PROPOSED PROJECT REQUIRES 30 SQ. FT. OF MOTORCYCLE PARKING AREA AND 1 BICYCLE RACK.
- 24 EXISTING TOWER OVERHANG TO BE REMOVED BY NEIGHBOR
- 25 (E) FENCE TO BE REMOVED
- 26 STRIPING PER OMC 17.34.130E (SEE 3/A-2)
- 27 WHEEL STOPS WHERE SHOWN TO BE PLACED A MIN. OF 34 INCHES FROM FRONT END OF PARKING SPALL. OMC 17.34.130F (SEE DET. 4 & 6, SHEET A-0.2A)
- 28 EXISTING SIGNS TO REMAIN.
"SHIKI" SIGN TO BE REPLACED WITH NEW NAME. "HOWARD JOHNSON" TO KEEP.
- 29 (N) 6 FT. HIGH W. IRON FENCE ALONG SOUTH PROPERTY LINE. (SEE L.2)
- 30 4 FT. ROOF OVERHANG ABOVE
- 31 4 FT. COLORED STAMPED CONCRETE PEDESTRIAN WALK
- 32 4 FT. WIDE X 6 FT. HIGH W. IRON GATE
- 33 MAX. AREA OF EX. WALL OPENINGS OR GLAZING SHALL BE 25% OF WALL BASED ON CBC TABLE 705.8. (SEE ELEVATIONS)
- 34 REPAVE ENTIRE PARKING LOT.
- 35 BILLBOARD EASEMENT (SEE A-0.2)
- 36 NOT USED
- 37 4 FT. WIDE MIN. PLANTER @ 2 SIDES OF TRASH (N&W)

NOTES:

1. ALL CURBS FOR EXISTING POLES AND SIGNAGES TO REMAIN SHALL HAVE NEW LANDSCAPE PER PROPOSED NEW DEVELOPMENT.
2. SEE LANDSCAPE PLANS FOR PROPOSED TREES.



VICINITY MAP

DENTAL OFFICE & BUSINESS TRAINING CENTER

1936 E. KATELLA AVE. ORANGE, CA 92867

GENERAL REQUIREMENTS

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE 2019 CBC LOCAL ZONING & BUILDING CODES, & ALL REGULATIONS, REQUIREMENTS OF THE GOVERNING AGENCIES.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIAL, INCLUDING THOSE FURNISHED BY SUB-CONTRACTORS. HE WILL IMMEDIATELY NOTIFY THE DESIGNER-ENGINEER OF ANY DISCREPANCIES.
3. THE CONSTRUCTION, REMODEL, OR DEMOLITION OF A BUILDING SHALL COMPLY WITH CBC ARTICLE 87.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO THE APPLICABLE PROVISIONS OF THE 2017 EDITION OF THE LA COUNTY BLDG. CODE.
5. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS, & OTHER PERSONS DURING DEMOLITION & CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT LIMITED TO BRACING, SHORING, SCAFFOLDING, PLANTING, ETC. CONTRACTOR AT HIS OWN EXPENSE SHALL ENGAGE PROPERLY QUALIFIED PERSONS TO PRECAUTIONARY MEASURES AND SHALL BE USED AND INSPECTED SAME AT THE JOB SITE. OBSERVATION VISITS TO THE SITE BY THE DESIGNER OR ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
6. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
7. NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES AND DETAILS OF THIS SHEET.
8. UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.
9. INSTALL WEATHERSTRIPPING COMPLETELY AROUND EXTERIOR SWINGING DOORS AND WINDOWS.
10. ALL EXITS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE.
11. MANUFACTURED WINDOWS AND DOOR UNITS WILL BE LABELED AS MEETING ANTI STANDARDS FOR AIR INFILTRATION.
12. AISLES SHALL BE 44" MIN. TO REQUIRED EXITS PER SEC. 1017.
13. EXIT CORRIDORS SHALL BE 1-HR. RATED WHERE REQUIRED.
14. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 24 OF THE CBC.
15. EXIT SIGNS MUST BE INTERNALLY OR EXTERNALLY ILLUMINATED WITH 5-FOOT CANDLES. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES AND WILL BE CONNECTED TO THE BUILDING POWER AND AN EMERGENCY POWER SOURCE PROVIDING 90 MINUTES OF ILLUMINATION IN CASE OF PRIMARY POWER LOSS.
16. INSULATE DRAINS AND HOT WATER LINES IN RESTROOMS FOR HANDICAPPED.

EXITS

1. EXIT DISCHARGE SHALL PROVIDE A DIRECT AND UNOBSTRUCTED ACCESS TO THE EXTERIOR PER SEC. 1028.1
2. TRAVEL DISTANCE SHALL BE PER TABLE 1017.2.
3. PROVIDE A SEPARATE SOURCE OF POWER FOR EXIT ILLUMINATION CBC 1013.6.3

PROJECT DATA

ADDRESS: 1936 E. KATELLA AVE. ORANGE, CA 92867
APN#: 375-532-07
LEGAL DESCRIPTION: PTN LOT 2, J.B. PARKER TRACT LS 3-156
DESCRIPTION OF WORK:
NEW 2-STORY COMMERCIAL BUILDING

TYPE OF CONSTRUCTION: V-A
FIRE SPRINKLERED PER NFPA 13
ZONING DISTRICT: C-TR
OCCUPANCY TYPE: B: FIRST FLOOR - DENTAL OFFICE
B: SECOND FLOOR - TRAINING CENTER

LOT SIZE: 29,784 S.F.
LOT COVERAGE: 4990/ 29,784 = 17%
(N&W)

FIRST FLOOR AREA/ROOM:	SQ. FOOTAGE/FACTOR	LOAD
LOBBY/RECEPTION/WAITING	980/15	= 65
DENTAL OFFICES	4010/100	= 40
MECHANICAL/UTILITIES/STO.	326/300	= 1
		106
SECOND FLOOR AREA/ROOM:		
DENTAL TRAINING	4224/100	= 42
MECHANICAL/UTILITIES/STO.	344/300	= 1
		43
TOTAL: 106 + 43 = 109 OCCUPANTS		

FLOOR AREAS		
DENTAL OFFICE (FIRST FLOOR)		
GROSS DENTAL OFFICE USE/PUBLIC AREAS	- 4990 SQ. FT.	
UTILITIES:		
ELEVATOR	56.6	
ELEC/MACH	49.2	
MECH'L	50.3	
RESTROOM 1	46.8	
RESTROOM 2	46.1	
STORAGE	27	
	326	SQ. FT.
DENTAL TRAINING (2ND FLOOR)		
GROSS USE/PUBLIC AREAS	- 4224 SQ. FT.	
UTILITIES AND OPEN AREAS		
STORAGE	50	
RESTROOMS	294	
	344	SQ. FT.
		9214 SQ. FT.
TOTAL BUILDING AREA		
1ST FLR.- DENTAL OFFICE	4990 SQ. FT.	
UTILITIES	326 SQ. FT.	
	5316 SQ. FT.	
2ND FLR.- TRAINING	4224 SQ. FT.	
UTILITIES/OPEN AREAS	344 SQ. FT.	
	4568	
		TOTAL = 9884 SQ. FT.

PARKING REQUIREMENTS:	
GROSS DENTAL OFFICE	5316 SF/ 200 = 26.5 = 27
GROSS TRAINING:	EMPLOYEES = 2
STUDENTS = 10	: 1 SPACE/EMPLOYEE + 4 SPACES/10 STUDENTS = 2 + 4 = 6
REQUIRED:	27 + 6 = 33 PARKING SPACES
PROVIDED:	33 PARKING SPACES

LANDSCAPE:
SEE TOTAL LANDSCAPE (8851 SQ. FT.) AREA COMPUTATIONS @ A-0.2B.
SEE LANDSCAPE PLANS FOR TREES & PLANTING

INTERIOR FINISHES

1. WHERE FINISH MATERIALS ARE APPLIED ON WALLS, CEILINGS OR STRUCTURAL ELEMENTS REQUIRED TO HAVE A FIRE-RESISTANCE RATING OR TO BE OF NONCOMBUSTIBLE CONSTRUCTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CBC CHAPTER 8.
2. WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC SEC 803.1.
3. THERMAL AND ACOUSTICAL INSULATION SHALL COMPLY WITH SEC 720 AND 807.1.
4. INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH CBC 804.2 THROUGH 804.4.2.
5. DECORATIVE MATERIALS AND TRIMS INSTALLED IN BUILDINGS GOVERNED BY THE SFM SHALL COMPLY WITH THE PROVISIONS OF CBC 806.

DOORS

1. EACH LEAF OF DOOR IN THE MEANS OF EGRESS SHALL PROVIDE 32" CLEAR OPENING AND A MIN. HEIGHT OF 6'-8", BUT IN NO CASE SHALL ANY SWINGING DOOR LEAF EXCEED 48". SEC 1008
2. THE DOOR HARDWARE (I.E., LEVER TYPE, PUSH-PULL, ETC.) TO COMPLY WITH DISABLED ACCESS REQUIREMENTS. CH. 11.
3. DOORS SERVING AN OCCUPANT LOAD OF 50 OR MORE OR HAZARDOUS ROOMS OR AREAS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL. CBC SEC 1008.
4. ALL EXIT DOORS AND GATES FROM B OCCUPANCY SHALL NOT BE PROVIDED WITH A LATCH OR LOCK, UNLESS IT IS PANIC HARDWARE. CBC SEC 1008.
5. REVOLVING, SLIDING AND OVERHEAD DOORS SHALL NOT BE USED AS EXIT DOORS. CBC SEC 1008.
6. WHEN ADDITIONAL DOORS ARE PROVIDED, THEY SHALL CONFORM TO THE PROVISIONS FOR EXIT DOORS. CBC SEC 1008.
7. LANDINGS OR FLOOR LEVEL AT DOORS SHALL NOT BE LESS THAN 1/2" BELOW THE THRESHOLD. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 1/2" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL. CBC SEC 1008.
8. THE 10" BOTTOM OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING, SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE. CBC 1133B.2.6.
9. PROVIDE THE FOLLOWING SIGN WITH 1" HIGH LETTERING ON THE MAIN EXIT DOOR/DOOR FRAME SERVING B, F, M, S AND A (LESS THAN 300 OCCUPANTS) STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."

ELECTRICAL

1. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION MEETING THE CLEARANCES AND REACH RANGE REQUIREMENTS NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORMS. CBC CH. 11B.
2. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING, AND VENTILATING EQUIPMENT SHALL BE 48" ABOVE THE FLOOR OR WORKING PLATFORMS. CBC CH. 11B.
3. THE CENTER OF ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS SHALL BE INSTALLED NOT MORE THAN 48" NOR LESS THAN 14" ABOVE THE FLOOR OR WORKING PLATFORM. CBC CH. 11B.

DISABLED ACCESSIBILITY GENERAL REQUIREMENTS

1. SITE DEVELOPMENT AND GRADING SHALL BE DESIGNED TO PROVIDE ACCESS TO ALL ENTRANCES AND EXTERIOR GROUND FLOOR EXITS, AND ACCESS TO NORMAL PATHS OF TRAVEL, AND WHERE NECESSARY TO PROVIDE ACCESS, SHALL INCORPORATE PEDESTRIAN RAMPS, CURB RAMPS, ETC. CBC CH. 11B.
2. EXCEPT WITHIN AN INDIVIDUAL DWELLING UNIT, AN ACCESSIBLE ROUTE OF TRAVEL SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR PURPOSES. CBC CH. 11B.
3. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT THE FOLLOWING: CBC CH. 11B.
 - a. THE ACCESSIBLE ROUTE SHALL, TO THE MAXIMUM EXTENT FEASIBLE COINCIDE WITH THE ROUTE FOR THE GENERAL PUBLIC.
 - b. WHERE MORE THAN ONE ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE. CBC CH. 11B.
4. ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS "A CONTINUOUS UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN AN ACCESSIBLE BUILDING OR FACILITY THAT CAN BE NEGOTIATED BY A PERSON WITH A DISABILITY USING A WHEELCHAIR AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES, AND THAT IS CONSISTENT WITH THE DEFINITION OF "PATH OF TRAVEL". CBC CH. 11B.
5. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES.
6. PROVIDE AND DETAIL TACTILE EXIT SIGNAGE PER CBC 1011.4 AND 11B-703.2. TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 - a. PRIMARY ENTRANCES AND DIRECTIONAL SIGNS ON THE ACCESSIBLE ROUTE AND PATH OF TRAVEL.
 - b. EACH GRADE LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT WITH THE WORD "EXIT".
 - c. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE".

PROJECT TEAM

OWNER:
ALAN BOVAL
1936 E. KATELLA
ORANGE, CA
TEL: 562-552-1344
EMAIL: ALANBOVAL@HOTMAIL.COM

CONTRACTOR:
SAN LUIS BUILDERS, INC. (LICENSE #556398)
1422 E. LEMON AVE.
BRADBURY, CA 91008
TEL: 626-358-3717
EMAIL: RICHARD@SANLUIBUILDERS.COM
CONTACT: RICHARD SAN LUIS

DESIGNER:
PLAN
PREPARER:
G&L DESIGN CONSULTANTS
16327 WILLOWMIST CT.
CHINO HILLS, CA 91709
TEL: 909-851-6252
EMAIL: GLDESIGN@AOL.COM
CONTACT: GASPARE DELA ROSA, JR.

STRUCTURAL ENGINEER:
TBD

CIVIL ENGINEER:
PACIFIC GEOTECH
15038 CLARK AVE.
HACIENDA HEIGHTS, CA 91745
TEL: 626-333-8507
FAX: 626-333-8056
EMAIL: INFO@PGISOL.COM
CONTACT: JACK

M.E.P. ENGINEER:
TBD

LANDSCAPE ARCHITECT:
LEISURELAND
2131 MINOR DRIVE
ALTADENA, CA 91001
TEL: 818-437-5254
EMAIL: RLEISURELAND@GMAIL.COM
CONTACT: ROY N. LEISURE, ASLA

SHEET INDEX

ARCHITECTURAL
A-0 SITE PLAN, SHEET INDEX, GEN. NOTES & PROJECT DATA
A-0.1A FIRE MASTER PLAN A
A-0.1B FIRE MASTER PLAN B
A-0.2 EXISTING SITE PLAN
A-0.2A PROPOSED SITE PLAN SHOWING EASEMENTS
A-0.2B SITE DETAILS
A-1 FIRST & SECOND FLOOR PLANS
A-2 ROOF PLAN
A-3 BUILDING ELEVATIONS

DEFERRED SUBMITTAL

- FIRE SPRINKLER SYSTEM
- UNDERGROUND FIRE LINE SERVICE
- FIRE SPRINKLER MONITORING ALARM SYSTEM

APPLICABLE CODES

2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY STANDARDS
2016 CAL GREEN BUILDING CODE
2016 FIRE CODE
CITY OF ORANGE MUNICIPAL CODE
2016 NEC
2016 UPC/UMC
2016 EXISTING BUILDING CODE
2016 CAL. HISTORICAL BUILDING CODE

G&L
DESIGN
CONSULTANTS

16327 Willowmist Ct.
Chino Hills, Ca 91709
tel. 909.851.6252
email: Gldesignco@aol.com

All designs, prints, specifications, and contract documents including this drawing are the property of G&L DESIGN CONSULTANTS and cannot be used on any other project or site, nor reproduced without their written permission.

Proposed
DENTAL OFFICE & TRAINING CENTER
ORANGE, CA 92867
1936 E. KATELLA AVE.

SHEET TITLE:

**SITE PLAN,
SHEET INDEX,
GEN. NOTES &
PROJECT
DATA**

SUBMITTALS

5/11/18 PRELIMINARY REVIEW
7/10/18 FIRE DEPT. REVIEW
9/12/18 LAND USE REVIEW
11/15/18 PLANNING CORRECTIONS
08/30/19 PLANNING CORRECTIONS
10/01/19 PLANNING CORRECTIONS
10/29/19 PLANNING CORRECTIONS
03/12/20 SMART CORRECTIONS
04/23/20 SMART CORRECTIONS
02/19/21 SMART CORRECTIONS
04/08/21 SMART CORRECTIONS
05/27/21 SMART CORRECTIONS
07/13/21 FIRE DEPT. CORRECTIONS
09/13/21 DESIGN REVIEW

DATE: 5/11/18

CHECKED: GD

DRAWN: LD

JOB NO. 17-14

SHEET NO.

A-0

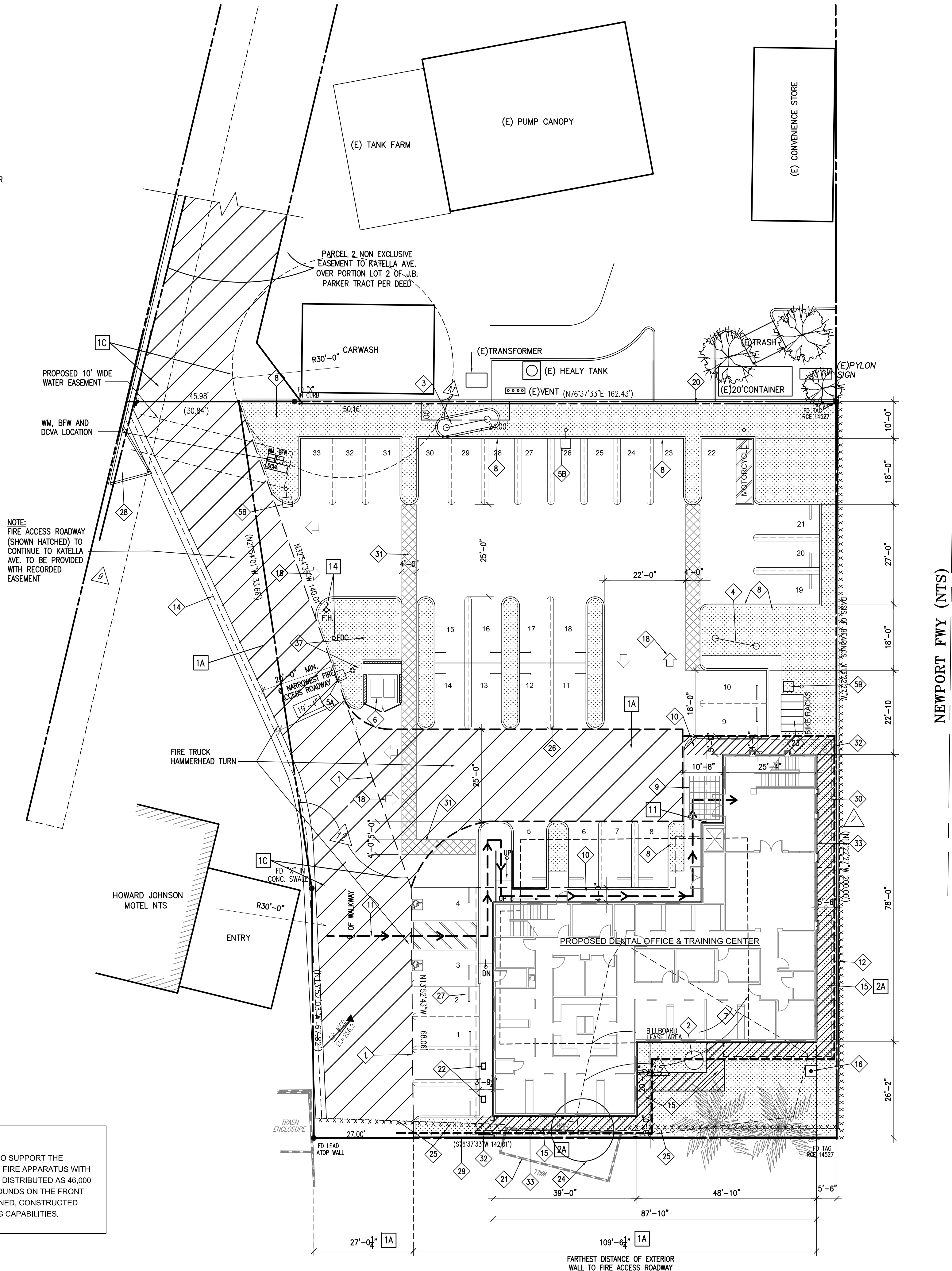
EASEMENT NOTES:

- △ 9 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: IRRIGATION DITCHES
RECORDING DATE: FEBRUARY 11, 1913
RECORDING NO: BOOK 227, PAGE 40, DEEDS
AFFECTS: SAID LAND
THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
- △ 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: STREET AND HIGHWAY
RECORDING DATE: NOVEMBER 6, 1959
RECORDING NO: BOOK 4963, PAGE 366, OFFICIAL RECORDS
AFFECTS: SAID LAND
- △ 7 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT,
RECORDING DATE: MAY 4, 1960
RECORDING NO: BOOK 5225, PAGE 384, OFFICIAL RECORDS
AFFECTS: NEWPORT FREEWAY
- △ 9 GRANTED TO: CITY OF ORANGE
PURPOSE: WATER PIPE LINE
RECORDING DATE: FEBRUARY 18, 1966
RECORDING NO: BOOK 7846, PAGE 35 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- △ 11 GRANTED TO: LYNN PARK HOMES, INC
PURPOSE: COMMERCIAL SIGN
RECORDING DATE: APRIL 8, 1966
RECORDING NO: BOOK 7895, PAGE 40 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- △ 12 GRANTED TO: FRANCES M. BENDER AND ETHEL FLYNN
PURPOSE: INGRESS, EGRESS AND PUBLIC UTILITY
RECORDING DATE: JUNE 3, 1966
RECORDING NO: BOOK 7949, PAGE 894 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- △ 15 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: RESERVATION OF SIGN EASEMENT AND RENTS FROM BILLBOARD LEASES
RECORDING DATE: APRIL 19, 2005
RECORDING NO: 2005000292657, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: LEASE AND EASEMENT ASSIGNMENT AND ASSUMPTION AGREEMENT
RECORDING DATE: APRIL 25, 2017
RECORDING NO: 2017000165375, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

NOTE:
FIRE ACCESS ROADWAY
(SHOWN HATCHED)
TO CONTINUE TO KATELLA
AVE. TO BE PROVIDED
WITH RECORDED
EASEMENT

NOTE:

THE FIRE ACCESS ROADWAYS SHALL BE DESIGNED TO SUPPORT THE IMPOSED LOADS OF THE ORANGE FIRE DEPARTMENT FIRE APPARATUS WITH A TOTAL OF 68,000 POUNDS. THE FIRE APPARATUS IS DISTRIBUTED AS 46,000 POUNDS ON THE TANDEM REAR AXLES AND 22,000 POUNDS ON THE FRONT AXLE. THE FIRE ACCESS ROADWAY SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.



FIRE MASTER PLAN A

SCALE: 1/16" = 1'-0"

FIRE DEPARTMENT CONDITIONS

NOTES:

- FIRE APPARATUS ACCESS:
 - A MINIMUM 20 FT. WIDE FIRE ACCESS ROADWAY THAT EXTENDS TO WITHIN 150 FEET OF ALL FIRST FLOOR EXTERIOR WALLS OF THE PROPOSED BUILDINGS AS MEASURED ON THE EXTERIOR OF THE BUILDING.
 - DEAD-END FIRE ACCESS ROADWAYS GREATER THAN 150 FT. IN LENGTH SHALL BE PROVIDED WITH AN APPROVED FIRE APPARATUS TURNAROUND, MUST MEET THE TURNING RADI STANDARDS CONTAINED IN THE FIRE MASTER PLAN GUIDELINES AND ITEM C BELOW.
 - IN AREAS WHERE THE FIRE ACCESS ROADWAY HAS A CHANGE IN DIRECTION, INDICATE COMPLIANCE WITH THE MINIMUM TURNING RADI OF 20 FT. INSIDE AND 50 FT. OUTSIDE.
 - THE FIRE ACCESS ROADWAYS SHALL BE DESIGNED TO SUPPORT THE IMPOSED LOADS OF THE ORANGE FIRE DEPARTMENT FIRE APPARATUS WITH A TOTAL LOAD OF 68,000 POUNDS. THE FIRE APPARATUS IS DISTRIBUTED AS 46,000 POUNDS ON THE TANDEM REAR AXLES AND 22,000 POUNDS ON THE FRONT AXLE. THE FIRE ACCESS ROADWAY SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
 - PROVIDE A LETTER OR STATEMENT, WET-STAMPED AND SIGNED BY A REGISTERED ENGINEER ON THE PLANS CERTIFYING THAT ANY NEW ROADWAY MEETS THE 68,000 POUND ALL WEATHER REQUIREMENT.
- FIRE ACCESS WALKWAYS:
 - PROVIDE A MINIMUM 5 FT. WIDE FIRE ACCESS WALKWAY TO ALL OPENINGS AND EGRESS DOORS, ON THE FIRST FLOOR EXTERIOR WALLS, REQUIRED BY THE CBC AND/OR CFC.
 - FIRE ACCESS WALKWAYS SHALL BE A LEVEL SOLID SURFACE, UNOBSTRUCTED BY TREES OR SHRUBS AND SHALL CONSIST OF A SURFACE THAT LENDS ITSELF TO SAFE USE DURING BUILDING EXCAVATION, FIREFIGHTING AND RESCUE EFFORTS. ALTERNATIVE SURFACES (I.E., DECOMPOSED GRANITE, GRAVEL, GRASS, ETC.) ARE EVALUATED BY THE FIRE CODE OFFICIAL FOR ACCEPTANCE ON A CASE BY CASE BASIS.
- FIRE HYDRANTS: PROVIDE LOCATIONS OF ALL PUBLIC AND ON-SITE FIRE HYDRANTS WITHIN 400 FT. ACCESSIBLE PATH OF ALL PROPOSED BUILDINGS. SPECIFY THE DISTANCE FROM THE FIRE HYDRANT TO THE BUILDING EXTERIOR WALL.
 - SHOW THE REQUIRED FIRE FLOW IN ACCORDANCE WITH THE CFC APPENDIX B, TABLE B105.1 (2). A REDUCTION IN THE REQUIRED FIRE FLOW IS ALLOWED FOR BUILDINGS PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AS SPECIFIED IN NFPA 13.
 - THE SPACING AND NUMBER OF FIRE HYDRANTS SHALL BE IN ACCORDANCE WITH CFC APPENDIX C, TABLE C102.1.
 - PROVIDE THE AVAILABLE FIRE FLOW FOR THE FIRE HYDRANTS NEAREST TO THE PROPOSED STRUCTURES FRONTING THE STREET, TO CONFIRM THE ABILITY AND COMPLIANCE WITH THE REQUIREMENTS OF CFC APPENDIX B, TABLE B105.1 (2); REPORT CAN BE OBTAINED FROM WATER DEPARTMENT.
 - ADDITIONAL FIRE HYDRANTS, AT THE COST OF THE DEVELOPER, MAY BE REQUIRED AFTER THE REQUESTED INFORMATION IS REVIEWED FOR CFC COMPLIANCE.
- THE PROPOSED BUILDING IS REQUIRED TO BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13 AS REQUIRED BY THE CITY OF ORANGE ORDINANCE 8-16.
- A FIRE DEPARTMENT CONNECTION WILL BE PART OF THE SPRINKLER SYSTEM DESIGN. THE FOLLOWING REQUIREMENTS ARE APPLICABLE TO THE NEW STRUCTURE AND MUST BE CONSIDERED RELATIVE TO THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM. ADDITIONALLY, THE INFORMATION MUST BE SHOWN ON THE FIRE MASTER PLAN.
 - THE FIRE DEPARTMENT CONNECTION SHALL NOT BE AFFIXED TO THE BUILDING.
 - THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED AT LEAST 40 FT. AWAY FROM THE BUILDING.
 - THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED ON THE ADDRESS SIDE OF THE BUILDING.
 - THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED WITHIN 40 FT. OF A HYDRANT ON THE SAME SIDE OF THE STREET AS THE HYDRANT.
 - THE FIRE DEPARTMENT CONNECTION SHALL NOT PROVIDE PRESSURE TO AN ON-SITE HYDRANT.
 - THE LOCATION OF THE FIRE DEPARTMENT CONNECTION SHALL BE APPROVED BY THE FIRE DEPARTMENT.
- THE ELEVATOR WILL BE REQUIRED TO MEET CBC SECTION 3002.4a.
- KEY BOXES AND KEY SWITCHES (KNOX DEVICES) SHALL BE PROVIDED WHERE NECESSARY TO ENSURE THAT IMMEDIATE ACCESS FOR FIREFIGHTING, RESCUE AND OTHER EMERGENCY PURPOSES IS POSSIBLE.
 - AT A MINIMUM KNOX DEVICES SHALL BE PROVIDED FOR THE FOLLOWING LOCATIONS:
 - THE MAIN ENTRY TO BUILDINGS EQUIPPED THROUGHOUT WITH A FIRE ALARM OR SPRINKLER MONITORING SYSTEM.
 - DOORS AND PEDESTRIAN GATES TO OTHER AREAS IDENTIFIED BY THE FIRE DEPARTMENT.
 - VEHICULAR GATES ON DRIVER SIDE APPROACH.
- TREES PLANTED ALONG THE FIRE ACCESS ROADWAY AND/OR FIREFIGHTER REQUIRED WALKWAY SHALL NOT IMPEDE THE REQUIRED MINIMUM 5'-0" WALKWAY WIDTH OR THE REQUIRED FIRE APPARATUS VERTICAL CLEARANCE OF 13'-6". THE TREES SHOULD BE A TYPE THAT THE NATURAL GROWTH PATTERN WOULD ALLOW THE REQUIRED VERTICAL CLEARANCE WITHOUT RELIANCE ON REGULAR MAINTENANCE OF THE TREE CANOPIES.
- THE ARCHITECTURAL, CIVIL AND LANDSCAPE DRAWINGS SHALL BE COORDINATED SUCH THAT INFORMATION RELATIVE TO FIRE ACCESS ROADWAY WIDTHS, REQUIRED VERTICAL CLEARANCES, AND LOCATION OF FIRE PROTECTION DEVICES (FDC'S, BFD'S AND FIRE HYDRANTS) ARE SHOWN IN A SIMILAR MANNER.
- NOTE ANY DEFERRED PLAN SUBMITTALS ON TITLE SHEET, INCLUDING BUT NOT LIMITED TO, ANY OF THE FOLLOWING AS APPLICABLE: FIRE SPRINKLERS, UNDERGROUND FIRE LINE SERVICE, FIRE SPRINKLER MONITORING/ALARM SYSTEM, COMPRESSED/LIQUEFIED BULK TANKS, MEDICAL GAS SYSTEM, AND UNDERGROUND/ABOVEGROUND STORAGE TANKS.
- KEY BOXES AND KEY SWITCHES (KNOX DEVICES) SHALL BE PROVIDED WHERE NECESSARY TO ENSURE THAT IMMEDIATE ACCESS FOR FIREFIGHTING, RESCUE AND OTHER EMERGENCY PURPOSES IS POSSIBLE.
 - AT A MINIMUM KNOX DEVICES SHALL BE PROVIDED FOR THE FOLLOWING LOCATIONS:
 - THE MAIN ENTRY TO BUILDINGS EQUIPPED THROUGHOUT WITH A FIRE ALARM OR SPRINKLER MONITORING SYSTEM.
 - DOORS AND PEDESTRIAN GATES TO OTHER AREA IDENTIFIED BY THE FIRE DEPARTMENT.
 - VEHICULAR GATES ON DRIVER SIDE APPROACH.
- TREES PLANTED ALONG THE FIRE ACCESS ROADWAY AND/OR FIREFIGHTER REQUIRED WALKWAY SHALL NOT IMPEDE THE REQUIRED MINIMUM 5'-0" WALKWAY WIDTH OR THE REQUIRED FIRE APPARATUS VERTICAL CLEARANCE OF 13'-6". THE TREES SHOULD BE A TYPE THAT THE NATURAL GROWTH PATTERN WOULD ALLOW THE REQUIRED VERTICAL CLEARANCE WITHOUT RELIANCE ON REGULAR MAINTENANCE OF THE TREE CANOPIES. SEE LANDSCAPE PLAN.
- ELEVATOR REQUIRED TO MEET CBC SEC. 3002.4a. (SEE A-1 FIRST FLOOR PLAN AND CORRESPONDING DETAILS & NOTES)
- A FIRE DEPARTMENT CONNECTION AND DOUBLE-BACKFLOW DEVICE WILL BE PART OF THE FIRE SPRINKLER SYSTEM:
 - THE FIRE DEPARTMENT CONNECTION SHALL NOT BE AFFIXED TO THE BUILDING.
 - THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED AT LEAST 40 FEET AWAY FROM THE BUILDING.
 - THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED ON THE ADDRESS SIDE OF THE BUILDING.
 - THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED WITHIN 40 FEET OF A HYDRANT ON THE SAME SIDE OF THE STREET AS THE HYDRANT.
 - THE FIRE DEPARTMENT CONNECTION SHALL NOT PROVIDE PRESSURE TO AN ON-SITE HYDRANT.
 - THE LOCATION OF THE FIRE DEPARTMENT CONNECTION SHALL BE APPROVED BY THE FIRE DEPARTMENT.
 - PROVIDE NEW FIRE HYDRANT.

SITE PLAN KEYNOTES

- EASEMENT
- (E) BILLBOARD POST TO REMAIN
- (E) COMMERCIAL SIGNAGE (SHIK) STRUCTURE TO REMAIN
- (E) SIGNAGE STRUCTURE (HOWARD JOHNSON) TO REMAIN AND REFACED WITH NEW SIGN
- (E) LAMPPOST TO BE RELOCATED AS NECESSARY. ADDITIONAL POSTS TO BE DESIGNED AND DETERMINED PER LIGHTING STANDARDS
- (N) PROPOSED ADDITIONAL LAMP POSTS
- (N) TRASH ENCLOSURE
- (E) BUILDING FOOTPRINT PAD FOR REFERENCE
- NEW CURB & LANDSCAPE
NOTE: OMC SECTION 17.34.130.C REQUIRES A SIX INCH CURB WHEREVER THE PARKING AREA ABUTS A PUBLIC WALKWAY, LANDSCAPED AREA, STREET, OR ALLEY.
- ACCENT TILES @ ENTRY
- CONCRETE WALKWAY
- (E) CHAIN LINK FENCE @ PROPERTY LINE TO BE REPLACED/FIXED AS NECESSARY. OWNER TO DEAL WITH CALTRANS
- NOT USED
- (E) SWALE
- PROVIDE MIN. 5 FT. WIDE FIRE ACCESS WALKWAY WITH A LEVEL LOW GROUND COVER SURFACE (SEE LANDSCAPE PLAN)
- PROPOSED FLAGPOLE
- NOT USED
- PROVIDE DIRECTIONAL ARROWS PER CITY STANDARDS
- NOT USED
- (N) 6'-0" HIGH WROUGHT IRON FENCE
- (E) ENCROACHING SHED TO BE REMOVED BY NEIGHBOR AS REQUIRED FROM WITHIN PROPERTY
- ELECTRIC VEHICLE CHARGERS
- OMC SECTION 17.34.080 REQUIRES PROJECTS THAT HAVE OVER TEN PARKING SPACES TO PROVIDE PARKING AND LOCKING FACILITIES FOR BICYCLES AND MOTORCYCLES IN THE NUMBERS SPECIFIED IN TABLE 17.34.080. THE PROPOSED PROJECT REQUIRES 50 SQ. FT. OF MOTORCYCLE PARKING AREA AND 1 BICYCLE RACK.
- EXISTING TOWER OVERHANG TO BE REMOVED BY NEIGHBOR
- (E) FENCE TO BE REMOVED
- STRIPING PER OMC 17.34.130E (SEE 3/A-2)
- WHEEL STOPS WHERE SHOWN TO BE PLACED A MIN. OF 34 INCHES FROM FRONT END OF PARKING STALL OMC 17.34.130F
- EXISTING SIGNS TO REMAIN.
"SHIK" SIGN TO BE REPLACED WITH NEW NAME. "HOWARD JOHNSON" TO KEEP.
- (N) 6 FT. HIGH W. IRON FENCE ALONG SOUTH PROPERTY LINE
- 4 FT. ROOF OVERHANG ABOVE
- 4 FT. COLORED STAMPED CONCRETE PEDESTRIAN WALK
- 4 FT. WIDE X 6 FT. HIGH W. IRON GATE
- MAX. AREA OF EXT. WALL OPENINGS OR GLAZING SHALL BE 25% OF WALL BASED ON CBC TABLE 705.8. (SEE ELEVATIONS)
- REPAVE ENTIRE PARKING LOT.
- BILLBOARD EASEMENT (SEE A-0.2)
- NOT USED
- 4 FT. WIDE MIN. PLANTER @ 2 SIDES OF TRASH (N&W)

G&L
DESIGN
CONSULTANTS

16327 Willowmist Ct.
Chino Hills, Ca 91709
tel. 909.851.6252
email: Gldesignco@aol.com

All designs, prints, specifications, and contract documents including this drawing are the property of G&L DESIGN CONSULTANTS and cannot be used on any other project or site, nor reproduced without their written permission.

