

HILBERT MUSEUM OF CALIFORNIA ART RENOVATIONS



September 2021

In Association with:

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INTRODUCTION

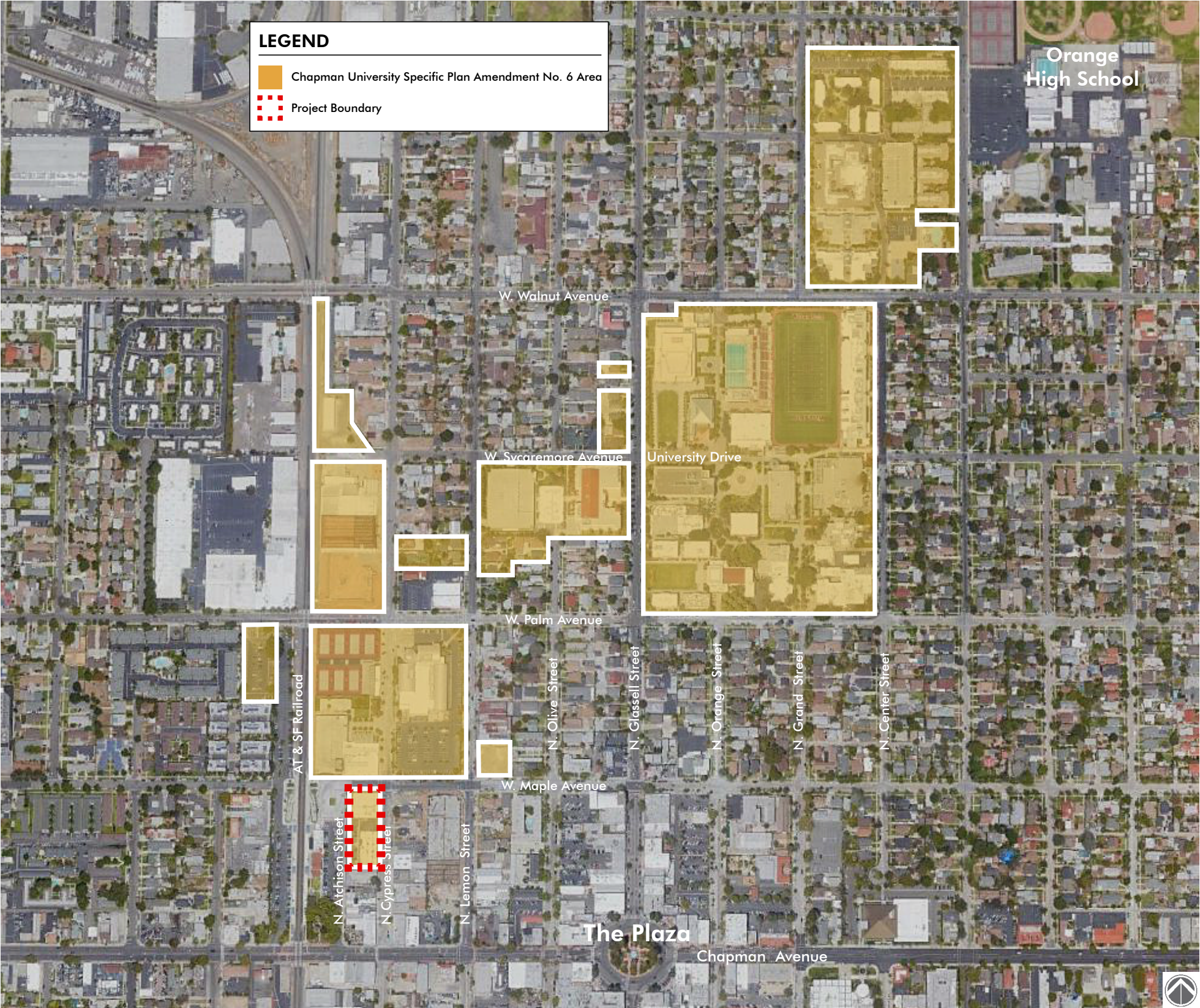
The Hilbert Museum of California Art (HMCA) Renovations project is located on N. Atchison Street in the City of Orange, between W. Maple Avenue and Chapman Avenue and directly across the street from the Orange Transportation Center. The project encompasses the existing HMCA and Judith A. Partridge Dance Center parcels, in the southwest portion of the Chapman University campus.

Regional access to the project site is available from four freeways: Orange Freeway (Route 57), Garden Grove Freeway (Route 22), Costa Mesa Freeway (Route 55) and Riverside Freeway (Route 91). Local access to the site is available from N. Atchison Street, N. Cypress Street, W. Maple Avenue, and Chapman Avenue.

The project is within the Academic 2 planning area of the Chapman University Specific Plan and is subject to the regulations and standards of the adopted Chapman University Specific Plan Amendment No. 6. The project site is also situated within the boundaries of the National Register of Historic Places’ Old Towne Orange Historic District and the City’s local Old Towne Orange Historic District; therefore, it is subject to the Historic Preservation Design Standards for Old Towne. Both the existing HMCA and Partridge Dance Center buildings are non-contributing structures.

The project is also within the Santa Fe Depot Specific Plan (SFDSP) boundary. Although the SFDSP sets forth policies for the site, it acknowledges that development will be governed by the regulations and standards of the Chapman University Specific Plan. The project is consistent with the Urban Design Framework established in the SFDSP.

Implementation of the project will require approvals of Minor Site Plan Review, Design Review, and Lot Line Adjustment requests. The project is covered under the certified Chapman University Specific Plan Amendment No. 5 Environmental Impact Report (EIR). As such, no additional environmental documentation is required.



PROJECT BACKGROUND

MISSION OF HILBERT MUSEUM OF CALIFORNIA ART

“Deeply committed to the art of visual storytelling, the Hilbert Museum of California Art at Chapman University’s mission is to engage, educate, entertain and inspire visitors of all ages; enriching appreciation and understanding of the unique history, people and places of California through a continuously changing program of dynamic exhibitions, publications, lectures, concerts and other public programs.”

(<https://www.hilbertmuseum.com/missionvision>)

The HMCA opened in 2016 as Chapman University’s first freestanding museum space. Open to public, the museum welcomes more than 30,000 visitors a year to view its superlative collection, which focuses on 20th- and 21st-century representational art by California artists. The museum is currently housed in the former Finley Building, an industrial structure of 10,000 square feet dating from 1971. The building was renovated and converted to museum use (7,500 square feet) and a dance studio (2,500 square feet) in 2016. The building was re-oriented to N. Atchison Street, and the façade was substantially redesigned with prominent signage to announce the museum. The new orientation embraced the building’s unique setting adjacent to the Orange Transportation Center, in the heart of the Old Towne Historic District. The museum’s location near Chapman University’s Dodge College of Film and Media and Digital Media Arts Center also reinforces HMCA’s ties with the art and history departments of Chapman University.

Mark and Janet Hilbert first began collecting their California Scene paintings in 1992 while visiting a consignment store, looking for items to furnish their desert home. Over the years, they have collected “a large variety of subject matter, including California Scene paintings, still lifes, landscapes, western art and portraits in different mediums, including oils, watercolors, pastels, mixed media, drawings and lithograph” (<https://www.hilbertmuseum.com/the-hilberts>). The collection features a variety of artists working in California between the years 1918 through 1980, representing images of ordinary

people experiencing everyday life in California. Millard Sheets, Barse Miller, Phil Dike, and Burr Singer are among some of the California Scene artists represented in the HMCA collection today.

The proposed HMCA Renovations project will allow for the preservation, documentation, and showcasing of many works acquired by the Hilberts

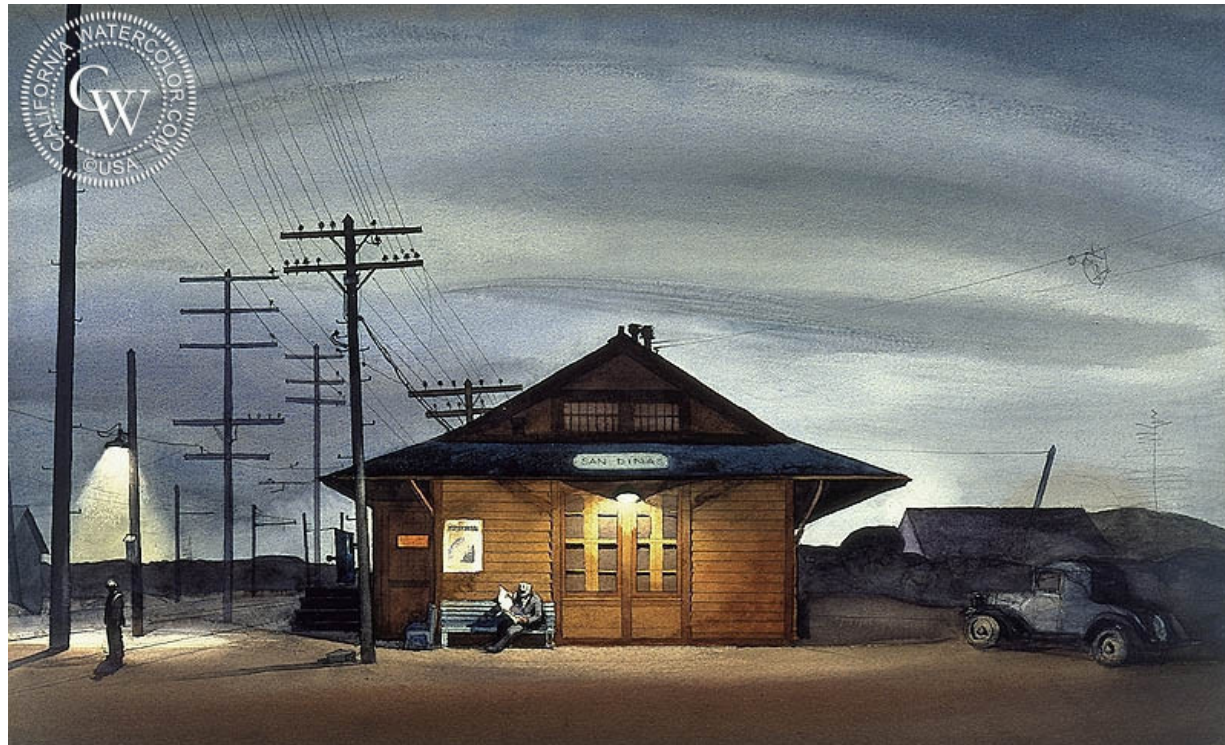
over the years. Open to the public, the renovated HMCA will house the permanent Hilbert Collection which will be the focal point for discovering and understanding the aesthetic and historical significance of California representational art. The project will also provide functional space for University programming and community uses.



Janet and Mark Hilbert



Rex Brandt (1914-2000) - *After Class At Campo*



Millard Sheets (1907-1989) - *San Dimas Train Station*



Burr Singer (1912-1992) - *Touch-Up*



Phil Dike (1906-1990) - *Sunday Afternoon in the Plaza de Los Angeles*



Barse Miller (1904-1973) - *If I had the Wings of an Angel*



Edouard Vysekál (1890-1939) - *Intramovement*

DESIGN INSPIRATION

The design concept for the HMCA Renovations project has a deep connection to the art and architecture of Southern California. The approach is contextual and embraces the buildings’ straightforward forms and the site’s industrial setting within Old Towne Orange. The buildings’ minimalist façades are consistent with this design attitude, but also connect to the purpose and use of the buildings themselves, to Orange proper, and to California history.

The project incorporates the work of one of California’s most significant producers and promoters of public art, Millard Sheets. Born and raised in Pomona, California, Mr. Sheets was an artist and a teacher. He was known worldwide for his famous watercolor and oil scene paintings and mosaic tile works, such as *Rainbow Towers* in Hawaii, *Word of Life* at the University of Notre Dame, and *Tenement Flats* that was hung in the White House by

President Franklin Roosevelt and is currently housed in the Smithsonian Art Museum.

Mr. Sheets was commissioned in 1955 by Howard F. Ahmanson to design more than 40 Home Savings and Loan branches that featured large mosaics on building exteriors depicting the Southern California heritage. At the time of his hiring, Mr. Ahmanson told Mr. Sheets: *“I want buildings that will be exciting seventy-five years from now.”* Some 80 buildings were eventually designed by Mr. Sheets. Today, these mosaics can be seen on what are now known as the Chase Bank buildings. The Millard Sheets mosaic to be featured in Orange was located in Santa Monica and saved from destruction by the Hilberts. Its installation at HMCA is integrated within the neutral, modern building design which places art at the forefront instead

of the building being the sole focus. Mr. Sheets also believed—as do the Hilberts and Chapman University—that art and architecture should be seen and experienced by the public. The proposed open courtyard, accompanied sculptures, garden landscape and furnishings welcome visitors to Orange and celebrates this intent.

It is also worth noting that one of Millard’s close friends, renowned architect Welton Becket (who designed the Capital Records building in Hollywood and worked with Mr. Sheets during this era) has a strong presence in Orange, having designed the City Hall among other buildings within the City. This authentic relationship to California history was most appropriate for the project’s design intent and will contribute to the rich architectural heritage of Orange.



Millard Sheets Mosaic at Former Home Savings and Loan Branch on Wilshire Boulevard in Santa Monica, CA



Everson Museum of Art in Syracuse, NY



Colby College Museum of Art in Waterville, ME



Casa Barragan in Mexico City by Luis Barragan



Orange City Hall in Orange, CA Designed by Welton Becket



Rubell Museum in Miami, FL



Former Home Savings and Loan Branch in Burbank, CA Designed by Millard Sheets



Eskenazi Museum of Art at Indiana University in Bloomington, IN

PROJECT LOCATION AND SURROUNDING USES

The HMCA project site includes the existing HMCA located at 167 N. Atchison Street (APN 039-171-11) and existing Partridge Dance Center located at 190 N. Cypress Street (APN 039-171-09). The site is bounded by N. Cypress Street to the east, N. Maple Avenue to the north, and N. Atchison Street to the west. The existing zoning designation is Public Institution (Specific Plan), within the Chapman University Specific Plan area.

The project site is surrounded by a mix of academic, industrial, residential, commercial, and transit uses, including the following:

- **West:** Orange Transportation Center (home to the historic Santa Fe Depot and the Orange station of the Metrolink rail line) and Ruby's Diner directly across N. Atchison Street (Old Towne Mixed Use-15 [Specific Plan] Zone, within the Santa Fe Depot Specific Plan area).
- **North:** Chapman University's Digital Media Arts Center, West Campus Parking Structure, and Lastinger Tennis Center; The K Residence Hall, Villa Park Orchards (VPO) Packing House, and Crean Hall are located further to the north beyond Palm Avenue (Public Institution [Specific Plan] Zone, within the Chapman University Specific Plan area).
- **Northeast:** Chapman University Marion Knott Studios and Knott Studios Parking Lot (Public Institution [Specific Plan] Zone, within the Chapman University Specific Plan area).
- **East:** FIX Auto Collision auto service and three single-family residences across N. Cypress Street (Old Towne Mixed Use-15 (Specific Plan) Zone, within the Santa Fe Depot Specific Plan area), and the Old Towne West Metrolink Parking Structure to the southwest of W. Maple Avenue and N. Lemon Street (Public Institution [Specific Plan] Zone, within the Santa Fe Depot Specific Plan area).
- **South and southeast:** General industrial uses (Old Towne Mixed Use-15 [Specific Plan] Zone, within the Santa Fe Depot Specific Plan area).



AERIAL PHOTOGRAPH



SITE PHOTOGRAPHS



1 Looking northeast at Hilbert Museum main entry from parking lot



2 Looking east at Hilbert Museum from N. Atchison Street



3 Looking southeast at Hilbert Museum and parking area from N. Cypress Street



4 Looking northwest at Hilbert Museum on N. Cypress Street



5 Looking northeast towards West Campus Parking Structure, Partridge Dance Center and Hilbert Museum



Site Photo Key Map

SITE PHOTOGRAPHS



6 Looking east at Partridge Dance Center west entry on N. Atchison Street



7 Looking northwest at Partridge Dance Center east entry on N. Cypress Street



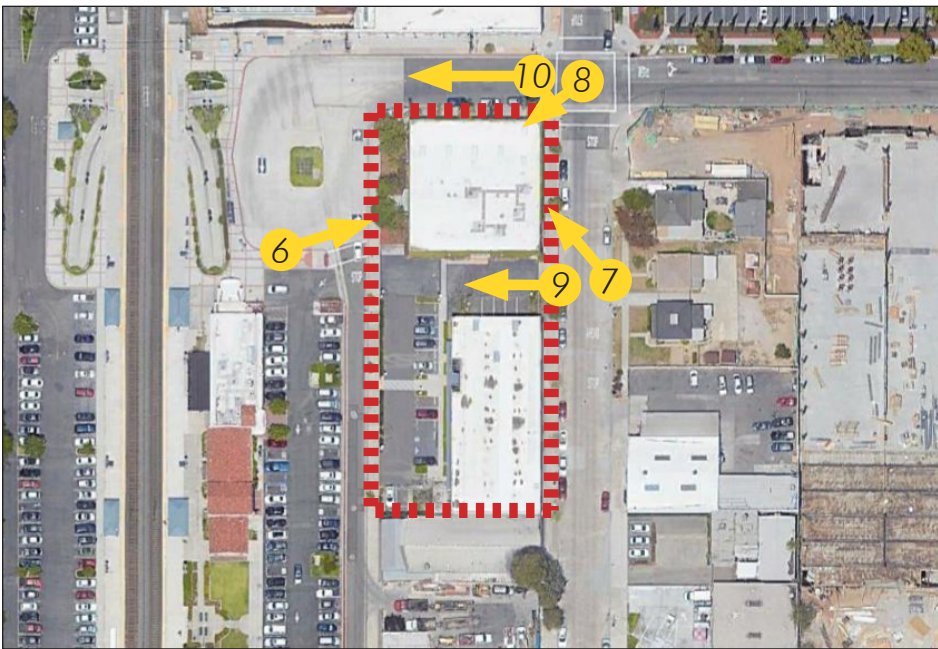
8 Looking southwest at Partridge Dance Center on W. Maple Avenue



9 Looking west at the parking area between Partridge Dance Center and Hilbert Museum from N. Cypress Street



10 Looking west towards train tracks and OCTA Bus turnout on W. Maple Avenue



Site Photo Key Map

SURROUNDING AREA PHOTOGRAPHS



11 Looking south towards Orange Transportation Center from the intersection of N. Atchison Street and W. Maple Avenue



12 Looking north on N. Atchison Street



13 Looking southwest at Ruby's Diner and The Streamliner Lounge on N. Atchison Street



14 Looking northwest towards West Campus Parking Structure from the intersection of N. Atchison Street and W. Maple Avenue



15 Looking northwest towards Partridge Dance Center and DMAC on W. Maple Avenue, from the top level of Old Towne West Metrolink Parking Structure



Site Photo Key Map

SURROUNDING AREA PHOTOGRAPHS



16 Looking east at single family residences on N. Cypress Street, with Old Towne West Metrolink Parking Structure in the background



17 Looking east at FIX Auto Collision on N. Cypress Street



18 Looking north on N. Cypress Street



19 Looking east on N. Maple Avenue



20 Looking northeast at Marion Knott Studios' south façade and Knott Studios Parking Lot



Site Photo Key Map

PROJECT OVERVIEW

The existing HMCA building was originally designed as a temporary location to house the Hilbert Collection of California Art. The HMCA Renovations project proposes to renovate the existing HMCA building (herein referred to as the “South Building”) and adjacent Partridge Dance Center building (herein referred to as the “North Building”), as well as construct a new courtyard between the two buildings, to become the permanent location for the HMCA. The Partridge Dance Center currently occupying the North Building will be relocated to the VPO Packing House approximately two blocks to the north.

