



Anna Pehoushek
Assistant Community
Development Director

Mary Binning
Sr. Assistant City Attorney

Jessica Wang
Administrative Specialist

AGENDA

Design Review Committee April 21, 2021

5:30 PM Regular Session

City Council Chamber &
Various Teleconference Locations
300 E. Chapman Avenue
Orange, CA 92866

CAROL FOX
Chair

ROBERT IMBODEN
Vice Chair

ANNE MCDERMOTT
Committee Member

TIM MCCORMACK
Committee Member

MARY ANNE SKORPANICH
Committee Member

SPECIAL NOTICE REGARDING CORONAVIRUS (COVID-19)

On March 4, 2020, Governor Newsom proclaimed a State of Emergency in California as a result of the threat of COVID-19. On March 17, 2020, Governor Newsom issued Executive Order N-29-20 (superseding the Brown Act related provisions of Executive Order N-25-20 issued on March 12, 2020), which allows a local legislative body to hold public meetings via teleconferencing and to make public meetings accessible telephonically or otherwise electronically to all members of the public seeking to observe and to address the local legislative body. Pursuant to Executive Order N-29-20, please be advised that Design Review Committee Members and staff may participate from the City Council Chamber or via teleconference.

PUBLIC PARTICIPATION

Design Review Committee meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at www.cityoforange.org.

The Council Chamber will have limited seating available on a first-come, first-served basis for members of the public to attend the meeting in person. All persons visiting City Hall shall wear masks and observe social distancing protocols. Designated seating has been identified for public use.

Public Comments:

Members of the public may address the Design Review Committee on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

1) In-person Comments

Members of the public can provide in-person comments in the Council Chamber. Social distancing measures will be in place and masks are required. Once a participant has made a public comment, and if the Chamber is at full capacity, the participant will be asked to exit the building. Public comments are limited to three (3) minutes per speaker. Members of the public may observe the meeting from inside the Chamber if seating is available.

2) Written Public Comments via e-mail or eComment

Members of the public can submit their written comments electronically for the DRC's consideration by emailing them to DRCpubliccomment@cityoforange.org with the subject line "Public Comment Item # (insert the item number relevant to the comment)" or "Public Comment Non-agenda Item" for general public comments. The public can also submit written comments on the City's eComment page. Please visit the City's website at www.cityoforange.org, click Current City Council Agenda (under Popular Links), then click the eComment link for this meeting. To ensure distribution to the DRC prior to consideration of the agenda, we encourage the public to submit comments by 3:00 p.m. the day of the meeting. All public comments received for this agenda will be provided to DRC Members, posted on the City's website, and compiled as part of the record.

3) Public Comments via recorded voicemail message

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Design Review Committee.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

NOTE: Any public record that is distributed less than 72 hours prior to the Design Review Committee meeting will be made available at the City Clerk's Office and posted on the City's website.

In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours prior to the meeting will enable the City to make arrangements to assure accessibility to this meeting.

1. OPENING**1.1 CALL TO ORDER****1.2 PLEDGE OF ALLEGIANCE****1.3 ROLL CALL****1.4 PUBLIC COMMENTS**

Opportunity for members of the public to address the Committee on matters not listed on the Agenda which are within the subject matter jurisdiction of the DRC. Members of the public can submit their comments in writing for the Committee's consideration by sending them to DRCpubliccomment@cityoforange.org or by clicking on the City's eComment page. In addition to electronic comments, members of the public can provide in-person comments in the Council Chamber. Public Comments are limited to three (3) minutes per speaker. Finally, the public can leave a recorded message by calling (714) 744-7271. Please refer to pages 1 and 2 of the agenda for more information and detailed instructions.

2. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

2.1. Approval of meeting minutes of the Design Review Committee of the City of Orange for the April 7, 2021 Regular Meeting.**Recommended Action:**

Approve minutes as presented.

Attachments: [Staff Report](#)
 [April 7, 2021 Regular Meeting minutes](#)

3. NEW AGENDA ITEMS**3.1. Design Review No. 5029-21, Valadez Residence, 139 N. Harwood Street.**

A proposal to demolish an existing 251 sq. ft. enclosed rear patio and construct a new 360 sq. ft. open porch and trellis for the single-family residence. The property is a contributing resource to the Old Towne Historic District.

Recommended Action:

Final determination by the Design Review Committee.

Attachments: [Staff Report](#)
 [Attachment 1 Vicinity Map](#)
 [Attachment 2 Architectural Plans date stamped April 7.2021](#)
 [Attachment 3 DPR Form for 139 N. Harwood Street](#)

3.2. Design Review No. 5032-21, Tigner Residence, 151-155 S. Parker Street.

A proposal to demolish an existing detached two-car garage and construct a new bedroom and garage addition between the two single-family residences on the property. The property is a non-contributing resource to the Old Towne Historic District.

Recommended Action:

Final determination by the Design Review Committee

Attachments: [Staff Report](#)
 [Attachment 1 Vicinity Map](#)
 [Attachment 2 Architectural Plans date stamped 4/7/2021](#)
 [Attachment 3 Potential Conditions of Approval](#)
 [Attachment 4 DPR Form for 151/155 S. Parker Street](#)

3.3. Design Review No. 5017-20, East Katella Commercial Center, 232 E. Katella Avenue.

A proposal to construct a new 6,856 sq. ft. commercial building with an associated surface parking lot and landscaping.

Recommended Action:

Final determination by the Design Review Committee

Attachments: [Staff Report](#)
 [Attachment 1 - Vicinity Map](#)
 [Attachment 2 - Architectural Plans date stamped 4.13.2021](#)
 [Attachment 3 - Sign Program](#)
 [Attachment 4 - Letter of Explanation](#)
 [Attachment 5 - Potential Conditions of Approval from All City Departments](#)
 [Attachment 6 - Color and Material Board](#)

4. ADJOURNMENT

The next regular meeting will be held on Wednesday, May 5, 2021 at 5:30 p.m. in the Council Chamber and various teleconference locations.

I, Jessica Wang, Administrative Specialist, of the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section

54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Orange Main Public Library at 407 E. Chapman Avenue, Police facility at 1107 North Batavia, and uploaded to the City's website www.cityoforange.org.

Date posted: April 15, 2021

APPEAL PROCEDURE

Any final determination by the Design Review Committee may be appealed, and such appeal must be filed within 15 calendar days after the action is taken. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of \$1,000.00.

The Community Development Department, upon filing of said appeal, will set petition for public hearing before the City Planning Commission at the earliest possible date.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Design Review Committee at, or prior to, the public hearing.



Agenda Item

Design Review Committee

Item #: 2.1.

4/21/2021

File #: 21-0204

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Jessica Wang, Administrative Specialist

1. SUBJECT

Approval of meeting minutes of the Design Review Committee of the City of Orange for the April 7, 2021 Regular Meeting.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- April 7, 2021 Regular Meeting minutes.



Agenda Item

Design Review Committee

Item #: 2.1.

Date: 4/21/2021

File #: 21-0204

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

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1. SUBJECT

Approval of meeting minutes of the Design Review Committee of the City of Orange for the April 7, 2021 Regular Meeting.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- April 7, 2021 Regular Meeting minutes.

MINUTES - DRAFT

City of Orange

Design Review Committee

April 07, 2021

1. OPENING

1.1 CALL TO ORDER

Chair Fox called the meeting to order at 5:30 p.m.

1.2 PLEDGE OF ALLEGIANCE

Committee Member McCormack led the flag salute.

1.3 ROLL CALL

Present: Fox, Imboden, McDermott, McCormack, and Skorpanich

Absent: None

1.4 PUBLIC COMMENTS

None.

2. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

Item 2.1 was removed from the Consent Calendar for discussion.

2.1. Approval of meeting minutes of the Design Review Committee of the City of Orange for the February 18, 2021 Adjourned Regular Meeting and March 3, 2021 Regular Meeting.

Committee members had corrections or additions to both sets of minutes.

ACTION: A motion was made by Committee Member Skorpanich, seconded by Committee Member McCormack, to approve the February 18, 2021 and March 3, 2021 meeting minutes.

The motion neglected to state minutes were emended and was withdrawn.

An amended motion was made by Committee Member Skorpanich, seconded by Committee Member McCormack, to approve the February 18, 2021 and March 3, 2021 meeting minutes as emended to staff.

The motion carried by the following vote:

Ayes: Fox, Imboden, McDermott, McCormack, and Skorpanich

Noes: None

Absent: None

2.2. Design Review No. 5024-21, McClean Design Office, 391 S. Glassell Street

A proposal to replace exterior doors on the east elevation and remove a garage door and replace it with a folding window on the south elevation of a non-contributing commercial building in the Old Towne Historic District.

ACTION: A motion was made by Committee Member Imboden, seconded by Committee Member Skorpanich, to approve Design Review Item No. 5024-21, McClean Design Office, 391 S. Glassell Street as submitted.

The motion carried by the following vote:

Ayes: Fox, Imboden, McDermott, McCormack, and Skorpanich

Noes: None

Absent: None

3. CONTINUED ITEMS

3.1. Design Review No. 4991-19, Nexx Burger, 2940 E. Chapman Avenue - Continued from January 6, 2021

A proposal to redevelop a former full-service restaurant site with a new 2,460 square foot drive-through fast food restaurant, 610 square foot outdoor dining area, and related site improvements.

Darian Radac, applicant, Peter Duarte, Landscape Architect, and Daniel Ramirez, Civil Engineer were present to respond to questions.

The Committee discussed the following:

- Trash enclosure location
- Landscape around trash enclosure
- Site plan and civil plan curb conflicts
- Curbs and wheel stops
- Irrigation
- Outdoor dining area fence and side wall height
- Bio-retention soil composition
- Biofiltration system

A motion was made by Committee Member Skorpanich, seconded by Committee Member McCormack, to recommend approval to the Planning Commission of Design Review No. 4991-19, Nexx Burger, 2940 E. Chapman Avenue subject to the Findings and Conditions in the staff report with the following additional Conditions:

1. Curbs shall be removed along the edge of the biofiltration zone.
2. Spanish Dagger Yucca may be added to the area around the trash enclosure as allowed by the Orange Police Department.
3. The off-site light shall be removed from the plans.

4. The guardrail height surrounding the outdoor dining area shall be reduced to 36 inches.
5. Lindheimer Muhly shrubs shall be replaced by a Deer Grass variety.

The motion carried by the following vote:

Ayes: Fox, Imboden, McDermott, McCormack, and Skorpanich

Noes: None

Absent: None

4. ADJOURNMENT

There being no further business, the meeting adjourned at 6:43 p.m.

The next Regular meeting is scheduled for Wednesday, April 21, 2021 at 5:30 p.m. in the Council Chamber and various teleconference locations.



Agenda Item

Design Review Committee

Item #: 3.1.

4/21/2021

File #: 21-0193

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kelly Ribuffo, Associate Planner - Historic Preservation

1. SUBJECT

Design Review No. 5029-21, Valadez Residence, 139 N. Harwood Street

2. SUMMARY

Final determination by the Design Review Committee.

The applicant proposes to demolish an existing 251 square foot enclosed rear patio and construct a new 360 square foot open porch and trellis for the single-family residence located at 139 N. Harwood Street. The property is a contributing resource to the Old Towne Historic District.

3. BACKGROUND INFORMATION

Applicant/Owner: Nora Valadez

Architect: Craig B. Wheeler

Property Location: 139 N. Harwood Street

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Single-Family Residential (R-1-6)

Existing Development: 1,674 square foot single-family residence with 251 square foot attached patio and a detached garage

Associated Application: None

Previous DRC Project Review: None

4. PROJECT DESCRIPTION

The applicant proposed to demolish an existing 251 square foot enclosed patio and construct a new 350 square foot open porch at the rear of the single-family residence located at 139 N. Harwood Street. The new porch will be constructed at floor level with the residence, with 30 inch high walls on three sides finished with lap siding. The gable roof of the porch is set five inches lower than the existing roofline of the rear of the house, which is a 1969 addition to the original building. Other design features of the porch include a wood finished cathedral ceiling, smooth finish concrete foundation, a brick fireplace and chimney, and brick steps.

In addition to the rear patio, the applicant proposed to construct a new wood trellis along the south

side of the building to provide shade for the side of the residence. The trellis beams will attach to the house underneath the roof outriggers and be supported with 6"x6" posts.

Detailed plans and photographs are included as Attachment 2 of this report. The proposed work meets the development standards for the R-1-6 zoning district, including setbacks.

5. EXISTING SITE

The project property is a contributing resource to the National Register-listed Old Towne Historic District. The one-story Craftsman Bungalow was constructed c.1920. The detached garage dates from the same period as the residence.

Overall, the property retains a high degree of historic integrity. In 1969, a 418 square foot rear addition was added to the house, with architectural details to match the original Craftsman style. The enclosed patio proposed to be demolished is attached to the rear of this addition. The construction date of the patio is unknown.

In addition, the property has an active Mills Act Contract approved in 1999.

6. EXISTING AREA CONTEXT

The subject property is located on the east side of N. Harwood Street, north of the intersection with E. Chapman Avenue. The house is located just north of the transition of the office/commercial corridor to an established residential neighborhood. The property is surrounded on all sides by single-family residential properties (R-1-6) that are also contributing resources to the Old Towne Historic District.

7. ANALYSIS AND STATEMENT OF THE ISSUES

No issue items have been identified for this project. It is the opinion of staff that the proposed work complies with the requirements for additions as set forth in the Historic Preservation Design Standards for Old Towne and the Secretary of the Interior's Standards for Rehabilitation.

The proposed rear porch has been designed with features to replicate the Craftsman features of the residence, with small differentiations, such as siding width, to indicate that the porch is not original to the building. In addition, the porch will be attached to a non-historic addition to the house, creating further separation between the original and newer portions of the house. The porch will also be minimally visible from the public right-of-way and will not detract from the streetscape along N. Harwood Street.

The proposed trellis on the south side of the house is also a complimentary feature with the Craftsman style of the residence. Trellises are a relatively common feature of Craftsman homes, used to provide shade and visual appeal to homes during the original period of construction for the style. The trellis as designed requires minimal attachment to the building and does not require removal or alteration of any character-defining historic features, such as the roof outriggers. Therefore, it is the opinion of staff that the design of the trellis does not detract from the historic architecture of the house.

8. ADVISORY BOARD RECOMMENDATION

None required.

9. PUBLIC NOTICE

None required.

10. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15331 (Class 31 - Historical resource Restoration/Rehabilitation) because the project consists of the removal of a non-historic addition to a historic residence and construction of a compatible rear porch in compliance with the *Secretary of the Interior's Standards for Rehabilitation*. No public review is required.

11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Findings for Design Review Committee (DRC) applications come from three sources:

- The Orange Municipal Code (OMC)
- The Infill Residential Design Guidelines
- Orange Eichler Design Standards
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)

The Findings are applied as appropriate to each project. Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.F.1).

The project as proposed conforms to the requirements of the Historic Preservation Design Standards for Old Towne. The rear porch addition will be attached to a non-historic addition to the house and is designed with features to replicate the Craftsman features of the residence, with small differentiations, such as siding width, to indicate that the porch is not original to the building. The porch will also be minimally visible from the public right-of-way and will not detract from the historic rhythm of the streetscape along N. Harwood Street. The south elevation trellis will be visible from the street, but is designed to replicate the type of shade trellis sometimes found as an original historic feature of Craftsman-style homes. The trellis as designed requires minimal attachment to the building and does not require removal or alteration of any character-defining historic features, such as the roof outriggers. Therefore, it will not negatively impact the historic character of the property.

- In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines (OMC 17.10.07.F.2).

The project as proposed complies with the Secretary of the Interior's Standards for Rehabilitation. The porch addition utilizes historic design features of the residence, such as the pyramid columns, gable roof pitch, and lap siding, to relate the new addition to the historic portion of the residence. However, the addition is still differentiated as a non-historic addition through attachment to another 1969 addition to the house, use of narrower siding width, and taller exposed concrete foundation walls. Therefore the porch cannot be mistaken for an original feature of the building or create a false sense of historical development on the property. The proposed trellis has a historically-inspired design but will be constructed with modern lumbar and attachment techniques, which also differentiates it as a non-historic addition to the building.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

The proposed project complies with the Historic Preservation Design Standards for Old Towne. The project has been designed with features to compliment the Craftsman architectural features of the residence. The use of lap siding, pyramid-shaped columns, and gable roof echo the features of the front porch of the house and create an internally consistent design vocabulary for the addition. The south side trellis provides for shade to the side of the building using a style-appropriate feature found on other Craftsman homes of the same era in a non-historic configuration.

12. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 2 (date stamped April 7, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

13. ATTACHMENTS

- Attachment 1 Vicinity Map
- Attachment 2 Architectural Plans date stamped April 7, 2021
- Attachment 3 DPR Form for 139 N. Harwood Street



Agenda Item

Design Review Committee

Item #: 3.1.

4/21/2021

File #: 21-0193

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kelly Ribuffo, Associate Planner - Historic Preservation

1. SUBJECT

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2. SUMMARY

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Associated Application: None

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4. PROJECT DESCRIPTION

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In addition to the rear patio, the applicant proposed to construct a new wood trellis along the south

side of the building to provide shade for the side of the residence. The trellis beams will attach to the house underneath the roof outriggers and be supported with 6"x6" posts.

Detailed plans and photographs are included as Attachment 2 of this report. The proposed work meets the development standards for the R-1-6 zoning district, including setbacks.

5. EXISTING SITE

The project property is a contributing resource to the National Register-listed Old Towne Historic District. The one-story Craftsman Bungalow was constructed c.1920. The detached garage dates from the same period as the residence.

Overall, the property retains a high degree of historic integrity. In 1969, a 418 square foot rear addition was added to the house, with architectural details to match the original Craftsman style. The enclosed patio proposed to be demolished is attached to the rear of this addition. The construction date of the patio is unknown.

In addition, the property has an active Mills Act Contract approved in 1999.

6. EXISTING AREA CONTEXT

The subject property is located on the east side of N. Harwood Street, north of the intersection with E. Chapman Avenue. The house is located just north of the transition of the office/commercial corridor to an established residential neighborhood. The property is surrounded on all sides by single-family residential properties (R-1-6) that are also contributing resources to the Old Towne Historic District.

7. ANALYSIS AND STATEMENT OF THE ISSUES

No issue items have been identified for this project. It is the opinion of staff that the proposed work complies with the requirements for additions as set forth in the Historic Preservation Design Standards for Old Towne and the Secretary of the Interior's Standards for Rehabilitation.

The proposed rear porch has been designed with features to replicate the Craftsman features of the residence, with small differentiations, such as siding width, to indicate that the porch is not original to the building. In addition, the porch will be attached to a non-historic addition to the house, creating further separation between the original and newer portions of the house. The porch will also be minimally visible from the public right-of-way and will not detract from the streetscape along N. Harwood Street.

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8. ADVISORY BOARD RECOMMENDATION

None required.

9. PUBLIC NOTICE

None required.

10. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15331 (Class 31 - Historical resource Restoration/Rehabilitation) because the project consists of the removal of a non-historic addition to a historic residence and construction of a compatible rear porch in compliance with the *Secretary of the Interior's Standards for Rehabilitation*. No public review is required.

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The Findings are applied as appropriate to each project. Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.F.1).

The project as proposed conforms to the requirements of the Historic Preservation Design Standards for Old Towne. The rear porch addition will be attached to a non-historic addition to the house and is designed with features to replicate the Craftsman features of the residence, with small differentiations, such as siding width, to indicate that the porch is not original to the building. The porch will also be minimally visible from the public right-of-way and will not detract from the historic rhythm of the streetscape along N. Harwood Street. The south elevation trellis will be visible from the street, but is designed to replicate the type of shade trellis sometimes found as an original historic feature of Craftsman-style homes. The trellis as designed requires minimal attachment to the building and does not require removal or alteration of any character-defining historic features, such as the roof outriggers. Therefore, it will not negatively impact the historic character of the property.

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- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

The proposed project complies with the Historic Preservation Design Standards for Old Towne. The project has been designed with features to compliment the Craftsman architectural features of the residence. The use of lap siding, pyramid-shaped columns, and gable roof echo the features of the front porch of the house and create an internally consistent design vocabulary for the addition. The south side trellis provides for shade to the side of the building using a style-appropriate feature found on other Craftsman homes of the same era in a non-historic configuration.

12. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 2 (date stamped April 7, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

13. ATTACHMENTS

- Attachment 1 Vicinity Map
- Attachment 2 Architectural Plans date stamped April 7, 2021
- Attachment 3 DPR Form for 139 N. Harwood Street

Vicinity Map

DRC No. 5029-21

Valadez Residence

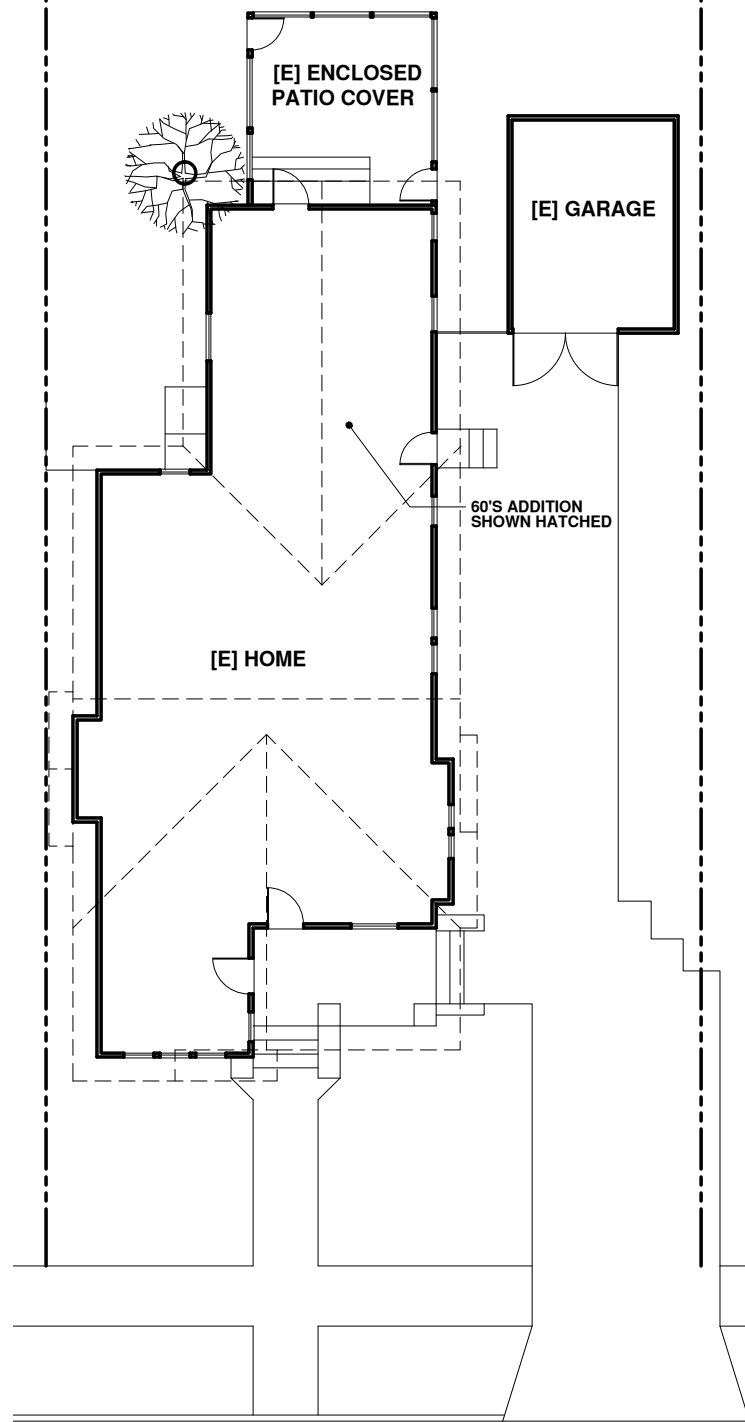
139 N. Harwood Street



ORANGE = CONTRIBUTING HISTORIC RESOURCE
YELLOW = NON-CONTRIBUTING RESOURCE

CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT

EXISTING



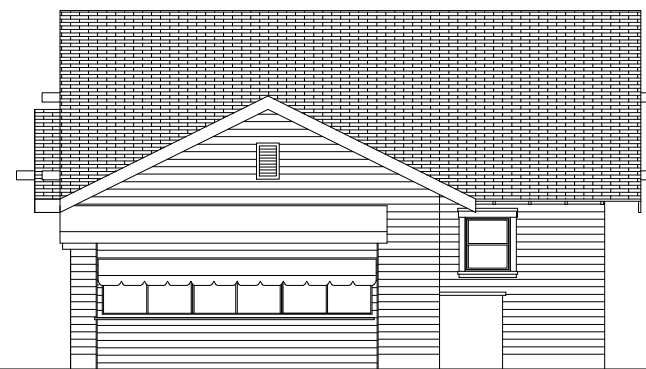
SITE PLAN

1/8" = 1'-0"



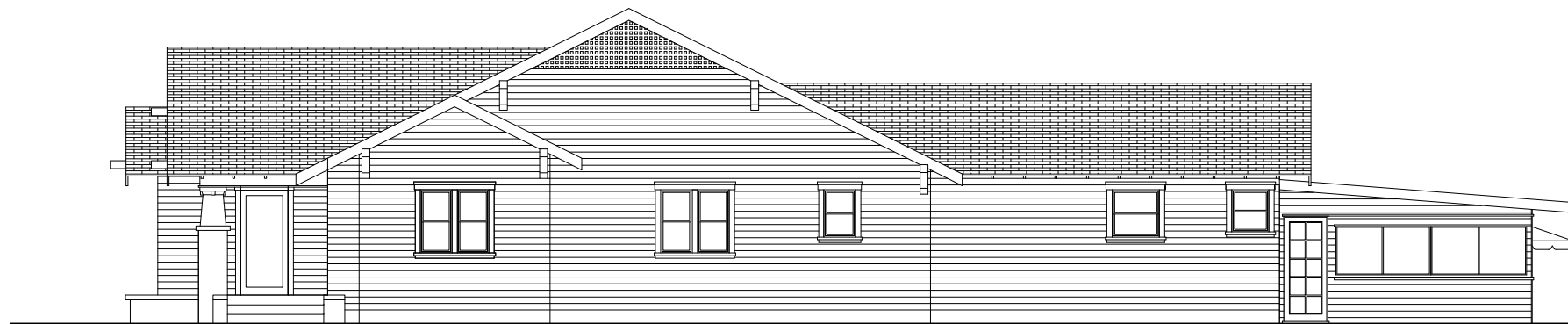
FRONT ELEVATION

3/16" = 1'-0"



REAR ELEVATION

3/16" = 1'-0"



RIGHT SIDE ELEVATION

3/16" = 1'-0"

PROJECT DESCRIPTION

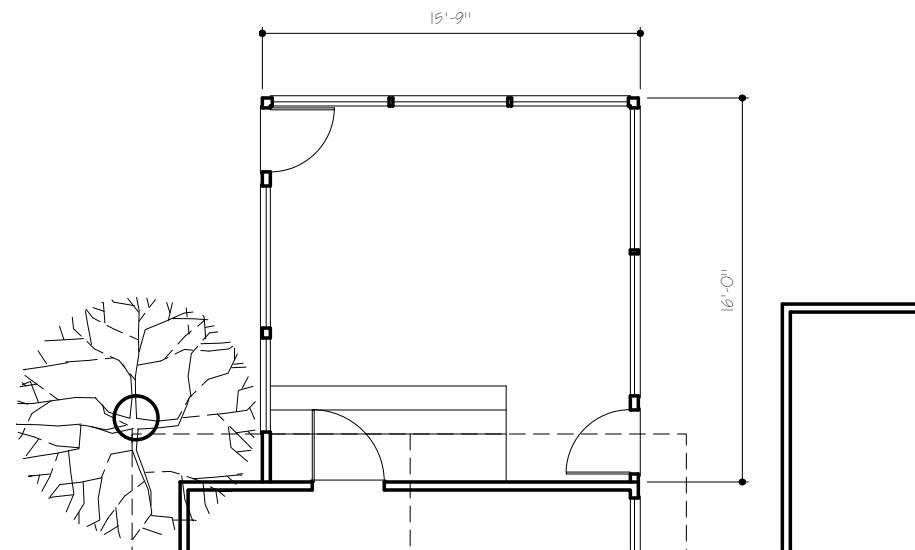
THIS PROJECT ENTAILS THE DEMOLITION OF AN EXISTING COVERED AND ENCLOSED STEP DOWN PATIO COVER AT THE REAR OF AN EXISTING CONTRIBUTING HOME IN THE OLD TOWN HISTORIC DISTRICT. THE PATIO COVER IS NOT AN HISTORIC ASSET TO THE HOME AND THE PATIO COVER IS ITSELF ATTACHED TO A NON-HISTORIC ADDITION CONSTRUCTED IN THE 1960'S

TO REPLACE THE EXISTING ROOM ADDITION, A NEW COVERED UN-ENCLOSED PORCH WILL BE CONSTRUCTED WITH A FLOOR LEVEL TO MATCH THAT OF THE EXISTING HOME. THE NEW PORCH WILL BE PROVIDED WITH A 30" HIGH WALL ON THREE SIDES WHICH WILL BE FINISHED ON THE EXTERIOR WITH WOOD SIDING OF A SLIGHTLY DIFFERENT EXPOSURE AS THE ORIGINAL SIDING. THE NEW PORCH WILL HAVE A MATCHING GABLED ROOF 5 INCHES LOWER THAN THE REAR GABLE OF THE HOUSE AND WILL FEATURE A WOOD FINISHED CATHEDRAL CEILING ON THE INTERIOR. THE RAISED WOOD FLOOR OF THE NEW PORCH WILL BE FINISHED WITH WOOD FLOORING.

A NEW TRELLIS STRUCTURE WILL ALSO BE CONSTRUCTED ALONG A PORTION OF THE SOUTH WALL OF THE EXISTING HOME SO AS TO PROVIDE SHADE FOR THE SOUTHERN SIDE OF THE HOUSE.

BUILDING AREAS:

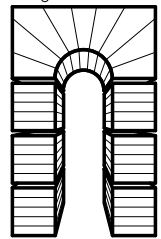
EXISTING HOME	1,674 S.F.
EXISTING ENCLOSED PATIO	251 S.F.
NEW COVERED PORCH	360 S.F.



EXIST. REAR PATIO

1/4" = 1'-0"

craig b wheeler



architect

58 plaza square

studio g

orange ca 92866

714 288 1424 voice

714 288 1426 fax

PRELIMINARY

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THE VALADEZ
RESIDENCE

139 N. HARWOOD ST.
ORANGE, CA 92866

Sheet:
EXISTING HOME

24"x36" Sheet

Scale: NOTED

11"x17" Sheet

Scale: HALF OF NOTED

Date: 25FEB21

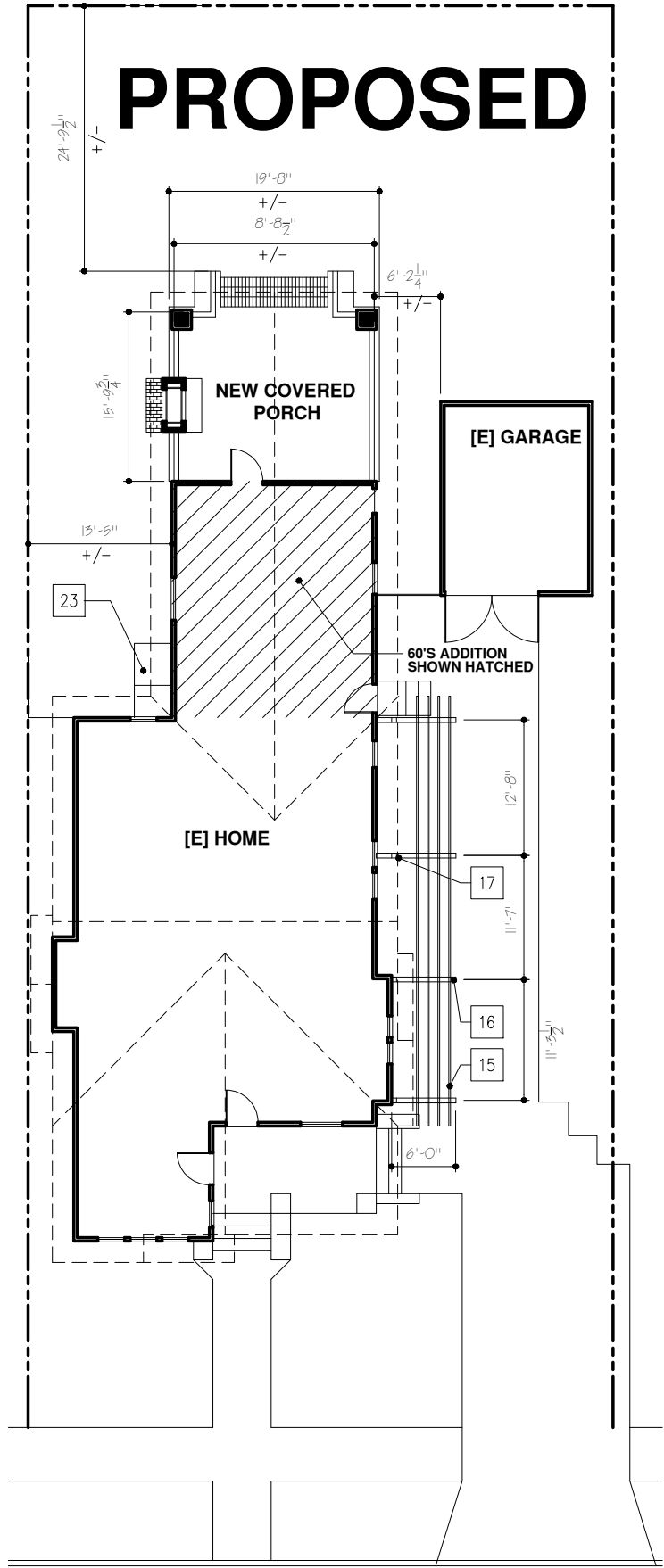
Rev.: -

Job No.: 277

Drawing File
277A5DRC.DWG

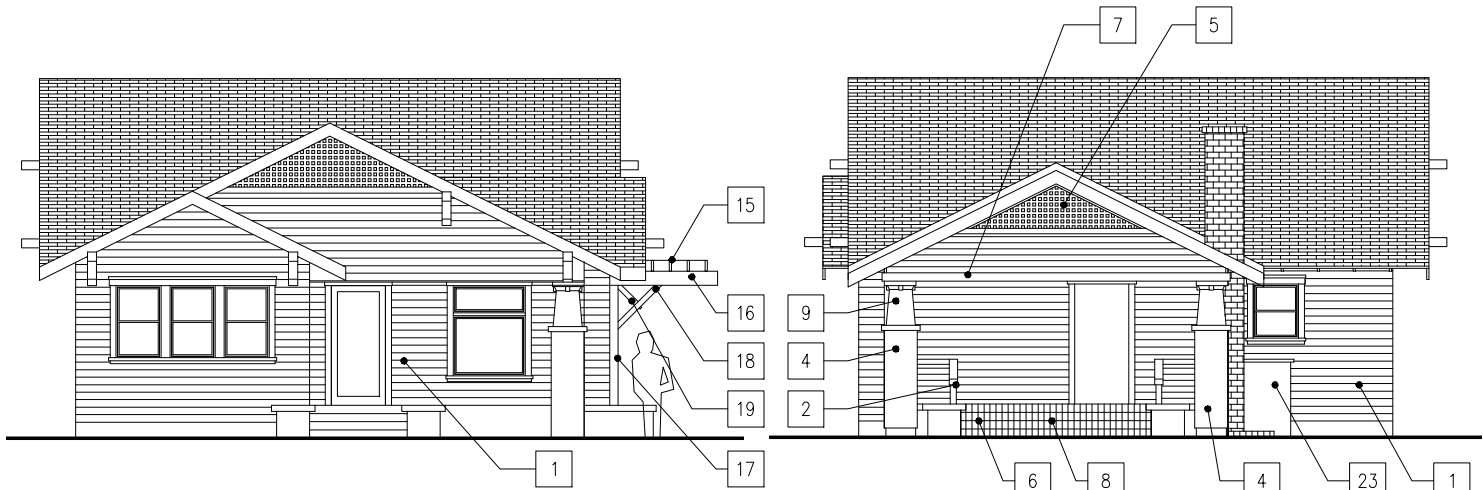
Sheet No.:

A-1



SITE PLAN

1/8" = 1'-0"

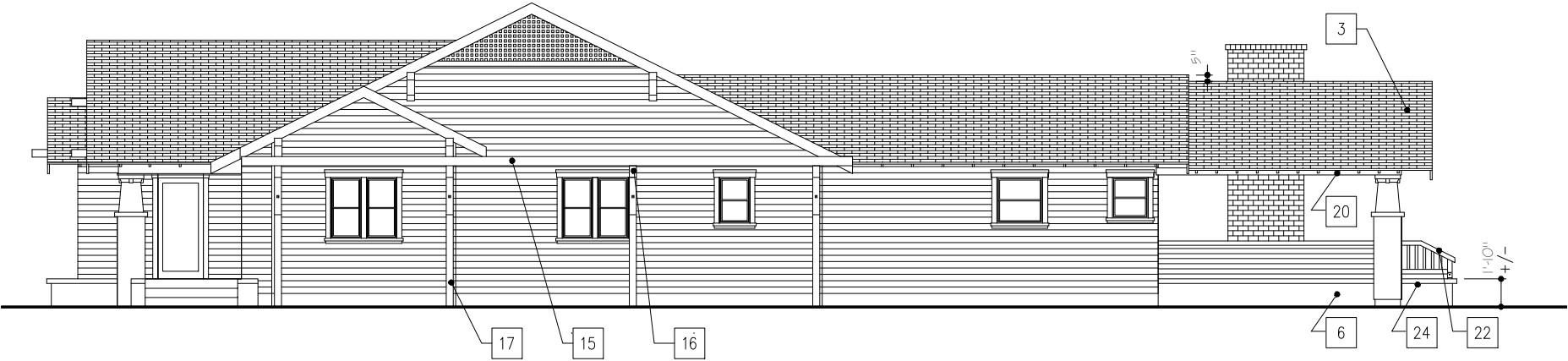


FRONT ELEVATION

3/16" = 1'-0"

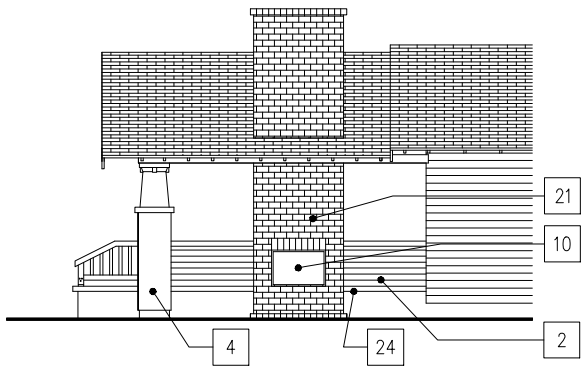
REAR ELEVATION

3/16" = 1'-0"



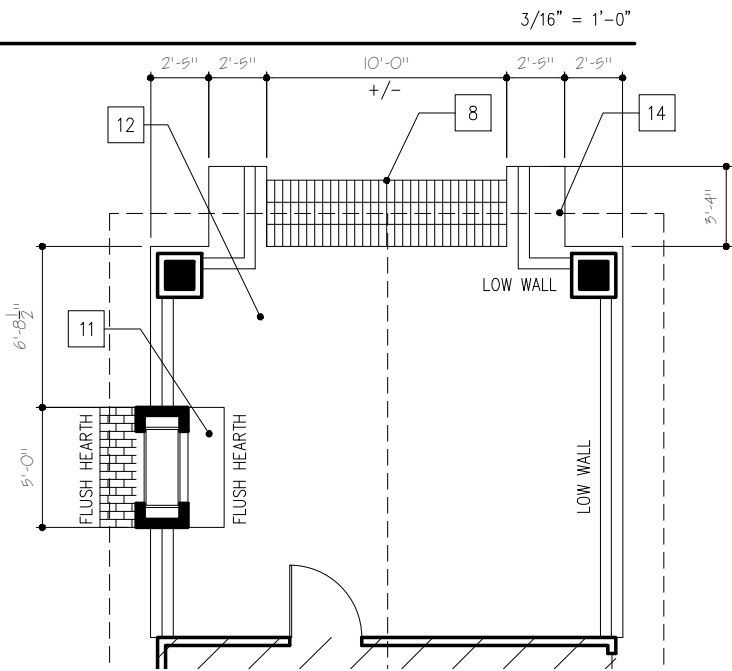
RIGHT SIDE ELEVATION

3/16" = 1'-0"



PARTIAL LEFT ELEV.