Proposed
DENTAL OFFICE & TRAINING CENTER
1936 E. KATELLA AVE. ORANGE, CA 92667

JOB TITLE

SHEET TITLE:

**FIRE MASTER
PLAN A**

SUBMITTALS

11/15/18	PLANNING CORRECTIONS
10/01/19	PLANNING CORRECTIONS
10/29/19	PLANNING CORRECTIONS
03/12/20	SMART CORRECTIONS
04/23/20	SMART CORRECTIONS
02/19/21	SMART CORRECTIONS
04/08/21	SMART CORRECTIONS
05/27/21	SMART CORRECTIONS
07/26/21	FIRE DEPT. CORRECTIONS
09/13/21	DESIGN REVIEW

DATE: 5/11/18

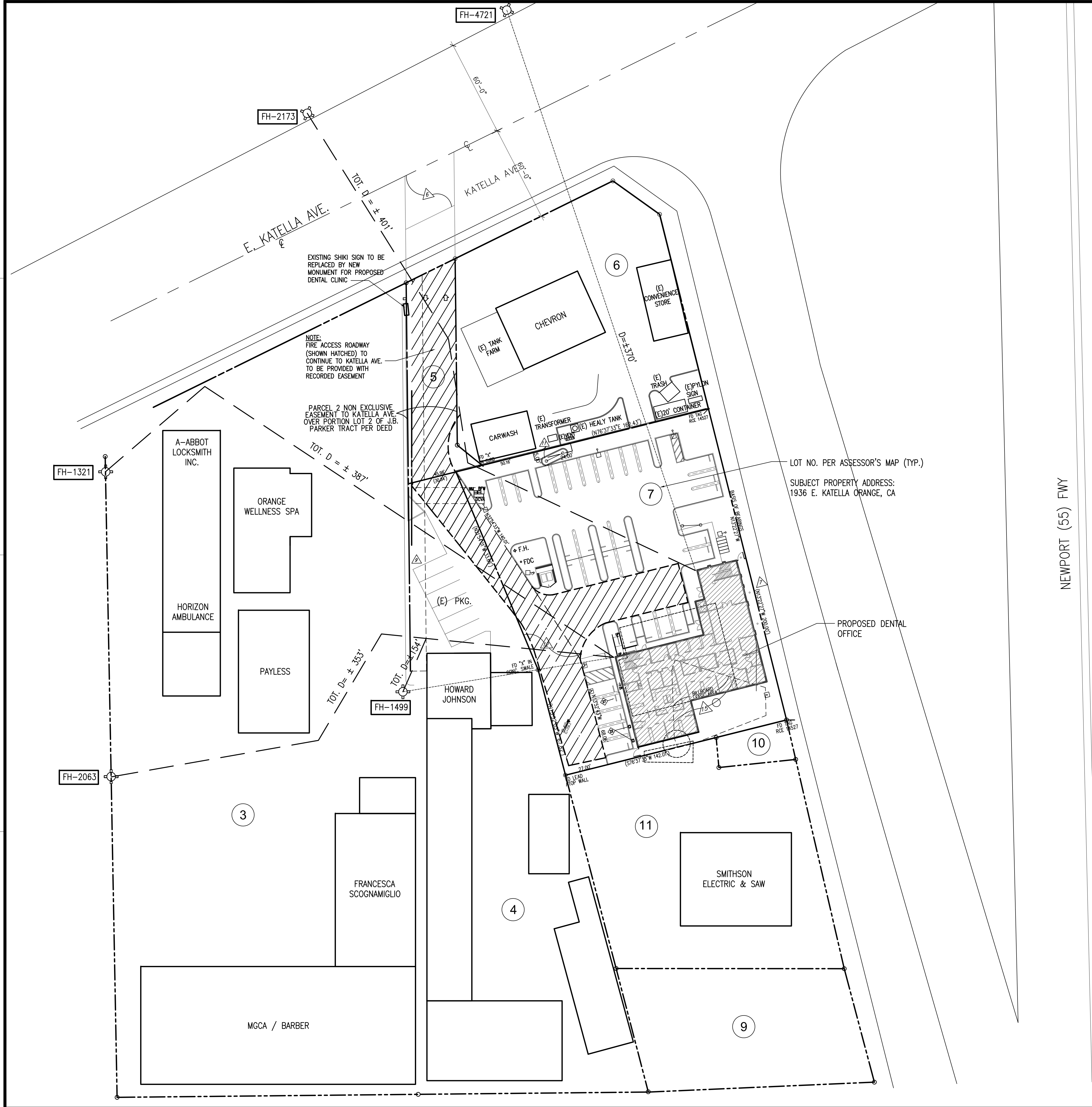
CHECKED: GD

DRAWN: LD

JOB NO. 17-14

SHEET NO.

A-0.1A



FIRE HYDRANT (FH) FLOW CHART

Hydrant #	Test Performed (Month-YY)	Static Pressure (PSI)	Residual Pressure (PSI)	Observed Flow (GPM)	Flow at 20 PSI (GPM)	Time Flush (Min)	Actual Gallon
1321	Jan-2019	64	56	1257.196882	3156.451696	1	1257.197
1499	Jan-2019	52	50	1187.939392	5309.077616	1	1187.939
2063	Jan-2019	65	58	1279.449882	3494.66133	1	1279.45
2173	Jan-2019	52	50	1187.939392	5309.077616	1	1187.939
4721	Jan-2019	50	48	1163.938143	5023.647756	1	1163.938

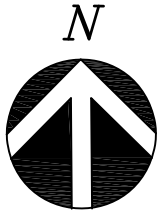
Contact:
Junie Vuong, E.I.T. | Assistant Engineer
City of Orange – Public Works, Water Division
189 S Water St | Orange, CA 92866
Email: Nuong@CityofOrange.org

FIRE DEPT. NOTES

- 1. THE REQUIRED FIRE FLOW SHALL BE IN ACCORDANCE WITH THE CFC APPENDIX B, TABLE B105.1 (2). A REDUCTION IN THE REQUIRED FIRE FLOW IS ALLOWED FOR BUILDINGS PROVIDED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AS SPECIFIED IN NFPA 13.
- 2. THE SPACING AND NUMBER OF FIRE HYDRANTS SHALL BE IN ACCORDANCE WITH CFC APPENDIX C, TABLE C102.1.
- 3. ADDITIONAL FIRE HYDRANTS, AT THE COST OF THE DEVELOPER, MAY BE REQUIRED UPON REVIEW FOR CFC COMPLIANCE.

EASEMENT NOTES:

- 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: IRRIGATION DITCHES
RECORDING DATE: FEBRUARY 11, 1913
RECORDING NO: BOOK 227, PAGE 40, DEEDS
AFFECTS: SAID LAND
THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
- 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: STREET AND HIGHWAY
RECORDING DATE: NOVEMBER 6, 1959
RECORDING NO: BOOK 4963, PAGE 366, OFFICIAL RECORDS
AFFECTS: SAID LAND
- 7 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ADJUTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT,
RECORDING DATE: MAY 4, 1960
RECORDING NO: BOOK 5225, PAGE 384, OFFICIAL RECORDS
AFFECTS: NEWPORT FREEWAY
- 9 GRANTED TO: CITY OF ORANGE
PURPOSE: WATER PIPE LINE
RECORDING DATE: FEBRUARY 18, 1966
RECORDING NO: BOOK 7846, PAGE 35 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 11 GRANTED TO: LYNN PARK HOMES, INC
PURPOSE: COMMERCIAL SIGN
RECORDING DATE: APRIL 8, 1966
RECORDING NO: BOOK 7895, PAGE 40 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 12 GRANTED TO: FRANCES M. BENDER AND ETHEL FLYNN
PURPOSE: INGRESS, EGRESS AND PUBLIC UTILITY
RECORDING DATE: JUNE 3, 1966
RECORDING NO: BOOK 7949, PAGE 894 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 15 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: RESERVATION OF SIGN EASEMENT AND RENTS FROM BILLBOARD LEASES
RECORDING DATE: APRIL 19, 2005
RECORDING NO: 2005000292657, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: LEASE AND EASEMENT ASSIGNMENT AND ASSUMPTION AGREEMENT
RECORDING DATE: APRIL 25, 2017
RECORDING NO: 2017000165375, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

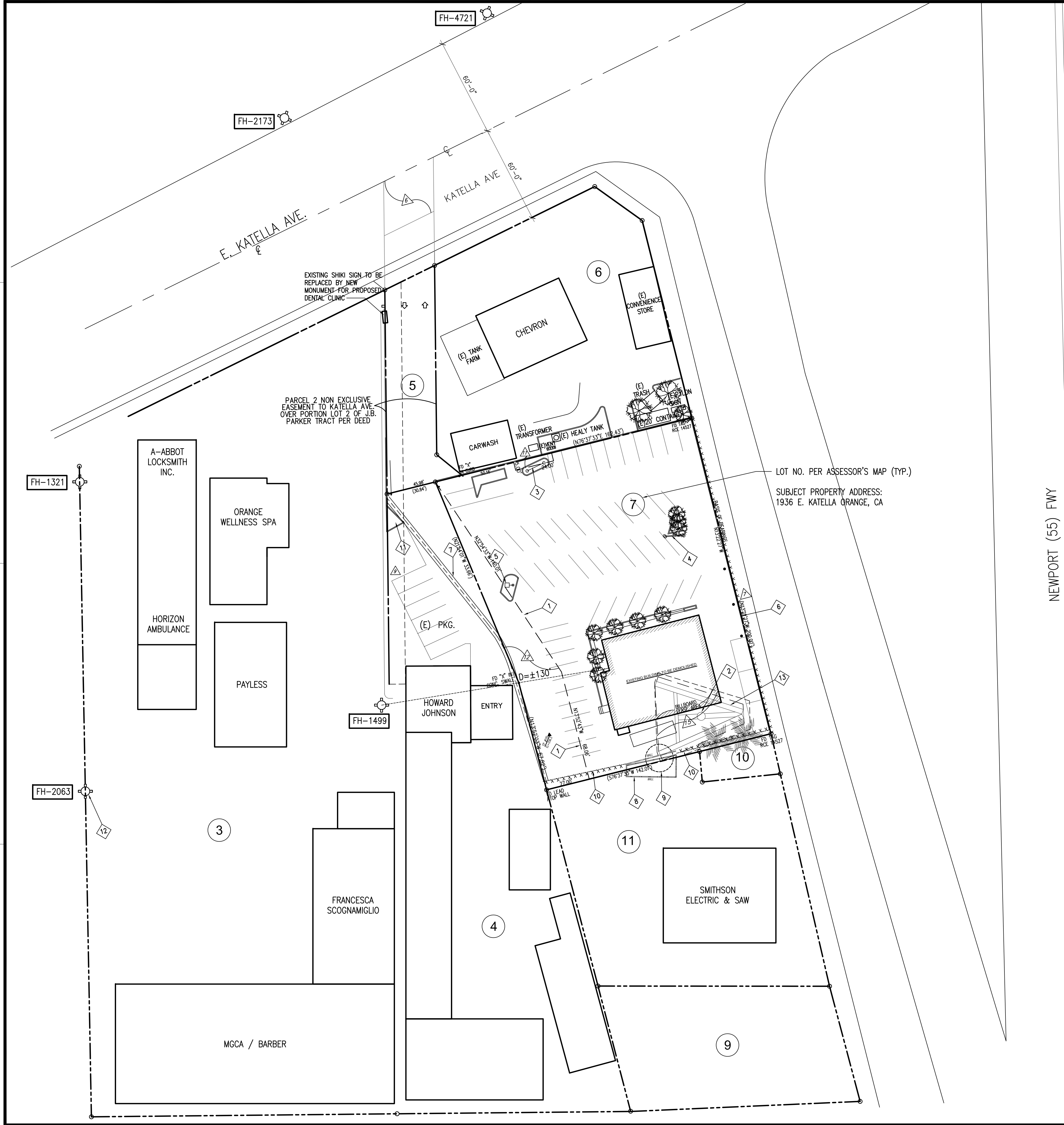


FIRE MASTER PLAN B

FULL SITE SHOWING NEIGHBORING PARCELS/
PROPERTIES

SCALE: 1" = 30'-0"

03/12/20	SMART CORRECTIONS
04/23/20	SMART CORRECTIONS
02/19/21	SMART CORRECTIONS
04/08/21	SMART CORRECTIONS
05/27/21	SMART CORRECTIONS
07/26/21	FIRE DEPT. CORRECTIONS
09/13/21	DESIGN REVIEW



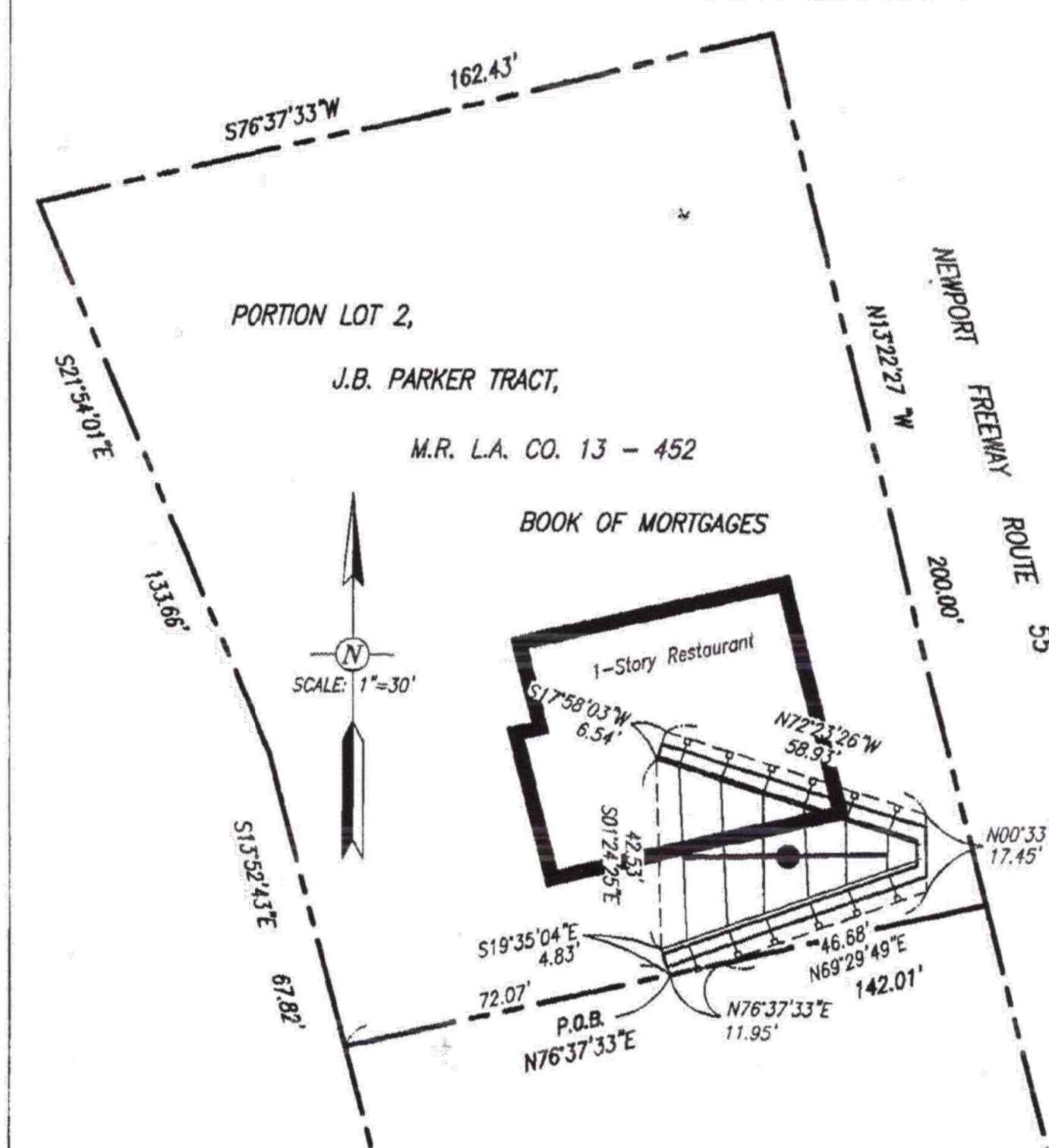
SITE PLAN KEYNOTES

- 1 EASEMENT
- 2 (E) BILLBOARD POST
- 3 (E) COMMERCIAL SIGNAGE (HOWARD JOHNSON) STRUCTURE
- 4 (E) SIGNAGE STRUCTURE (SHIKI)
- 5 (E) LAMPPOST
- 6 (E) CHAIN LINK FENCE @ EAST PROPERTY LINE TO BE REPLACED/FIXED AS NECESSARY. OWNER TO DEAL WITH CALTRANS. REPLACE WITH 6 FT. W. IRON FENCE. SEE L.2.
- 7 (E) SWALE
- 8 (E) ENCROACHING SHED
- 9 EXISTING TOWER OVERHANG
- 10 (E) FENCE
- 11 EXISTING SIGNS. "SHIKI" SIGN & "HOWARD JOHNSON"
- 12 (E) FIRE HYDRANT (TYP.)
- 13 BILLBOARD EASEMENT (SEE BELOW)

EASEMENT NOTES:

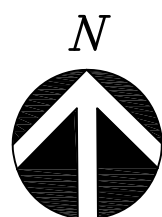
- 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: IRRIGATION DITCHES
RECORDING DATE: FEBRUARY 11, 1913
RECORDING NO: BOOK 227, PAGE 40, DEEDS
AFFECTS: SAID LAND
THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
- 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: STREET AND HIGHWAY
RECORDING DATE: NOVEMBER 6, 1959
RECORDING NO: BOOK 4963, PAGE 366, OFFICIAL RECORDS
AFFECTS: SAID LAND
- 7 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT, RECORDING DATE: MAY 4, 1960
RECORDING NO: BOOK 5225, PAGE 384, OFFICIAL RECORDS
AFFECTS: NEWPORT FREEWAY
- 9 GRANTED TO: CITY OF ORANGE
PURPOSE: WATER PIPE LINE
RECORDING DATE: FEBRUARY 18, 1966
RECORDING NO: BOOK 7846, PAGE 35 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 11 GRANTED TO: LYNN PARK HOMES, INC
PURPOSE: COMMERCIAL SIGN
RECORDING DATE: APRIL 8, 1966
RECORDING NO: BOOK 7895, PAGE 40 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 12 GRANTED TO: FRANCES M. BENDER AND ETHEL FLYNN
PURPOSE: INGRESS, EGRESS AND PUBLIC UTILITY
RECORDING DATE: JUNE 3, 1966
RECORDING NO: BOOK 7949, PAGE 894 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 13 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: RESERVATION OF SIGN EASEMENT AND RENTS FROM BILLBOARD LEASES
RECORDING DATE: APRIL 19, 2005
RECORDING NO: 2005000292657, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: LEASE AND EASEMENT ASSIGNMENT AND ASSUMPTION AGREEMENT
RECORDING DATE: APRIL 25, 2017
RECORDING NO: 2017000165375, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

"Billboard Easement Plat - Attachment 1"



BILLBOARD SIGN EASEMENT
1936 E. KATELLA AVENUE
ORANGE, CA 92867

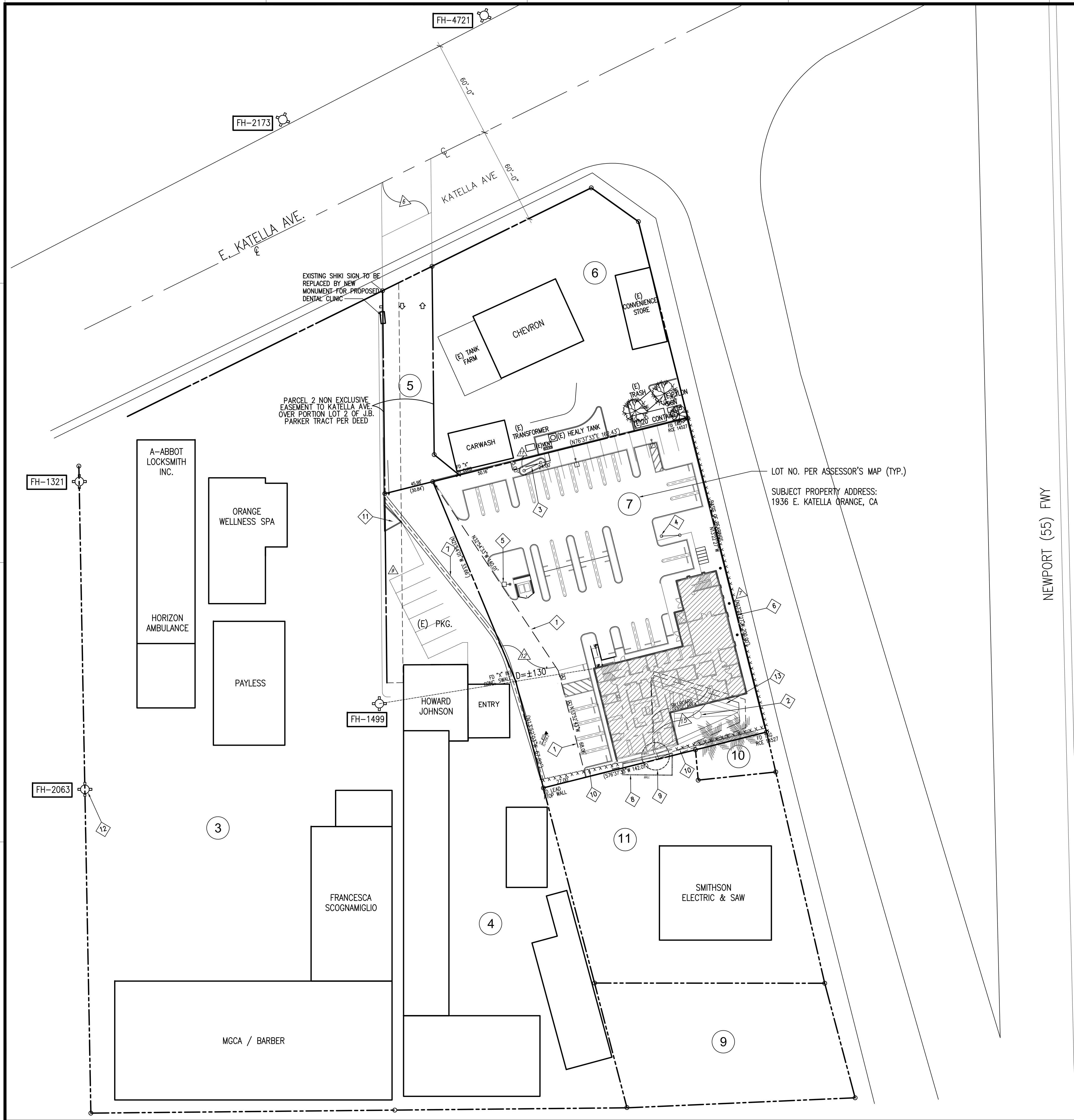
GUIDA SURVEYING INC.
14712 FRANKLIN AVENUE - SUITE B
TUSTIN, CALIFORNIA 92780
(714) 908-1114 • FAX (714) 908-1115
EMAIL: GSTUSTING@GUIDASURVEYING.COM



EXISTING SITE PLAN

FULL SITE SHOWING NEIGHBORING PARCELS/
PROPERTIES

SCALE: 1" = 30'-0"

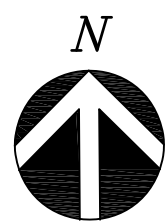
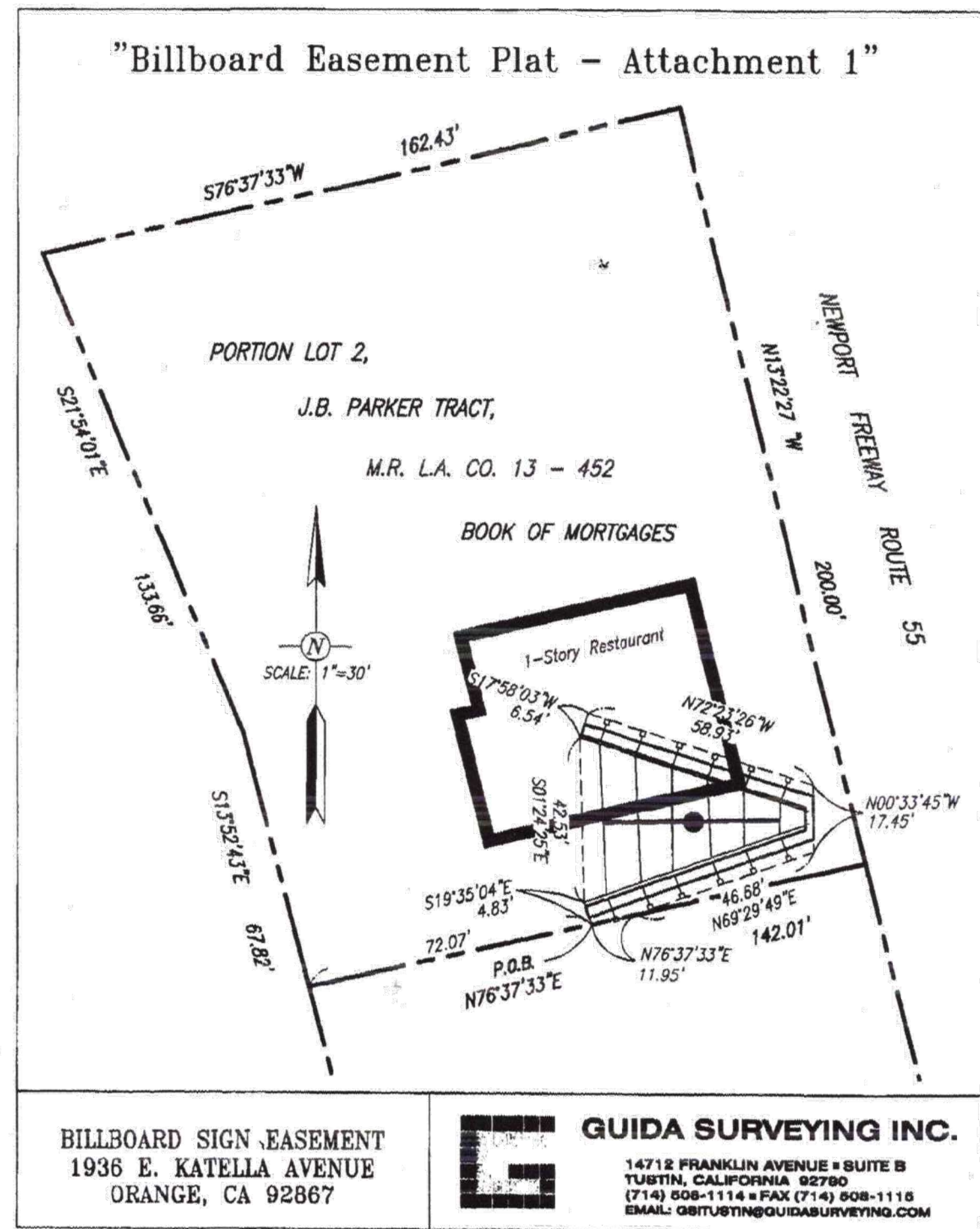


SITE PLAN KEYNOTES

- 1 EASEMENT
- 2 (E) BILLBOARD POST
- 3 (E) COMMERCIAL SIGNAGE (HOWARD JOHNSON STRUCTURE
- 4 (E) SIGNAGE STRUCTURE (SHIKI)
- 5 (E) LAMPOST
- 6 (E) CHAIN LINK FENCE @ EAST PROPERTY LINE TO BE REPLACED/FIXED AS NECESSARY BY OWNER TO DEAL WITH CALTRANS. REPLACED WITH 6 FT. W. IRON FENCE. SEE L.2.
- 7 (E) SWALE
- 8 (E) ENCRoACHING SHED
- 9 EXISTING TOWER OVERHANG
- 10 (E) FENCE
- 11 EXISTING SIGNS.
"SHIKI" SIGN & "HOWARD JOHNSON"
- 12 (E) FIRE HYDRANT (TYP.)
- 13 BILLBOARD EASEMENT (SEE BELOW)

EASEMENT NOTES:

- 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: IRRIGATION DITCHES
RECORDING DATE: FEBRUARY 11, 1913
RECORDING NO: BOOK 227, PAGE 40, DEEDS
AFFECTS: SAID LAND
THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
- 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: STREET AND HIGHWAY
RECORDING DATE: NOVEMBER 6, 1959
RECORDING NO: BOOK 4963, PAGE 366, OFFICIAL RECORDS
AFFECTS: SAID LAND
- 7 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT,
RECORDING DATE: MAY 4, 1960
RECORDING NO: BOOK 5225, PAGE 384, OFFICIAL RECORDS
AFFECTS: NEWPORT FREEWAY
- 9 GRANTED TO: CITY OF ORANGE
PURPOSE: WATER PIPE LINE
RECORDING DATE: FEBRUARY 18, 1966
RECORDING NO: BOOK 7846, PAGE 35 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 11 GRANTED TO: LYNN PARK HOMES, INC
PURPOSE: COMMERCIAL SIGN
RECORDING DATE: APRIL 8, 1966
RECORDING NO: BOOK 7895, PAGE 40 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 12 GRANTED TO: FRANCES M. BENDER AND ETHEL FLYNN
PURPOSE: INGRESS, EGRESS AND PUBLIC UTILITY
RECORDING DATE: JUNE 3, 1966
RECORDING NO: BOOK 7949, PAGE 894 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 15 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
ENTITLED: RESERVATION OF SIGN EASEMENT AND RENTS FROM BILLBOARD LEASES
RECORDING DATE: APRIL 19, 2005
RECORDING NO: 2005000292657, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
ENTITLED: LEASE AND EASEMENT ASSIGNMENT AND ASSUMPTION AGREEMENT
RECORDING DATE: APRIL 25, 2017
RECORDING NO: 2017000165375, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.



PROPOSED SITE PLAN SHOWING EASEMENTS

FULL SITE SHOWING NEIGHBORING PARCELS/
PROPERTIES

SCALE: 1" = 30'-0"

16327 Willowmist Ct.
Chino Hills, Ca 91709
tel. 909.851.6252
email: Gldesignco@aol.com

All designs, prints, specifications, and contract documents including this drawing are the property of G&L DESIGN CONSULTANTS and cannot be used on any other project or site, nor reproduced without their written permission.

B TITLE
 Proposed
 DENTAL OFFICE & TRAINING CENTER
 1936 E. KATELLA AVE. ORANGE, CA 92867

SHEET TITLE:

PROPOSED SITE PLAN

SUBMITTALS

04/23/20	SMART CORRECTION:
----------	-------------------

02/19/21 SMART CORRECTION:

04/08/21 SMART CORRECTION

05/27/21	SMART CORRECTION
----------	------------------

DATE: 04/23/20

CHECKED: GD

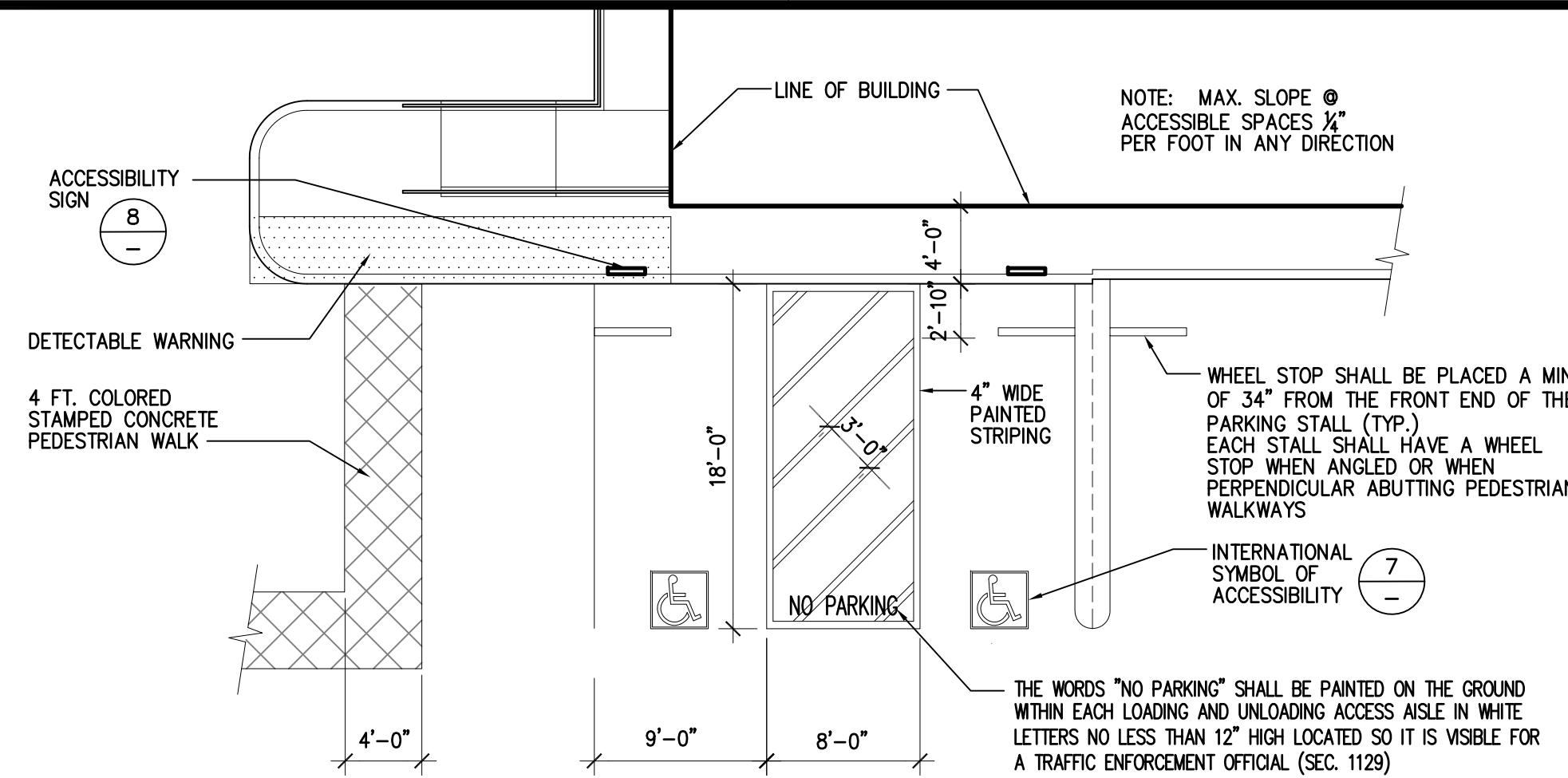
DRAWN: LD

JOB NO. 17-14

SHEET NO.