The HMCA Renovations project will provide an intimate and accessible venue for the public to view the more than 3,000 pieces of art in the Hilbert Collection of California Art. The project proposes renovations to increase the existing museum space and create an inviting and intuitive-to-navigate interior, allowing the HMCA to exhibit more of its permanent collection. The renovated museum will include gallery space, offices, meeting rooms, a café, a library, foyers, restrooms, storage, and support facilities. An open-air courtyard adjoining the two buildings will be accessible to the public and provide entry points into the HMCA. Exterior renovations are sensitively designed to provide visual and physical connections while addressing compatibility with the scale, character, and context of the surrounding areas.

Located across the street from the Orange Transportation Center, the proposed project has the potential to play an important role in the development of an arts/cultural district in Old Towne Orange, creating a community amenity that will provide a pedestrian connection between the Orange Transportation Center and Old Towne Orange. The project will also fortify the HMCA’s ties to the academic and intellectual life of Chapman University, enhancing its role as an entry to the western section the campus where the Dodge College of Film and Media/Marion Knott Studios, Digital Media Arts Center, Partridge Dance Center, and other University facilities are located.

As described below, the HMCA Renovations project will create an environment that is beneficial to both the community and Chapman University by locating the museum venue and the courtyard where they can be easily accessed by the public, and transforming the streetscape on N. Atchison Street to provide an interesting interface between the Orange Transportation Center, Old Towne Orange, and Chapman University. The proposed project is consistent with the goals and provisions of the Chapman University Specific Plan and will contribute to the realization of the City’s vision for the historic Santa Fe Depot area.

EXTERIOR RENOVATIONS

The HMCA Renovations project will convert approximately 4,300 square feet of the existing parking area between the North and South Buildings into an open-air courtyard, as well as transform the streetscape to strengthen the HMCA’s presence in its urban context, particularly along the western façades and forecourt facing N. Atchison Street. The project will incorporate, as an exterior frontispiece and public art element, a large restored mosaic entitled *Pleasures Along the Beach* by the noted Californian artist Millard Sheets. This iconic mosaic, composed of Murano glass and ceramic tiles and measuring 40 feet by 16 feet, was a historic landmark on a former Home Savings and Loan building located at the corner of 26th Street and Wilshire Boulevard in Santa Monica for nearly 50 years. It was removed and donated to the HMCA in 2019. As an important art piece that celebrates Southern California’s heritage and influence on mid-20th century art, the Millard Sheets mosaic on the west façade of the proposed courtyard structure will greet visitors arriving into the City from the Orange Transportation Center, as well as train riders who are passing through. Additionally, the project will install two sculptures outside the buildings, including *Fountain Family Group* by Richard Ellis and *Child on Dolphin* by John Edward Svenson. These art pieces are in the HMCA Collection and currently in storage nearby. The project will create a new environment where special art pieces can be viewed up close in person by the public. Four open-air urban markers and the open-air courtyard structure will serve as a visual invitation to the public to come and explore the museum. Each urban marker and structure has a specific function, but all will incorporate unifying materials.

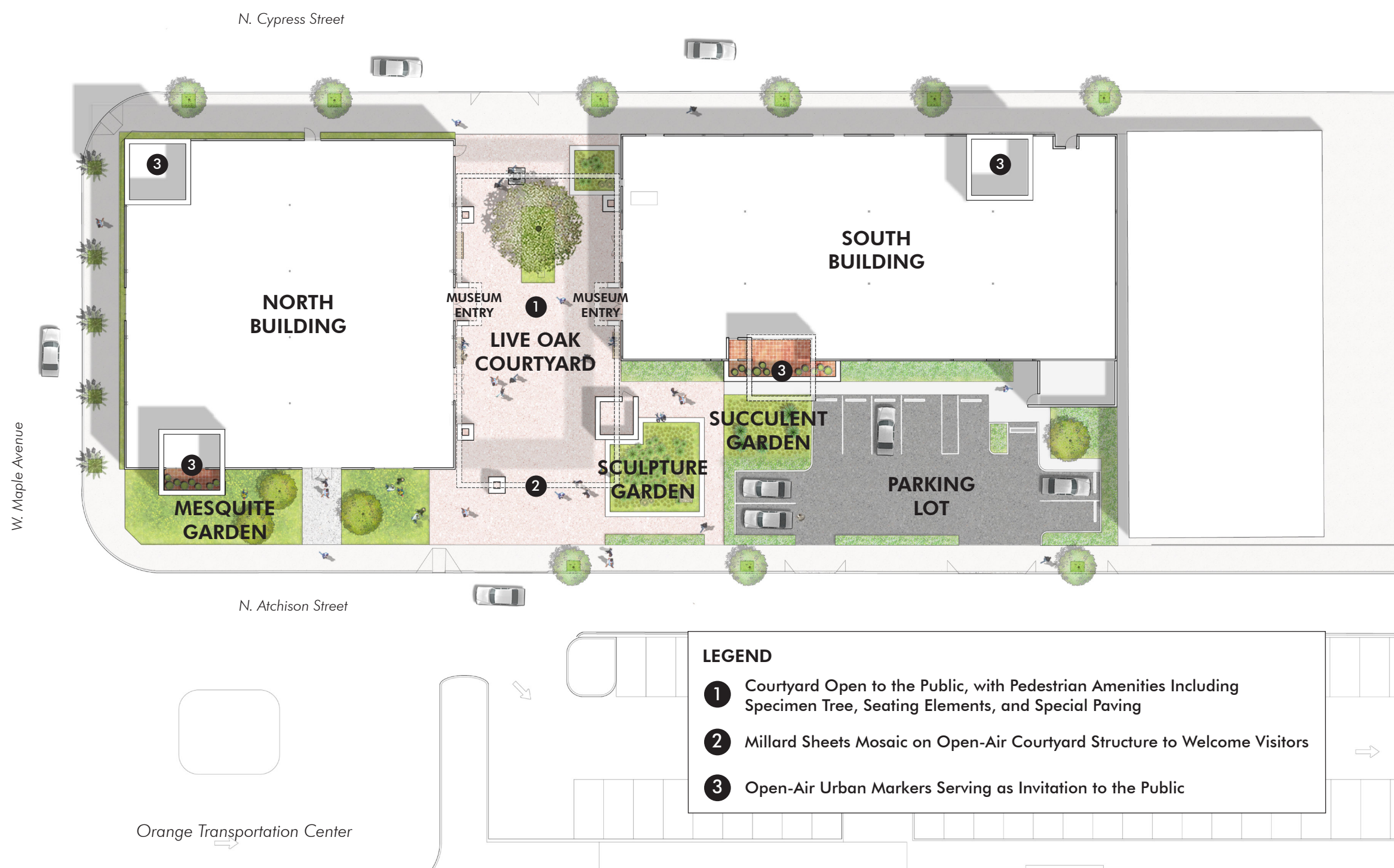
PROJECT STATISTICAL SUMMARY

	North Building	South Building	Total
Use	Museum and Ancillary Uses		
Project Site Area	37,489 SF / 0.86 Acre (No Change)		
Gross Bldg. SF	10,000 SF (No Change)	10,275 SF (No Change)	20,275 SF (No Change)
Project FAR	0.54 (No Change)		
Campus FAR	0.61 (No Change)		
No. of Stories	1 Story (No Change)	1 Story (No Change)	--
Building Height	17 Feet 6 Inches (Existing Building)/ 30 Feet 6 Inches at Proposed Courtyard Walls & Urban Markers	19 Feet 6 Inches (Existing Building)/ 30 Feet 6 Inches at Proposed Courtyard Walls & Urban Markers	--
Building Coverage	54% (No Change)		
Landscape Area	11,970 SF: 5,590 SF Softscape+6,380 SF Decorative Hardscape (Existing: 6,296 SF)		
Landscape Coverage	32% (Existing: 17%)		
Parking Lot	3,697 SF; 9 Parking Spaces (Existing: 10,725 SF; 19 Parking Spaces)		

ILLUSTRATIVE SITE PLAN

Chapman University
Marion Knott Studios
& Parking Lot

Chapman University
Digital Media Arts Center
& West Campus
Parking Structure



PROJECT OVERVIEW (CONTINUED)

The existing parking area between the North and South Buildings will be converted into a new courtyard that will serve as a gateway connecting the Orange Transportation Center to Old Towne Orange. The courtyard will provide a centralized, well-defined outdoor space for visitors to relax and socialize. Open to community, the courtyard is designed with flexibility in space programming to allow for casual gathering and dining, occasional lectures, fund-raising events, and special functions. It is anticipated that these temporary events would occur regularly, and the courtyard has the capacity to accommodate up to 144 people. Amenities including, but not limited to, a large specimen tree, planting areas with integrated seat walls, seating elements, and special paving will be incorporated to promote an intimate setting and encourage leisure activities.

The existing parking area north of the current South Building entry will be converted into the new forecourt area, which will include paving and a sculptural planter with integrated seat walls. The existing driveway ramp on N. Cypress Street will be removed. The existing parking area south of the current South Building entry will remain unaltered, aside from plant material replacements within the existing planting areas. Two new parking spaces will be added where the existing path between the sidewalk and current building entry is located. In total, the modified parking lot will include 9 parking spaces, consisting of 7 regular spaces, 1 van ADA space, and 1 standard ADA space. The existing bicycle parking area will remain.

In adapting the buildings for their new use, the project proposes to adjust the museum entrances and exterior façades such that the entrances to the North and South Buildings will both face the new courtyard. The proposed building façade renovations are summarized below:

- North Building: The existing ficus and canopies, as well as the window opening on the south façade, will be removed. New storefronts with doors will be installed on the south façade to create new entries to the museum and multi-purpose room. A new storefront will be provided on the north façade facing W. Maple Avenue. Open-air stucco structures and tile wainscots will be installed at locations indicated on the project plans. The building palette will draw from that of Kennedy Hall and the VPO Packing House.
- South Building: The existing brick veneer, metal panels and awnings, as well as the southern storefront and signage on N. Atchison Street, will be removed. New storefronts with doors will be installed on the north façade to create entries to the museum and cafe. New tile wainscots, infill stucco walls, and open-air stucco structures will be installed at locations indicated on the project plans. The building palette will draw from that of Kennedy Hall and the VPO Packing House.
- Courtyard's West Elevation on N. Atchison Street: Millard Sheets' *Pleasures Along the Beach* mosaic on an open-air stucco structure will span between the North and South Buildings at the entry into the courtyard. Tile wainscots will be installed on the support columns of the stucco structure.
- Courtyard's East Elevation on N. Cypress Street: A future artwork installation is planned on the east façade of the open-air stucco structure that spans between the North and South Buildings at the entry into the courtyard. Tile wainscots will be installed on the support columns of the stucco structure.

INTERIOR RENOVATIONS

The interior of the existing buildings on-site will be renovated without an increase to the existing square footage. The interior renovations will convert approximately 2,500 square feet of the South Building currently used as a dance studio, as well as 10,000 square feet of the North Building currently used by the Chapman University Department of Dance, to museum and ancillary uses.

The existing gallery space, offices, restrooms, storage, and support facilities inside the current Hilbert Museum space will remain mostly unaltered, except for conversion of the small reception area to gallery space. The dance studio space in the South Building will be reconfigured to accommodate an entry foyer, a café, back-of-house storage and washing facilities (no food preparation), offices, and a library/meeting room. The existing museum entry on N. Atchison Street will become a court entrance. Two new glazed openings will be created in the South Building's north façade to provide entry access to the museum and café from the courtyard.

The North Building currently houses dance studios, offices, storage, and restrooms. The interior will be renovated to include approximately 6,998 square feet of gallery space and an entry foyer, a 956-square-foot multi-purpose room, restrooms, storage, and other support facilities. The existing entryways on N. Atchison Street and N. Cypress Street will remain as means of egress. The new museum entry will be provided via a new glazed opening on the south façade of the North Building, directly across the courtyard from the new museum entry to the South Building. Another glazed opening, also accessed from the courtyard, will be provide entry access to the multi-purpose room.

LANDSCAPING

The outdoor setting is integral to the overall experience at HMCA, where California Scene paintings featuring the state’s distinct landscape are showcased. On-site landscaping will utilize a California native planting palette that complements the landscape scene paintings inside the museum, incorporates layers and varieties of climate-appropriate/drought-tolerant species to promote water conservation, and is compatible with the existing landscape in the surrounding areas.

Landscaping is strategically designed as a series of pocket gardens, each with a distinct character of plant materials. The Live Oak Courtyard is the centerpiece of the design, focusing around a large specimen Oak tree (*Quercus agrifolia*) and understory grasses and shrubs. The remaining pocket gardens include a sculpture garden, a succulent garden, and a mesquite garden facing N. Atchison Street. Perimeter planting wraps the parking area and the corner of N. Cypress Street and W. Maple Avenue.

The primary planting palette consists of California native and climate appropriate shrubs, groundcovers, and ornamental grasses, along with succulents. The succulents will be selected for their inherent sculptural

qualities and be paired with understory plantings. The planting palette will also include additional species that exist on both Chapman University campus and in Old Towne Orange such as Blue Fescue. The planting palette is intended to reflect the work of the HMCA by telling the story of the California native landscape, while striking a balance with the landscape features of Chapman University and Old Towne Orange.

Streetscape elements in the form of planters, benches, public art, or other enhancement features may be added to complement the industrial setting of the site. Street trees adjacent to the site perimeter are in compliance with the landscape palette established in the Chapman University Master Landscape Plan and the City of Orange street tree guidelines. The existing street trees planted in regularly spaced tree wells will remain, including Camphor Trees on N. Cypress Street and N. Atchison Street, and Queen Palms on W. Maple Avenue.

EXTERIOR SITE LIGHTING

On-site exterior lighting will comply with the provisions of the Chapman University Specific Plan and the City of Orange Municipal Code. The existing pole-mounted light fixtures in the parking lot will remain. New lighting

fixtures will be installed in the courtyard and on the buildings, including tree uplights, courtyard steplights, in-grade sculpture lights, pole-mounted mosaic lights, wall-mounted lights, and entry recessed lights.

SIGNAGE

The sign program for the HMCA addresses the street elevations at both vehicular and human scales through strategic placement of freestanding and building signage, temporary exhibition banners, and cultural heritage artwork. The sign program has been submitted to the City under a separate cover. Signs depicted in the renderings on the following pages are conceptual. Actual signage design and locations are subject to change based on the approved sign program.

PROJECT CONSTRUCTION AND OPENING

The HMCA Renovations project is estimated to initiate construction in Summer 2022 and be open to public in mid-2023.



Monica Edwards (1962-Present)



Milford Zornes (1908-2008) - Mojave Desert



Lee Blair (1911-1993) - Barnsdall Park



Robert E. Wood (1926-1999) - Mexico Tropics

VIEW OF HILBERT MUSEUM FROM ATCHISON STREET



Rendering is provided for illustration purposes only; final design is subject to change. Signage locations and design shall be per the approved sign program.

WEST FAÇADE FACING ORANGE TRANSPORTATION CENTER



Rendering is provided for illustration purposes only; final design is subject to change. Signage locations and design shall be per the approved sign program.

VIEW OF COURTYARD LOOKING TOWARD CYPRESS STREET



Rendering is provided for illustration purposes only; final design is subject to change. Signage locations and design shall be per the approved sign program.

VIEW OF HILBERT MUSEUM FROM CYPRESS STREET / MAPLE AVENUE INTERSECTION



Anigozanthos 'Bush Tango'
Orange Kangaroo Paw

Carex tumulicola
Berkeley Sedge

Perimeter planting along N. Cypress Street
and W. Maple Avenue - see notes below.



Rendering is provided for illustration purposes only; final design is subject to change. Perimeter planting adjacent to the corner of N. Cypress Street and W. Maple Avenue will include clusters of Kangaroo Paw for verticality and color, punctuated by Berkeley Sedge. Signage locations and design shall be per the approved sign program.

VIEW FROM CYPRESS STREET LOOKING NORTHWEST



Rendering is provided for illustration purposes only; final design is subject to change. Signage locations and design shall be per the approved sign program.

VIEW FROM OCTA BUS TURNAROUND LOOKING SOUTHEAST



Rendering is provided for illustration purposes only; final design is subject to change. Perimeter planting adjacent to the corner of N. Cypress Street and W. Maple Avenue will include clusters of Kangaroo Paw for verticality and color, punctuated by Berkeley Sedge. Signage locations and design shall be per the approved sign program.

CONFORMANCE WITH CHAPMAN UNIVERSITY SPECIFIC PLAN

Implementation of the HMCA Renovations project requires the approvals of Minor Site Plan Review, Design Review, and Lot Line Adjustment. Plans for the proposed project will be reviewed by the City of Orange Streamlined, Multi-disciplined, Accelerated Review Team {SMART} and Design Review Committee (DRC) for conformance with the Chapman University Specific Plan (CUSP) Amendment #6. The final determination will be made by the Community Development Director. Below is a summary of project conformance with the CUSP.