3/16" = 1'-0"



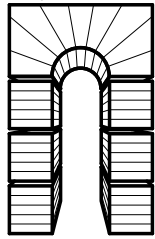
DECK PLAN

1/4" = 1'-0"

DRAWING NOTES

1. EXISTING WOOD SIDING W/ 5" EXPOSURE
2. NEW WOOD SIDING W/ 4" EXPOSURE
3. NEW ROOFING TO MATCH EXISTING
4. STUCCO FINISH TO MATCH TEXTURE OF PIER BASES ON EXISTING FRONT PORCH
5. NEW NON-FUNCTIONAL GRILL TO MATCH EXISTING
6. SMOOTH FINISH CONCRETE FOUNDATION TO MATCH EXISTING
7. WOOD TRIM BOARD
8. BRICK STEPS
9. ELEPHANTINE COLUMN CONSTRUCTED OF MDO PLYWOOD TO MATCH EXISTING - COLUMN TO BE SIZED TO ACCOMMODATE A 12" STRONG-WALL
10. NEW SEE-THROUGH METAL FIREBOX
11. CERAMIC TILE HEARTH TO BE SELECTED BY OWNER
12. WOOD FLOOR FINISH
13. - NOT USED -
14. LINE OF ROOF OVERHANG ABOVE
15. 2x8 TRELLIS RAFTERS
16. 6x10 TRELLIS BEAM
17. 6x6 TRELLIS POST
18. 4x6 TRELLIS BRACKET
19. 4x4 DIAGONAL BRACE
20. 2x4 RAFTER TAILS @ 16" O/C
21. 1-3/4" MAX. THICKNESS THIN BRICK VENEER
22. WOOD HANDRAIL - SHE SHEET A-3
23. EXIST. CELLAR ACCESS TO REMAIN
24. 4" PROJECTING CONCRETE BAND

craig b wheeler



architect

58 plaza square

studio g

orange ca 92866

714 288 4224 voice

714 288 4226 fax

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THE VALADEZ
RESIDENCE
139 N. HARWOOD ST.
ORANGE, CA 92866

Sheet:
PROPOSED DESIGN

24"x36" Sheet

Scale: NOTED

11"x17" Sheet

Scale: HALF OF NOTED

Date: 5APR21

Rev.: -

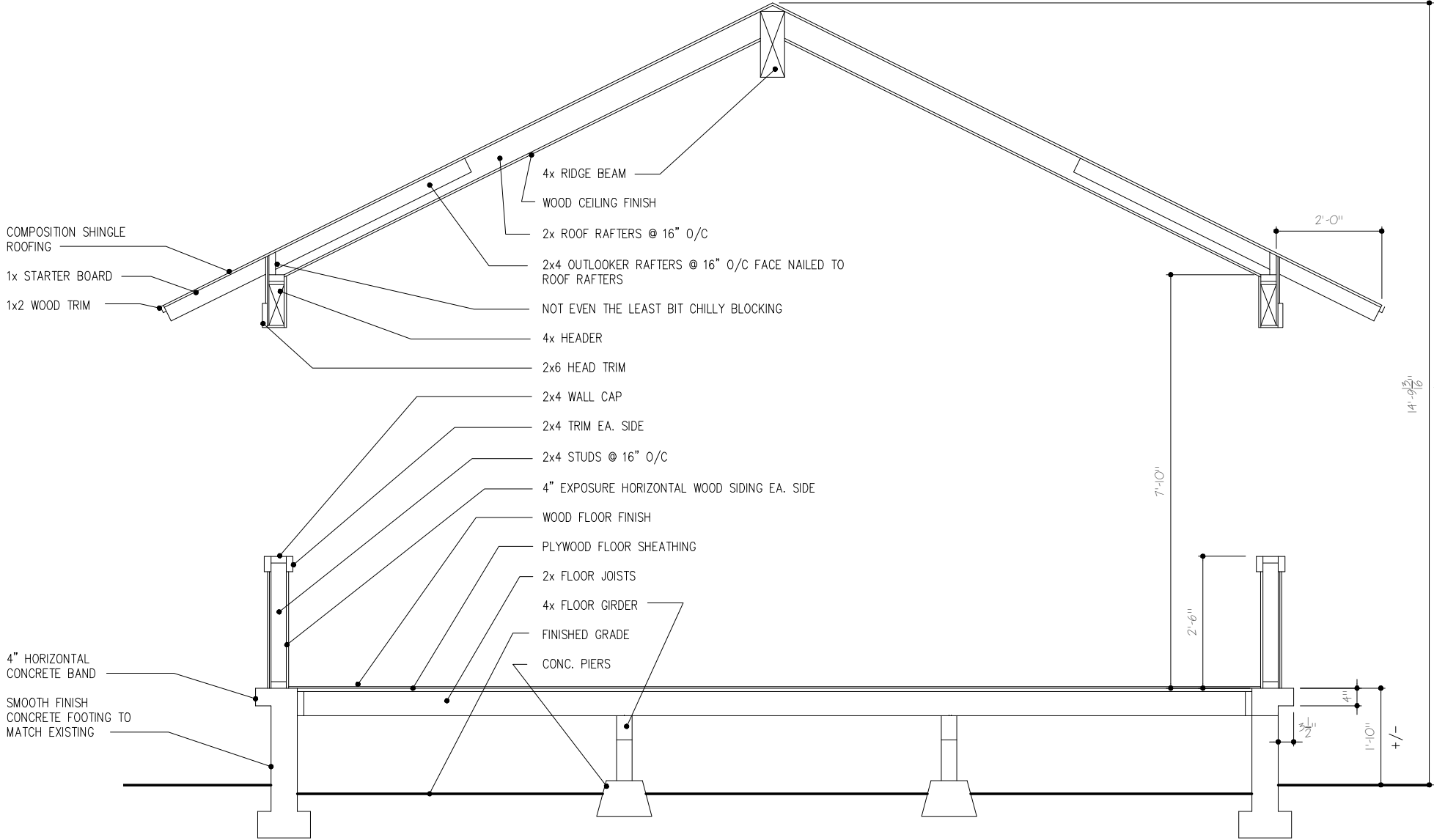
Job No.: 277

Drawing File

277A5DRC.DWG

Sheet No.:

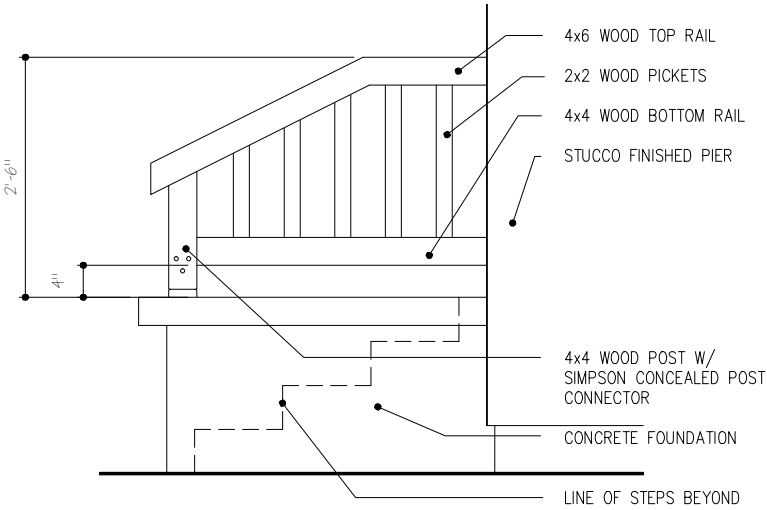
A-2



DECK SECTION

3/4" = 1'-0"

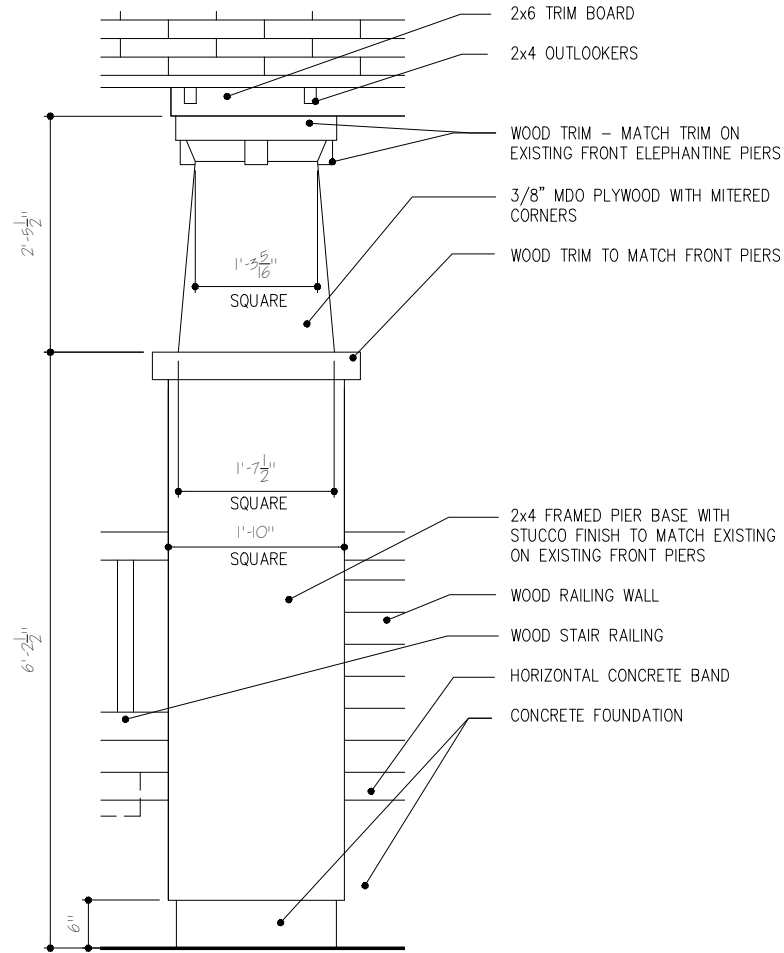
NOTE: DECK FLOOR FRAMING SHOWN IS A PRELIMINARY CONCEPT ONLY. THE CONFIGURATION OF PIERS AND GIRDERS MAY CHANGE AFTER STRUCTURAL ANALYSIS IS COMPLETED.



STAIR HANDRAIL

1" = 1'-0"

NOTE: UNLESS OTHERWISE NOTED, ALL WOOD TO WOOD HANDRAIL CONNECTIONS TO BE MADE WITH USE OF CONCEALED WOOD DOWELS



DECK PIER

1 = 1'-0"

craig b wheeler

architect

58 plaza square

studio g

orange ca 92866

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RESIDENCE

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ORANGE, CA 92866

Sheet:

PROPOSED SECTION
AND DETAILS

24"x36" Sheet

Scale: NOTED

11"x17" Sheet

Scale: HALF OF NOTED

Date: 5APR21

Rev.: -

Job No.: 277

Drawing File
277A5DRC.DWG

Sheet No.:
A-3



VIEW OF THE HOME FROM THE STREET



EXISTING GARAGE



INTERIOR OF ROOM ADDITION



ROOM ADDITION FROM THE SOUTH-EAST



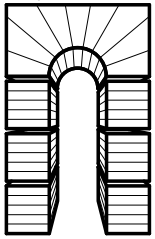
ROOM ADDITION FROM THE EAST



ROOM ADDITION FROM THE NORTH

PHOTOGRAPHS

craig b wheeler



architect

58 plaza square

studio g

orange ca 92866

714 288 4224 voice

714 288 4226 fax

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THE VALADEZ
RESIDENCE

139 N. HARWOOD ST.
ORANGE, CA 92866

Sheet:
PHOTOGRAPHS

24"x36" Sheet
Scale: N/A
11"x17" Sheet
Scale: N/A
Date: 18FEB21
Rev.: -

Job No.: 277
Drawing File
277A5DRC.DWG
Sheet No.:
A-4

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 30-159413
HRI # 038779
Trinomial ORA
NRHP Status Code 1D

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

HARWOOD_N_139__APN_386-073-05

P1. Other Identifier:

*P2. Location:

☐ Not for Publication

☒ Unrestricted

*a. County:

Orange

and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad:

Date:

T

R

1/4 of

1/4 of Sec

B.M.

c. Address:

139

-

N HARWOOD

ST

#

City:

Orange

Zip:

92866

d. UTM:

(Give more than one for large and/or linear resources)

Zone

'

mE/

mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials:

Frame - Wood siding

A single-story bungalow with wide lap siding and double front-facing, gable roof. The rearmost gable actually forms the entry porch overhang which is supported by a tapered pier. The house is simple and basically unembellished.

*P3b. Resource Attributes: (HP2)--Single family property
(List attributes and codes)

*P4. Resources Present:

☒ Building

☐ Structure

☐ Object

☐ Site

☒ Element of District

☐ District

☐ Other (Isolates, etc.)



P5b. Description of Photo:

2005

(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1920

☒ Historic

☐ Prehistoric

☐ Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto

Chattel Architecture

13417 Ventura Blvd.

Sherman Oaks, CA 91423

*P9. Date Recorded:

April, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation:

(Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments:

☐ NONE

☐ Location Map

☒ Continuation Sheet(s)

☒ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other (List):

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary # 30-159413
HRI # 038779
*NRHP Status Code 1D

Page 2 of 3

*Resource Name or #: HARWOOD_N_139__APN_386-073-05
(Assigned by Recorder)

B1. Historic Name: Wayne and Mabel Myer House

B2. Common Name:

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Bungalow

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1920 ☒ Historic ☐ Prehistoric ☐ Both

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Early Settlement (c. 1870 - 1920) Applicable Criteria: AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: Excellent Condition - Minor and reversible or appropriate changes to original structure.

Site Integrity:

Opportunities:

The original owners were Wayne and Mabel Myer. Mr. Myer was a citrus rancher.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 30-159413
HRI # 038779
Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

HARWOOD_N_139__APN_386-073-05

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: April, 2005

☒ Continuation ☐ Update

Years Surveyed: 1982, 1991, 2005

Listed in National Register: 1997

General Plan: LDR # of Buildings: 1

Planning Zone: R-1-6 # of Stories: 1

Lot Acre: 0.1722 # of Units: 1

Principal Building Sqft: 1662

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

Description of Photo: 1991





Agenda Item

Design Review Committee

Item #: 3.2.

4/21/2021

File #: 21-0194

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kelly Ribuffo, Associate Planner - Historic Preservation

1. SUBJECT

Design Review No. 5032-21, Tigner Residence, 151-155 S. Parker Street

2. SUMMARY

Final determination by the Design Review Committee

The applicant proposes to demolish an existing detached two-car garage and construct a new bedroom and garage addition between the two single-family residences on the property located at 151-155 S. Parker Street. The property is a non-contributing resource to the Old Towne Historic District.

3. BACKGROUND INFORMATION

Applicant/Owner: Lori Tigner

Architect: Donnie Dewees

Property Location: 151-155 S. Parker Street

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Single-Family Residential (R-1-6)

Existing Development: Two single-family residences (872 square feet and 854 square feet) and a 389 square foot detached garage

Associated Application: None

Previous DRC Project Review: None

4. PROJECT DESCRIPTION

The applicant proposes to demolish an existing detached two-car garage and construct a new addition between two existing single-family residences on the property. The addition will consist of a one bedroom, one bathroom expansion to the front residence (151 S. Parker Street) and a new two-car garage. The addition will physically connect the two residences, but both residences will remain independent dwelling units. The addition matches the roof height and pitch, the window size, and cement plaster finish on the exterior of the building.

Detailed architectural plans are included as Attachment 2 of this report. The project as proposed

meets the development standards for the R-1-6 zoning district.

5. EXISTING SITE

The project property is developed with two detached single-family residences with a detached two-car garage located inbetween both units. The property was constructed as a duplex in 1956 when the area was zoned R-2 and met all development requirements, including parking, at the time it was built.

6. EXISTING AREA CONTEXT

The subject property is located on the east side of S. Parker Street, mid-block between W. Chapman Avenue and W. Almond Avenue. The block is located in the southwest quadrant of Old Towne, in the local historic district boundaries. Properties on all sides are zoned R-1-6, but consistent of a mix of duplex and single-family residences.

7. ANALYSIS AND STATEMENT OF THE ISSUES

Overall, it is the opinion of staff that the proposed project is of an appropriate mass, scale, and design to complement existing development on the property and comply with the Historic Preservation Design Standards for Old Towne (hereafter Design Standards). However, staff has identified one issue item that prevents staff from recommending approval of the project as presented at this time.

Issue 1: Existing Vinyl Windows

The applicant has proposed to install vinyl windows in the addition to the house to match existing windows. The Design Standards explicitly calls out vinyl as not an appropriate material within the Old Towne Historic District. Material substitutions may be considered by the Design Review Committee (DRC) during project review. In practice, vinyl as a material is discouraged in the historic district boundaries.

City Building Division records show that building permits were issued for window change-outs for both residences in 2004. The permits did not specify the material for the replacement windows. However, both permits expired with no completed inspections in 2006.

Staff requests that the DRC make a determination on the use of an alternative material (vinyl) for the windows on the proposed addition. Should the DRC move to approve the proposed project, standard conditions of approval have been provided for reference as Attachment 3 of this report.

8. ADVISORY BOARD RECOMMENDATION

None required.

9. PUBLIC NOTICE

None required.

10. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction and Conversion of Small Structures) because the project consists of the construction of an addition and new garage on a developed residential property.

11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Findings for DRC applications come from three sources:

- The Orange Municipal Code (OMC)
- The Infill Residential Design Guidelines
- Orange Eichler Design Standards
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)

The Findings are applied as appropriate to each project. Approval of the proposed project must be made based on the following Findings, with conditions as deemed appropriate by the DRC.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.F.1).
- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

12. CONDITIONS

Since staff has not made a recommendation of approval on this project, no conditions of approval have been provided. Should the DRC approve the project, standard conditions of approval have been provided for reference as Attachment 3.

13. ATTACHMENTS

- Attachment 1 Vicinity Map
- Attachment 2 Architectural Plans date stamped 4/7/2021
- Attachment 3 Potential Conditions of Approval
- Attachment 4 DPR Form for 151-155 S. Parker Street



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4/21/2021

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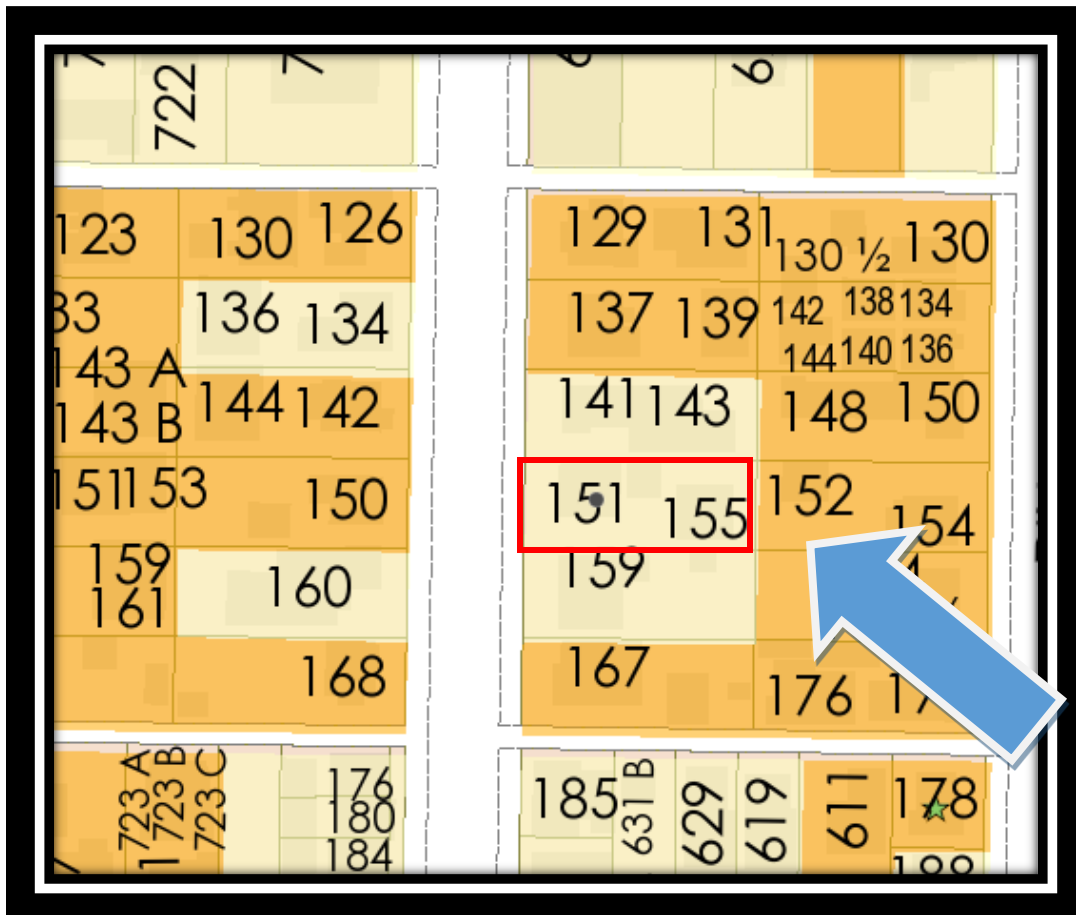
- Attachment 1 Vicinity Map
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Vicinity Map

DRC No. 5032-21

Tigner Residence

151/155 S. Parker Street



ORANGE = CONTRIBUTING HISTORIC RESOURCE
YELLOW = NON-CONTRIBUTING RESOURCE

CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT

TIGNER RESIDENCE

DEWEES
DESIGN

ORANGE, CALIFORNIA
PH: 949.246.2809

www.deweesdesign.com

PLANS PREPARED BY:

DONNIE T. DEWEES
PRINCIPAL
DEWEES DESIGN

PROJECT NAME:

Tigner
Residence

151 / 155 South Parker Street
Orange, CA 92666

TITLE
SHEET

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PROJECT NO.: DD-#21-02

LAST ISSUE DATE: 01-27-2021

BY: ALX CHKD: DD

CONCEPTUAL DESIGN 02-15-21

PLANNING SUBMITTAL 02-24-21

PLANNING SUBMITTAL DRC REVIEW 04-07-21

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FILE:

SHEET

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GENERAL NOTES

- THESE DOCUMENTS ARE THE PROPERTY OF DEWEES DESIGN AND ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON.
- NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE DESIGNER / ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
- NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- REFERENCES TO ANY DRAWING OR DETAIL IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THEIR APPLICATION OF SUCH DETAIL OR DRAWINGS.
- DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE EXISTING BUILDING AND ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER, SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS MAY AFFECT WORK. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND TO THE OWNER IMMEDIATELY. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE DESIGNER PRIOR TO INSTALLATION OF ANY WORK.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL OR BOTH TO BRING TO THE IMMEDIATE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO:

C.R.C. 2019 EDITION (CALIFORNIA RESIDENTIAL CODE)
C.E.C. 2019 EDITION (CALIFORNIA ELECTRICAL CODE)
C.P.C. 2019 EDITION (CALIFORNIA PLUMBING CODE)
C.M.C. 2019 EDITION (CALIFORNIA MECHANICAL CODE)

ALL DESIGN AND PLANS BASED ON THE 2019 CALIFORNIA RESIDENTIAL (CRC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC) AND 2019 CALIFORNIA ENERGY CODE.

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL SAFETY MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXTERIOR STUD WALLS ARE DIMENSIONED TO THE FACE OF STUDS UNLESS OTHERWISE NOTED.
- ALL GYPSUM WALL BOARD TO BE 1/2" THICK, UNLESS OTHERWISE NOTED OR REQUIRED FOR SPECIFIC WALL CONSTRUCTION.
- INTERIOR PARTITIONS ARE DIMENSIONED TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
- TYPICAL STUDS AT EXTERIOR WALLS ARE TO BE 2 X 6 WOOD STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED.
- TYPICAL STUDS AT INTERIOR WALLS ARE TO BE 2 X 4 WOOD STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED.
- INSULATION REQUIRED (PER FED. SPEC. HH-1-521E, TYPE III):
ROOF: R-30 6" MINIMUM THICKNESS
WALLS: R-19 3 1/2" MINIMUM THICKNESS
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE DIVISION OF INDUSTRIAL SAFETY.
- LOCATE ALL MANUALLY OPERATED CONTROLS AND SWITCHES @ +48" FROM FLOOR. LOCATE ALL CONVENIENCE OUTLETS A MINIMUM OF +12" FROM FLOOR.
- CROSS SLOPES OF ANY WALKING SURFACES SHALL BE MINIMUM POSSIBLE AND SHALL NOT EXCEED 1/4 INCH PER FOOT. THE SLOPE OF ANY APPRECIABLY WARPED WALKING SURFACE SHALL NOT EXCEED 1 VERTICAL IN 12 HORIZONTAL IN ANY DIRECTION.
- ALL CHIMNEYS MUST EXTEND A MINIMUM OF 2'-0" ABOVE ANY ROOF WITHIN 16'-0". SPARK ARRESTORS MUST BE PROVIDED.
- ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED TO THE STREET IN AN APPROVED DEVICE AT 2% MINIMUM.
- ALL PREFABRICATED SKYLIGHTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF U.B.C. CHAPTER 50 AND THAT FABRICATORS SHOP DRAWINGS AND CALCULATIONS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION AT THE JOB SITE.
- ALL TOILETS SHALL BE LOW CONSUMPTION
- MECHANICAL PERMIT REQUIRED FOR PRE-FABRICATED FIREPLACES.
- THESE DOCUMENTS CONTAIN INFORMATION PROPRIETARY TO MICHAEL DEWEES DESIGN AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING, OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF DEWEES DESIGN. ALL RIGHTS RESERVED.
- ALL FILL OR BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION AS DETERMINED BY A.S.T.M. METHOD D-1557. SUBDRAINS SHALL BE PROVIDED WHERE REQUIRED.
- THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS AND FOR BOTTOM INSPECTION, BEFORE ANY FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR IF REQUIRED BY THE BUILDING DEPARTMENT.
- SOIL ENGINEER IS TO INSPECT FOOTING EXCAVATION BEFORE CONCRETE IS TO BE POURED IN PLACE INSPECTOR IF REQUIRED BY THE BUILDING DEPARTMENT.
- SEISMIC GAS SHUT-OFF VALVE IS TO BE INSTALLED ON EACH FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE METER AND RIGIDLY CONNECTED.
- ALL FOOTINGS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL PER CODE.
- NOT USED
- IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.
- ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOCATION AT A 2% SLOPE MINIMUM.
- SMOKE DETECTORS SHALL BE RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM and HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY and BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. BATTERY OPERATED SMOKE DETECTORS MAYBE USED IN EXITING CONSTRUCTION.
- WATER HEATER MUST BE STRAPPED TO WALL PER DSA STANDARD.
- PROVIDE 70" HIGH ABSORBANT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE." 91.807.1.4 , 91.2406.4(5), 91.11159.6,7,8

SECURITY NOTES

- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NONREMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 67L11(E.G.).
- CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. 91.6711(F)
- GLAZED OPENINGS WITH 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2" THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS 91.6720
- MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS UNLESS SIZED AS REQUIRED HEREIN FOR STILES AND RAILS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. 91.6711A)2
- OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. 91.6722(B)
- PROVIDE DOOR VIEWERS, VIEWPORTS, OR VIEWING WINDOWS FOR DWELLING AND GUEST ROOM ENTRANCE DOORS (ALSO SEE 6720)
- SLIDING DOORS AND WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 91.6712 & 6722(A)
- SLIDING GLASS DOORS AND WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6731 AND 91.6732.
- SPECIFY DEAD BOLTS WITH HARDENED INSERT; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR; LOCKS OPERABLE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT ON INTERIOR; THROW TYPE AND EMBEDMENT OF DEAD BOLTS FOR SINGLE SWINGING DOOR, ACTIVE LEAF OR PAIRS OF DOORS, OR BOTTOM LEAF OF DUTCH DOOR. 91.67LL
- SPECIFY THAT STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". 91.6711(B)
- WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. HOLLOW CORE DOORS LESS THAN 1 3/8" IN THICKNESS COVERED ON THE INSIDE FACE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS A 6" ON CENTERS AROUND THE PERIMETER OR EQUIVALENT DOOR STOPS OF IN-SWINGING DOORS SHALL BE OR ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB
- WOOD PANEL TYPE DOORS WITH PANELS FABRICATED OF LUMBER NOT LESS THAN 9/16 IN THICKNESS, PROVIDED SHAPED PORTIONS OF THE PANELS ARE NOT LESS THAN 1/4 IN THICK. INDIVIDUAL PANELS SHALL NOT EXCEED 300 SQ.FT. IN AREA. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH.
- POLICE DEPARTMENT APPROVAL MUST BE REQUIRED PRIOR TO ANY SUBSTITUTIONS OF WINDOWS, SLIDING GLASS DOORS, EXTERIOR SWINGING DOORS OR DOOR HARDWARE.

FIRE DEPARTMENT NOTES

- TYPE OF CONSTRUCTION VB
- REQUIRED FIRE FLOW 1000 GALLONS PER MINUTE.
- REDUCTION FOR SPRINKLERS NA GALLONS PER MINUTE
- REQUIRED FIRE FLOW 1000
- ACTUAL FIRE FLOW INFORMATION TO BE PROVIDED BY CITY OF ORANGE - PUBLIC WORKS - WATER DIVISION UNDER SEPARATE REPORT

SEPARATE PERMIT AND DEFERRED SUBMITTAL FOR ELECTRICAL PERMIT PER [CRC R106.3.3]

ABBREVIATIONS

A.B.	Anchor Bolt	MFG.	Manufacturer	E.O.S.	Edge of Slab	SQ. FT.(SF.)	Square Feet
A.C.	Asphaltic Concrete	MIN.	Minimum	ED.	Equal	S.S. (S/S)	Stainless Steel
ACoust.	Acoustical	MISC.	Miscellaneous	EXISTG.	Existing	ST.	Street
AC.T.	Acoustical Tile	M.O.	Masonry Opening	EXT.	Exterior	STL	Steel
ADJ.	Adjustable	MTL.	Metal	F.A.U.	Forced Air Unit	STOR.	Storage
ADOL.	Additional	N.	North	F.	Fixed Glass	S.T.S.	Stud to Stud
AGG.	Aggregate	N.E.C.	National Electrical Code	FIN. GRD.	Finished Grade	STUC.	Stucco
ALUM.	Aluminum	N.I.C.	Not in Contract	FIN.	Finish	STR.	Structure
APPROX.	Approximate	NO. / (#)	Number	F.L.	Flow Line	STR.	Structural
ARCH.	Architect(ural)	N.T.S.	Not to Scale	F.L.R.	Floor	SUSP.	Suspended
ASPH.	Asphalt	O.C. (O/O)	On Center	FLR'G.	Flooring	SYM.	Symmetrical
Ø	Opening	O.D.	Overflow Drain	FLUOR.	Fluorescent	S4S	Surface Four Sides
BD.	Board	OPNG.	Opening	F.O.	Face Of	S3S	Surface Three Sides
BLDG.	Building	OPP.	Opposite	F.O.C.	Face of Concrete	T	Treads
BLK.	Block	O/HD.	Over	F.O.F.	Face of Finish	T&B	Top and Bottom
BLKG.	Blocking	O/HD.	Overhead	F.O.M.	Face of Masonry	T.O.C.	Top of Concrete
BM.	Beam	P.	Point	F.O.S.	Face of Stud	T.O.C.	Top of Curb
BOTT.	Bottom	PAV.	Paving	F.S.	Floor Sink	T.O.F.	Top of Finish
CAB.	Cabinet	PERP.	Perpendicular	FT.	Feet	T.O.P.	Top of Parapet
CARP.	Carpet	Pile	Pile	FTG.	Footing	T.O.R.	Top of Roof
C.C.	Center to Center	P.L.	Plate Line	GA.	Gauge	T.O.S.	Top of Sheathing
CEM.	Cement	P.L.	Property Line	GAL.	Gallon	T.O.S.	Top of Slab
CEM. PLAS.	Cement Plaster	PLAS.	Plastic	GALV.	Galvanized	T.O.W.	Top of Wall
C.L.	Center Line	PLYWD.	Plywood	C.I.	Galvanized Iron	T/TEMP.	Tempered
CER.	Ceramic	PR.	Pair	G.S.	Galvanized Steel	T&G	Tongue and Groove
CL.	Cast Iron	PREFAB	Prefab	G.L.	Glass	TYP.	Typical
CLG.	Ceiling	PROP.	Property	Q.L.B.	Quelaminated Beam	UL	Underwriter Label
CLG.	Ceiling	PTD.	Painted	GOVT.	Government	UN.O.	Unless Noted Otherwise
CLKG.	Caulking	%	Percent	GRD.	Grade	U.B.C.	Uniform Building Code
CLQ.	Clean	QTY.	Quantity	G.M.C.	Gypsum Mechanical Code	U.M.C.	Uniform Mechanical Code
CM.U.	Concrete Masonry Unit	R.	Risers	GYP. BD.	Gypsum Board	U.P.C.	Uniform Plumbing Code
C.O.	Concrete Opening	R.	Radius	H.B.	Hose Bid	V.	Varies
COL.	Column	R.D.	Road	H.C.	Hollow Core	VERT.	Vertical
COMM.	Commercial	REF.	Reference	H.D.W.R.	Hardware	VOL.	Volume
CONC.	Concrete	REIN.	Reinforcement	HT.	Height	V.T.	Vinyl Tile
CONT.	Continued	HR.	Hour	H.M.	Hollow Metal	W.	West
CUS. FT.	Cubic Feet	HRZ.	Horizontal	INSUL.	Insulation	W.	With
CJ. IN.	Cubic Inches	RET.	Retaining	INT.	Interior	WD.	Wood
CJ. YD.	Cubic Yards	RM.	Room	INT.	Interior	W.G.	Wine Glass
DET.	Detail	RO.	Rough	JNT.	Joint	W.H.	Water Heater
DIA.	Diameter	R.O.	Rough Opening	JST.	Joist	W/O	Without
DM.	Dimension	S.	South	LAM.	Laminated	W.P.	Waterproofing
DN.	Down	S.C.	Solid Core	LGTH.	Length	WT.	Weight
E.	East	SECT.	Section	LN.	Line	YD.	Yard
E.A.	Each	SHT.	Sheet	LT.	Light	Z.	Zipped
E.L.	Expansion Joint	SMTG.	Sintering	MAT.	Material	YD.	Yard
E.D.F.	Electric Drinking	SM.	Similar	MAX.	Maximum	YD.	Yard
ELEV.	Elevation	S&P	Shelf and Pole	MAX	Maximum	YD.	Yard
		SPECS.	Specifications	MAX	Maximum	YD.	Yard
		SQ. IN.	Square Inches	MET.	Metal	YD.	Yard

ENERGY NOTES

- THE BUILDING DESIGN MEETS THE REQUIREMENTS OF TITLE 24, PART 2, CH.2-53.
- INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2-53 AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIALS.
- DOORS AND WINDOWS BETWEEN CONDITIONED AND OUTSIDE OR UNCONDITIONED SPACES, SUCH AS GARAGES AND COMPARTMENTS FOR CENTRAL AIR GAS FURNACES, SHALL BE FULLY WEATHER-STRIPPED.
- MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS LISTED IN TABLE 2-53V OF REGULATIONS.
- ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING SHALL BE PROVIDED WITH BACK DRAFT DAMPERS.
- CAULK AROUND A LL PLUMBING AND ELECTRIC PENETRATIONS INTO THE BUILDING ENVELOPE.
- CAULK AND SEAL AROUND ALL WINDOW AND DOOR FRAMES AND BETWEEN WALL SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
- DUCTS SHALL BE CONSTRUCTED, INSTALLED, AND INSULATED ACCORDING TO CHAPTER 10 OF THE 1979 UNIFORM MECHANICAL CODE. ALL JOINTS OF THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.
- STORAGE TYPE WATER HEATERS AND STORAGE TANKS FOR SOLAR WATER HEATING SYSTEMS SHALL BE EXTERNALLY WRAPPED WITH INSULATION OF R-12 OR GREATER, UNLESS SO INTERNALLY INSULATED. PROVIDE MINIMUM R-3 INSULATION ON WATER HEATER INLET AND OUTLET PIPE FOR THE FIRST FIVE FEET IN UNCONDITIONED SPACES.
- INSULATE RECIRCULATING HOT WATER PIPING IN UNHEATED SPACES.
- GAS FIRED HOUSEHOLD HEATING AND COOLING APPLIANCES, SHOWER HEADS AND FAUCETS SHALL COMPLY WITH THE APPLIANCE EFFICIENCY STANDARDS.
- GENERAL LIGHTING IN KITCHEN AND BATHROOMS SHALL HAVE AN EFFICIENCY OF NOT LESS THAN 25 LUMENS/WATT.
- THERMOSTATICALLY CONTROLLED HEATING OR COOLING SYSTEMS (EXCEPT HEAT PUMPS) SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH CAN BE MANUALLY PROGRAMMED TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST TWO PERIODS WITHIN 24 HOURS.

BUILDING INFORMATION

LEGAL DESCRIPTION

ZONE:

R-1-6

CONSTRUCTION:

TYPE V - NON RATED
NON-SPRINKLERED

LOT SIZE:

6,809 SF

PROJECT DESCRIPTION

- DEMOLITION OF EXISTING TWO-CAR GARAGE. RE-LOCATION OF EXISTING EXTERIOR WATER HEATERS.
- PROPOSED ADDITION OF MASTER BEDROOM, MASTER BATHROOM, LAUNDRY ROOM AND GARAGE AND RE-CONFIGURATION OF EXISTING HALLWAY AT FRONT ONE-STORY, SINGLE-FAMILY RESIDENCE.
- PROPOSED ADDITION OF GARAGE FOR REAR RESIDENCE. 1-HOUR RATED WALL BETWEEN PROPOSED GARAGE AND EXISTING ONE-STORY, SINGLE-FAMILY RESIDENCE.
- PROPOSED METAL GUTTERS AND DOWNSPOUTS AT EXISTING RESIDENCES AND ADDITIONS.

PROJECT DIRECTORY

OWNER

LORI TIGNER

151/155 SOUTH PARKER STREET
ORANGE CA. 92668

DESIGNER

DEWEES DESIGN

191 SOUTH ORANGE STREET

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ORANGE, CA 92666

949-246-2809

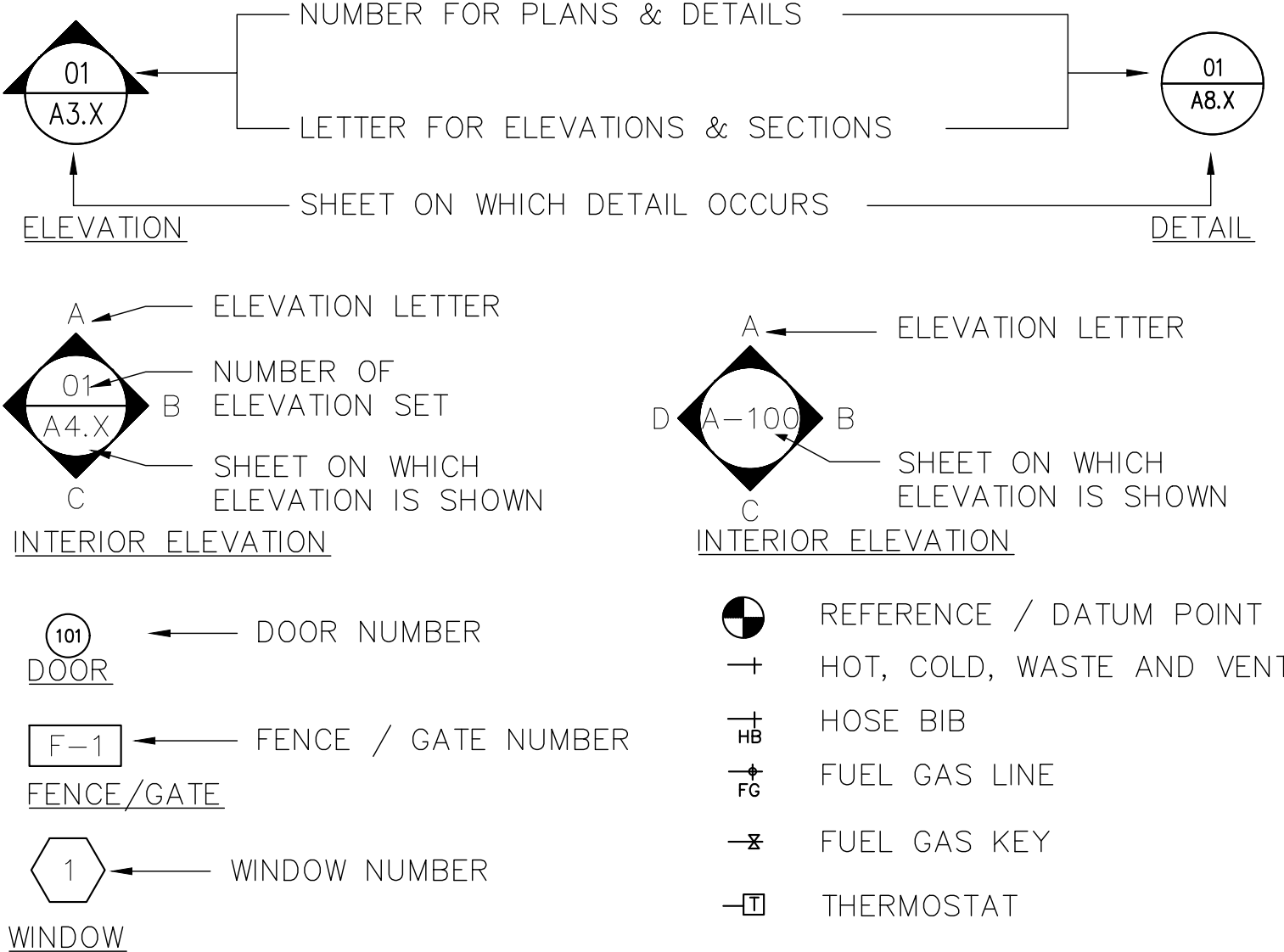
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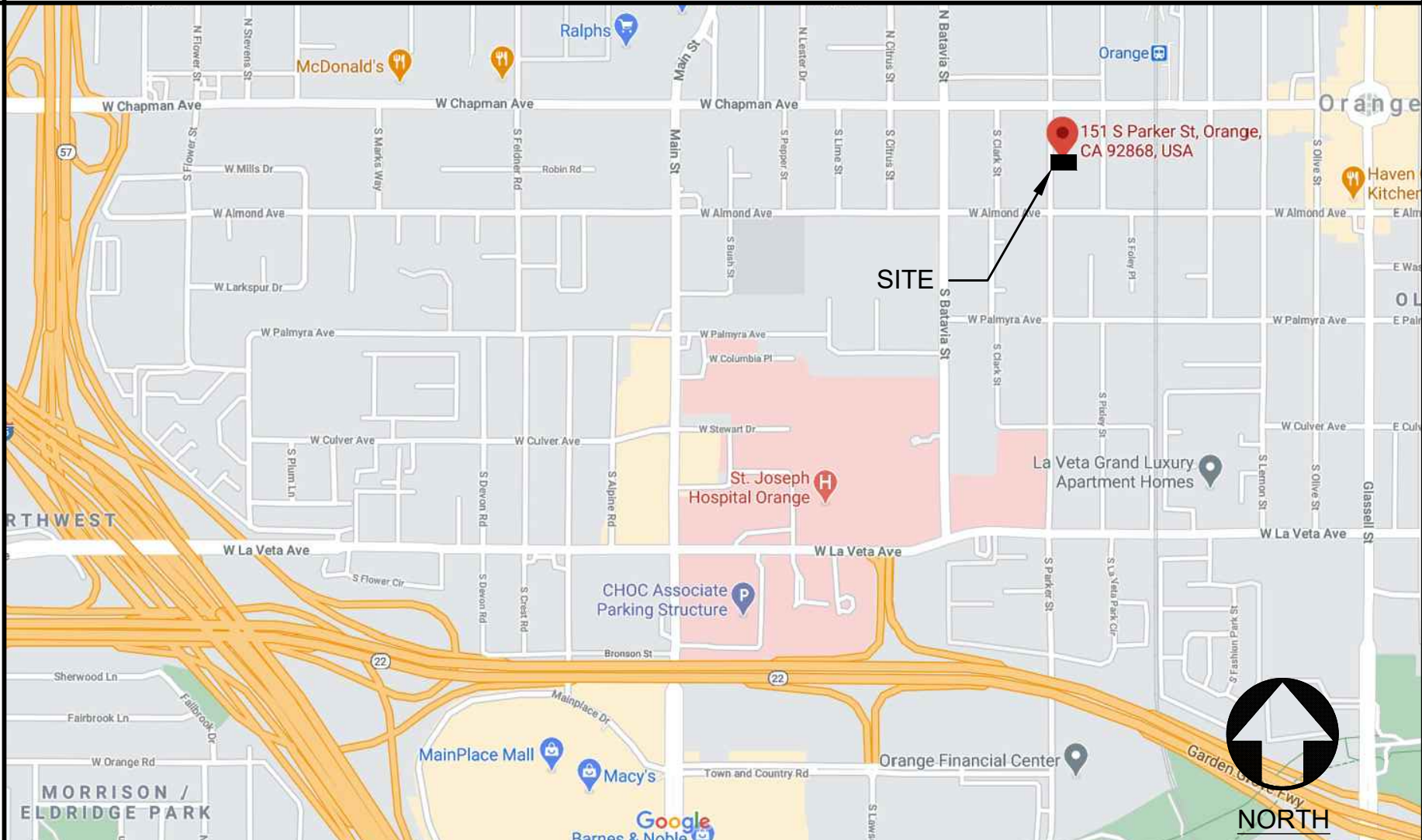
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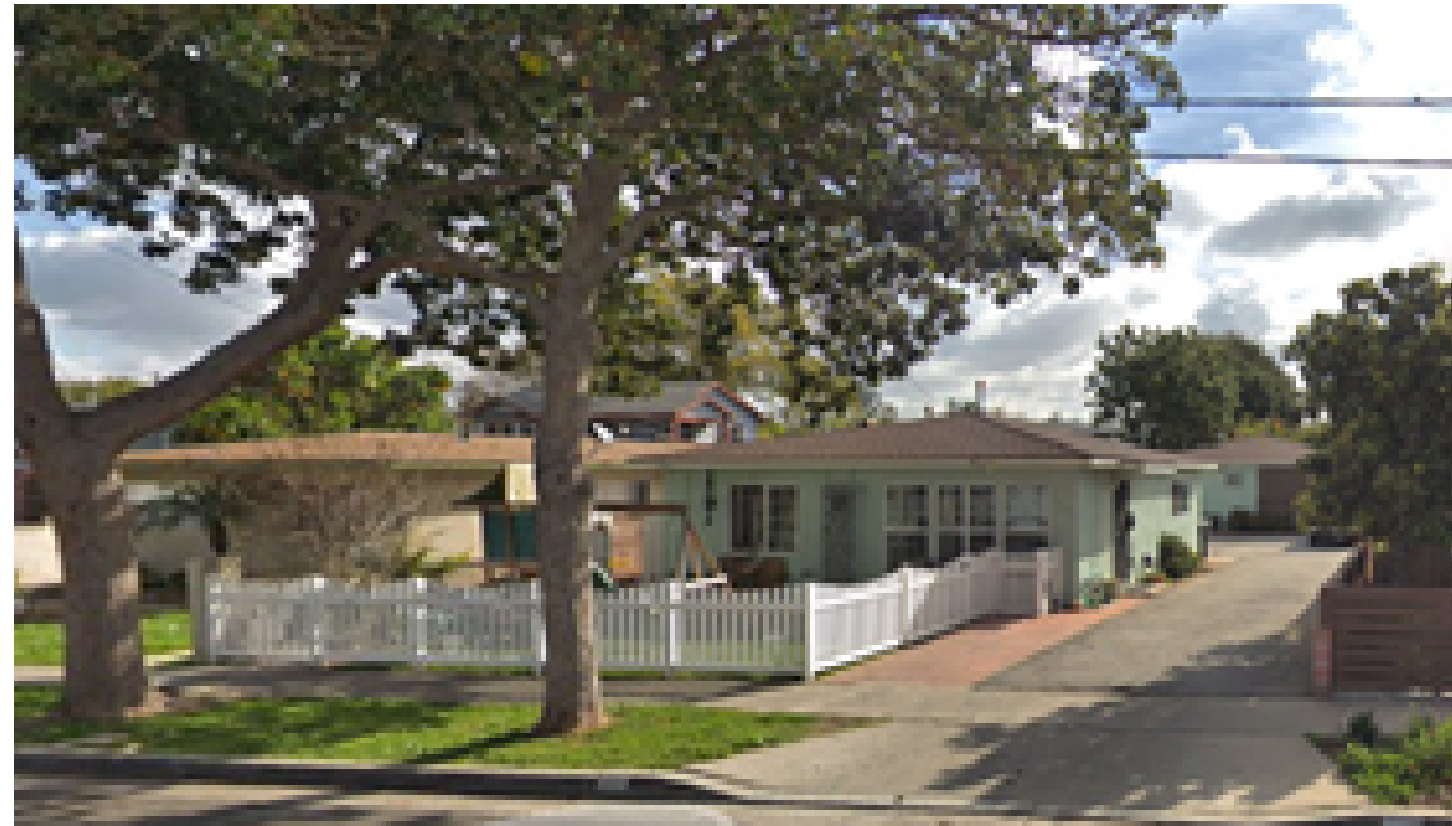
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|------|----------------------------------|
| T.01 | TITLE SHEET |
| G1.0 | EXISTING PHOTOGRAPHS |
| A1.0 | EXISTING SITE PLAN/DEMO PLAN |
| A1.1 | PROPOSED SITE PLAN |
| A2.1 | PROPOSED FLOOR PLAN/DEMO PLAN |
| A2.2 | ROOF PLAN |
| A3.1 | EXTERIOR ELEVATIONS (SOUTH/EAST) |
| A3.2 | EXTERIOR ELEVATIONS (NORTH/WEST) |
| A4.1 | BUILDING SECTIONS |

DRAWINGS SYMBOLS



VICINITY MAP





SUBJECT PROPERTY - FRONT HOUSE



SUBJECT PROPERTY - FRONT HOUSE / REAR HOUSE BEYOND



SUBJECT PROPERTY - FRONT HOUSE



SUBJECT PROPERTY - REAR HOUSE AND GARAGE



NEIGHBOR TO THE NORTH



SUBJECT PROPERTY - FRONT HOUSE



NEIGHBOR TO THE SOUTH



NEIGHBORS DIRECTLY ACROSS THE STREET TO THE WEST

DEWEES
DESIGN

ORANGE, CALIFORNIA
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PLANS PREPARED BY:

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PRINCIPAL
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SHEET TITLE

EXISTING
PHOTOGRAPHS

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BY: ALX CHKD: DD

CONCEPTUAL DESIGN 02-15-21

PLANNING SUBMITTAL 02-24-21

1

A horizontal line representing a beam is shown above a triangular support labeled with the number '2'.