A-0.2A

10/01/19	PLANNING CORRECTIONS
10/29/19	PLANNING CORRECTIONS
03/12/20	SMART CORRECTIONS
04/23/20	SMART CORRECTIONS
02/19/21	SMART CORRECTIONS
04/08/21	SMART CORRECTIONS
05/27/21	SMART CORRECTIONS
09/13/21	DESIGN REVIEW



ACCESSIBLE PARKING STALLS

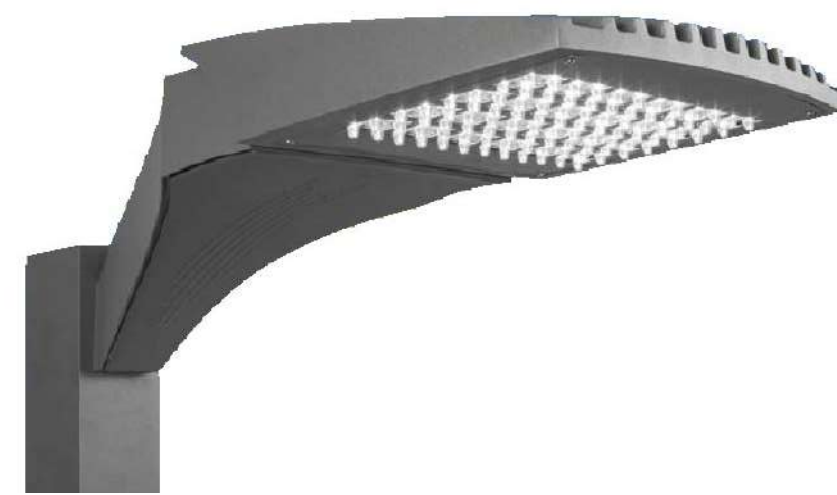
SCALE:
1/8"=1'-0"

6

STRIPING DETAIL

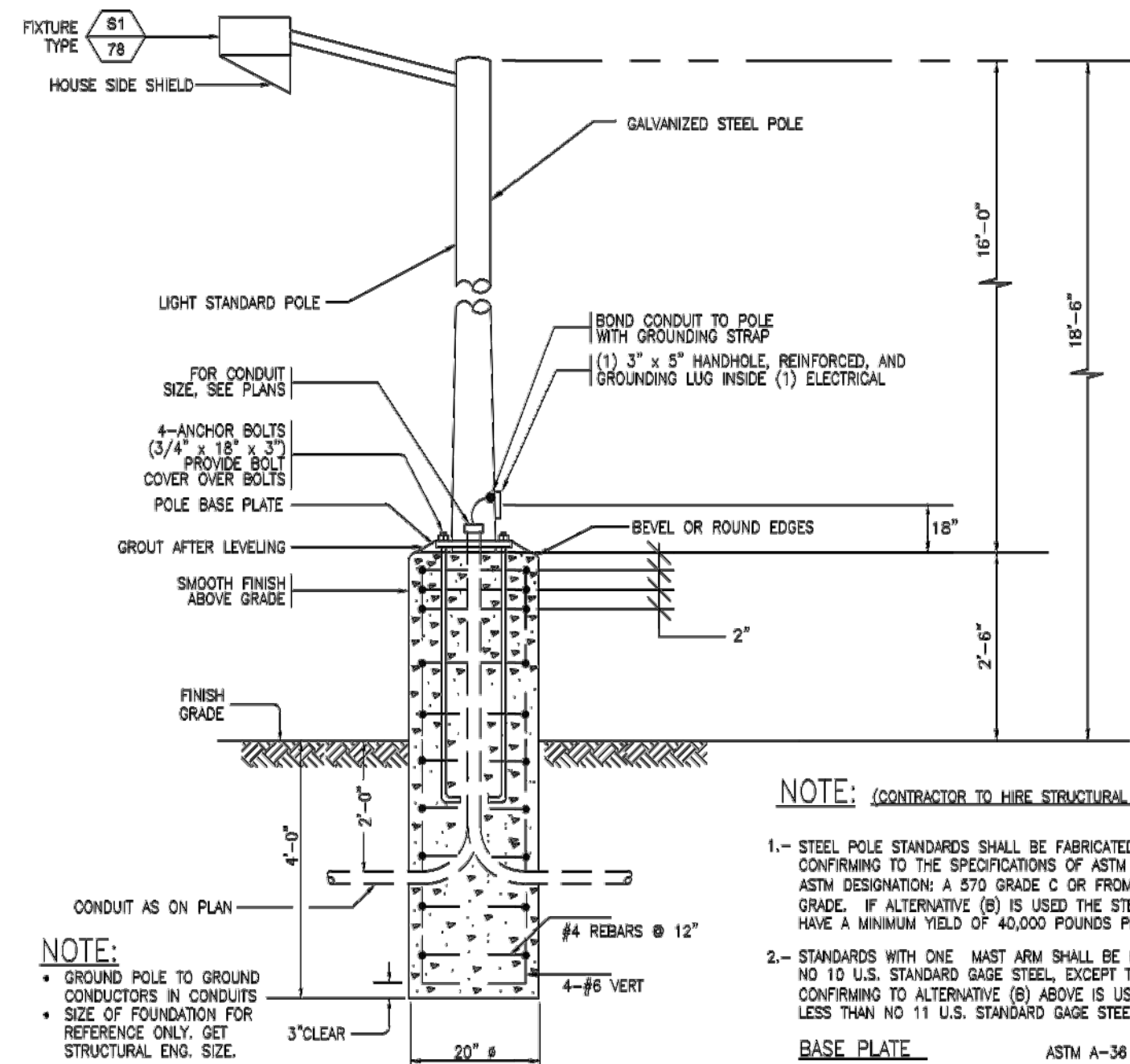
N.T.S.

2



VMX
BY VISIONAIRE

VMX THE NEW VMXLED SERIES OFFERS CLEAN, FUNCTIONAL STYLING THAT IS DEFINED BY ITS SLEEK LOW PROFILE DESIGN AND RUGGED CONSTRUCTION. MORE DETAILS VMX THE NEW VMX LED SERIES OFFERS CLEAN, FUNCTIONAL STYLING THAT IS DEFINED BY ITS SLEEK LOW PROFILE DESIGN AND RUGGED.



LAMP POST EXTERIOR LIGHTING FIXTURES

N.T.S.

9

WALL SCONCE EXTERIOR LIGHTING FIXTURE

N.T.S.

3

LANDSCAPE AREA BREAKDOWN

N.T.S.

1

BREAKDOWN OF LANDSCAPE AREAS

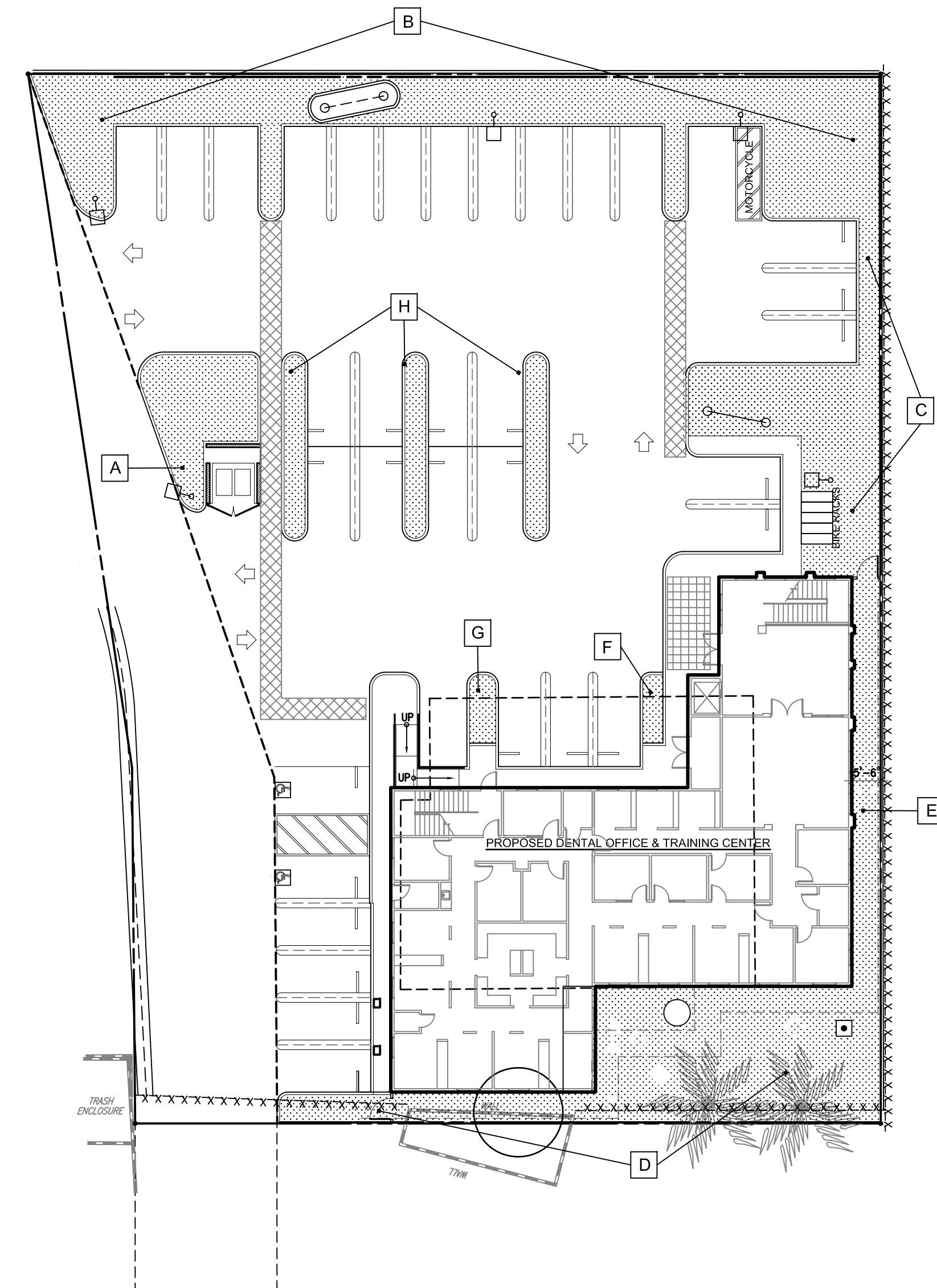
A =	828
B =	2,363
C =	991
D =	1,783
E =	429
F =	67
G =	81
H =	410

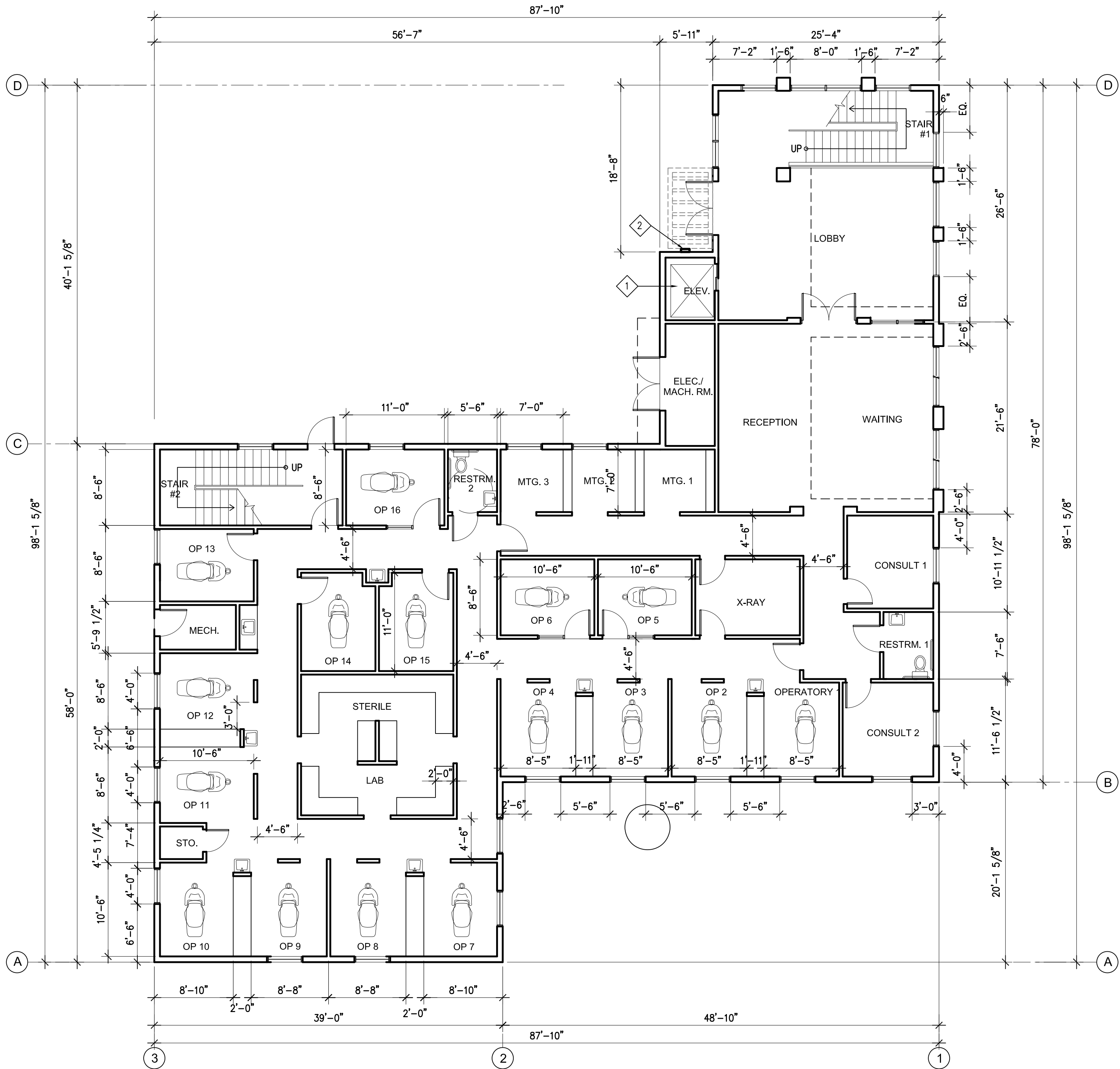
6,952 SF = TOTAL LANDSCAPE AREA

BREAKDOWN OF PARKING AREAS

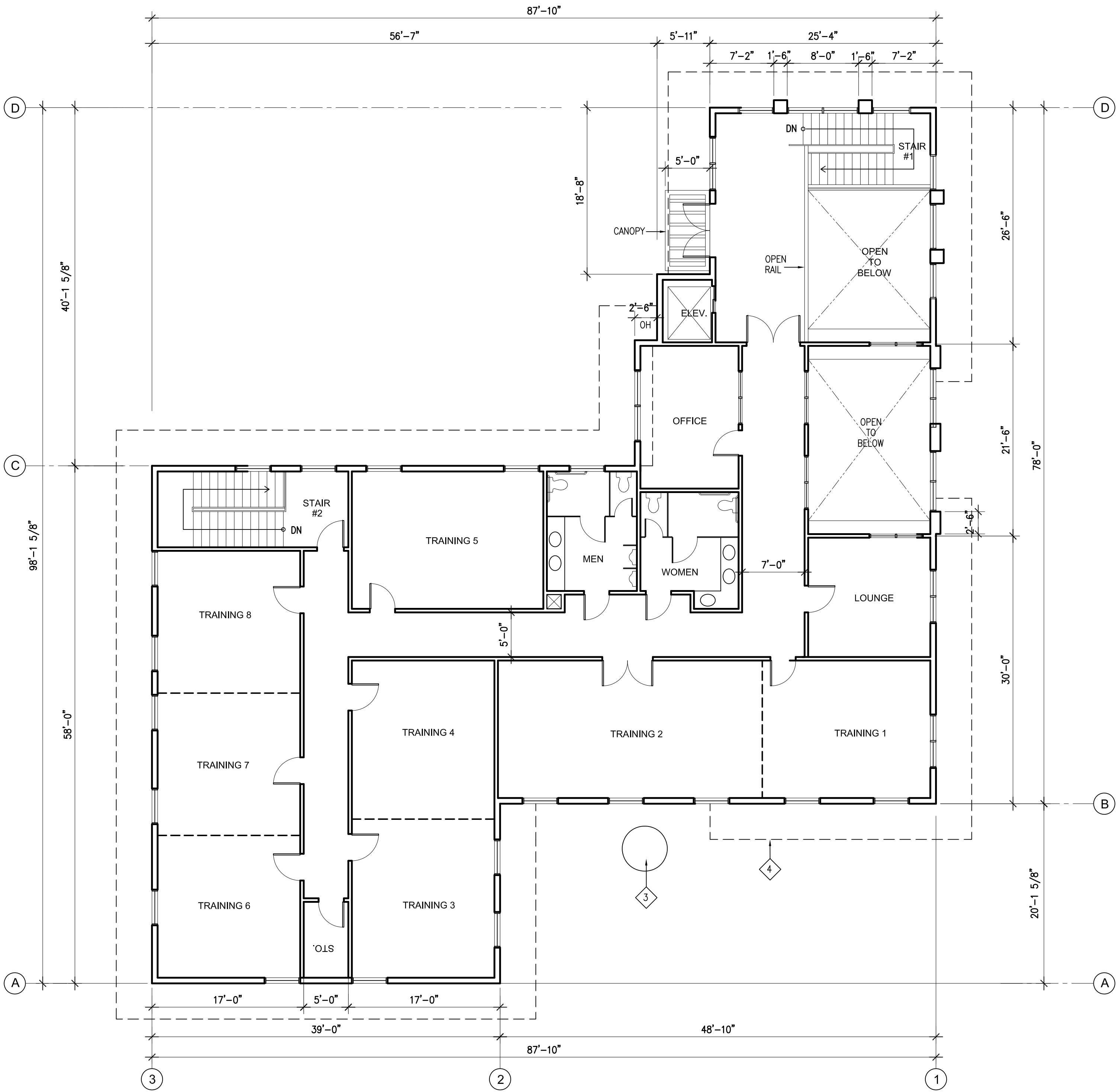
DRIVEWAY AISLES =	6,408 S.F.
PARKING STALLS =	5,316 S.F.
TOTAL =	11,724 S.F.

6,952 / 11,724 SF = 59% LANDSCAPE RATIO TO PARKING





FIRST FLOOR PLAN
SCALE : 1/8" = 1'-0"

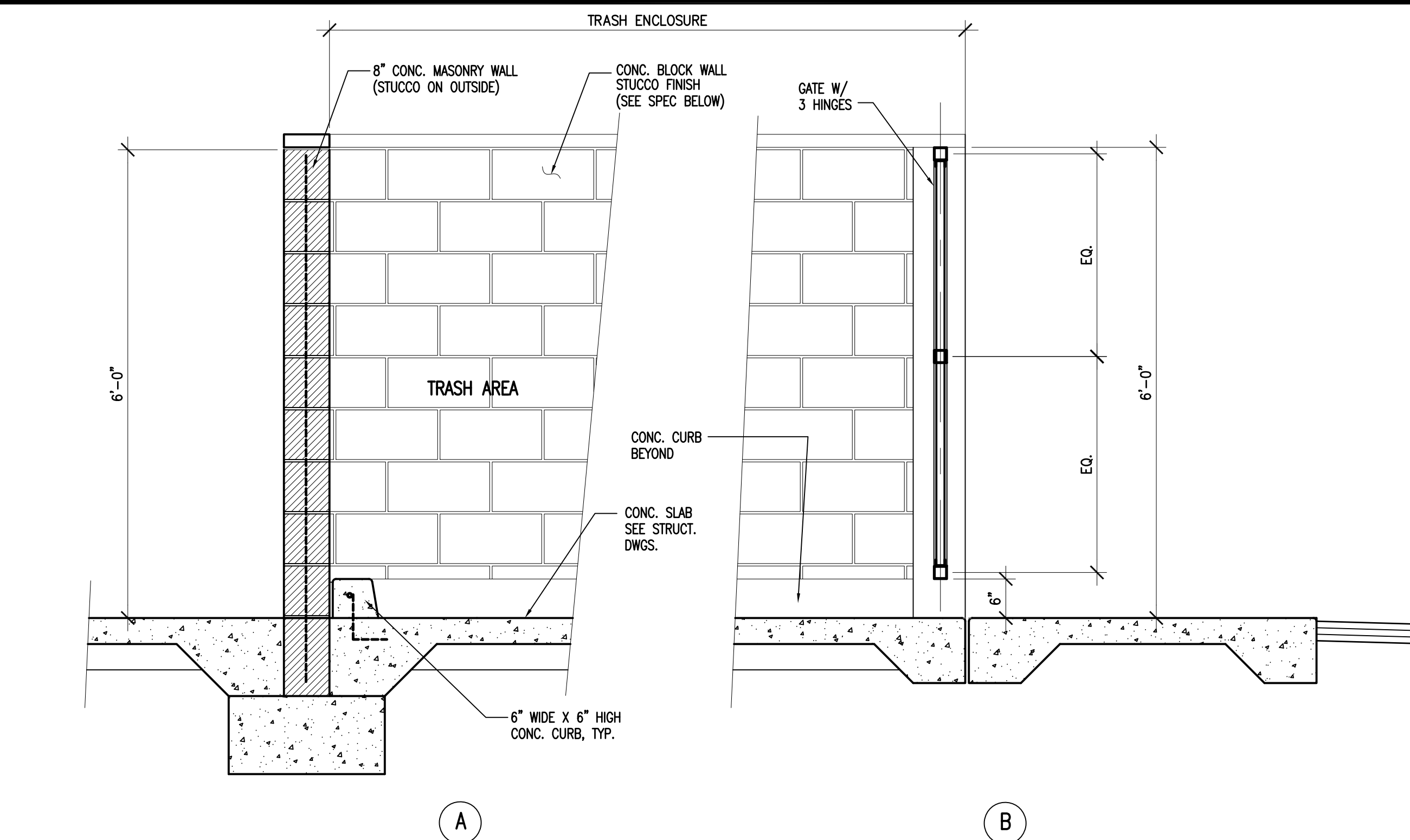


SECOND FLOOR PLAN
SCALE : 1/8" = 1'-0"



FLOOR PLAN KEYNOTES

- 1 ELEVATOR TO MEET CBC SEC. 3002.4a
- 2 KNOX DEVICE
- 3 BILLBOARD POST
- 4 LINE OF ROOF OVERHANG

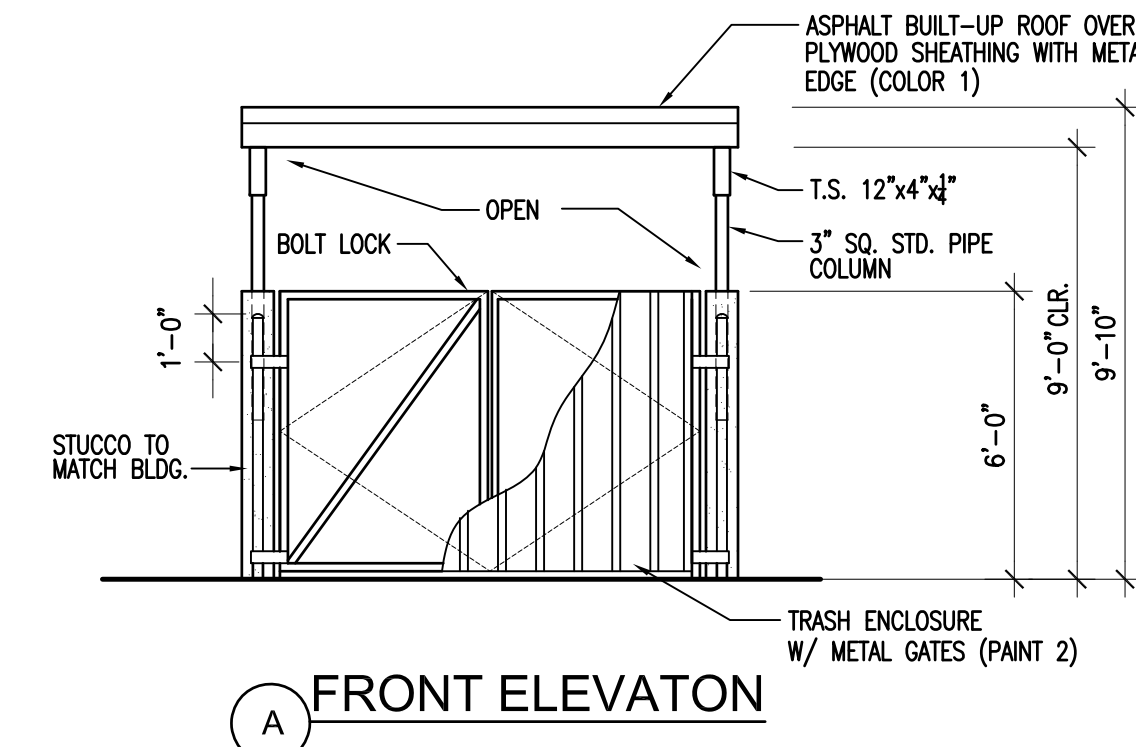


TRASH WALL SECTION

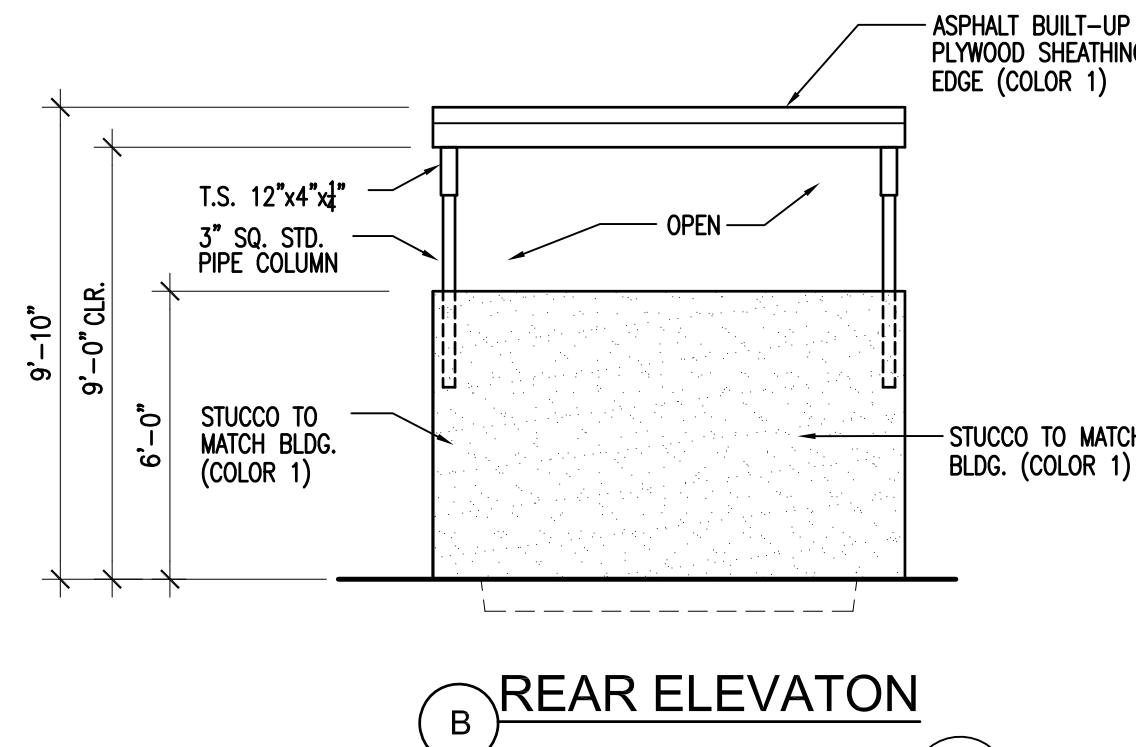
SCALE:

3/4" = 1'-0"

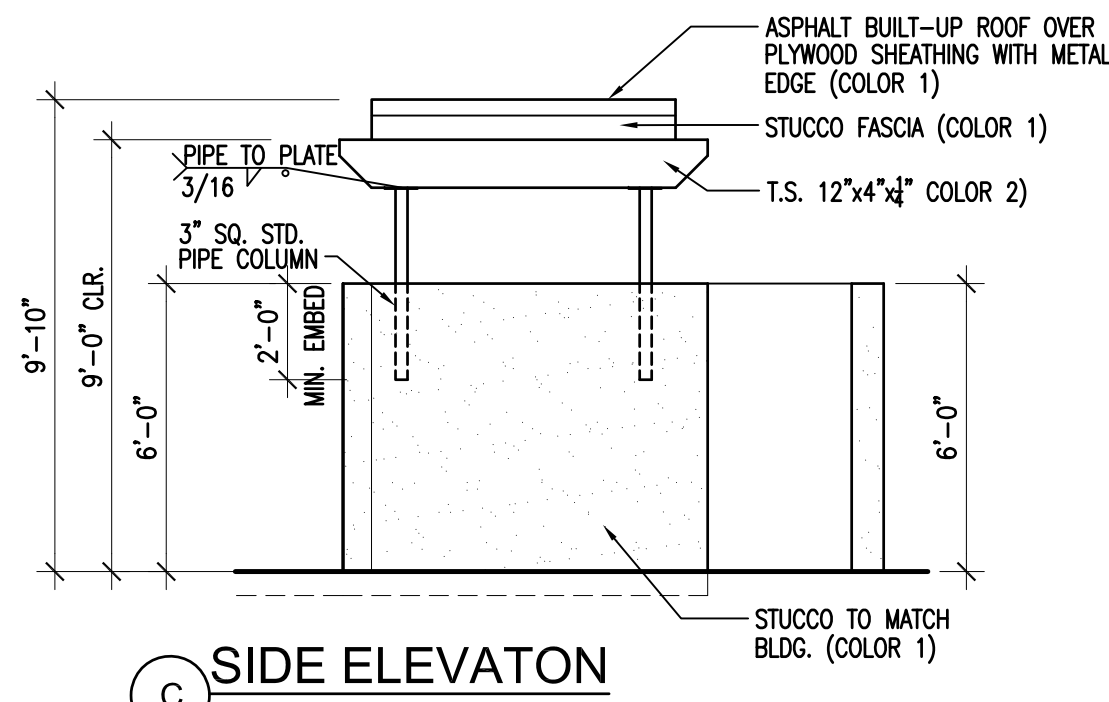
2



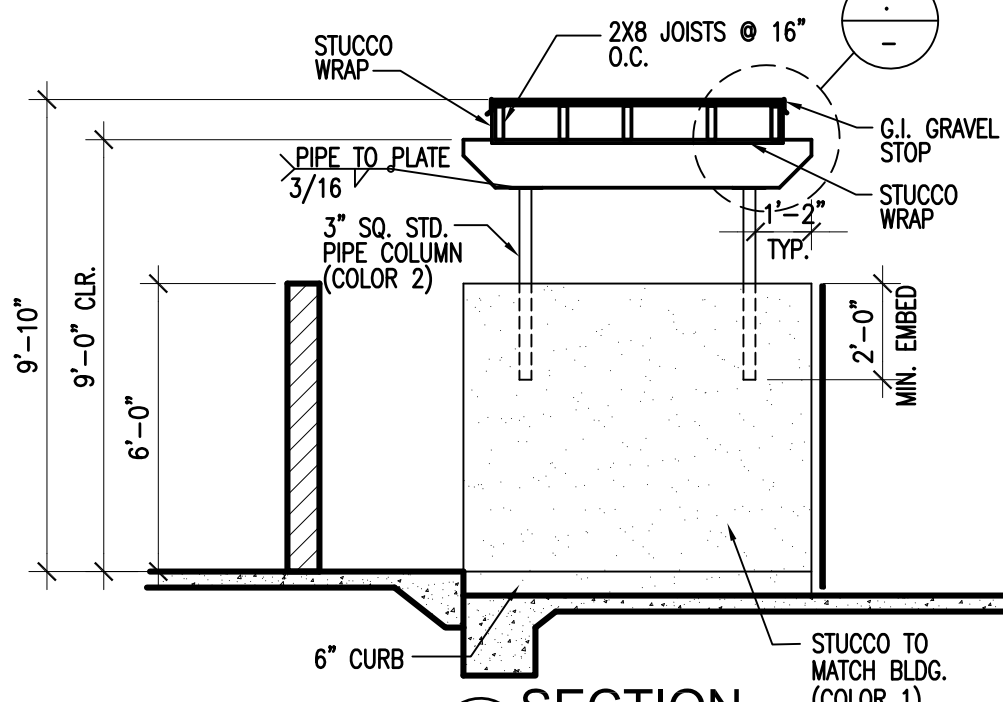
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SECTION

NOTES

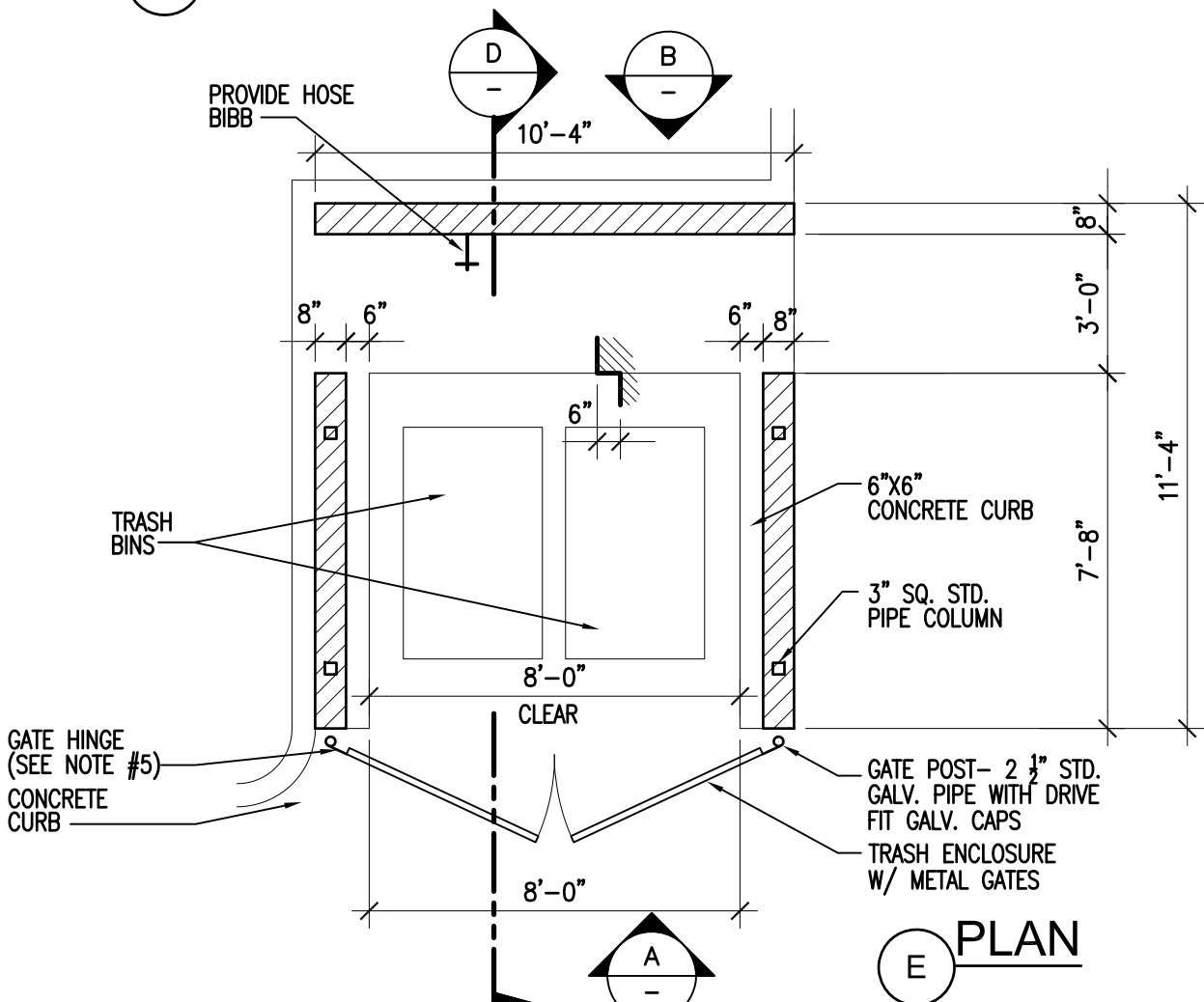
1. LOCATION OF TRASH ENCLOSURE SHALL CONFORM TO THE REGULATIONS OF THE CITY OF ORANGE PLANNING DEPARTMENT. TRASH ENCLOSURE TO COMPLY WITH PUBLIC WORKS DEPT. STANDARD PLAN NO. 409 AS WELL AS WITH THE POLICE DEPT. REQUIREMENTS.
2. SURFACE OF SLAB SHALL SLOPE 1/8" PER FOOT (1%) TOWARD OPENING.
3. ALL CELLS IN MASONRY SHALL BE SOLID GROUTED.
4. FRONT PILASTERS SHALL BE CONSTRUCTED WITH 12"x12"x8" BLOCK.
5. GATE HINGES SHALL BE INSTALLED CONCURRENTLY WITH MASONRY CONSTRUCTION AT 8" AND 64" HEIGHT ELEVATIONS.
6. GATES MAY NOT BE ATTACHED TO ENCLOSURE. SEPARATE POST AND FOOTING REQUIRED.
7. ALL COLOR & FINISHES TO MATCH BUILDING.