LAND USE / ZONING

The project site is designated Public Facilities Institutions Max 2.0 FAR (PFI) on the City of Orange General Plan's Land Use Map and zoned as Public Institution - Specific Plan (PI-SP). The project site is located in the Academic 2 (A-2) Planning Area within the Atchison Street Overlay of the CUSP area, which allows for a broad range of University uses that include, but are not limited to, academic and administration facilities, film production facilities and associated uses, cultural facilities, ancillary retail/entertainment uses, parking, food services, and residential uses.

The proposed museum, office, food and beverage services, storage, parking, and other support uses on the project site are consistent with the uses permitted in the A-2 Planning Area of the CUSP. It should be noted that the Specific Plan Amendment #7 currently being processed through the City proposes to remove the Atchison Street Overlay and incorporate appropriate uses allowed by the Overlay into the uses permitted in the A-2 Planning Area. The proposed project will remain consistent with the CUSP regardless of whether the Atchison Street Overlay is removed or not.

The CUSP provides that the campus Floor Area Ratio (F.A.R.) shall not exceed 1.0, excluding parking structures. An F.A.R. transfer of up to an additional 25% on a site is permitted subject to the review and approval of the Community Development Director, so long as the F.A.R. of 1.0 on the overall campus is not exceeded. The F.A.R. of the HMCA Renovations project

is 0.54. The project will not alter the existing campus F.A.R. of 0.61, as no change to the existing building square footage is being proposed.

The Santa Fe Depot Specific Plan (SFDSP) includes the HMCA project site within its boundary, as the subject parcels are in the core of the Depot area and offer redevelopment opportunities if consolidated. Although the SFDSP sets forth policies for these parcels, it acknowledges that site development will be governed by the regulations and standards of the CUSP. The SFDSP Urban Design Framework identified a potential future pedestrian plaza space on N. Cypress Street between W. Maple Street and Chapman Avenue. The need for this pedestrian plaza will be fulfilled by the proposed project's new exterior courtyard. As a whole, the project's proposed uses, courtyard, and streetscape enhancement along N. Atchison Street and N. Cypress Street meet the intent of the SFDSP and implement the City's long-term vision for the Depot area.

SETBACKS AND BUILDING HEIGHTS

The CUSP setback and building height requirements applicable to the proposed project are as follows:

- N. Atchison Street: 15 feet min. setback / 32 feet max. building height
- N. Cypress Street: 10 feet min. setback / 32 feet max. building height
- W. Maple Avenue: 10 feet min. setback / 32 feet max. building height
- Adjacent Side Yard: 0 foot min. setback / 32 feet max. building height

The project complies with the CUSP setback criteria. The façades of both buildings will remain in their current locations, with no change to the existing setbacks along N. Cypress Street, W. Maple Avenue, and the side yard to the south. Along N. Atchison Street, the proposed open-air urban markers/light wells, courtyard structure, and façade additions are set back a minimum of 15 feet from the property line. The open-air urban marker/light well at the northwest corner of the North Building is set back 10 feet from the property line along N. Maple Avenue. Along N. Cypress Street, the proposed

courtyard structure is set back a minimum of 10 feet from the property line. The urban markers at the northeast corner of the North Building and on the east side of the South Building are vertical extension of the existing building walls, intended to allow for signage and/or future art or mural installations.

The North and South Buildings are both single-story buildings, with a parapet height of approximately 18 feet and 20 feet, respectively. The height at the proposed open-air structures is 30.5 feet, which is below the maximum building height of 32 feet permitted by the CUSP. Therefore, the project complies with the CUSP building height requirement.

LANDSCAPING AND STREETScape

On-site landscaping will be provided in the setback area along N. Atchison Street, within the central courtyard, and along the N. Cypress Street and W. Maple Avenue perimeters. The landscape design utilizes a California native planting palette that complements the landscape scene paintings inside the museum, incorporates drought-tolerant species for water conservation, and is compatible with the existing landscape in the surrounding area.

The CUSP requirement for on-site landscaping is a minimum of 20 percent of the total area within 50 feet of the perimeter of each building. Within 50 feet of the North Building's perimeter, 8,160 square feet/43.5 percent of the 18,719 square-foot site area will be landscaped (including planting and hardscape areas). Within 50 feet of the South Building's perimeter, 9,196 square feet/38.5 percent of the 23,820 square-foot site area will be landscaped (including planting and hardscape areas; excluding the parking lot). Therefore, the project complies with the CUSP's on-site landscaping requirement.

The CUSP requires that parking lots provide a minimum of 10 percent landscaping. For purposes of landscaping calculations, the parking lot consists of the setback area along N. Atchison Street from the north wall

CONFORMANCE WITH CHAPMAN UNIVERSITY SPECIFIC PLAN

of the light well to the southern project boundary, including paved parking areas and drives, planting areas, and walkways and excluding the open light well and mechanical yard areas. Approximately 1,774 square feet of landscaping is provided within the approximately 6,127 square-foot parking lot, which equates to 29% of the parking lot. Therefore, the project complies with the CUSP’s parking lot landscaping requirement.

Existing street trees adjacent to the site perimeter include Camphor Trees on N. Cypress Street and N. Atchison Street, and Queen Palms on W. Maple Avenue. These trees are consistent with the landscape palette established in the Chapman University Master Landscape Plan and the City of Orange street tree guidelines.

OPEN SPACE

The project proposes to convert a portion of the existing parking area into open space in the forms of a new courtyard, planting areas, and hardscape areas (excluding the parking lot). As a result, the project will increase the existing campus open space by 6,019 square feet, to a total of 1,509,199 square feet of campus open space which equates to approximately 58 percent of the total campus area. Therefore, the project complies with the CUSP’s minimum 30 percent open space requirement.

EXTERIOR LIGHTING

On-site exterior lighting will comply with the provisions of the Chapman University Specific Plan and the City of Orange Municipal Code.

SIGNAGE

The sign program for the HMCA has been prepared pursuant to the applicable sign requirements and public art guidelines of the CUSP, addressing the street elevations at both vehicular and human scales through strategic placement of freestanding and building signage, temporary exhibition banners, and cultural heritage artwork.

CIRCULATION AND PARKING

Access to the project site is available from N. Atchison Street, N. Cypress Street, and W. Maple Avenue. Main pedestrian access points into and out of the North and South Buildings are located in the new courtyard. The courtyard is accessible by pedestrians from both N. Atchison Street and N. Cypress Street. The parking lot entry/exit drives are located on N. Atchison Street. The existing curb cut on N. Cypress Street will remain to allow for loading/unloading, and the adjacent street curbs (40’ minimum in length) will be marked as a loading zone for temporary parking of catering vehicles.

The existing parking lot provides a total of 19 parking spaces, including 17 regular spaces and 2 ADA spaces, as well as a bicycle parking area. The renovated parking lot in front of the South Building, with ingress/egress on N. Atchison Street, will have a total of 9 parking spaces, including 7 regular spaces, 1 van ADA space, and 1 standard ADA spaces. The existing bicycle parking area will remain. Project implementation would result in a loss of 10 parking spaces from the number of existing parking spaces on-site.

While the use for the South Building will remain as museum and ancillary uses, the use for the North Building will change from dance/academic to museum and related uses. The North Building currently includes dance studios and a lecture hall that accommodates 84 classroom seats. These uses will be relocated to the VPO Packing House and will be subject to a separate parking evaluation. The parking requirements for the existing and proposed uses are summarized as follow:

Existing Parking:

South Building (10,275 SF Museum Use @ 4 Spaces/1,000 SF)	41 Spaces
North Building (84 Classroom Seats @ 0.47 Space/Seat)	40 Spaces
Total Existing Parking Demand	81 Spaces
Total Spaces Provided in Existing On-Site Parking Lot	19 Spaces
Overflow Parking Currently Provided in Other University Parking Facilities	62 Spaces

Proposed Parking:

South Building (10,275 SF Museum Use @ 4 Spaces/1,000 SF)	41 Spaces
North Building (10,000 SF Museum Use @ 4 Spaces/1,000 SF)	40 Spaces
Total Proposed Parking Demand	81 Spaces
Total Spaces to Be Provided in the Modified On-Site Parking Lot	9 Spaces
Total Overflow Parking	72 Spaces
Overflow Parking Currently Provided in Other University Parking Facilities	62 Spaces

Overflow Parking to Be Provided in Knott Studios Parking Lot and/or West Campus Parking Structure 10 Spaces

As summarized above, off-street parking for the HMCA will be accommodated in the 9 on-site spaces, with 10 additional overflow parking spaces to be accommodated in the nearby Knott Studios Parking Lot and/or West Campus Parking Structure. The 2019-2020 Chapman University Parking Management Plan (PMP) identified a surplus of 18 academic parking spaces in the Knott Studios Parking Lot and 8 academic parking spaces in the West Campus Parking Structure. It is anticipated that parking would not be adversely impacted, as the peak hours for museum uses are generally different than the peak hours for academic uses. Additionally, the University’s Cypress Parking Lot and Palm Parking Lot are both located within easy walking distance to the HMCA, and public parking is available along N. Cypress Street and in the nearby Old Towne West Metrolink Parking Structure.

CONFORMANCE WITH CHAPMAN UNIVERSITY SPECIFIC PLAN

COMPATIBILITY WITH OLD TOWNE ORANGE

The project site is within the Old Towne Orange Historic District. Throughout the design process, Chapman University and the project team have carefully determined the appropriate building and site improvements that are sensitive to the character and context of Old Towne Orange while establishing the HMCA's own image and identity, consistent with the intent of the CUSP and the City's SFDSP and Historic Preservation Design Standards.

Project design has taken into consideration the project's relationship and compatibility with the surrounding areas through an assessment of the project's interface with adjacent uses, architectural character, and streetscape. The project site is surrounded primarily by academic, industrial, residential, commercial, and transit uses. Several University facilities are located nearby, including the Digital Media Arts Center, Lastinger Tennis Center, Marion Knott Studios, West Campus Parking Structure, The K Residence Hall, VPO Packing House, and Crean Hall. The proposed museum and related uses complement the mix of the surrounding land uses.

The proposed renovations minimize modifications to the existing building envelopes, maintaining the buildings' straightforward forms and the prevailing setback patterns on the perimeter streets. Although the new building entrances will be oriented toward the courtyard, the primary pedestrian access points to the HMCA are established at the courtyard entries facing N. Atchison Street and N. Cypress Street.

The mass and scale of the buildings fit well within the existing site context. The building height at the proposed open-air urban marker and courtyard structure locations are 30 feet 6 inches, below the maximum building height of 32 feet permitted by the CUSP. As viewed from the surrounding streets, the massing and height of the open-air structures complement the historic tower on the West Campus Parking Structure, the historic façade on the Digital Media Arts Center, and the Old Towne West Metrolink Parking Structure on

N. Lemon Street, providing an undulation of height in the streetscene. The addition of the open-air urban markers and courtyard structures will not cause a loss of privacy for surrounding properties and is compatible with the mass, scale, and setbacks of existing properties on the street.

The proposed exterior design incorporates architectural elements that reflect the industrial character of the buildings on-site and in the surrounding areas. Industrial buildings typically exhibit utilitarian designs, with neutral façades that directly relate to the buildings' functions. The HMCA's exterior materials consider the color palette and relationship with existing University buildings. The use of stucco, tile, and glass is consistent with traditional materials found on industrial buildings in the Old Towne Orange Historic District. The industrial nature of the façades is in keeping with the character of many industrial buildings in the Old Towne Orange Historic District, including the adjacent Chapman Crafted Beer on N. Cypress Street, the Cypress Street façade of Black's Furniture located on W. Chapman Avenue, and Chapman Studios West on W. Palm Avenue.

The modernist façades reflect the museum's unique identity and function. The HMCA provides a foundation for arts and culture in the Depot area and reinforces the public art concept envisioned by the CUSP and SFDSP. The initial exterior art program includes Millard Sheets' iconic mosaic *Pleasures Along the Beach* on the west courtyard façade facing N. Atchison Street and Richard Ellis' *Nuclear Family* sculpture in the forecourt. The exterior art display is anticipated to evolve over time, with an opportunity to commission a mural or install John Edward Svenson's *Child on Dolphin* sculpture on the N. Cypress Street elevation in the future. The urban markers serve as a neutral backdrop that allows for artwork installations, as the Hilbert Collection continues to grow as part of Old Towne Orange in the next 20 years. Newly acquired art pieces created by local artists and University students could be showcased on the urban markers, drawing people into the area and bringing the community together.

Through strategic placement of freestanding signs, building signs, and temporary exhibition banners, the signage program for the HMCA addresses the street elevations at both the vehicular scale and the human scale. The perimeter planting along the building edges on N. Atchison Street, N. Cypress Street, and W. Maple Avenue softens the façade appearance and adds visual interest at the pedestrian level. Most importantly, the signature architectural intervention – the open courtyard – is designed specifically to encourage community interaction from both N. Atchison Street and N. Cypress Street. Once landscaped and furnished, this courtyard will contribute to a dynamic and inviting streetscape along these streets.

In summary, the HMCA project is consistent with the CUSP's design guidance, the SFDSP's urban design framework, and the City's Historic Preservation Design Standards. The character, scale, and setbacks of the HMCA are in keeping with the surrounding areas and maintain the visual character of the Old Towne Orange Historic District as a whole.

CONTEXTUAL STREET ELEVATIONS



HMCA
SOUTH
BUILDING

HMCA
NORTH
BUILDING

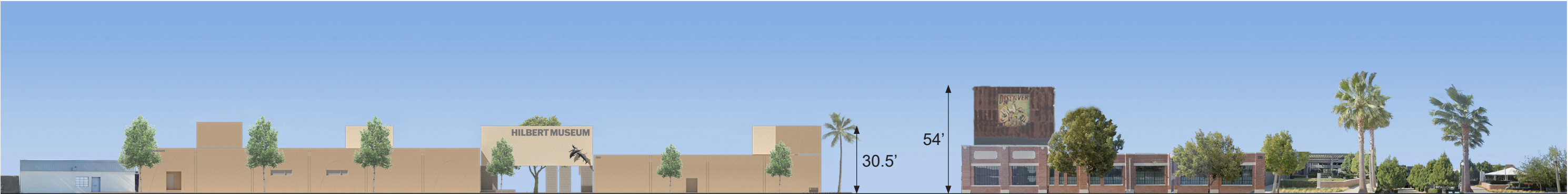
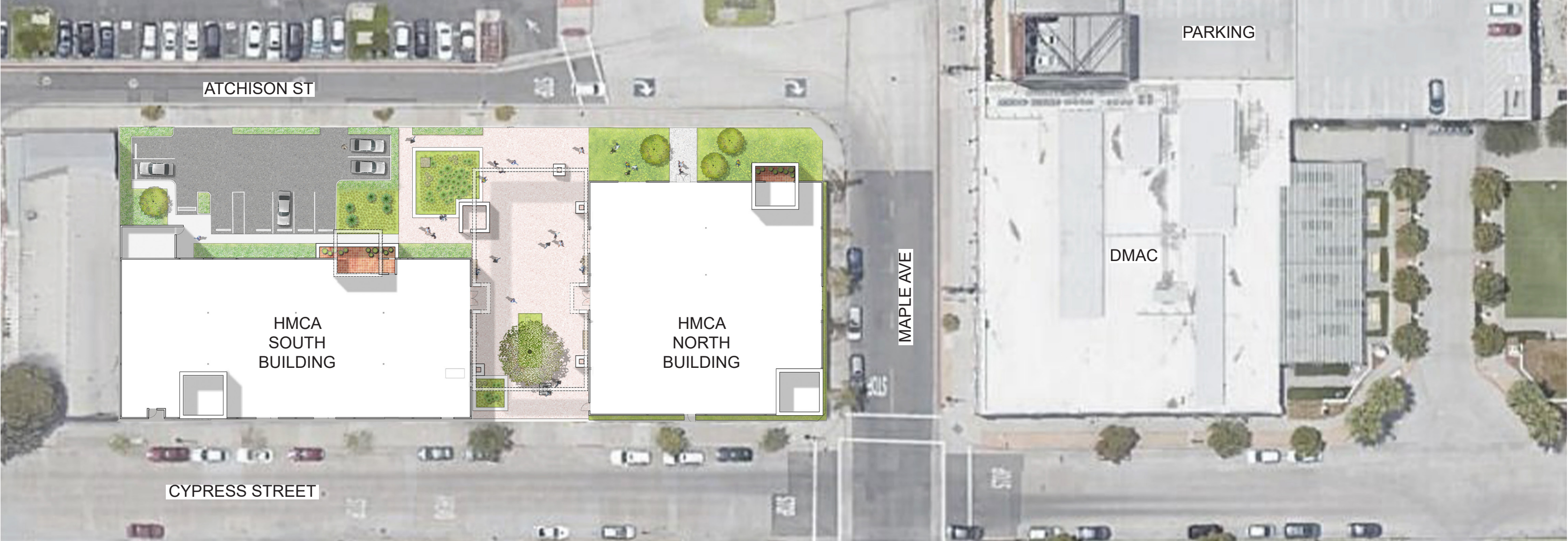
DMAC