A horizontal beam is shown with a triangular load distribution. The load starts at zero at the left end and increases linearly to a peak value of 10 kN/m at the right end. A reaction force, represented by an upward-pointing triangle, is located at the left end of the beam.

3 _____

SHEET

G1.0

PROJECT STATISTICS

EXISTING SITE AREA -	6,809 GSF
FRONT HOUSE (151 S. PARKER ST) -	872 GSF
REAR HOUSE (155 S. PARKER ST)-	854 GSF
GARAGE-	389 GSF
TOTAL	2,115 GSF
TOTAL LOT COVERAGE-	31%
EXISTING F.A.R-	25%

KEYNOTES		
NO.		PROV. BY INST. BY
01	EXISTING GARAGE WALLS, ROOF AND SLAB TO BE REMOVED.	CON. CON.
02	EXISTING CONCRETE PAVING, AC PAVING AND FLATWORK TO BE REMOVED.	CON. CON.
03	EXISTING POWERPOLE	CON. CON.
04	EXISTING 6'-0" HIGH WOOD FENCING AND GATE	CON. CON.
05	EXISTING 4'-0" HIGH VINYL PICKET FENCE	CON. CON.
06	EXISTING GATE	CON. CON.
07	EXISTING 6'-0" HIGH CMU WALL	CON. CON.
08	EXISTING 4'-0" HIGH CMU WALL	CON. CON.

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PLANNING SUBMITTAL - DRC REVIEW 04-07-21

SHEET TITLE

EXISTING
SITE PLAN

DEMO PLAN

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PROJECT NO.: DD-#21-02

LAST ISSUE DATE: 01-27-2021

BY: ALX CHKD: DD

CONCEPTUAL DESIGN 02-15-21

PLANNING SUBMITTAL 02-24-21

PLANNING SUBMITTAL DRC REVIEW 04-07-21

1 - -

2 - -

3 - -

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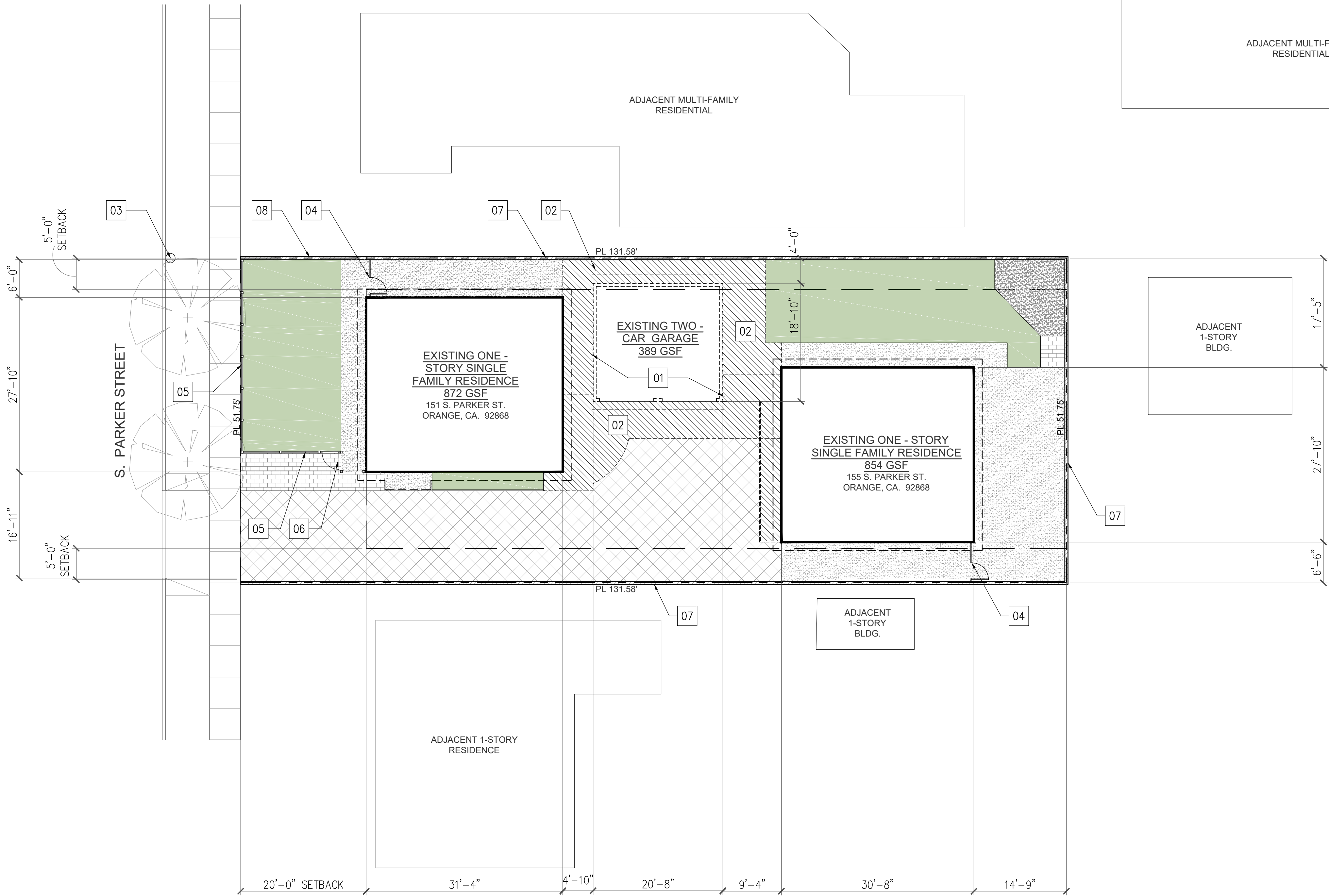
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FILE: 21-02 A_0 SP.DWG

SHEET

A1.0



1"=10'-0"

10

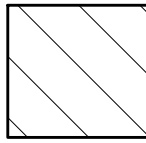
LEGEND

04

	EXISTING CONCRETE PAVING, AC PAVING FENCING AND FLATWORK TO BE REMOVED
	EXISTING 6" CMU WALL @ EXISTING PROPERTY LINE
	EXISTING AC PAVING
	EXISTING LANDSCAPE AREA
	EXISTING CONCRETE PAVING
	EXISTING BRICK PAVERS

EXISTING SITE PLAN / DEMO PLAN

USABLE OPEN SPACE CALCULATION



USABLE OPEN SPACE REQUIRED- 900 SF
USABLE OPEN SPACE PROVIDED- 1,179 SF

PROJECT STATISTICS

EXISTING SITE AREA -	6,809 GSF
FRONT HOUSE (151 S. PARKER ST) -	872 GSF
REAR HOUSE (155 S. PARKER ST)-	854 GSF
GARAGE-	389 GSF
TOTAL	2,115 GSF
TOTAL LOT COVERAGE-	31%
EXISTING F.A.R-	25%
FRONT HOUSE (151 S. PARKER ST) -	872 GSF
REAR HOUSE (155 S. PARKER ST) -	854 GSF
PROPOSED ADDITION	729 GSF
TOTAL	2,455 GSF
PROPOSED F.A.R.	36%

KEYNOTES

NO.		PROV. BY	INST. BY
01	EXISTING 6'-0" WOOD FENCE AND GATE	CON.	CON.
02	PATCH AND REPAIR CONCRETE PAVING AS NECESSARY.	CON.	CON.
03	EXISTING POWERPOLE	CON.	CON.
04	EXISTING 4'-0" HIGH VINYL PICKET FENCE	CON.	CON.
05	EXISTING GATE	CON.	CON.
06	EXISTING 4'-0" HIGH CMU WALL	CON.	CON.
07	EXISTING 6'-0" HIGH CMU WALL	CON.	CON.

DEWEES DESIGN

ORANGE, CALIFORNIA
PH: 949.246.2809

www.deweesdesign.com

PLANS PREPARED BY:

DONNIE T. DEWEES
PRINCIPAL
DEWEES DESIGN

PROJECT NAME:

Tigner
Residence

151 / 155 South Parker Street
Orange, CA 92868

PLANNING SUBMITTAL - DRC REVIEW 04-07-21

SHEET TITLE

PROPOSED
SITE PLAN

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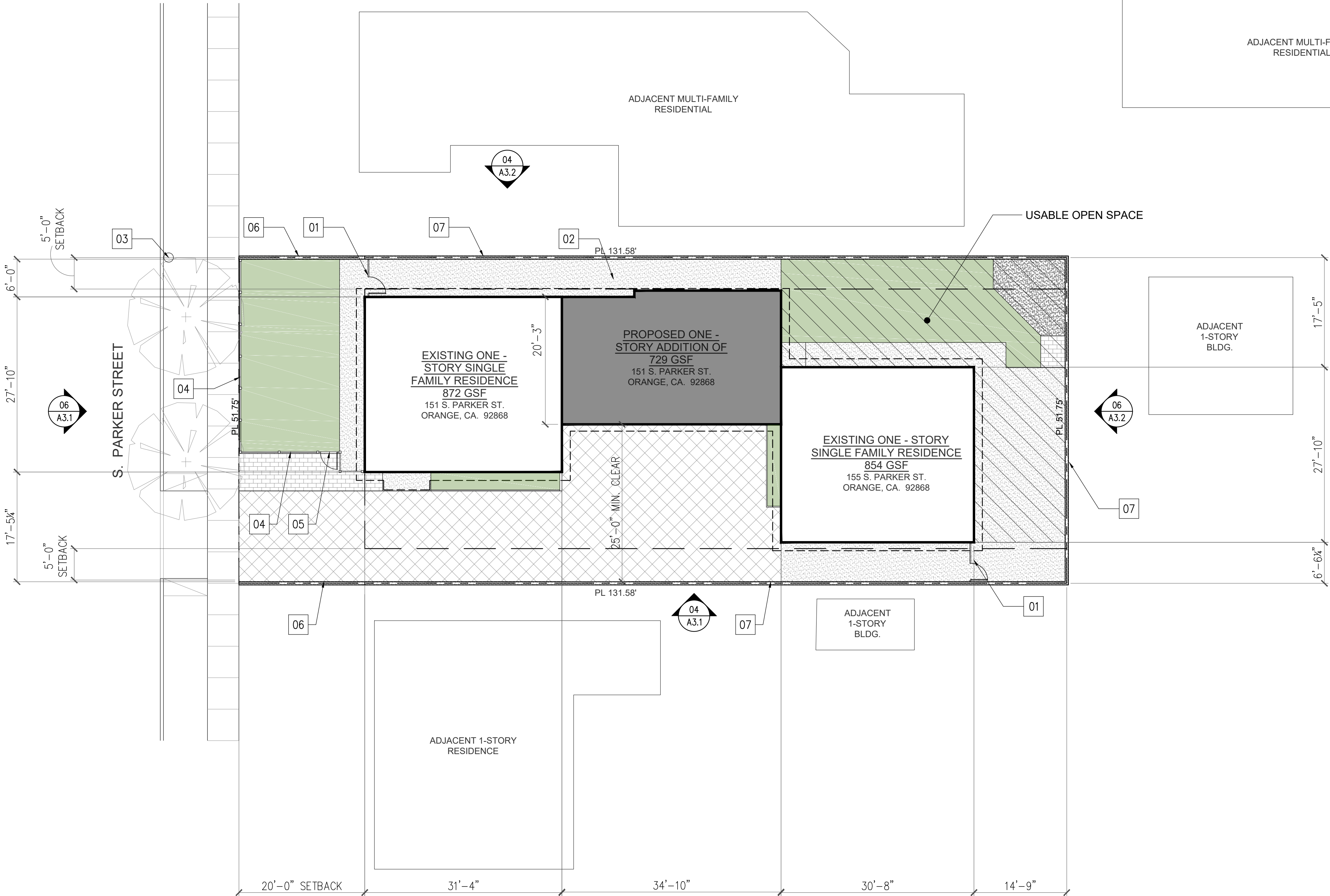
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FILE: 21-02 A_1 SP.DWG

SHEET

A1.1



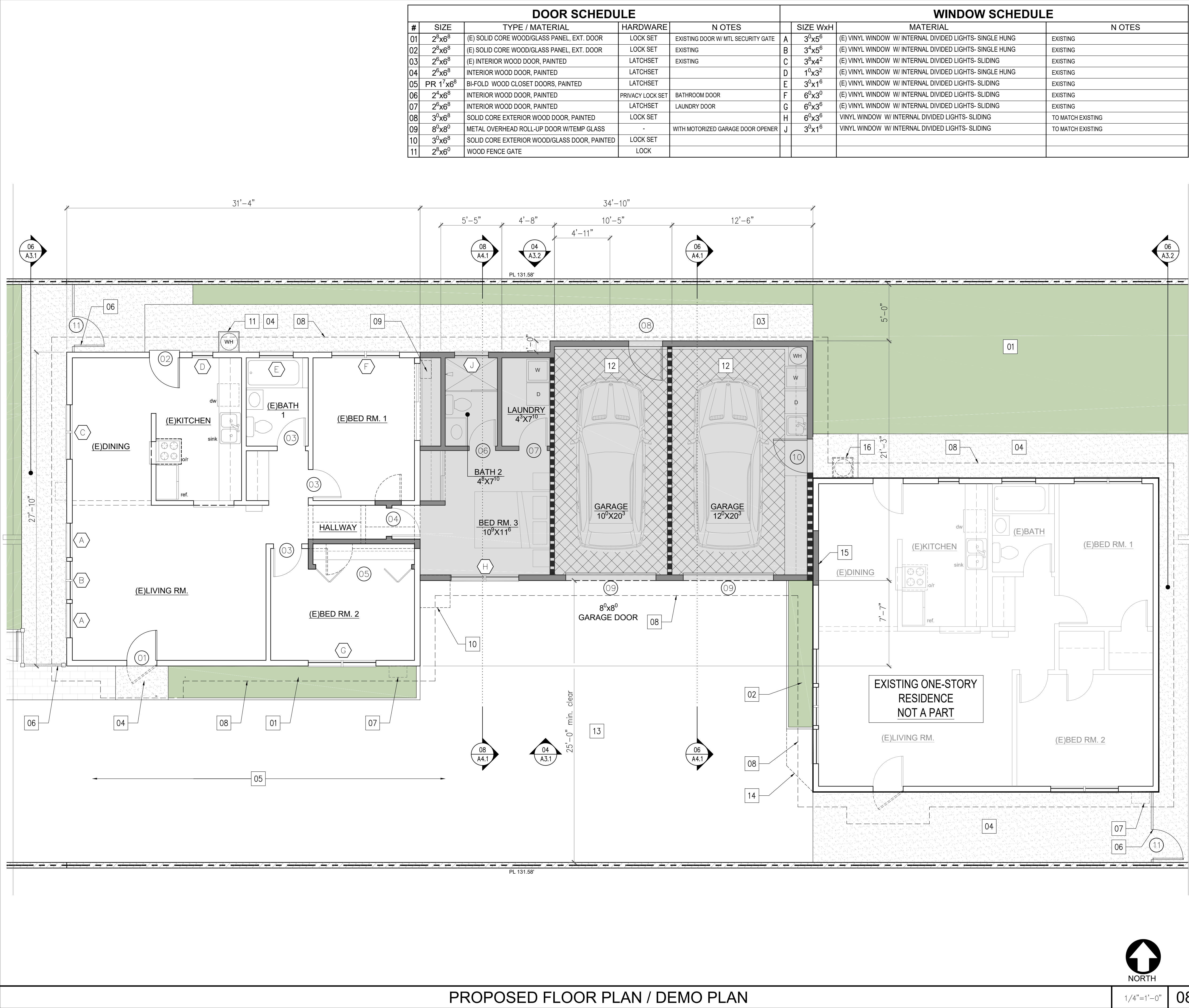
PROPOSED SITE PLAN

1"=10'-0"

10

LEGEND

04



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SHEET TITLE
**PROPOSED
FLOOR PLAN

DEMO PLAN**

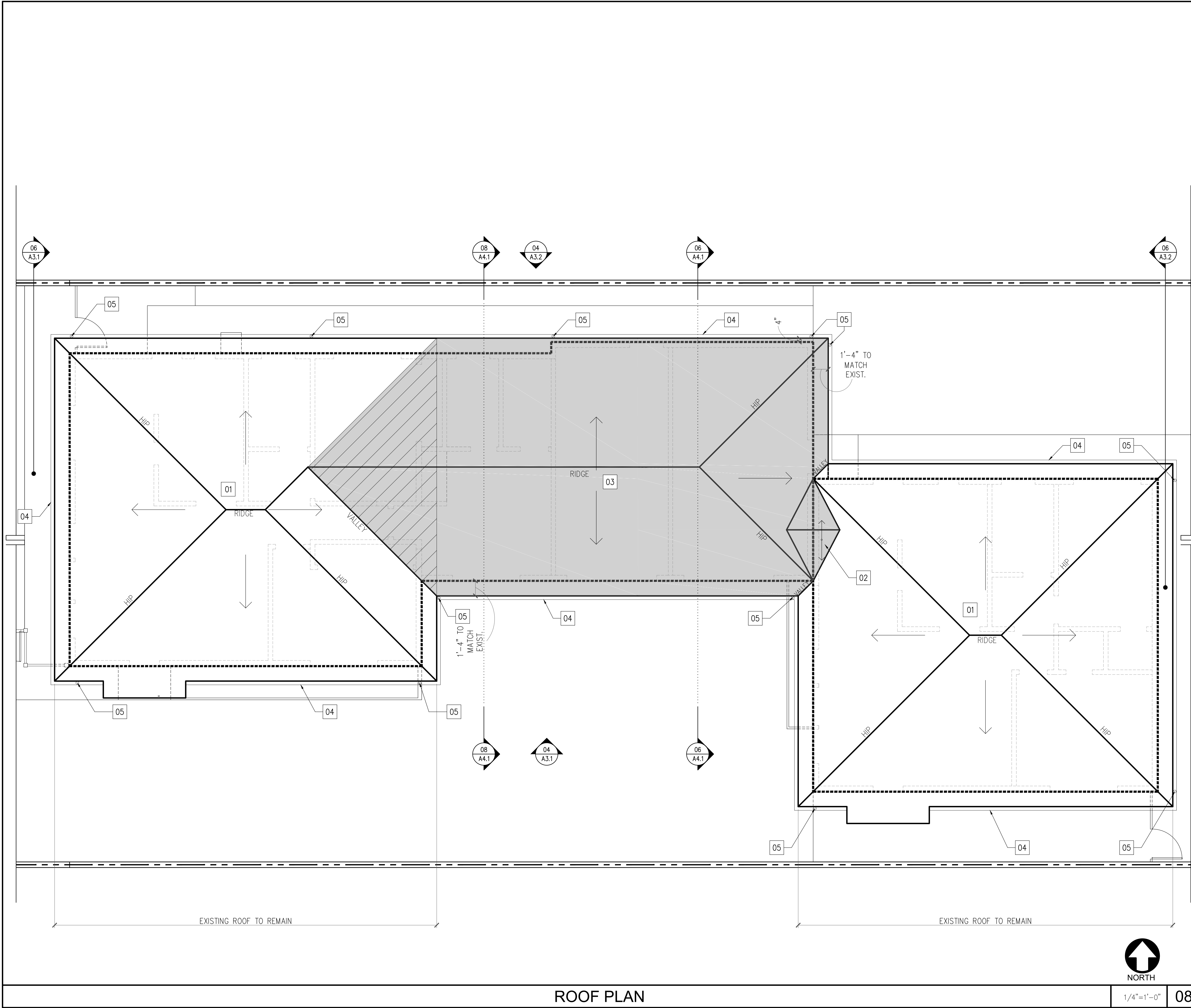
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BY: ALX CHKD: DD
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PLANNING SUBMITTAL DRC REVIEW 04-07-21

FILE: 21-02_A2.0_FP.DWG

SHEET
A2.1

PLANNING SUBMITTAL - DRC REVIEW 04-07-21



KEYNOTES

NO.	PROV. BY	INST. BY
01	CON.	CON.
02	CON.	CON.
03	CON.	CON.
04	CON.	CON.
05	CON.	CON.

NOTES

03

LEGEND

04

1/4"=1'-0"

08

AREA OF ROOF TO BE CALIFORNIA FRAMING (OVER FRAMED)

AREA OF PROPOSED NEW ROOF TO MATCH EXISTING PITCH AND MATERIAL

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PROJECT NAME:

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SHEET TITLE

ROOF PLAN

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BY: ALX

CHKD: DD

CONCEPTUAL DESIGN

02-15-21

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02-24-21

PLANNING SUBMITTAL

04-07-21

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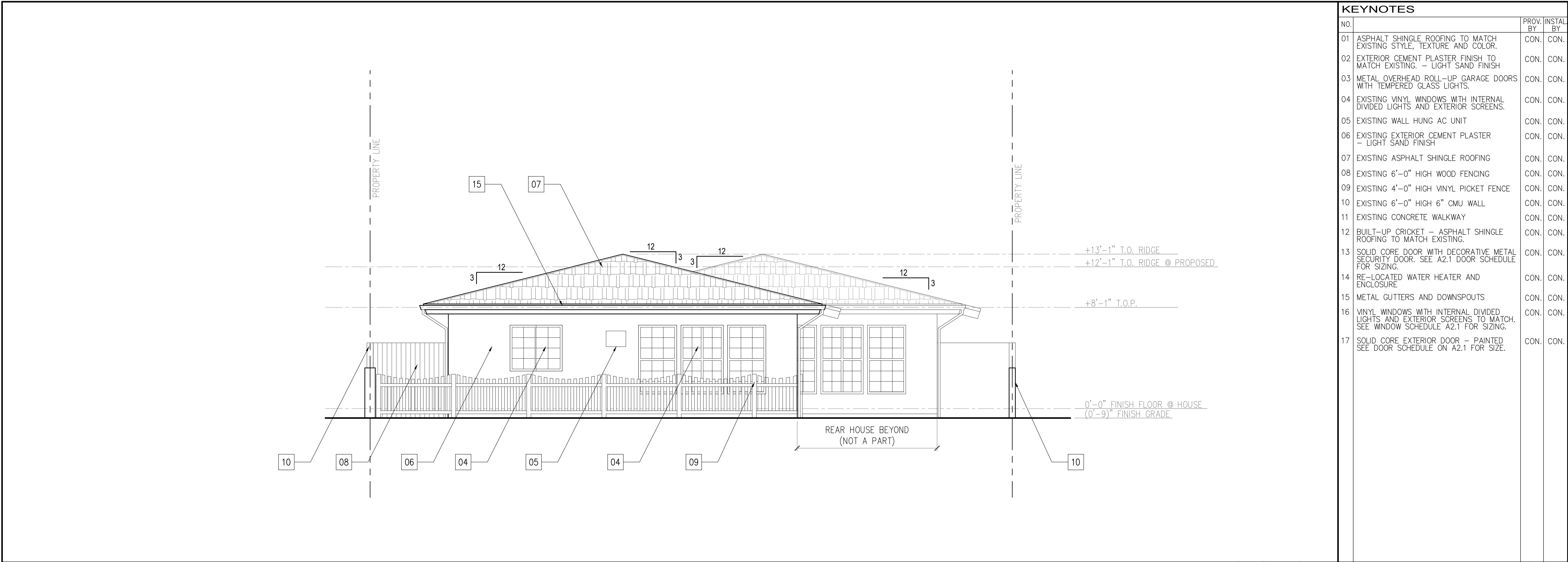
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FILE: 21-02_A2.0 FP.DWG

SHEET

A2.2

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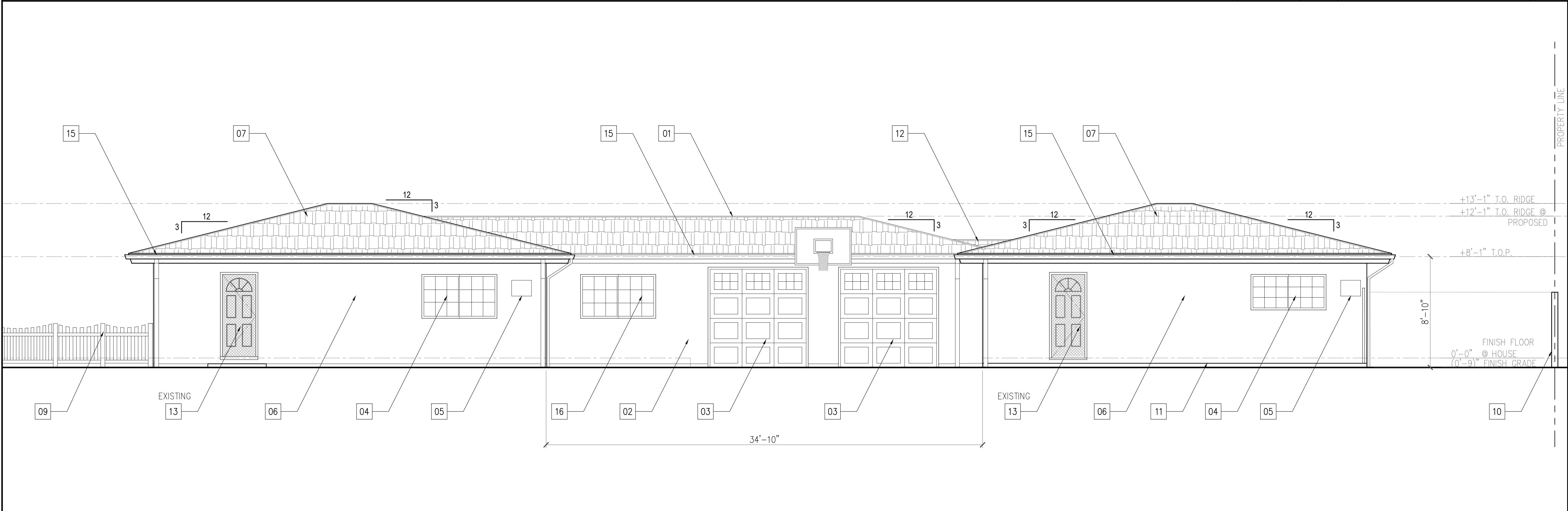


WEST ELEVATION

1/4"=1'-0"

06

03



SOUTH ELEVATION

1/4"=1'-0"

04

KEYNOTES			
NO.		PROV. BY	INST. BY
01	ASPHALT SHINGLE ROOFING TO MATCH EXISTING STYLE, TEXTURE AND COLOR.	CON.	CON.
02	EXTERIOR CEMENT PLASTER FINISH TO MATCH EXISTING. - LIGHT SAND FINISH	CON.	CON.
03	METAL OVERHEAD ROLL-UP GARAGE DOORS WITH TEMPERED GLASS LIGHTS.	CON.	CON.
04	EXISTING VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS.	CON.	CON.
05	EXISTING WALL HUNG AC UNIT	CON.	CON.
06	EXISTING EXTERIOR CEMENT PLASTER - LIGHT SAND FINISH	CON.	CON.
07	EXISTING ASPHALT SHINGLE ROOFING	CON.	CON.
08	EXISTING 6'-0" HIGH WOOD FENCING	CON.	CON.
09	EXISTING 4'-0" HIGH VINYL PICKET FENCE	CON.	CON.
10	EXISTING 6'-0" HIGH 6" CMU WALL	CON.	CON.
11	EXISTING CONCRETE WALKWAY	CON.	CON.
12	BUILT-UP CRICKET - ASPHALT SHINGLE ROOFING TO MATCH EXISTING.	CON.	CON.
13	SOLID CORE DOOR WITH DECORATIVE METAL SECURITY DOOR. SEE A2.1 DOOR SCHEDULE FOR SIZING.	CON.	CON.
14	RE-LOCATED WATER HEATER AND ENCLOSURE	CON.	CON.
15	METAL GUTTERS AND DOWNSPOUTS	CON.	CON.
16	VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS TO MATCH. SEE WINDOW SCHEDULE A2.1 FOR SIZING.	CON.	CON.
17	SOLID CORE EXTERIOR DOOR - PAINTED SEE DOOR SCHEDULE ON A2.1 FOR SIZE.	CON.	CON.

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PROJECT NAME:

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Residence

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SHEET TITLE

ELEVATIONS

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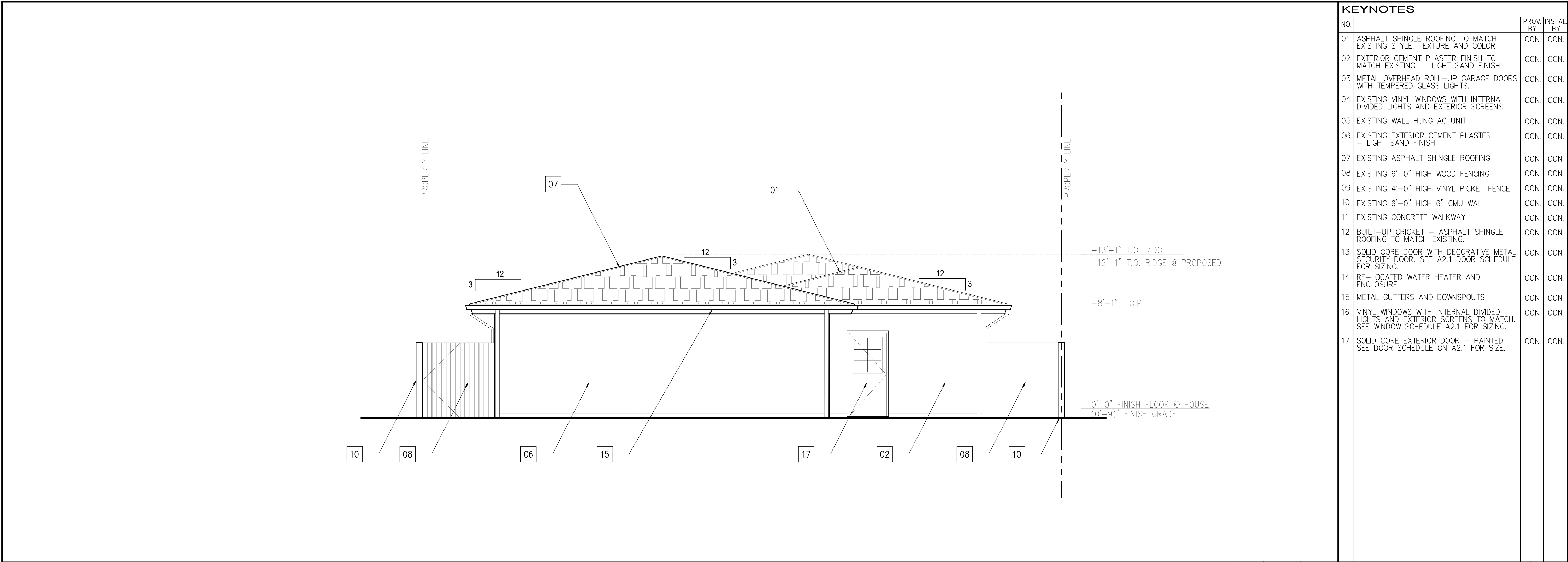
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FILE: 21-02 A3_1 EE.DWG

SHEET

A3.1

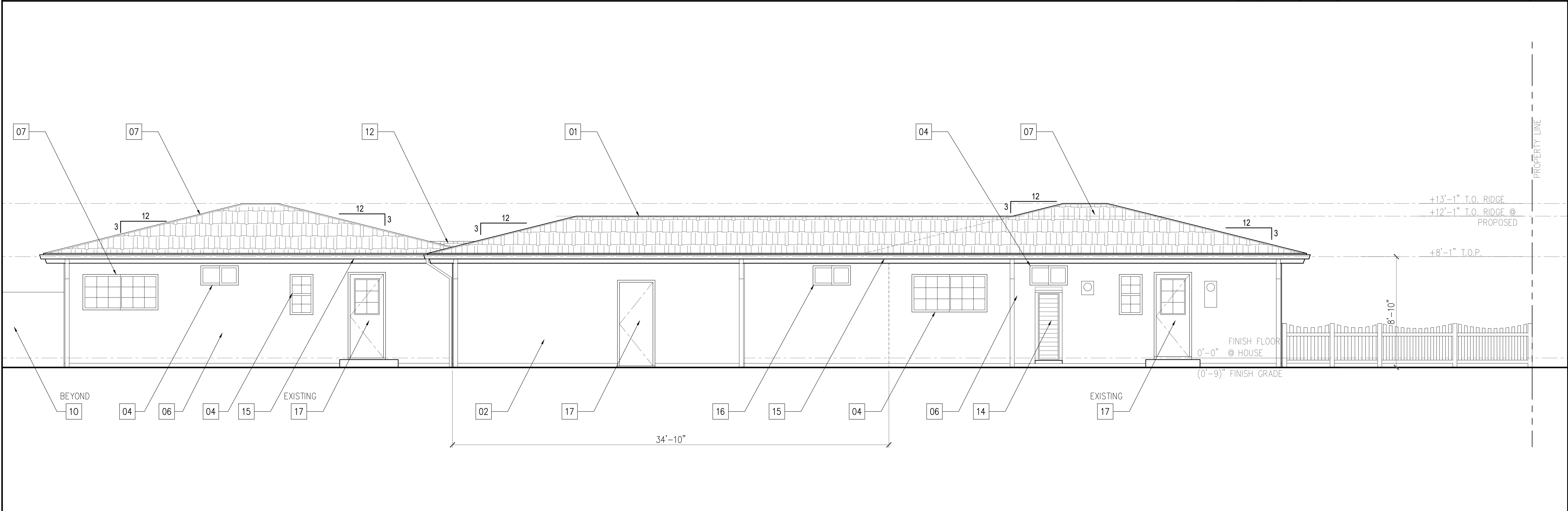


EAST ELEVATION

1/4"=1'-0"

06

03



NORTH ELEVATION

1/4"=1'-0"

04

KEYNOTES			
NO.		PROV. BY	INST. BY
01	ASPHALT SHINGLE ROOFING TO MATCH EXISTING STYLE, TEXTURE AND COLOR.	CON.	CON.
02	EXTERIOR CEMENT PLASTER FINISH TO MATCH EXISTING. - LIGHT SAND FINISH	CON.	CON.
03	METAL OVERHEAD ROLL-UP GARAGE DOORS WITH TEMPERED GLASS LIGHTS.	CON.	CON.
04	EXISTING VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS.	CON.	CON.
05	EXISTING WALL HUNG AC UNIT	CON.	CON.
06	EXISTING EXTERIOR CEMENT PLASTER - LIGHT SAND FINISH	CON.	CON.
07	EXISTING ASPHALT SHINGLE ROOFING	CON.	CON.
08	EXISTING 6'-0" HIGH WOOD FENCING	CON.	CON.
09	EXISTING 4'-0" HIGH VINYL PICKET FENCE	CON.	CON.
10	EXISTING 6'-0" HIGH 6" CMU WALL	CON.	CON.
11	EXISTING CONCRETE WALKWAY	CON.	CON.
12	BUILT-UP CRICKET - ASPHALT SHINGLE ROOFING TO MATCH EXISTING.	CON.	CON.
13	SOLID CORE DOOR WITH DECORATIVE METAL SECURITY DOOR. SEE A2.1 DOOR SCHEDULE FOR SIZING.	CON.	CON.
14	RE-LOCATED WATER HEATER AND ENCLOSURE	CON.	CON.
15	METAL GUTTERS AND DOWNSPOUTS	CON.	CON.
16	VINYL WINDOWS WITH INTERNAL DIVIDED LIGHTS AND EXTERIOR SCREENS TO MATCH. SEE WINDOW SCHEDULE A2.1 FOR SIZING.	CON.	CON.
17	SOLID CORE EXTERIOR DOOR - PAINTED SEE DOOR SCHEDULE ON A2.1 FOR SIZE.	CON.	CON.

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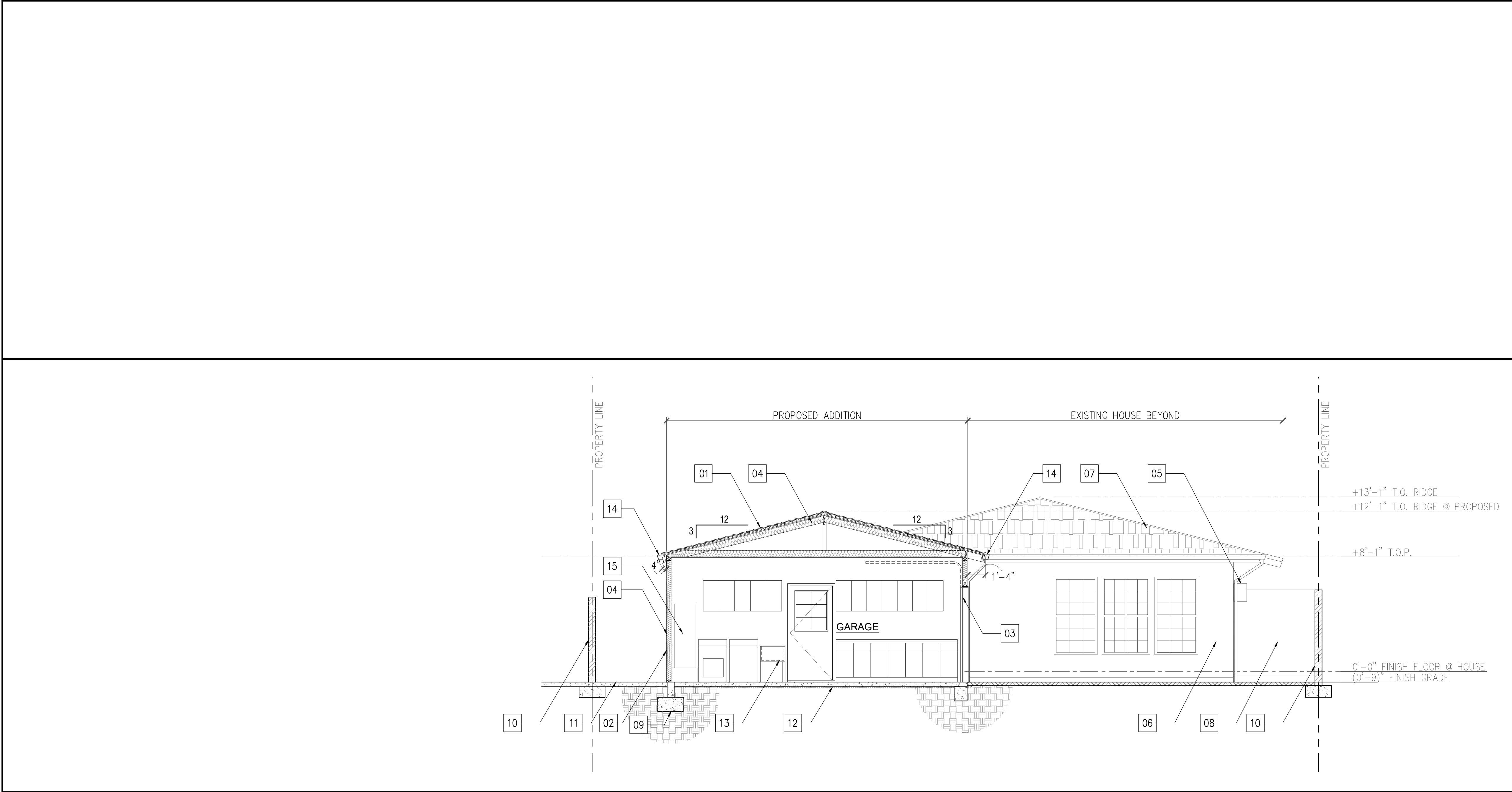
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FILE: 21-02 A3_1 EE.DWG

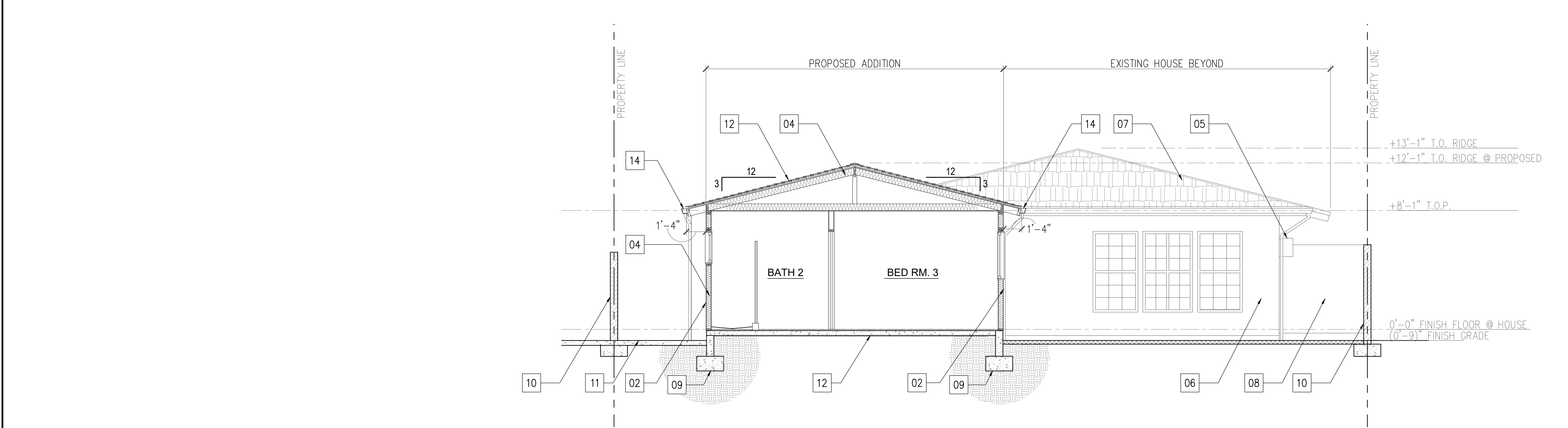
SHEET

A3.2



SECTION @ GARAGE

1/4"=1'-0" 06



SECTION @ PROPOSED ADDITION

1/4"=1'-0" 08

KEYNOTES			
NO.		PROV. BY	INST. BY
01	ASPHALT SHINGLE ROOFING TO MATCH EXISTING STYLE, TEXTURE AND COLOR.	CON.	CON.
02	EXTERIOR CEMENT PLASTER FINISH TO MATCH EXISTING. – LIGHT SAND FINISH	CON.	CON.
03	ROLL-UP GARAGE DOORS 8'-0 x 8'-0"	CON.	CON.
04	2x WOOD FRAMING W/BATT INSULATION	CON.	CON.
05	EXISTING WALL HUNG AC UNIT (BEYOND)	CON.	CON.
06	EXISTING EXTERIOR CEMENT PLASTER FINISH – LIGHT SAND FINISH	CON.	CON.
07	EXISTING ASPHALT SHINGLE ROOFING	CON.	CON.
08	EXISTING 6'-0" HIGH WOOD FENCING	CON.	CON.
09	CONCRETE FOUNDATION	CON.	CON.
10	EXISTING 6'-0" HIGH 6" CMU WALL	CON.	CON.
11	EXISTING CONCRETE WALKWAY	CON.	CON.
12	SLAB ON GRADE WITH VAPOR BARRIER BELOW	CON.	CON.
13	FREE-STANDING UTILITY SINK	CON.	CON.
14	METAL GUTTERS AND DOWNSPOUTS	CON.	CON.
15	RELOCATED WATER HEATER	CON.	CON.

NOTES	03
-------	----

LEGEND	04
--------	----

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SHEET TITLE

SECTIONS

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PLANNING SUBMITTAL DRC REVIEW 04-07-21

1

2

3

FILE: 21-02 A3_1 EE.DWG

SHEET

A4.1

Design Review No. 5032-21

Potential Conditions of Approval

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 2 (date stamped April 7, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial ORA
NRHP Status Code 6Z

Other Listings: _____

Review Code: _____

Reviewer: _____

Date: _____

Page 1 of 3

*Resource Name or #: _____
(Assigned by Recorder)

PARKER_S_151-155__APN_390-673-09

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: _____ Date: _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: 151 - 155 S PARKER ST, # _____ City: Orange Zip: 92868

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ' _____ mE/ _____ mN

e. Other Locational Data: _____

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Stucco or plaster

*P3b. Resource Attributes:
(List attributes and codes)

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☒ Element of District ☐ District ☐ Other (Isolates, etc.)

P5b. Description of Photo: 2005
(View, date, accession #)



*P6. Date Constructed/ Age and Source: _____

☐ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address: _____

*P8: Recorded by: (Name, affiliation, and address)
D. Gest, P. LaValley, D.
Matsumoto

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded: _____

April, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update.

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet(s) ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or #:
(Assigned by Recorder)

PARKER_S_151-155__APN_390-673-09

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Contemporary

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: ☐ Historic ☐ Prehistoric ☐ Both

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Located in Old Towne Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity:

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #

HRI #

Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

PARKER_S_151-155__APN_390-673-09

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: April, 2005

☒ Continuation ☐ Update

Years Surveyed: 1991, 2005

Description of Photo: 1991

Listed in National Register:

General Plan: LDR # of Buildings: 2

Planning Zone: R-3 # of Stories: 1

Lot Acre: # of Units: 2

Principal Building Sqft: 868

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):



Agenda Item

Design Review Committee

Item #: 3.3.