COLORS

COLOR 1 (SAND FINISH):
404 BARN SWALLOW BY COLORTEK (OMEGA)

COLOR 2 (SMOOTH FINISH):
MATCH PAINT PARAKEET (SW 6711) BY SHERWIN WILLIAMS

COLOR 3 (SAND FINISH):
15 BIRCHWHITE BY COLORTEK (OMEGA)



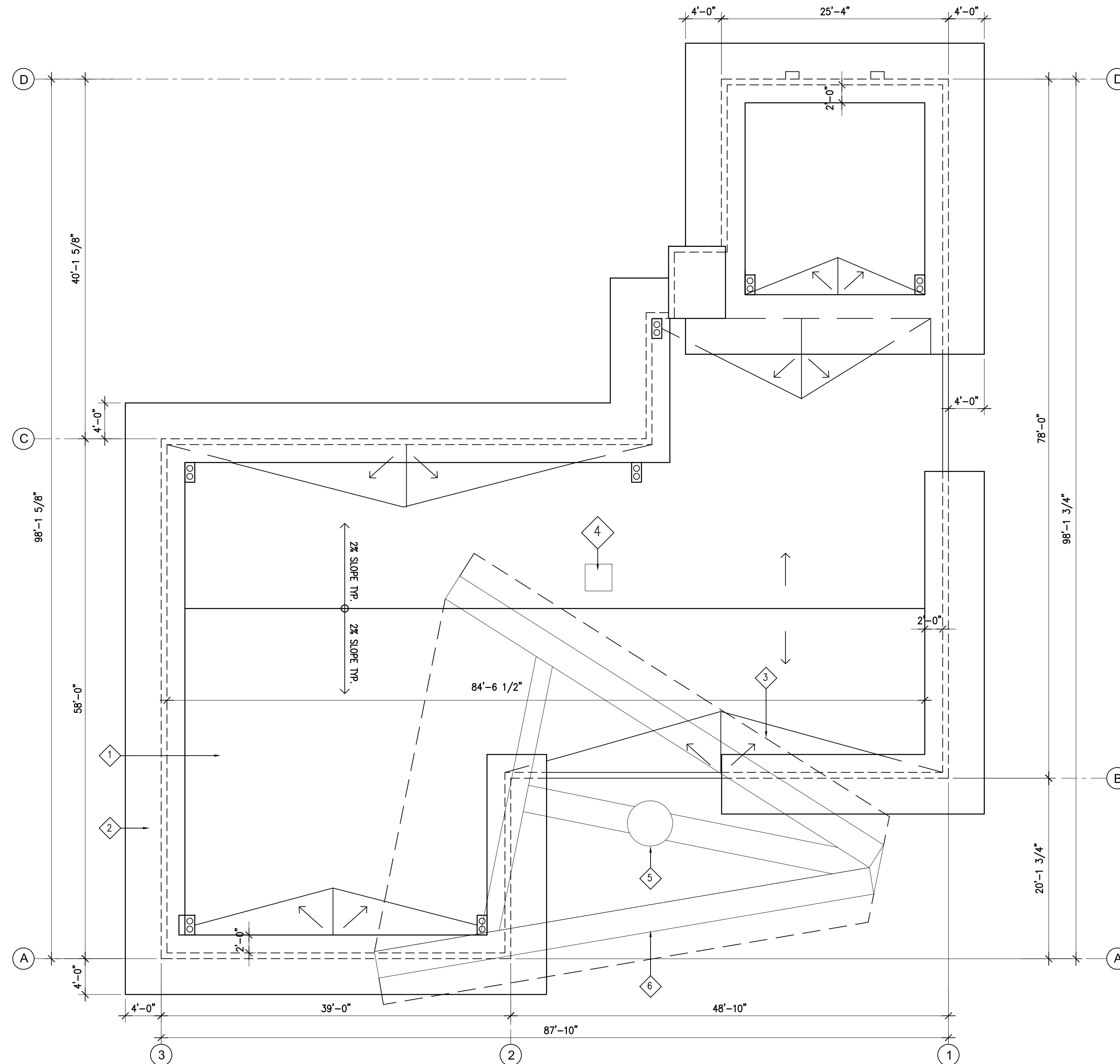
PLAN

TRASH ENCLOSURE

SCALE:

1/4" = 1'-0"

1



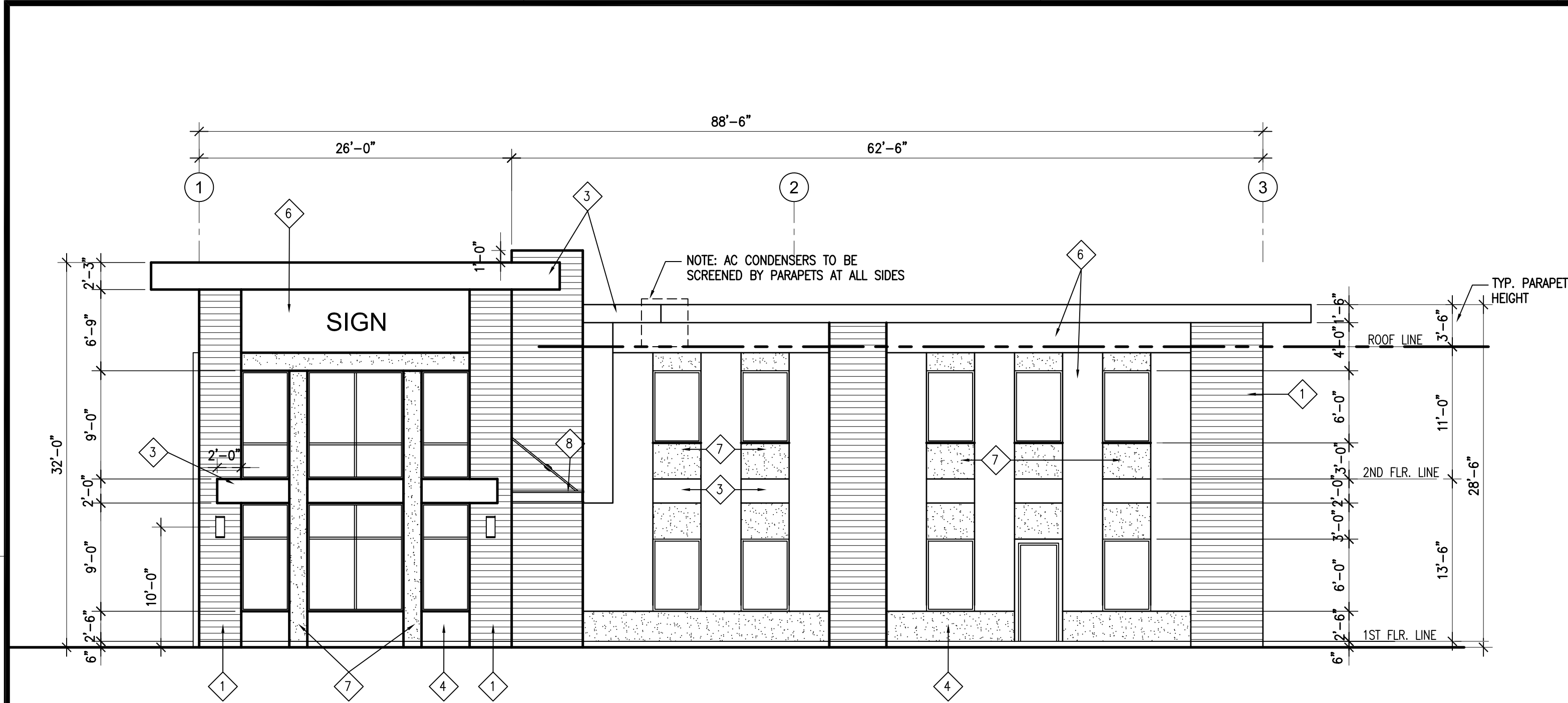
ROOF PLAN

SCALE: 1/8" = 1'-0"

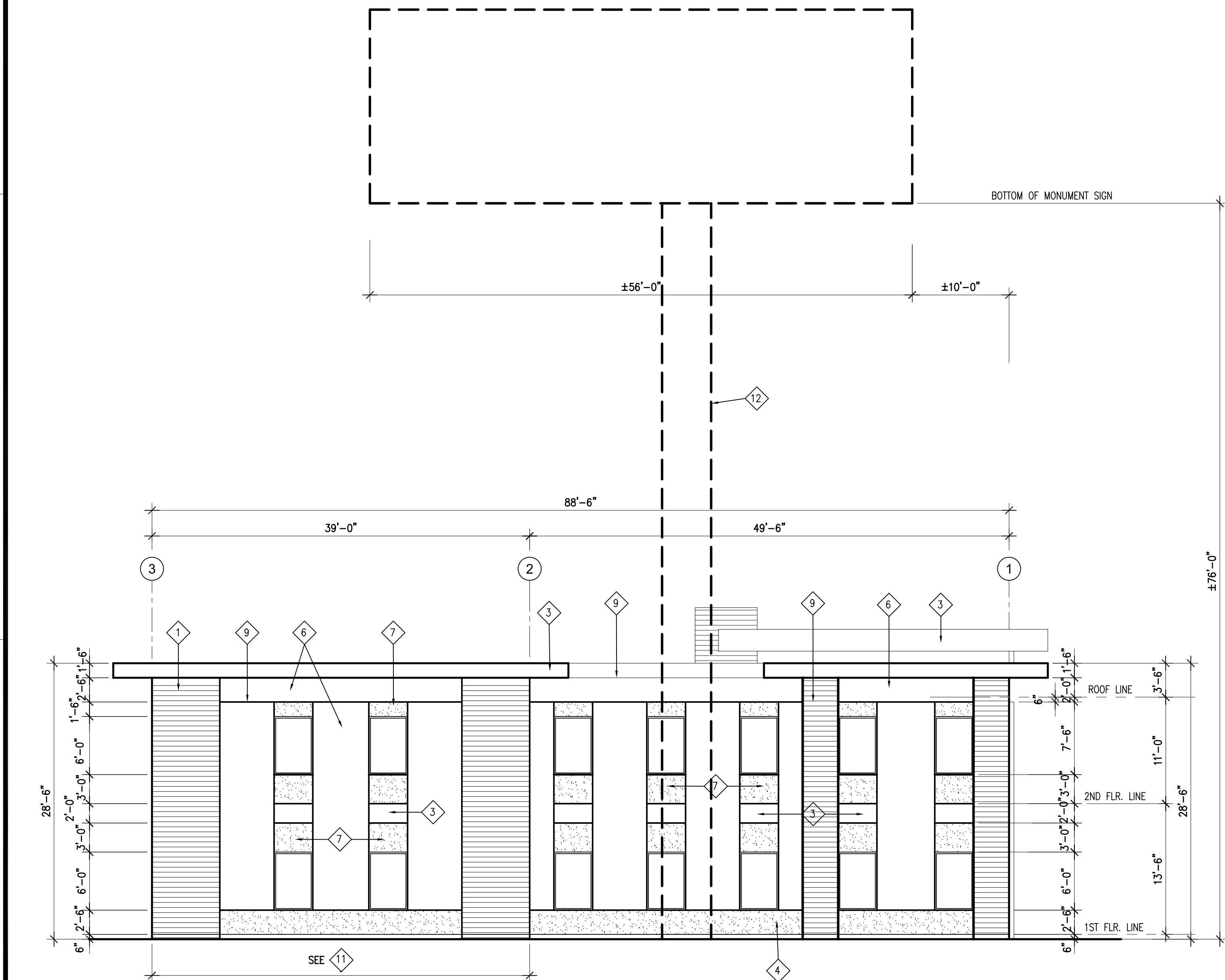


ROOF PLAN KEYNOTES

- 1 BUILT-UP ROOFING (CLASS A)
CONSTRUCT ACCORDING TO MANUFACTURER'S SPECS.
- 2 BUILT-UP CAPITAL (TOP OF PARAPET)
- 3 CRICKET
- 4 A/C
- 5 (E) BILLBOARD POST TO REMAIN
- 6 (E) BILLBOARD FRAME ABOVE (FOR ELEVATIONS)

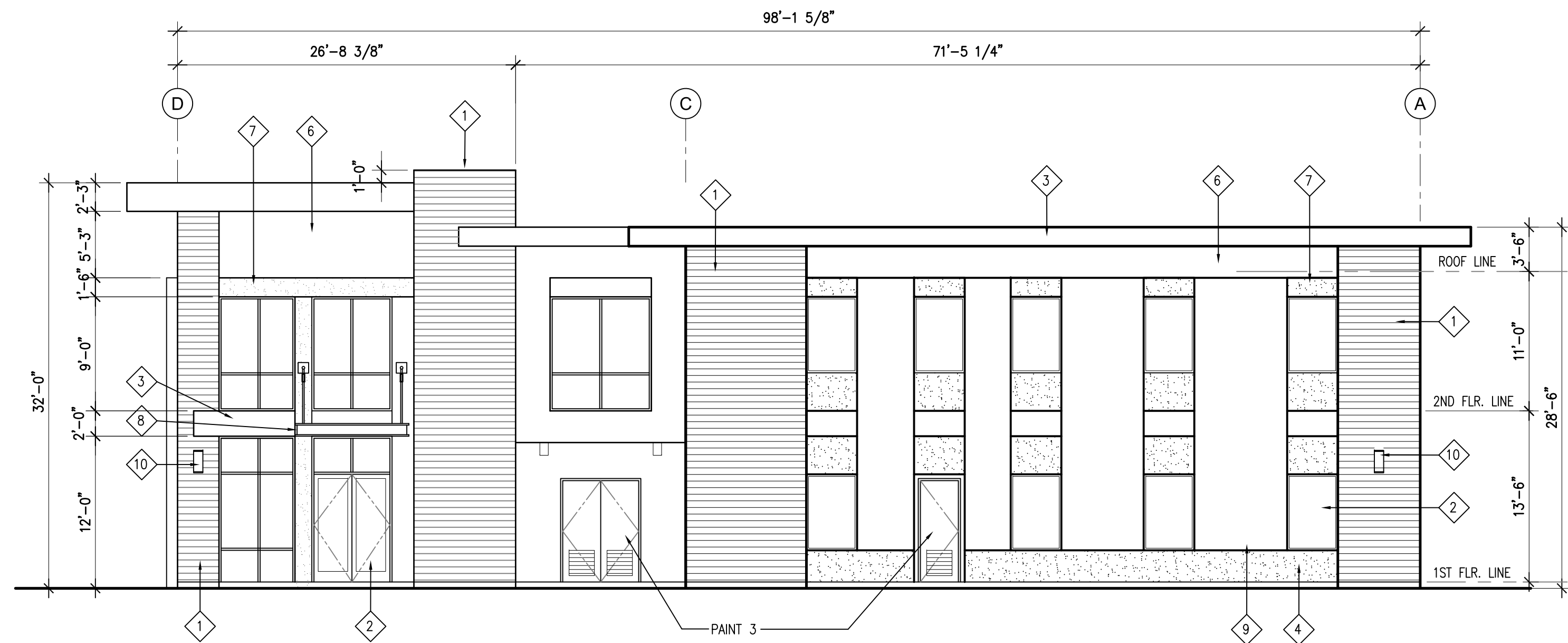


NORTH ELEVATION
SCALE : 1/8" = 1'-0"

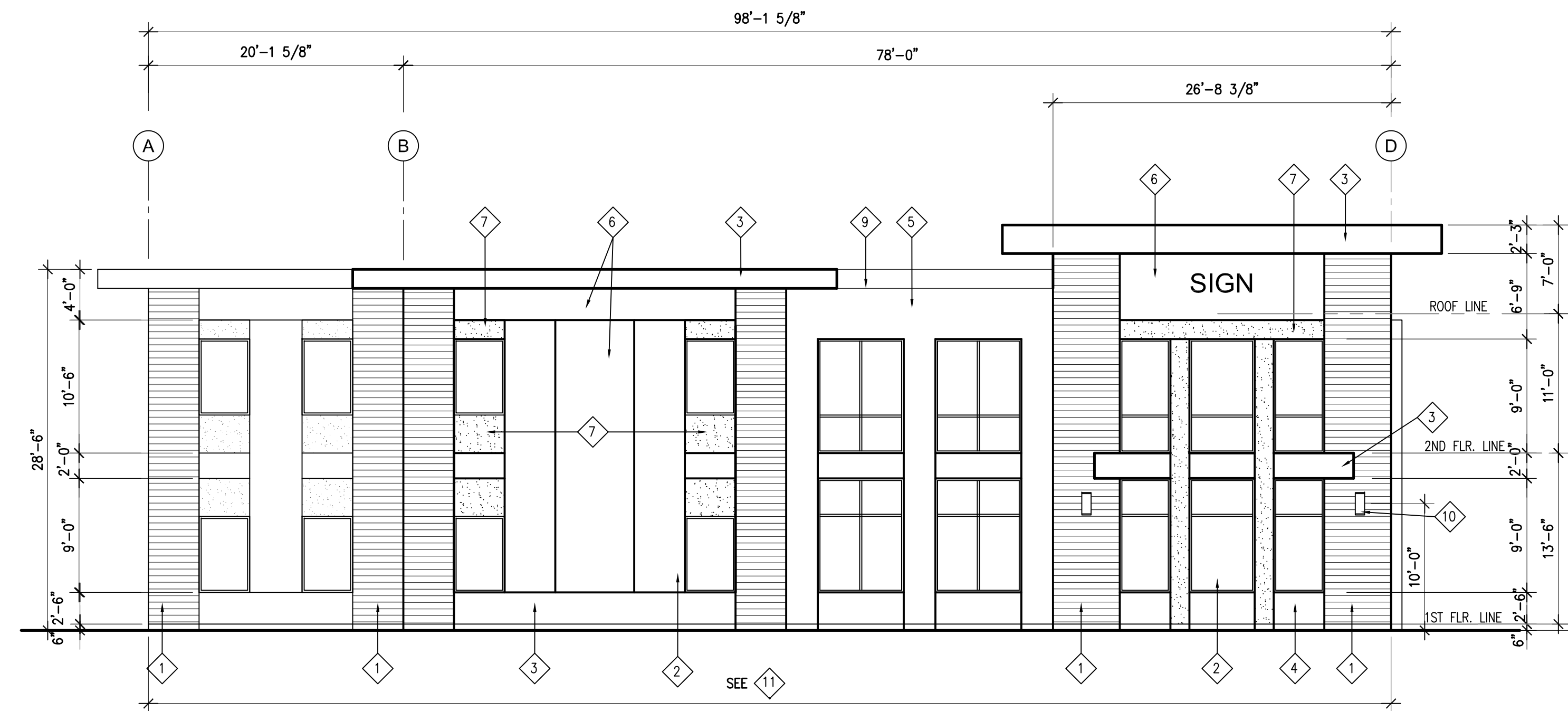


WALL AREA = 1053 S.F.
GLAZING AREA = 96 S.F.
PERCENTAGE = 9.11% < 25% ALLOW.

SOUTH ELEVATION
SCALE : 1/8" = 1'-0"



WEST ELEVATION
SCALE : 1/8" = 1'-0"



WALL AREA = 2723.08 S.F.
GLAZING AREA = 673.44 S.F.
PERCENTAGE = 24.7% < 25% ALLOW.

EAST ELEVATION (FACING FWY 55)
SCALE : 1/8" = 1'-0"

COLORS

- COLOR 1 (SAND FINISH):
404 BARN SWALLOW BY COLORTEK (OMEGA)
- COLOR 2 (SMOOTH FINISH):
MATCH PAINT PARAKEET (SW 6711) BY SHERWIN WILLIAMS
- COLOR 3 (SAND FINISH):
15 BIRCHWHITE BY COLORTEK (OMEGA)

ELEVATION KEYNOTES

- 1 MANUFACTURED STONE VENEER
INTAGLIO PRO-FIT MODERA LEDGESTONE
(CULTURED STONE) BY BORAL
- 2 BLACK ANODIZED ALUMINUM/GLASS
STOREFRONT (FHP, ALL WINDOWS/ENTRY DOOR)
- 3 STUCCO FASCIA/ACCENT BAND (COLOR 1)
- 4 STUCCO BASE/ACCENT PANEL (COLOR 1)
- 5 ARCHITRAVE POP-OUT (COLOR 2)
- 6 STUCCO MAIN (COLOR 3)
- 7 SMOOTH FOAM BAND/POP OUT (COLOR 2)
- 8 METAL CANOPY (COLOR 2)
- 9 METAL REVEAL/GROOVE
- 10 WALL DECO LAMP, TYP.
(SEE A-0.2 FOR SPECS)
- 11 MAX. AREA OF EXT. WALL OPENINGS OR GLAZING
SHALL BE 25% OF WALL BASED ON CBC TABLE
705.8. (SEE ELEVATIONS)
- 12 (E) BILLBOARD POST TO REMAIN

SUBMITTALS	
5/11/18	SITE DESIGN REVIEW
7/10/18	FIRE DEPT. REVIEW
9/12/18	LAND USE REVIEW
11/15/18	PLANNING CORRECTIONS
10/01/18	PLANNING CORRECTIONS
10/29/19	PLANNING CORRECTIONS
03/12/20	SMART CORRECTIONS
04/23/20	SMART CORRECTIONS
02/19/21	SMART CORRECTIONS
04/08/21	SMART CORRECTIONS
05/27/21	SMART CORRECTIONS
09/13/21	DESIGN REVIEW

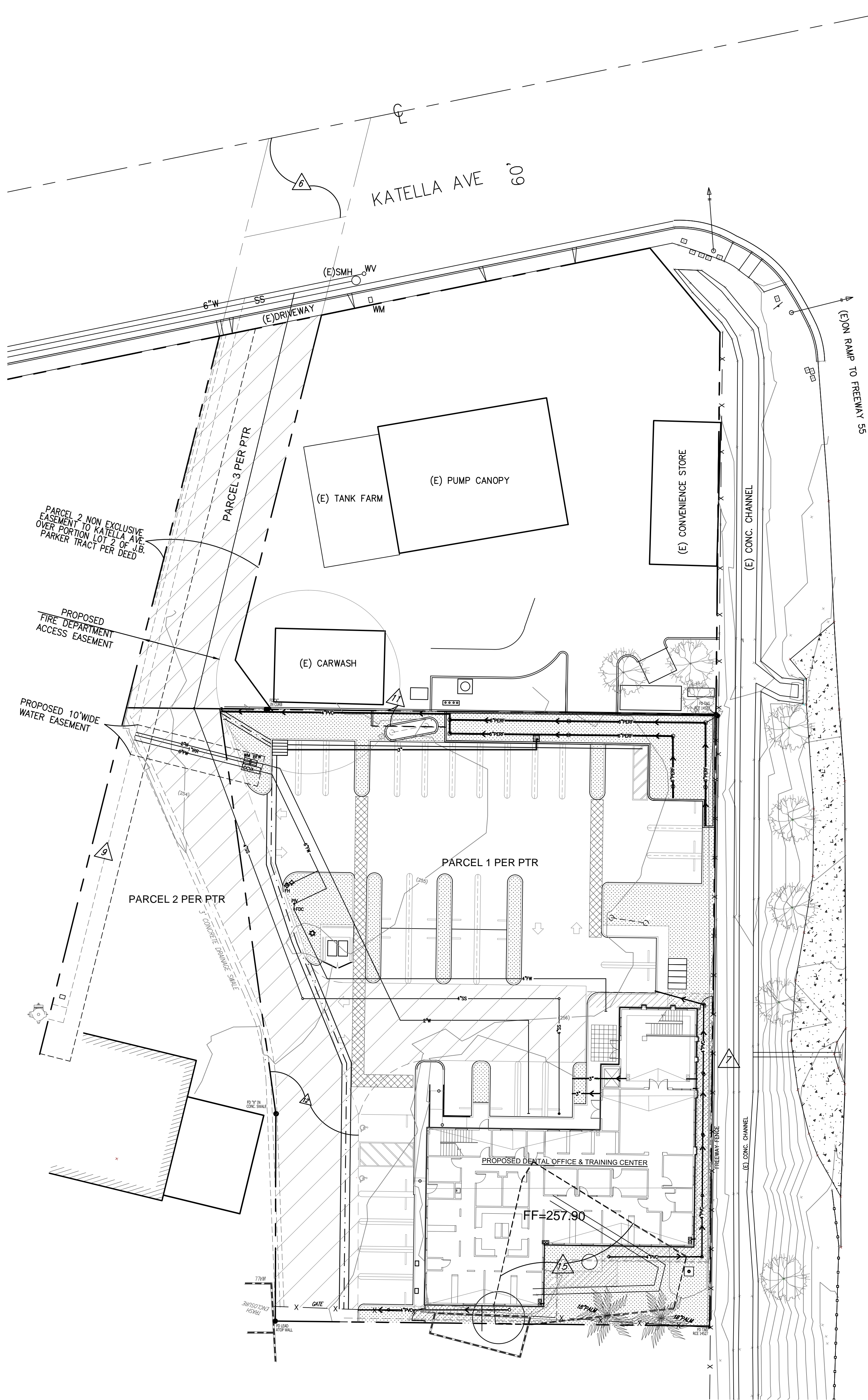
DATE: 5/11/18

CHECKED: GD

DRAWN: LD

JOB NO. 17-14

SHEET NO.



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF ORANGE, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

THAT PORTION OF LOT 2 OF THE J.B. PARKER TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED NOVEMBER 19, 1874 IN BOOK 13 PAGE 452 OF MORTGAGES, RECORDS OF LOS ANGELES COUNTY, CALIFORNIA DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED MAY 4, 1960 IN BOOK 5225 PAGE 384 OF OFFICIAL RECORDS, SAID POINT BEING NORTH 13° 22' 27" WEST 77.00 FEET FROM THE POINT OF INTERSECTION OF SAID WESTERLY LINE WITH THE SOUTHERLY LINE OF SAID LOT 2; THENCE NORTH 89° 16' 05" WEST PARALLEL WITH SAID SOUTHERLY LINE 145.30 FEET; THENCE NORTH 13° 52' 43" WEST 124.71 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 13° 52' 03" WEST 67.82 FEET TO A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT NORTHERLY 261.00 FEET FROM SAID SOUTHERLY LINE AND A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 275.00 FEET FROM THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO MARTIN E. DANNER AND WIFE, RECORDED MAY 4, 1960 IN BOOK 5227, PAGE 49 OF OFFICIAL RECORDS; THENCE NORTH 21° 54' 01" WEST 133.66 FEET TO A POINT IN THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE LAND DESCRIBED IN PARCEL 1 OF THAT CERTAIN LEASE TO THE AMERICAN OIL COMPANY, RECORDED AUGUST 30, 1964 IN BOOK 7647 PAGE 813 OF OFFICIAL RECORDS, SAID POINT ALSO BEING A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 225.00 FEET FROM SAID WESTERLY LINE OF THE LAND OF DANNER; THENCE NORTH 76° 37' 33" EAST ALONG SAID WESTERLY PROLONGATION AND ALONG SAID SOUTHERLY LINE 162.43 FEET TO A POINT IN SAID WESTERLY LINE OF THE LAND OF THE STATE OF CALIFORNIA; THENCE SOUTH 13° 22' 27" EAST ALONG SAID WESTERLY LINE 200.00 FEET TO A POINT IN A LINE THAT BEARS NORTH 76° 37' 33" EAST FROM THE TRUE POINT OF BEGINNING; THENCE SOUTH 76° 37' 33" WEST PARALLEL WITH SAID SOUTHERLY LINE OF THE LAND LEASED TO THE AMERICAN OIL COMPANY 142.01 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF LOT 2 OF THE J.B. PARKER TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED NOVEMBER 19, 1874 IN BOOK 13 PAGE 452 OF MORTGAGES, RECORDS OF LOS ANGELES COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO THE STATE OF CALIFORNIA RECORDED MAY 4, 1960 IN BOOK 5225, PAGE 384 OF OFFICIAL RECORDS, SAID POINT BEING NORTH 13° 22' 27" WEST 77.00 FEET FROM THE POINT OF INTERSECTION OF SAID WESTERLY LINE WITH THE SOUTHERLY LINE OF SAID LOT 2; THENCE NORTH 89° 16' 05" WEST PARALLEL WITH SAID SOUTHERLY LINE 145.30 FEET THENCE NORTH 13° 52' 43" WEST 192.53 FEET TO A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT NORTHERLY 261.00 FEET FROM SAID SOUTHERLY LINE AND A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 275.00 FEET FROM THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO MARTIN E. DANNER AND WIFE, RECORDED MAY 4, 1960 IN BOOK 5227 PAGE 49 OF OFFICIAL RECORDS, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE NORTH 21° 54' 01" WEST 133.66 FEET TO A POINT IN THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE LAND DESCRIBED IN PARCEL 1 OF THAT CERTAIN LEASE TO THE AMERICAN OIL COMPANY, RECORDED AUGUST 30, 1965 IN BOOK 7647 PAGE 813 OF OFFICIAL RECORDS, SAID POINT ALSO BEING A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 225.00 FEET FROM SAID WESTERLY LINE OF THE LAND OF DANNER; THENCE SOUTH 76° 37' 33" WEST ALONG THE WESTERLY PROLONGATION OF SAID LAST MENTIONED SOUTHERLY LINE 30.84 FEET TO A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 195.00 FEET FROM SAID WESTERLY LINE OF THE LAND OF DANNER; THENCE SOUTH 0° 03' 59" WEST PARALLEL WITH SAID WESTERLY LINE OF DANNER, 115.86 FEET TO A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT NORTHERLY 261.00 FEET FROM SAID SOUTHERLY LINE OF LOT 2; THENCE SOUTH 89° 16' 05" EAST PARALLEL WITH SAID SOUTHERLY LINE OF LOT 2, A DISTANCE OF 80.00 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 3:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AND FOR PUBLIC UTILITY PURPOSES OVER THAT PORTION OF LOT 2 OF THE J.B. PARKER TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED NOVEMBER 19, 1874 IN BOOK 13 PAGE 452, OF MORTGAGES, RECORDS OF LOS ANGELES COUNTY, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED MAY 4, 1960, IN BOOK 5225, PAGE 384 OF OFFICIAL RECORDS, SAID POINT BEING NORTH 13° 22' 27" WEST 77.00 FEET FROM THE POINT OF INTERSECTION OF SAID WESTERLY LINE WITH THE SOUTHERLY LINE OF SAID LOT 2; THENCE NORTH 89° 16' 05" WEST PARALLEL WITH SAID SOUTHERLY LINE 145.30 FEET; THENCE NORTH 13° 52' 43" WEST 192.53 FEET TO A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT NORTHERLY 261.00 FEET FROM SAID SOUTHERLY LINE AND A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 275.00 FEET FROM THE WESTERLY LINE OF THE LAND DESCRIBED IN DEED TO MARTIN E. DANNER AND WIFE, RECORDED MAY 4, 1960 IN BOOK 5227, PAGE 49 OF OFFICIAL RECORDS; THENCE NORTH 21° 54' 01" WEST 133.66 FEET TO A POINT IN THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE LAND DESCRIBED IN PARCEL 1 OF THAT CERTAIN LEASE TO THE AMERICAN OIL COMPANY, RECORDED AUGUST 30, 1965 IN BOOK 7647 PAGE 813 OF OFFICIAL RECORDS, SAID POINT ALSO BEING A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 225.00 FEET FROM SAID WESTERLY LINE OF THE LAND OF DANNER, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 76° 37' 33" WEST ALONG SAID WESTERLY PROLONGATION 30.84 FEET TO A POINT IN A LINE THAT IS PARALLEL WITH AND DISTANT EASTERLY 195.00 FEET FROM SAID WESTERLY LINE OF DANNER; THENCE NORTH 0° 03' 50" EAST PARALLEL WITH SAID WESTERLY LINE OF THE LAND OF DANNER, 191.37 FEET TO A POINT IN THE CENTERLINE OF THE STRIP OF LAND 60.00 FEET IN WIDTH DESCRIBED IN DEED TO THE COUNTY OF ORANGE, OCTOBER 15, 1959 IN BOOK 4928, PAGE 561 OF OFFICIAL RECORDS; THENCE NORTH 64° 30' 14" EAST ALONG SAID CENTERLINE 33.26 FEET; THENCE SOUTHERLY TO THE POINT OF BEGINNING.