LASTINGER
TENNIS CENTER

THE K
RESIDENCE HALL

THE PACKING HOUSE

CONTEXTUAL STREET ELEVATIONS

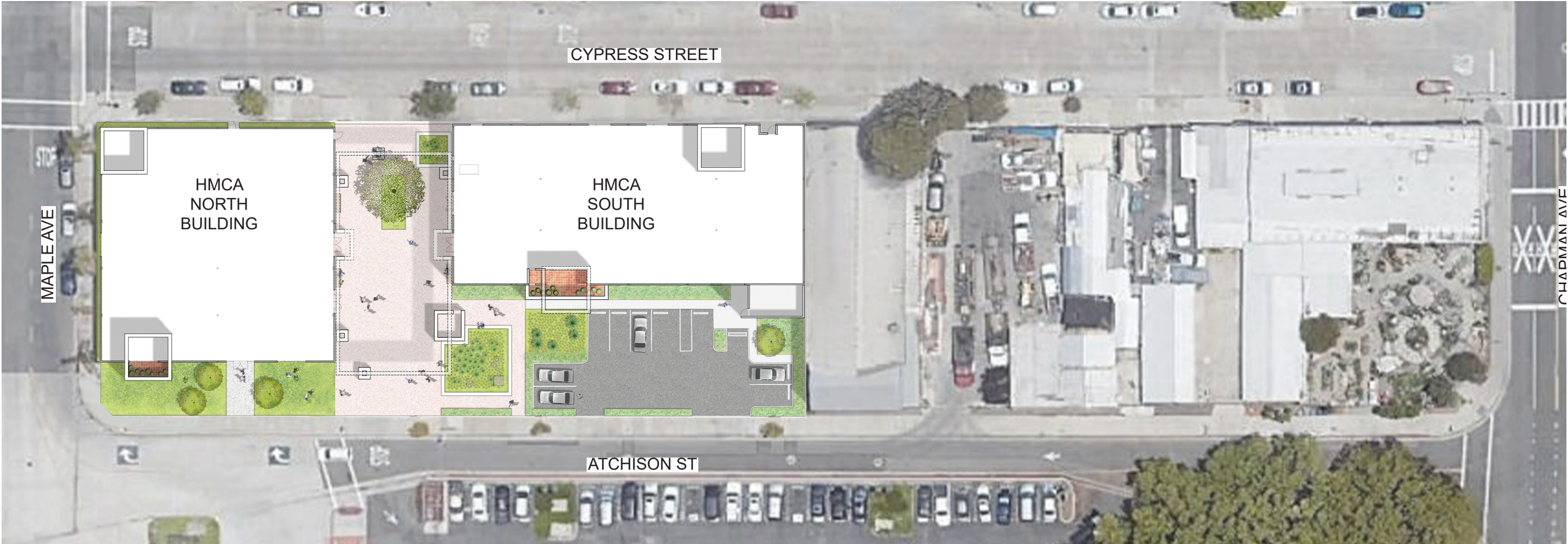


HMCA
SOUTH BUILDING

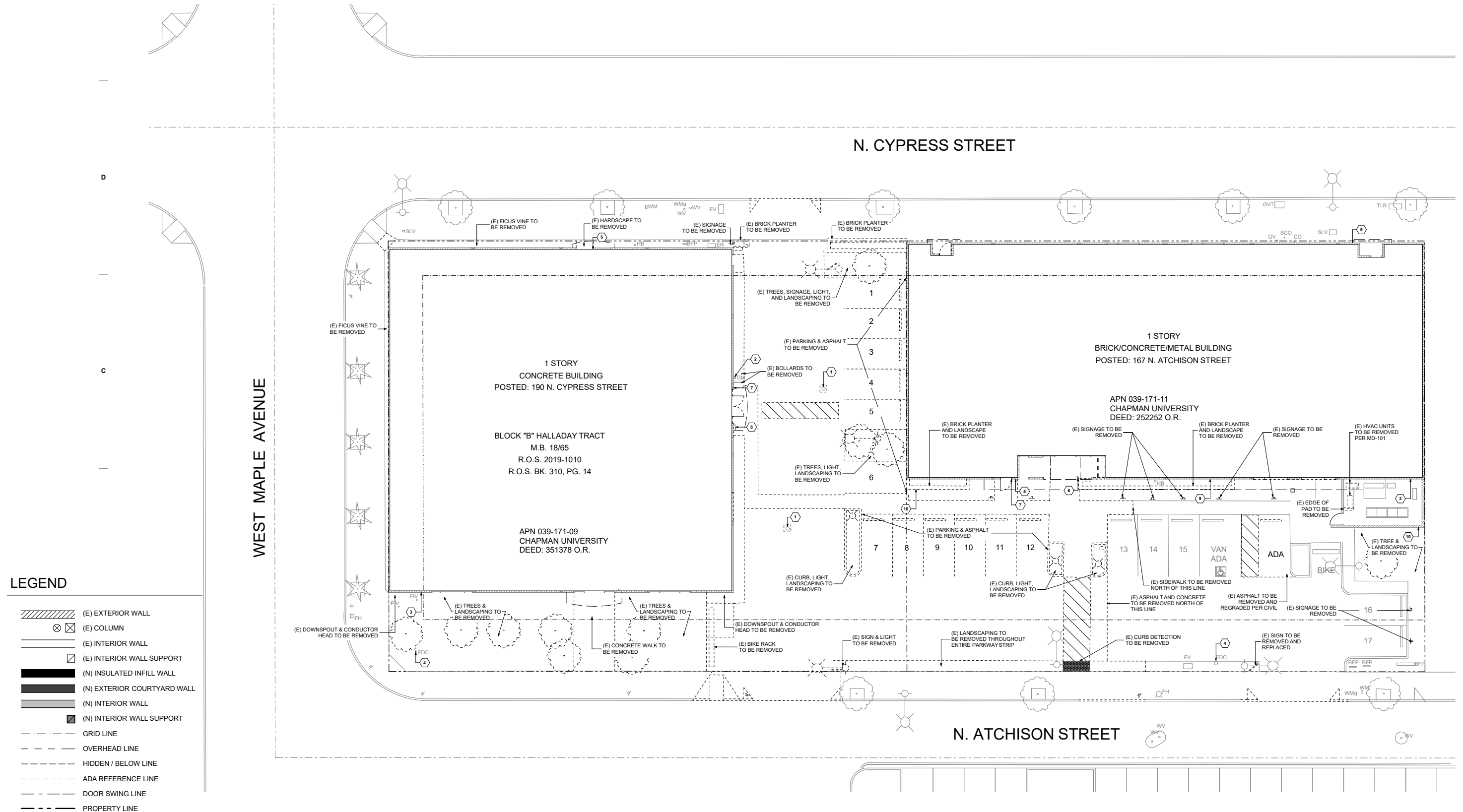
HMCA
NORTH BUILDING

DMAC

CONTEXTUAL STREET ELEVATIONS

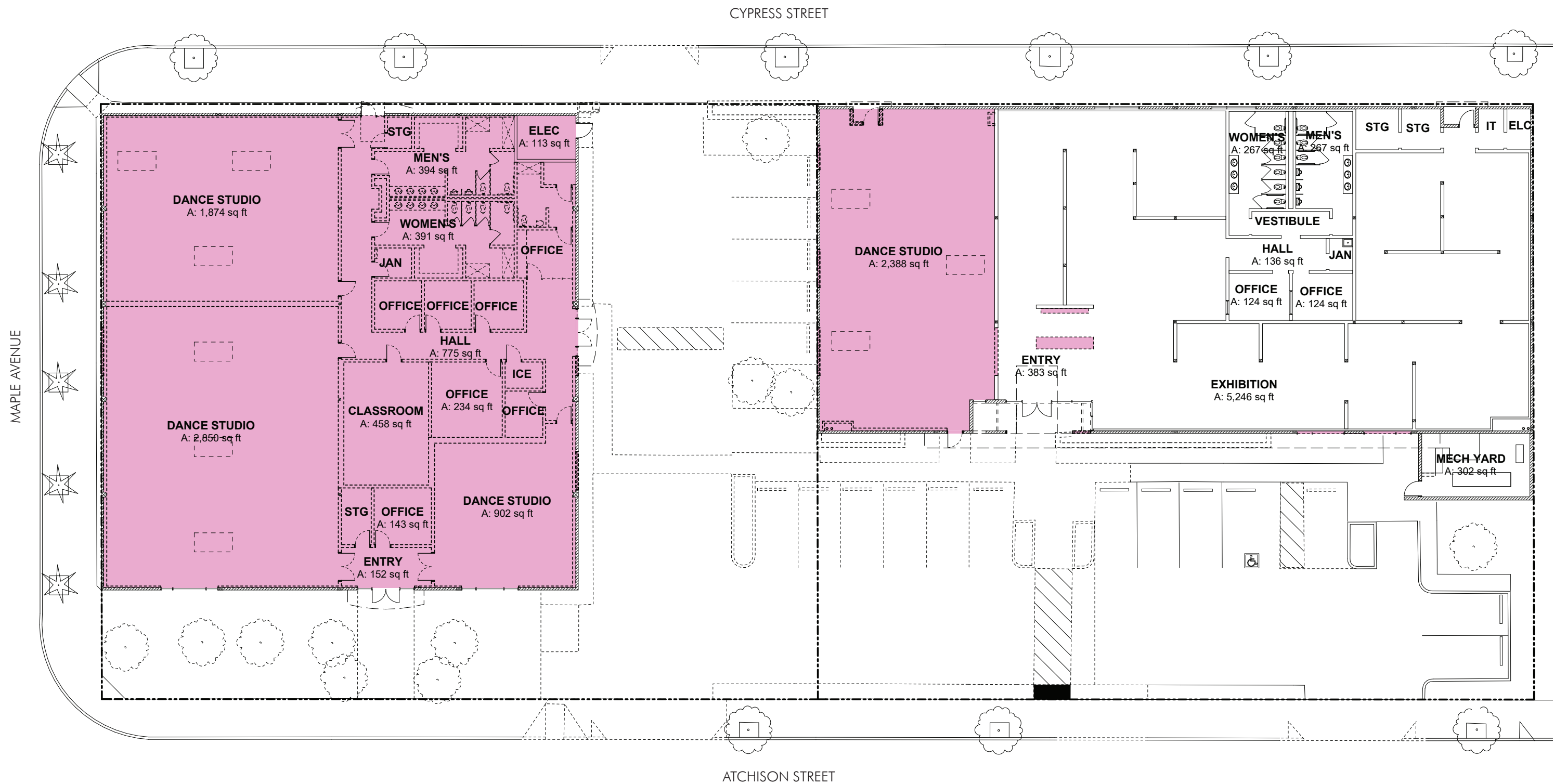


DEMOLITION SITE PLAN

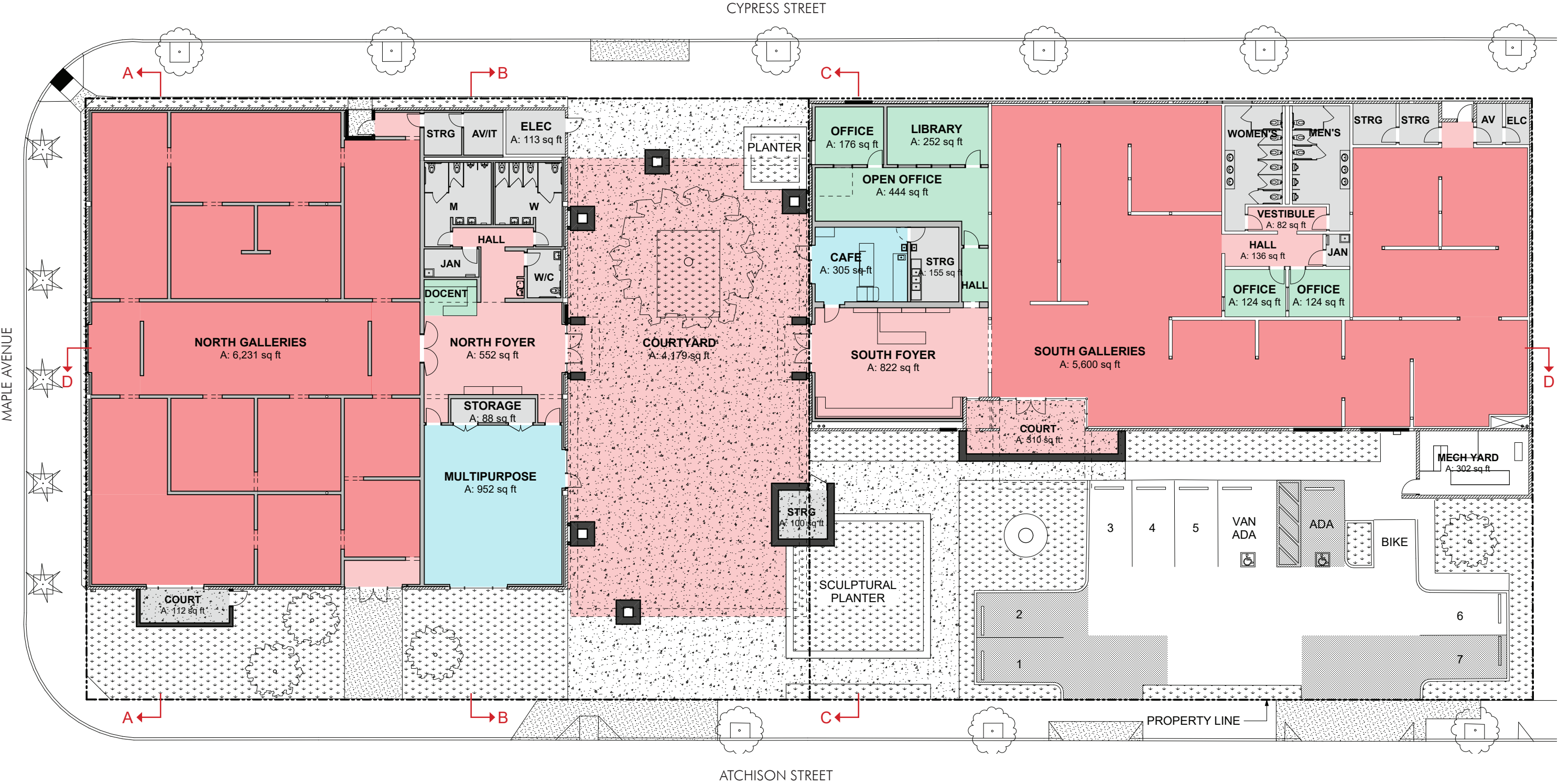


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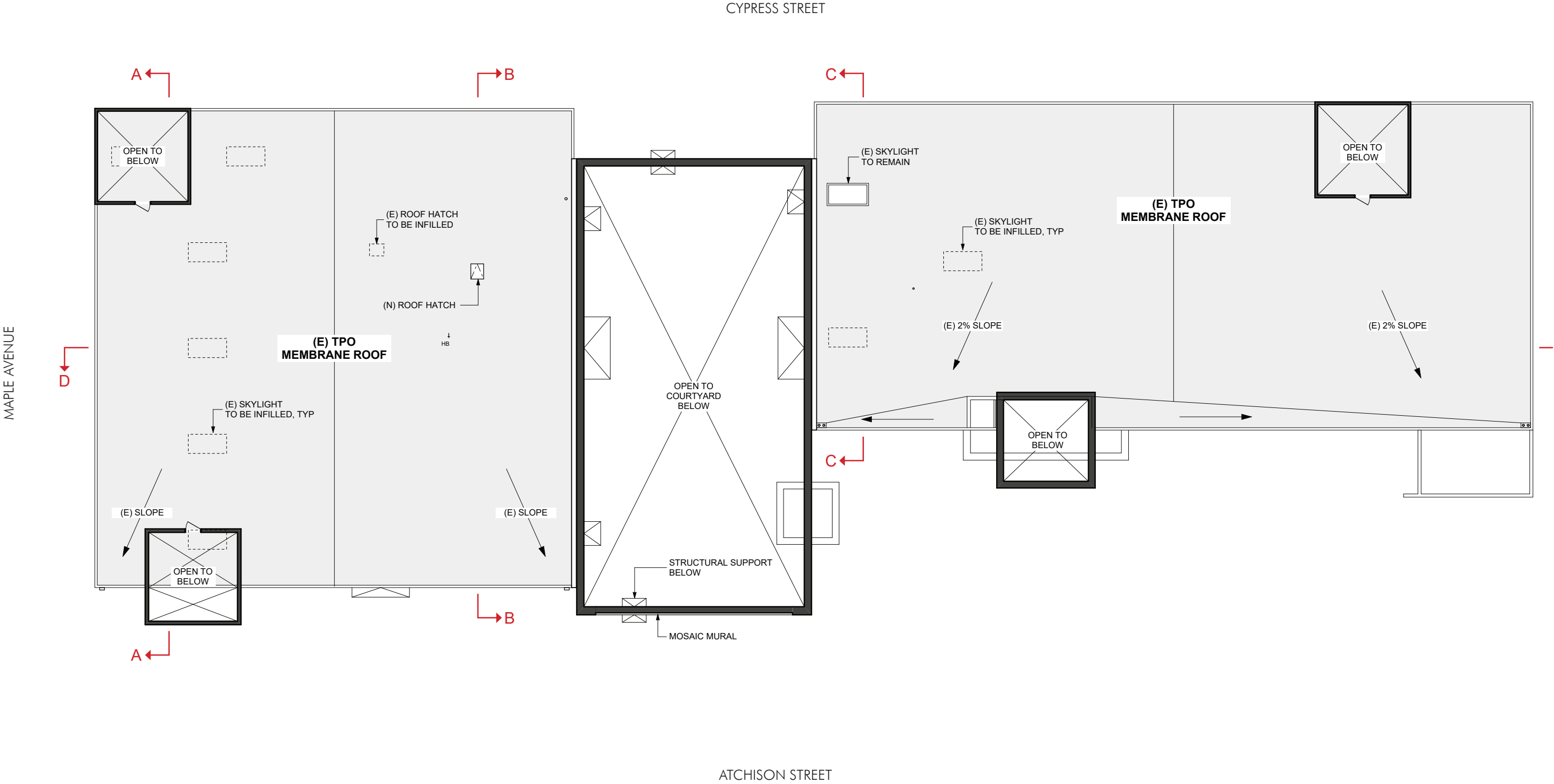
DEMOLITION FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN



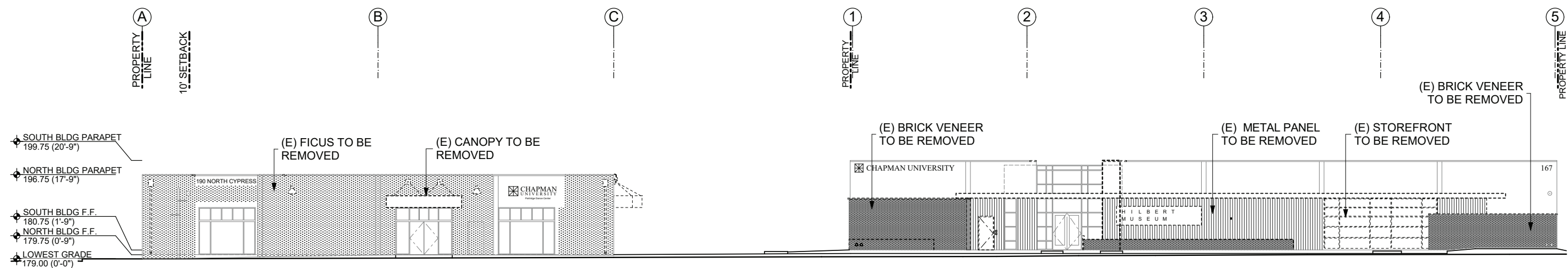
BUILDING PROGRAM SUMMARY

Program Areas	Existing NSF	Proposed NSF	Notes
Visitor Services	383	1,426	
South Building Foyer	383	815	Primary entrance into museum Direct access to courtyard Entry desk for 1 with computer for taking visitor information Potential to doubles as POS for selling Hilbert publications Provide sufficient area for large groups to queue
North Building Foyer	-	611	Secondary entrance into museum Direct Access to courtyard
Exhibition	5,217	11,925	
South Building Temporary Exhibition	5,217	5,600	Existing to remain
North Building Permanent Collection	-	6,325	Galleries should be smaller & more intimate (300-400sf)
Community	0	1,253	
South Building Café	-	305	Direct access to courtyard Serving counter and backline Informal seating in Courtyard and South Building Foyer
North Building Multipurpose Room	-	948	Direct access to courtyard Light control with manual roller shades A / V to be coordinated with Chapman University
Administration	248	1,158	
South Building Offices (near Restrooms)	248	252	2 private offices existing to remain
South Building Open Office & Office 1	-	602	One additional private office Open office for 3 workstations
South Building Library	-	252	Conference room setup for 8 people 3 walls of shelves for art library A / V to be coordinated with Chapman University
North Building Docent	-	52	Docent desk with storage for coats / bags behind
Back of House	914	1,843	
South Building Restrooms & Janitor	567	567	
Men's	267	267	Existing to remain
Women's	267	267	Existing to remain
Janitor	33	33	Existing to remain
North Building Restrooms & Janitor	-	544	
Men's	-	203	2 W/C & 2 Urinals & 2 Lavatories
Women's	-	203	4 W/C & 2 Lavatories
Unisex	-	71	Unisex bathroom required per Chapman standards
Janitor	-	67	Mop sink provided
South Building Café Storage	-	155	Equipment to be coordinated with Food Service Operator
South Building Storage & Utility	234	234	Existing to remain
AV / IT	76	76	Existing to remain
Storage	70	70	Existing to remain
Storage	46	46	Existing to remain
Electrical	42	42	Existing to remain
North Building Storage & Utility	113	343	
Storage	-	69	Access to roof via ladder
AV / IT	-	73	Equipment to be coordinated with Chapman University
Multipurpose Room Storage	-	88	Storage for 100 chairs on carts
Electrical	113	113	Existing to remain
Building Program Area	6,762	17,605	* Program area does not include circulation or assemblies

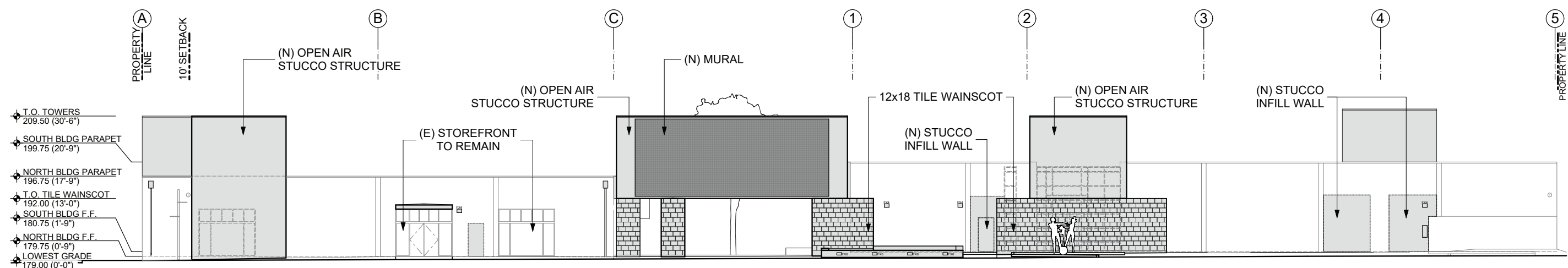
	Existing GSF	Proposed GSF	Notes
Gross Building Area	7,581	20,122	
South Building	7,581	10,122	Existing HMCA only occupies 2/3 of South Building
North Building	-	10,000	Existing North Building occupied by Dance School
Building Gross Factor	1.12	1.14	

	Existing GSF	Proposed GSF	Notes
Exterior	17,359	18,382	
South Building Mechanical Yard	338	338	Existing to remain
Site Area	17,021	17,021	
Open Space - Planting	4,018	5,023	
Open Space - Hardscape	2,278	7,221	
Parking	10,725	3,754	
Courtyard Structures		493	
Covered Entries		190	
Non-accessible Supports		134	
Open Air Storage		169	
Open Air Light Wells		530	
North Building Open Air Court		155	
South Building Open Air Court		375	

WEST ELEVATION - NORTH & SOUTH BUILDINGS

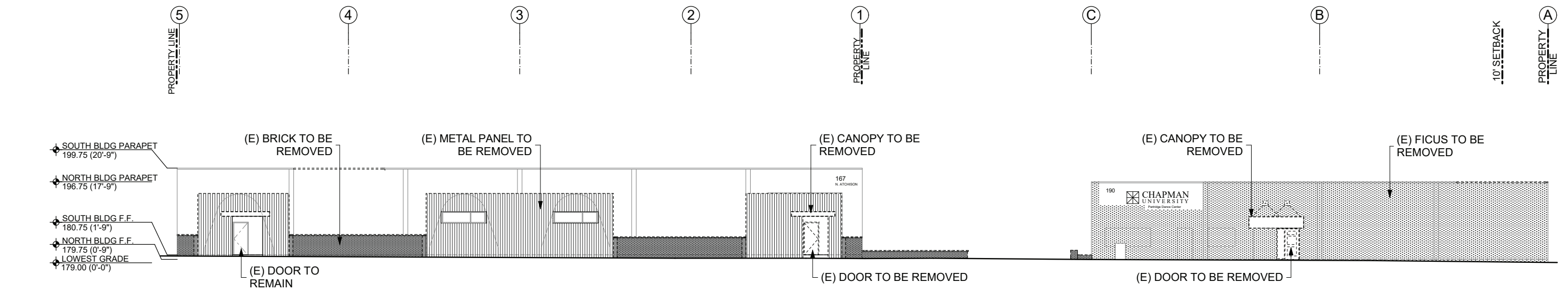


EXISTING WEST ELEVATION - NORTH & SOUTH BUILDINGS

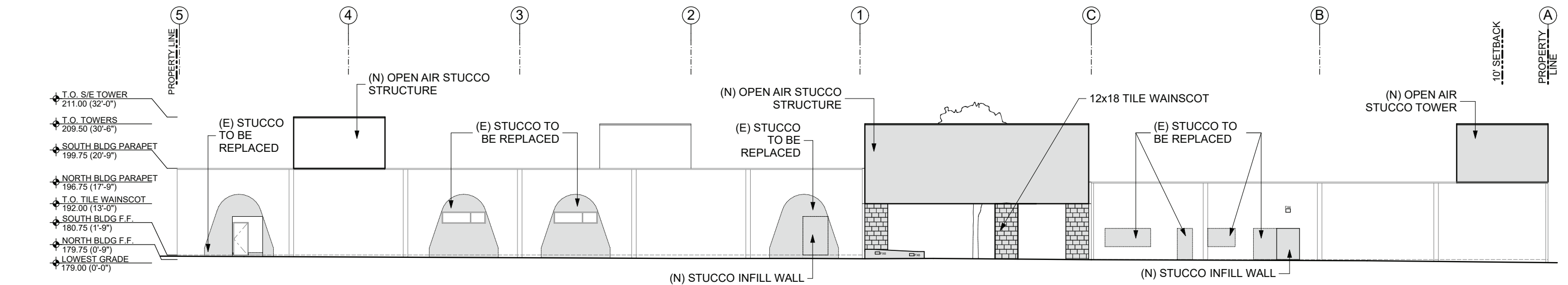


PROPOSED WEST ELEVATION - NORTH & SOUTH BUILDINGS

EAST ELEVATION - NORTH & SOUTH BUILDINGS

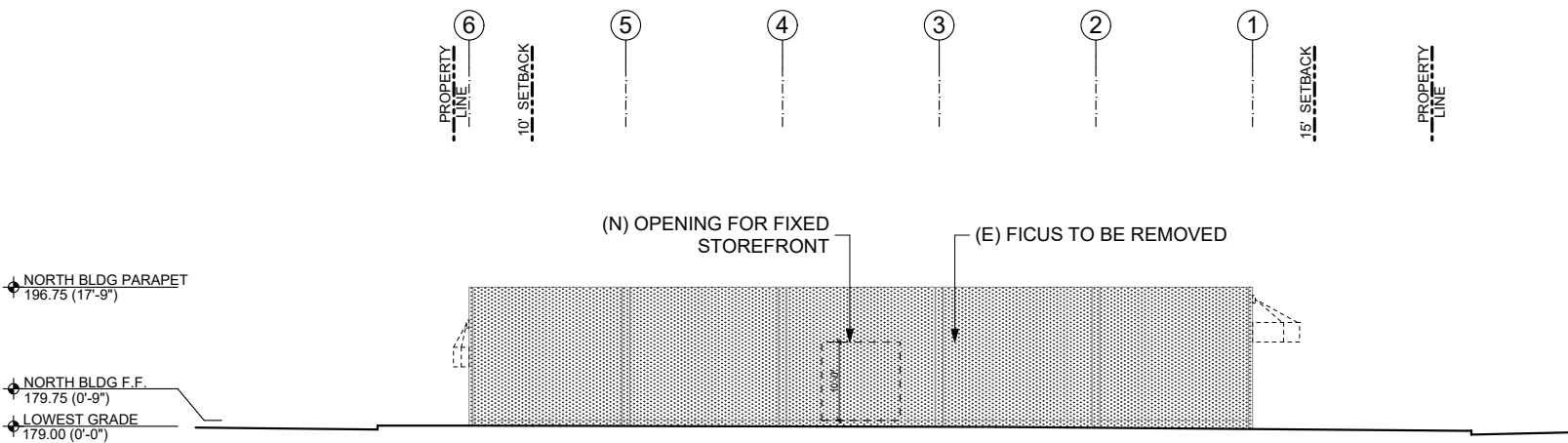


EXISTING EAST ELEVATION - NORTH & SOUTH BUILDINGS

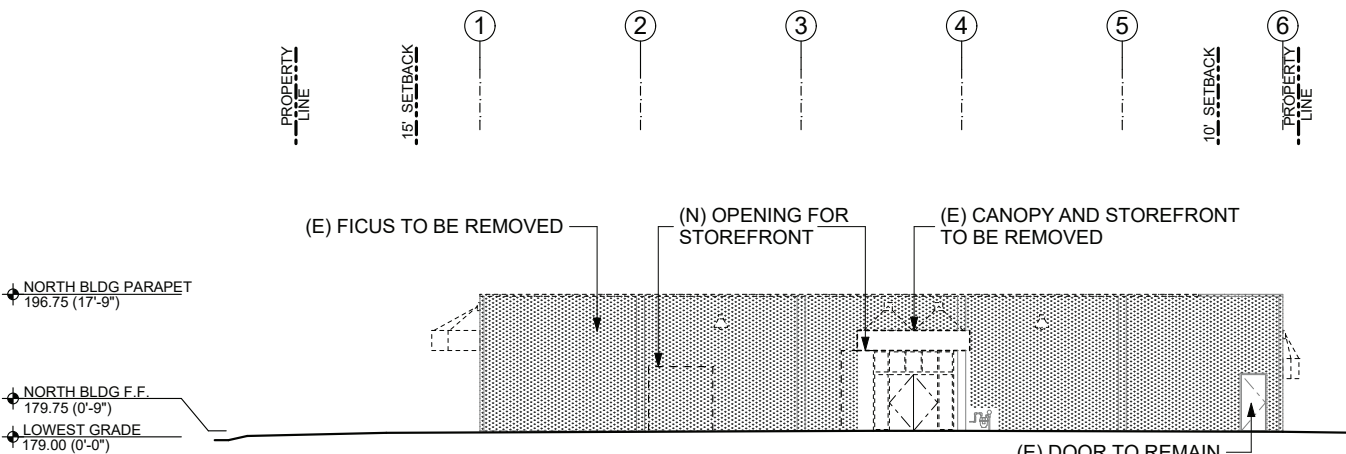


PROPOSED EAST ELEVATION - NORTH & SOUTH BUILDINGS

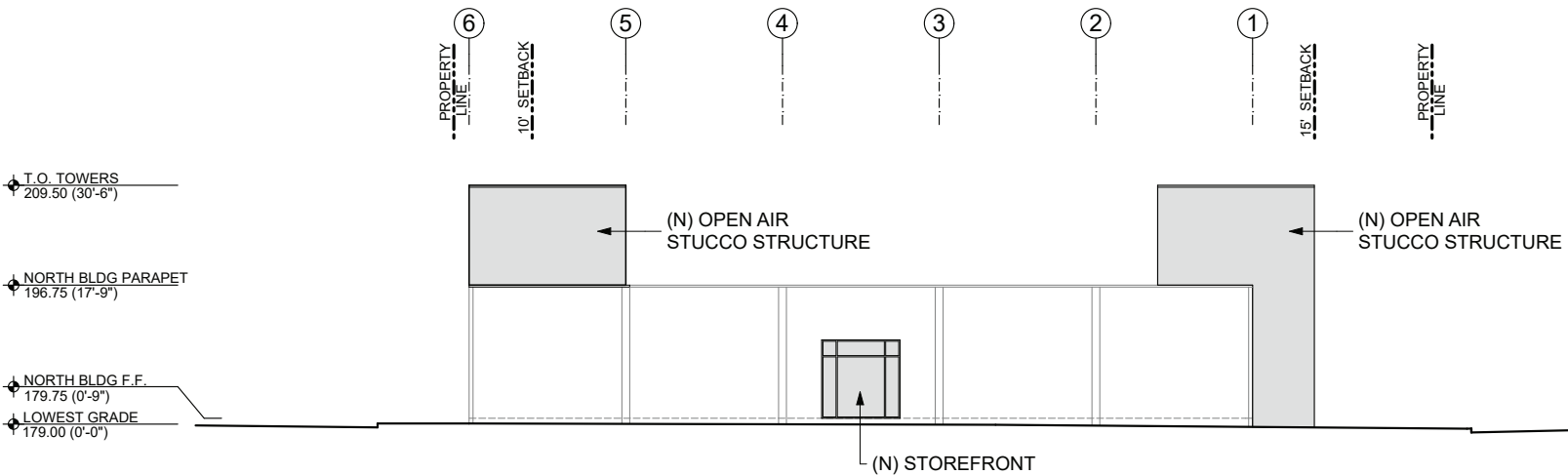
NORTH & SOUTH ELEVATIONS - NORTH BUILDING



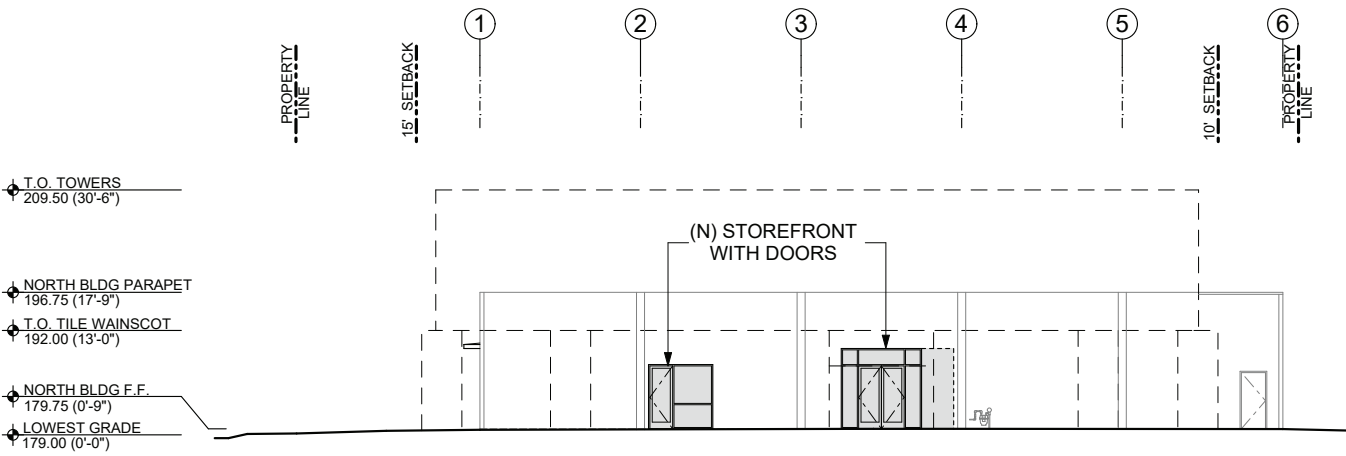
EXISTING NORTH ELEVATION - NORTH BUILDING