4/21/2021

File #: 21-0195

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kelly Ribuffo, Associate Planner - Historic Preservation

1. SUBJECT

Design Review No. 5017-20, East Katella Commercial Center, 232 E. Katella Avenue

2. SUMMARY

Final determination by the Design Review Committee

The applicant proposes to construct a new 6,856 square foot commercial building with an associated surface parking lot and landscaping.

3. BACKGROUND INFORMATION

Applicant/Owner: Katella Commercial, LLC

Property Location: 232 E. Katella Avenue

Architect: DSE Architects, Inc.

General Plan Designation: General Commercial (GC)

Zoning Classification: Commercial Professional (C-P)

Existing Development: vacant lot

Property Size: 23,841 square feet

Associated Application: Minor Site Plan Review No. 1022-20 and Administrative Adjustment No. 0279-20

Previous DRC Project Review: None

4. PROJECT DESCRIPTION

The applicant proposes to construct a new 6,856 square foot commercial building with an associated surface parking lot and landscaping. Design features of the project include:

- Contemporary architectural style with flat roofline
- Integral color cement plaster and metal panel siding systems
- Anodized aluminum storefront system

- Slatted aluminum screens for mounting tenant signage
- Aluminum sunshades over tenant space entrances

The project includes a request for an 8% Administrative Adjustment for drive aisle width and a 10% Administrative Adjustment for parking space count.

Proposed plans, including construction details, landscaping, and sign program, are included as Attachments 2 and 3 of this report. The applicant's letter of explanation is included as Attachment 4.

Orange Municipal Code Chapter 17.18 sets out development standards for all developments within the Commercial Professional (C-P) zone.

Development Standards

	Required	Proposed	Code Section
<i>Building Height</i>	32 feet, 2 stories	25 feet, 1 story	Table 17.18.120
<i>Fence/Wall Height</i>	6 feet	6 feet	17.18.140
<i>Floor Area Ratio (FAR)</i>	1.0	0.28 (6,554 gross floor area)	General Plan Land Use Element
<i>Landscaping (non-residential)</i>	Setbacks, parking area, and trees	Setbacks met. See Issue 2	17.18.160
<i>Loading area (non-residential)</i>	10 feet x 40 feet	10 feet x 40 feet	Table 17.34.160
<i>Parking (non-residential)</i>	32	29 spaces, See Issue 3 Admin Adjustment	17.34.070
<i>Bike Rack</i>	1	1	17.34.080
<i>Motorcycle Parking</i>	50 square feet	Met	17.34.080
<i>Setback, Front</i>	10 feet	10 feet 4 inches	Table 17.18.130
<i>Setback, Rear</i>	10 feet	70 feet 1 inch	Table 17.18.130
<i>Setback, East Side</i>	0 feet	5 feet 3 inches	Table 17.18.130
<i>Setback, West Side</i>	0 feet	52 feet	Table 17.18.130

As proposed, the design of the project meets the minimum development requirements for the zoning district except as noted. Parking Space Count and Tree Count are discussed further in the Analysis section of this report.

5. EXISTING SITE

The site is currently a vacant lot with a mix of dirt and asphalt surface. The property was previously developed with a small commercial building that was demolished by the property owner between June and August of 2020.

6. EXISTING AREA CONTEXT

The subject property is located on the south side of E. Katella Avenue between N. Glassell Street and N. Shaffer Street. Katella Avenue is one of the City's primary commercial corridors, including retail, restaurant, and office uses. The property is bordered to the north by the Katella Plaza commercial shopping center (C-1), to the east by another small commercial center (C-P) and the

west by Tulsa Rib Company (C-P). The property is bordered to the south by single-family residences (R-1-6) along E. Hoover Avenue.

7. ANALYSIS AND STATEMENT OF THE ISSUES

Overall, it is the opinion of staff that the proposed project is of an appropriate mass, scale, and design to complement existing development along the E. Katella Avenue commercial corridor. However, staff has identified one issue item specific to the design of the east elevation of the building that prevents staff from recommending approval of the project as presented at this time.

Staff has also provided analysis related to the tree count and proposed Administrative Adjustments for drive aisle width and parking count, which staff supports for this project.

Issue 1. East Elevation

The proposed commercial building is oriented with the narrowest sides of the building facing north and south and the “front” of the building facing west. Given existing development to either side of the property, this means that the east and west elevations of the building are highly visible from E. Katella Avenue.

It is the opinion of staff that the “rear” or east elevation of the building requires additional design attention in order for the project to meet the required findings for design approval. Though the east elevation is technically the “back of house” operationally for the building, it is highly visible from E. Katella Avenue, and therefore needs to be treated like a primary elevation for the purposes of design completeness. The east elevation lacks any of the features of the other elevations, such as the metal panels or sunshades, which provide architectural interest to the building.

Staff brought up this concern with the applicant during the staff review process, and the applicant asked to bring the design as presented in Attachment 2 to the DRC for consideration.

Issue 2. Tree Count

Orange Municipal Code (OMC) Section 17.18.160.B.1.a states that the number of trees required for projects in commercial zoning districts shall be calculated as follows:

“... add together the total length of all the perimeter property lines (all sides), the total length of the perimeter of the buildings, and the total length of all parking rows on the site, and divide by 36.”

Per this calculation, 35 trees are required for the project site. The proposed landscape plan includes seven trees, consisting of Pink Crepe Myrtle and India Hawthorne. The project is also required to provide two Saratoga Laurel street trees in the public right-of-way, in compliance with the City’s Street Tree Master Plan.

Staff supports a reduced number of trees on the project site, as the code required number of trees is not a sustainable number given the other development requirements for the site, including parking, fire lane access, and a screening hedge at the south property line.

Issue 3. Administrative Adjustments for Drive Aisle Width and Parking Count

The applicant is requesting two Administrative Adjustments of development standards for this project. The first is an 8% adjustment to drive aisle width, reducing the required drive aisle width from 25 feet to 23 feet.

Staff supports the reduction in the required drive aisle width for this project. The minimal reduction in width allows for accommodation of the required boarder planter along the west property line without reduction in the size of the building or adjacent parking spaces. The Fire Department did not have any issues with the request, as the minimum fire lane width of 20 feet is clear of obstructions.

The second request is a 10% adjustment to required parking count, reducing the required number of parking spaces from 32 to 29 spaces. Parking requirements were calculated at five spaces per 1,000 square feet gross floor area, based on a retail occupancy, which may include take-out restaurants with limited seating.

Staff supports the request for the reduction in total parking spaces. Development of the property is constrained due to an existing access easement on the west property line and a required right-of-way dedication from the Public Works Department. During the staff review process, a ten-foot right-of-way dedication was required to bring E. Katella Avenue to ultimate width per the City's Master Plan of Streets and Roadways. Therefore, it is the opinion of staff that the proposed 10% adjustment is reasonable for the particular site.

8. ADVISORY BOARD RECOMMENDATION

Staff reviewed the project for compliance with city standards on September 9, 2020, December 9, 2020, February 17, 2021, and March 24, 2021. Staff recommended approval of the project to the DRC with conditions on April 14, 2021.

9. PUBLIC NOTICE

None required.

10. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction and Conversion of Small Structures) because the project consists of the construction of a new commercial building under 10,000 square feet in size in an urbanized area of the city. No public notice is required.

11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

The Findings are applied as appropriate to each project. Based on the following Findings and statements in support of such Findings, approval of the proposed project must be made based on the following Findings, with conditions as deemed appropriate by the DRC.

Design Review

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.070.F.3).

Minor Site Plan Review

- That the project design is compatible with surrounding development and neighborhoods (OMC 17.10.060.H.1).
- That the project conforms to City development standards and any applicable special design

guidelines or specific plan requirements (OMC 10.12.060.H.2).

- That the project provides for safe and adequate vehicular and pedestrian circulation, both on- and off-site (OMC 17.10.060.H.3).
- That City services are available and adequate to serve the project (OMC 17.10.060.H.4).
- That the project has been designed to fully mitigate or substantially minimize adverse environmental effects (OMC 17.10.060.H.5).

Administrative Adjustment

- That the reduction in standards will not be detrimental to the public health, safety, and general welfare of persons residing or working on the subject property or in the vicinity (OMC 17.10.050.E.1).
- That issuance of the permit does not compromise the intent of this code (OMC 17.10.050.E.2).

12. CONDITIONS

Since staff has not made a recommendation of approval on this project, no conditions of approval have been provided. Should the DRC approve the project, conditions of approval have been provided for reference as Attachment 5 from all city departments.

13. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Architectural and Landscape Plans date stamped April 13, 2021
- Attachment 3 - Sign Program
- Attachment 4 - Letter of Explanation
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Agenda Item

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Date: 4/21/2021

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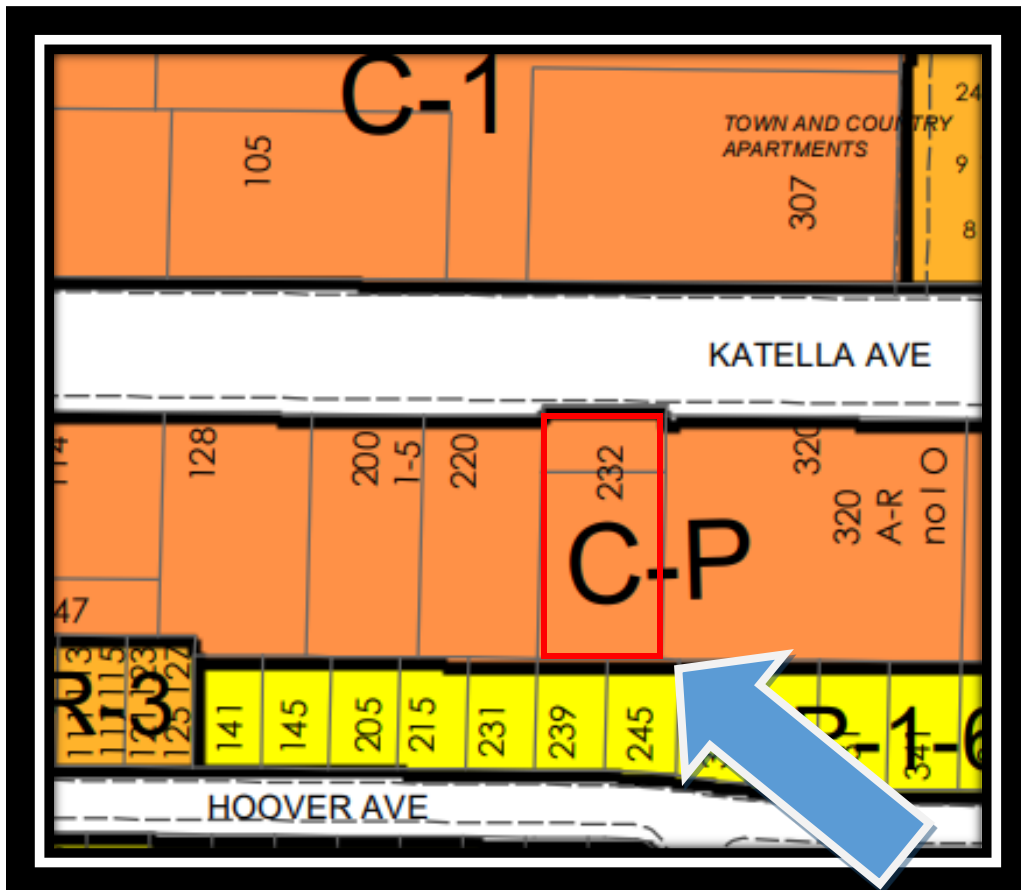
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Vicinity Map

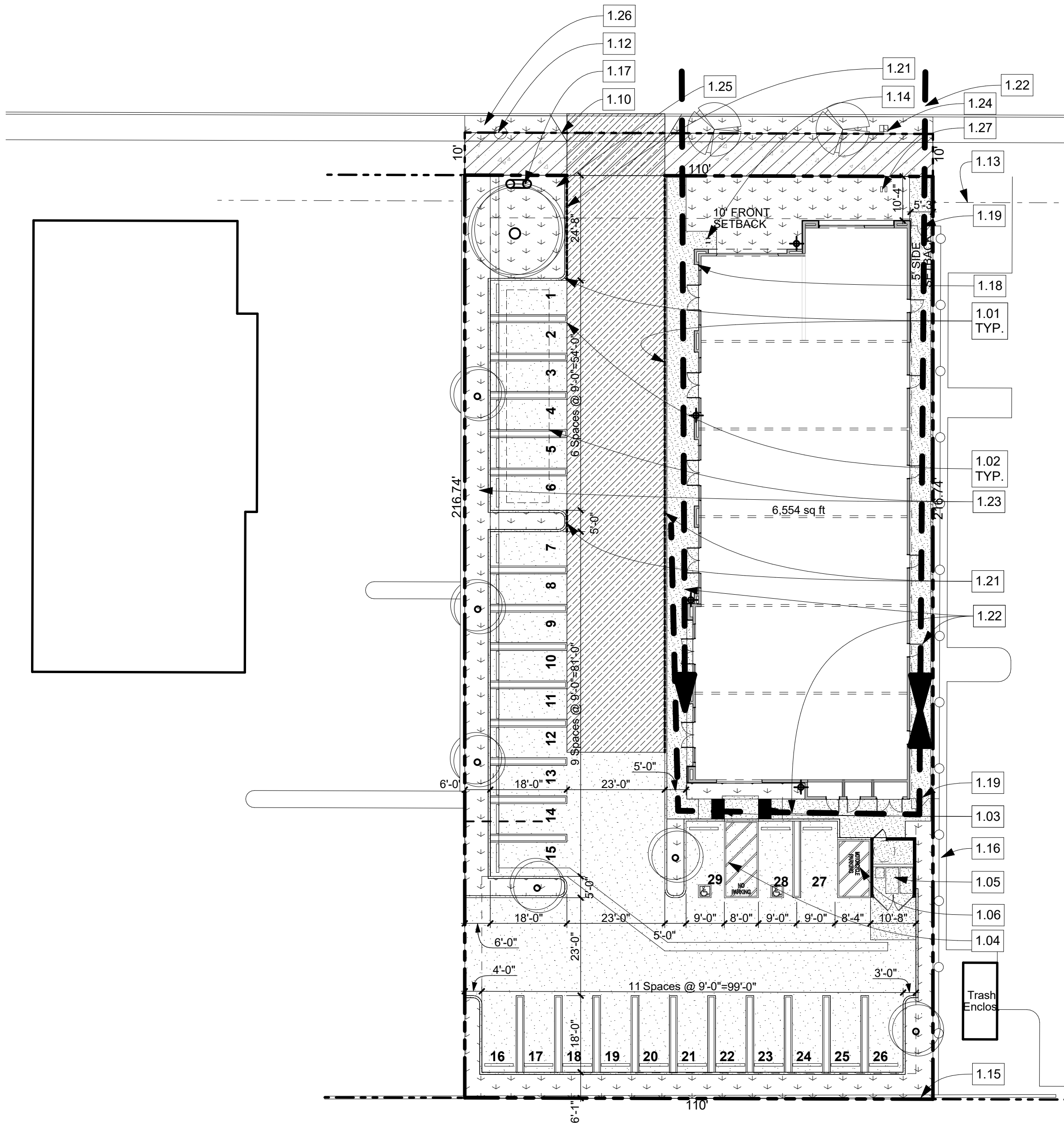
DRC No. 5017-20

East Katella Commercial Center

232 E. Katella Avenue

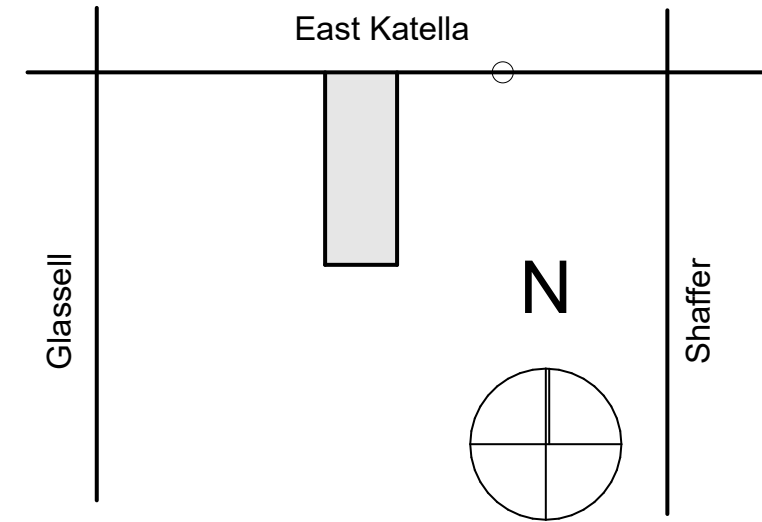


CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT



E. Katella Ave.

Vicinity Map



Site Plan Keynotes

- 1.01 (N) 6" High concrete curb
1.02 (N) 27 standard parking stalls and 2 ADA accessible stalls.
1.03 (N) Truncated domes at the bottom of accessible slope, details to be provided per CBC Chapter 11 Requirements with Construction Documents
1.04 (N) ADA parking stall striping 3' O.C. details to be provided per CBC Chapter 11 Requirements with Construction Documents.
1.05 (N) Trash enclosure, Capacity - (2) 2 yard dumpsters and 1 50 Gallon Organics Waste Can
1.06 (N) Motorcycle parking stall
1.10 (E) Monument sign pole to be removed.
1.12 (E) Telephone pole to remain. Protect in place.
1.13 (E) Adjoining property line.
1.14 Bike Rack
1.15 (E) Site Masonry Wall - To Remain
1.16 (E) 6' High Metal Fence - To Remain
1.17 Location of FDC as per FD. Per City Fire Ordinance 6.7.3, a hydrant shall be located within 40' of this location. FDC location may not be within 40' of the building
1.18 General Location of Knox Box Required by FD
1.19 Provide Lockable Gate to match existing wrought iron fence.
1.21 Dense Dash Insicates Fire Lane Marking on Curb per City of Orange Design Standards
1.22 Arrows Reflect Extent of 150' Hose Access
1.23 Dashed Area Indicates Temporary Loading Zone to be Signed to reflect use during non business hours. Final hours TBD by owner but is estimated to be allowed from 8pm - 7 am.
1.24 Water Meters 1 Master meter and 1 Irrigation Meter.
1.25 Fire Lane Signage Per City of Orange Fire Department Standards. See FD2
1.26 New Hydrant
1.27 Backflow Prevention Valve. Final Size to Be Determined and Coordinated with Landscape Screening

Site Plan Legend

- (N) Landscaping, refer to Landscape Drawings.
(N) A.C. paving, refer to Civil Drawings
(N) Raised conc. sidewalk
Area of Existing Site to be Dedicated to the City of Orange Under Separate Process.
Proposed Fire Lane to be Demarcated By Painted Curbs per COO Standard Details

Project Data

Project Address:	232 E. Katella Ave. Orange, CA 92867
Owner/Developer:	Katella Commercial LLC 531 Catalina Road Fullerton CA 92835
Applicant/Architect:	DSEA, Inc. 145 S. Olive St. Orange, CA 92866 PH: (714) 639-3958 Attn: Doug Ely
APN#:	375-151-20 Lot K of the Van De Graff Tract
EXISTING ZONE:	C-P
EXISTING LOT AREA:	23,841 sf (+1,100sf in P.R.O.W.)
PROPOSED USE:	Commercial
OCCUPANCY GROUP:	B / M
CONSTRUCTION TYPE:	V-B (Fully Sprinklered) Wood Stud
PARKING REQUIRED:	6,554 sf @ (5 spaces per 1,000sf) 32,770 3,277 (10% reduction for administrative adj. 29,493 < 29.5 29 Total Parking Stalls + Motorcycle parking
PARKING PROVIDED:	(50sf) Designated motorcycle parking area 2 Accessible parking stalls 27 Regular parking stalls 29 Total Parking Stalls + Motorcycle parking
PROPOSED STORIES:	(1) Story
PROPOSED AREA:	6,554 sq.ft.
PROPOSED LOT COVERAGE:	28.4%

PROJECT DESCRIPTION:
This project involves the demolition of an existing single story commercial building and the construction of a new single story multi-tenant pad building. Anticipated tenant uses are business and mercantile occupancy group type tenants. The parking area will be reconfigured and will include new A.C. paving, new landscaping, new concrete sidewalks and a new trash enclosure built per city standards.

Project Team Directory

Architect: DSEA, Inc. 145 S. Olive St. Orange, CA 92866 PH: 714.639-3958 Attn: Douglas Ely	Landscape Architect Tierra Group, LA #3388 6 San Ricardo RSM, CA 92688 PH: 949.713.4333 Attn: Lisa Pierce
Civil Engineer Cal Land Engineering 576 E. Lambert Road, Brea, CA 92821 PH: 714-671-1050 Attn: Alex Sun	MEP Site Lighting Consultant MEP Energy Solutions Group PO Box 6390 LaQuinta, CA 92248 PH: 714.975.3501 Attn: Bennett Healy

Sheet Index

Architectural	A1.1 Title Sheet, Proposed Site Plan, Project Data and Sheet Index A1.2 Existing Site Photos A2.1 Proposed Floor Plan A3.1 Proposed Roof Plan A4.1 Proposed Exterior Elevations A4.2 Proposed Exterior Elevations A5.1 Proposed Perspective Views
Civil	Preliminary Grading Plan Water Utility Plan
Landscape Architectural	L1 Planting Plan L2 Irrigation Plan L3 Irrigation Details L4 Planting Details L5 Specifications
Site Lighting Photometric	E1.0 Electrical Site Lighting Photometric Plan

1 Proposed Site Plan

SCALE: 1" = 20'

Title Sheet, Proposed Site Plan, Project Data and Sheet Index

East Katella Retail Center

New Retail Center

232 E. Katella Ave., Orange CA 92867

4/12/2021

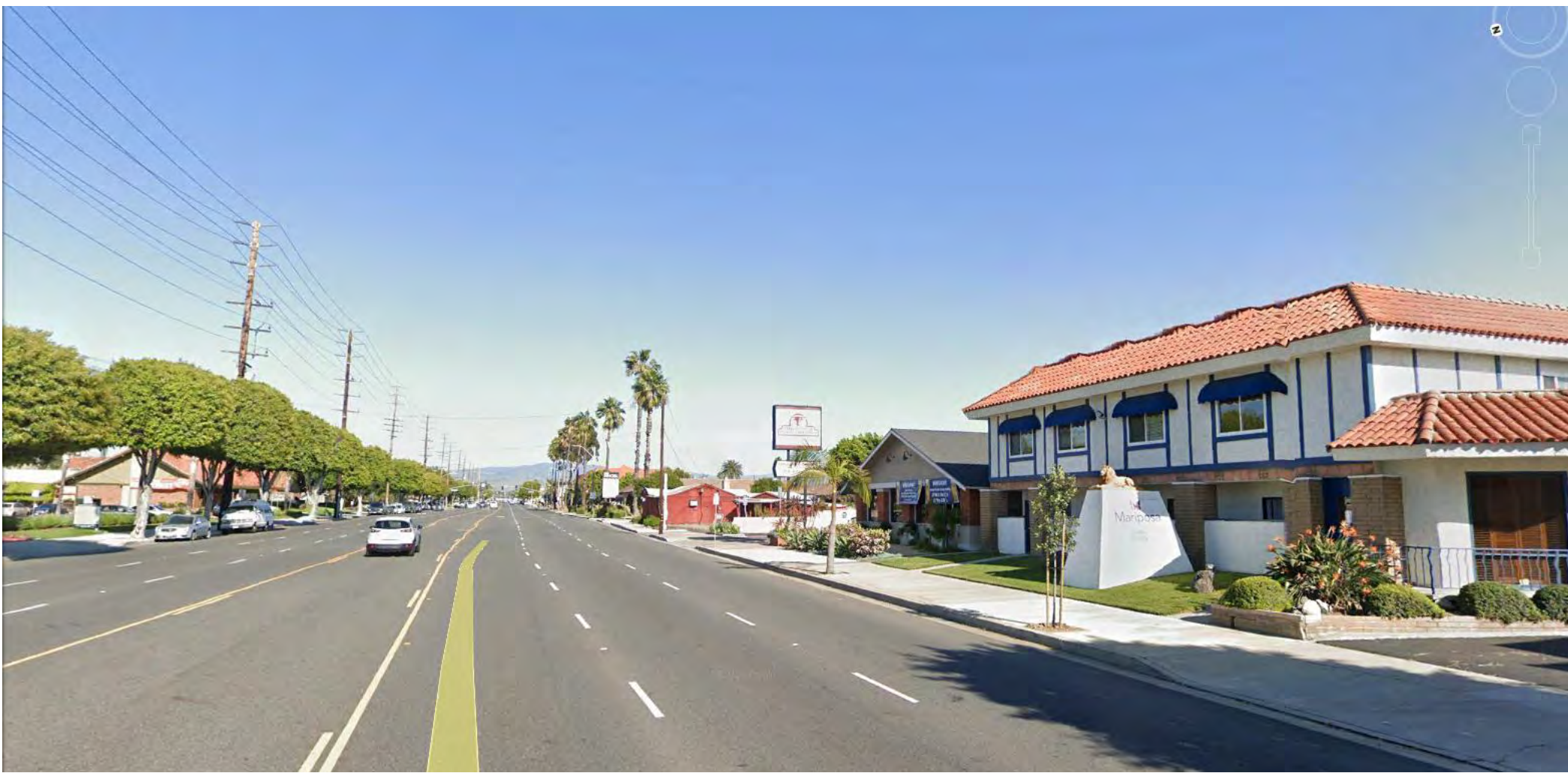
A1.1



Looking SW Along Katella



View at Site From SW Corner



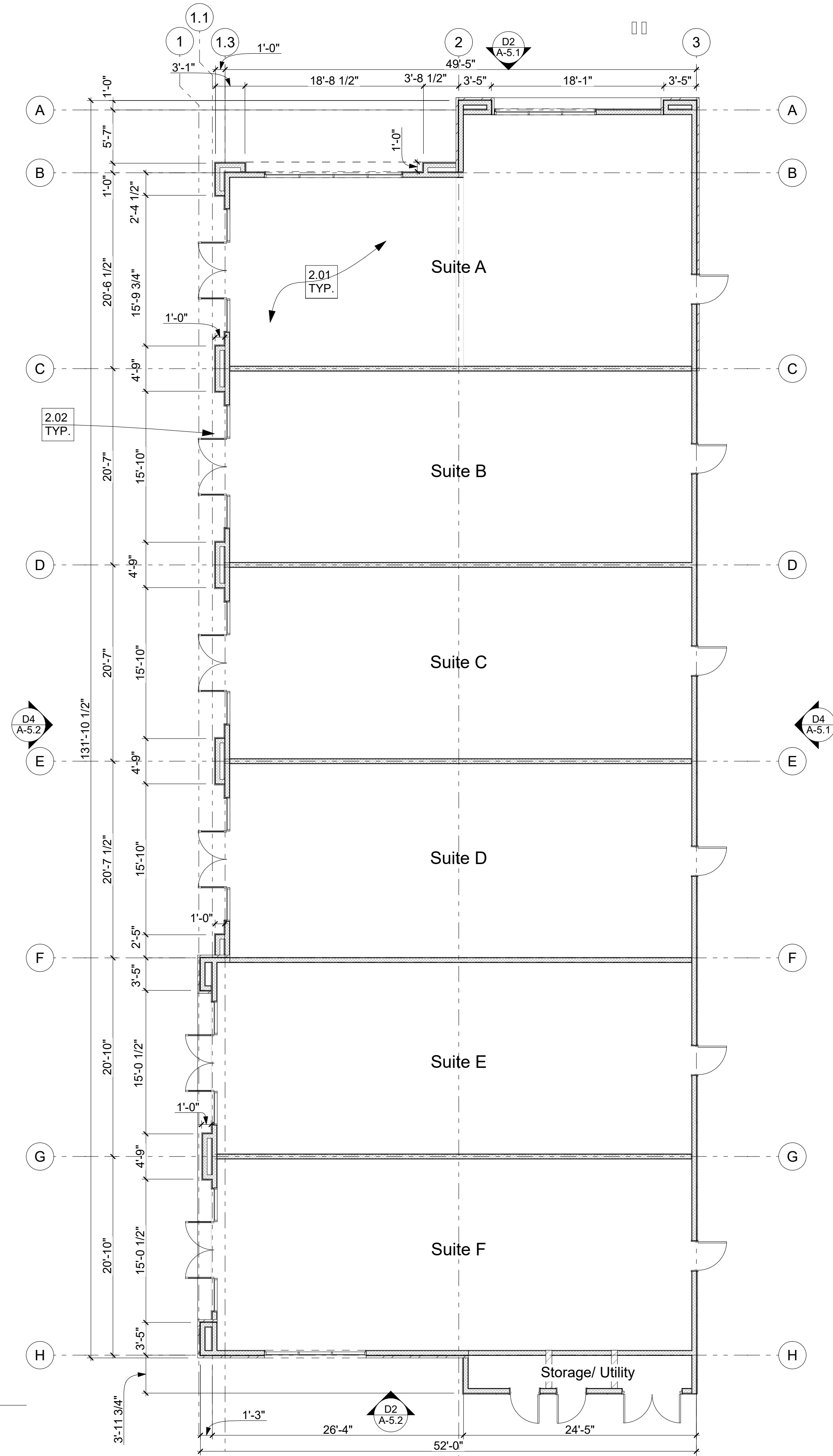
Looking E Along Katella



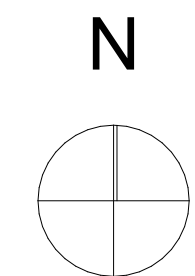
Existing Structure Fronting katella

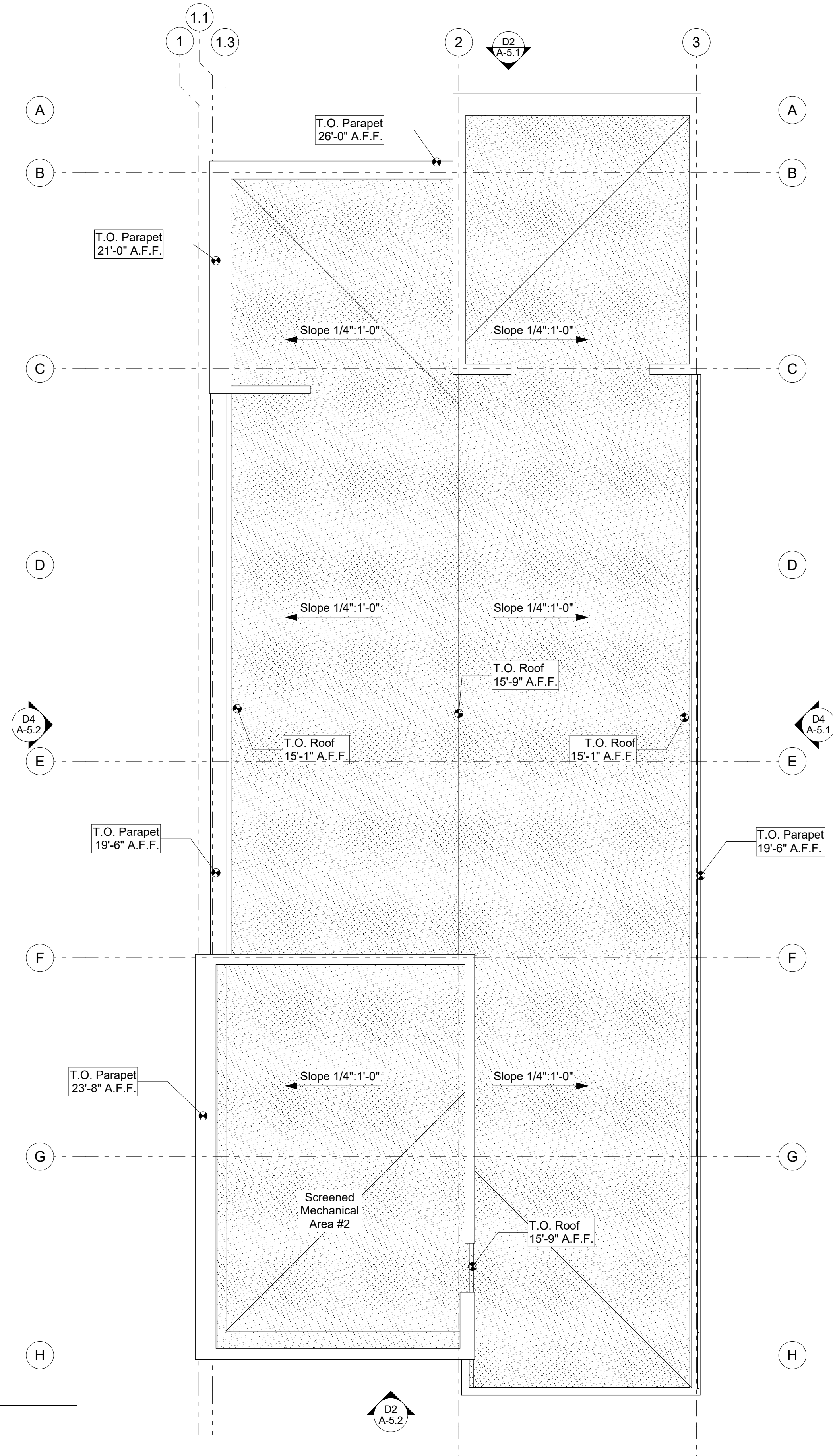


Adjacent Restaurant Property



1 Proposed Floor Plan
SCALE: 1/8" = 1'-0"





1 Proposed Roof Plan
SCALE: 1/8" = 1'-0"

Proposed Roof Plan

4/12/2021

East Katella Retail Center

New Retail Center

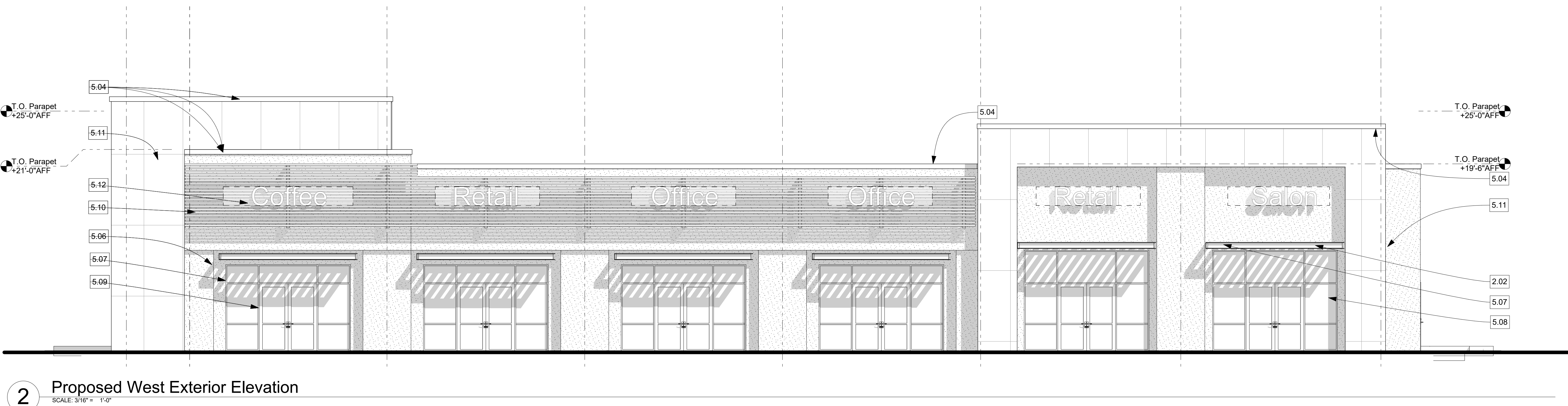
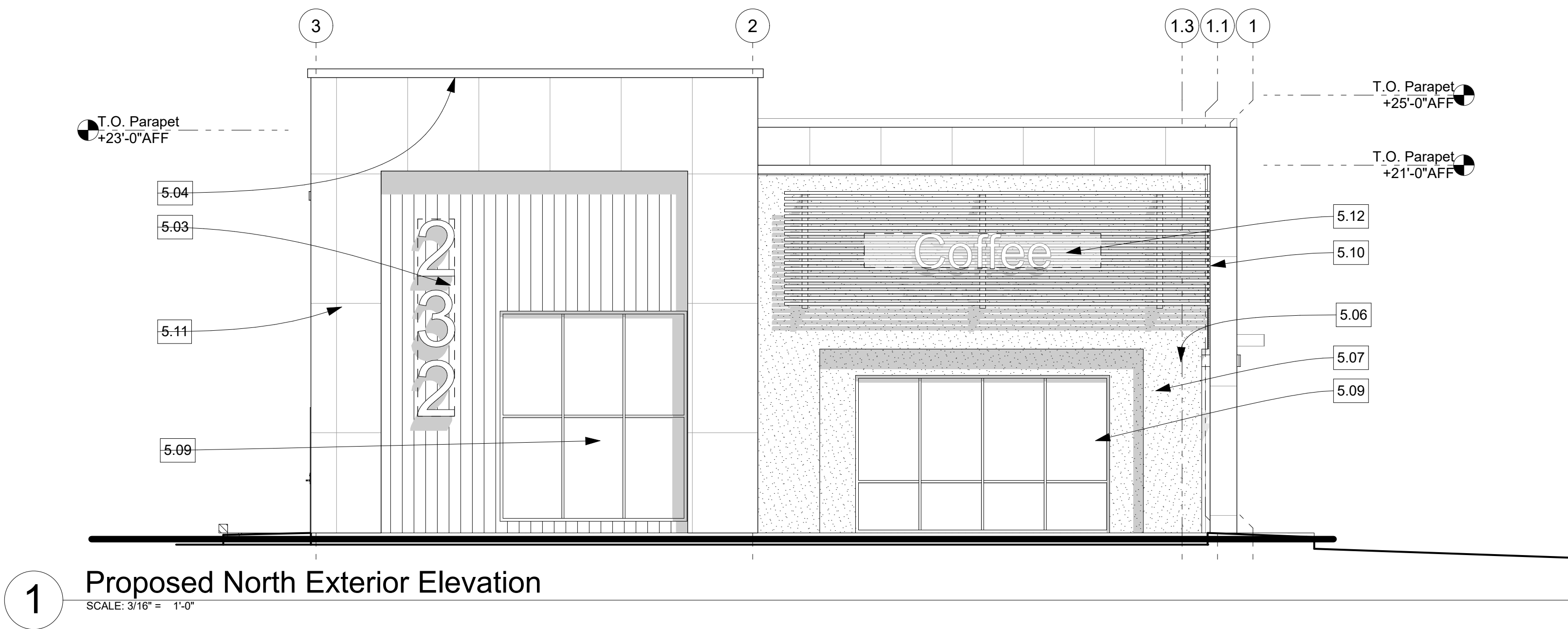
232 E. Katella Ave., Orange CA 92867

Printed on 4/12/2021 at 10:46 AM P:\2014 E Katella Comm\2014 BIM-CAD Files\714 Arch\CAD Models\2014 E Katella DB Comments.dwg

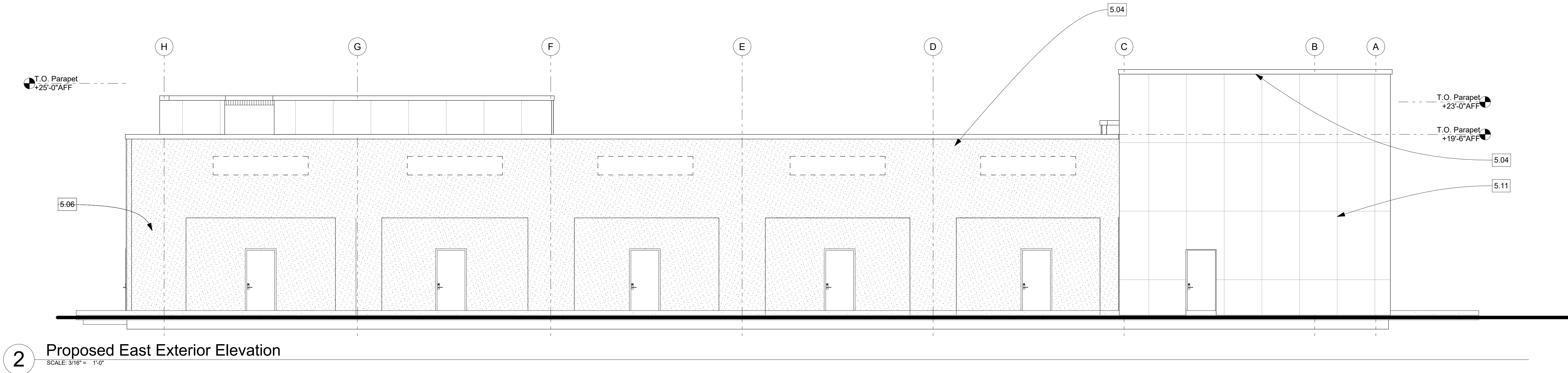
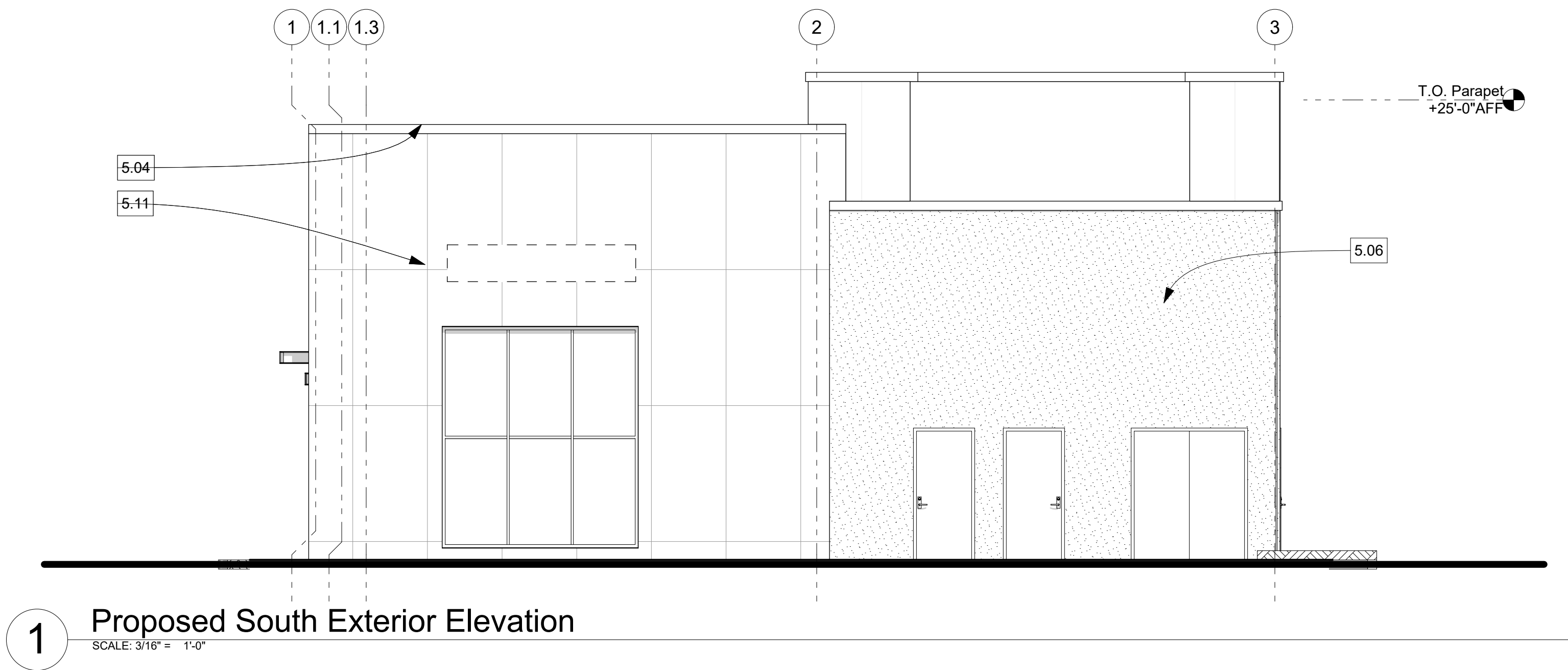
A3.1

Keynotes

- 2.02 Painted Aluminium sun shade
- 5.03 Aluminum paneling 6" O.C.
- 5.04 6" Aluminum parapet trim.
- 5.06 Exterior plaster with integral color & medium float finish.
- 5.07 Exterior Plaster with integral color over wood or foam trim
- 5.08 Anodized aluminum storefront system.
- 5.09 Double pane storefront glazing.
- 5.10 Slatted aluminum screen for mounting tenant signage
- 5.11 Metal Panel System
- 5.12 Tenant Signage



- Keynotes
- 5.04 6" Aluminum parapet trim.
 - 5.06 Exterior plaster with integral color & medium float finish.
 - 5.11 Metal Panel System





Proposed Perspective Views

4/12/2021

East Katella Retail Center

New Retail Center

232 E. Katella Ave., Orange CA 92867

Printed on 4/12/2021 at 10:46 AM P:\214 E Katella Comments\214 BIM-CAD Files\214 ArchCAD Models\214 E Katella DR Comments.rvt

A5.1

CITY OF ORANGE FIRE DEPARTMENT NOTES

INSPECTION REQUIREMENTS

1. OFD site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Call the Fire Prevention office at (714) 288-2541 for inspection scheduling.
2. A lumber drop inspection shall be performed prior to delivery to the site. All-weather access roads capable of supporting 68,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
3. For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. To schedule an appointment call the Fire Prevention office at (714) 288-2541.
4. Phased installation of fire access roads requires additional inspections.
5. An original approved, signed, wet-stamped OFD fire master plan shall be available on-site.
6. Access roads and hydrants shall be maintained and remain clear of obstructions at all times.
7. Areas where parking is not permitted shall be clearly identified.
8. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections and a notice of correction or citation will be issued.
9. Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the OFD prior to installation and use.
10. The project address shall be clearly posted and visible from the public road during construction.
11. All gates which are required for fire department access shall be equipped with either a Knox or fire department padlock.
12. Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

GENERAL REQUIREMENTS

13. Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved OFD Fire Master Plan.
14. Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 68,000 lbs. and surfaced to provide all-weather driving capabilities.
15. Additional fire lane markings may be required at the time of inspection depending on field conditions.