- 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: IRRIGATION DITCHES
RECORDING DATE: FEBRUARY 11, 1913
RECORDING NO: BOOK 227, PAGE 40, DEEDS
AFFECTS: SAID LAND
THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
- 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: STREET AND HIGHWAY
RECORDING DATE: NOVEMBER 6, 1959
RECORDING NO: BOOK 4963, PAGE 366, OFFICIAL RECORDS
AFFECTS: SAID LAND
- 7 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT,
RECORDING DATE: MAY 4, 1960
RECORDING NO: BOOK 5225, PAGE 384, OFFICIAL RECORDS
AFFECTS: NEWPORT FREEWAY
- 9 GRANTED TO: CITY OF ORANGE
PURPOSE: WATER PIPE LINE
RECORDING DATE: FEBRUARY 18, 1966
RECORDING NO: BOOK 7846, PAGE 35 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 11 GRANTED TO: LYNN PARK HOMES, INC
PURPOSE: COMMERCIAL SIGN
RECORDING DATE: APRIL 8, 1966
RECORDING NO: BOOK 7895, PAGE 40 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 12 GRANTED TO: FRANCES M. BENDER AND ETHEL FLYNN
PURPOSE: INGRESS, EGRESS AND PUBLIC UTILITY
RECORDING DATE: JUNE 3, 1966
RECORDING NO: BOOK 7949, PAGE 894 OF OFFICIAL RECORDS
AFFECTS: SAID LAND
- 13 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: RESERVATION OF SIGN EASEMENT AND RENTS FROM BILLBOARD LEASES
RECORDING DATE: APRIL 19, 2005
RECORDING NO: 2005000282657, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: LEASE AND EASEMENT ASSIGNMENT AND ASSUMPTION AGREEMENT
RECORDING DATE: APRIL 25, 2017
RECORDING NO: 2017000165375, OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

SHEET INDEX

C-1	OVERALL SITE PLAN
C-2	CONCEPTUAL GRADING PLAN
C-3	DETAIL SHEET
C-4	ADA DETAILS
C-5	EROSION CONTROL PLAN

OVERALL SITE PLAN

DENTAL OFFICE & BUSINESS TRAINING CENTER

1936 E. KATELLA AVE ORANGE, CA

OWNER:

ALAN BOVAL
1936 E. KATELLA
ORANGE, CA
TEL: 562-552-1344
EMAIL: ALANBOVAL@HOTMAIL.COM

Prepared by:

PACIFIC GEOTECH, INC.
1424 ROLLING HILLS DRIVE
COSTA MESA, CA 92626
TEL: (714) 723-9703
mail@pgsoil.com

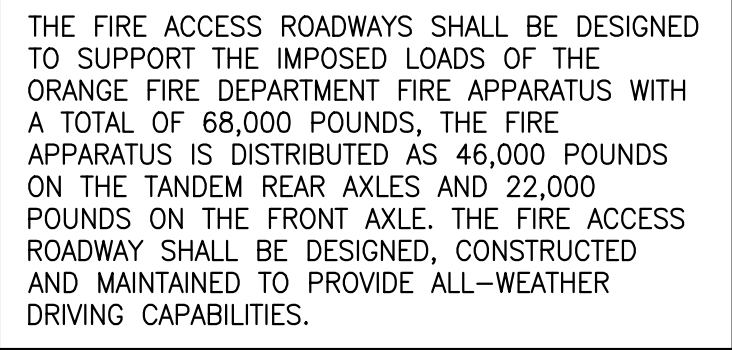
Revisions

No.	Date	Description

Drawn by: J.P.
Check by: J.P.
Scale: As noted

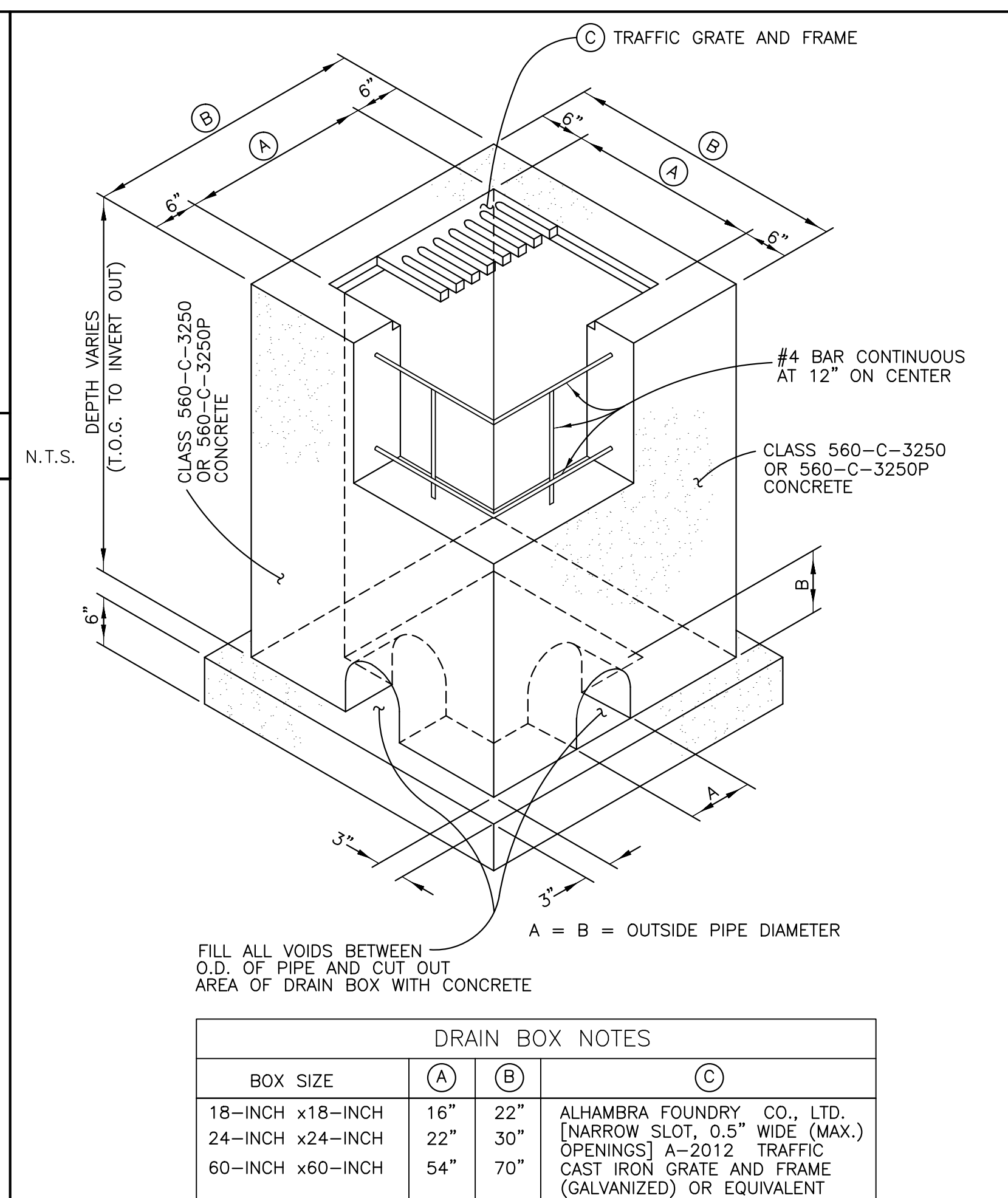
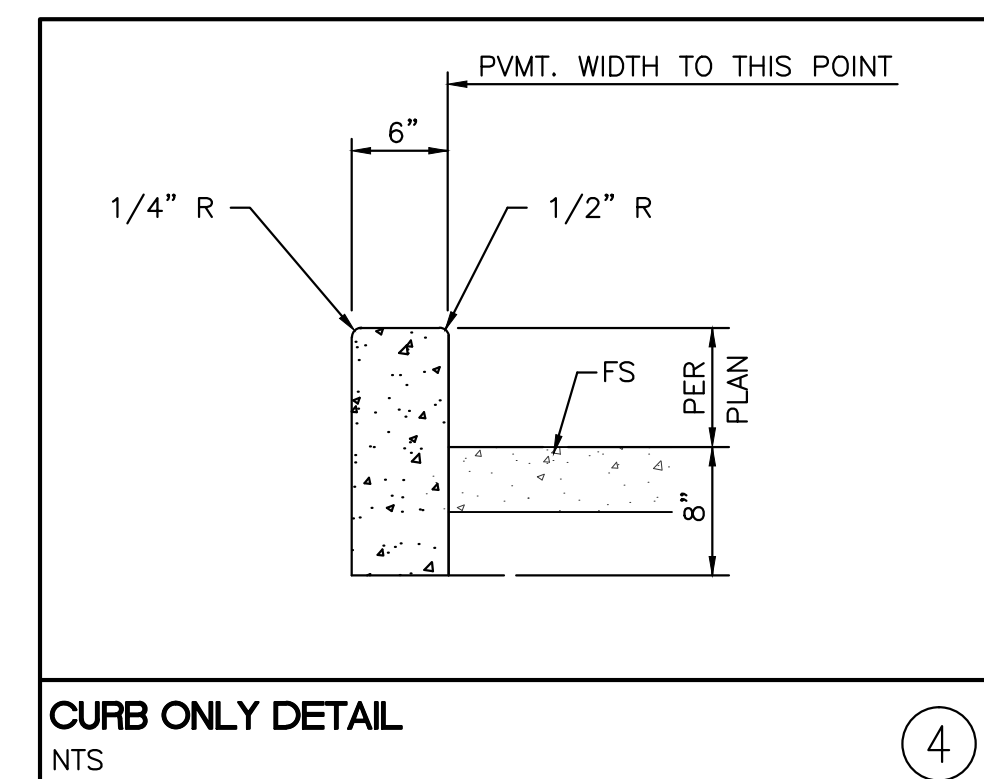
Sheet No.
C-1

Date 7-28-2021

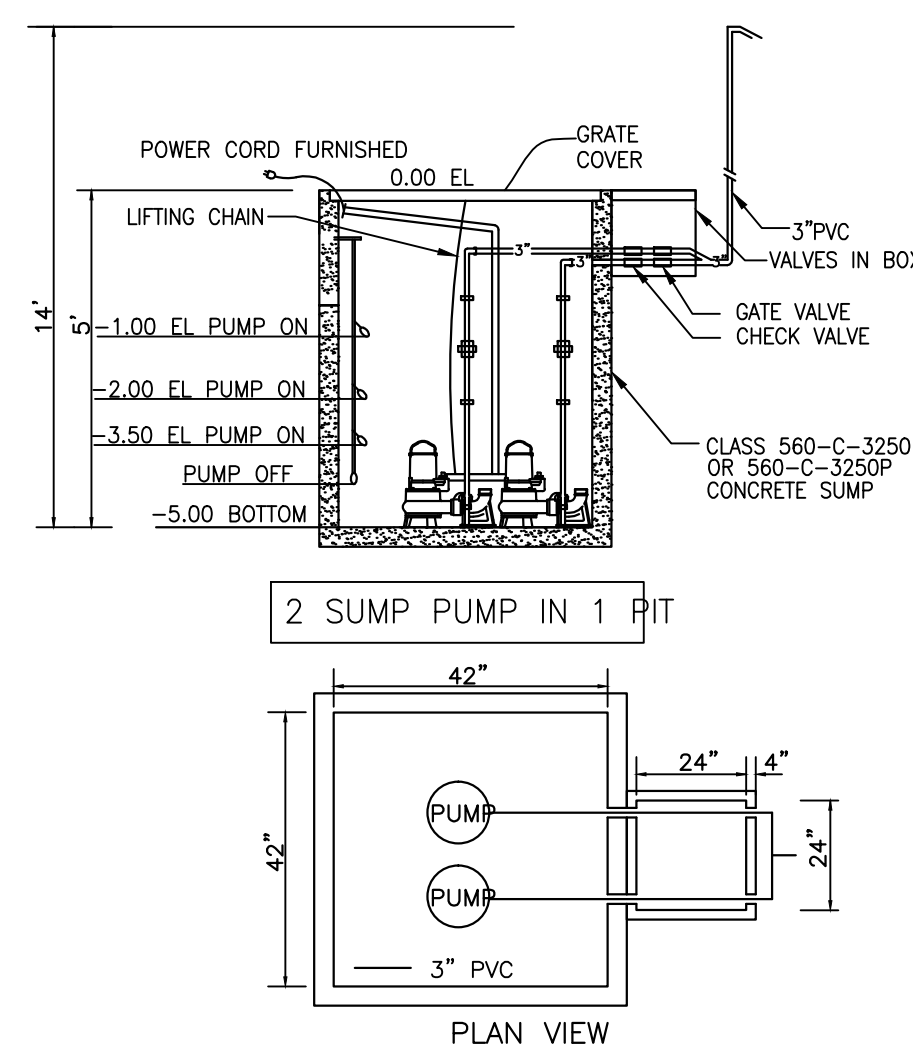
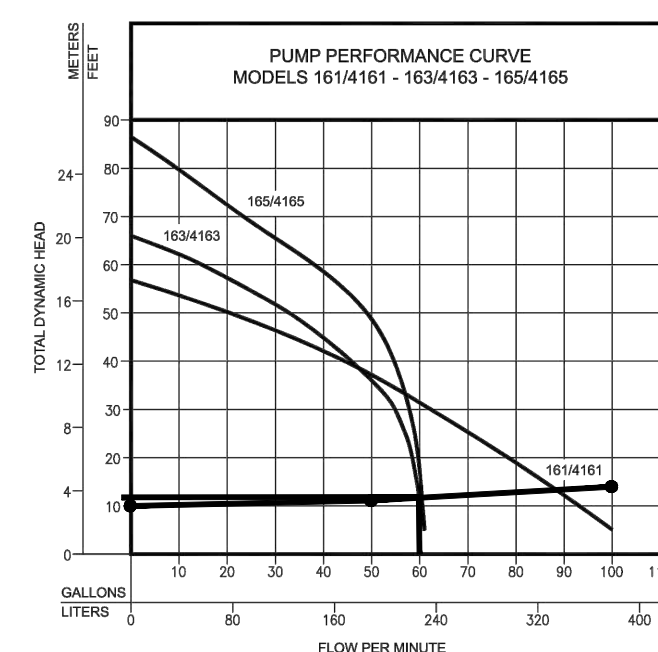


1	CONSTRUCT CONC. WALKWAY 2% CROSS SLOPE MAX PER ARCHITECTURAL PLAN
2	STRIPE ADA PARKING AND LOADING PER DETAIL ON C-4
3	CONSTRUCT LANDSCAPE PER LANDSCAPE PLAN
4	JOIN EXISTING IMPROVEMENTS, VERIFY ELEVATION PRIOR TO ANY CONSTRUCTION
5	CONSTRUCT PLANTER BOX PER DETAIL 3 ON C-3
6	ALL ROOF DRAIN TO PLANTER BOX BIO-FILTRATION
7	SAWCUT 2' BEYOND AND REMOVE EXISTING CURB & GUTTER, SIDEWALK, AC PAVEMENT, AND CONCRETE
8	EXISTING PYLON SIGN TO BE PROTECTED IN PLACE
9	PROTECT EXISTING LIGHT STD IN PLACE
10	CONSTRUCT 12" CURB PER DETAIL 4 ON C-3
11	CONSTRUCT 5'x5' CONCRETE SUMP BASIN WITH FILTER INSERT AND INSTALL DUPLEX ZOELLER MODEL 163/4163, 0.5HP PUMP FOR PUMPING TO BMP TREATMENT DETAIL 1 C-3
12	CONNECT TO EXISTING WATER MAIN WITH TEE FITTING WITH 2 MAIN VALVES.
13	CONSTRUCT 6" CURB ON TOP OF EXISTING PAVEMENT PER DETAIL 4 C-3
14	CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLAN
15	CONSTRUCT 3' WIDE CONC. GUTTER PER DETAIL 3 C-3
16	CONSTRUCT STEPS PER ARCHITECTURAL PLAN
17	CONSTRUCT 3"AC/ 4"AB
18	EXISTING AC PAVEMENT IN FIRE ACCESS ROADWAY SHALL BE TESTED TO CONFIRM THAT IT CAN SUPPORT THE IMPOSED LOADS OF THE ORANGE FIRE DEPARTMENT FIRE APPARATUS WITH A TOTAL OF 68,000 POUNDS. IF NOT IT SHALL BE REMOVED AND REPLACE WITH THE NEW AC PAVEMENT TO SUPPORT 68,000 POUNDS
19	COLD PLANE AND REPAVE THE ENTIRE PARKING LOT
20	PROTECT BILLBOARD IN PLACE
21	CONSTRUCT ADA RAMP WITH HANDRAIL PER DETAIL ON C-4
22	CONSTRUCT CURB & GUTTER TYPE A2-6 (150) PER SPWPC 120-2
23	ALL UNUSED WATER SERVICES SHALL BE ABANDONED PER OWD STANDARD.

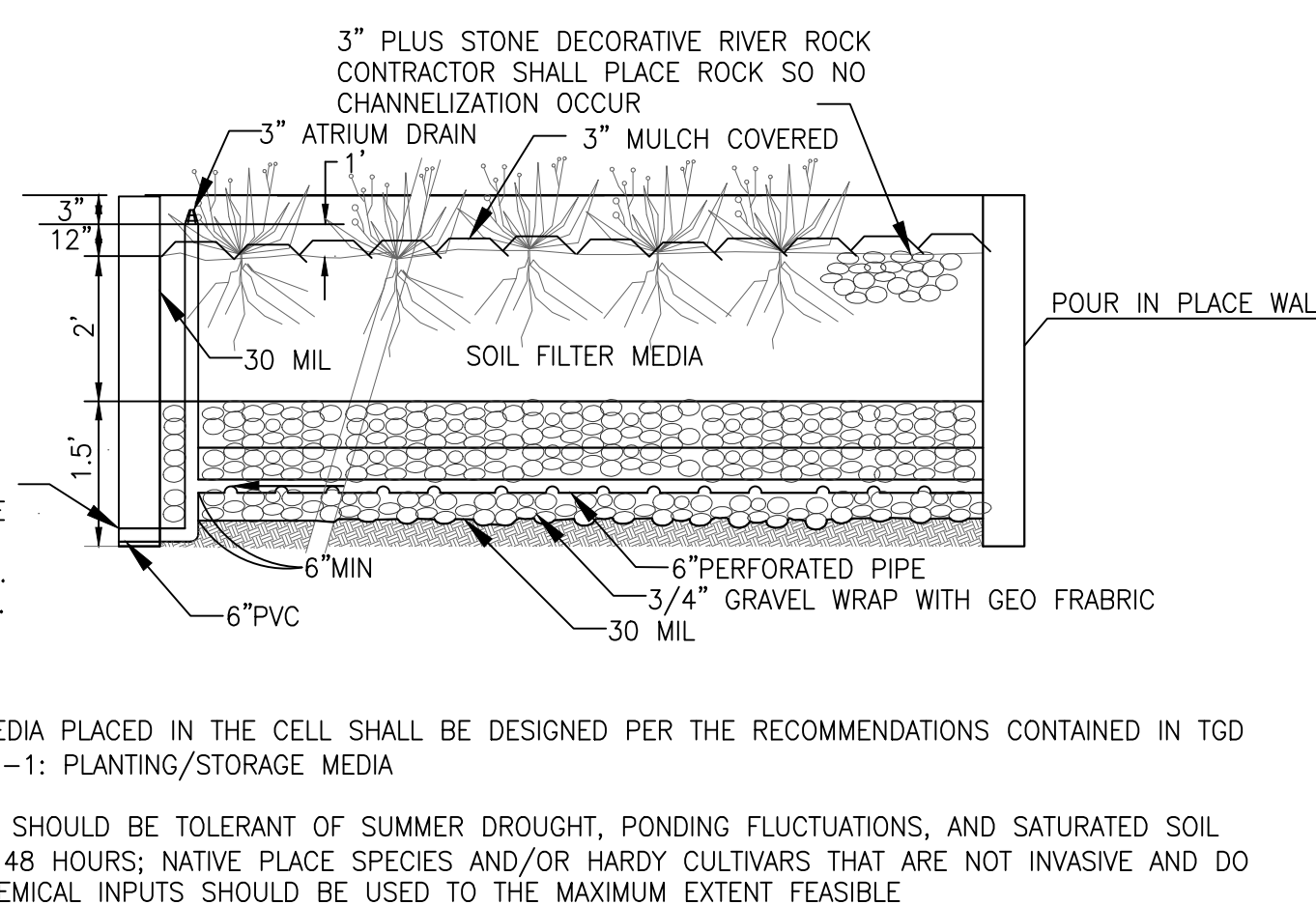
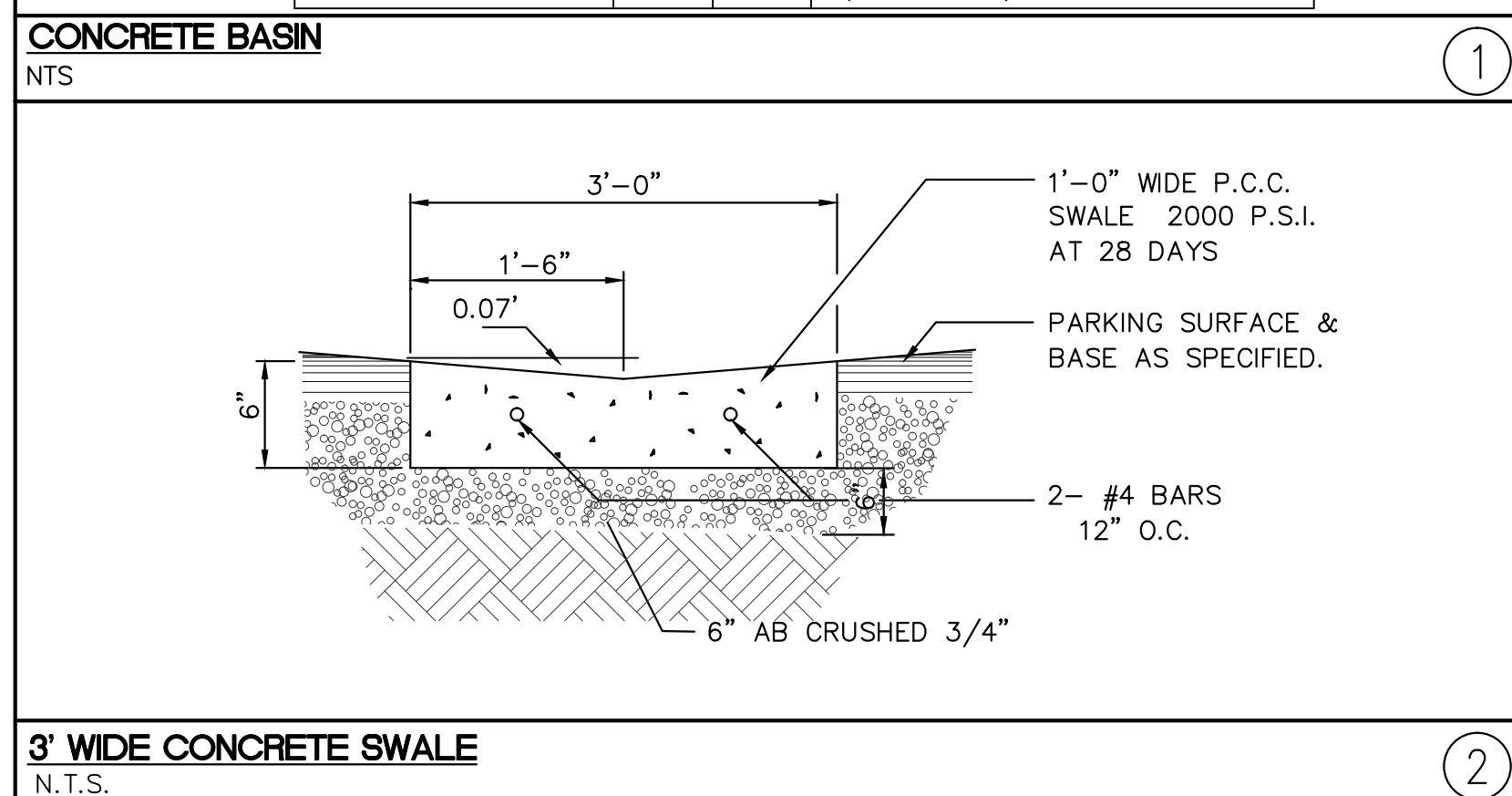
Date 7-28-2021



MODELS		161/4161		163/4163		165/4165	
Feet	Meters	Gal.	Liters	Gal.	Liters	Gal.	Liters
5	1.5	100	379	61	231	61	231
10	3.0	93	352	60	227	60.5	229
15	4.6	86	326	60	227	60.3	228
20	6.1	79	299	59	223	60	227
25	7.6	71	267	57	216	59	223
30	9.1	62	235	55	208	58	220
40	12.2	45	170	46	174	55	208
50	15.2	20	76	33	125	50	189
60	18.3	--	--	15	57	39	148
70	21.3	--	--	--	--	22.5	85
80	24.4	--	--	--	--	26	98



Use Zoeller pump 163/4163 pump
DUPLEX SUBMERSIBLE SUMP PUMP
 NTS



BIO-RETENTION WITH UNDERDRAIN DETAIL
N.T.S.

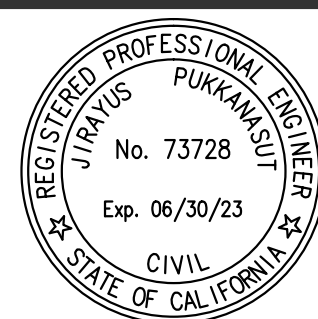
OWNER:

DETAIL SHEET
DENTAL OFFICE &
BUSINESS TRAINING CENTER
1936 E. KATELLA AVE ORANGE, CA

ALAN BOVAL
1936 E. KATELLA
ORANGE, CA
TEL: 562-552-1344
EMAIL: ALANBOVAL@HOTMAIL.COM

Prepared by:

PACIFIC GEOTECH, INC.
4424 ROLLING HILLS DRIVE
FULLERTON, CA 92835
TEL (714) 723-9703
mai@pgsoil.com



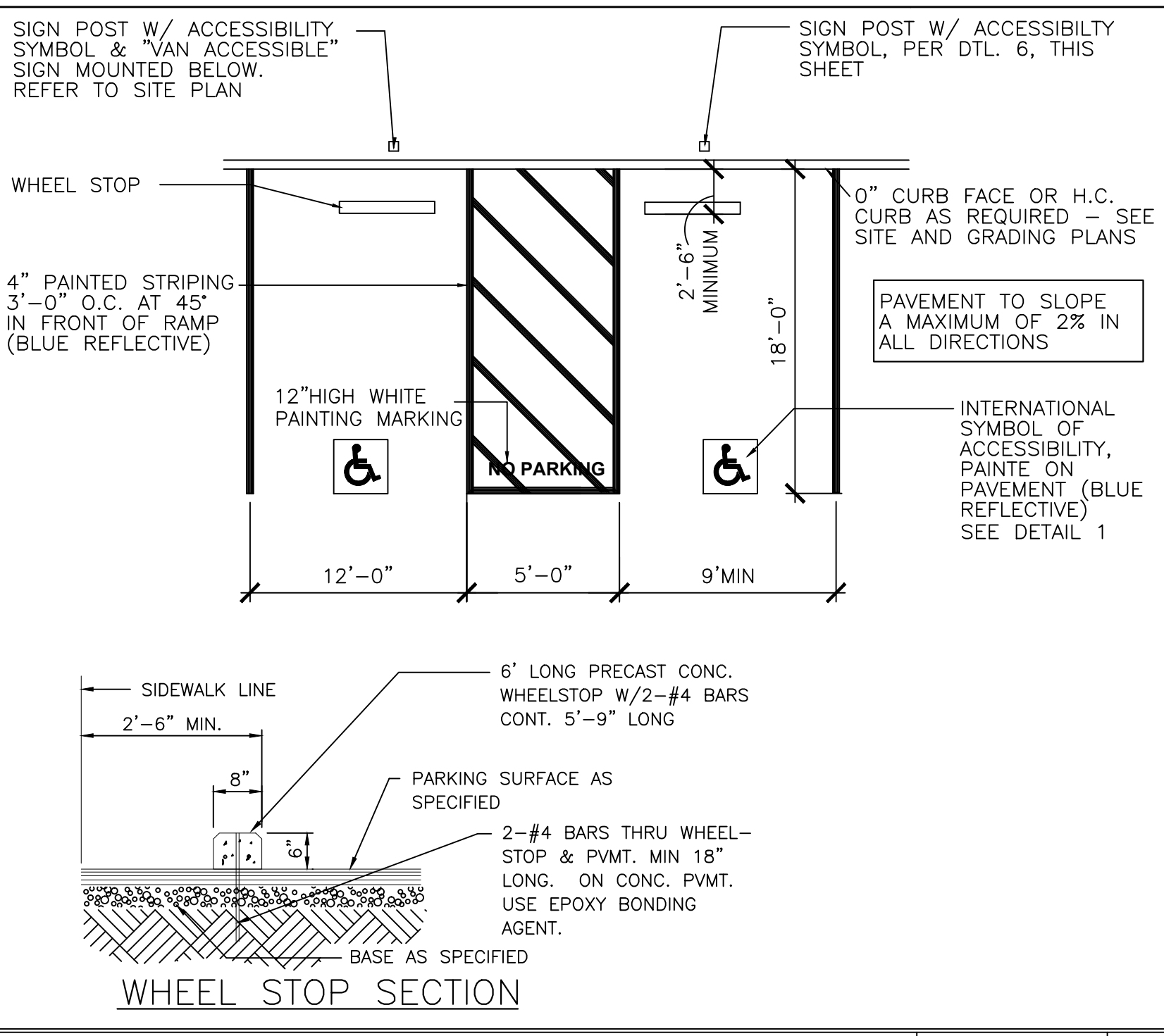
No.	Date	Description	Revisions

Drawn by: J.P.
Check by: J.P.
Scale: As noted

Sheet No. _____

C-3

Date 7-28-2021

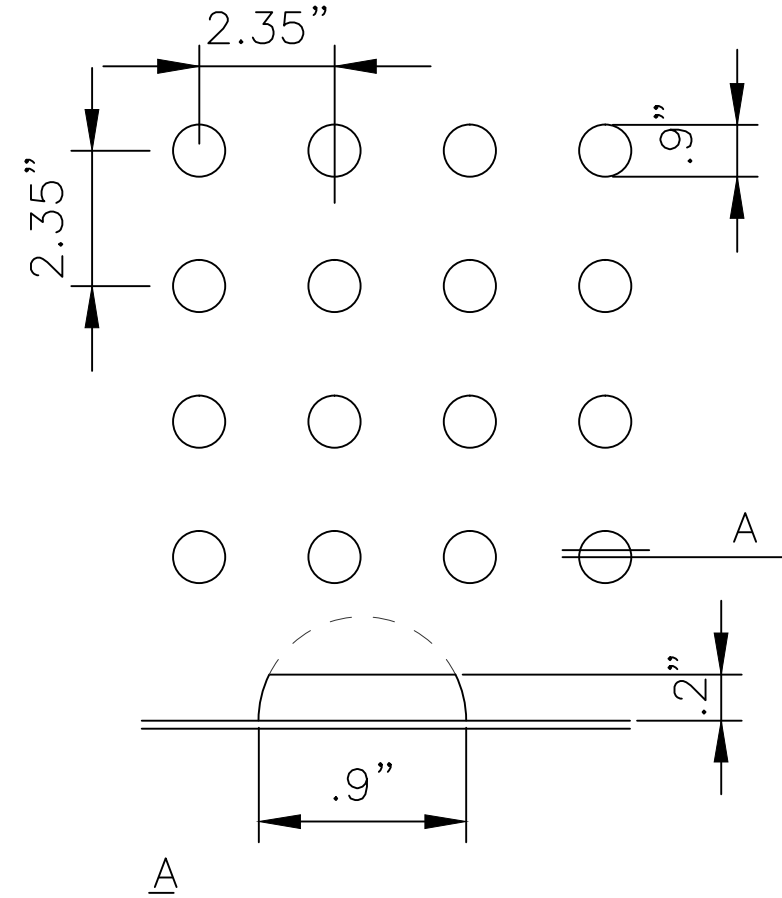


ADA PARKING STRIPING

SCALE: 1" = 10'

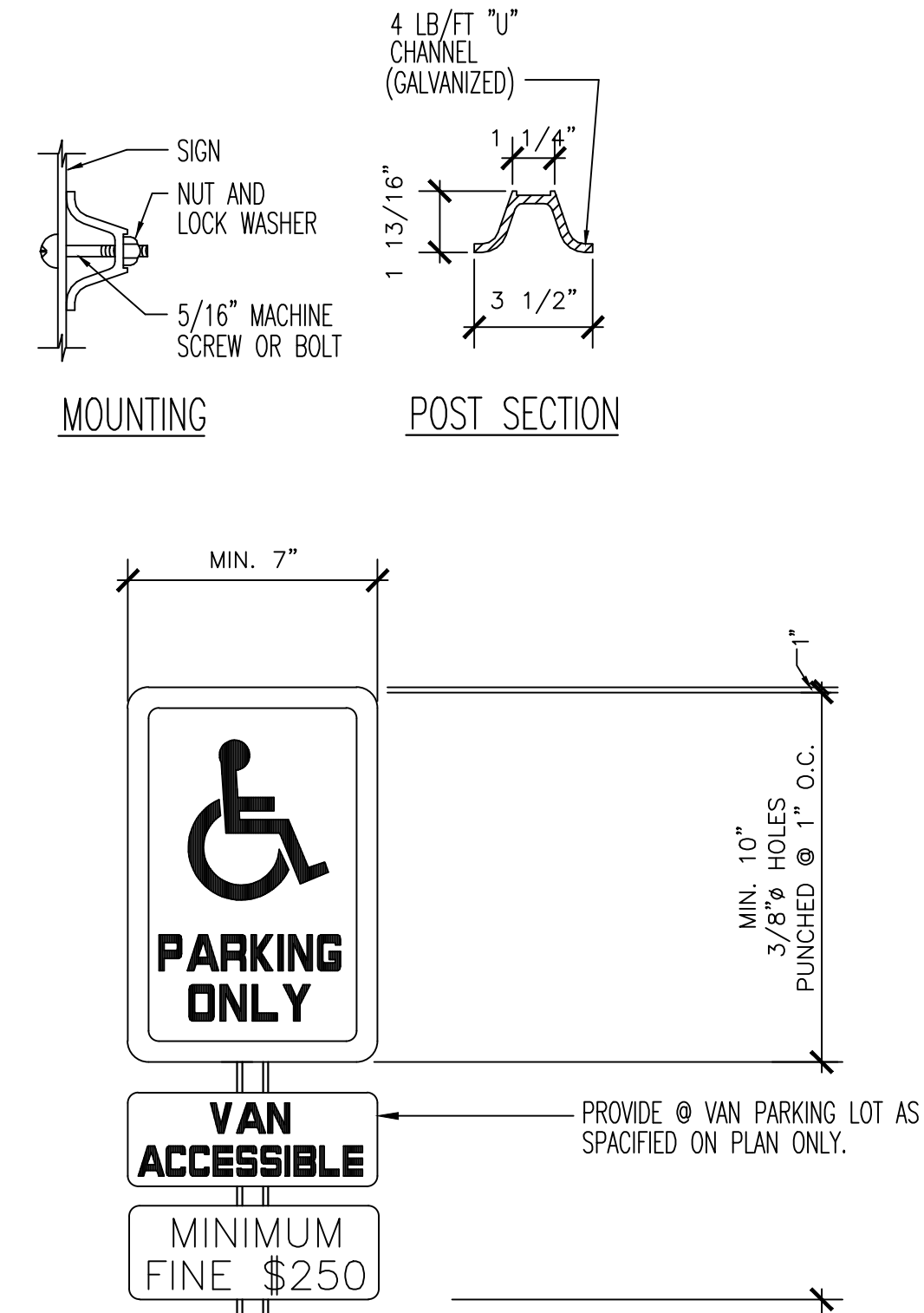
NOTES:

1. DETECTABLE WARNINGS 2016 CBC 11B-705.1.1.3.1 REQUIRED YELLOW AND APPROXIMATE FS 33538 OF FEDERAL STANDARD 595C.
2. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
3. DETECTABLE WARNINGS SHALL EXTEND FULL WIDTH AND DEPTH OF CURB RAMPS, ACCESSIBLE PATH THAT CROSSES VEHICULAR PATH NOT SEPARATED BY ANOTHER ELEMENT.