EXISTING SOUTH ELEVATION - NORTH BUILDING

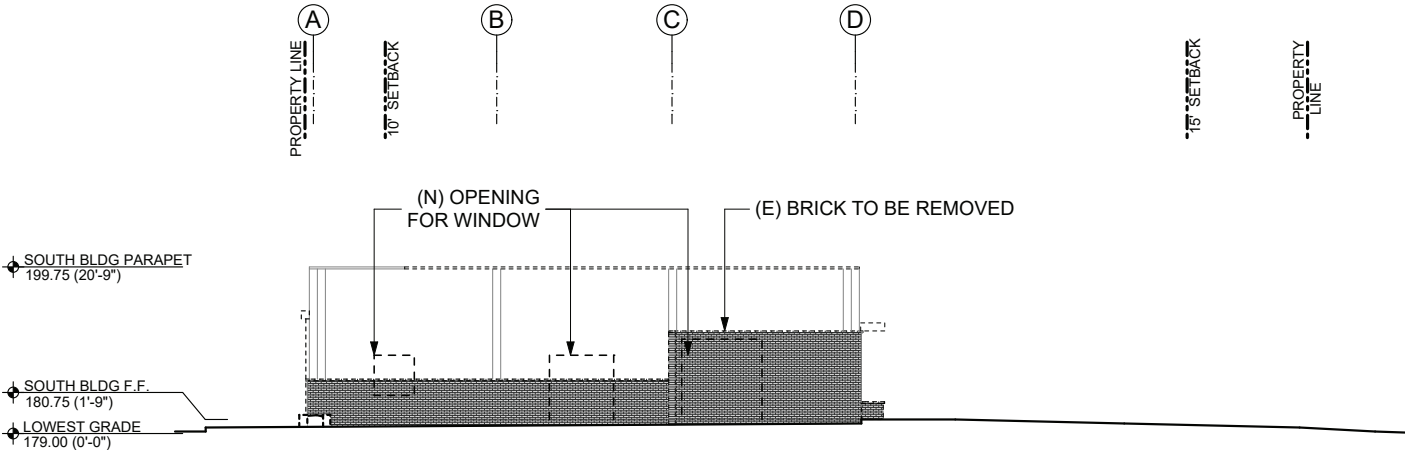


PROPOSED NORTH ELEVATION - NORTH BUILDING

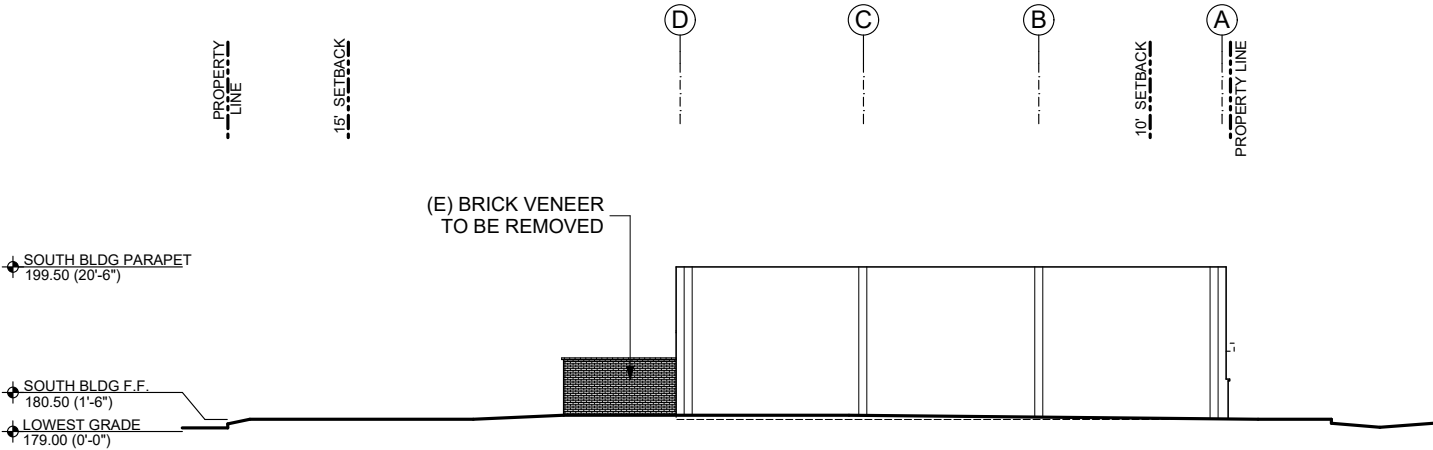


PROPOSED SOUTH ELEVATION - NORTH BUILDING
(COURTYARD SHOWN AS DASHED)

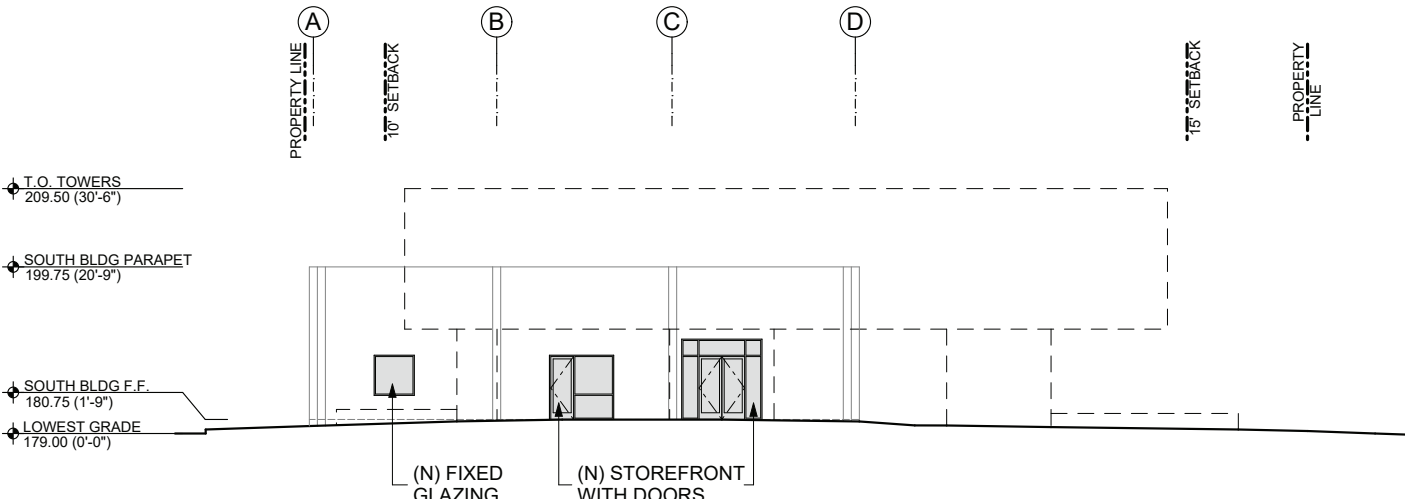
NORTH & SOUTH ELEVATIONS - SOUTH BUILDING



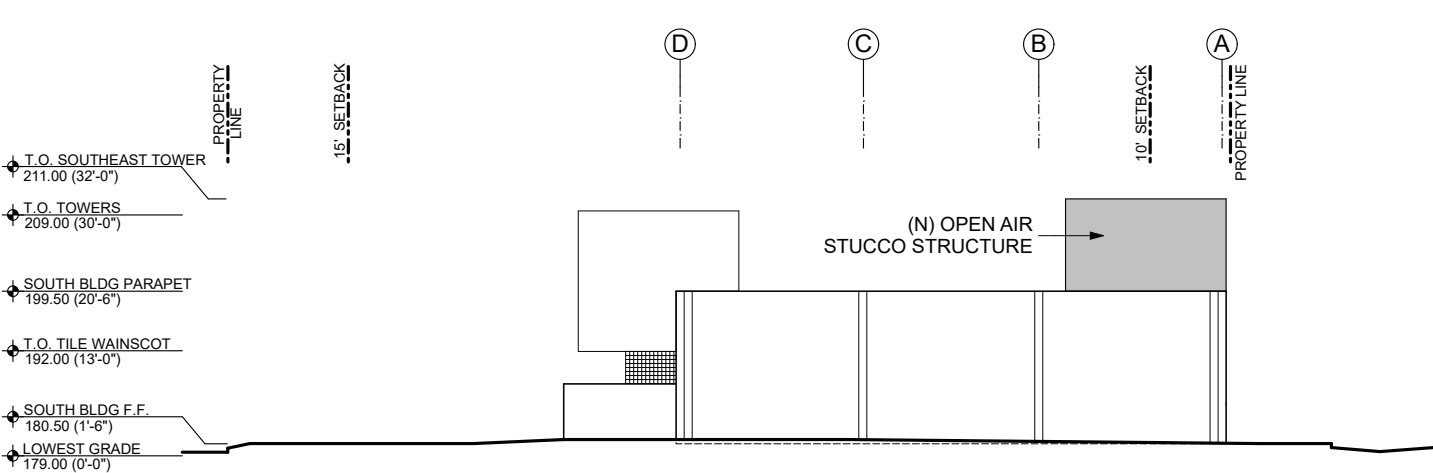
EXISTING NORTH ELEVATION - SOUTH BUILDING



EXISTING SOUTH ELEVATION - SOUTH BUILDING

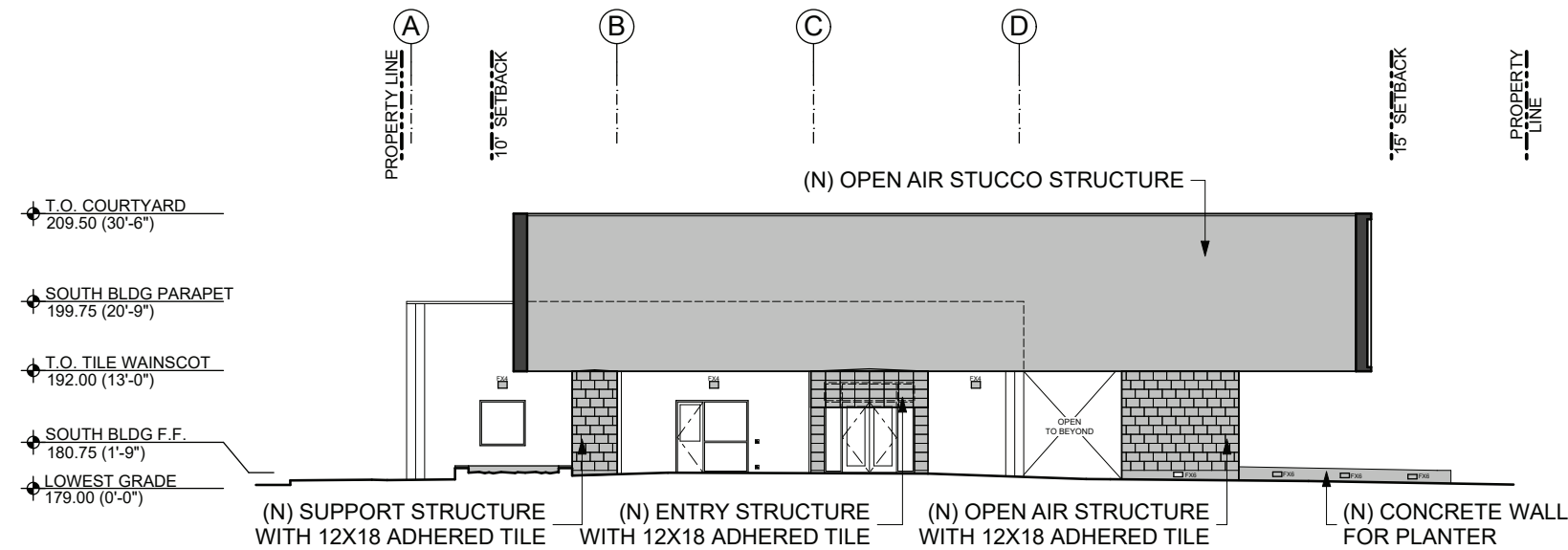


PROPOSED NORTH ELEVATION - SOUTH BUILDING
(COURTYARD SHOWN AS DASHED)