16. Address numbers shall be located and be of a color and sized so as to be plainly visible and legible from the roadway.
17. Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC.
18. Approved access walkways shall be provided to all required openings and all rescue windows.
19. Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
20. Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
21. Any future modification to the approved Fire Master Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the OFD.
22. Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in related portions of the 2016 CFC and CBC and Orange Municipal Code. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.

- PROJECT-SPECIFIC REQUIREMENTS (Include only those notes that are applicable to the project as designed; some notes may need to be modified to address specific project conditions)**
23. An underground piping plan is required for the installation of an automatic fire sprinkler system or for a private fire hydrant system. A separate plan submittal is required.
 24. An automatic fire sprinkler system shall be installed in accordance with applicable codes and ordinances, amendments, and guidelines. Sprinkler systems, other than those listed in CFC Chapter 9, shall be monitored by an approved central station. Separate plan submittals for the sprinkler and monitoring systems are required. Design of an automatic fire sprinkler system shall be based on a current flow test (within 12 months of the submitted design) which has been conducted per NFPA 13 requirements and witnessed by a fire department representative and per Orange Municipal Code.
 25. A fire alarm system shall be installed in accordance with applicable codes and ordinances, amendments, and guidelines. A separate plan submittal is required.

Site Plan Keynotes

- | | |
|------|--|
| 0.01 | (E) Single story building to be demolished in its entirety. |
| 0.07 | (E) Surface to remain, protect. |
| 1.01 | (N) 6" High concrete curb |
| 1.02 | (N) 27 standard parking stalls and 2 ADA accessible stalls. |
| 1.03 | (N) Truncated domes at the bottom of accessible slope, details to be provided per CBC Chapter 11 Requirements with Construction Documents |
| 1.04 | (N) ADA parking stall striping 3" O.C. details to be provided per CBC Chapter 11 Requirements with Construction Documents. |
| 1.05 | (N) Trash enclosure, Capacity - (2) 4 yard dumpsters |
| 1.06 | (N) Motorcycle parking stall |
| 1.10 | (E) Monument sign pole to be removed. |
| 1.12 | (E) Telephone pole to remain. Protect in place. |
| 1.13 | (E) Adjoining property line. |
| 1.14 | Bike Rack |
| 1.15 | (E) Site Masonry Wall - To Remain |
| 1.16 | (E) 6" High Metal Fence - To Remain |
| 1.17 | Location of FDC as per FD. Per City Fire Ordinance 6.7.3, a hydrant shall be located within 40' of this location. FDC location may not be within 40' of the building |
| 1.18 | General Location of Knox Box Required by FD |
| 1.19 | Provide Lockable Gate to match existing wrought iron fence. |
| 1.20 | Existing Fire Hydrant #2512. Distance greater than 250' from new building |
| 1.21 | Dense Dash Indicates Fire Lane Marking on Curb per City of Orange Design Standards |
| 1.22 | Arrows Reflect Extent of 150' Hose Access |
| 1.23 | Dashed Area Indicates Temporary Loading Zone to be Signed to reflect use during non business hours. Final hours TBD by owner but is estimated to be allowed from 6pm - 7 am. |
| 1.24 | Water Meters |
| 1.25 | Fire Lane Signage Per City of Orange Fire Department Standards. See FD2 |
| 1.26 | New Hydrant |
| 2.01 | Floor finish, see room schedule on sheet X-X.X for more information. |
| 2.02 | Painted Aluminium sun shade |
| 5.03 | Aluminum paneling 6" O.C. |
| 5.04 | 6" Aluminum parapet trim. |
| 5.06 | Exterior plaster with integral color & medium float finish. |
| 5.07 | Exterior Plaster with integral color over wood or foam trim |
| | Sheet metal coping |
| 5.08 | Anodized aluminum storefront system. |
| 5.09 | Double pane storefront glazing. |
| 5.10 | Slatted aluminum screen for mounting tenant signage |
| 5.11 | Metal Panel System |
| 5.12 | Tenant Signage |
| | Sheet metal coping |

Project Team Directory

Owner:	Civil Engineer	MEP Consultant
Katella Commerical, LLC 531 Catalina Road Fullerton, CA 92835 PH: 714.595.6603 Attn: Haroon Ali	Cal Land Engineering 576 E. Lambert Road, Brea, CA 92821 PH: 714-671-1050 Attn: Alex Sun	MEP Energy Solutions Group, Inc. P.O. Box #6390 La Quinta, CA 92248 714-975-3501 Attn: Bennett Healy
Architect:	Landscape Architect	
DSEA, Inc. 145 S. Olive St. Orange, CA 92866 PH: 714.639-3958 Attn: Douglas Ely	Koheld Design 5312 Bolsa Avenue Huntington Beach, CA 92649 PH: 714.403.5798 Attn: Travis Gramberg	

Project Data

Project Address:	232 E. Katella Ave. Orange, CA 92867
Owner/Developer:	Katella Commercial LLC 531 Catalina Road Fullerton CA 92835
Applicant/Architect:	DSEA, Inc. 145 S. Olive St. Orange, CA 92866 PH: (714) 639-3958 Attn: Doug Ely
APN#:	375-151-20 Lot K of the Van De Graff Tract
EXISTING ZONE:	C-P
EXISTING LOT AREA:	23,841 sf (+1,100sf in P.R.O.W.)
PROPOSED USE:	Commercial
OCCUPANCY GROUP:	B / M
CONSTRUCTION TYPE:	V-B (Fully Sprinklered NFPA 13) Wood Stud
PARKING REQUIRED:	6,554 sf @ (5 spaces per 1,000sf) 32,770 3,277 (10% reduction for administrative adj. 29,493 < 29.5 29 Total Parking Stalls + Motorcycle parking

PARKING PROVIDED:	(50sf) Designated motorcycle parking area 2 Accessible parking stalls 27 Regular parking stalls 29 Total Parking Stalls + Motorcycle parking
PROPOSED STORIES:	(1) Story
PROPOSED AREA:	6,554 sq.ft.
PROPOSED LOT COVERAGE:	28.4%

PROJECT DESCRIPTION:
This project involves the demolition of an existing single story commercial building and the construction of a new single story multi-tenant pad building. Anticipated tenant uses are business and mercantile occupancy group type tenants. The parking area will be reconfigured and will include new A.C. paving, new landscaping, new concrete sidewalks and a new trash enclosure built per city standards.

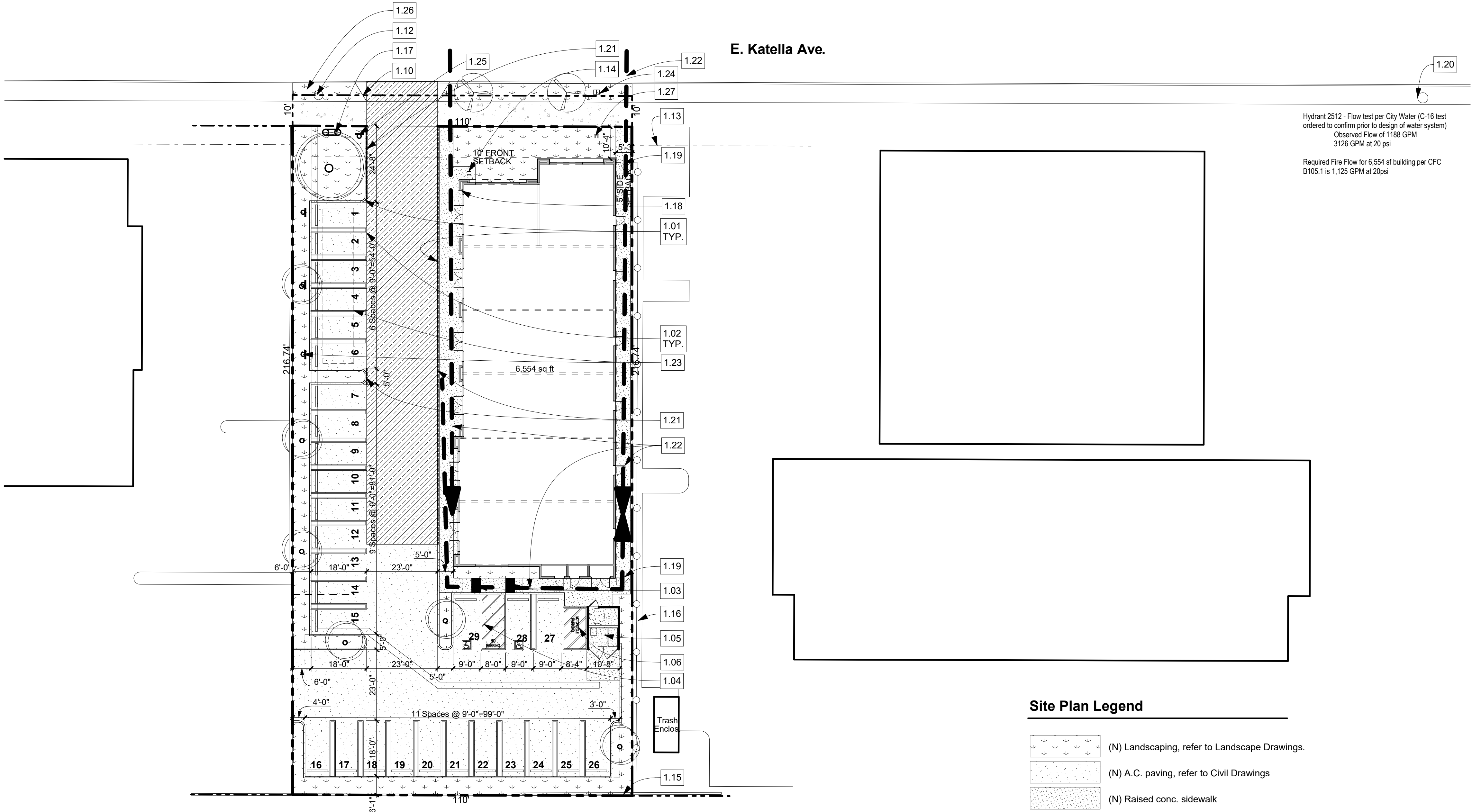
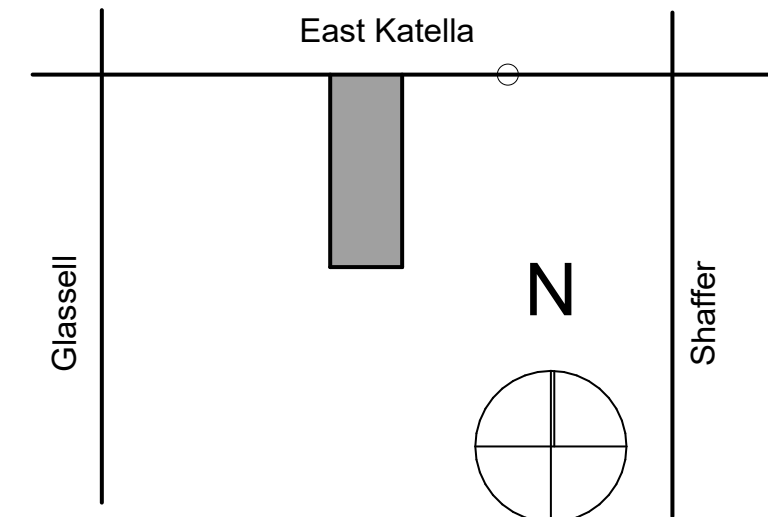
BUILDING AREA MODIFICATION (CBC 506.1)
ALLOWABLE BUILDING AREA PER STORY:
ALLOWABLE AREA: $A_a = [A_t + [A_t \times I] + [A_t \times I_s]]$ CBC 506.1

FOR B: $A_a = 36,000$ sf
FOR M: $A_a = 36,000$ sf

ALLOWABLE AREA PER FLOOR
(ACTUAL AREA / A_a) (CBC 506.4)

FIRST FLOOR: B/M $6,554 / 36,000 = .18 < 1.0$

Vicinity Map



Site Plan Legend

- | | |
|--|---|
| | (N) Landscaping, refer to Landscape Drawings. |
| | (N) A.C. paving, refer to Civil Drawings |
| | (N) Raised conc. sidewalk |
| | Area of Existing Site to be Dedicated to the City of Orange Under Separate Process. |
| | Proposed Fire Lane to be Demarcated By Painted Curbs per COO Standard Details |



Stamp and Signature

Consultant

East Katella Retail Center
New Retail Center
232 E. Katella Ave., Orange CA 92867

Fire Department Master Plan

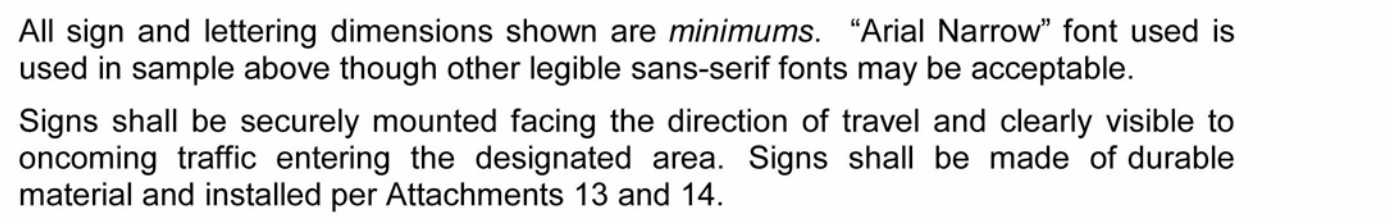
Revisions	By

Job/PROJECT NUMBER ***	
Date:	4/12/2021
Scale:	as noted
Drawn/CAD TECHNICIAN ***	
Checked by:	Doug Ely

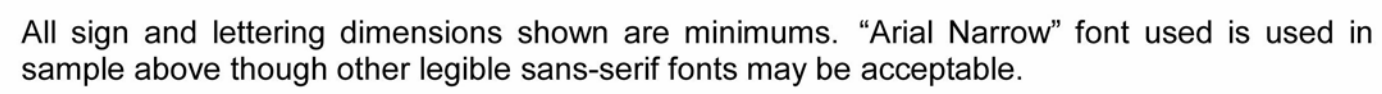
FD 1

Fire Department Master Plan Details

FD 2



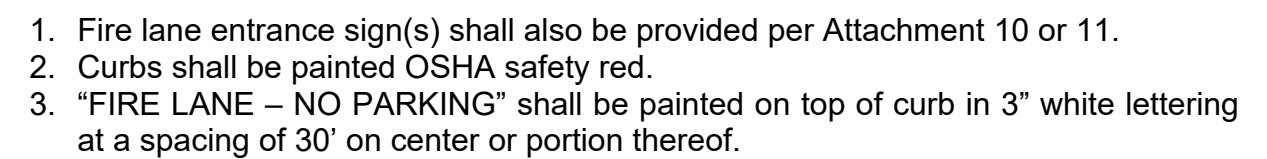
NOT TO SCALE



This sign shall be posted at all vehicle entrances to areas marked with either red curbs or fire lane "No Parking" signs. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

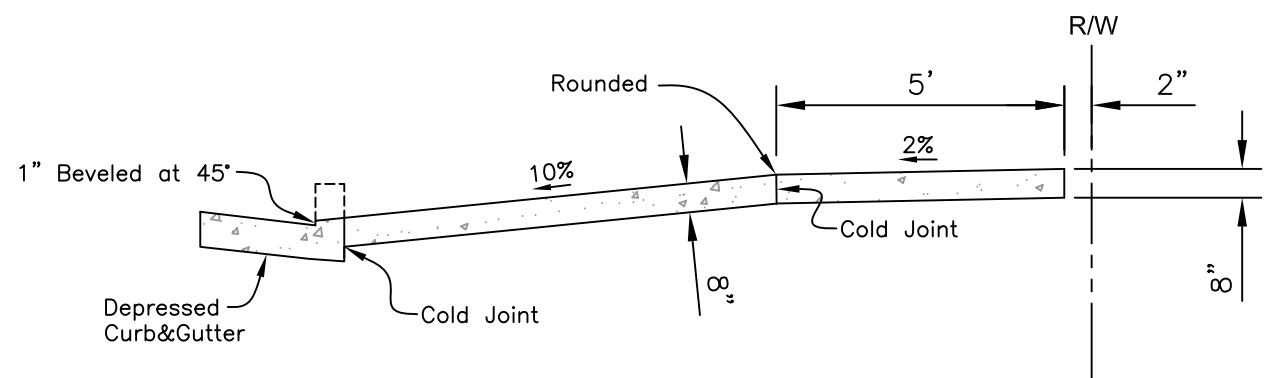
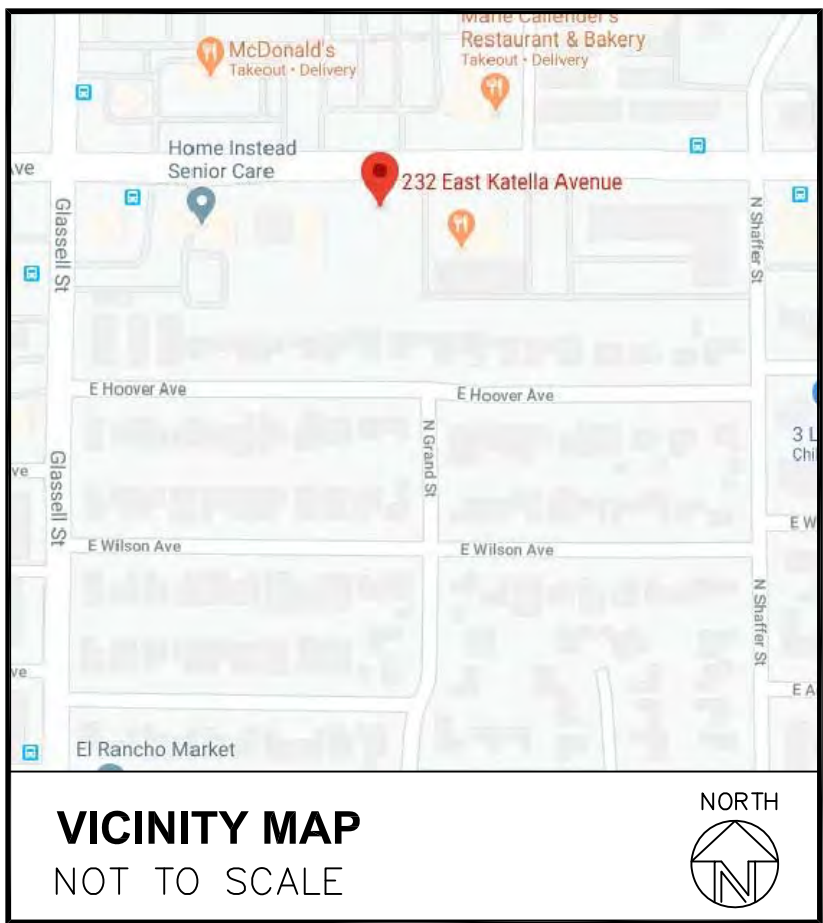
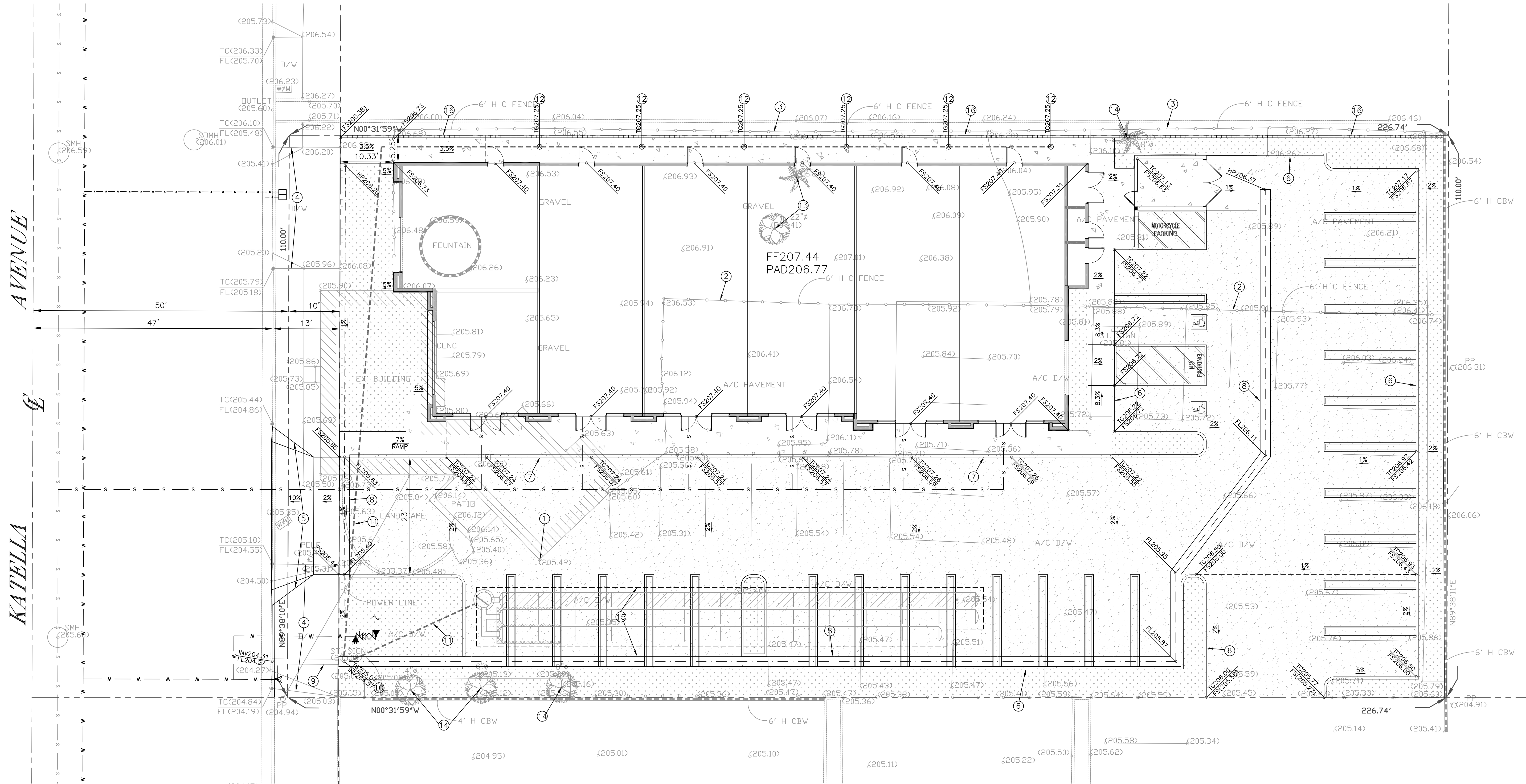
Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

NOT TO SCALE



NOT TO SCALE

PRELIMINARY GRADING PLAN



DRIVEWAY SECTION

LEGAL DESCRIPTION:

A PORTION OF LOT K OF THE VAN DE GRAFF TRACT, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 440, OF MISCELLANEOUS RECORDS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.

APN: 375-151-20

BENCH MARK:

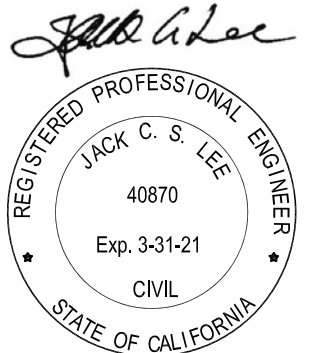
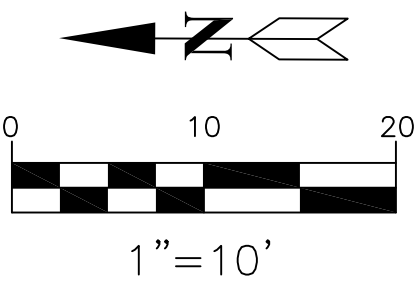
BENCHMARK NO. 3L-27-71

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3L-27-71", SET IN THE NORTHWESTERLY CORNER OF A 4 FT. BY 36 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF GLASSSELL STREET AND KATELLA AVENUE, 42 FT. SOUTHERLY OF THE CENTERLINE OF KATELLA AVENUE AND 119 FT. EASTERLY OF THE CENTERLINE OF GLASSSELL STREET. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 201.094'

CONSTRUCTION NOTES:

- EXISTING STRUCTURE TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING FENCE TO REMAIN
- EXISTING DRIVEWAY APPROACH TO BE REMOVED
- CONSTRUCT NEW DRIVEWAY APPROACH PER CITY OF ORANGE STD. PLAN 115
- PROPOSED 6" CURB
- PROPOSED 8" CURB
- PROPOSED 24" WIDE V-GUTTER
- PROPOSED PARKWAY DRAIN
- PROPOSED 24"x24" CATCH BASIN
- PROPOSED DRAINAGE PIPE
- PROPOSED 6" AREA DRAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- PROPOSED STORMTECH CHAMBER PER WQMP REQUIREMENT
- PROPOSED GARDEN WALL



REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

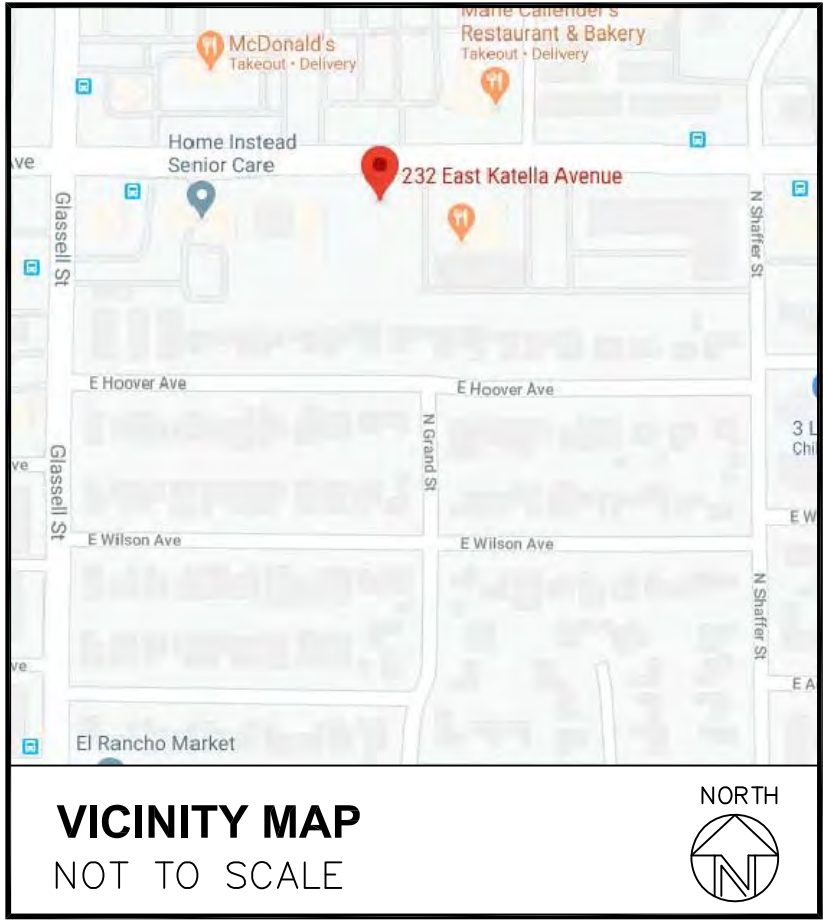
PREPARED BY:
CALLAND ENGINEERING INC.,
576 E. LAMBERT ROAD,
BREA, CA 92821
TEL.: (714) 671-1050

PRE-GRADING PLAN		
SITE ADDRESS: NEW RETAIL CENTER 232 E. KATELLA AVENUE, ORANGE, CA92867		
SCALE: 1" = 10'	DRAWN BY: A.S.	CHECKED BY:
CITY OF ORANGE		SHEET 1 OF 1

FOR CITY
USE ONLY

SP-XXXX

WATER UTILITY PLAN



LEGAL DESCRIPTION:

A PORTION OF LOT K OF THE VAN DE GRAFF TRACT, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 440, OF MISCELLANEOUS RECORDS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.

APN: 375-151-20

BENCH MARK:

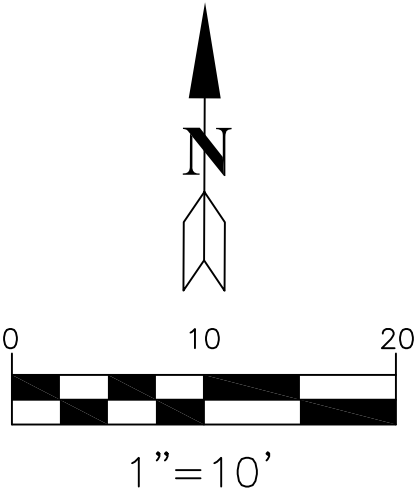
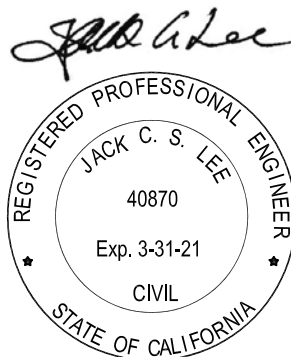
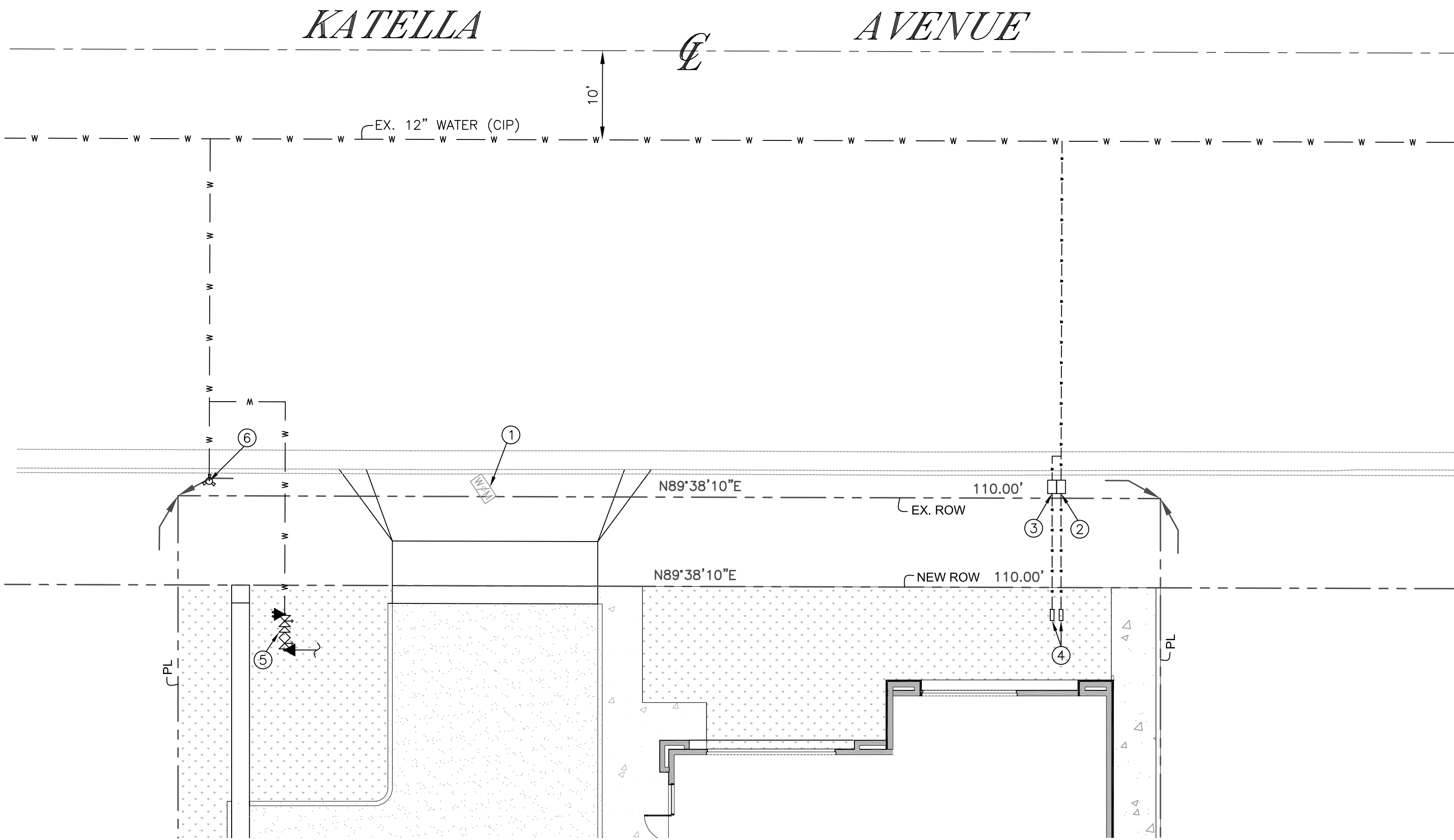
BENCHMARK NO. 3L-27-71

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3L-27-71", SET IN THE NORTHWESTERLY CORNER OF A 4 FT. BY 36 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF GLASSELL STREET AND KATELLA AVENUE, 42 FT. SOUTHERLY OF THE CENTERLINE OF KATELLA AVENUE AND 119 FT. EASTERLY OF THE CENTERLINE OF GLASSELL STREET. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 201.094'

CONSTRUCTION NOTES:

- 1 EXISTING WATER METER AND SERVICE TO BE ABANDONED PER OWD STANDARD
- 2 INSTALL 2" MIN MASTER WATER METER AND SERVICE FOR RETAILS
- 3 INSTALL ONE 1" WATER METER AND SERVICE FOR IRRIGATION
- 4 INSTALL BACKFLOW PREVENTER WHICH MUST BE LEAD-FREE AND APPROVED BY OWD PRIOR TO INSTALLATION
- 5 INSTALL 4" DCDA AND SERVICE FOR FIRE WHICH MUST BE LEAD-FREE AND APPROVED BY OWD PRIOR TO INSTALLATION
- 6 INSTALL NEW FIRE HYDRANT AND SERVICE



REVISIONS			
NO.	DATE	DESCRIPTION	APPROVED

PREPARED BY:
CALLAND ENGINEERING INC.,
576 E. LAMBERT ROAD,
BREA, CA 92821
TEL.: (714) 671-1050

WATER UTILITY PLAN

SITE ADDRESS: NEW RETAIL CENTER
232 E. KATELLA AVENUE,
ORANGE, CA92867

SCALE: 1" = 10'

DRAWN BY: A.S.

CHECKED BY:

CITY OF ORANGE

SHEET 1 OF 1

FOR CITY
USE ONLY

SP-XXXX

PLANT LEGEND

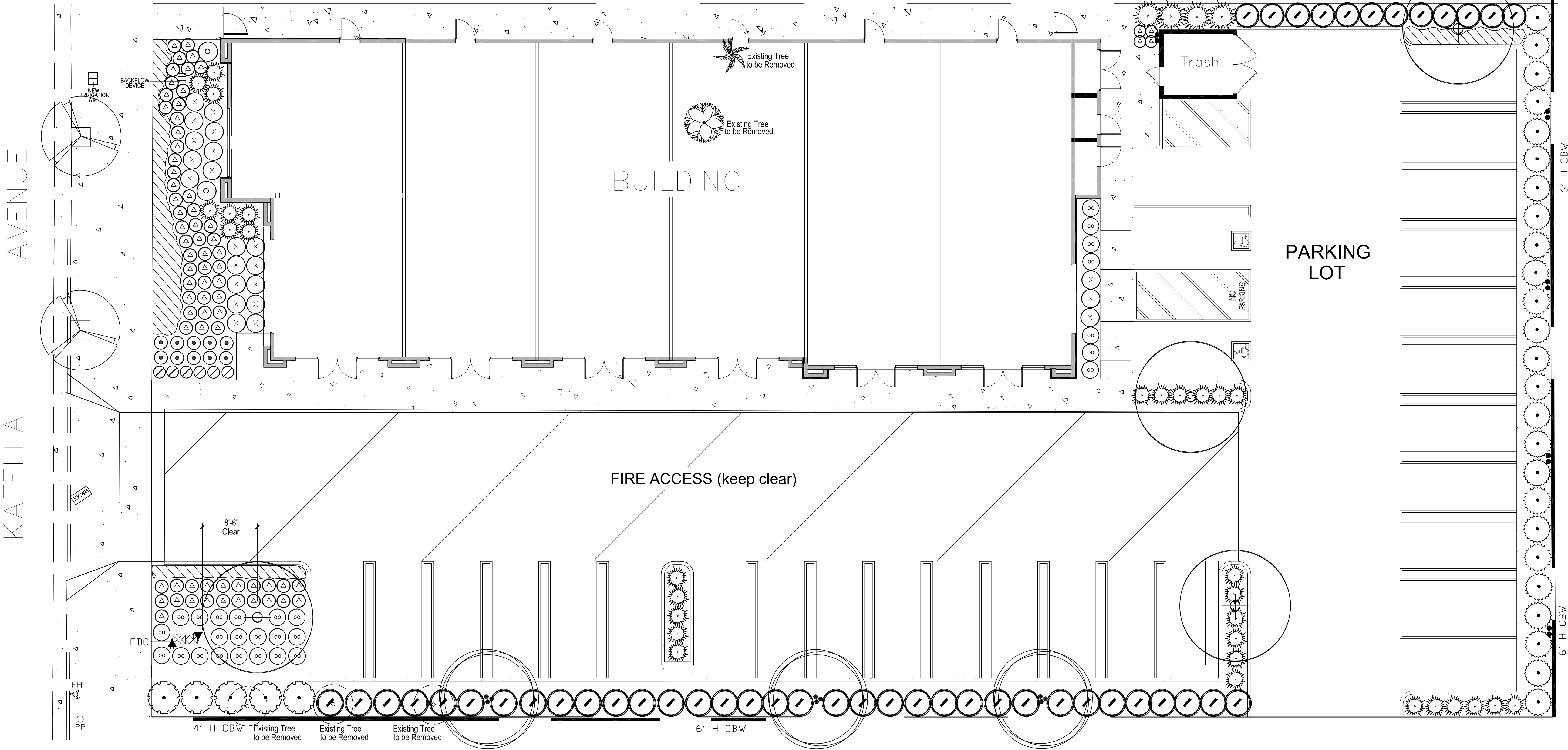
SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	H ₂ O USE	SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	H ₂ O USE
TREES						SHRUBS & VINE					
	LAG IND	LAGERSTROEMIA INDICA 'CATAWBA' / PINK CRAPE MYRTLE (To be installed with root control barrier & double staked)	4	15 GAL	M		AGA 'BG'	AGAVE 'BLUE GLOW' / BLUE GLOW AGAVE	10	1 GAL	L
	LAU NOB	LAURUS NOBILIS 'SARATOGA' / SARATOGA LAUREL (To be installed in 3'x3' new tree wells @ 30' o.c. per City Stds.)	2	24" BOX	L		ALO 'AR'	ALOE 'ALWAYS RED' / ALWAYS RED ALOE	71	1 GAL	L
	EXISTING	EXISTING UNHEALTHY AND DISFIGURED DWARF PINE TREES (To be removed)	3	4"-6" DIA.	---		DIA 'LR'	DIANELLA 'LITTLE REV' / LITTLE REV DIANELLA	35	5 GAL	L
	EXISTING	EXISTING FICUS NITIDA / INDIAN LAUREL TREE (To be removed)	1	22" DIA.	---		ECH 'AG'	ECHEVERIA 'AFTERGLOW' / PURPLE ECHEVERIA	6	1 GAL	L
	EXISTING	EXISTING AREACASTRUM ROMANZOFFIANUM / QUEEN PALM (To be removed)	1	8"DIA.	---		EUO JAP	EUONYMUS JAP. 'AUREO-MARGINATA' / GOLDEN EUONYMUS	25	5 GAL	M
	RAP 'MB'	RAPHIOLEPIS 'MAJESTIC BEAUTY' STD. / INDIA HAWTHORNE (To be installed with root control barrier & double staked)	3	15 GAL	M		JUN VIR	JUNIPERUS VIRGIN. 'BLUE ARROW' / UPRIGHT BLUE JUNIPER	2	15 GAL	L
	MULCH	3" LAYER OF BLACK 'FOREST FLOOR' BARK MULCH (Throughout all planting areas to retain moisture)	---	---	---		LIG JAP	LIGUSTRUM JAPONICUM / WAXLEAF PRIVET	46	5 GAL	M
	SEN SER	SENECIO SERPENS / COMPACT BLUE CHALK STICK	FLATS	L	12"oc Δ Spacing		PIT CRA	PITTOSPORUM TOBIRA 'CREAM DE MINT' / COMPACT TOBIRA	22	5 GAL	M
							PIT VAR	PITTOSPORUM TOBIRA 'VARIEGATA' / VARIEGATED TOBIRA	5	5 GAL	M
							STI TEN	STIPA TENUISSIMA / MEXICAN FEATHER GRASS	27	5 GAL	L
						NOTE: ALL SHRUBS TO BE PLANTED A MINIMUM OF 2' CLEAR FROM THE BASE OF THE BUILDING.					
							FIC PUM	FICUS PUMILA / CREEPING FIG (lean against wall w/stake intact)	5	1 GAL	M

PLANTING NOTES

- SOIL LABORATORY TO ANALYZE THE SITE SOIL IN PLANTING AREAS TO DETERMINE THE AGRICULTURAL SUITABILITY AND FERTILITY. THE LABORATORY SHALL SUBMIT A WRITTEN REPORT OF THEIR FINDINGS WITH ANY RECOMMENDATIONS FOR THE AMENDING OF THE SOIL TO THE OWNER AND THE LANDSCAPE ARCHITECT TO BE IMPLEMENTED BY THE CONTRACTOR IN ADDITION TO THE ORIGINAL SOIL PREPARATION MIX.
- SOIL PREPARATION AMENDMENTS (PER 1000 SQUARE FEET):
 - 3 CUBIC YARDS OF NITROGEN STABILIZED & MINERALIZED
 - 150 POUNDS AGRICULTURAL GYPSUM
 - 50 POUNDS GRO-POWER PLUS
- FOR WEED CONTROL, CONTINUE TO IRRIGATE THOROUGHLY FOR A PERIOD OF TWO (2) TO THREE (3) WEEKS OR UNTIL THE WEED SEEDS HAVE GERMINATED. WHEN THERE IS SUFFICIENT WEED SEED GERMINATION, THE CONTRACTOR SHALL APPLY A POST EMERGENT WEED KILLER, ACCORDING TO THE DIRECTIONS OF A LICENSED PEST CONTROL APPLICATOR. THE CONTRACTOR SHALL THEN WAIT AN ADDITIONAL ONE (1) WEEK TO ALLOW THE WEED KILLER TO DISSIPATE PRIOR TO PLANTING.
- BACKFILL MIX FOR TREE AND SHRUB PLANTING (PER CUBIC YARD):
 - 2/3 CUBIC YARD ON SITE SOIL
 - 1/3 CUBIC YARD ORGANIC AMENDMENT (I.E. NITROLIZED SHAVINGS)
 - 1 POUND IRON SULFATE (20% IRON, 10% SULFUR)
 - 2 POUNDS 6-20-20 COMMERCIAL FERTILIZER
 - 10 POUNDS GRO-POWER PLUS
- PROVIDE AGRIFORM OR GRO-POWER PLANTING TABLETS (7 & 21 GRAMS) IN EACH PLANTING PIT AS FOLLOWS:
 - (1) ONE TABLET (7 GRAMS) FOR EACH GROUND COVER
 - (1) ONE TABLET (21 GRAMS) FOR EACH 1 GALLON CONTAINER
 - (3) THREE TABLETS (63 GRAMS) FOR EACH 5 GALLON CONTAINER
 - (5) FIVE TABLETS (105 GRAMS) FOR EACH 15 GALLON CONTAINER
- CULTIVATE (ROTOBIL) PLANTING AREAS TO A DEPTH OF SIX (6) INCHES WITH THE REQUIRED SOIL PREPARATION AMENDMENTS, WET THOROUGHLY AND ALLOW TO SETTLE, REPEAT THIS PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO HOLD A UNIFORM AND SMOOTH CONSISTENCY TO ALLOW FOR DRAINAGE AND AIR PENETRATION.

IMPORTANT NOTES

- SEE CIVIL ENGINEER'S GRADING PLAN FOR ALL DRAINAGE DESIGN.
- NOTIFY COMMUNITY SERVICES DEPARTMENT AT: (714) 532-8464 FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES, AND SETBACK REQUIREMENTS. 48 HOURS NOTICE IS REQUIRED.



Lisa A. Pierce
6 San Ricardo
Rancho Santa Margarita
California 92688
LPIERCE@TERRAGROUP.COM

TERRA GROUP

Landscape Architecture / Planning

California Licensed Landscape Architect # 3388

Phone: (949) 713-4333

Fax: (949) 713-4233

LANDSCAPE ARCHITECTURAL PLANS FOR:
EAST KATELLA RETAIL CENTER
232 E. KATELLA AVENUE
ORANGE, CA 92867

LICENCED LANDSCAPE ARCHITECT

4/30/22
Renewal Date

3/10/21
Date

STATE OF CALIFORNIA

DRAWN BY: LP

PLOT DATE: 3/10/21

SCALE: 1"=10'

SHEET

L-1

OF 5

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF TERRA GROUP LANDSCAPE ARCHITECTS AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH TERRA GROUP. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF TERRA GROUP LANDSCAPE ARCHITECTS PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTE: IRRIGATION PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING IN ORDER TO AVOID OBJECTS LIKE LIGHT STANDARDS, TRANSFORMER PADS, EQUIPMENT VAULTS, SUB-SURFACE ROCK TOO LARGE TO REMOVE, ETC.