TRUNCATED DOMES

SCALE: 1" = 7'

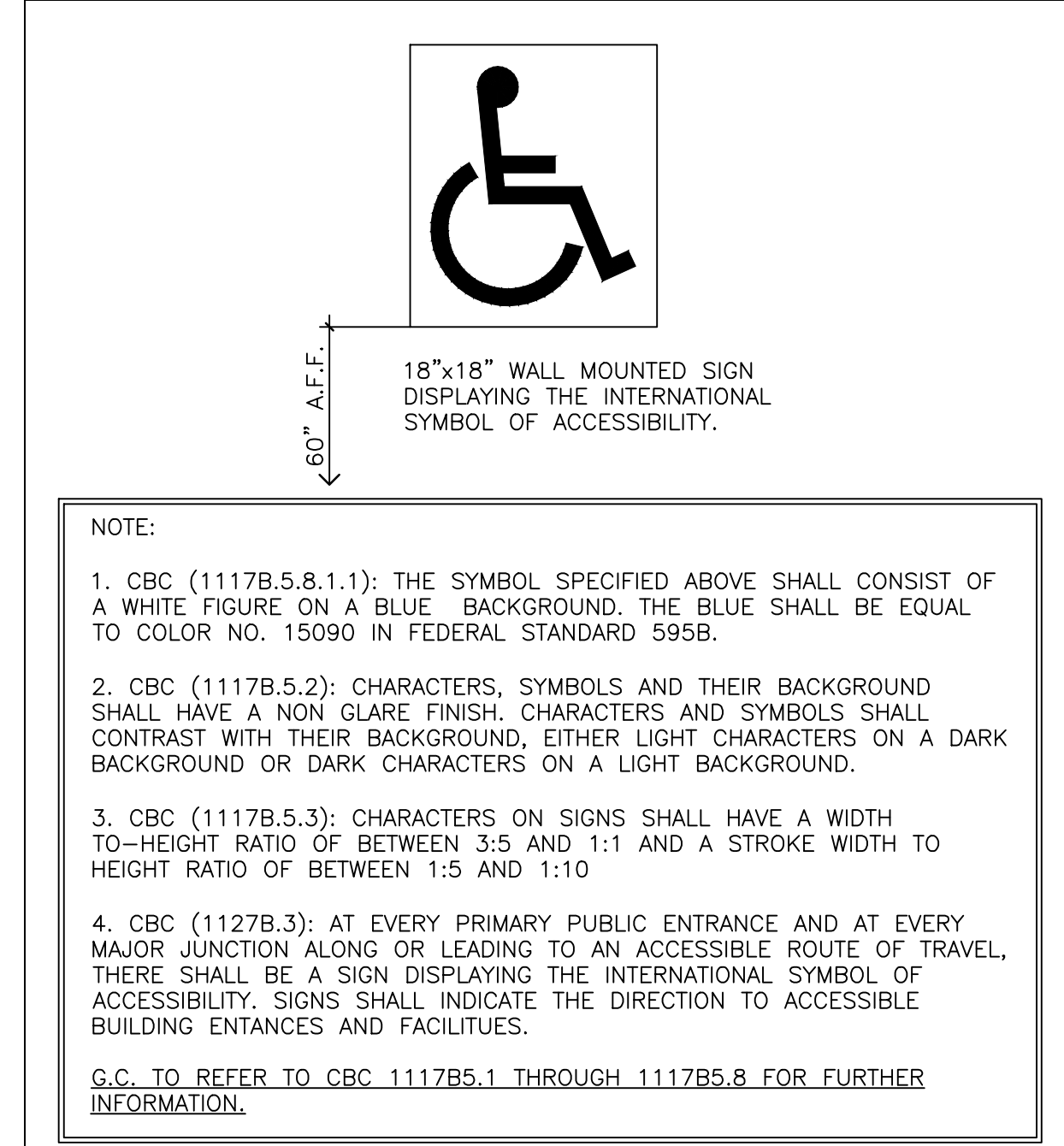


H.C. PARKING SIGNAGE

SCALE: 1" = 2'

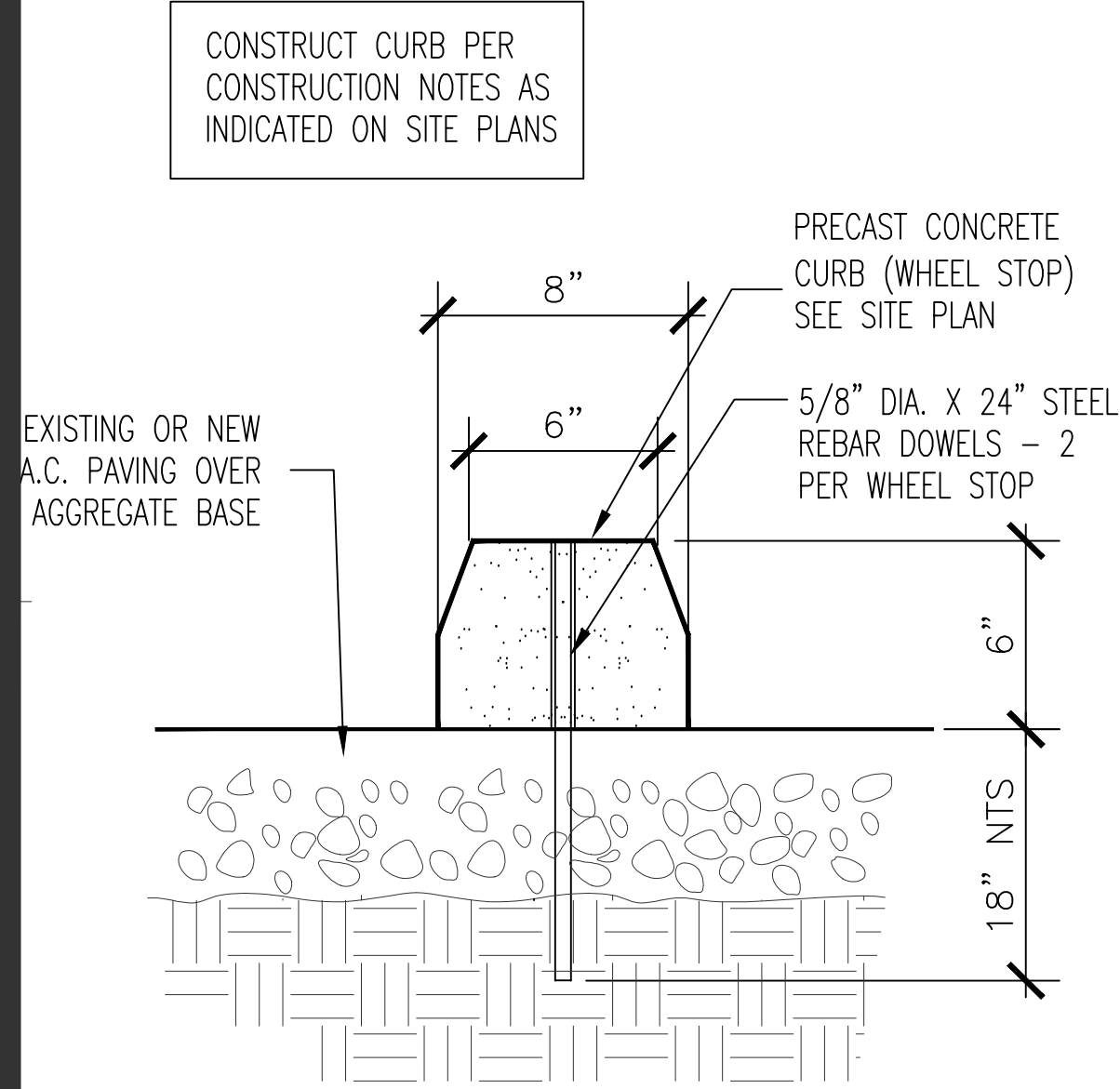
PARK. STALL ADA SIGN

SCALE: 1" = 1'



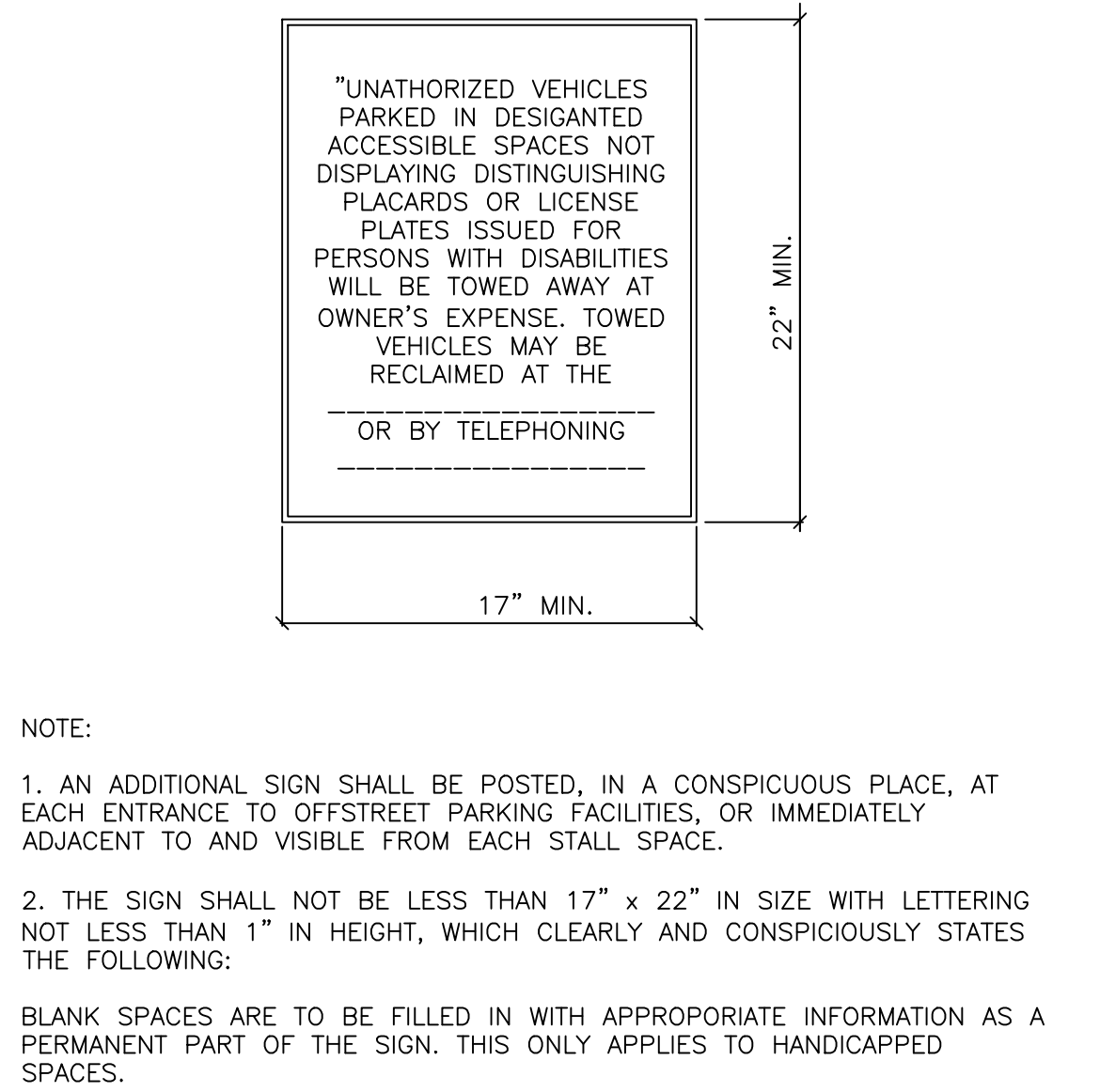
BUILDING ENTRY SIGNAGE

SCALE: 1" = 3'



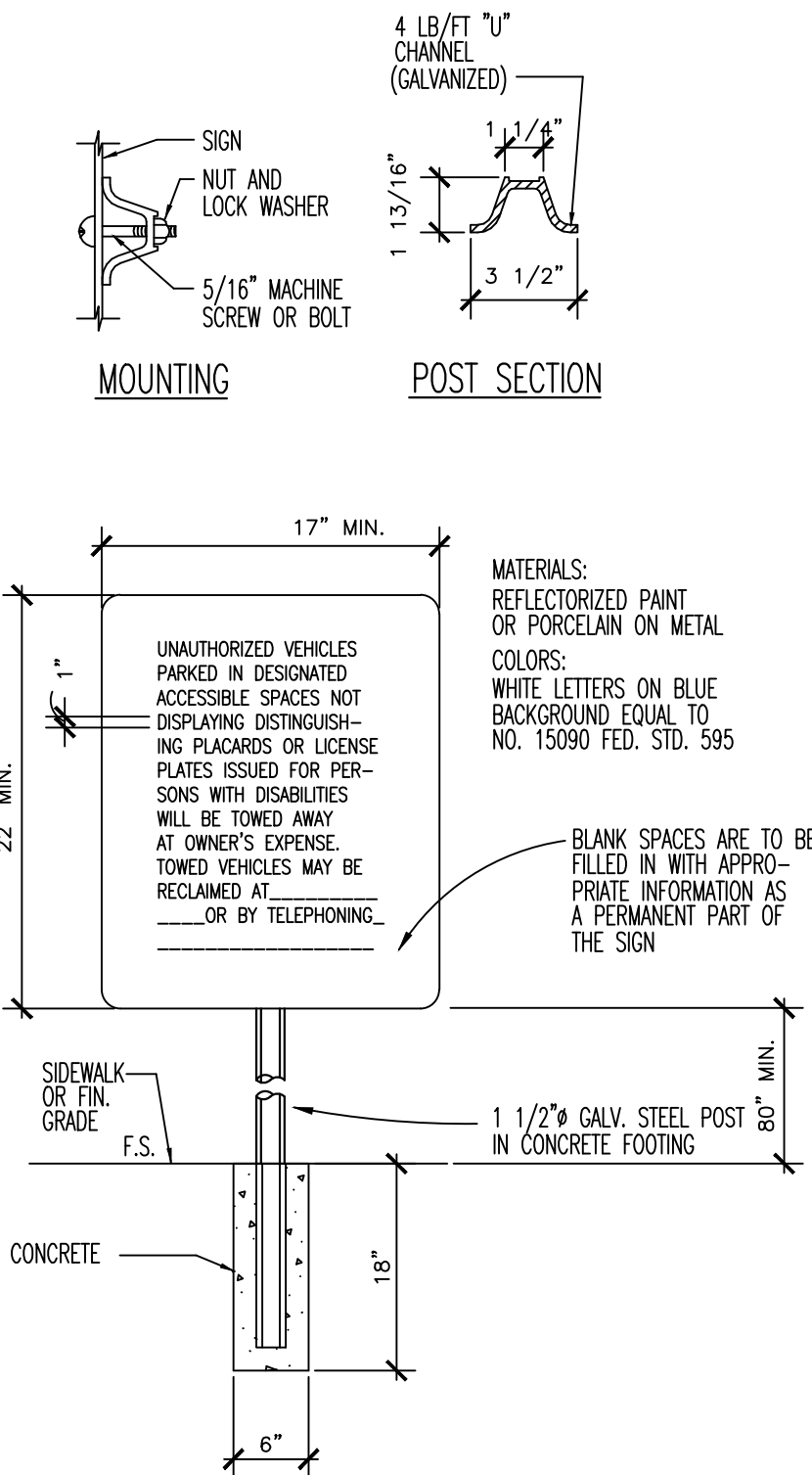
WHEEL STOP

SCALE: 1" = 5'



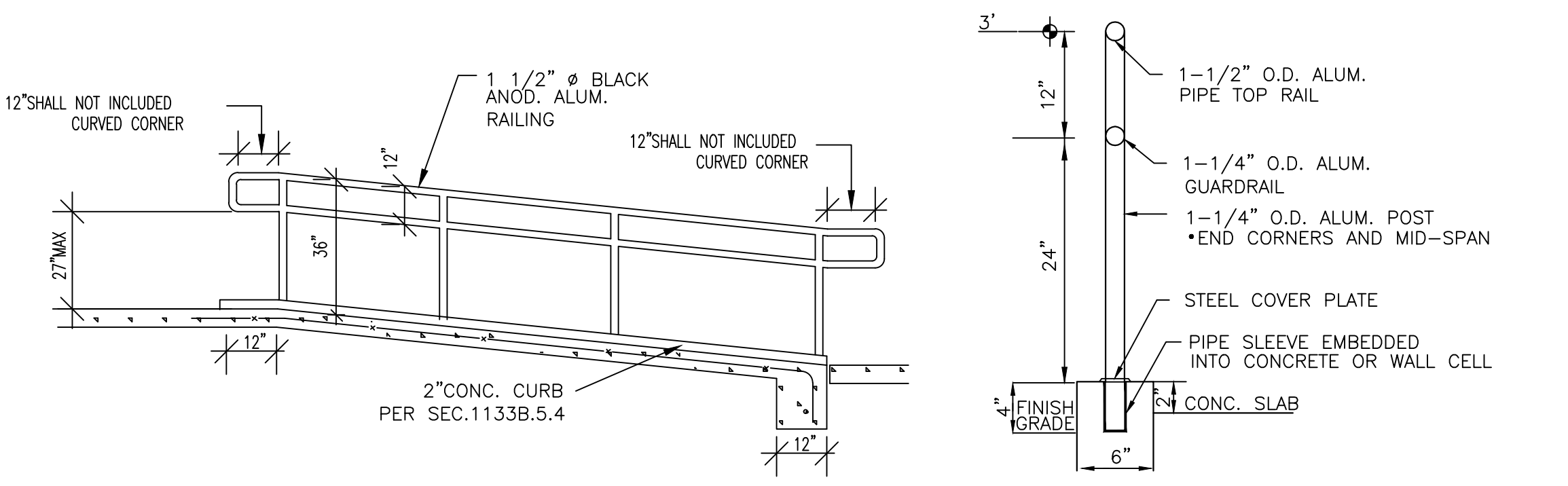
PROPERTY ENTRY SIGNAGE

SCALE: 1" = 4'



PROPERTY ENTRY SIGNAGE

SCALE: 1" = 8'



ADA RAMP WITH HANDRAIL DETAIL

SCALE: 1" = 6'

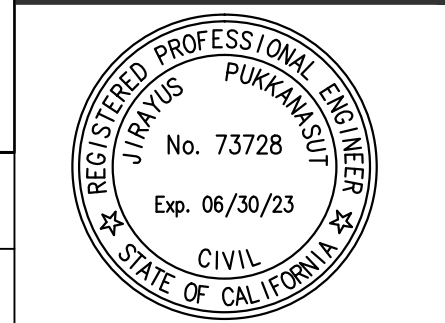
OWNER:

ALAN BOVAL
1936 E. KATELLA
ORANGE, CA
TEL: 562-552-1344
EMAIL: ALANBOVAL@HOTMAIL.COM

ADA DETAILS
DENTAL OFFICE &
BUSINESS TRAINING CENTER
1936 E. KATELLA AVE ORANGE, CA

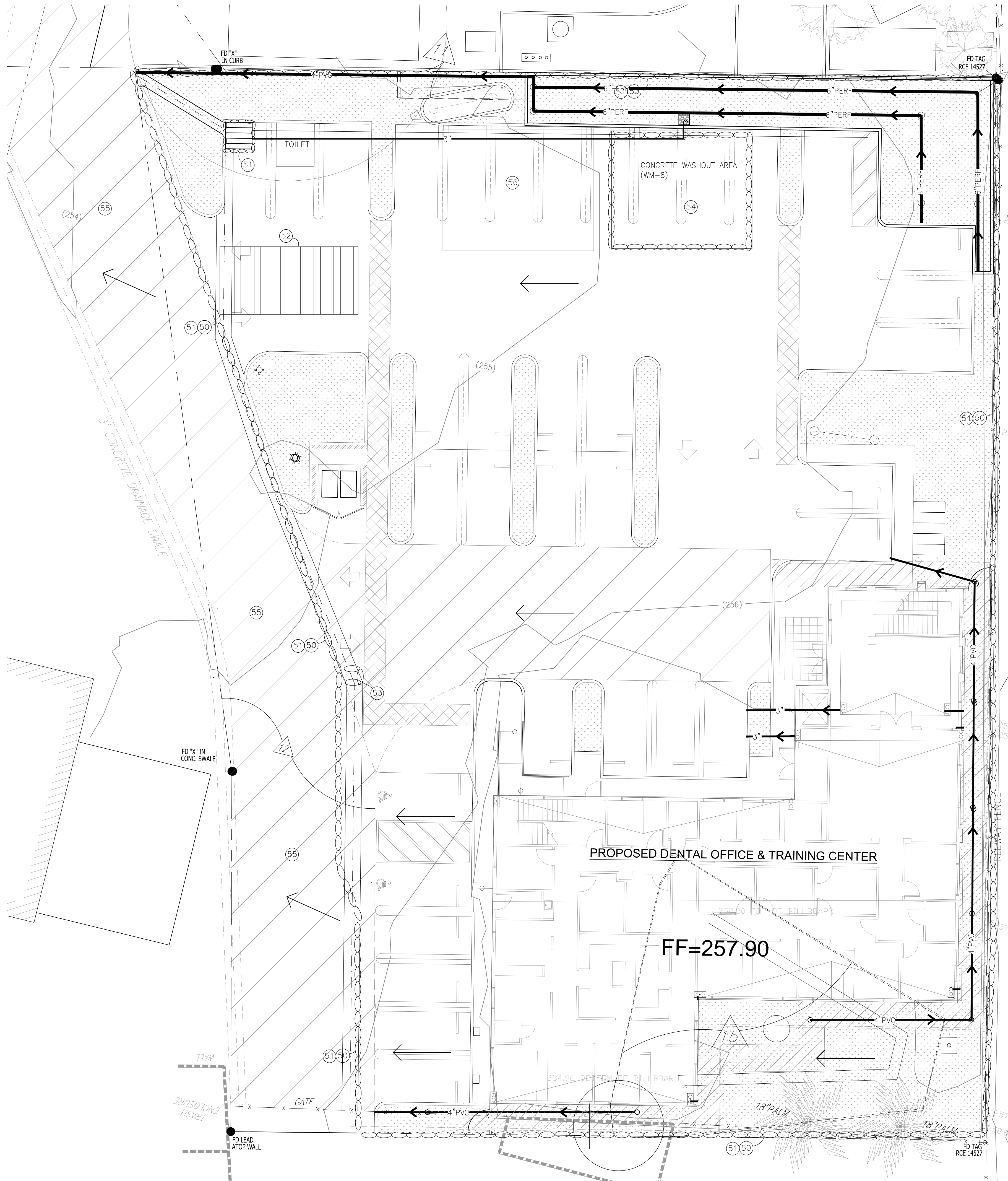
Prepared by:

PACIFIC GEOTECH, INC.
1424 ROLLING HILLS DRIVE
FULLERTON, CA 92835
TEL (714) 723-9703
mail@pgeosol.com



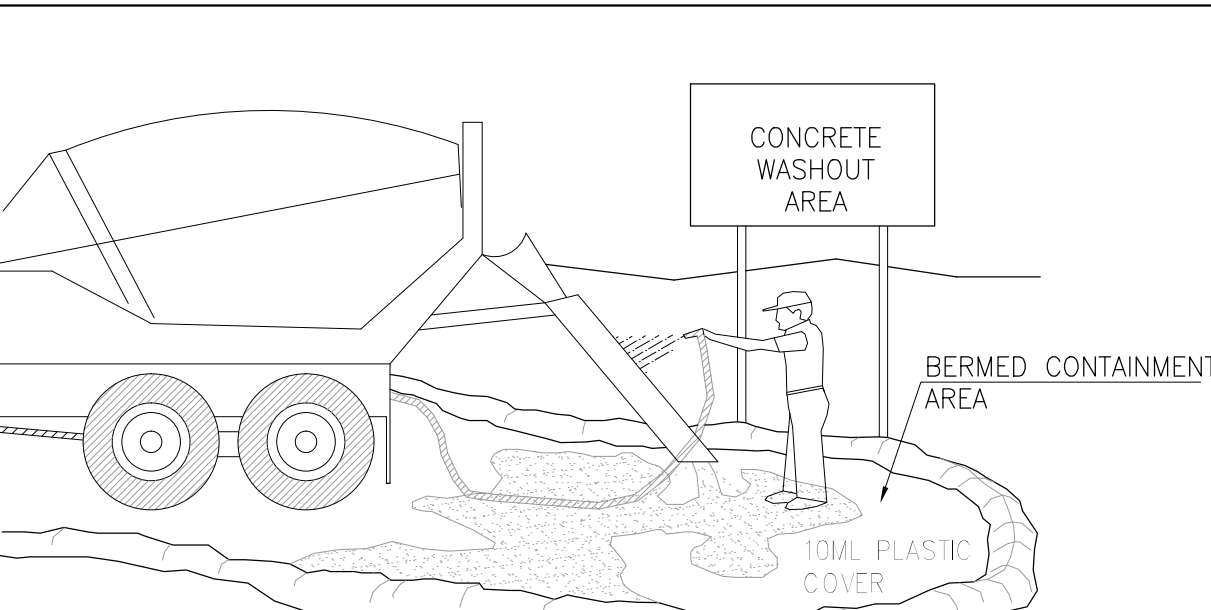
Revisions	
No.	Description

Drawn by: J.P.
Check by: J.P.
Scale: As noted



CONSTRUCTION NOTES

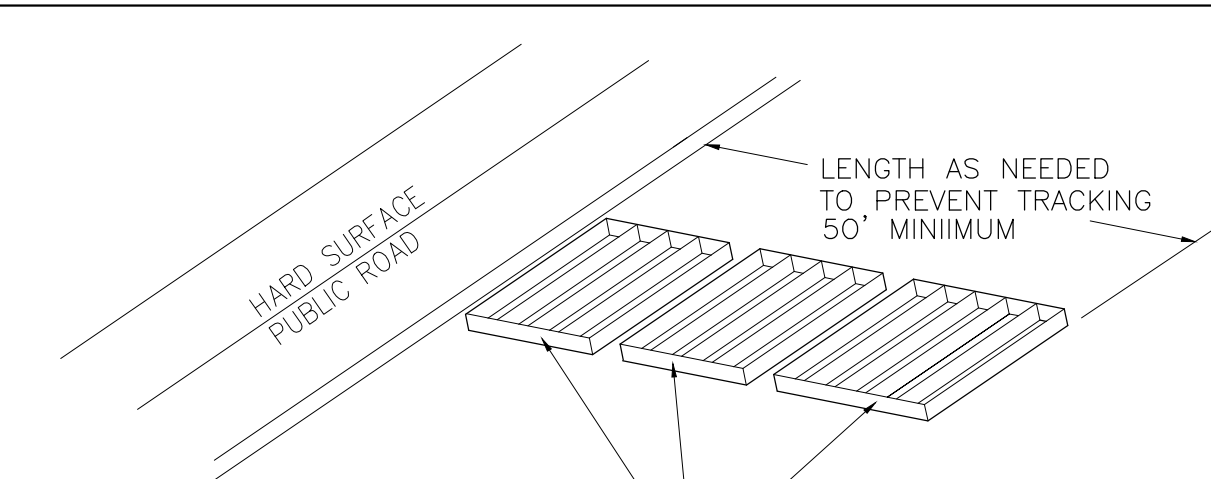
- (50) INSTALL CHAINLINK FENCE WITH GREEN FILTER FABRIC AS SHOWN ON PLAN
- (51) INSTALL GRAVEL BAG BERM (SE-6) PER DETAIL HEREON
- (52) INSTALL TIRE WASH PLATE (TC-1) (TC-3)
- (53) INSTALL FABRIC ON TOP OF INLET FOR INLET PROTECTION (SE-10)
- (54) CONCRETE WASHOUT AREA (WM-8)
- (55) SWEEP STREET (SE-7) AS NEEDED TO KEEP SEDIMENT FROM ENTERING PUBLIC RIGHT OF WAY AT ALL TIMES.
- (56) VEHICLE AND EQUIPMENT AREA CLEANING (NS-8)
- (57) SPILL PREVENTION CONTROL (WM-4)



NOTES:

- 1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
- 2. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
- 3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

(54) CONCRETE WASTE MANAGEMENT



(52) STABILIZED CONSTRUCTION ENTRANCE W/ TIRE WASH

NOTES:

- 1. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND SHOULD NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
- 2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE:
 - A. LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
 - B. A SERIES OF STEEL PLATES WITH "RUMBLE STRIPS", AND/OR MIN 4" COARSE AGGREGATE WITH LENGTH, WIDTH & THICKNESS AS NEEDED TO ADEQUATLY PREVENT ANY TRACKING ONTO PAVED SURFACES.
- 3. ADDING A WASH RACK WITH A SEDIMENT TRAP LARGE ENOUGH TO COLLECT ALL WASH WATER CAN GREATLY IMPROVE EFFICIENCY.
- 4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE SITES.

LEGEND

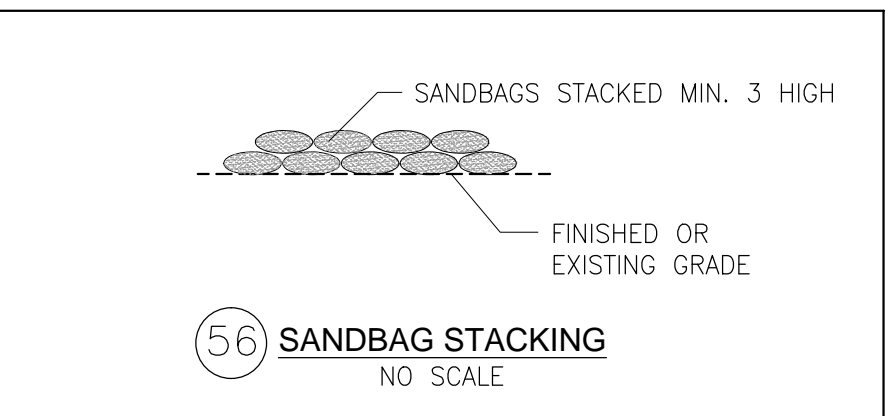
- FIBER ROLL
- GRAVEL BAG AROUND CATCH BASIN

STREET MAINTENANCE

- 1. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS IMMEDIATELY.
- 2. SWEEP PAVED AREAS THAT RECEIVE CONSTRUCTION TRAFFIC WHENEVER SEDIMENT BECOMES VISIBLE.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

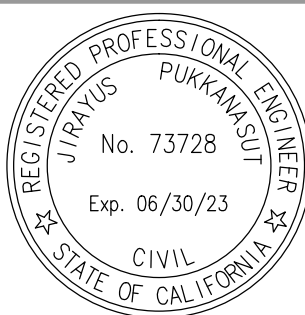


(56) SANDBAG STACKING

NO SCALE

Prepared by:

PACIFIC GEOTECH, INC.
1424 ROLLING HILLS DRIVE
FULLERTON, CA 92835
TEL: (714) 725-5903
mail@pgsoul.com



Revisions

Description

No. Date

Drawn by: J.P.
Check by: J.P.
Scale: As noted

Sheet No.

C-5

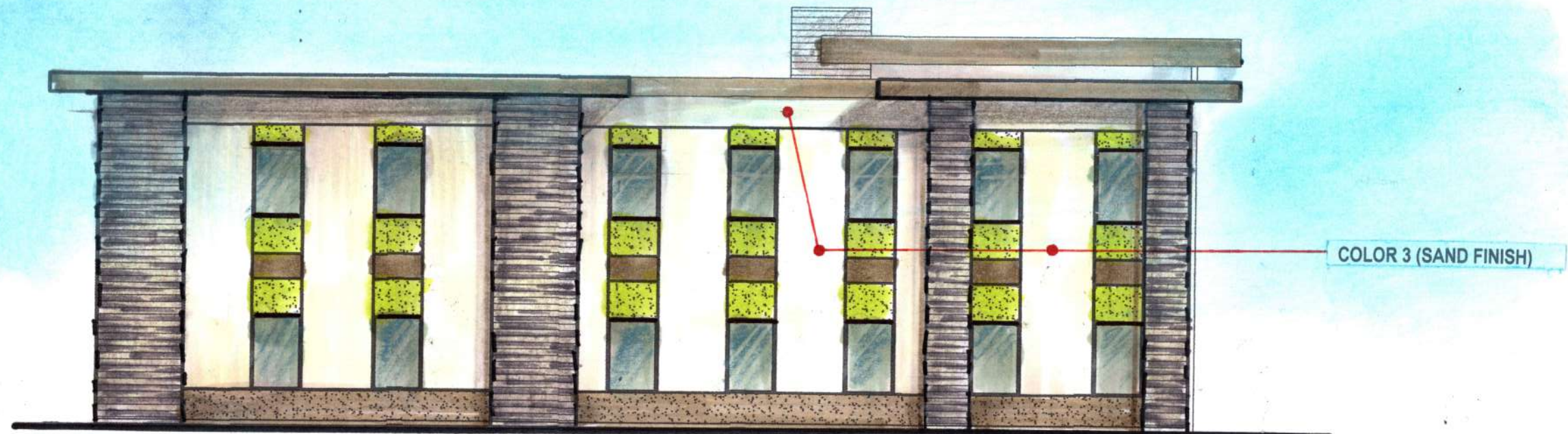
Date 7-28-2021

OWNER:

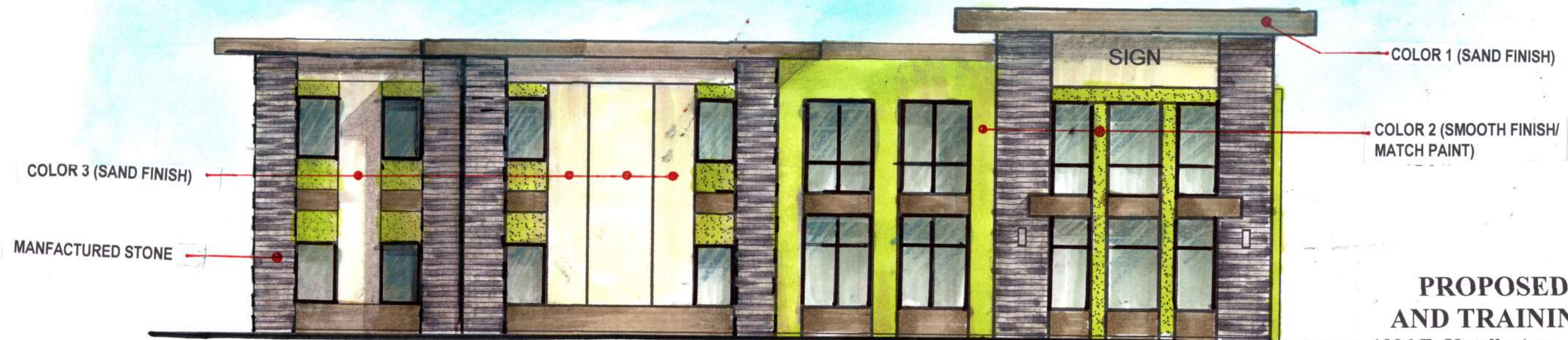
ALAN BOVAL
1936 E. KATELLA
ORANGE, CA
TEL: 562-552-1344
EMAIL: ALANBOVAL@HOTMAIL.COM

EROSION CONTROL PLAN

DENTAL OFFICE &
BUSINESS TRAINING CENTER
1936 E. KATELLA AVE ORANGE, CA



SOUTH ELEVATION



EAST ELEVATION (FACING FWY 55)

**PROPOSED DENTAL
AND TRAINING CENTER**
1936 E. Katella Ave Orange CA 92867

ALAN BOVAL (OWNER)

G&L Design Consultants
16327 Willowmist Ct Chino Hills CA 91709
(909)851-6252 GLDesignco@aol.com



NORTH ELEVATION



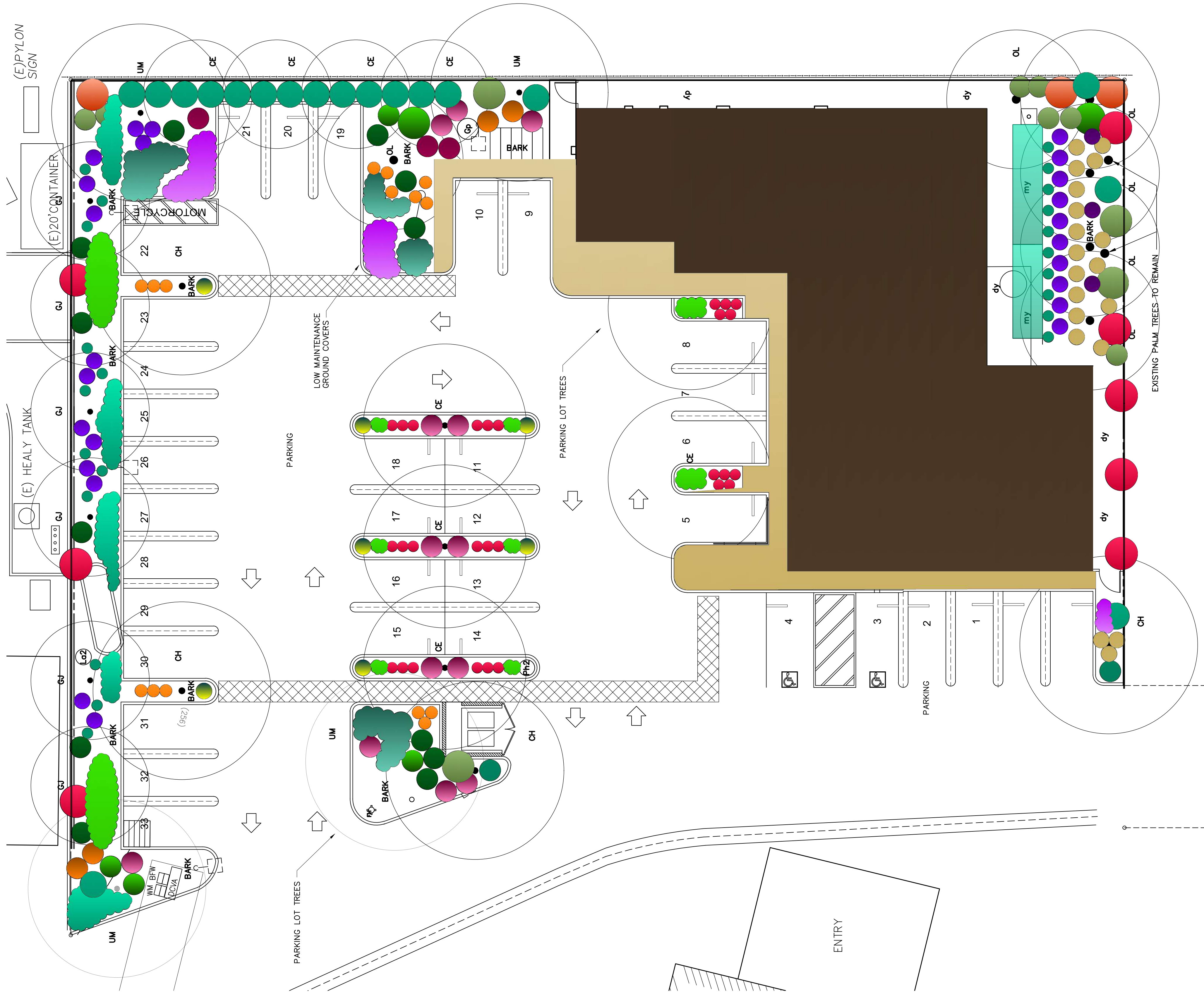
WEST ELEVATION

**PROPOSED DENTAL
AND TRAINING CENTER**
1936 E. Katella Ave Orange CA 92867

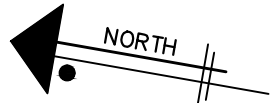
ALAN BOVAL (OWNER)

G&L Design Consultants
16327 Willowmist Ct Chino Hills CA 91709
(909)851-6252 GLDesignco@aol.com

P L A N T L E G E N D					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	NOTES
TREES					
CE	CERIS CANADENSIS 'OKLAHOMA'	OKLAHOMA REDBUD	24" BOX	9	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
CH	CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	24" BOX	4	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
CU	CELESTRA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	6	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
OL	OLEA EUROPAEA MONIER	MAJESTIC BEAUTY FRUITLESS OLIVE TREE	24" BOX	6	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
UM	UMBELLULARIA CALIFORNICA	CALIFORNIA BAY TREE	24" BOX	4	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
SHRUBS					
Ag	AGAVE OVATIFOLIA	WHALES TONGUE AGAVE	5 GAL	2	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
A1	ANGELOZANTHOS 'BUSH RANGER'	DWARF KANGAROO PAW	1 GAL	10	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
A2	ANGELOZANTHOS 'ORANGE CROSS'	ORANGE KANGAROO PAW	5 GAL	13	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
A1	ARTEMISIA 'POMIS CASTLE'	POMIS CASTLE WORMWOOD	5 GAL	12	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ca	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	6	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
CI	CALOTHAMNUS QUADRIFIDUS 'SEASIDE'	SEASIDE ONE-SIDED BOTTLEBRUSH	5 GAL	3	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
CH1	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	2	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
CH2	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	2	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Gp	GREVILLEA LANGERA 'PROSTRATE'	PROSTRATE WOOLLY GREVILLEA	1 GAL	14	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Gr	GREVILLEA 'LONG JOHN'	LONG JOHN GREVILLEA	5 GAL	8	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
He	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	3	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
L1	LAVANDULA STOECHAS	SPANISH LAVENDER	1 GAL	22	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
La2	LAVANDULA x INTERMEDIA 'PROVENCE'	BLUE LAVENDER	1 GAL	25	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Le	LEONOTIS LEONURUS	LION'S TAIL	5 GAL	4	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ly	LEUCOPHYLLUM LANGMANIAE 'BRAVE RIVER'	BRAVE RIVER TEXAS RANGER	5 GAL	19	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ns	NASSELLA TENISSIMA	MEXICAN FEATHER GRASS	1 GAL	13	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ph1	PHORMIUM 'TITOTI' PLANT PATENT	BLACK ADDER FLAX	5 GAL	3	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ph2	PHORMIUM 'RAINBOW MAIDEN'	RAINBOW MAIDEN NEW ZEALAND FLAX	5 GAL	11	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ww1	WESTRINGIA FRUTICOSA MUNDI	LOW COAST ROSEMARY	1 GAL	7	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ww2	WESTRINGIA 'WYNABBBIE GEM'	COAST ROSEMARY	5 GAL	4	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
GROUND COVER					
dy	DYONIDIA MARGARETAE	SILVER CARPET	FLATS		TRIANGULAR SPACING @ 12" ON CENTER
my	MYOPORIUM PARVIFOLIUM 'TINE LEAF FORM'	FINE-LEAF GROUND COVER MYOPORIUM	FLATS		TRIANGULAR SPACING @ 24" ON CENTER
os	OSCLARIA DELTOIDES	PINK ICEPLANT	FLATS		TRIANGULAR SPACING @ 18" ON CENTER
sd	SEDUM RUPESTRE 'ANGELINA'	GOLDEN SEDUM	FLATS		TRIANGULAR SPACING @ 12" ON CENTER
sn	SENECIO MANDRAUSCAE	KLEINIA	FLATS		TRIANGULAR SPACING @ 12" ON CENTER
2" - 3" BARK/MULCH			APPLY TO AREAS NOT COVERED BY PLANTED GROUND COVER	BULK	100% COVERAGE



Colored Landscape Plan
SCALE: 1/8" = 1'-0"

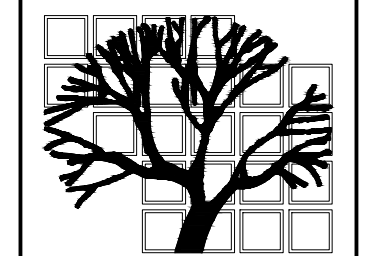


Contractors shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Environmental Design Systems, Inc. of any discrepancies prior to fabrication or construction.