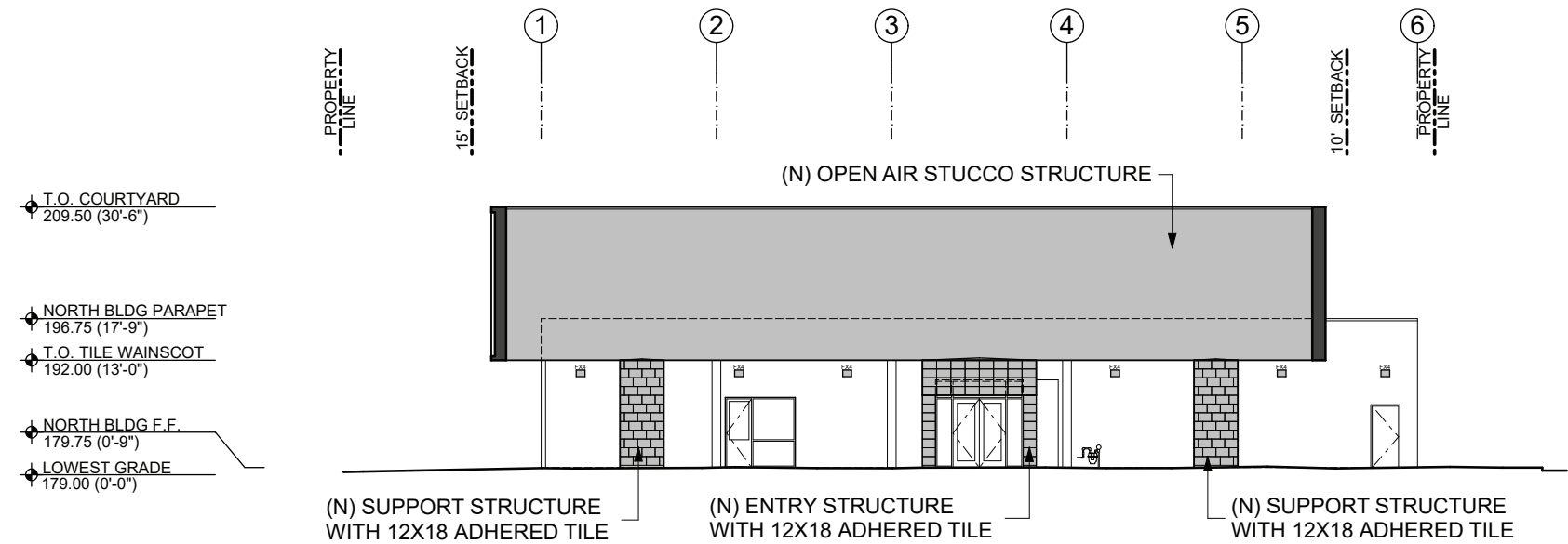


PROPOSED SOUTH ELEVATION - SOUTH BUILDING

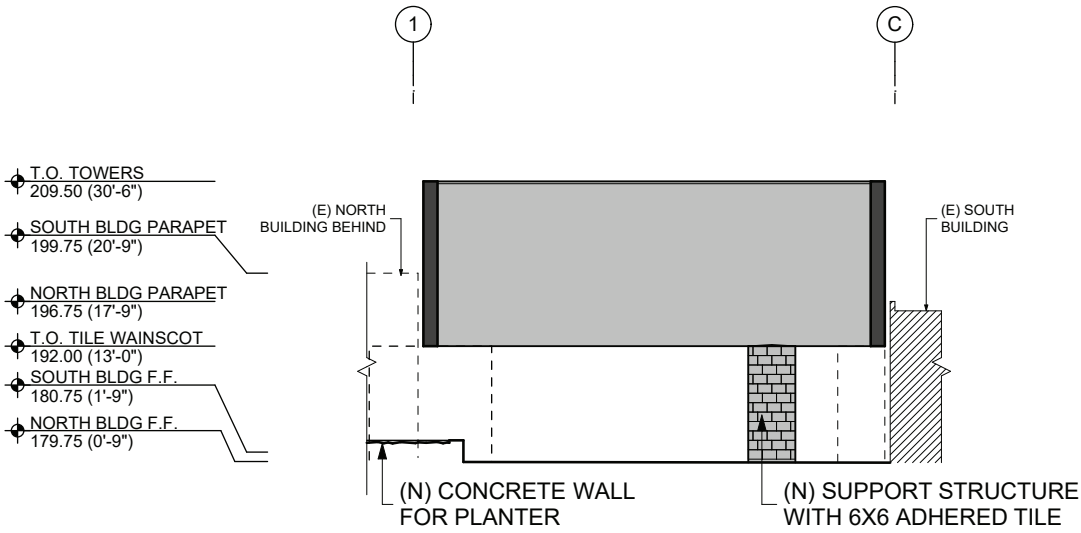
COURTYARD INTERIOR ELEVATIONS



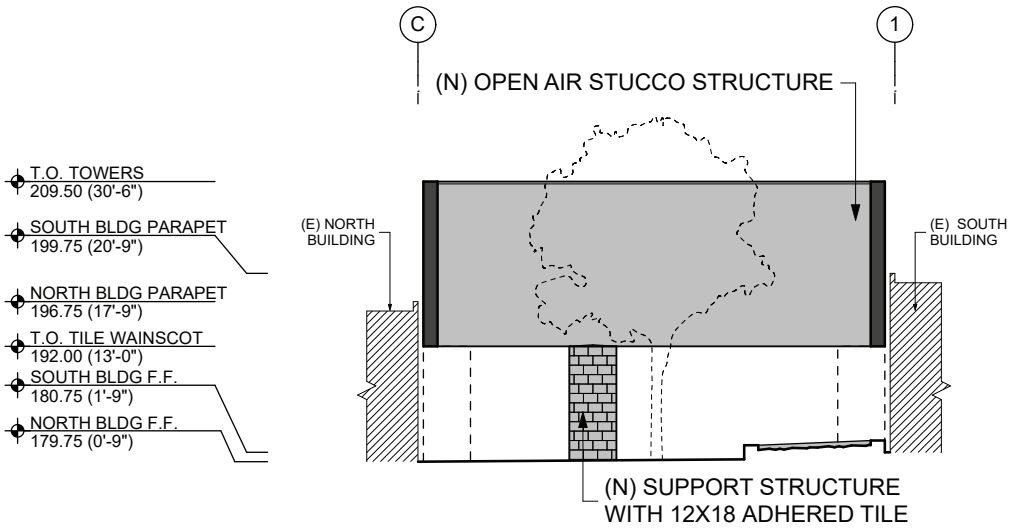
SOUTH INTERIOR ELEVATION



NORTH INTERIOR ELEVATION



WEST INTERIOR ELEVATION



EAST INTERIOR ELEVATION

CHAPMAN UNIVERSITY CAMPUS FAÇADE REFERENCES



KENNEDY HALL - HISTORIC CORE



VPO - INDUSTRIAL CONTEXT

MILLARD SHEETS MURAL

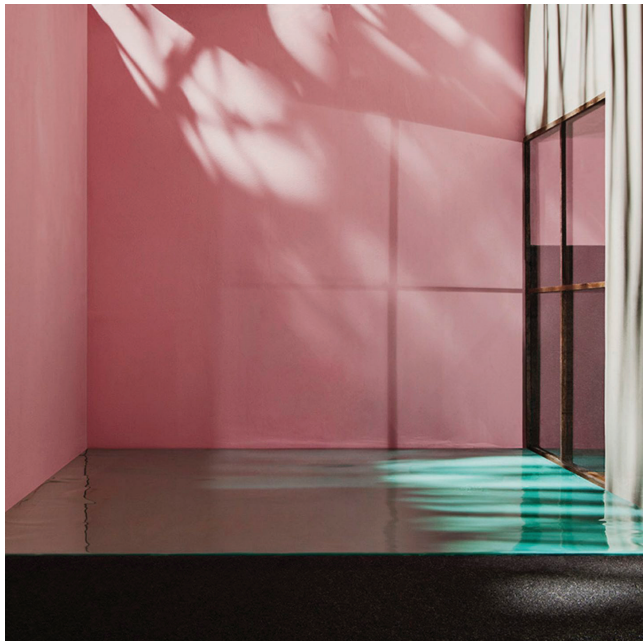


MOSAIC TILED MURAL



HOME SAVINGS & LOAN SANTA MONICA

OPEN-AIR URBAN MARKER REFERENCE IMAGES



CASA LUIS BARRAGAN



LUIS BARRAGAN - CASA GALVEZ



RICK JOY - TENNYSON 205

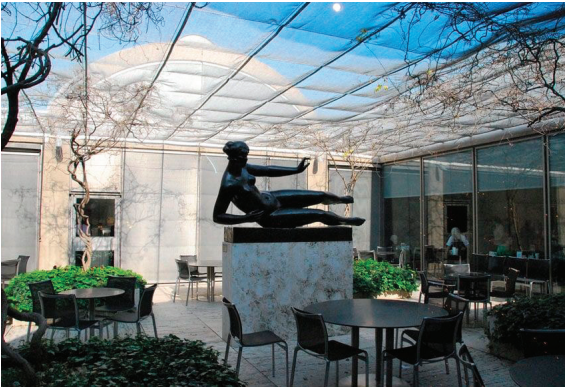


ALVARO SIZA - CAPELO DO MONTE

COURTYARD REFERENCE IMAGES



INTIMATE COURTYARD SPACE



PRESENCE OF LIGHT, SHADOW AND SHAPE



OPEN, FLEXIBLE, AND DYNAMIC COURTYARDS



COURTYARD SUN CONTROL



COURTYARD SUN SHADING

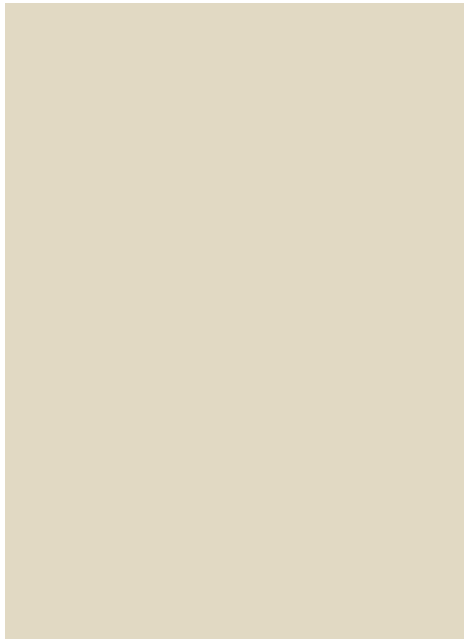


EXTERIOR MATERIAL PALETTE

INFILL WALLS IN EXISTING BUILDING
Stucco Finish
Sto Powerwall Smooth



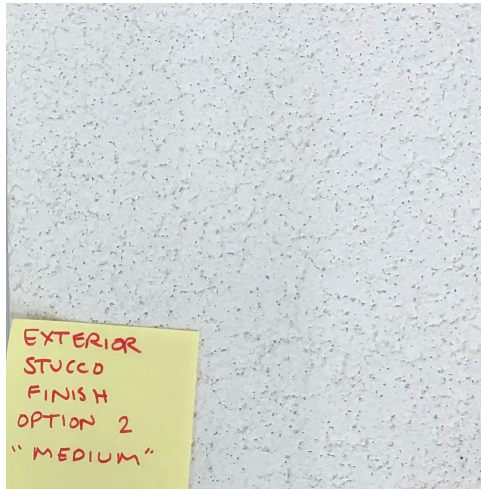
COURTYARD & URBAN MARKERS
Painted Stucco
Dunn Edwards Mission White



EXISTING BUILDING WALLS
Elastomeric Coating
Dunn Edwards High Noon



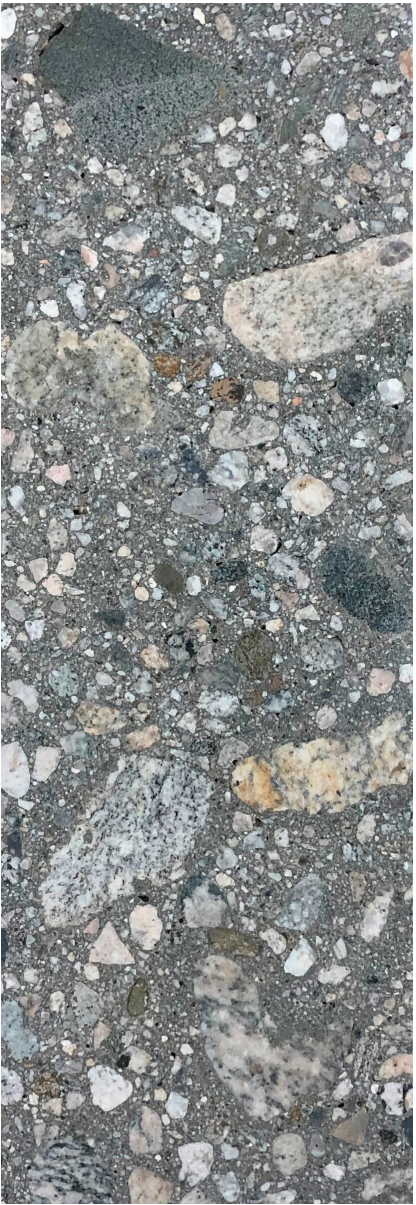
EXTERIOR DOORS & WINDOWS
Clear Anodized Aluminum Frames with IGU
Guardian SNX 51/23 / Arcadia AG451T



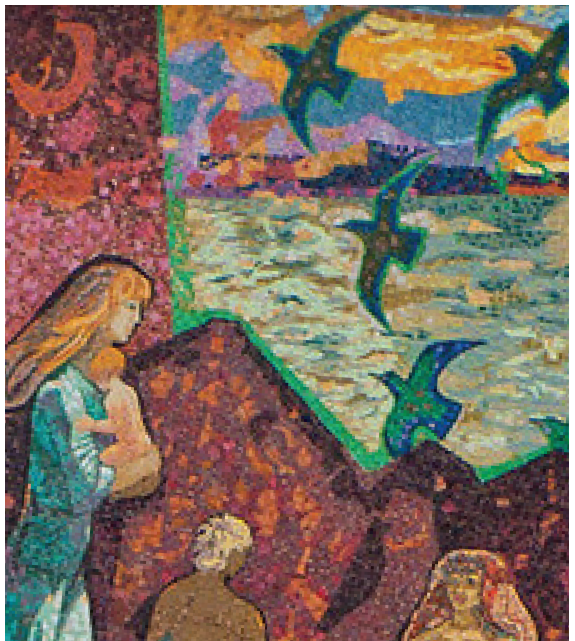
COURTYARD & URBAN MARKERS
Stucco Finish
Sto Powerwall Medium



COURTYARD TILED SUPPORTS
12 inch x 18 inch Concrete Tiles
Arto Roman Tile, Color: Natural Grey



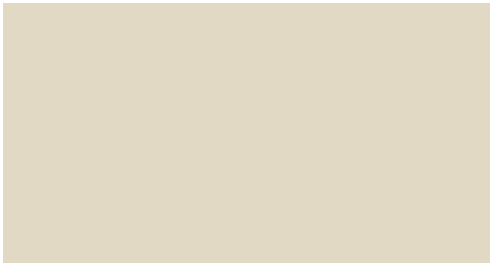
EXTERIOR PAVING
Large Format Aggregate Concrete
Shaw & Sons Custom Mix



MILLARD SHEETS MURAL
Mosaic Glass Tile
Pleasures Along the Beach

EXTERIOR MATERIAL PALETTE

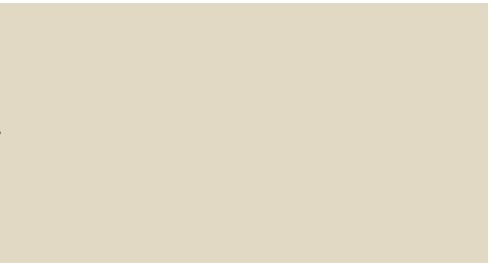
COURTYARD &
URBAN MARKER WALLS
Stucco with Medium Finish
Color: Dunn Edwards Mission White



EXISTING BUILDING WALLS
Sto Elastomeric Coating
Color: Dunn Edwards High Noon



COURTYARD &
URBAN MARKER WALLS
Stucco with Medium Finish
Color: Dunn Edwards Mission White



COURTYARD TILED SUPPORTS
12x18 Arto Roman Concrete Tile
Color: Natural Gray



EXTERIOR MATERIAL PALETTE

COURTYARD & URBAN MARKERS
Stucco Finish
Dunn Edwards Mission White

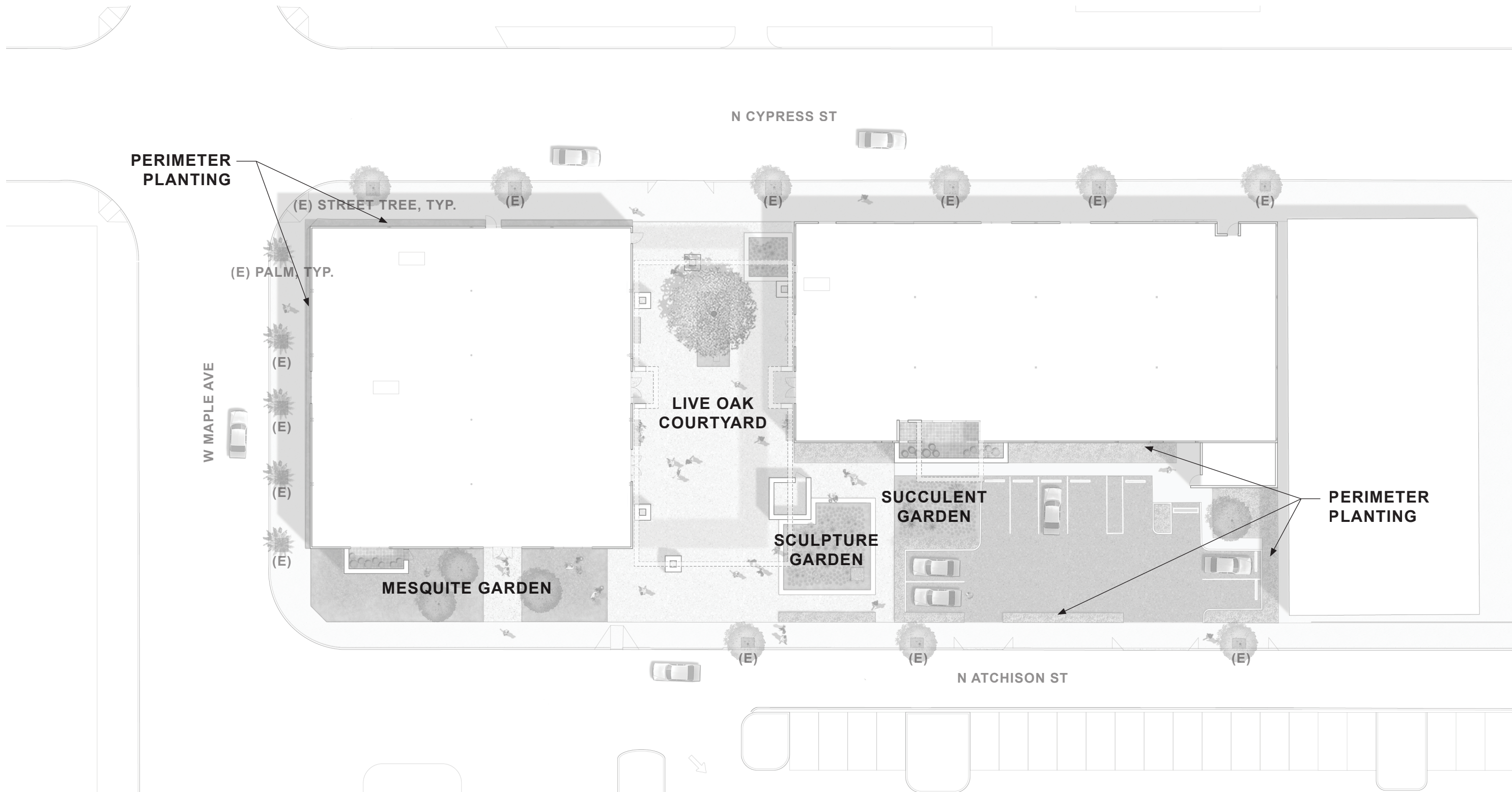
EXISTING BUILDINGS
Elastomeric Coating
Dunn Edwards High Noon

COURTYARD TILED SUPPORTS
12 inch x 18 inch Concrete Tiles
Arto Roman Tile, Natural Gray

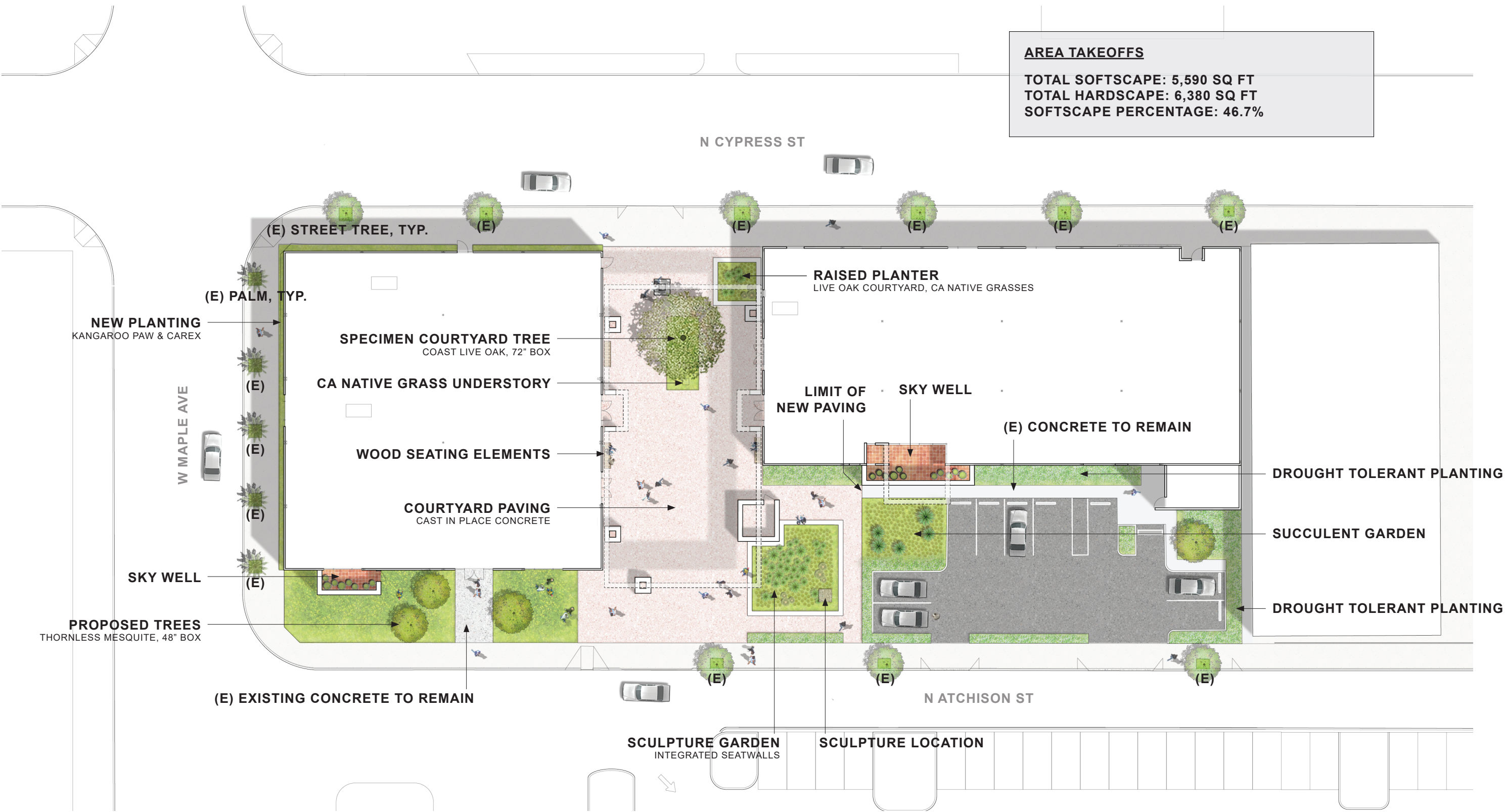
EXTERIOR PAVING
Large Format Aggregate Concrete
Shaw & Sons Custom Mix