CONTRACTOR SHALL COMPUTE EXACT FLOW BASED UPON FINAL PLANTING. CONTRACTOR SHALL NOT EXCEED SPECIFIED VALVE CAPACITY IN TERMS OF MANUFACTURER'S RECOMMENDED FLOW VS. FRICTION LOSS SPECIFICATIONS.

PIPE SIZING CHART

PIPE SIZE	FLOW (GPM)
3/4"	0-8
1"	8-12
1-1/4"	12-20
1-1/2"	20-30
2"	30 +

CONSTRUCTION NOTE:

COORDINATE SLEEVING FOR MAINLINE AND LATERAL LINES THROUGH WALLS AND WITH PAVING PRIOR TO POURING CONCRETE, AND WITH TREE, SHRUB, AND DRAIN LOCATIONS.

CONTROLLER LOCATION:
120 VOLT 2 AMP 60 CYCLE POWER AVAILABLE. REFER TO LEGEND FOR ADDITIONAL INFORMATION. IRRIGATION CONTRACTOR TO MAKE FINAL HOOK-UP OF FIELD WIRES.

POINT OF CONNECTION

TIE INTO NEW 1" POTABLE WATER METER (BY GENERAL CONTRACTOR) AND PROVIDE BACKFLOW PREVENTER (IMMEDIATELY BEHIND WATER METER IN PLANTER AREA), MASTER VALVE, BALL VALVE AND REMOTE CONTROL VALVES AS SHOWN. INSTALL ALL EQUIPMENT IN PLANTER AREA - SHOWN FOR CLARITY.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXISTING STATIC WATER PRESSURE PRIOR TO COMMENCING WORK AND TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. FAILURE TO DO SO MAY RESULT IN CHANGES TO THE IRRIGATION PLAN AT NOT COST TO THE OWNER.

COMPLIANCE STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF WATER EFFICIENT LANDSCAPES SECTION IX OF THE CITY OF ORANGE LANDSCAPE STANDARDS AND SPECIFICATIONS AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

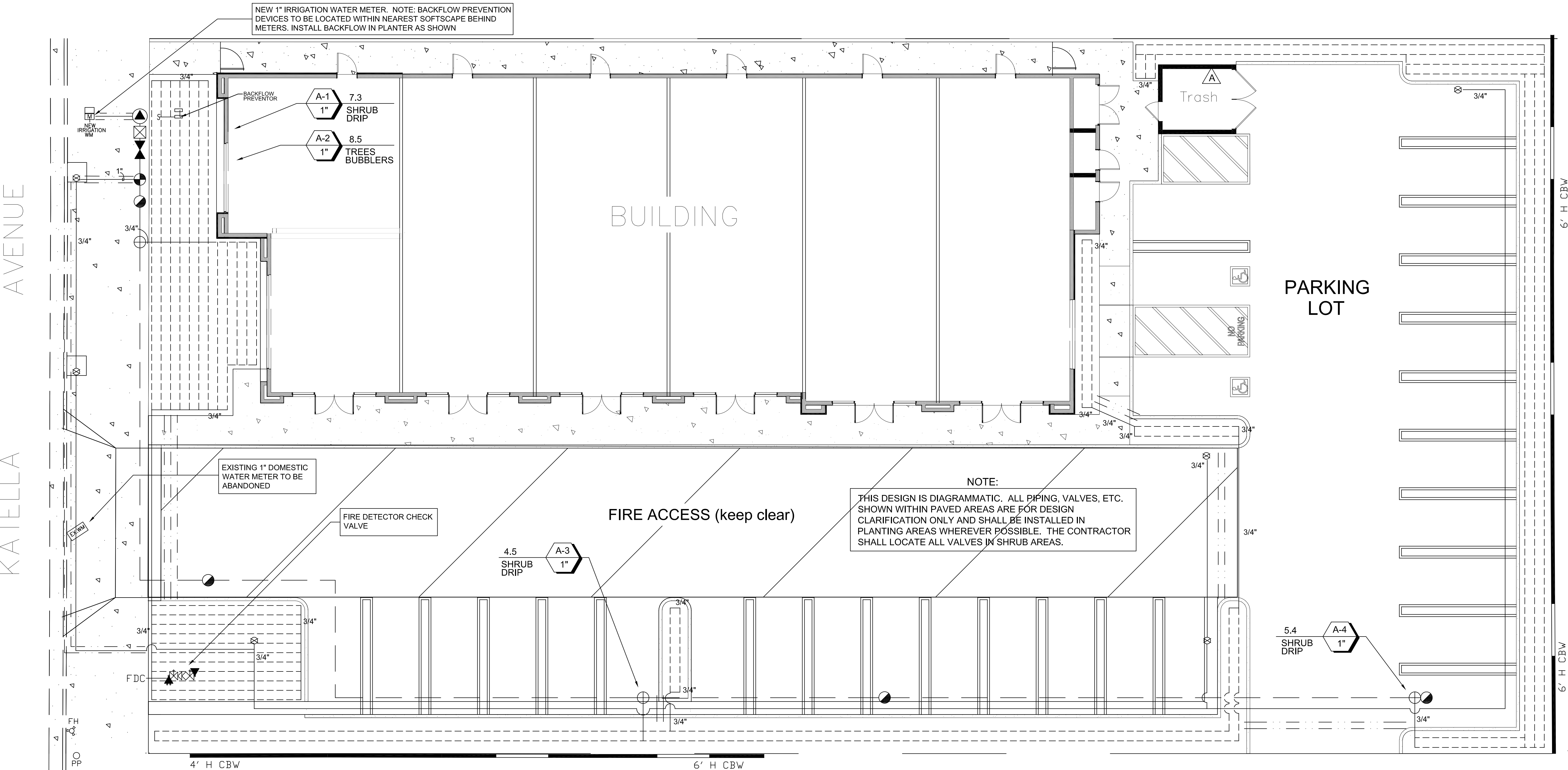
Lisa A. Pierce
LISA A. PIERCE, LANDSCAPE ARCHITECT #3388
3/10/2021
DATE

IRRIGATION LEGEND

SYMBOL	MFG/MODEL NO.	DESCRIPTION	PSI	FLOW
	RAIN BIRD RWS-B-C-1402	ROOT WATERING SYSTEM (2) PER TREE, (3) PER PALM	30	0.50 GPM
	NON-PRESSURE LATERAL PVC SCH 40 WITH PVC SCH 40 FITTINGS. BURY SLEEVE PVC MIN. 12" BELOW GRADE FOR PEDESTRIAN, 30" FOR VEHICULAR. SIZE NOTED.			
	PIPE SLEEVING PVC SCH 80 FOR MAINLINE AND LATERALS UNDER VEHICULAR PAVING, SCH 40 FOR MAINLINE AND LATERALS UNDER PEDESTRIAN PAVING. EXTEND 12" BEYOND PAVING.			
	WIRE SLEEVING PVC SCH 80 FOR WIRES UNDER VEHICULAR PAVING, SCH 40 FOR WIRES UNDER PEDESTRIAN PAVING. EXTEND 12" BEYOND PAVING.			
	RAIN BIRD XQF-75-18 SUPPLY EXHAUST HEADER			
	RAIN BIRD XFS SUB-SURFACE DRIPLINE XFS-CV-06-12 (0.60 GPH EMITTERS AT 12" O.C.). INSTALL LATERALS SPACED AT 18" O.C. MAX.			
	RAIN BIRD FLUSH VALVE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS			
	RAIN BIRD AIR/VACUUM RELIEF VALVE. INSTALL AT HIGH POINT OF SYSTEM			
	RAIN BIRD XCZ-100-PRF REMOTE CONTROL VALVE (DRIP ASSEMBLY) - 1".			
	RAIN BIRD 100-PEB REMOTE CONTROL VALVE - 1".			
	RAIN BIRD 33DLRC QUICK COUPLING VALVE WITH KEY - 3/4".			
	NIBCO T-580-A BALL VALVE - LINE SIZE.			
	GRISWOLD #2230 NORMALLY CLOSED PRESSURE REGULATING MASTER VALVE - 3/4".			
	WATTS LF825Y LEAD FREE REDUCED PRESSURE BACKFLOW PREVENTER (OR CITY APPROVED EQUAL) IN VANDAL RESISTANT ENCLOSURE MODEL 58BC-20SS BY V.I.T./STRONGBOX (PAINTED GREEN) - 3/4".			
	NEW POTABLE WATER IRRIGATION METER - 1".			
	RAIN BIRD ESPME3 4 STATION MODULAR IRRIGATION CONTROLLER WITH (1) ADDITIONAL 3 STATION MODULE (FOR A TOTAL OF 7 STATIONS). INSTALL ON SIDE OF TRASH ENCLOSURE IN STAINLESS STEEL ENCLOSURE. PROVIDE WITH LNK-WIFI MODULE AND WR2-RFC RAIN SENSOR PER MANUFACTURER'S SPECIFICATIONS. FINAL LOCATION OF CONTROLLER TO BE APPROVED BY LANDSCAPE ARCHITECT.			
	VALVE NUMBER			
	FLOW IN G.P.M.			
	HYDROZONE			
	VALVE SIZE			
		IMPORTANT NOTE NOTIFY COMMUNITY SERVICES DEPARTMENT @ (714) 532-6464 FOR LANDSCAPE INSPECTION PRIOR TO EXCAVATION OF PLANTING FOR PLANT MATERIAL, CITY STREET TREES & SETBACK REQUIREMENTS. 48 HOURS NOTICE REQUIRED.		

IRRIGATION NOTES

- ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAIN LINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- NOTIFY LAND. ARCH. PRIOR TO INSTALLATION IF ANY DISCREPANCIES OCCUR.
- INSTALL RAIN BIRD PCS SCREENS AS NECESSARY IN ORDER TO PREVENT OVERSPRAY ONTO WALK, WALLS, COLUMNS, ETC.
- ALL IRRIGATION EQUIPMENT INCLUDING BACKFLOW PREVENTERS ARE TO BE SCREENED FROM VIEW.
- ALL LATERAL AND MAIN LINE INSTALLED UNDER AC PAVING TO BE PROVIDED WITH PIPE SLEEVING (2 TIMES LINE SIZE). INSTALL PER CITY SPECIFICATIONS.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- ALL LATERAL UNDER PAVING SHALL BE PVC SCH 40 AND INSTALLED IN A SLEEVE PER SPECIFICATIONS.
- IRRIGATION CONTRACTOR SHALL ESTABLISH WATERING SCHEDULE FOR THIS PROJECT BASED ON SOIL, PLANT TYPE & ENVIRONMENTAL CONDITIONS. IF AN IRRIGATION SCHEDULE IS PROVIDED, IT IS TO BE USED AS A GUIDE ONLY.



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Landscape Architecture / Planning
California Licensed Landscape Architect # 3388

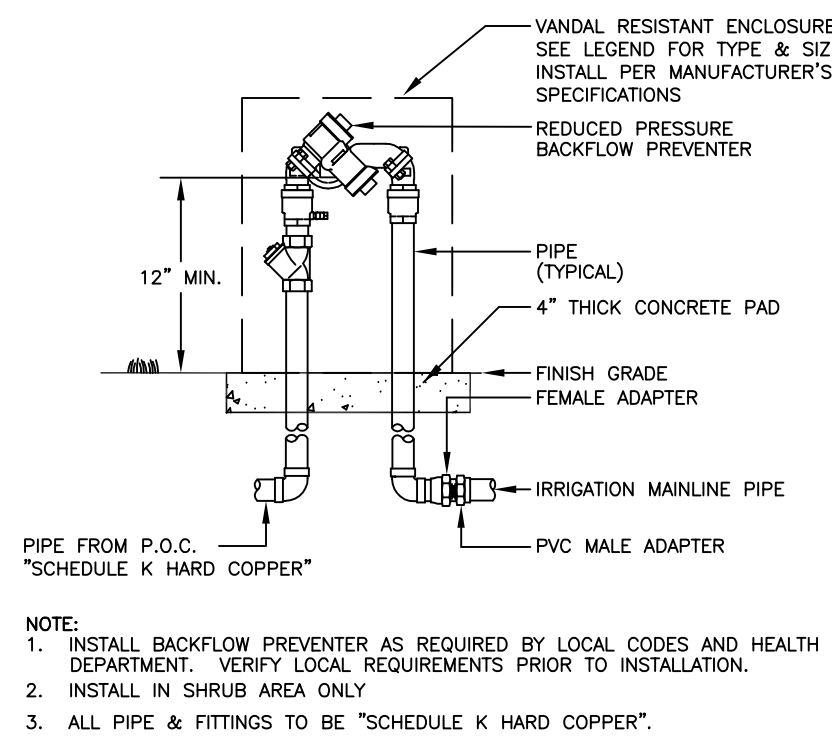
IRRIGATION PLAN

LANDSCAPE ARCHITECTURAL PLANS FOR:
EAST KATELLA RETAIL CENTER
232 E. KATELLA AVENUE
ORANGE, CA 92867

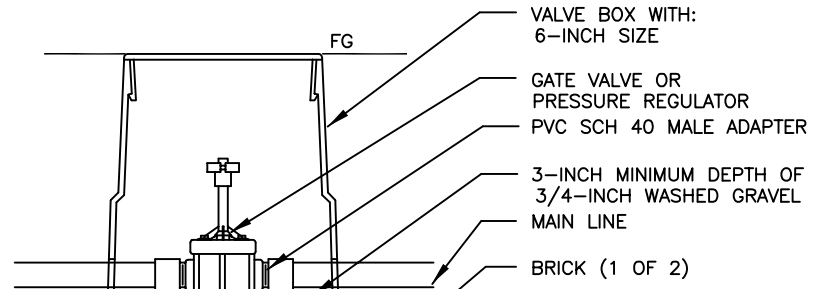
LICENCED LANDSCAPE ARCHITECT
LISA A. PIERCE, NO. 3388
4/30/22
3/10/21
DATE

DRAWN BY: LP
PLOT DATE: 3/10/21
SCALE: 1"=10'

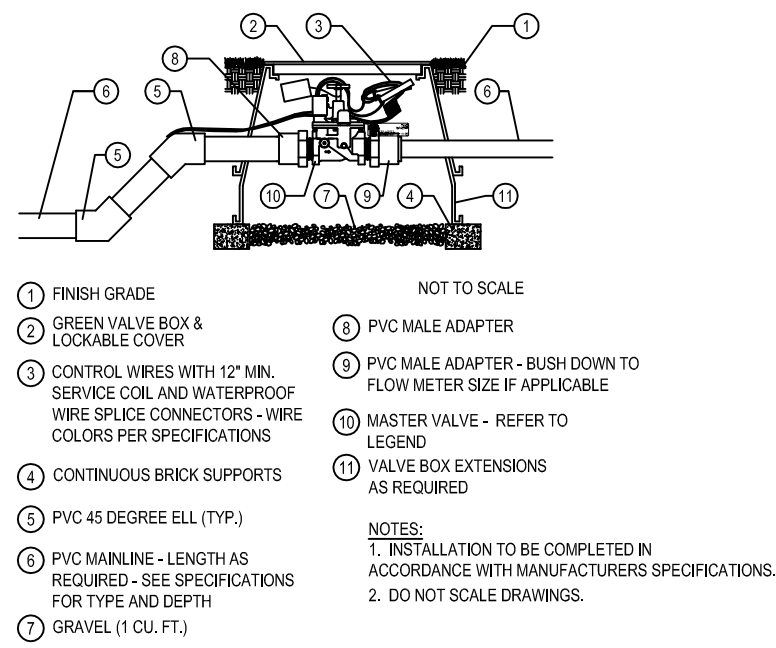
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OF 5



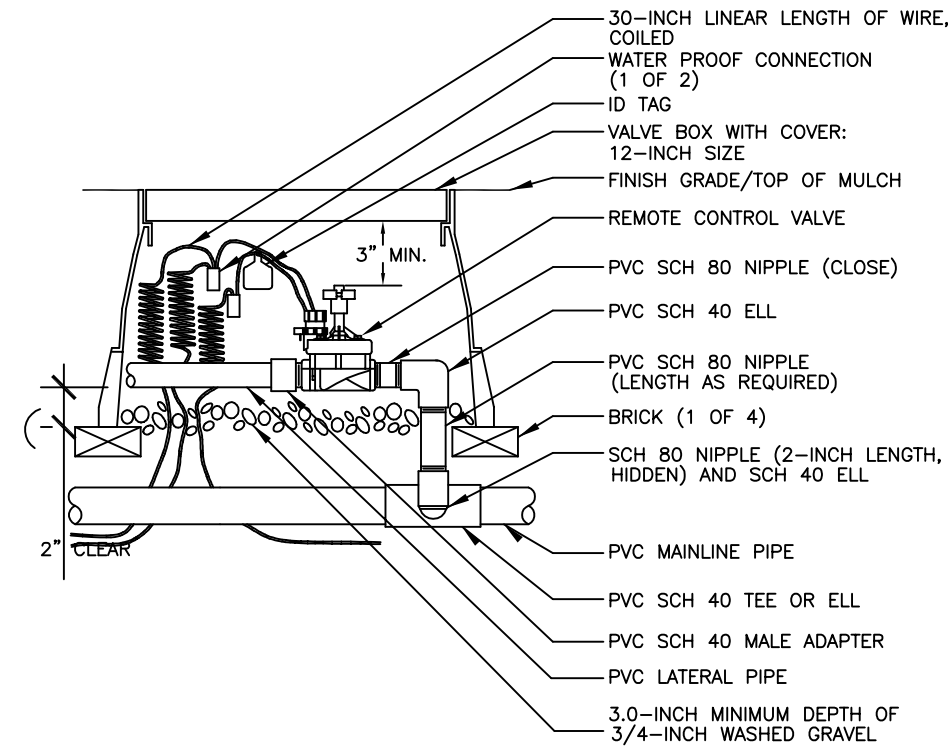
A BACKFLOW PREVENTER



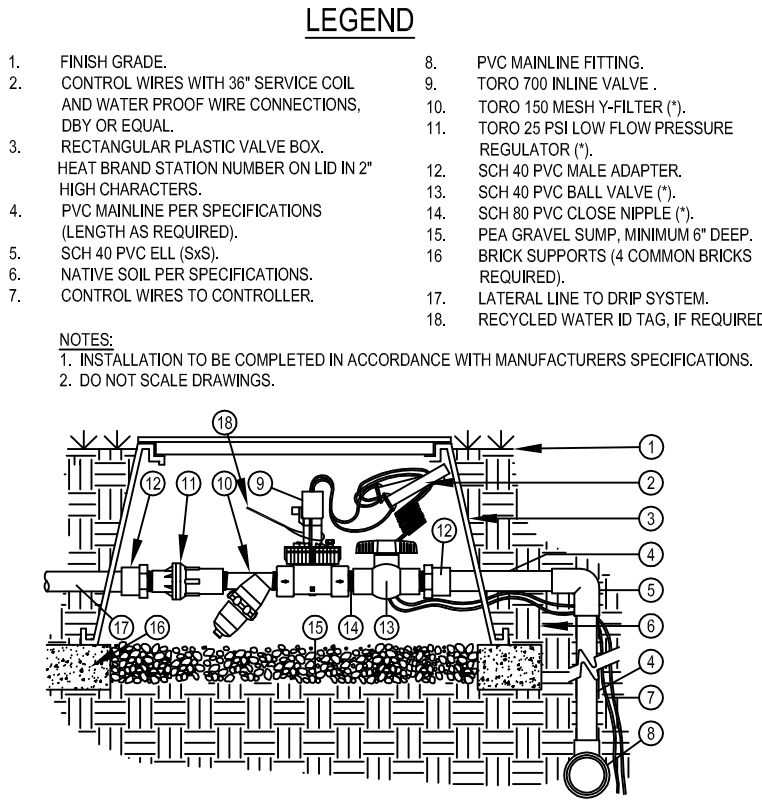
B GATE VALVE OR REGULATOR



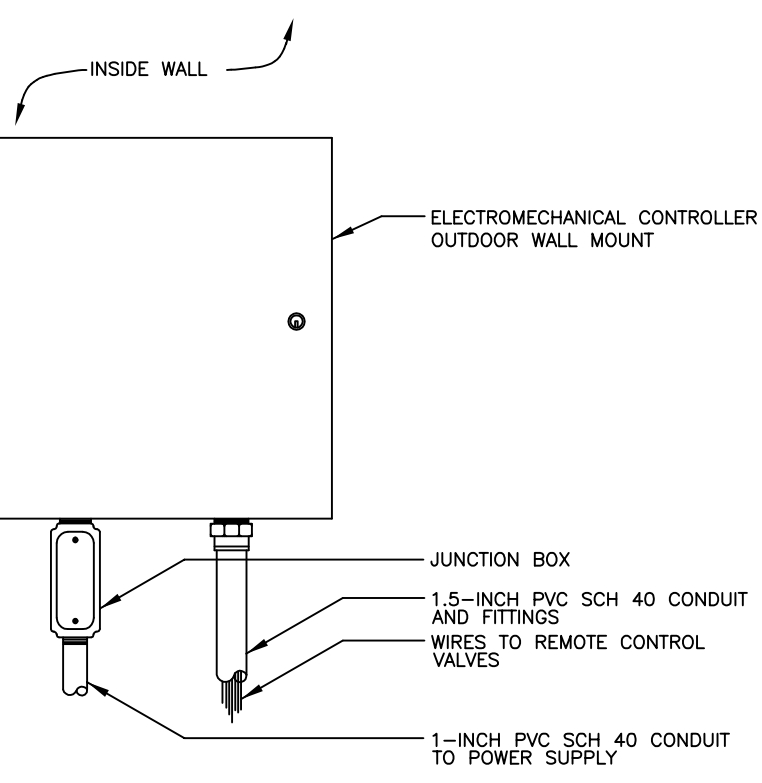
C MASTER VALVE



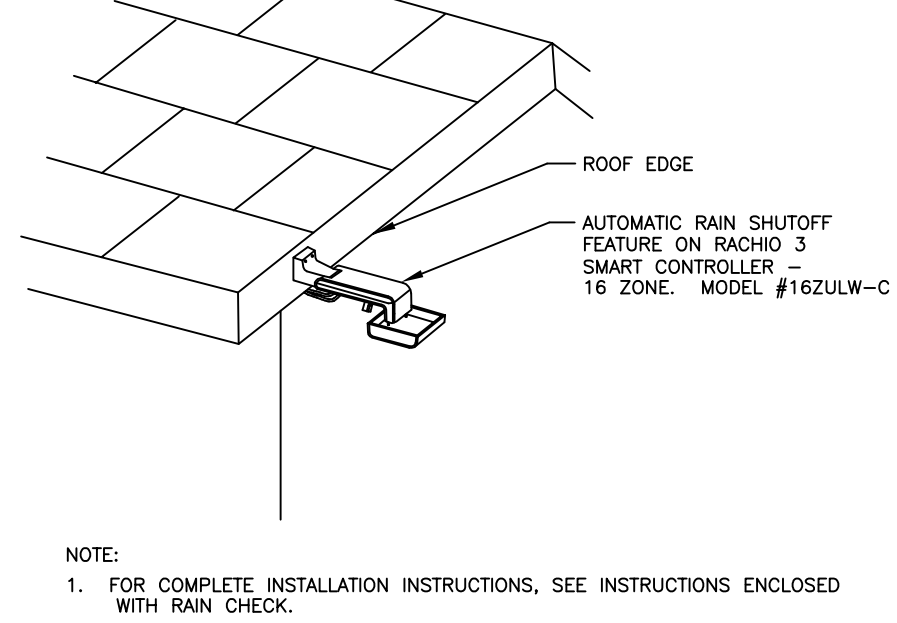
D REMOTE CONTROL VALVE



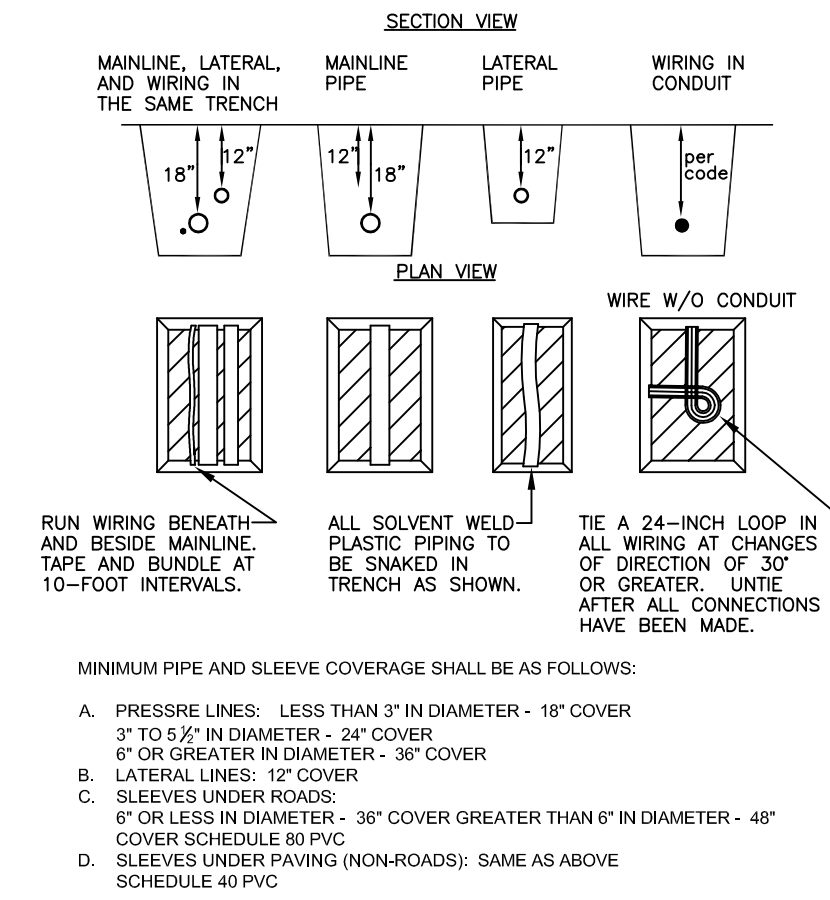
E DRIP CONTROL ZONE KIT



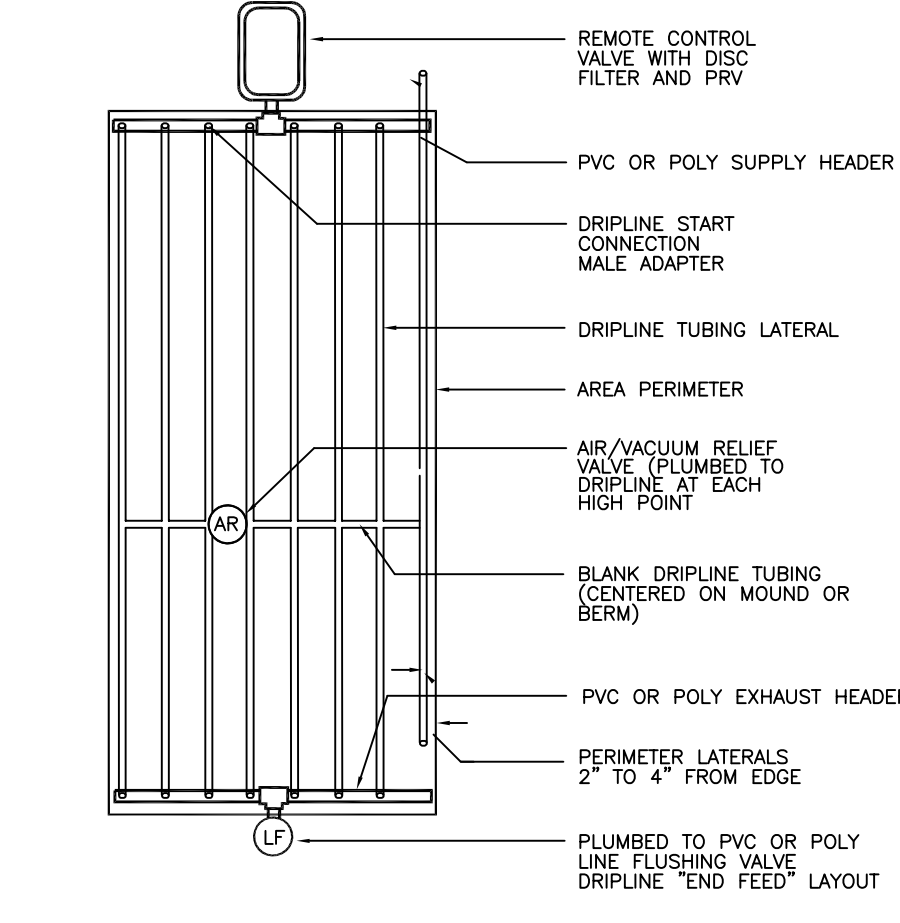
F CONTROLLER



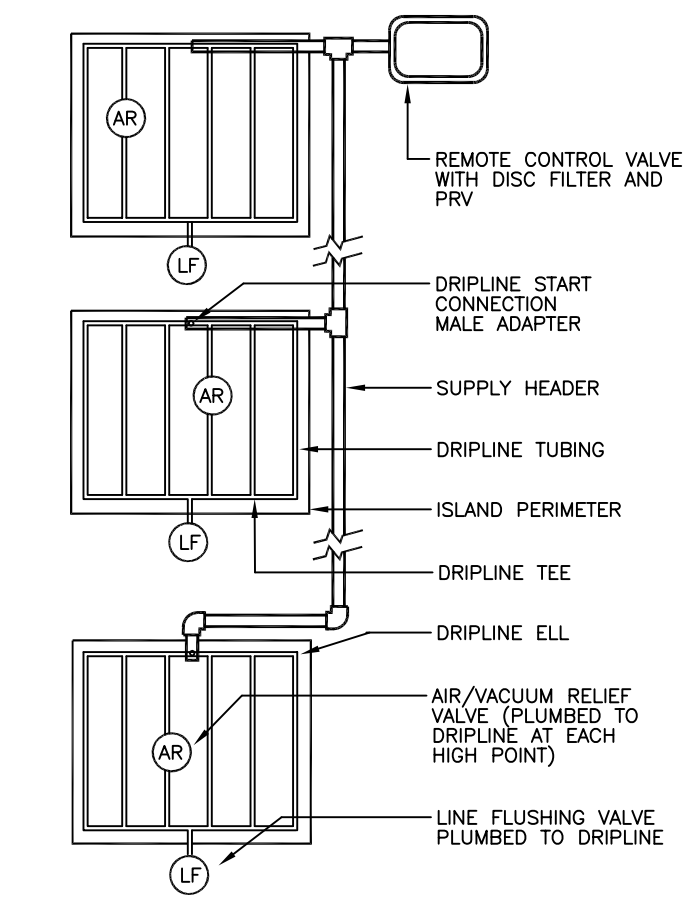
G AUTOMATIC RAIN SHUTOFF



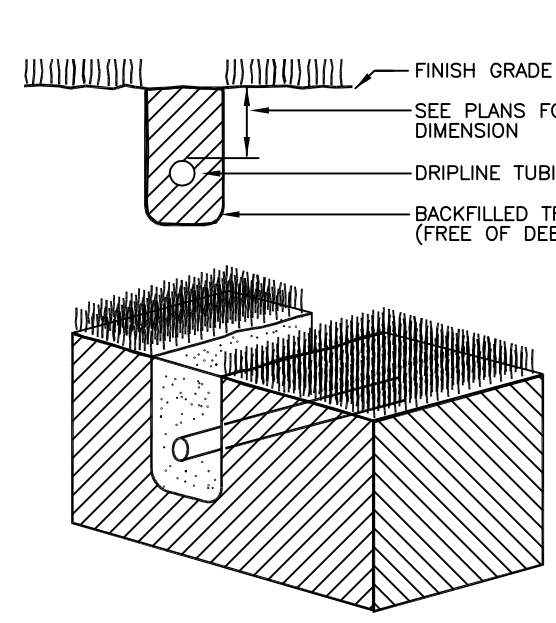
H TRENCHING AND SLEEVING



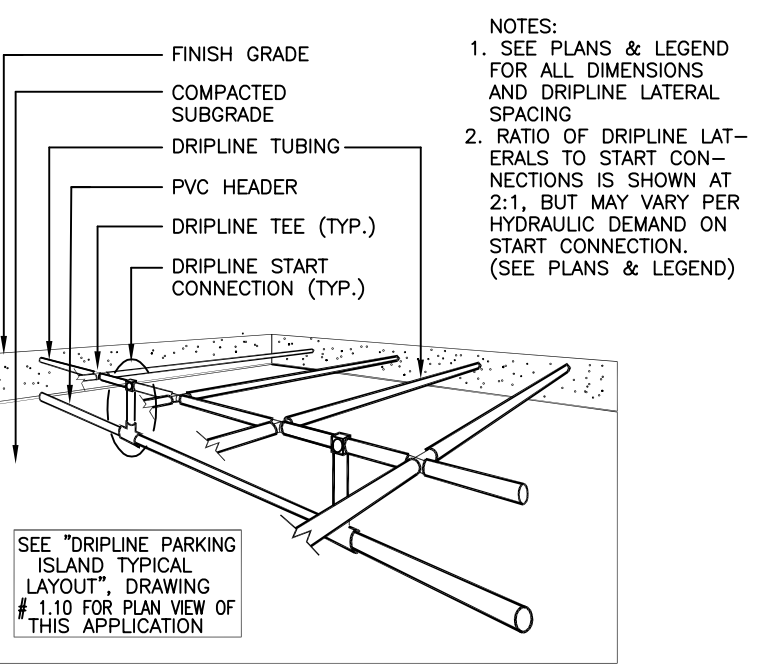
I DRIPLINE END FEED LAYOUT



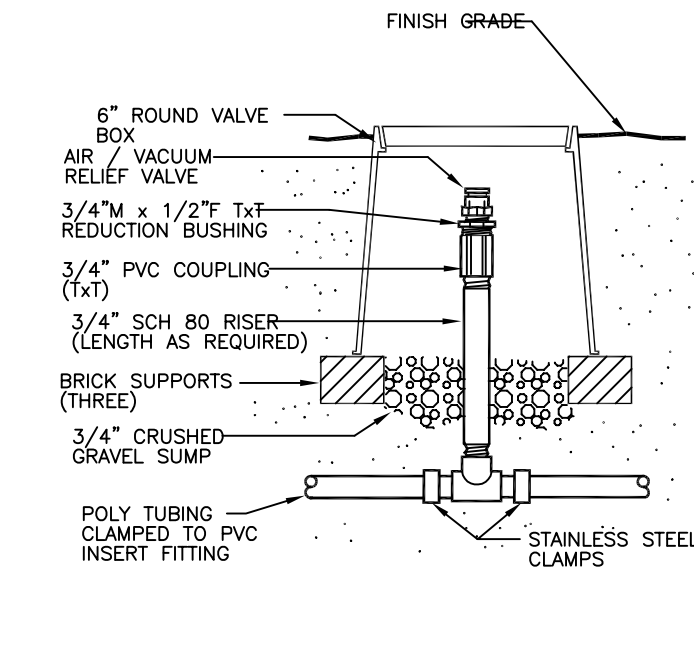
J GENERAL DRIPLINE LAYOUT



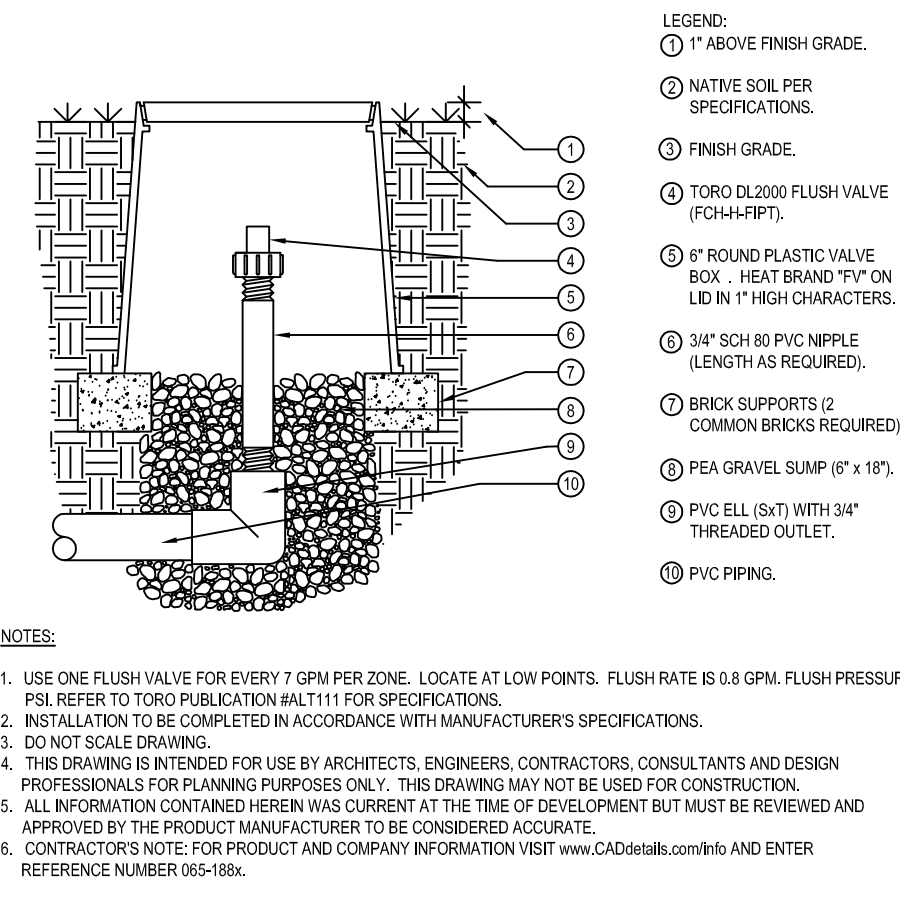
K DRIPLINE TRENCHING



L DRIPLINE SUB-HEADER



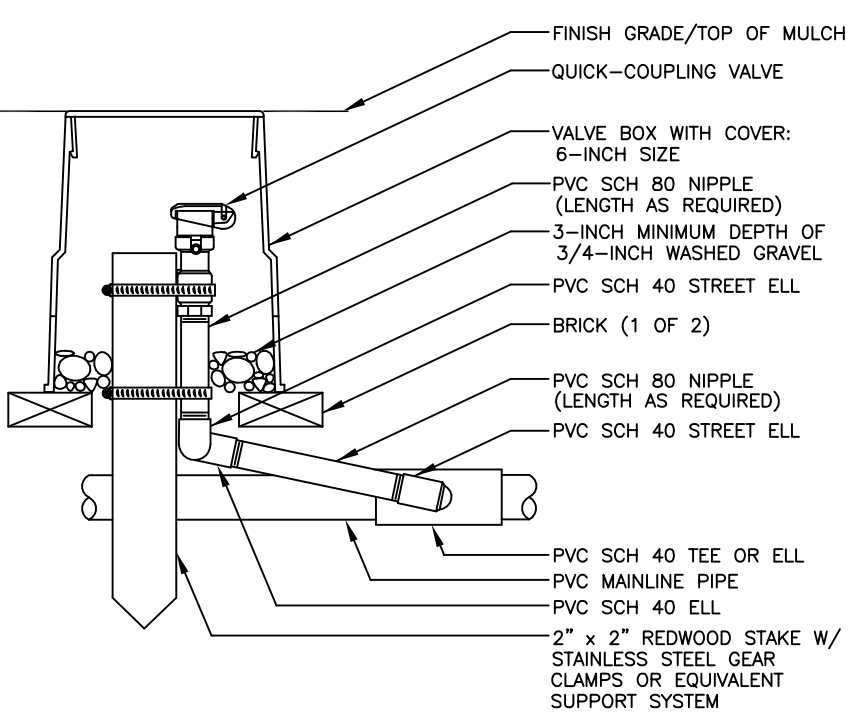
M AIR/VACUUM RELIEF



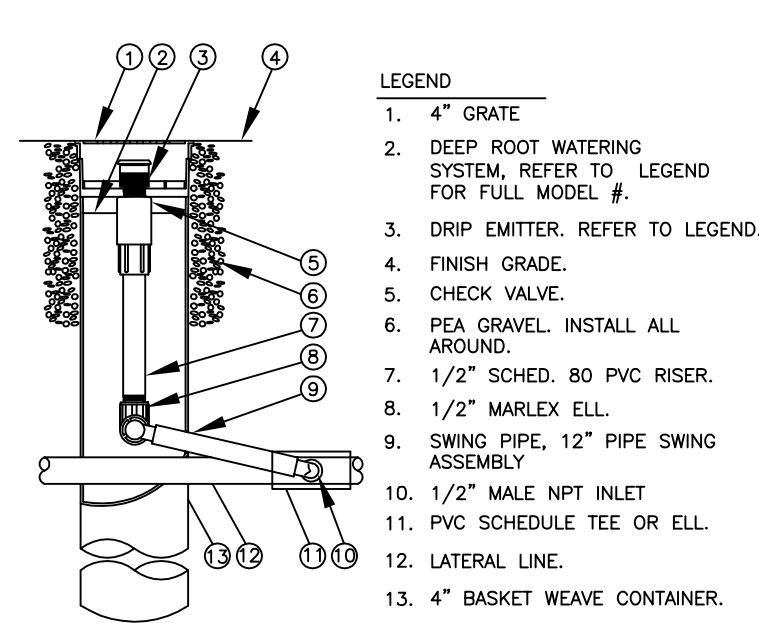
N FLUSH VALVE ON PVC-ELL

Appendix C: Water Efficient Landscape Worksheet									
WATER EFFICIENT LANDSCAPE WORKSHEET									
This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package.									
Reference Evapotranspiration (ET _o): <u>49.7</u>				Landscape Area Sector Type (select one): <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-Residential					
	Hydrozone #/Planting Description	Location	Plant Factor ^b (PF)	Irrigation Method ^c	Irrigation Efficiency ^c (IE)	ETAF (PF/IE)	Landscape Area (sq-ft)	ETAF x Area	Estimated Total Water Use ^d (ETWU)
Regular Landscape Area									
1	LOW SHRUBS	SITE	0.30	DRIP	0.81	0.37	1,675	620.4	19,116
2	LOW TREES	SITE	0.30	BUBBLERS	0.75	0.40	63	25.2	777
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									
						Average	Total	Total	
						0.37	1,738	645.6	
						Average ETAF for Regular Landscape Areas* (circle one):		In Compliance	Not In Compliance
Special Landscape Area									
SLA-1							0	0	
SLA-2									
SLA-3									
SLA-4									
SLA-5									
						Totals	1,738	645.6	
						Total Landscape Area		1,738	
						Site wide ETAF		645.6	
						ETWU Total		19,893	
						Maximum Allowed Water Allowance (MAWA)^e		24,100	

23



O QUICK-COUPLING VALVE



P SUBGRADE BUBBLER

IRRIGATION SCHEDULE - INITIAL-ESTABLISHMENT PERIOD												
TIMING CHART				MINUTES OF OPERATION PER CYCLE								
STATION	VALVE SIZE	GPM	HYDRO-ZONE	NO. OF DAYS	CYCLES/ DAY	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.
A1	1"	7.3	DRIP	6	2	10	13	15	18	18	20	24
A2	1"	8.5	TREES	6	2	2	2	2	5	5	5	6
A3	1"	4.5	DRIP	6	2	10	13	15	18	18	20	24
A4	1"	5.4	DRIP	6	2	10	13	15	18	18	20	24

IRRIGATION SCHEDULE - POST-ESTABLISHMENT PERIOD												
TIMING CHART				MINUTES OF OPERATION PER CYCLE								
STATION	VALVE SIZE	GPM	HYDRO-ZONE	NO. OF DAYS	CYCLES/ DAY	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.
A1	1"	7.3	DRIP	5	1	10	13	15	18	18	15	13
A2	1"	8.5	TREES	5	1	2	2	2	5	5	5	6
A3	1"	4.5	DRIP	5	1	10	13	15	18	18	20	24
A4	1"	5.4	DRIP	5	1	10	13	15	18	18	20	24

LANDSCAPE INSPECTION SCHEDULE									
- PRE-JOB CONFERENCE	- ROUGH GRADING / EROSION CONTROL	- FINAL GRADING / SOIL AMENDMENTS / PRE-PLANT WEED CONTROL	- PLANT MATERIAL DELIVERY	- PLANT PIT EXCAVATION / AMENDMENTS / INSTALLATION	- TREE STAKING	- GROUND COVER OR TURF PLANTING OR HYDROSEEDING	- START OF MAINTENANCE	- GROUND COVER OR TURF PLANTING OR HYDROSEEDING	- FINAL INSPECTION AND ACCEPTANCE

PSI LOSS CALCULATIONS:	
VALVE #A2 8.5 GPM	
WATER METER	0.30
MAINLINE - SCH 40 PVC (70 LF)	0.20
BACKFLOW PREVENTER	11.00
PVC LATERALS	2.00
FITTINGS	0.30
REMOTE CONTROL VALVE	2.90
PRESSURE REQUIRED AT HEAD	30.00
ELEVATION LOSS	0.00
MISCELLANEOUS	2.00
TOTAL PRESSURE LOSS	48.70
STATIC PRESSURE	65.00
RESIDUAL PRESSURE	16.30

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 California Licensed Landscape Architect # 3388

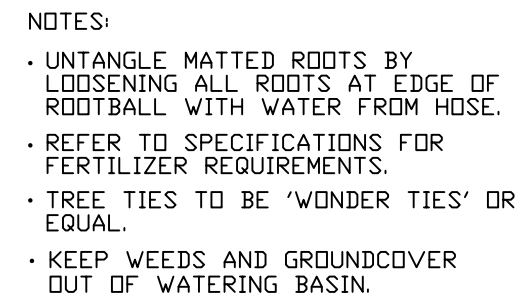
IRRIGATION DETAILS
& CALCULATIONS

LANDSCAPE ARCHITECTURAL PLANS FOR:
EAST KATELLA RETAIL CENTER
 232 E. KATELLA AVENUE
 ORANGE, CA 92867

LICENSED LANDSCAPE ARCHITECT
 LISA A. PIERCE
 4/30/22
 3/10/21
 STATE OF CALIFORNIA

DRAWN BY: LP
 PLOT DATE: 3/10/21
 SCALE: NONE

SHEET
L-3
 OF 5



- ① ROOTBALL.
- ② CROWN-1" ABOVE FINISH GRADE.
- ③ FINISH GRADE.
- ④ X 2 ROOTBALL WIDTH.
- ⑤ BACKFILL MIX (SEE SPECS.).
- ⑥ PLANT TABLETS (SEE SPECS.).
- ⑦ 4" HIGH WATERING BASIN WITH 5" DEPTH MULCH.
- ⑧ UNBERRIED NATIVE SOIL.
- ⑨ 1" DEPTH OF ROOTBALL - 6'.
- ⑩ INSTALL DEEPTROOT BARRIERS ON ALL TREES WITHIN 5' OF PAVING, CURBS, WALLS OR BUILDINGS AND ALL STREET TREES.
- ⑪ PROVIDE 4" PERFORATED DRAIN TUBE 1/2" ABOVE PLANT TABLETS PROVIDE FILTER SOCK FOR ENTIRE LENGTH OF PIPE. TIE KNOT AT BOTTOM. (2" PER TREE)
- ⑫ FILTER FABRIC ABOVE DRAIN TUBE.
- ⑬ 12" DIAMETER X 3'-0" DEEP SUMP. FILL WITH 3/4" GRAVEL. COORDINATE INSTALLATION W/ INSPECTION / SIPHON TUBE.
- ⑭ BLACK T-CAP SECURED TO MALE END OF PAINT EXPOSED PIPE AND CAP BROWN.