Dental Office
1936 E. Katella Ave.
Orange, CA 92867

Job Title — Address
Owner — Address

These documents are not to be reproduced or used for any other purpose other than originally intended, unless in writing by LeisureLand.



Landscape
Architecture
Construction
Management

2131 Minoru Drive
Altadena, CA 91001
Phone (818) 437-5254
rleisureland@gmail.com

Consultants
These drawings are to be considered preliminary and are not approved for construction until the owner and the Landscape Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents, and conditions as set forth in these documents.

Owner
Landscape Architect
Contractor

Revisions



E. Katella
Job Number
Refer to Scale
Scale
September 10, 2021
Date

Colored
Landscape
Plan
Sheet Title
Sheet Number
C.1

IRRIGATION LEGEND			
MANUFACTURER	SYMBOL	MODEL NUMBER	DESCRIPTION/REMARKS
RAINBIRD		KCZ-100-PRB-COM	LOW FLOW CONTROL VALVE KIT WITH PRESSURE REGULATING FILTER
HUNTER		PCM - 300, PRO C EXTERIOR 3 STATION CONTROLLER	3 STATION CONTROLLER, MOUNT ON BUILDING WALL, HARDWIRE TO CODE
NIBCO		45-LB SERIES BALL VALVE	BALL VALVE, LINE SIZE, INSTALL PER DETAIL
SUPERIOR OR EQ		QB55C10 QUICK COUPLER IN 6" BDX. ONE QB55K10 KEY PER LOCATION	ADD (1) HS 100 HOSE SWIVEL PER QUICK COUPLER LOCATION
POC		POINT OF CONNECTION AT EXISTING HOUSE GATE VALVE	CONNECT TO HOUSE MAINLINE AFTER REGULATOR SET AT 65+ PSI
NETAFIM		MANUAL FLUSH VALVE-TLSOV	INSTALL PER MANUFACTURER'S INSTRUCTIONS
FEBCO		8251A PRESSURE VACUUM BREAKER - 1-1/4"	PRESSURE VACUUM BREAKER ON BRASS RISERS PER LOCAL CODE
PACIFIC PLASTICS OR EQUAL		PVC 1120 SCH 40, CELL CLASS 1245A, SOLVENT WELD, NSF APPROVED, MAINLINE PIPE	SIZE PER PLAN, INSTALL ϕ MIN. 18" COVER
		PVC 1120 SCH 40, CELL CLASS 1245A, SOLVENT WELD, NSF APPROVED, SLEEVING	1 1/2 TIMES DIAMETER OF PIPE, MIN. 24" COVER
		PVC 1120 SCH 40, CELL CLASS 1245A, SOLVENT WELD, NSF APPROVED, LATERAL PIPE	SIZE PER PLAN, INSTALL MIN. 12" COVER
NETAFIM		TLCV6-18 TECHLINE PRESSURE COMP LINE, 6.0 GPH, DRIPPER-18"OC ROW = 18" OR AS INDICATED PER PLAN	INSTALL MIN. 4" COVER, MAX. 6" DEPTH

IRRIGATION NOTES:

1. IRRIGATION SYSTEM IS DESIGNED AT A MINIMUM PRESSURE OF 60 PSI AND MAXIMUM OF 120 PSI. POINT OF CONNECTION SHALL BE AT NEW WATER METER - LOCATION TO BE DETERMINED. REFER TO ARCHITECTS DRAWINGS.
CAUTION: VERIFY PRESSURE DURING INSTALLATION AND CONTACT ARCHITECT FOR PRESSURE OUTSIDE OF DESIGNED RANGE
2. PLANS ARE DIAGRAMMATIC. PLACE ALL MAINLINES AND LATERALS IN PLANTER OR LAWN AREAS INSIDE PROPERTY LINE OR APPROVED AREAS WITHIN THE PUBLIC RIGHT OF WAY. LOCATION OF PRIVATE DRIVE PAVING SHALL BE VERIFIED PRIOR TO INSTALLATION AND FIELD ADJUSTMENTS SHALL BE MADE TO PROTECT IRRIGATION SYSTEM

PLACE ALL VALVES, HOSE BIBS AND PVBS IN PLANTER AREAS. ALL CONTROL VALVES SHALL BE INSTALLED IN VALVE BOXES PER DETAIL.

3. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED AND ADJUSTED TO MINIMIZE OVERSPRAY ON WALLS AND PAVING. MODIFICATIONS TO IRRIGATION SYSTEMS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.

4. GENERAL CONTRACTOR SHALL SUPPLY GFI ELECTRICAL OUTLET FOR WALL MOUNTED IRRIGATION CONTROLLER CONNECTION. LANDSCAPE CONTRACTOR SHALL HARDWIRE CONTROLLER PER LOCAL CODES. VERIFY LOCATION IN FIELD.

TITLE 23 NOTES:

1. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.
2. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
3. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
3. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
4. A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
5. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT AT RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL.



Serving the following California Counties: Imperial, Inyo, Los Angeles, Orange, Riverside, San Bernardino, San Diego, Santa Barbara and Ventura.

Underground Service Alert Of Southern California
811 or 800-422-4133

Visit Website

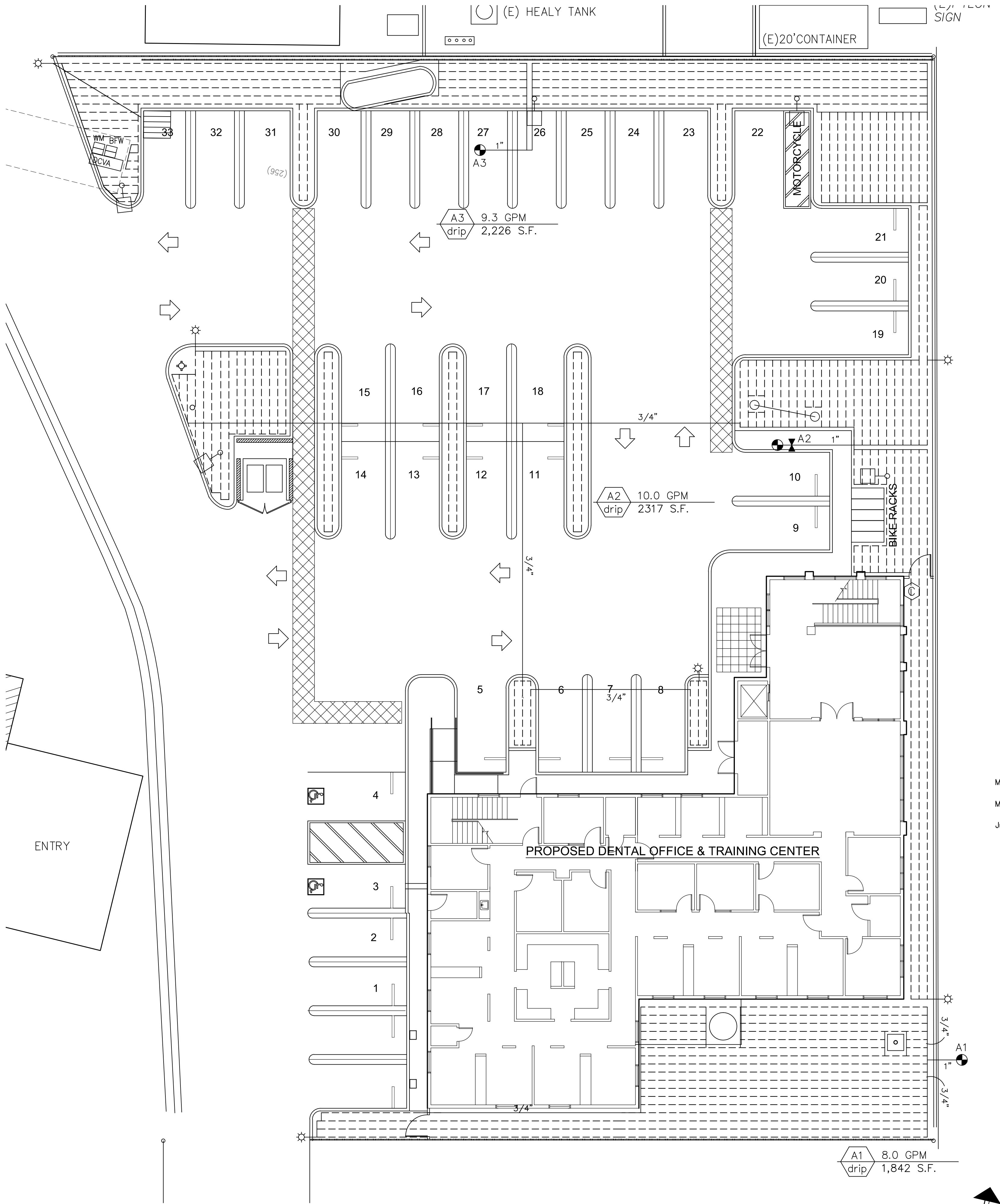
Details

Address:
PO Box 77070
Corona, CA 92877

Hours
M - F 0600-1900

Advanced Notice: 2 working days, not including the date of motivation, but not more than 14 calendar days.

Number of days in advance of a digging project that you need to notify the one call center of your intent to dig.



Irrigation Lateral Plan
SCALE: 3/32" = 1'-0"

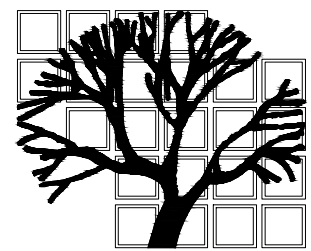
Contractors shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Environmental Design Systems, Inc. of any discrepancies prior to fabrication or construction.

Dental Office

1936 E. Katella Ave.
Orange, CA 92867

Job Title - Address
Owner - Address

These documents are not to be reproduced or used for any other purpose other than originally intended, unless in writing by LeisureLand.



LeisureLand

Landscape
Architecture
Construction
Management

2131 Minoru Drive
Altadena, CA 91001
Phone (818) 437-5254
rleisureland@gmail.com

Consultants

These drawings are to be considered preliminary and are not approved for construction until the owner and the Landscape Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents, and conditions as set forth in these documents.

Owner

Landscape Architect

Contractor

Revisions

September 12, 2019
February 6, 2020
February 28, 2020
April 21, 2020
December 4, 2020
January 4, 2021



E. Katella
Job Number

3/32" = 1'-0"
Scale

November 12, 2018
Date

Irrigation
Lateral
Plan
Sheet Title
Sheet Number

L.1

IRRIGATION LEGEND			
MANUFACTURER	SYMBOL	MODEL NUMBER	DESCRIPTION/REMARKS
RAINBIRD		XCZ-100-PRB-COM	LOW FLOW CONTROL VALVE KIT WITH PRESSURE REGULATING FILTER
HUNTER		PCM - 300, PRO C EXTERIOR 3 STATION CONTROLLER	3 STATION CONTROLLER, MOUNT ON BUILDING WALL, HARDWIRE TO CODE
NIBCO		45-UB SERIES BALL VALVE	BALL VALVE, LINE SIZE, INSTALL PER DETAIL
SUPERIOR OR EQ		QB5RC10 QUICK COUPLER IN 6" BOX, ONE QB5SK10 KEY PER LOCATION	ADD (1) HS 100 HOSE SWIVEL PER QUICK COUPLER LOCATION
POC		POINT OF CONNECTION AT EXISTING HOUSE GATE VALVE	CONNECT TO HOUSE MAINLINE AFTER REGULATOR SET AT 65+ PSI
NETAFIM		MANUAL FLUSH VALVE-TLSOV	INSTALL PER MANUFACTURER'S INSTRUCTIONS
FEBCO		B25VA PRESSURE VACUUM BREAKER - 1-1/4"	PRESSURE VACUUM BREAKER ON BRASS RISERS PER LOCAL CODE
PACIFIC PLASTICS OR EQUAL		PVC 1120 SCH 40, CELL CLASS 1245A, SOLVENT WELD, NSF APPROVED, MAINLINE PIPE	SIZE PER PLAN, INSTALL @ MIN. 18" COVER
		PVC 1120 SCH 40, CELL CLASS 1245A, SOLVENT WELD, NSF APPROVED, SLEEVING	1 1/2 TIMES DIAMETER OF PIPE, MIN. 24" COVER
		PVC 1120 SCH 40, CELL CLASS 1245A, SOLVENT WELD, NSF APPROVED, LATERAL PIPE	SIZE PER PLAN, INSTALL MIN. 12" COVER
NETAFIM		TLCV6-18 TECHLINE PRESSURE COMP LINE, 6.0 GPH, DRIPPER-18"OC ROW = 18" OR AS INDICATED PER PLAN	INSTALL MIN. 4" COVER, MAX. 6" DEPTH

IRRIGATION NOTES:

1. IRRIGATION SYSTEM IS DESIGNED AT A MINIMUM PRESSURE OF 60 PSI AND MAXIMUM OF 120 PSI. POINT OF CONNECTION SHALL BE AT NEW WATER METER LOCATION TO BE DETERMINED. REFER TO ARCHITECTS DRAWINGS.

CAUTION: VERIFY PRESSURE DURING INSTALLATION AND CONTACT ARCHITECT FOR PRESSURE OUTSIDE OF DESIGNED RANGE

2. PLANS ARE DIAGRAMMATIC. PLACE ALL MAINLINES AND LATERALS IN PLANTER OR LAWN AREAS INSIDE PROPERTY LINE OR APPROVED AREAS WITHIN THE PUBLIC RIGHT OF WAY. LOCATION OF PRIVATE DRIVE PAVING SHALL BE VERIFIED PRIOR TO INSTALLATION AND FIELD ADJUSTMENTS SHALL BE MADE TO PROTECT IRRIGATION SYSTEM

PLACE ALL VALVES, HOSE BIBS AND PVBS IN PLANTER AREAS. ALL CONTROL VALVES SHALL BE INSTALLED IN VALVE BOXES PER DETAIL.

3. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED AND ADJUSTED TO MINIMIZE OVERSPRAY ON WALLS AND PAVING. MODIFICATIONS TO IRRIGATION SYSTEMS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.

4. GENERAL CONTRACTOR SHALL SUPPLY GFI ELECTRICAL OUTLET FOR WALL MOUNTED IRRIGATION CONTROLLER CONNECTION. LANDSCAPE CONTRACTOR SHALL HARDWIRE CONTROLLER PER LOCAL CODES. VERIFY LOCATION IN FIELD.

TITLE 23 NOTES:

1. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

2. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

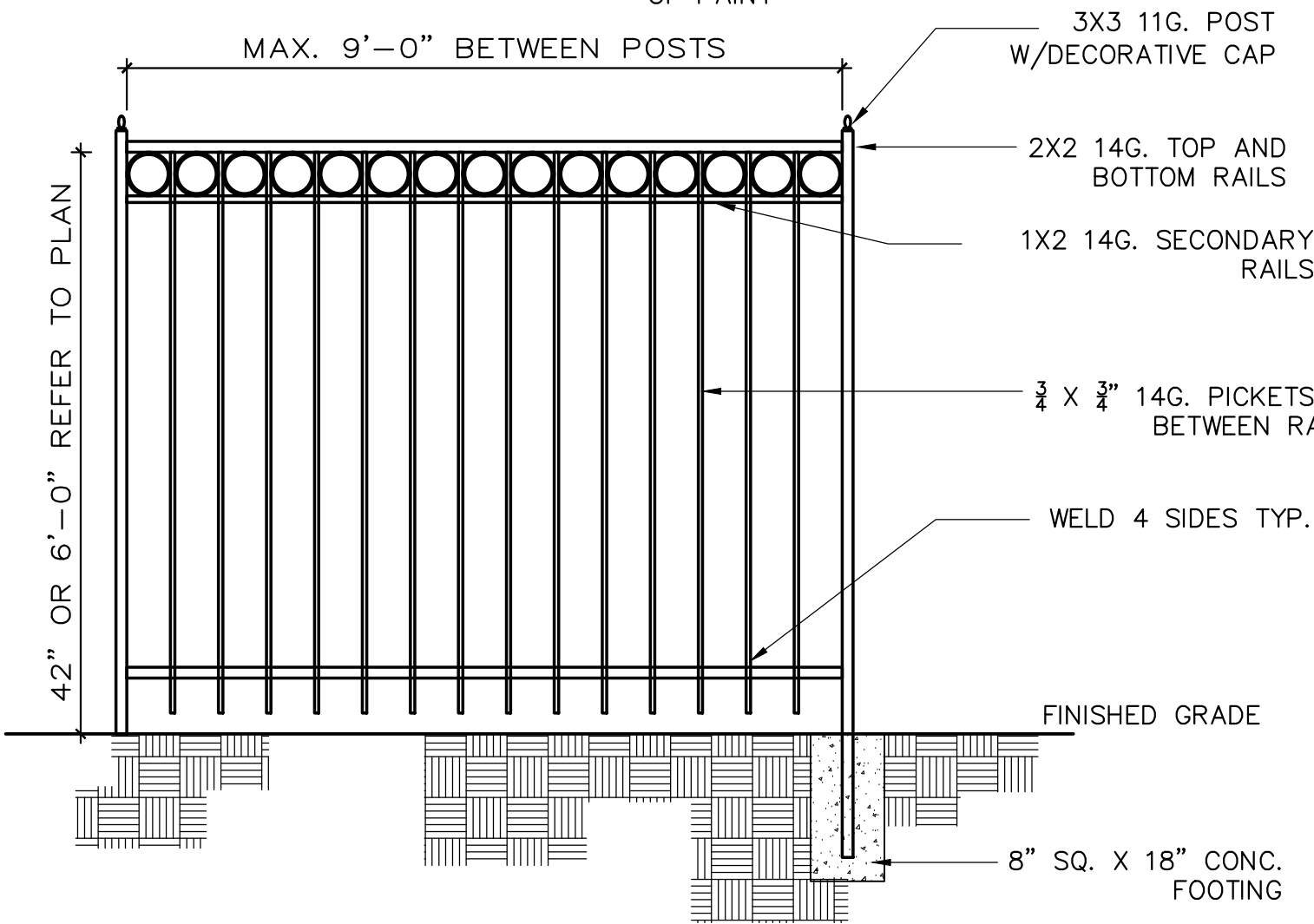
3. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

3. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

4. A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

5. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT AT RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL.

NOTE: APPLY 1 COAT RUST-PROOF PRIMER AND 2 COATS EXTERIOR BLK. PAINT. GRIND ALL WELDS SMOOTH PRIOR TO APPLICATION OF PAINT



1 Ornamental Iron Fence - Black



Serving the following California Counties: Imperial, Inyo, Los Angeles, Orange, Riverside, San Bernardino, San Diego, Santa Barbara and Ventura.

Underground Service Alert Of Southern California
811 or 800-422-4133

Visit Website

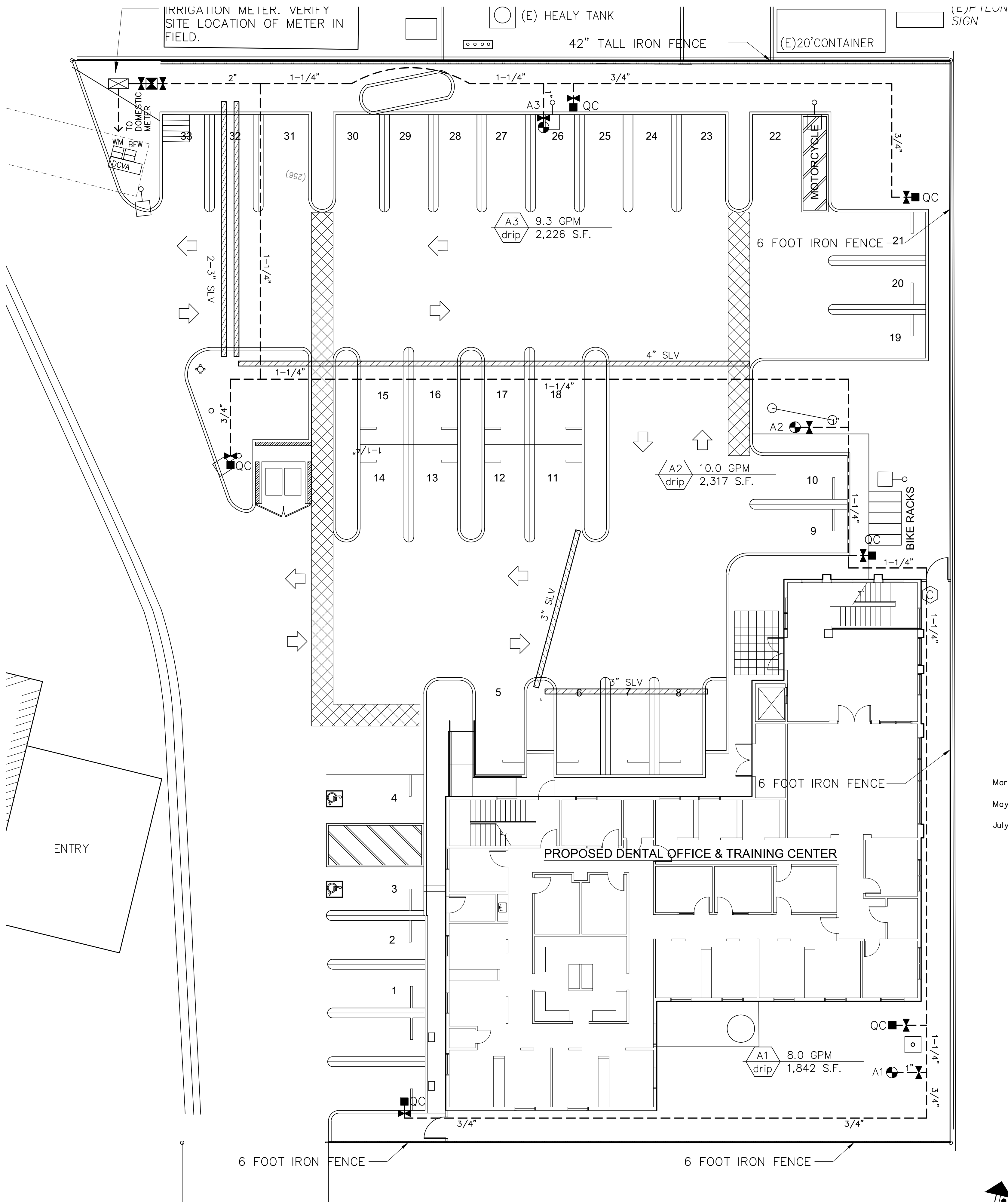
Details

Address:
PO Box 77070
Corona, CA 92877

Hours
M - F 0600-1900

Advanced Notice: 2 working days, not including the date of motivation, but not more than 14 calendar days.

Number of days in advance of a digging project that you need to notify the one call center of your intent to dig.



Irrigation Lateral Plan

SCALE: 3/32" = 1'-0"

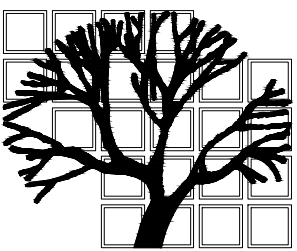
Contractors shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Environmental Design Systems, Inc. of any discrepancies prior to fabrication or construction.

Dental Office

1936 E. Katella Ave.
Orange, CA 92867

Job Title - Address
Owner - Address

These documents are not to be reproduced or used for any other purpose other than originally intended, unless in writing by LeisureLand



LeisureLand

Landscape
Architecture
Construction
Management

2131 Minoru Drive
Altadena, CA 91001

Phone (818) 437-5254
rleisureland@gmail.com

Consultants

These drawings are to be considered preliminary and are not approved for construction until the owner and the Landscape Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents, and conditions as set forth in these documents.

Owner

Landscape Architect

Contractor

Revisions

September 12, 2019
February 6, 2020
February 28, 2020
April 21, 2020
December 4, 2020
January 4, 2021



E. Katella
Job Number

3/32" = 1'-0"
Scale

November 12, 2018
Date

Irrigation
Mainline
Plan

Sheet Title
Sheet Number

L.2

CERTIFICATE OF SUBSTANTIAL COMPLETION

March 30, 2021

Project Data:

Project Site: Dental Office
Location: 1936 E. Katella Avenue, Orange, CA 92867
Landscape Architect: LeisureLand
Irrigation Designer: LeisureLand
Total Landscape Area: 6,385 s.f.
Historical Evaporation ETo: 50.1 inches/year
Maximum applied Water allowance: 89,249 gal./year
Estimated Applied Water Use: 73,456 gal./year
Estimated amount of water expected from effective precipitation: non expected
Estimated Total Adjusted Applied Water Use: 73,456 gal./year
The following may be included in this project submittal package, if applicable:
1. Landscape Design Plan
2. Irrigation Design Plan
3. Irrigation Schedule
4. Landscape/Irrigation Audit Schedule
5. Hydro zone Report(s)

Post Installation Inspection:
(Check to indicate substantial completion)

1. Plants installed as specified
2. Irrigation system installed as designed
 a. Minimal run-off or over spray
3. Landscape irrigation audit performed
4. Project submittal package and a copy of this certification has been provided to Owner/Manager and local water agency.

Comments:

I/We certify that the work has been installed in accordance with the Contract Documents.

Contractor Signature Date State Lic. No.

I/We certify that based upon periodic site observations, the work has been substantially completed in accordance with the Water Efficient Landscape Ordinance and that the landscape planting and irrigation installation conform with the approved plans and specifications.

Landscape architect Signature Date State Lic. No.
or Irrigation Designer/
Consultant

I/We certify that I/we received all of the Contract Documents and that it is our responsibility to see that the project is maintained in accordance with the Contract Documents.

Owner Signature Date

IRRIGATION WATER SCHEDULE

For: Dental Office, 1936 E. Katella Avenue, Orange, CA 92867
Historical Annual Eto = 50.1 in./yr.
Date: March 30, 2021

General Notes:

The following irrigation schedule is shown for guideline use only and is to be modified in the field accordingly, as the weather changes and/or water audit dictates.

the irrigation schedule is based on historical evapotranspiration rates for the Orange area. More accurate daily data can be obtained by contacting:
California Department of Water Resources
Water Conservation Office
Division of Local Assistance
River City Bank Building
1020 Ninth Street, 3rd floor
Sacramento, CA 95814
tel. (916) 327-1836

The precipitation rate for each valve has been calculated based ont the square foot area of coverage for each valve and the total gallon per minute for each valve. see Irrigation Plan as prepared by Environmental Design Systems,Inc.

The distribution efficiency used is based on the anticipated distribution efficiency of a well designed and installed irrigation system with the materials currently available on the market. According to the Center of Irrigation Technology, spray head systems under laboratory conditions can have a distribution efficiency of 50-60% and for rotors systems, 75-90%. As such, 50% was used for spray heads and 75% for rotors. These two distribution efficiencies were assumed and might change in the field dependent upon the actual conditions encountered and the dictates of a water audit.

The numbers shown on the following Irrigation Water Schedule are the minutes per day for each station in a 7-day week. Theatrically, December through March no irrigation is required, but watering to some degree may be necessary. Unusually hot weather will require irrigation adjustments as weather changes.

Contractor/Owner shall manage water in conjunction with the Irrigation Schedule submitted as part of the Landscape Documentation package and approved by the City of Orange. It shall be the Contractor/Owner's responsibility to evaluate the results of this schedule and adjust the watering schedule as needed to assure plant survival while using the least amount of water possible. The need for water shall dictate the frequency of watering by the automatic sprinkler system. exact amount of moisture replacement shall be governed by current weather conditions, soil type, plant material type, and other environmental and cultural factors as dictated by the project site. Contractor/Owner shall be expected to use minimal amount of water in all areas to sustain healthy plant growth. Plant material shall be watered at such frequency as weather conditions require to replenish soil moisture below root zone. Water run-off across pavements and into gutters shall be avoided. It shall be the Contractor's responsibility to monitor water use as necessary for healthy growth of plant material, conservation of water, and public safety. Where moisture sensing devices are used, continual monitoring will be made to assure units are functioning properly. Hours of scheduled operation will be programmed to prevent possible nuisance from sprinkler operation to pedestrians and vehicles. Any repairs necessary to keep the system operating in its intended designed state shall be made by the Contractor in accordance with the original plans, specifications, and details.

WATER CONSERVATION CONCEPT STATEMENT

March 3, 2021

Project Data:

Project Site: Dental Office
Location: 1936 E. Katella Avenue, Orange, CA 92867
Landscape Architect: LeisureLand
Irrigation Designer: LeisureLand
Total Landscape Area: 6,385 s.f.
Historical Evaporation ETo: 50.1 inches/year
Maximum applied Water allowance: 89,249 gal./year
Estimated Applied Water Use: 73,456 gal./year
Estimated amount of water expected from effective precipitation: non expected
Estimated Total Adjusted Applied Water Use: 73,456 gal./year
The following may be included in this project submittal package, if applicable:
1. Landscape Design Plan
2. Irrigation Design Plan
3. Irrigation Schedule
4. Landscape/Irrigation Audit Schedule
5. Hydro-zone Report(s)

Description of Project:

The particular phase of this project consists of landscaping for a restaurant development in the City of Orange. The landscape is composed of drought tolerant trees and ground covers. There are no areas of turf. The site will be irrigated by a conventional irrigation system of drip emitters. The irrigation plan was designed by LeisureLand, Landscape Architects. The calculations for this Concept Statement, Irrigation Schedule, and Hydro-zone Summary Report were prepared by Environmental Design Systems, Inc., based upon square foot areas for each hydro-zone, GPM per valve, and plant materials.

Comments:

The estimated annual water use has been calculated using an irrigation efficiency of 0.625. This irrigation efficiency may vary in the field. It is dependent upon weather changes, soil types, degree of slopes and accuracy of the manufacturer's literature. Sprinklers may deliver different performances from what is anticipated by the " Water Conservation in Landscaping Act" (AB325), i.e., drip line, when installed per manufacturer's instructions, may not have 62.5% efficiency as anticipated by AB325, this condition exists outside the control of the designer and the preparation of this Concept Statement. The theoretical performance and the irrigation distribution efficiency may not match actual field conditions. Also, estimated annual water use (EAWU) may be subject to change based upon water audit and weather changes.

The maximum allowable water budget has been calculated using the following formula:

MAWA= (ETo)(0.7)(LA)(0.62)
MAWA= maximum allowable water budget (gal./year)
ETo= reference evapo-transpiration (in./yr.) for City of Orange
areas is 50.1 in./yr.
0.7= adjustment factor
LA= landscape area (sq. Ft.)
0.62=conversion factor

PROJECT MAWA: (50.1)(.45)(6,385)(0.62) = 89,249 GAL/YR

The estimated applied water use has been calculated using the following formula:
EAWU= (ETo)(Kt/E)(LA)(0.62)
EAWU= estimated applied water use (gal./yr/)
ETo= reference evapotranspiration (in./yr/)
Los Angeles (Orange) is 50.1 in./yr.
Kt= landscape coefficient (crop coefficient) for trees shrubs, and ground covers is estimated to be 0.3, for lawn 0.6
E= irrigation efficiency, 81%, 75%
LA= landscape area (sq.ft.)
0.62= conversion factor

PROJECT EAWA: Refer to Schedules Below

Maintenance Schedule. It is recommended that during the irrigation season, the irrigation system be checked and repaired once a week replacing any broken heads and realigning them as necessary. Repair of irrigation equipment should be done using the original specified materials. The irrigation controller should be adjusted a minimum of once per month to change the watering time for each valve using the water schedule provided as a guideline. The guideline should be adjusted accordingly as the weather changes.

Irrigation Audit Schedule. In compliance with AB 1881, it is recommended that irrigation audits be performed on this site by a certified landscape irrigation auditor at least once every 5 years.

Water management. Contractor/Owner shall manage water in conjunction with the Irrigation Schedule submitted as part of the Landscape Documentation package and approved by the City of Orange. It shall be the Contractor/Owner's responsibility to evaluate the results of this schedule and adjust the watering schedule as needed to assure plant survival while using the least amount of water possible. The need for water shall dictate the frequency of watering by the automatic sprinkler system. exact amount of moisture replacement shall be governed by current weather conditons, soil type, plant material type, and other environmental and cultural factors as dictated by the project site. Contractor/Owner shall be expected to use minimal amount of water in all areas to sustain healthy plant growth. Plant material shall be watered at such frequency as weather conditions require to replenish soil moisture below root zone. Water run-off across pavements and into gutters shall be avoided. It shall be the Contractor's responsibility to monitor water use as necessary for healthy growth of plant material, conservation of water, and public safety. Where moisture sensing devices are used, continual monitoring will be made to assure units are functioning properly. Hours of scheduled operation will be programmed to prevent possible nuisance from sprinkler operation to pedestrians and vehicles. Any repairs necessary to keep the system operating in its intended designed state shall be made by the Contractor in accordance with the original plans, specifications, and details.

Date:_____ Prepared by:_____

Hydrozone Summary Report

Date: May 26, 2021

Project Site: Dental Office
Project Address: 1936 E. Katella Avenue. Orange, CA 92867
Historical Annual Eto (inches): 50.1
Landscape Area: 6,385 s.f.
Prepared by: LeisureLand
Landscape Architect: Roy Leisure, CA 3154

Valve Sta. No.	Zone Name	Plant Type	Crop Coef.	Irrig. Eff.	Area	Est. Water Usage
				%	sq. ft.	gallons
A1	Landscape	Trees, shrubs, ground cover	0.3	0.81	1842	21,191
A2	Landscape	Trees, shrubs, ground cover	0.3	0.81	2317	26,656
A3	Landscape	Trees, shrubs, ground cover	0.3	0.81	2226	25,609
Totals:					6,385	73,456

25% of historical rainfall: N/A
Total Estimated Water Use (EWU): 73,456
Max. Applied Water Allowance (MAWA): 89,249

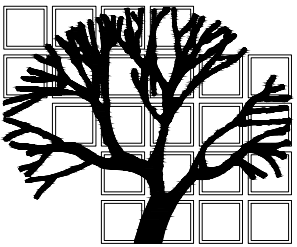
Contractors shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Environmental Design Systems, Inc. of any discrepancies prior to fabrication or construction.