SITE LAYOUT - GARDEN AREAS



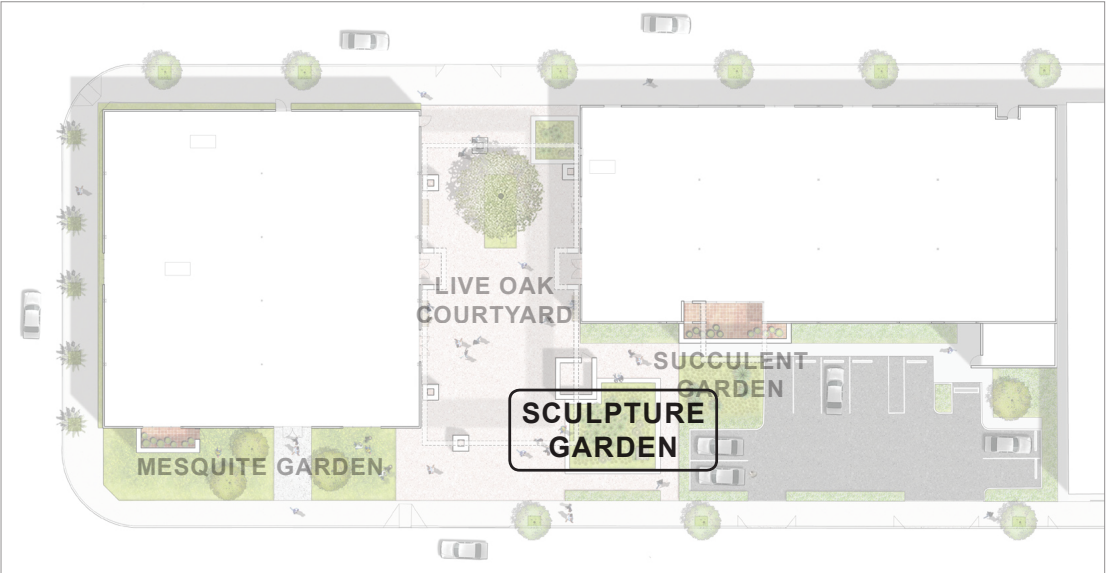
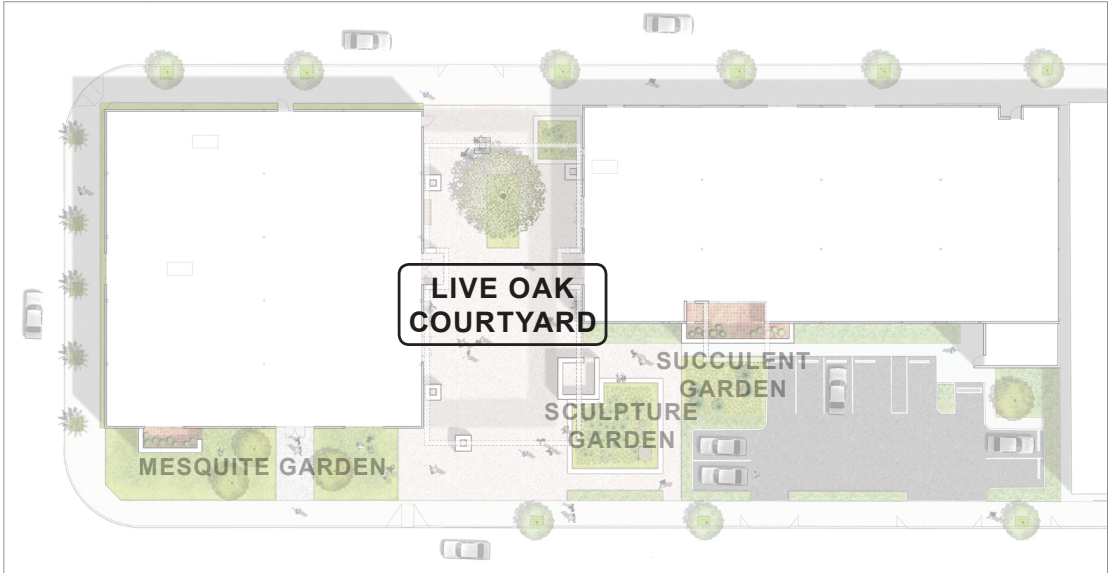
LANDSCAPE PLAN



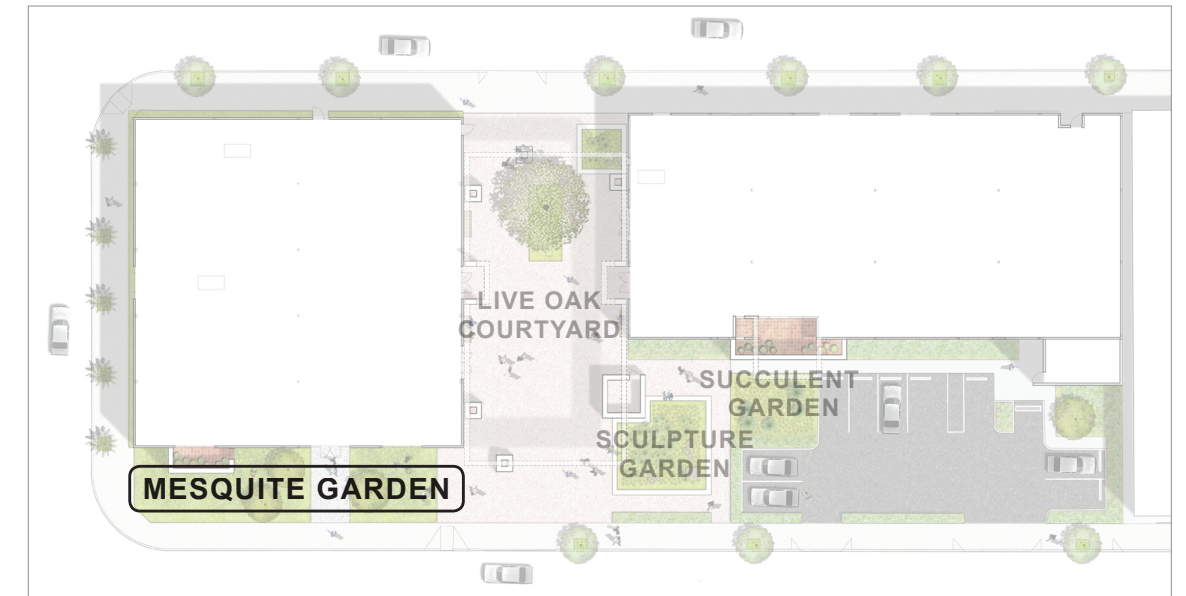
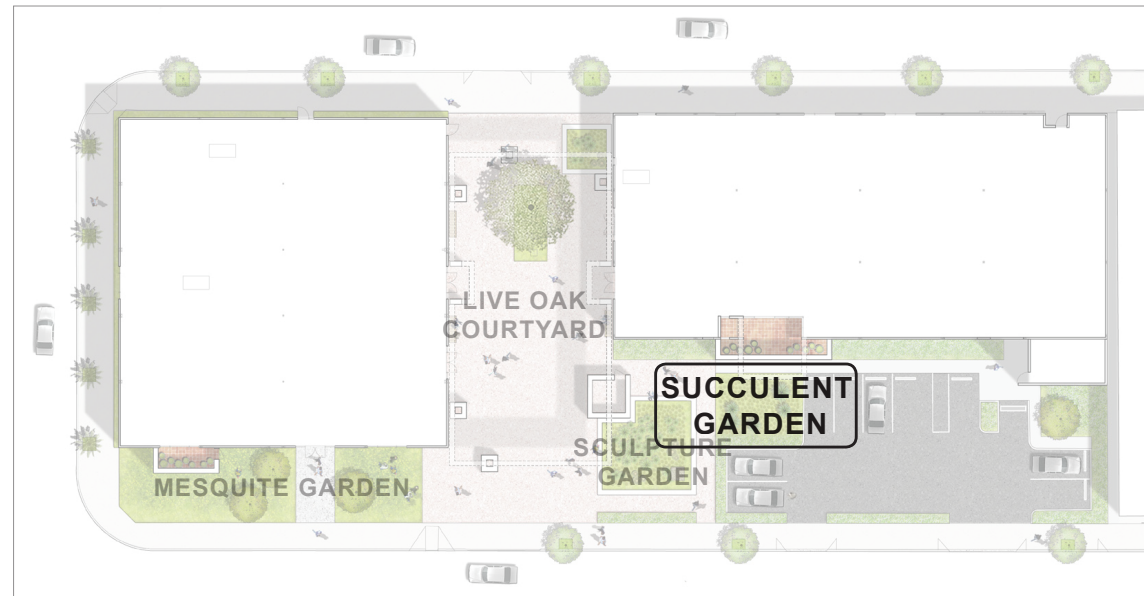
SOFTSCAPE AREA TAKEOFFS



PLANTING CONCEPT IMAGERY



PLANTING CONCEPT IMAGERYSU



PLANTING CONCEPT IMAGERY

UNDERSTORY PLANTING PALETTE

DESERT SHRUBS



ACACIA CULTRIFORMIS
KNIFE-LEAF ACACIA



ACACIA ITEAPHYLLA
WILLOW WATTLE



ANIGOZANTHOS
'BUSH DAWN'
YELLOW KANGAROO PAW

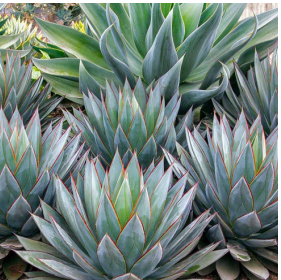


CAESALPINIA
PULCHERRIMA
PEACOCK FLOWER



LEUCADENDRON LAXUM
'JUBILEE CROWN'
JUBILEE CROWN

SUCCULENTS (12" HEIGHT)



AGAVE 'BLUE GLOW'
BLUE GLOW AGAVE



AGAVE
FERDINANDI-REGIS
KING OF THE AGAVES



AGAVE GEMINIFLORA
TWIN-FLOWERED AGAVE



AGAVE OCAHUI
OCAHUI



AGAVE PARRYI
VAR. TRUNCATA
ARTICHOKE AGAVE

CA NATIVE ORNAMENTAL GRASSES



ARISTIDA PURPUREA
PURPLE THREE-AWN



BOUTELOUA GRACILIS
BLUE GRAMA



CAREX PRAEGRACILIS
FIELD SEDGE



LEYMUS CONDENSATUS
'CANYON PRINCE'
CANYON PRINCE WILD RYE



MUHLENBERGIA
LINDHEIMERI
LINDHEIMERI'S MUHLY

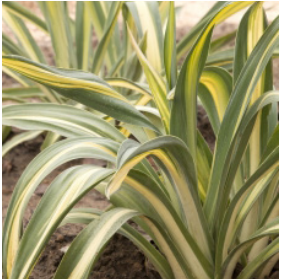
SUCCULENTS (18-30" HEIGHT)



AGAVE ATTENUATA
FOXTAIL AGAVE



AGAVE VILMORINIANA
OCTOPUS AGAVE



BESCHORNERIA
YUCCOIDES
AMOLE



DASYLIRION
LONGISSIMUM
MEXICAN GRASS TREE



KALANCHOE
BEHARENSIS
FELT BUSH

PLANTING CONCEPT IMAGERY

SUCCULENTS (SPECIMENS)



EUPHORBIA INGENS 'VARIEGATA'
CANDELABRA TREE



DRACENA DRACO
DRAGON TREE



KALANCHOE BEHARENSIS
FELT BUSH

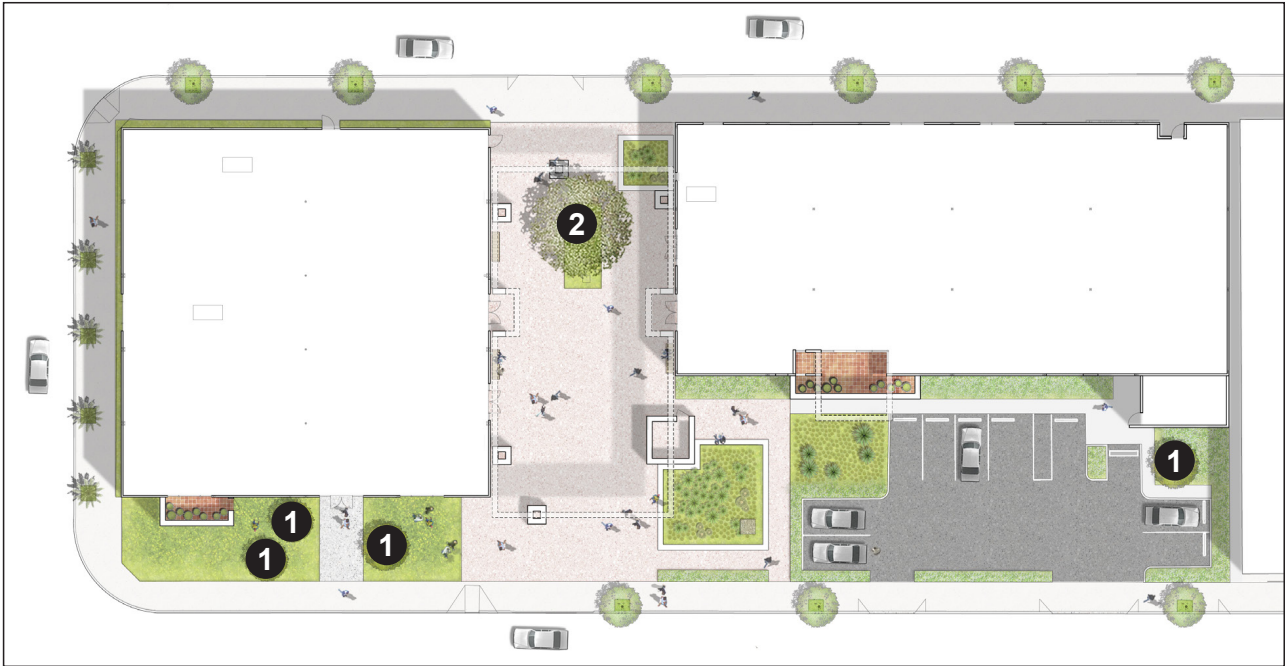


PACHYPODIUM LAMEREI
MADAGASCAR PALM



YUCCA ROSTRATA 'SAPPHIRE SKIES'
SAPPHIRE SKIES BEAKED YUCCA

CONCEPT IMAGERY - TREE PALETTE



KEYMAP

1

PROSOPIS GLANDULOSA ‘MAVERICK’
THORNLESS HONEY MESQUITE

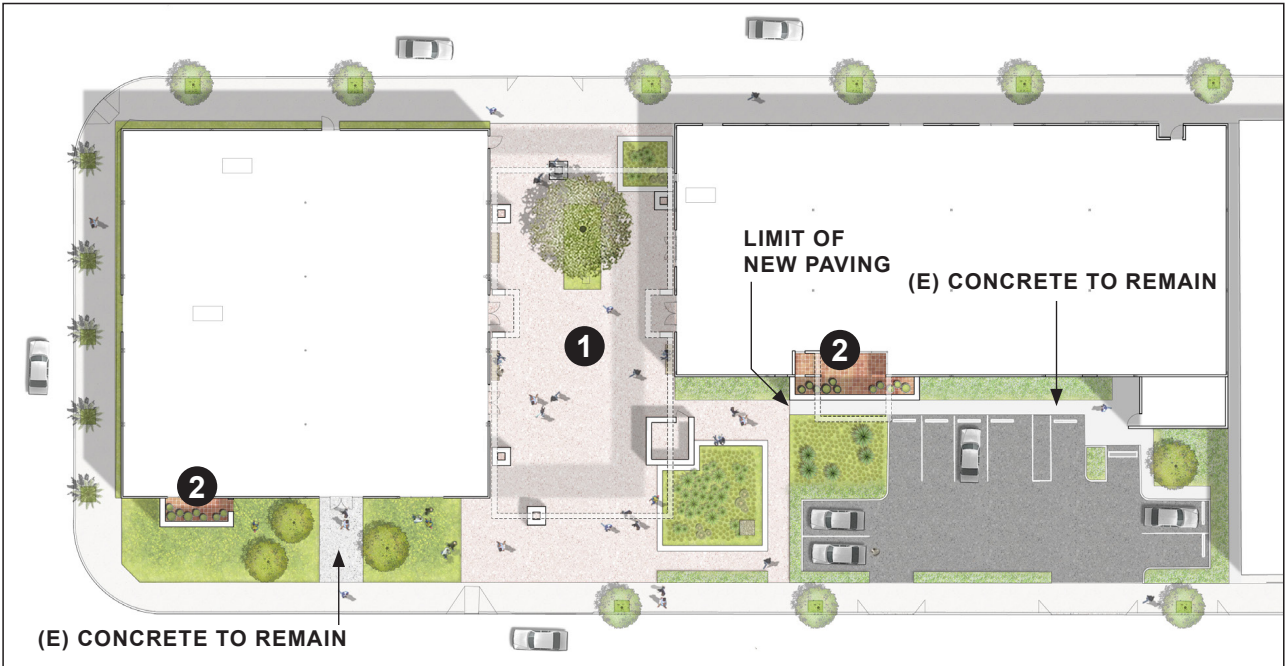


2

QUERCUS AGRIFOLIA
COAST LIVE OAK



CONCEPT IMAGERY - PAVING PALETTE



KEYMAP

CAST IN PLACE CONCRETE
LARGE FORMAT AGGREGATE CONCRETE
SHAW & SONS CUSTOM MIX

1



SPECIALTY "SKY WELL" PAVING
LARGE FORMAT AGGREGATE CONCRETE
SHAW & SONS CUSTOM MIX

2

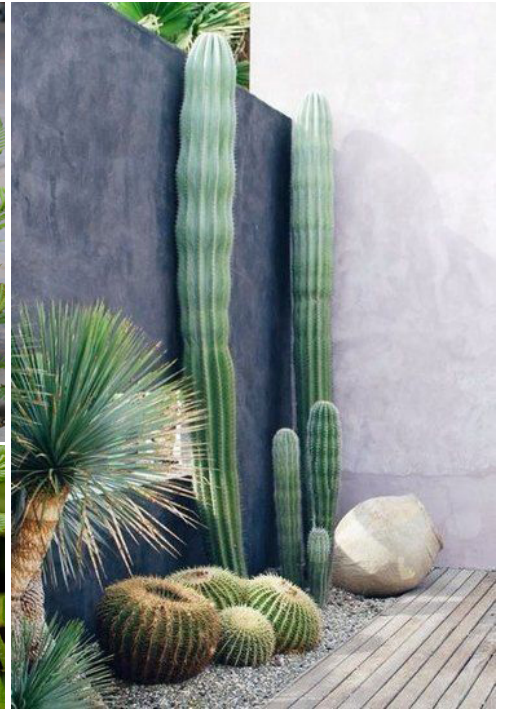


CONCEPT IMAGERY - LIGHT WELL PLANTER POTS

SCULPTURAL POTS



CALIFORNIA NATIVE FERNS & SCULPTURAL CACTI



CONCEPT IMAGERY - SEATING ELEMENTS



EXTERIOR SITE LIGHTING





COURTYARD STEPLIGHT (LOW)



COURTYARD WALL MOUNTED LIGHT



COURTYARD TREE LIGHTING



ENTRY RECESSED LIGHT



IN-GRADE SCULPTURE LIGHT



POLE MOUNTED MOSAIC LIGHT (4 FIXTURES, 17' H POLE)



EXISTING PARKING LOT POLE LIGHTS