Diagram illustrating the installation of a tree pit. The diagram shows a cross-section of the ground with a tree trunk and a 10' lodge pole w/ wonder tree ties or equal at four places. The pit is filled with backfill mix per specifications. The finished grade is shown with a watering basin, rake smooth after initial watering. The diagram also indicates the existing soil level (FG) and the finished grade (FG).

Labels in the diagram include:

- 10' LODGE POLE W/ WONDER TREE TIES OR EQUAL AT FOUR PLACES
- BACKFILL MIX PER SPECIFICATIONS
- NOTE: PLANT PIT SIZE TO BE SIZE OF CONTAINER/BOX
- FINISHED GRADE WITH WATERING BASIN, RAKE SMOOTH AFTER INITIAL WATERING
- EXISTING SOIL
- FG (Finished Grade)

Diagram illustrating the cross-section of a tree pit installation. The diagram shows a tree trunk and canopy above a pit. The pit is filled with a backfill mix. The pit size is noted as being 2X the size of the container. The finished grade is shown with a watering basin and a rake smooth after initial watering. The existing soil is shown on the left side of the pit.

BACKFILL MIX PER SPECIFICATIONS

NOTE: PLANT PIT SIZE TO BE 2X SIZE OF CONTAINER

FINISHED GRADE WITH WATERING BASIN, RAKE SMOOTH AFTER INITIAL WATERING

EXISTING SOIL

FG

PIT, 2 X CUTTING

ROOT MASS

CUTTING

PLANTER MIX

FINISHED GRADE

FG

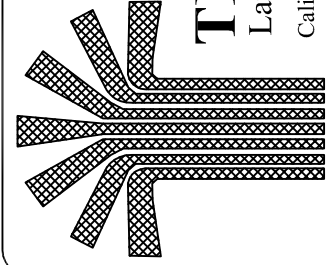
EXISTING SOIL

CUTTING OR 1 GALLON

TRIANGULAR SPACING—
SEE GROUND COVER LEGEND

D GROUND COVER PLANTING

CERTIFICATION OF COMPLETION



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PLANNING DETAILS & CERTIFICATION OF COMPLETION

LANDSCAPE ARCHITECTURAL PLANS FOR:
EAST KATELLA RETAIL CENTER
232 E. KATELLA AVENUE
ORANGE, CA 92867



DRAWN BY:	LP
PLOT DATE:	3/10/21
SCALE:	NONE

SHEET
— 4
OF 5

PLANTING SPECIFICATIONS

GENERAL REQUIREMENTS

- A. THE AGREEMENT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND DIVISION ONE GENERAL REQUIREMENTS ARE A PART OF THIS SECTION AND APPLY TO THIS SECTION AS FULLY AS IF REPEATED HERE.
- B. SCOPE: FURNISH AND INSTALL ALL LANDSCAPE PLANTING COMPLETE AS INDICATED ON THE DRAWINGS AS SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- PERFORM ALL FINISHED GRADING AND REMOVAL OF EXISTING WEEDS.
 - PROVIDE AND PLACE ALL SOIL ADDITIVES.
 - FURNISH AND PLACE ALL SOIL MIXES.
 - FURNISH AND INSTALL PLANT MATERIALS.
 - FURNISH AND INSTALL ALL STAKING AND GUYING.
 - PROVIDE SIXTY (60) DAY MAINTENANCE OF PLANTING.
 - GUARANTEES.
 - CLEANUP.
- C. QUALITY CONTROL
- SAMPLES AND DELIVERY OF MATERIALS:

A. SAMPLES OF PREPARED PLANTING MIXTURE AND SOIL ADDITIVES, SHALL BE SUBMITTED TO OWNER FOR ACCEPTANCE.

B. SUBSTITUTIONS WILL NOT BE PERMITTED, EXCEPT IF PROOF IS SUBMITTED THAT ANY MATERIAL SPECIED IS NOT OBTAINABLE, THEN A PROPOSAL WILL BE CONSIDERED FOR THE USE OF THE NEAREST EQUIVALENT, WITH AN EQUITABLE ADJUSTMENT OF CONTRACT PRICE. ALL SUBSTITUTIONS ARE SUBJECT TO APPROVAL OF THE OWNER OR HIS AGENT.
 - GUARANTEE: ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AND ALL OTHER PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF SIX (6) MONTHS, UPON FINAL ACCEPTANCE OF PLANTING BY THE OWNER OR HIS AGENT.
 - MAINTENANCE PERIOD: CONTRACTOR SHALL MAINTAIN ALL PLANTING AND PLANT MATERIAL FOR A PERIOD OF SIXTY (60) DAYS, AFTER COMPLETION AND FINAL ACCEPTANCE OF WORK BY OWNER.
 - INSPECTIONS: ALL INSPECTIONS HEREIN SPECIFIED SHALL BE MADE BY THE OWNER OR HIS AGENT. THE CONTRACTOR SHALL REQUEST INSPECTIONS AT LEAST THREE WORKING DAYS IN ADVANCE OF THE TIME INSPECTION IS REQUIRED. INSPECTIONS SHALL BE REQUIRED FOR THE FOLLOWING PARTS OF THE WORK:

A. WHEN FINE GRADING AND SOIL PREPARATION ARE COMPLETED.

B. PLANT MATERIAL AFTER DELIVERY TO SITE, FOR FIELD SPOTTING BY OWNER OR HIS AGENT.

C. SPECIMEN TREES AT SOURCE, FOR TAGGING BY OWNER OR HIS AGENT.

D. FINAL INSPECTION OF COMPLETED PLANTING BY OWNER OR HIS AGENT.

MATERIALS

- A. SOIL AMENDMENTS:
- COMMERCIAL FERTILIZER SHALL CONSIST OF THE FOLLOWING GUARANTEED PERCENTAGES DELIVERED IN SACKS WITH MANUFACTURER'S LABEL SHOWING WEIGHT AND ANALYSIS ON EACH SACK: 6(N)-20(P)-20(K). ORGANIC AMENDMENTS SHALL BE DERIVED FROM NITROGEN STABILIZED ORGANIC RESIDUES AND SHALL BE AERATED, FREE OF OBJECTIONABLE ODOR AND OF VIABLE WEED SEED.
- SOIL SULFUR OF STANDARD COMMERCIAL GRADE.
- GYPSUM OF STANDARD AGRICULTURAL GRADE.
- B. PLANT MATERIALS:
- PLANTS SHALL BE NURSERY GROWN AND TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL BE OF NORMAL GROWTH HABITS. PLANTS SHALL BE HEALTHY, VIGOROUS AND WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.
- PLANTS SHALL CONFORM IN AT LEAST THE MINIMUM REQUIREMENTS NOTED ON THE PLAN, LEGEND OR PALETTE. THE ROOT BALL SHALL BE INTACT AND SHOW EVIDENCE OF A WELL DEVELOPED ROOT WITHOUT BEING ROOT BOUND. PLANTS SHALL HAVE GROWN IN THE DELIVERED CONTAINER SYSTEM FOR AT LEAST ONE YEAR.
- PLANTS SHALL BE FREE OF DISEASES, INSECTS, PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED, EXCEPT AT THE DIRECTION OF THE OWNER OR OWNER'S AGENT.
- TREES SHALL HAVE STURDY TRUNKS AND NORMAL BRANCHING, WHICH ARE INTACT AND WITHOUT CUTS OR ABRASIONS.
- ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATE CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO YEARS.
- QUANTITIES NECESSARY TO COMPLETE THE WORK SHOWN ON PLANS SHALL BE FURNISHED BY THE CONTRACTOR. ANY DISCREPANCY IN THE QUANTITIES GIVEN ON PLAN OR LEGEND SHALL BE BROUGHT TO THE OWNER, BEFORE SUBMITTING BID.
- QUANTITIES GIVEN IN THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. QUANTITIES SHOWN ON PLAN ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE SUBMITTING BID.

EXECUTION

- A. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITY LINES, IRRIGATION LINES, ETC. SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. IN THE EVENT OF CONFLICT BETWEEN UTILITIES, ETC., AND PLANT LOCATIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER, WHO SHALL ARRANGE FOR THE RELOCATION OF PLANT MATERIAL. FAILING TO FOLLOW THIS PROCEDURE, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, MAKE ANY AND ALL REPAIRS FOR DAMAGE RESULTING FROM HIS WORK.
- REMOVE ROCK AND/OR OTHER OBSTRUCTIONS, TO PERMIT PROPER INSTALLATION OF PLANTING MATERIAL.
- B. GRADING AND SOIL PREPARATION:
- FINISHED GRADES: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO ± .10 PERCENT IN LANDSCAPE AREAS.
- SCARIFY ALL SOIL WITH THE EXCEPTION OF SLOPES OVER 3:1, TO A MINIMUM DEPTH OF 4".
- SOIL CONDITIONING: APPLY SOIL CONDITIONERS IN THE FOLLOWING AMOUNTS TO ALL AREAS UNLESS NOTED OTHERWISE BY LANDSCAPE SOILS REPORT:
- 8 CUBIC YARDS OF NITROGEN STABILIZED MULCH PER 1000 SQUARE FEET.
 - 30 POUNDS OF 6-20-20 COMMERCIAL FERTILIZER, PER 1000 SQUARE FEET.
 - 100 POUNDS OF AGRICULTURAL GYPSUM PER 1000 SQUARE FEET.
 - REMOVAL OF ALL ROCKS AND FOREIGN MATTER OVER 1" IN DIAMETER, FROM TILLED AREAS.

IMPORTANT NOTE
SITE SPECIFIC SOILS REPORT WILL SUPERCEDE THE GUIDELINES
SOIL PREPARATION RECOMMENDATIONS SHOWN.

TURF AND PLANTINGS

FIELD SPOT PLANTS PER PLAN AND SECURE APPROVAL FROM OWNER OR OWNER'S AGENT BEFORE DIGGING PITS. MAKE NECESSARY ADJUSTMENTS IN LOCATIONS AND EXCAVATE PITS AS FOLLOWS:

PLANT SIZE:	PIT WIDTH:	PIT DEPTH:
24" BOX	4.0'	22"
36" BOX	5.5'	32"
48" BOX	7.5'	36"
1 GALLON	15"	10.5"
5 GALLON	25"	20.5"
15 GALLON	41"	30.5"

THE BOTTOMS OF ALL PLANT PITS SHALL BE LOOSENEED AN ADDITIONAL 5" BELOW DEPTHS NOTED AND DUSTED WITH GYPSUM AT THE RATE OF ONE CUP PER 5 GALLON PLANT, WITH A EQUAL RATIO MORE FOR LARGER SIZED PLANT MATERIAL. CANS AND BOXES SHALL BE REMOVED CAREFULLY TO AVOID BREAKING AT THE ROOTBALL. REMOVE CANS OR BOXES AFTER PLACEMENT, INCLUDING BOTTOMS OF BOXED SPECIMENS.

ALL BACKFILL FOR TREES, SHRUBS AND VINES SHALL BE AS PER FOLLOWS PER 10 CUBIC YARDS: 7 CUBIC YARDS OF NATIVE TOP SOIL. 3 CUBIC YARDS OF NITROGEN STABILIZED MULCH. 20 POUNDS OF 6-20-20 COMMERCIAL FERTILIZER. 100 POUNDS OF AGRICULTURAL GYPSUM. 10 POUNDS OF FERRIC SULFATE.

ADJUST DEPTH OF PLANT SO IT'S CROWN SHALL STAND AT FINISHED GRADE. ALL PLANTS SHALL BE SET IN A WATERING BASIN.

ALL TREES AND SHRUBS SHALL INCLUDE 21 GRAM AGRIFORM FERTILIZER TABLETS AS FOLLOWS: 6 TABLETS FOR 24" BOX OR LARGER. 4 TABLETS PER 15 GALLON PLANT. 3 TABLETS PER 5 GALLON PLANT. 1 TABLET PER 1 GALLON PLANT.

GROUND COVER PLANTING:

PLANTING PITS FOR GROUND COVER SHALL BE 4" MINIMUM IN DEPTH. PLANTS SHALL BE SPACED AS INDICATED ON DRAWINGS AND LEGENDS. SOIL SHALL BE FIRMLY PRESSED AROUND EACH PLANT AND EXCESS SOIL REMOVED FROM CROWN.

EACH SECTION OF GROUND COVER SHALL BE THOROUGHLY WATERED, IMMEDIATELY UPON COMPLETION OF PLANTING.

STAKING:

STAKE TREES AT TIME OF PLANTING. ALL 15 GALLON TREES SHALL BE STAKED USING LODGE POLE STAKES PER DETAIL AND/OR LOCAL REQUIREMENTS. LOCAL REQUIREMENTS TAKE PRECEDENCE..

CLEAN UP:

DURING THE COURSE OF THE WORK, REMOVE SURPLUS MATERIALS FROM THE SITE AND LEAVE PREMISES, SIDEWALKS AND ROADS IN A NEAT AND CLEAN CONDITION. EXCESS TOP SOIL IS TO BE REMOVED FROM SITE.

CLEAN UP AND REMOVE ALL DEBRIS AND SURPLUS MATERIALS UPON COMPLETION OF WORK, LEAVING THE PREMISES IN A NEAT AND CLEAN CONDITION, SATISFACTORY TO THE OWNER. REMOVE ALL TAGS, LABELS, TIES AND NURSERY STAKES FROM ALL PLANTS, UNLESS DIRECTED OTHERWISE.

GUARANTEE AND REPLACEMENT:

ALL BOXED AND CONTAINER SPECIMEN PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD HEALTHY AND FLOURISHING CONDITION, OF ACTIVE GROWTH, AT THE END OF ONE YEAR, FROM THE DATE OF ACCEPTANCE BY OWNER. ALL GALLON CONTAINERS SHALL BE GUARANTEED FOR 6 MONTHS FROM THE DATE OF ACCEPTANCE BY OWNER. ALL GUARANTEES SHALL BE IN WRITING AND A PART OF THE CONTRACT DOCUMENTS.

MAINTENANCE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR MAINTAINING MOISTURE REQUIREMENTS. HAND WATERING OF NEWLY PLANTED TREES AND SHRUBS SHALL BE REQUIRED ONCE A WEEK, FOR THREE WEEKS. CULTIVATE, WEED AND WATER AS REQUIRED DURING MAINTENANCE PERIOD. ALL PLANTING AREAS SHALL BE FREE OF WEEDS AT CONCLUSION OF MAINTENANCE PERIOD.

FINAL INSPECTION:

FINAL INSPECTION OF LAWNS AND PLANTING AREAS WILL BE MADE ONE WEEK PRIOR TO THE CONCLUSION OF THE MAINTENANCE PERIOD. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S AGENT, 3 WORKING DAYS PRIOR TO INSPECTION.

IRRIGATION SPECIFICATIONS

GENERAL REQUIREMENTS

- A. THE AGREEMENT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND DIVISION ONE GENERAL REQUIREMENTS ARE A PART OF THIS SECTION AND APPLY TO THIS SECTION, AS IF FULLY REPEATED HERE.
- B. SCOPE
- WORK SPECIFIED IN THIS SECTION: FURNISH ALL LABOR, TOOLS, MATERIALS, APPLIANCES, TEXTS, PERMITS, TAXES, ETC., NECESSARY FOR THE INSTALLATION OF A COMPLETE IRRIGATION SYSTEM AS SPECIFIED AND SHOWN ON THE DRAWINGS, LEGENDS AND DETAILS. REMOVAL OF DEBRIS, ROCKS, SOIL, ETC., AS A RESULT OF CONTRACTOR'S WORK, FROM THE SITE.
 - THE SYSTEM SHALL EFFICIENTLY AND EVENLY IRRIGATE ALL PLANTED AREAS WITH A MINIMUM OF OVER SPRAY, COMPLETE IN EVERY RESPECT AND SHALL BE LEFT READY FOR OPERATION, TO THE SATISFACTION OF THE OWNER OR OWNER'S AGENT.
 - ALL WORK SHALL BE PER LOCAL, COUNTY AND STATE CODES AND, PERFORMED IN A WORKMANSHIP LIKE MANNER, STANDARD TO THE INDUSTRY, TO THE SATISFACTION OF THE OWNER OR OWNER'S AGENT.
- C. QUALITY CONTROL

- MATERIAL LIST: A COMPLETE MATERIAL LIST SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO PERFORMING WORK. MATERIAL LIST SHALL INCLUDE THE MANUFACTURER, MODEL NUMBERS AND DESCRIPTION OF ALL MATERIAL, AND EQUIPMENT TO BE USED ON PROJECT.

- AS BUILT DRAWINGS: AFTER COMPLETION OF IRRIGATION SYSTEM, THE CONTRACTOR SHALL SUBMIT TO THE OWNER, ON REPRODUCIBLE MEDIA OR DISK THE FOLLOWING DIMENSIONED FROM TWO PERMANENT POINTS OF REFERENCE:

- POINT OF CONNECTION.
- CONNECTION TO EXISTING ELECTRICAL POWER.
- ROUTING OF MAIN LINES.
- GATE VALVES .
- ROUTING OF CONTROL WIRING.
- QUICK COUPLING VALVES.
- CONTROLLER AND WATER SENSORS.
- BACKFLOW PREVENTER.

OPERATION AND MAINTENANCE MANUALS:

- PREPARE AND DELIVER TO THE OWNER WITHIN 10 CALENDAR DAYS PRIOR TO THE COMPLETION OF CONSTRUCTION, TWO HARD COVER BINDERS CONTAINING THE FOLLOWING INFORMATION:

- INDEX SHEET, STATING CONTRACTOR'S PHONE NUMBER, ADDRESS, LIST OF EQUIPMENT MANUFACTURERS AND THEIR ADDRESSEES, AND THEIR PHONE NUMBERS.
- GUARANTEE STATEMENTS.
- COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT.

MATERIALS

- A. GENERAL: USE ONLY NEW MATERIAL AS NOTED ON DRAWINGS, LEGENDS AND SPECIFIED HEREIN.

PVC PRESSURE MAINLINE PIPE AND FITTINGS:

- PIPE SHALL BE MADE FROM AN NSF APPROVED TYPE I, GRADE I, PVC, CONFORMING TO ASTM RESIN SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN FEDERAL SPECIFICATION PS-22-70.
- ALL FITTINGS SHALL BE SCH. 40, UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
- SOLVENT CEMENT AND PRIMER FOR PVC SOLVENT WELDED PIPE AND FITTINGS SHALL BE OF TYPE PRESCRIBED BY MANUFACTURER.
- ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS:

A. MANUFACTURER'S NAME.

B. NOMINAL PIPE SIZE.

C. SIZE, CLASS AND PRESSURE RATING.

PVC NON-PRESSURE LATERAL LINE PIPING:

- NON-PRESSURE LATERAL LINE PIPING SHALL BE PVC CLASS 200 WITH SOLVENT WELDED JOINTS UNLESS NOTED OTHERWISE ON PLANS OR LEGENDS.
- PIPE SHALL BE MADE FROM NSF APPROVED TYPE I, GRADE II PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATION D1784. ALL PIPE MUST MEET REQUIREMENTS SET FORTH IN FEDERAL SPECIFICATIONS PS-22-70

QUICK COUPLING VALVES:

- QUICK COUPLING VALVE SHALL HAVE A BRASS BODY DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI.

GATE VALVES:

- GATE VALVES SHALL BE BRONZE BODY PER IRRIGATION LEGEND.

BACKFLOW PREVENTION UNIT:

- THE BACKFLOW PREVENTER SHALL OPERATE ON A REDUCED PRESSURE PRINCIPAL AS PER IRRIGATION LEGEND.

CONTROL WIRING

- CONNECTION BETWEEN THE AUTOMATIC CONTROLLERS AND THE ELECTRIC CONTROL VALVES SHALL BE MADE WITH DIRECT BURIAL COPPER WIRE. CONTROL WIRE SHALL BE WHITE WITH A DIFFERENT COLOR STRIPE FOR EACH AUTOMATIC VALVE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FIELD SPLICES BETWEEN VALVE AND CONTROLLER WILL NOT BE ALLOWED UNLESS WRITTEN PERMISSION IS OBTAINED FROM OWNER. ALL WIRING SHALL BE #14 UNLESS SPECIFIED OTHERWISE.
- WIRING SHALL OCCUPY THE SAME TRENCH AND SHALL BE INSTALLED ALONG THE SAME ROUTE AS THE PRESSURE SUPPLY LINE WHENEVER POSSIBLE.
- WIRING SHALL BE TAPED TOGETHER AT INTERVALS OF TEN FEET.
- EXPANSION COILS SHALL BE PROVIDED EVERY 100' OF WIRING.
- ALL SPLICES SHALL BE MADE WITH 3M WATERPROOF SPLICES OR EQUAL.

AUTOMATIC CONTROLLER:

- THE AUTOMATIC CONTROLLER SHALL BE AS NOTED IN IRRIGATION LEGEND.

ELECTRIC CONTROL VALVE:

- THE ELECTRIC CONTROL VALVE SHALL BE A NORMALLY CLOSED, 24 VOLT, 60 CYCLE VALVE AS NOTED IN IRRIGATION LEGEND.
- ALL VALVES TO BE AS NOTED IN IRRIGATION LEGEND.

CONTROL VALVE BOXES :

- ALL VALVES TO BE IN BROOKS PLASTIC BOXES WITH COVERS, OR EQUAL.

SPRINKLER HEADS

- ALL SPRINKLER HEADS SHALL BE AS NOTED IN IRRIGATION LEGEND.
- RISER AND SWING JOINT ASSEMBLIES SHALL BE FABRICATED IN ACCORDANCE WITH DETAILS SHOWN ON PLANS. PRE MANUFACTURED SWING JOINTS WILL BE CONSIDERED.

EQUIPMENT TO BE FURNISHED:

- SUPPLY AS A PART OF THE CONTRACT THE FOLLOWING:

A. TWO VALVES KEYS FOR GATE VALVES.

B. TWO KEYS FOR EACH AUTOMATIC CONTROLLER.

C. TWO QUICK COUPLER KEYS AND MATCHING HOSE SWIVELS, FOR EACH TYPE OF QUICK COUPLING VALVE INSTALLED.

EXECUTION

PRODUCT DELIVERY, STORAGE AND HANDLING:

- ALL PVC PIPE SHALL BE TRANSPORTED IN A VEHICLE WHICH ALLOWS THE LENGTHS OF PIPE TO LAY FLAT SO AS NOT TO SUBJECT THE PIPE TO BINDING, BENDING, OR CONCENTRATED EXTERNAL LOADS AT ANY POINT.
- ANY SECTION OF PIPE THAT HAS BEEN DENTED OR DAMAGED WILL BE DISCARDED AND IF INSTALLED, SHALL BE REPLACED WITH NEW PIPING AT NO ADDITIONAL COST TO THE OWNER.

LAYOUT:

- IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE WORK TO BE INSTALLED. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. ALL SCALED DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE SUBMITTING BID TO OWNER AND PRIOR TO STARTING ANY WORK.
- EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY HIS WORK OR NEGLECT. CHECK EXISTING UTILITIES DRAWINGS, CIVIL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR NEW AND EXISTING UTILITY LOCATIONS BEFORE ANY START OF WORK.
- PRIOR TO INSTALLATION, THE CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LOCATIONS, VALVES, HEADS AND CONTROLLERS.

INSTALLATION:

WATER SUPPLY:

- CONNECT IRRIGATION SYSTEM TO GATE VALVE OR METER, AS SUPPLIED BY OWNER. CONFIRM WATER SUPPLY BEFORE SUBMITTING BID AND START OF WORK.

ELECTRICAL SUPPLY:

- CONNECT ELECTRICAL CONNECTIONS FOR AUTOMATIC CONTROLLER TO NEAREST 120 VOLT SOURCE, AS SUPPLIED BY OWNER. CONFIRM LOCATION BEFORE SUBMITTING BID.

TRENCHING:

- DIG TRENCHES STRAIGHT AND TRUE. SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. LAY PIPE TO AN EVEN GRADE. TRENCHING EXCAVATION SHALL FOLLOW APPROXIMATE LAYOUT AS INDICATED ON PLAN.
- PROVIDE MINIMUM COVER OF 18" FOR ALL PRESSURE BEARING LINES.
- PROVIDE MINIMUM COVER OF 12" FOR ALL LATERAL LINES.
- PROVIDE MINIMUM COVER OF 18" FOR ALL CONTROL WIRING.

BACK FILLING:

- TRENCHES SHALL NOT BE BACK FILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. TRENCHES SHALL BE CAREFULLY BACK FILLED WITH THE EXCAVATED MATERIAL, FREE FROM LARGE CLODS OF EARTH OR STONES EXCEEDING 1/2" IN DIAMETER. BACKFILL SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES.
- FLOODING OF TRENCHES SHALL NOT BE PERMITTED.
- IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENT IN PIPE, VALVES, SPRINKLER HEADS, LAWNS, PLANTING, ETC., ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS, AT ON COST TO THE OWNER.

TRENCHING AND BACK FILLING UNDER PAVING:

- TRENCHES LOCATED UNDER AREAS OF PAVING, ASPHALT, CONCRETE OR FOUNDATIONS SHALL BE BACK FILLED WITH SAND, 6" MINIMUM BELOW PIPE AND 3" MINIMUM ABOVE PIPE. FIELD COMPACT TO 95% COMPACTED. ALL TRENCHES SHALL BE LEFT FLUSH WITH ADJOINING GRADE. CONTRACTOR SHALL SET IN PLACE ALL PIPING AND CAP AS REQUIRED, AND PRESSURE TEST ALL PIPING PRIOR TO PAVING.
- WHERE ANY CUTTING OR BREAKING OF CONCRETE OR PAVING IS NECESSARY, IT SHALL BE DONE AND REPLACED BY THE CONTRACTOR AS PART OF CONTRACT COST. PERMISSION TO CUT OR BREAK CONCRETE OR PAVING SHALL BE OBTAINED FROM THE OWNER, IN WRITING, PRIOR TO WORK.

LINE CLEARANCE:

- ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM LINES OF OTHER TRADES. PARALLEL IRRIGATION LINES SHALL NOT BE INSTALLED DIRECTLY OVER EACH OTHER.

AUTOMATIC CONTROLLER:

- INSTALL PER MANUFACTURER'S SPECIFICATIONS. REMOTE CONTROL VALVES SHALL BE CONNECTED TO CONTROLLER IN NUMERICAL SEQUENCE, AS PER PLAN.

HIGH VOLTAGE WIRING FOR AUTOMATIC CONTROLLER:

- 120 VOLT POWER CONNECTION TO AUTOMATIC CONTROLLER SHALL BE PROVIDED BY OWNER.
- ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL, CITY AND COUNTY CODE.

REMOTE CONTROL VALVES:

- INSTALL PER PLAN AND IRRIGATION DETAILS. WHEN VALVES ARE GROUPED TOGETHER ALLOW AT LEAST TWELVE INCHES BETWEEN VALVES. INSTALL EACH CONTROL VALVE IN A SEPARATE VALVE BOX.

IRRIGATION HEADS:

- INSTALL IRRIGATION HEADS AS PER PLAN AND IRRIGATION DETAILS. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON DRAWINGS. CONTRACTOR TO PROVIDE FULL COVERAGE IN ALL PLANTED AREAS, WITH A MINIMUM OF OVER SPRAY.

FLUSHING OF IRRIGATION SYSTEM:

- AFTER ALL IRRIGATION LINES AND RISERS ARE IN PLACE AND FULLY CONNECTED, PRIOR TO INSTALLATION OF IRRIGATION HEADS, THE CONTROL VALVES SHALL BE OPENED AND SYSTEM FULLY FLUSHED.
- IRRIGATION HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN COMPLETED AND INSPECTED BY OWNER OR OWNER'S AGENT.

ADJUSTMENT OF IRRIGATION SYSTEM:

- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL IRRIGATION HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON WALKS, ROADWAYS AND BUILDINGS.
- IF IT IS DETERMINED THAT ADJUSTMENTS OF THE IRRIGATION EQUIPMENT WILL PROVIDE MORE ADEQUATE COVERAGE, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS PRIOR TO PLANTING. ADJUSTMENTS MAY ALSO INCLUDE CHANGES IN NOZZLE SIZES AND DEGREES OF ARC AS REQUIRED, AT NO ADDITIONAL COST TO OWNER.
- ALL IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISHED GRADES UNLESS OTHERWISE INDICATED ON PLAN.

TESTING,, MAINTENANCE AND GUARANTEES

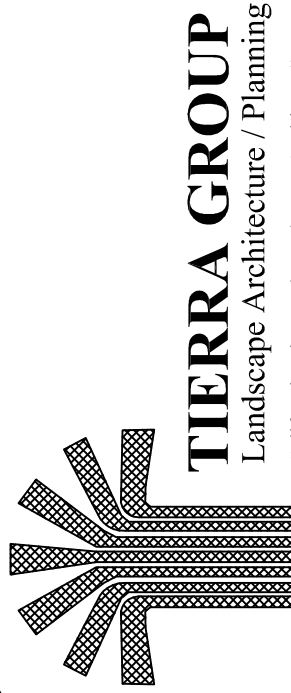
- TEST ALL PRESSURE LINES AND ALL PIPING UNDER PAVING WITH HYDROSTATIC PRESSURE OF 150 PSI FOR 24 HOUR AFTER TESTING, IF LEAKS DEVELOP, REPLACE JOINTS, PIPE, ETC., AS REQUIRED AND RETEST AT NO ADDITIONAL COST TO OWNER.
- WHEN IRRIGATION SYSTEM IS COMPLETED, PERFORM TEST COVERAGE IN PRESENCE OF OWNER. AREAS THAT ARE NOT FULLY COVERED SHALL BE ADJUSTED AS REQUIRED UNTIL FULL COVERAGE IS OBTAINED, AT NO ADDITIONAL COST TO OWNER.
- MAINTENANCE PERIOD FOR IRRIGATION SYSTEM SHALL BE 60 DAYS FROM DATE OF ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE IRRIGATION SYSTEM AND EQUIPMENT FOR A PERIOD OF ONE CALENDAR YEAR FROM DATE OF ACCEPTANCE BY OWNER.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF TERRA GROUP LANDSCAPE ARCHITECTS AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH TERRA GROUP. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF TERRA GROUP LANDSCAPE ARCHITECTS PRIOR TO THE COMMENCEMENT OF ANY WORK.

DRAWN BY: LP
PLOT DATE: 3/10/21
SCALE: NONE

SHEET
L-5
OF 5

LANDSCAPE ARCHITECTURAL PLANS FOR:
EAST KATELLA RETAIL CENTER
232 E. KATELLA AVENUE
ORANGE, CA 92867



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LANDSCAPE
SPECIFICATIONS

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting ARC LED homepage.
 Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

- 0.5% C
- 0.2% C
- 1.0% C
- 3.0% C

Mt = 10ft
 Grid = 10ft x 10ft

ARC1 LED P3 40K

ARC1 LED
 See 150105

LITHONIA LIGHTING

COMMERCIAL OUTDOOR

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30	700	P2	70W	T5H	8.080	2	0	125	8.080	2	0	2	134	8.818	2	0	2	136
				T5H	8.620	3	0	132	8.620	3	0	2	139	9.358	3	0	2	138
				T5H	9.280	3	0	132	9.280	3	0	2	140	9.998	3	0	2	140
				T5H	9.920	3	0	132	9.920	3	0	2	141	10.638	3	0	2	141
				T5H	10.560	3	0	132	10.560	3	0	2	142	11.278	3	0	2	142
				T5H	11.200	3	0	132	11.200	3	0	2	143	11.918	3	0	2	143
				T5H	11.840	3	0	132	11.840	3	0	2	144	12.558	3	0	2	144
				T5H	12.480	3	0	132	12.480	3	0	2	145	13.198	3	0	2	145
				T5H	13.120	3	0	132	13.120	3	0	2	146	13.838	3	0	2	146
				T5H	13.760	3	0	132	13.760	3	0	2	147	14.478	3	0	2	147
30	1000	P3	120W	0030	5.000	1	0	2	5.000	1	0	2	5	5.000	1	0	2	5
				0030	5.600	1	0	2	5.600	1	0	2	6	5.600	1	0	2	6
				0030	6.200	1	0	2	6.200	1	0	2	7	6.200	1	0	2	7
				0030	6.800	1	0	2	6.800	1	0	2	8	6.800	1	0	2	8
				0030	7.400	1	0	2	7.400	1	0	2	9	7.400	1	0	2	9
				0030	8.000	1	0	2	8.000	1	0	2	10	8.000	1	0	2	10
				0030	8.600	1	0	2	8.600	1	0	2	11	8.600	1	0	2	11
				0030	9.200	1	0	2	9.200	1	0	2	12	9.200	1	0	2	12
				0030	9.800	1	0	2	9.800	1	0	2	13	9.800	1	0	2	13
				0030	10.400	1	0	2	10.400	1	0	2	14	10.400	1	0	2	14
30	1200	P4	120W	T5H	11.600	2	0	1	11.600	2	0	1	126	11.600	2	0	1	126
				T5H	12.400	2	0	1	12.400	2	0	1	128	12.400	2	0	1	128
				T5H	13.200	2	0	1	13.200	2	0	1	130	13.200	2	0	1	130
				T5H	14.000	2	0	1	14.000	2	0	1	132	14.000	2	0	1	132
				T5H	14.800	2	0	1	14.800	2	0	1	134	14.800	2	0	1	134
				T5H	15.600	2	0	1	15.600	2	0	1	136	15.600	2	0	1	136
				T5H	16.400	2	0	1	16.400	2	0	1	138	16.400	2	0	1	1

		Wavelength (nm)													
		175	185	195	205	215	225	235	245	255	265				
20C	350 mA	25W	T56	2381	1	2	118	2499	1	2	119	2496	1	2	118
			T56	2292	2	2	118	2499	1	2	119	2496	1	2	117
			T56	2488	1	2	118	2491	1	2	119	2497	1	2	118
			T56	2293	2	2	118	2492	1	2	119	2498	1	2	118
			T56	2296	2	2	118	2499	1	2	119	2497	1	2	118
			T56	2253	1	2	118	2459	1	2	118	2475	1	2	119
	350 mA	30W	T56	2450	1	2	118	2437	1	2	117	2438	1	2	117
			T56	2452	1	2	118	2439	1	2	117	2436	1	2	118
			T56	2453	1	2	118	2437	1	2	117	2438	1	2	118
			T56	2394	1	2	118	2432	1	2	117	2431	1	2	117
			T56	2399	1	2	118	2431	1	2	117	2430	1	2	117
			T56	2399	1	2	118	2431	1	2	117	2430	1	2	117
40C (LED)	700 mA	45W	T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
	1000 mA	75W	T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
50C	350 mA	30W	T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
	500 mA	54W	T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118
			T56	2458	1	2	118	2438	1	2	117	2438	1	2	118

MEP

Energy Solutions Group, Inc.
Mechanical • Electrical
Plumbing • Energy Design &
Engineering Services

(949) 887-0285 | BHealy@mepesg.com
P.O. BOX 6390 La Quinta, CA 92248
Website | www.mepesg.com

ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN

East Katella Retail Center

New Retail Center
232 E. Katella Ave., Orange CA 92867

Sign Program

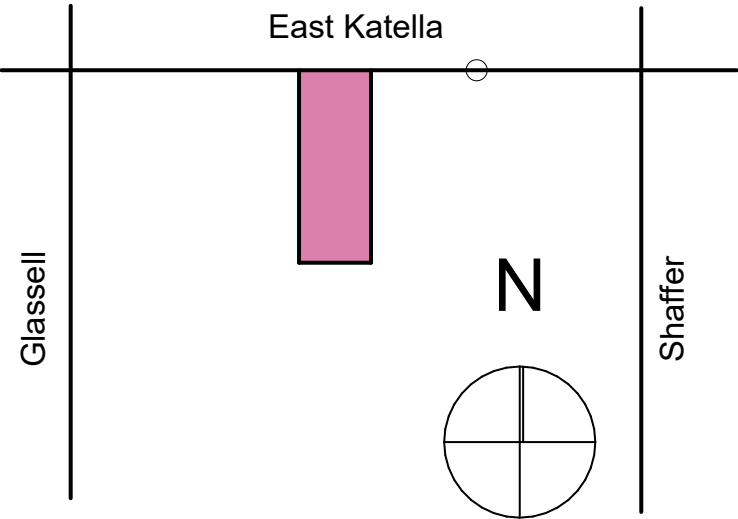
for
East Katella Retail Center

PROJECT ADDRESS: 232 E. Katella Ave.
Orange, CA 9286

EXISTING ZONE: C-P

BUILDING STORIES: One

VICINITY MAP:



Owner:
Katella Commercial, LLC
531 Catalina Road
Fullerton, CA 92835
PH: 714.595.6603
Attn: Haroon Ali

Architect:
DSEA, Inc.
145 S. Olive St.
Orange, CA 92866
PH: 714.639-3958
Attn: Douglas Ely

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INTRODUCTION

This sign program/criteria establishes requirements for the design and fabrication of signage for the East Katella Retail Center. The objective is to create distinct, unique and high quality signage, which is an integral part of the architecture and image of the development. The intent of the sign criteria is to ensure that tenant signage is designed and executed in a manner that will achieve these objectives while providing distinct and clear identification of tenants' businesses. All tenant signage shall be subject to landlord's approval as provided in this criteria where consistent with this criteria. All signage must comply with all applicable codes and standards. All signs shall be maintained and in good repair. Landlord shall be responsible for the timely removal of and replacemetn of any sign deemed by the City in need of repair.

These signage requirements meet the city ordinance design guidelines as laid out by the City of Orange, Section 17.36.06. The landlord, through his design consultant, must approve any and all signage prior to submittal to teh City of Orange Planning and Building Divisions. The City will not issue signage permits without documents including shop and engineering drawings indicating the Design Consultant's or designee's approval.

Submit final detail drawings to the Design Consultant for review and approval. Incomplete submissions to the Design Consultant will be returned without review. The submission must include the size and dimensions of all signs, letter heights, materials, specified colors and color chips, mounting details of all signs, graphic represnetation of all signange in relation to the storefronts, including exact location of signs, and any other requiremetns specified by the City of Orange Planning and Building Divisions. Only when the final design sets have been returned with the Design Consultant's approval may the tenant apply for city approval. Tenant shall submit plans and other required materials to the City of Orange Planning and Building Divisions for sign permit and building permit persuant to the city's application processes.

DSEAA

ARCHITECTURE | PLANNING | 3D MODELING

145 S. Olive Street

Orange, CA 92866

T: 714.639.3958

F: 714.639.1744

dely@dsearchitecture.com

Introduction

East Katella Retail Center

232 East Katella, Orange, CA 92866

Plotted on 11/19/2020 at 9:12 AM P:\714 E Katella Commercial\714 BIM-CAD Files\714 ArchiCAD Models\714 E Katella DR Comments.pln

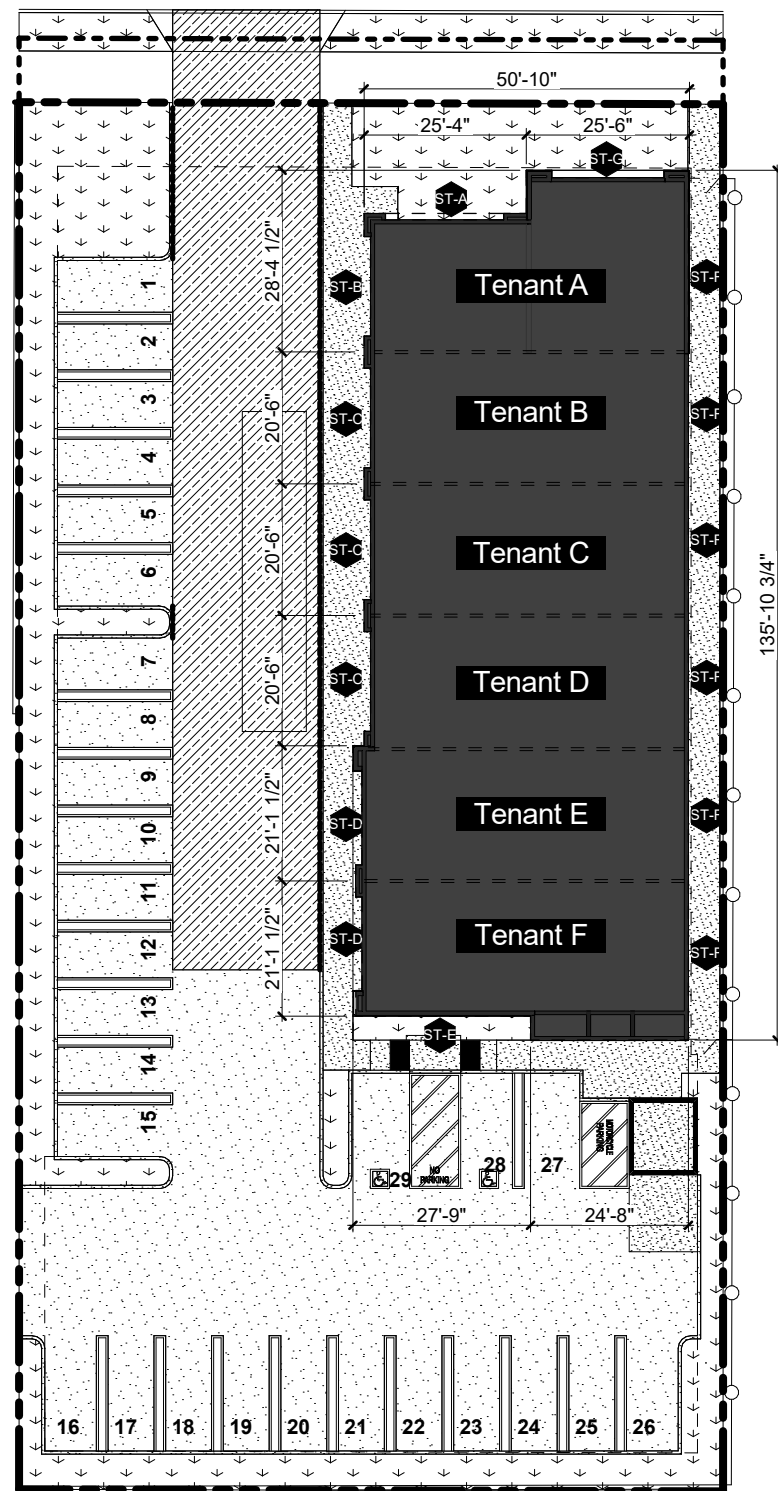
S2

SIGNAGE TYPE	DESCRIPTION	PURPOSE	SIGN LOCATION	QUANTITY	MAX AREA	MAX. HEIGHT/ LETTER HEIGHT	MAX WIDTH	LOGO ALLOWED	ILLUMINATION PER
ST-A	Tenant A Sign North Façade	Tenant ID	Screen	1	27 sf	24"	13'-6"	N	Y
ST-B	Tenant A Sign West Façade	Tenant ID	Screen	1	27 sf	24"	13'-6"	N	Y
ST-C	Tenant B-D Sign West Façade	Tenant ID	Screen	3	24 sf	24"	12'	N	Y
ST-D	Tenant E-F Sign West Façade	Tenant ID	Wall	2	24 sf	24"	12'	N	Y
ST-E	Tenant F Sign South Façade	Tenant ID	Wall	1	27 sf	24"	13'-6"	N	N
ST-F	Tenant A-F Sign East Façade	Tenant ID	Wall	6	24 sf	24"	12'	N	N
SB-G	Building Signage	Address Identification	Wall	1	23 sf	24"	11'-6'	N	Y

TENANT SIGNAGE : GENERAL GUIDELINES

This sign program includes 7 different types of Tenant Signs, ST-A,to ST-E and Building Address Signage SB-G. The Following is the general guidelines that apply to all sign types.