Dental Office

1936 E. Katella Ave.
Orange, CA 92867

Job Title — Address
Owner — Address

These documents are not to be reproduced or used for any other purpose other than originally intended, unless in writing by LeisureLand



LeisureLand

Landscape
Architecture
*
Construction
Management
*

2131 Minoru Drive
Altadena, CA 91001
*
Phone (818) 437-5254
rleisureland@gmail.com

Consultants
These drawings are to be considered preliminary and are not approved for construction until the owner and the Landscape Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents, and conditions as set forth in these documents.

Owner

Landscape Architect

Contractor

Revisions

September 12, 2019
February 6, 2020
February 28, 2020
April 21, 2020
December 4, 2020
January 4, 2021



E. Katella
Job Number

No Scale
Scale

November 12, 2018
Date

Irrigation
Hydrozone
Summary
Sheet Title
Sheet Number

L. 3



Serving the following California Counties: Imperial, Inyo, Los Angeles, Orange, Riverside, San Bernardino, San Diego, Santa Barbara and Ventura.
Underground Service Alert Of Southern California
811 or 800-422-4133

Visit Website

Details

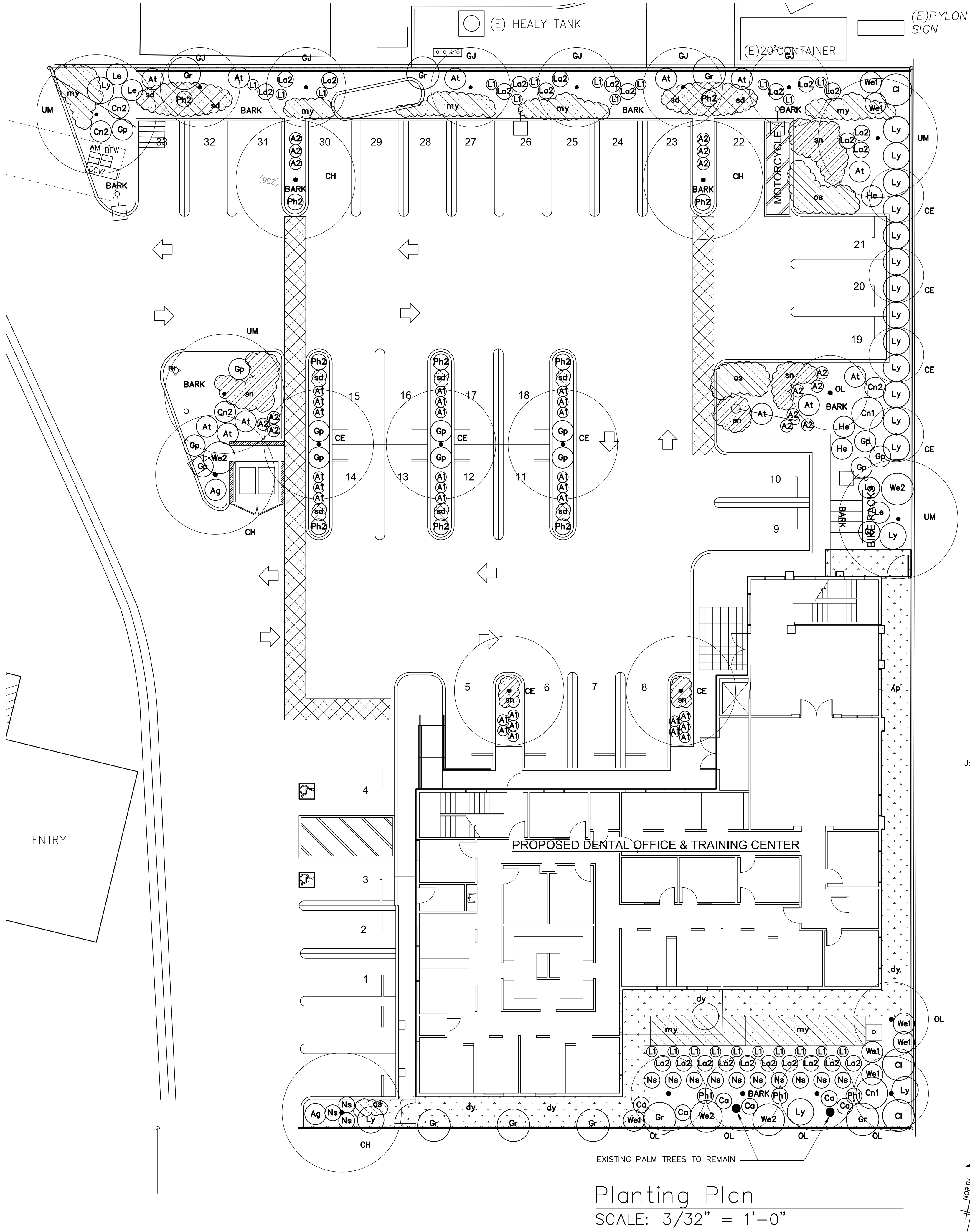
Address:
PO Box 77070
Corona, CA 92877

Hours
M - F 0600-1900

Advanced Notice: 2 working days, not including the date of motivation, but not more than 14 calendar days.

Number of days in advance of a digging project that you need to notify the one call center of your intent to dig.

P L A N T L E G E N D					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	NOTES
TREES					
CE	CERIS CANADENSIS 'OKLAHOMA'	OKLAHOMA REDBUD	24" BOX	9	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
CH	CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	24" BOX	4	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
GJ	GEJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	6	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
OL	OLEA EUROPAEA MONNER	MAJESTIC BEAUTY FRUITLESS OLIVE TREE	24" BOX	6	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
UM	UMBELLULARIA CALIFORNICA	CALIFORNIA BAY TREE	24" BOX	4	REFER TO DETAIL FOR TYPICAL TREE INSTALLATION
SHRUBS					
Ag	AGAVE OVATIFOLIA	WHALES TONGUE AGAVE	5 GAL	2	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
A1	ANGELOZANTHOS 'BUSH RANGER'	DWARF KANGAROO PAW	1 GAL	10	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
A2	ANGELOZANTHOS 'ORANGE CROSS'	ORANGE KANGAROO PAW	5 GAL	13	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
At	ARTEMESIA 'POWIS CASTLE'	POWIS CASTLE WORMWOOD	5 GAL	12	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ca	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	6	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Cl	CALOTHAMNUS QUADRIFIDUS 'SEASIDE'	SEASIDE ONE-SIDED BOTTLEBRUSH	5 GAL	3	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Cn1	CHONDRPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL	2	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Cn2	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	2	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Gp	GREVILLEA LANGIERA 'PROSTRATE'	PROSTRATE WOOLLY GREVILLEA	1 GAL	14	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Gr	GREVILLEA 'LONG JOHN'	LONG JOHN GREVILLEA	5 GAL	8	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
He	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	3	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
L1	LAVANDULA STOECHAS	SPANISH LAVENDER	1 GAL	22	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
La2	LAVANDULA x INTERMEDIA 'PROVENCE'	BLUE LAVANDER	1 GAL	25	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Le	LEONOTIS LEONURUS	LION'S TAIL	5 GAL	4	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ly	LEUCOPHYLLUM LANGMANIAE 'BRAVE RIVER'	BRAVE RIVER TEXAS RANGER	5 GAL	19	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ns	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL	13	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ph1	PHORMIUM 'TITO' PLANT PATENT	BLACK ADDER FLAX	5 GAL	3	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
Ph2	PHORMIUM 'RAINBOW MAIDEN'	RAINBOW MAIDEN NEW ZEALAND FLAX	5 GAL	11	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
We1	WESTRINGIA FRUTICOSA MUNDI	LOW COAST ROSEMARY	1 GAL	7	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
We2	WESTRINGIA 'WYNYABIE GEM'	COAST ROSEMARY	5 GAL	4	REFER TO DETAIL FOR TYPICAL SHRUB INSTALLATION
GROUND COVER					
dy	DYMONDIA MARGARETAE	SILVER CARPET	FLATS		TRIANGULAR SPACING @ 12" ON CENTER
my	MYOPORUM PARVIFOLIUM 'FINE LEAF FORM'	FINE-LEAF GROUND COVER MYOPORUM	FLATS		TRIANGULAR SPACING @ 24" ON CENTER
os	OSCULARIA DELTOIDES	PINK ICEPLANT	FLATS		TRIANGULAR SPACING @ 18" ON CENTER
sd	SEDUM RUPESTRE 'ANGELINA'	GOLDEN SEDUM	FLATS		TRIANGULAR SPACING @ 12" ON CENTER
sn	SENECIO MANDRALISCAE	KLEINIA	FLATS		TRIANGULAR SPACING @ 12" ON CENTER
2" - 3" BARK/MULCH			APPLY TO AREAS NOT COVERED BY PLANTED GROUND COVER	BULK	100% COVERAGE



Planting Plan
SCALE: 3/32" = 1'-0"



Serving the following California Counties: Imperial, Inyo, Los Angeles, Orange, Riverside, San Bernardino, San Diego, Santa Barbara and Ventura.
Underground Service Alert Of Southern California
811 or 800-422-4133

Visit Website

Details

Address:
PO Box 77070
Corona, CA 92877

Hours
M - F 0600-1900

Advanced Notice: 2 working days, not including the date of motivation, but not more than 14 calendar days.
Number of days in advance of a digging project that you need to notify the one call center of your intent to dig.

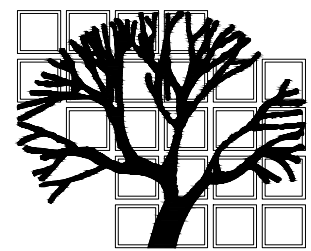
Contractors shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Environmental Design Systems, Inc. of any discrepancies prior to fabrication or construction.

Dental Office

1936 E. Katella Ave.
Orange, CA 92867

Job Title — Address
Owner — Address

These documents are not to be reproduced or used for any other purpose other than originally intended, unless in writing by LeisureLand



LeisureLand

Landscape
Architecture
•
Construction
Management
•

2131 Minoru Drive
Altadena, CA 91001
•
Phone (818) 437-5254
leisureland@gmail.com

Consultants
These drawings are to be considered preliminary and are not approved for construction until the owner and the Landscape Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents, and conditions as set forth in these documents.

Owner

Landscape Architect

Contractor

Revisions	
September 12, 2019	
October 25, 2019	
February 6, 2020	
February 28, 2020	
April 21, 2020	
December 4, 2020	



E. Katella
Job Number

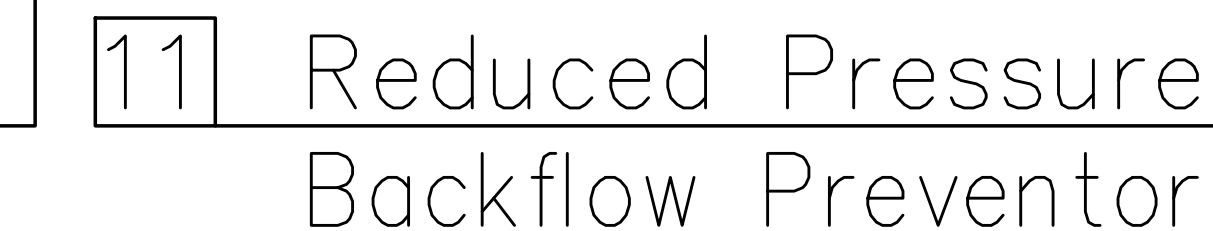
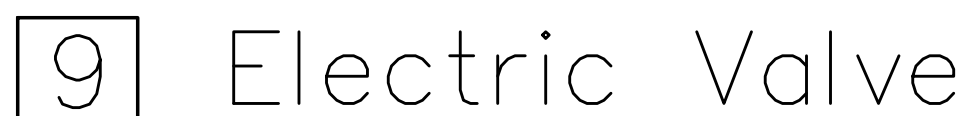
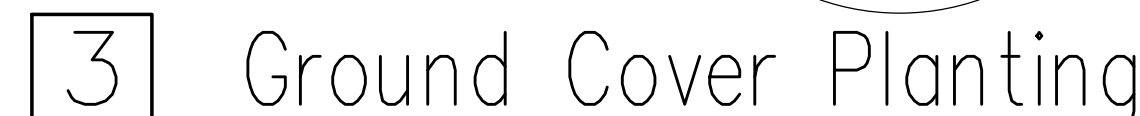
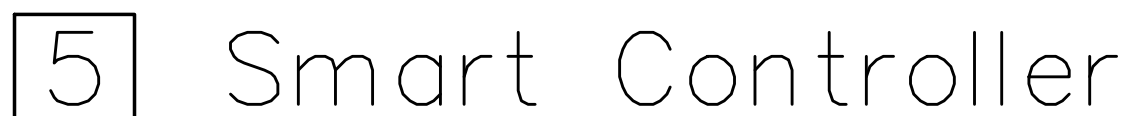
3/32" = 1'-0"
Scale

November 12, 2018
Date

Planting Plan

Sheet Title
Sheet Number

L. 4





Irrigation Notes
General

All irrigation works shall be in accordance with these plans, details, and notes, and all local codes.

Plan is diagrammatic (includes all piping, sleeving, valves, backflow units, quick couplers, and controllers).

Contractor shall verify existing site conditions. If there are any conflicts with plans, the contractor shall notify the Landscape Architect prior to any irrigation installation.

Head layout is designed for head to head coverage. Adjust to fit field conditioned for 100% coverage. Adjust nozzle and R.C.V. to eliminate overthrow and mist.

Contractor shall keep the premises clean and free of excess equipment, materials, and rubbish incidental to his work.

Contractor shall verify P.O.C. and existing static pressure.

Contractor shall adjust all spray heads to avoid overspray onto sidewalk, street, buildings, and walls.

Contractor shall verify 120v service location for controller.

Contractor shall apply, obtain, and pay for all permits necessary to carry out the Scope of Work.

Scope of Work

The contractor shall furnish all material, labor, transportation, equipment, and property and shall perform all operations required for a complete and operable irrigation system as indicated on or reasonable implied in the drawings and/or notes.

Included as a part of the irrigation work, but not limited by it, are the following items: the furnishing, installing and testing of all mainlines, points of connection, lateral lines, risers and fittings, spray heads, backflow preventers, control wires (to valves), electric remote control valves, ball valves, quick couplers, and the excavation, backfill and all other work in accordance with these plans, notes, and details.

Materials
Pipe — All types of pipe materials and fittings shall be as designated on the plans or these specifications.

Plastic Pipe with Solvent Weld Socket or Threaded Fittings — All plastic pipe shall be rigid unplasticized polyvinyl chloride PVC 1220 type 1, grade 2), conforming to ASTM D 1785. The minimum pressure rating shall not be less than the working pressures indicated therein for the schedule and sizes listed. Fittings and couplings for plastic pipe shall be threaded or slip-fitting tapered socket solvent weld type. Threaded adapters shall be provided with socket pipe for connections to threaded pipe. Plastic pipe fittings and couplings shall be minimum Schedule 40 PVC or as specified on the drawings.

Valves — All valves shall be of the size, type, and capacity designated on the drawings. Remote Control Valves — Remote control valves shall be electrically operated. They shall be PVC or brass/bronze with accurately machined valve seat surfaces, equipped with flow control adjustment, and capable of manual operation. They shall be readily disassembled for servicing.

Ball Valves — All ball valves in sizes 2" and smaller shall be of PVC construction. Ball valves 2 1/2" and larger shall be brass/bronze with integral taper seats and non-rising stem.

Quick Coupling Valves and Assemblies — Quick coupling valves shall be brass or bronze with built-in flow control and self-closing valve. When an assembly is specified, it shall consist of the valve, quick coupler key, and swivel ell.

Valve Boxes — All valve boxes and covers shall be ABS plastic.

Backflow Preventer Assembly — The backflow preventer shall consist of a backflow preventer unit and related components conforming to the governing code requirements.

Sprinkler Equipment — Sprinkler heads, bubbler heads and spray nozzles shall be of the types and sizes shown on the plans. Equipment of one type and flow characteristic shall be from the same manufacturer and all equipment shall bear the manufacturer's name and identification code in a position where they can be identified in the installed position.

Controller — The type of control unit shall be installed as specified on the drawings. It shall be fully automatic, with provisions for manual operation, sized to accommodate the number of stations or control valves included in the system. Outdoor models shall be housed in a vandal-proof and weatherproof enclosure with locking cover. All related electrical materials and conduits necessary for 120v connection to the controller all be approved and identified by the Underwriters Laboratories, Inc. (UL). Contractor shall furnish and install all electrical equipment and materials required for a complete electrical system and shall be per local codes and provisions of the latest edition of the National Electrical Code (N.E.C.)

Installation

Install all materials as per plans, notes, and details on these sheets.

Prior to starting work, Contractor shall coordinate sleeving, mainline, and lateral line layout with the General Contractor prior to hardscape installation.

All sleeving shall be SCH 40 PVC pipe 1 1/2 times the diameter of the pipe or as noted per plan. Install sleeving at min. 24" depth where irrigation mainline or laterals cross under pavement. Install control wire in mainline trench. Secure with 10ml tape to the underside of mainline at 10' o.c.

Mainline shall be tested at 125 psi for a period of 4 hours min. Lateral lines under pavement shall be pressure tested at existing static pressure.

Lateral lines shall be set at min. 12" depth, mainline shall be set at a min. 18" depth. All mainline and lateral lines shall be flushed prior to irrigation head installation.

All brass or galvanized connections shall be coated with Teflon tape or red-lube joint compound or approved eq. All PVC threaded connections shall be coated with Teflon tape. All PVC solvent weld connections shall be made with solvent weld materials as recommended by the pipe manufacturer. Solvent weld primer shall be applied to all connections.

Place all valves, including quick couplers, ball valves, and backflow units, in shrub areas unless noted per plan. Install R.C.V. in 10" x 17" rectangular ABS valve box. Install quick couplers, ball valves, end flush valves and Y-filters in 10" round valve boxes. Identify valve to corresponding controller station number with manufactured plastic number tags, Christie or approved eq. and mark valve covers with 6" spray painted numbers. Protect all spray heads from low head drainage with in-line check valves or approved eq.

Place a photostatically reduced and hermetically sealed copy of the 'as built plans' with the controller. Index all valves on the provided panel of the controller.

Turn over all backflow preventer handles, two (2) quick coupler keys and swivel ells and controller keys to the Owner at the end of the maintenance period.

Maintenance and Guarantee

Upon completion of the project, the Contractor shall provide to the Owner the following:

A. A reproducible set of 'as-built' drawings and controller chart.

B. Two (2) quick coupler keys and matching swivel ells.

As-built Drawings — The Contractor shall provide and keep up to date, a complete 'as-built' record set of prints which shall be corrected daily and show every change from the original drawings. Prior to final inspection, the Contractor shall transcribe all information from the 'as-built' set to a reproducible mylar, procured from the Landscape Architect. All work shall be neat and legible, locating the following items from permanent points of reference: ball valves, mainline and control wire routing, P.O.C., backflow device, control valves, controller, quick coupling valves, and other pertinent underground items.

Controller Chart — Upon approval of the final 'as-built' drawings, Contractor shall provide one chart for each controller installed.

A. The chart is to be reduced and hermetically sealed copy of the approved 'as-built' drawing (a black line print reduced to fit the inside dimensions of the controller door, each valve station shall be color coded).

Contractor shall maintain the irrigation system for a period of 90 days and guarantee the system for a one (1) year period.

Maintenance Procedures — The general care and maintenance of the irrigation systems shall consist of the following:

A. Contractor shall maintain the irrigation system in a like new, operating condition, adjusting head heights, throw and spray arcs as necessary.

B. Contractor shall be responsible for proper watering of all planting areas, and shall replace any plant material damaged due to improper moisture distribution.

C. During the course of the maintenance period, the Contractor shall remove surplus materials and debris from the site and shall keep the premises in a neat and clean condition at all times.

D. During the maintenance period, the Contractor shall be responsible for maintaining adequate protection for all irrigation systems. Any damage to areas shall be immediately repaired at the Contractor's expense.

Planting Notes

General

All work shall be in accordance with these plans, notes, details, and all applicable local codes. Plan is diagrammatic. Contractor shall verify site conditions. Any conflicts between the plans and site conditions shall be identified by the Contractor who shall notify the Landscape Architect prior to any planting installation.

The irrigation system shall be installed complete and operable prior to any planting installation, except as noted in these specifications.

Contractor shall verify quantities by plan check. The Contractor shall be responsible for all quantities shown on the plan. Shrub and ground cover quantities specified may not reflect quantities drawn.

Plant substitutions will be allowed only with written approval from the Landscape Architect. Contractor shall be responsible for delivery coordination of all materials required by these plans, notes, and details.

Scope of work

The Contractor shall furnish all material, labor, transportation, equipment, and property in order to complete the landscaping of all planting areas indicated, or reasonable implied, on the drawings and/or notes.

Included as a part of the planting installation, but not limited to, are the following items: Clear and grub all proposed landscape areas; import soil, fine grading of all planting areas; preparation of all planting holes; furnishing and installation of all required planting backfill and soil amendment materials, mulch, and miscellaneous materials; furnishing and installing all plant materials; providing maintenance throughout the specified period; clean-up and weeding of all landscape areas; guarantee of all plant materials and workmanship for a period of 90 days.

Materials

All plant materials shall be of select "A-1" quality and have a growth habit normal to the species and shall be sound, healthy, vigorous and free from insect pests, plant diseases, sun scalds, fresh bark abrasions, excessive abrasions, or other objectionable disfigurements. All plants shall have normal well-developed branch systems, and vigorous and fibrous root systems which are neither root nor pot-bound and are free of kinked or girdling roots. All plants shall be true to species and variety. All materials shall be provided be a certified nursery and shall be free of any pest or disease. The Owner's representative reserve the right to reject any unsuitable or objectionable plant material.

Trees and Shrubs — All plant materials shall be of the specified type and size, selected from high quality well-shaped nursery stock.

Flattened Plants — All ground cover plants and other flattened plants shall be grown and remain in the flats until transplanted at the site. The soil and spacing of the plants in the flat shall insure the minimum disturbance of the root system at time of transplanting.

The Contractor shall keep all plant material delivered to the site in a healthy condition for planting. Plants shall not be allowed to dry out.

Topsoil — Top soil shall be Class 'A' with the same relative composition and structure representative of the soils in the vicinity; a friable sandy loam character, and be free of roots, clods, and stones larger than 1 inch in greatest dimension; pockets of coarse sand, noxious weeds, sticks, slag, brush and other litter. It shall not be infested with nematodes or other undesirable insects and plant disease organisms. Topsoil pH range shall be 5.3 to 6.0. Import soil shall be a chemically suitable sandy textured import soil with a silt plus clay content not to exceed 20% by weight with a minimum 95% passing the 2.0 millimeter sieve. The sodium absorption ratio (SAR) shall not exceed 6 and the electrical conductivity (ECE) of the saturation extract of the soil shall not exceed 3.0 mmhos/cm at 25 degrees Centigrade. The Boron content shall be no greater than 1 ppm as measured on the saturation extract. If the Boron content is found to be greater than 1 ppm after import soil has been planed, the Contractor shall be responsible for appropriately amending the Boron content at no cost to the Owner. The method of amendment shall be approved by the Landscape Architect, Soils Engineer, and City Engineer.

Agronomic Soils Test — Contractor shall obtain and submit for approval, a written agronomic soils test report from a state registered testing agency for all imported and site topsoil to be used on the site. Test report shall list recommended soil amendments and preparation to insure adequate plant growth. Contractor shall adjust his bid according to the recommendations listed in the soils test report.

Fertilizers — All fertilizing materials shall comply with applicable requirements of the State Agricultural Code. All fertilizing materials shall be packaged, first grade, commercial quality products identified as to source, type of material, weight and manufacturer's guaranteed analysis. Fertilizing material shall not contain toxic ingredients or fillers in quantities harmful to human life, animals, or plants.

Commercial Fertilizers — Commercial fertilizer shall be a pelletized or granular product having a chemical analysis as specified on the plans or in these specifications.

Organic Soil Amendment — Organic soil amendment shall be a well composted organic base produced from a ground or processed wood product such as redwood, fir or cedar sawdust.

Installation

Install all materials as per plans, notes, and details.

Planting areas shall be free of weeds and other extraneous materials to a depth of 12 inches below finish grade before topsoil work.

Contractor shall be responsible for finish grade, including any import soil adjustments to earth berms and slope shapes.

Provide finish grade in planting areas at a minimum 2% gradients. Finish grades shall be 2" below adjacent walks, curbs, driveways, etc. in ground cover areas.

Finish Grade — The finish grade shall be smooth, uniform, and free of abrupt grade changes and depressions to insure surface drainage. All planted areas shall be roled and smoothed to the required grades and contours prior to plant installation. Finish surfaces shall be clean and suitable for planting.

Allow the Landscape Architect to adjust plant locations prior to any planting.

All landscaped areas shall be planted with ground cover as shown on the plans. Ground cover shall be rooted tip cuttings from flats and shall be planted in staggered rows continuously between all trees and shrubs in the areas designated on the plans and at the spacing indicated in the plant legend.

Amend all plant areas as follows:

*Soil specifications provided for bid purposed only. Contractor shall adjust amendments and bid based upon lad soil test provided by the Contractor. Test and report shall be from a certified soils laboratory and shall provide a complete regular analysis, organic matter content, and textural characteristics. Prior to construction, the Contractor shall submit a copy of the final soils report to the Landscape Architect for review and approval. Soil testing shall be administered at a rate of 1 per 4,000 s.f. of landscaped area.

A.* Soil improvement for all planter areas:

1. Rototill the following amendments 6-8" deep and irrigate thoroughly"

3 cu. yds. of well composted organic matter.

150 lbs. 3-1-2, commercial fertilizer/1000s.f.

25 lbs. agricultural gypsum/1000s.f.

B.* Backfill mix for trees, shrubs, and vines shall be as follows:

80% by volume native on-site soil

20% by volume well composted organic matter

21 gram commercial fertilizer tablets added to backfill as follows:

1 gallon — 1 tablet

5 gallon — 3 tablets 1 tablet for every 1/2" of tree trunk dia.

15 gallon — 5 tablets

24" box — 7 tablets

Plant Installation — Planting holes shall be approximately square with vertical sides and twice the width of the plant container or ball, and shall be larger if necessary to permit handling and planting without injury or breakage of the root ball or root system. Any plant with a broken or cracked root ball before or during planting shall not be planted but replaced by the contractor.

The native soil at the bottom of the planting holes shall be scarified to a depth of 4 inches.

All planting holes shall be backfilled with a prepare soil mix as specified on the drawings and in these specifications. After planting, the plant shall be plumb with the root crown at its natural growing depth with respect to finish grade. Backfill shall be thoroughly water-settled and additional prepared soil mix added to fill any remaining void below finish grade. A circular watering basin slightly larger than the planting hole shall be left around the plant. The bottom of the basin shall be at approximately finish grade or slightly lower. Mulch shall be spread at least 1 inch thick in the basin. The area around plants shall be regarded to finish grade. The excess soil shall be disposed of by the Contractor. All trees shall be staked and guyed per details.

Mulch — All landscaped areas, other than those areas planted with ground cover from flats, shall be mulched with an organic bark mulch at a min. two inch (2") depth. Bark shall be of a relative uniform particle size with a median size greater than 2" in diameter. All plant material shall be replaced if expiration is due to a material or installation defect which occurs within the first 90 days after completion and acceptance by owner. Replace with equivalent size and species within thirty days.

Plant material shall be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant. Plants shall be pruned or trimmed to achieve, for example, height clearance for visibility, pedestrian/vehicular passage, a continuous opaque hedge or any other forms as required per specifications.

Regular landscape maintenance shall insure water efficiency and include, but not limited to, pruning, mulching, weeding, litter removal, and fertilizing nonnative plant materials.

Maintenance and Guarantee

The maintenance period shall commence upon the Owner's and the Landscape Architect's written approval of all phases of planting installation and shall be for ninety (90) continuous calendar days. For bid purposes only: maintenance work shall include a minimum two (2) fertilizer applications to all planting areas during the maintenance period. At the first sign of a deficiency, up to 30 days, the Contractor shall provide a minimum of one soils sample test from ground cover areas to determine the requirements for fertilization application.

The Contractor shall provide a 90 day guarantee on all plant materials. Maintenance Procedures — the general care and maintenance of all areas shall consist of proper watering, fertilization, weeding, clean-up, and as follows:

A. Cultivate and weed at not less than ten (10) working day intervals.

B. Approximately 30 days after initial planting, apply 150 lbs. 3-1-2, commercial fertilizer per 1000 s.f. apply and thoroughly irrigate. The second application using the above

specified fertilizer at the same rate shall be applied in another 60 days or just before maintenance period ends. Fertilization recommendations from soils test take precedence.

C. Contractor shall maintain the irrigation system in a like new, operating condition, adjusting head heights, throw and spray arcs as necessary. The Contractor shall be responsible for proper watering of all planting areas, and shall replace any plant materials damaged due to improper moisture.

D. Any concentrated development of weed growth that may appear in planting areas during the maintenance period shall be removed at thirty (30) day intervals. The Contractor may elect to remove such concentrations of weeds manually or by an approved herbicide program. The Contractor shall consult the Landscape Architect prior to using any herbicide.

E. During the course of the maintenance work, the Contractor shall remove surplus materials and debris from the site and shall keep the premises in a neat and clean condition at all times.

F. During the maintenance period, the Contractor shall be responsible for maintaining adequate protection for all planting areas. Any damage to areas shall be immediately repaired at the Contractor's expense.

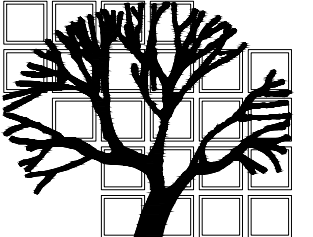
Contractors shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Environmental Design Systems, Inc. of any discrepancies prior to fabrication or construction.

Dental Office

1936 E. Katella Ave.
Orange, CA 92867

Job Title — Address
Owner — Address

These documents are not to be reproduced or used for any other purpose other than originally intended, unless in writing by LeisureLand



LeisureLand

Landscape
Architectre

Construction
Management

2131 Minoru Drive
Altadena, CA 91001

Phone (818) 437-5254
leisureland@gmail.com

Consultants

These drawings are to be considered preliminary and are not approved for construction until the owner and the Landscape Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Contractor below by Owner and Contractor indicate a complete review and knowledge of the scope, contents, and conditions as set forth in these documents.

Owner

Landscape Architect

Contractor

Revisions

September 12, 2019

February 6, 2020

February 28, 2020

April 21, 2020

December 4, 2020

January 4, 2021



E. Katella

Job Number

No Scale

Scale

November 12, 2018

Date

Irrigation
Specs

Sheet Title
Sheet Number

L.6



Serving the following California Counties: Imperial, Inyo, Los Angeles, Orange, Riverside, San Bernardino, San Diego, Santa Barbara and Ventura.

Underground Service Alert Of Southern California

811 or 800-422-4133

Visit Website

Details

Address:

PO Box 77070
Corona, CA 92877

Hours

M - F 0600-1900

Advanced Notice: 2 working days, not including the

date of motivation, but not more than 14 calendar days.

Number of days in advance of a digging project that you need to notify the one call center of your intent to dig.



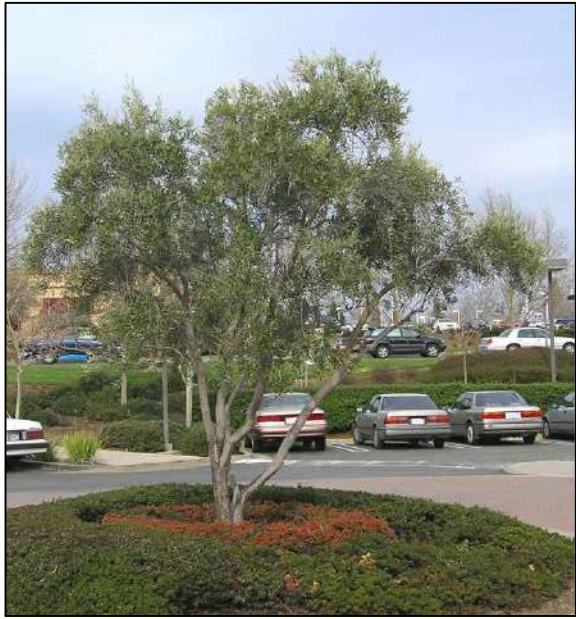
REDBUD TREE



CHITALPA TREE



AUSTRALIAN WILLOW TREE



FRUITLESS OLIVE TREE



CALIFORNIA BAY TREE

L E G E N D			
COMMON NAME	SIZE		
OKLAHOMA REDBUD	24" BOX	RED YUCCA	5 GAL
PINK DAWN CHITALPA	24" BOX	SPANISH LAVENDER	1 GAL
AUSTRALIAN WILLOW	24" BOX	BLUE LAVENDER	1 GAL
MAJESTIC BEAUTY FRUITLESS OLIVE TREE	24" BOX	LION'S TAIL	5 GAL
CALIFORNIA BAY TREE	24" BOX	BRAVE RIVER TEXAS RANGER	5 GAL
		MEXICAN FEATHER GRASS	1 GAL
		BLACK ADDER FLAX	5 GAL
		RAINBOW MAIDEN NEW ZEALAND FLAX	5 GAL
WHALES TONGUE AGAVE	5 GAL	LOW COAST ROSEMARY	1 GAL
DWARF KANGAROO PAW	1 GAL	COAST ROSEMARY	5 GAL
ORANGE KANGAROO PAW	5 GAL		
POWES CASTLE WORMWOOD	5 GAL	SILVER CARPET	FLATS
FEATHER REED GRASS	5 GAL	PROSTRATE WOOLLY GREVILLEA	1 GAL
SEASIDE ONE-SIDED BOTTLEBRUSH	5 GAL	FINE-LEAF GROUND COVER MYOPORUM	FLATS
LARGE CAPE RUSH	5 GAL	GOLDEN SEDUM	FLATS
SMALL CAPE RUSH	5 GAL	KLEINIA	FLATS
LONG JOHN GREVILLEA	5 GAL		



WHALE'S TOUGUE AGAVE



DWARF KANGAROO PAW



ORANGE KANGAROO PAW



WORMWOOD



FEATHER REED GRASS



SEASIDE BOTTLEBRUSH



LARGE CAPE RUSH



SMALL CAPE RUSH



GREVILLEA LONG JOHN



RED YUCCA



SPANISH LAVENDER



BLUE LAVENDER



LION'S TAIL



TEXAS RANGER



MEXICAN FEATHER GRASS



BLACK ADDER FLAX



RAINBOW MAIDEN FLAX



LOW COAST ROSEMARY



COAST ROSEMARY



SILVER CARPET GROUND COVER



PROSTRATE WOOLLY GREVILLEA



FINE-LEAF MYOPORUM



GOLDEN SEDUM



KLEINIA

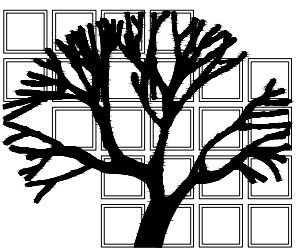
Contractors shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Environmental Design Systems, Inc. of any discrepancies prior to fabrication or construction.

Dental Office

1936 E. Katella Ave.
Orange, CA 92867

Job Title — Address
Owner — Address

These documents are not to be reproduced or used for any other purpose other than originally intended, unless in writing by LeisureLand



LeisureLand

Landscape
Architecture

Construction
Management

2131 Minoru Drive
Altadena, CA 91001

Phone (818) 437-5254
rleisureland@gmail.com

Consultants

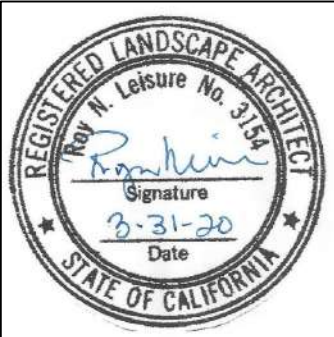
These drawings are to be considered preliminary and are not approved for construction until the owner and the Landscape Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents, and conditions as set forth in these documents.

Owner

Landscape Architect

Contractor

Revisions



E. Katella

Job Number

No Scale

Scale

October 25, 2019

Date

Plant
Reference
Plant

Sheet Title

Sheet Number

L. 7