Sign Location	Tenant Signs are allowed at teh midpint of the 5' Linear Screen Element along the western and northern facades, centerline of sign mounted at centerline of facade vertical dimension. Tenant Signs locations require approval from the owner per lease agreement based on each tenant's office/retai lspace during tenancy.
Maximum Sign Area	The total area of wall signs per tenant per building elevations is limited to one square foot of sign area per lineal foot of that tenant's building elevation per city design ordinance 17.36.080.B.1
Maximum Sign Area	See Schedule above
Maximum Sign Width	See Schedule above
Maximum Sign Height	24" Max. Per City sign ordinance 17.36.080.C, Sign Height shall not exceed a dimension that is greater than 2/3 the height of the vertical surface/plane upon which it is located.
Maximum Sign Depth	12" Max From the wall surface per city sign ordinance Section 17.36.080.E






1
S5

Signage Key Plan

NOT TO SCALE

Sign Plan Legend

-  Tenant Signage A
-  Tenant Signage B
-  Tenant Signage C
-  Tenant Signage D
-  Tenant Signage E
-  Tenant Signage F
-  Building Address Signage



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dely@dsearchitecture.com

Sign Location Plan

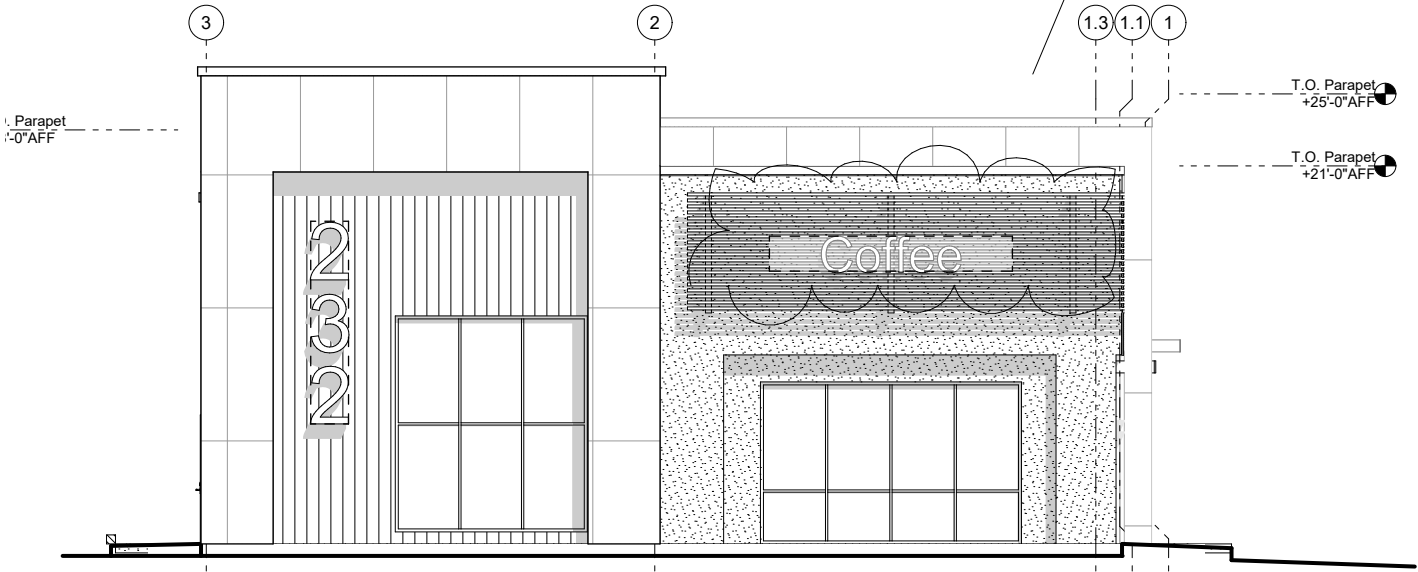
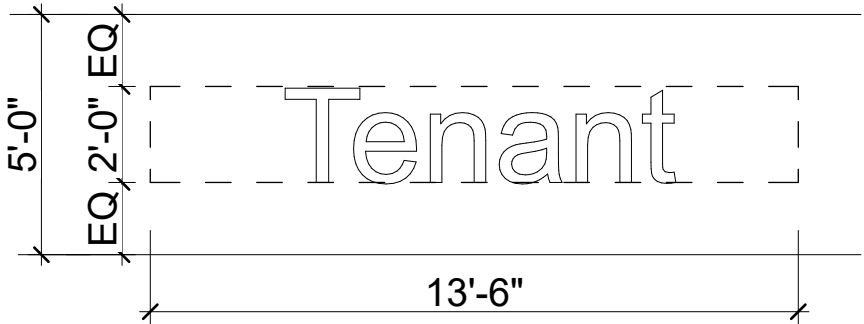
East Katella Retail Center

232 East Katella, Orange, CA 92866

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S5

SIGN TYPE A (ST-A) Screen Mounted Tenant Sign	
Sign Purpose	To Identify tenant occupancy in the building
Sign Location	Located on the architectural screen feature on the top 1/3 of the building
Number (Maximum)	One
Orientation	Paralell to wall facing Katella Avenue. Center Justified on Architectural Massing
Maximum Area	27 sf (portion of northern facade allowed)
Maximum Sign Height	24" Max.
Maximum Sign Width	13'-6"
Sign Copy	Tenant Name And Logo
Sign Construction/Material	Individual channel letters only in non-ferrous matalas. No Cabinet or cloud signs are permitted. No exposed wiring is permitted. All hardware shall be of non-ferrous metals. Vinyl or similar letters and backgrounds are prohibited
Illumination	Internally illuminated letters are permitted. Exposed Neon lighting, conduit and raceways are prohibited.
Logo/Letterstyle	Logo premitted pending Landlord approval, all other lettering in project font
Color	Black or dark grey housing and returns with white face if illuminated



Sign Type A (ST-A)

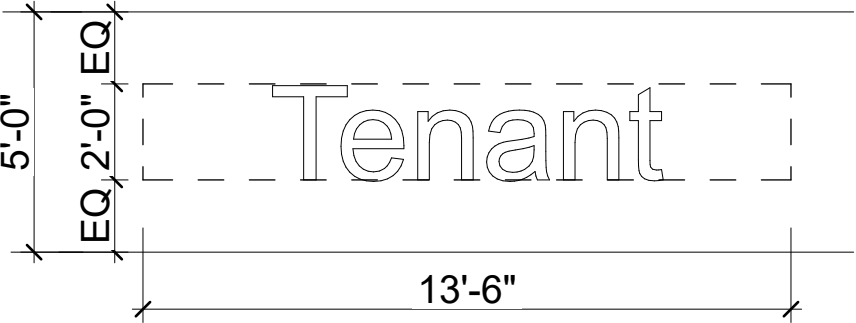
East Katella Retail Center

232 East Katella, Orange, CA 92866

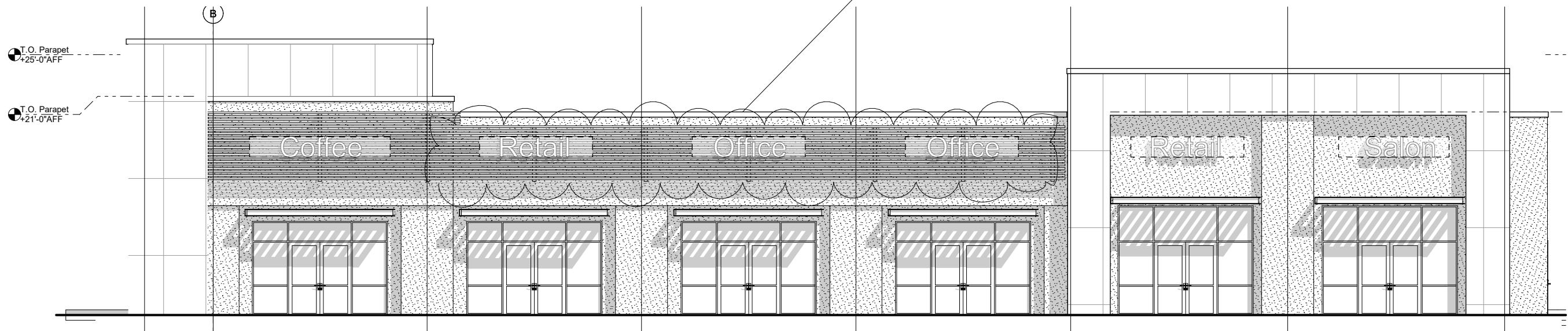
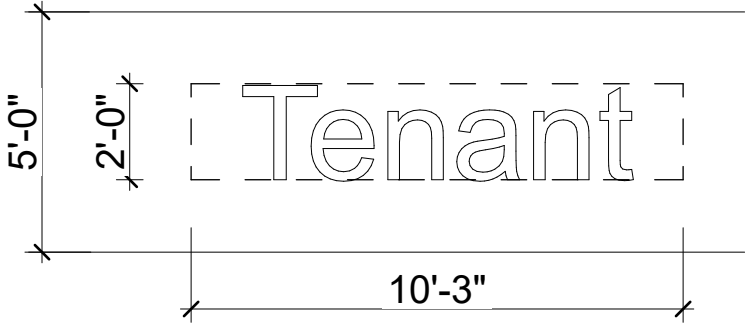
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S6

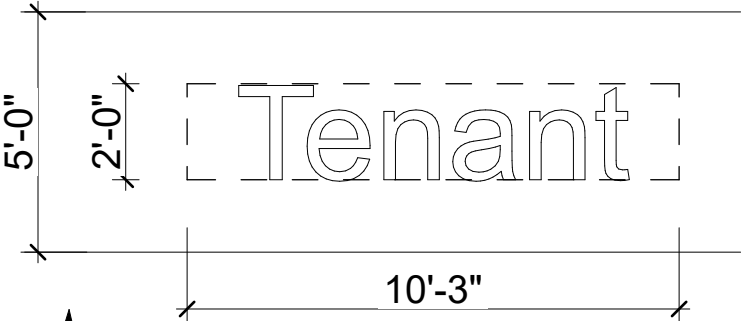
SIGN TYPE B (ST-B)	Screen Mounted Tenant Sign
Sign Purpose	To Identify tenant occupancy in the building
Sign Location	Located on the architectural screen feature on the top 1/3 of the building
Number (Maximum)	One
Orientation	Paralell to wall facing West Parking Lot. Center Justified on Architectural Massing
Maximum Area	27 sf
Maximum Sign Height	24" Max.
Maximum Sign Width	13'-6"
Sign Copy	Tenant Name And Logo
Sign Construction/Material	Individual channel letters only in non-ferrous matalas. No Cabinet or cloud signs are permitted. No exposed wiring is permitted. All hardware shall be of non-ferrous metals. Vinyl or similar letters and backgrounds are prohibited
Illumination	Internally illuminated letters are permitted. Exposed Neon lighting, conduit and raceways are prohibited.
Logo/Letterstyle	Logo premitted pending Landlord approval, all other lettering in project font
Color	Black or dark grey housing and returns with white face if illuminated



SIGN TYPE C (ST-C)	Screen Mounted Tenant Sign
Sign Purpose	To Identify tenant occupancy in the building
Sign Location	Located on the architectural screen feature on the top 1/3 of the building
Number (Maximum)	Three
Orientation	Paralell to wall facing West Parking Lot. Center Justified on Architectural Massing
Maximum Area	20.5 sf
Maximum Sign Height	24" Max.
Maximum Sign Width	10'-3"
Sign Copy	Tenant Name And Logo
Sign Construction/Material	Individual channel letters only in non-ferrous matalas. No Cabinet or cloud signs are permitted. No exposed wiring is permitted. All hardware shall be of non-ferrous metals. Vinyl or similar letters and backgrounds are prohibited
Illumination	Internally illuminated letters are permitted. Exposed Neon lighting, conduit and raceways are prohibited.
Logo/Letterstyle	Logo premitted pending Landlord approval, all other lettering in project font
Color	Black or dark grey housing and returns with white face if illuminated



SIGN TYPE D (ST-D)	Screen Mounted Tenant Sign
Sign Purpose	To Identify tenant occupancy in the building
Sign Location	Face mounted on the wall
Number (Maximum)	2
Orientation	Paralell to wall facing West Parking Lot. Center Justified on Architectural Bump out Above
Maximum Area	20.5 sf
Maximum Sign Height	24" Max.
Maximum Sign Width	10'-3"
Sign Copy	Tenant Name And Logo
Sign Construction/Material	Individual channel letters only in non-ferrous matalas. No Cabinet or cloud signs are permitted. No exposed wiring is permitted. All hardware shall be of non-ferrous metals. Vinyl or similar letters and backgrounds are prohibited
Illumination	Internally illuminated letters are permitted. Exposed Neon lighting, conduit and raceways are prohibited.
Logo/Letterstyle	Logo premitted pending Landlord approval, all other lettering in project font
Color	Black or dark grey housing and returns with white face if illuminated



SIGN TYPE E (ST-E) Screen Mounted Tenant Sign
Sign Purpose To Identify tenant occupancy in the building

Sign Location Face mounted on the wall

Number (Maximum) 1

Orientation Paralell to wall facing West Parking Lot. Center Justified on Architectural Bump out Above

Maximum Area 20.5 sf

Maximum Sign Height 24" Max.

Maximum Sign Width 10'-3"

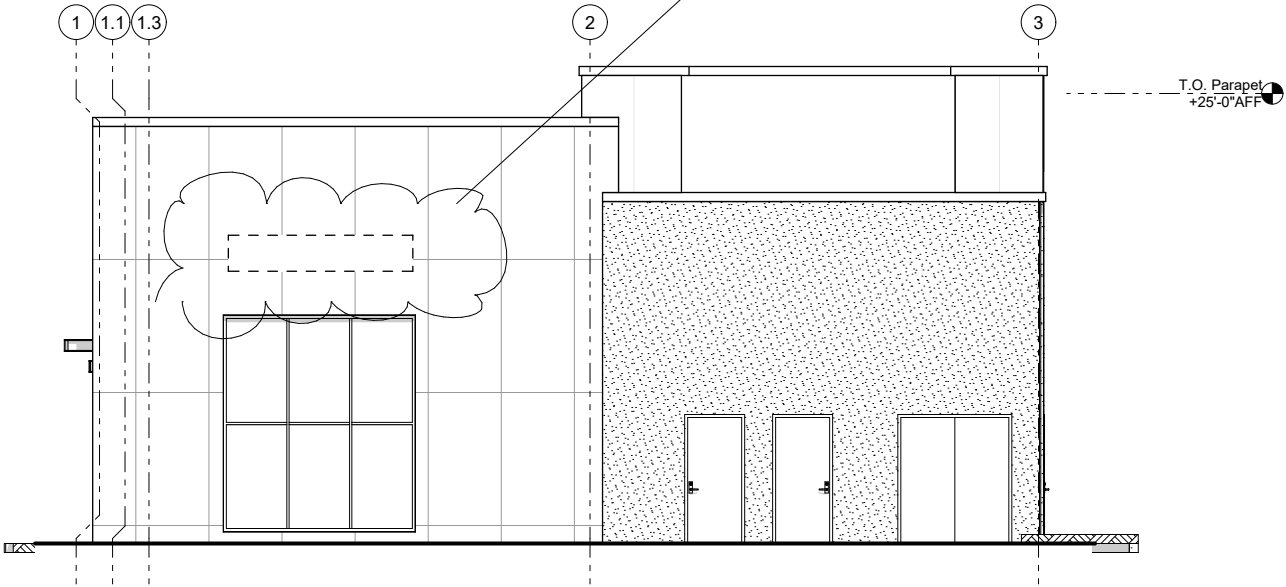
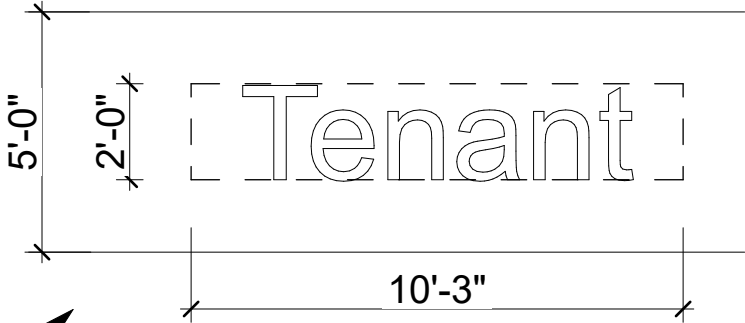
Sign Copy Tenant Name And Logo

Sign Construction/Material Individual channel letters only in non-ferrous matalas. No Cabinet or cloud signs are permitted. No exposed wiring is permitted. All hardware shall be of non-ferrous metals. Vinyl or similar letters and backgrounds are prohibited

Illumination Internally illuminated letters are permitted. Exposed Neon lighting, conduit and raceways are prohibited.

Logo/Letterstyle Logo premitted pending Landlord approval, all other lettering in project font

Color Black or dark grey housing and returns with white face if illuminated



SIGN TYPE F (ST-F) Screen Mounted Tenant Sign
Sign Purpose To Identify tenant occupancy in the building

Sign Location Face mounted on the wall

Number (Maximum) 5

Orientation Paralell to wall facing West Parking Lot. Center Justified on Architectural Bump out Above

Maximum Area 20.5 sf

Maximum Sign Height 24" Max.

Maximum Sign Width 10'-3"

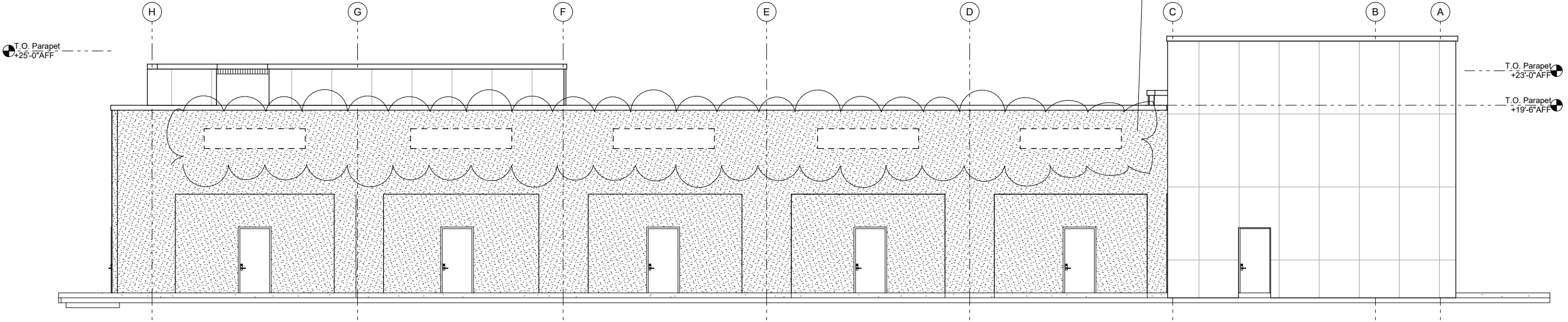
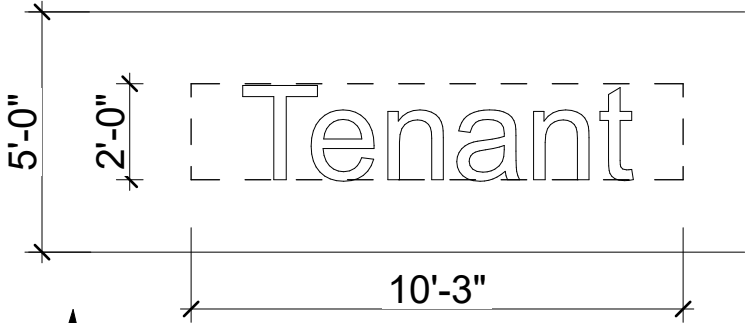
Sign Copy Tenant Name And Logo

Sign Construction/Material Individual channel letters only in non-ferrous matalas. No Cabinet or cloud signs are permitted. No exposed wiring is permitted. All hardware shall be of non-ferrous metals. Vinyl or similar letters and backgrounds are prohibited

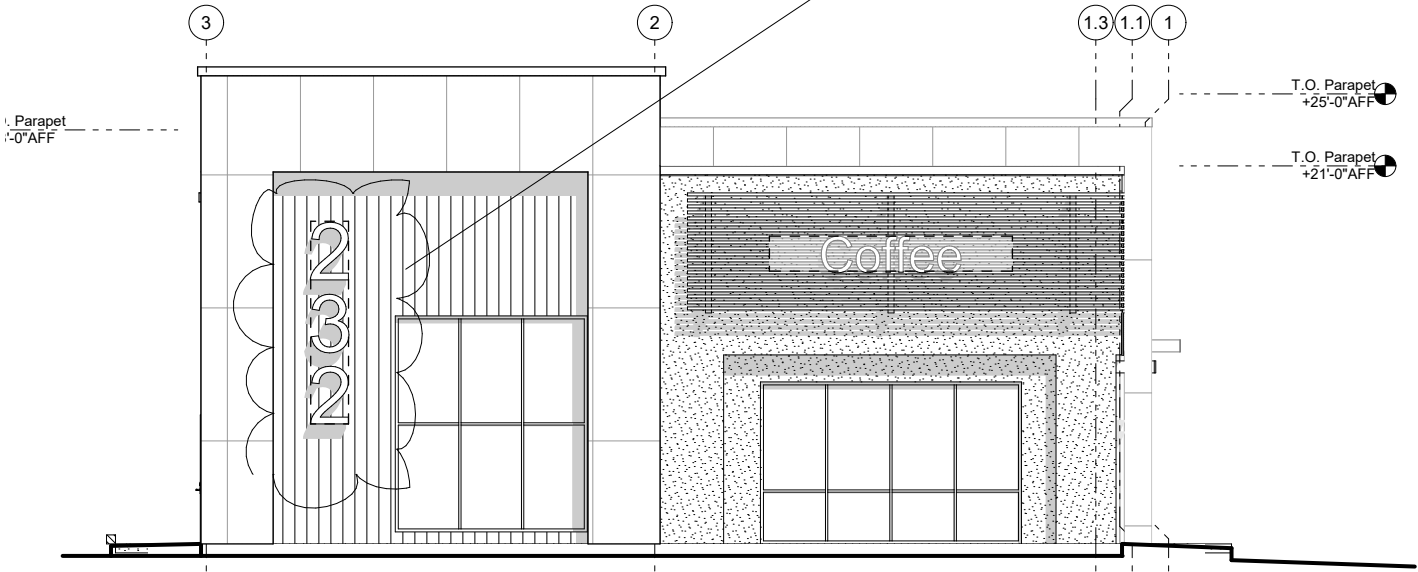
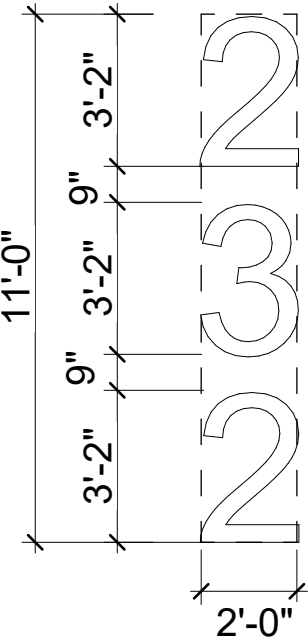
Illumination Internally illuminated letters are permitted. Exposed Neon lighting, conduit and raceways are prohibited.

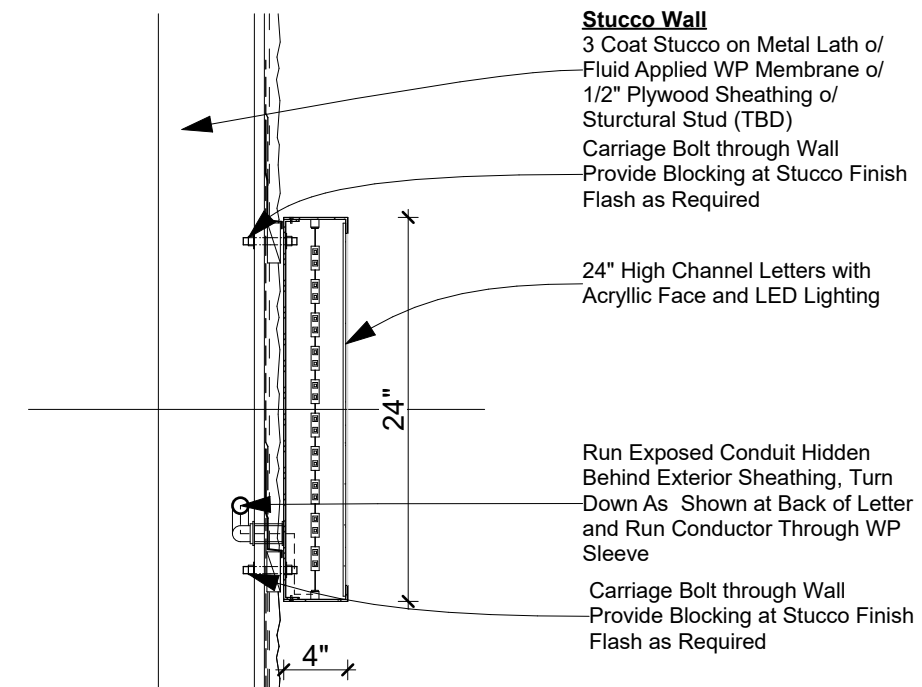
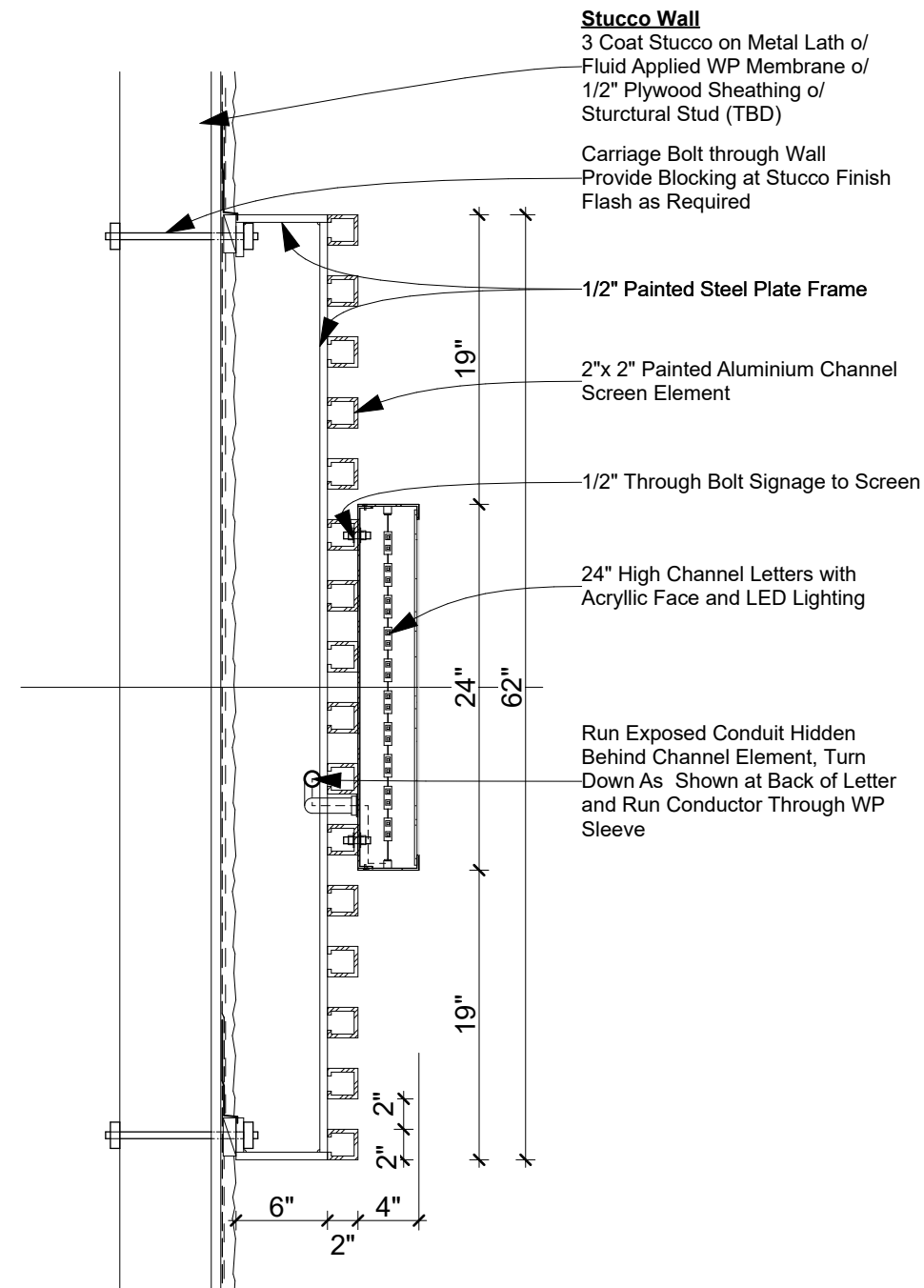
Logo/Letterstyle Logo premitted pending Landlord approval, all other lettering in project font

Color Black or dark grey housing and returns with white face if illuminated



SIGN TYPE G (ST-G)	Screen Mounted Tenant Sign
Sign Purpose	To Identify the building address
Sign Location	Face Mounted on the wall to the left of the east window on the north facade
Number (Maximum)	One
Orientation	Mounted on to wall facing Katella Avenue. Vertically centered on the recessed wall between the window and the bump out
Maximum Area	22 sf (portion of northern facade allowed)
Maximum Sign Height	11'-3" Max.
Maximum Sign Width	2'-1.25"
Sign Copy	Building Address
Sign Construction/Material	Individual channel letters only in non-ferrous metals. No Cabinet or cloud signs are permitted. No exposed wiring is permitted. All hardware shall be of non-ferrous metals. Vinyl or similar letters and backgrounds are prohibited
Illumination	Internally illuminated letters are permitted. Exposed Neon lighting, conduit and raceways are prohibited.
Logo/Letterstyle	Logo premitted pending Landlord approval, all other lettering in project font
Color	Black or dark grey housing and returns with white face if illuminated





1
S13

Screen Attached Sign

NOT TO SCALE

2
S13

Wall Attached Sign

NOT TO SCALE



145 S. Olive Street
Orange, CA 92866
T: 714.639.3958
F: 714.639.1744
dely@dsearchitecture.com

Sign Attachment Details

East Katella Retail Center

232 East Katella, Orange, CA 92866

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S13



145 South Olive Street
Orange, CA 92866
(714) 639-3958

August 12, 2020

Community Development Department
Planning Division
City of Orange
300 East Chapman Avenue
Orange, CA 92866

RE: East Katella Retail Center
232 East Katella Avenue
Orange, CA 92867
DSEA Project # 714

Enclosed is a drawing package for proposed improvements to the existing commercial parcel at 232 East Katella Avenue. The plan includes the demolition of an existing 1-Story commercial structure located within the current zoning setback along with the reconfiguration of a current parking area and decomposed granite storage yard. The existing adjacent lots to the south are residences and are separated from the project site by a 6' masonry wall. The adjacent parcel to the east is a retail center with parking and landscaping located directly adjacent to the back of the new development. A 5' high metal fence is currently located between these parcels and will remain. The adjacent parcel to the west is a Restaurant use and the parking for this business is located immediately to the west of the project parcel, separated by a 5' high masonry wall that extends partially from the northern lot line. There is a reciprocating access egress easement between these two properties for the maneuvering and circulation of the trash truck.

The current parcel extends into the P.R.O.W. by 10'. Under a separate process, the owner is working with Public Works to dedicate an easement of 10' to the City of Orange. This will bring the working northern boundary into alignment with the adjacent parcels. The draft of this document is attached for reference.

The proposed project will include a 6,776 sf, 1 Story Retail/Office Speculative Pad Building with (28) standard spaces and (2) Accessible Parking spaces that comply with Chapter 11B of the CBC. An accessible path of travel will be provided to all tenant locations and back of house entries. In addition, the new driveway will be connected to the adjacent parcel to the west to allow for both parcels to have improved fire access. No alterations to adjacent properties will be made by this project.

August 27, 2018

Page 2

Parking will be screened from Katella to meet the City of Orange Parking Screening Requirements. Landscape will consist of buffer zones with adjacent parcels and a 10' strip in the front setback of the project. A relocated driveway access point will be required. Please refer to Sheet 1.1 for the parking calculations. The project is anticipated to be a general retail and/or an office use. As such per 17.34.060 of the City Municipal Zoning Ordinance, the project requirement for either or both uses would be 5 spaces per 1000 sf. The project GSF is 6,856 sf which would require a minimum of 35 spaces. The project requests that the City accept an administrative adjustment for the parking on this project from the code required 35 to the proposed 30 spaces.

Sincerely,

Jason Chambers
Project Manager
DSEA, Inc.

cc: Sayed H. Ali, Katella Commercial LLC
Doug Ely, DSEA

Encl: East Katella Retail Center - Arch 20200811
232 Katella Existing Site Plan-Topo Survey
232 Katella Preliminary Grading Plan
232 Katella WQMP Preliminary Submittal
232 E. Katella Easement Deed

Design Review No. 5032-21
Potential Conditions of Approval

General Conditions

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 2 (date stamped April 7, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

Street and Utility Improvements

1. All works within public right-of-way and public utility easements will require Encroachment Permits, including sidewalk and driveway constructions, utility main, and lateral and service connections (prior to any grading permit).
2. All public infrastructures, including street sections, sidewalk, driveway apron, and utilities shall comply with City of Orange Standard Plans and Specifications (prior to any grading permit).

3. Utilities serving the development, such as electric, cable television, street lighting and communication shall be installed underground, completed, and approved by the appropriate utility provider (prior to certificate of occupancy).
4. The applicant shall remove unused driveway approaches and restored them to full height curb and gutter, including any sidewalk restoration at the driveway apron. (prior to certificate of occupancy).
5. Driveway aprons shall conform to Public Works Standard Plan 115 for commercial driveway with ADA accessibility (prior to any grading permit).
6. All private ways shall conform to Engineering Standard Plan 108 (prior to any grading permit).
7. All driveway approaches shall conform to ADA standard for wheelchair access conforming to Public Works Standard Plans 115 and 116 (prior to any grading permit).
8. The developer shall be required reconstruct sidewalks to meet along Katella Avenue per City of Orange Engineering Standard Plan 118 (prior to certificate of occupancy).
9. An unobstructed pedestrian access way of 5 feet width shall be maintained at all time for the sidewalk. The unobstructed access shall increase to 6 feet when there is no planting strip between the sidewalk and the street curb (prior to certificate of occupancy).
10. Provide adequate wheelchair accessibility around driveway aprons that do not conform to current ADA standards (prior to certificate of occupancy).
11. Repair any cracked, uneven, or damaged public sidewalk, curb and gutter adjacent to property boundaries (prior to certificate of occupancy).
12. All landscaping shall include the installation of root barriers on the sidewalk side of tree, or where conditions warrant, the installation of Deep Root box as directed by the Community Services Department . (prior to certificate of occupancy)
13. The developer shall be required to install new streetlights, or upgrade existing streetlights, along Katella Avenue as required by City of Orange Traffic Division. Contact Mr. Jimmy Rocha at (714)532-6477 for further details(prior to certificate of occupancy) .
14. The developer shall be required to install street trees along Katella Avenue as required by City of Orange Public Works Department. Contact Tree Services Coordinator, Mr. Micah Jean (714) 532-6470; mjean@cityoforange.org (prior to certificate of occupancy)

Grading

1. The applicant shall submit grading plans and off-site improvements in compliance with City standards for review and approval by the Public Works Director. Plan design, preparation and

submittal shall be per Subdivision's Guidelines and Checklists. All grading and improvements on the subject property shall be made in accordance with the Manual of Grading and Standard Plans and Specifications to the satisfaction of the Public Works Director. The applicant may be required to include Phased Erosion and Sediment Control Plans, Site Demolition Plan, and Utility Plan as parts of the grading plan (prior to any grading permit) .

2. Provide for a minimum of 1-foot freeboard between the finished floor elevation and 100-year storm water surface elevation or public street top of curb (prior to any grading permit).
3. A geotechnical report shall accompany the grading plan review . (prior to any grading permit).
4. The contractor shall obtain a Grading Permit from Public Works Department prior to start of any site demolition, clearing and grubbing, and grading(prior to any grading permit) .
5. Any soil imported or exported shall require a Transportation Permit from Public Works Traffic Division (prior to any grading permit).
6. Upon submittal of grading and improvement plans for plan check, the applicant shall a deposit to cover plan check and inspection services related to the grading activities . (prior to any grading permit).
7. The grading plan shall detail all of the locations where retaining walls will be constructed. Geometric detail of retaining walls shall be shown on the grading plan, including material type, dimensions, backfill, and sub drains. A building permit is also required for retaining walls over 3 feet in height measured from the bottom of the footing to the top of the wall prior to construction. Structural details and design calculations shall be submitted as a separate document and will be reviewed and permitted by City Building Division(prior to any grading permit).
8. Any grading outside of the owner's property boundary shall require the applicant to either obtain a temporary construction easements or permission by adjacent property owners in a form suitable to the Public Works Director (prior to any grading permit).
9. Trash receptacle locations and details shall be included on the Grading Plan. The trash storage area shall be constructed per Public Works Standard Plan 409 (prior to any grading permit).
10. Show all sewer and storm drain lines on the Grading Plan. Other utility lines, such as water lines, may also be shown on Grading Plan for reference (prior to any grading permit).
11. Show all structural BMPs for water quality purpose on Grading Plan. Water quality features shown on the Grading Plan must match WQMP (prior to any grading permit) .
12. The property owner shall maintain in good condition, all on-site driveways where heavy-duty trucks would travel (prior to certificate of occupancy).
13. Prior to building foundation construction, a Certificate Letter of Line and Grade shall be

submitted to Public Works Construction Inspector demonstrating that the site grading and pad elevation are completed according to the grading plan (prior to building permit).

Addressing

1. Prior to issuance of building permits, the applicant shall submit an address number request, including an addressing plan, to Public Works Department for review and approval (prior to building permit).
2. The building closest to the street frontage shall have the lowest address number (prior to certificate of occupancy).
3. For the building in the back, not clear in sight from the street, an illuminated address sign shall be placed in the front (prior to certificate of occupancy).

Water Division

1. Prior to building permit issuance, the applicant shall submit improvement plans to the Water Division for review and approval for any new fire hydrants, domestic water services, fire services, landscape services, and any other proposed improvements or relocations affecting the public water system facilities.
2. Prior to issuance of the certificate of occupancy, the applicant shall be responsible for the installation of necessary fire hydrants and fire services as approved by the Fire Department and Water Division.
3. Prior to building permit issuance, the Water Division shall approve the type and location of landscaping and fire service (backflow prevention) device for proposed City services.
4. Prior to building permit issuance, construction documents shall show that a six foot minimum horizontal clearance and a one foot minimum vertical clearance would be maintained between City water mains, laterals, services, meters, fire hydrants and all other utilities except sewer. The Water Division shall review and approve the construction documents.
5. Prior to building permit issuance, construction documents shall show that an eight-foot minimum clearance is provided between City water mains, laterals, services, meters, fire hydrants, signs, or trees or other substantial shrubs and plants as required by the Water Division. The Water Division shall review and approve the construction documents.
6. Prior to building permit issuance, construction documents shall show that permanent signs, awning, surface water quality management features or other structures are not built over water mains, laterals, services, meters, or fire hydrants as required by the Water Division.

7. Prior to building permit issuance for the first phase of work, the applicant shall be responsible for obtaining approval all of the necessary encroachment permits from affected agencies for all public water construction work.
8. Prior to approval of a water improvement plan, the applicant shall satisfy all water main connection, plan check, and inspections charges as determined by the Water Division.
9. Prior to the issuance of any grading permit, the applicant shall construct all public and/or private improvements to the satisfaction of the Water Division. The applicant may be required to enter into an agreement with the City of Orange, and post security in a form and amount acceptable to the City Engineer and/or Water Division to ensure construction of said improvements.
10. Plans submitted during plan check shall show that the water improvement plans are consistent with the fire suppression plans and or fire master plan. The applicant's consultant preparing the water improvement plans shall coordinate their plans with the consultant preparing the fire suppression plans and/or fire master plan so that their designs concur.
11. Plans submitted during plan check shall show that the minimum separation requirements are met and that each of the various designer's plan sets match. The applicant's consultant preparing the improvement and utility plans shall coordinate their plans with the consultants preparing the landscape, architectural, surface water quality management, fire master and/or fire suppression plans so that their designs are consistent.
12. At least fourteen calendar days prior to commencing construction, the applicant's civil engineer shall prepare and provide product material submittals consistent with the water improvement plans for all proposed public water system facilities to the Water Division per the City of Orange General Water Construction Notes for review and approval.
13. Prior to issuance of certificate of occupancy, the applicant shall furnish and install individual pressure regulators on new services where the incoming pressure exceeds eighty-pounds per square inch.

Fire

1. Plans submitted for Building Plan Review shall comply with the California Fire Code as amended by the City and as frequently amended and in effect at the time of application for Building Permit. **Onsite fire department access will require easement recording prior to issuance of Building Permit and shall be reviewed by Fire prior to approval.**

Water Quality

1. For developments with Food Service Establishments - Prior to the issuance of building permits the applicant shall identify the location of the grease interceptor and provide

evidence to the Building Official that the design meets and is consistent with the City's latest adopted building codes.

2. Prior to City approval of the landscape plans, the applicant shall review the approved Water Quality Management Plan and ensure the proposed landscape plans are consistent with the project grading plans. The plans must show the proposed storm water treatment Best Management Practices such as bioretention planters, drywells, permeable pavers, and any other proposed surface water quality BMPs.
3. Prior to the issuance of any grading permits the applicant shall submit a Priority Project WQMP for review and approval to the Public Works Department that:
 - a. Prioritizes the use of Low Impact Development principles as follows: preserves natural features; minimizes runoff and reduces impervious surfaces; and utilizes infiltration of runoff as the method of pollutant treatment. Infiltration BMPs to be considered include the use of permeable materials such as concrete and concrete pavers, infiltration trenches, infiltration planters, and other infiltration BMPs as applicable,
 - b. Incorporates the applicable Site Design, Routine Source, Structural Control and Low Impact BMPs as defined in the Model Water Quality Management Plan and Technical Guidance Document,
 - c. Maintains the hydrologic characteristics of the site by matching time of concentration, runoff, velocity, volume and hydrograph for a 2-year storm event,
 - d. Minimizes the potential increase in downstream erosion and avoids downstream impacts to physical structures, aquatic and riparian habitat,
 - e. Generally describes the long-term operation and maintenance requirements for structural and Treatment Control BMPs,
 - f. Identifies the entity or employees that will be responsible for long-term operation, maintenance, repair and or replacement of the structural and Treatment Control BMPs and the training that qualifies them to operate and maintain the BMPs,
 - g. Describes the mechanism for funding the long-term operation and maintenance of all structural and Treatment Control BMPs,
 - h. Includes a copy of the forms to be used in conducting maintenance and inspection activities,
 - i. Meets recordkeeping requirements (forms to be kept for 5 years).
 - j. Includes a copy of the form to be submitted annually by the project owner to the Public Works Department that certifies that the project's structural and treatment BMPs are being inspected and maintained in accordance with the project's WQMP.
4. Prior to the issuance of certificates for use of occupancy, the applicant shall demonstrate the following to the Public Works Department:

- k.** That all structural and treatment control best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with the approved plans and specifications,
 - l.** That the applicant is prepared to implement all non-structural BMPs described in the Project WQMP,
 - m.** That an adequate number of copies of the project's approved final Project WQMP are available for the future occupiers.
5. Prior to the issuance of certificates for use of occupancy or final signoff by the Public Works Department, the applicant shall demonstrate to the satisfaction of Public Works, that the preparer of the WQMP has reviewed the BMP maintenance requirements in Section V of the WQMP with the responsible person and that a copy of the WQMP has been provided to that person. A certification letter from the WQMP preparer may be used to satisfy this condition.
 6. Prior to issuance of building permits, the applicant shall review the approved Water Quality Management Plan (WQMP) and grading plan to ensure the structure's downspouts or drainage outlet locations are consistent with those documents. Copies of the building or architectural plans specifically showing the downspouts and drainage outlets shall be submitted to the Public Works Department for review.
 7. The project applicant shall maintain all structural, treatment and low impact development BMPs at the frequency specified in the approved WQMP. Upon transfer of ownership or management responsibilities for the project site, the applicant shall notify the City of Orange Public Works Department of the new person(s) or entity responsible for maintenance of the BMPs.

Crime Prevention

1. Prior to building permit issuance, construction plans shall show that all structures shall comply with the requirements of Municipal Code (Chapter 15.52 Building Security Standards), which relates to the use of specific hardware, doors, windows, lighting, etc (Ord. No. 7-79). Architect drawings shall include sections of the Ordinance that apply under "Security Notes". An "Approved Products List 1/08" of hardware, windows, etc is available upon request.
2. Security and design measures that employ Defensible Space concepts shall be utilized in development and construction plans. These measures incorporate the concepts of Crime Prevention through Environmental Design (CPTED), which involves consideration such as placement and orientation of structures, access and visibility of common areas, placement of doors, windows, addressing and landscaping.



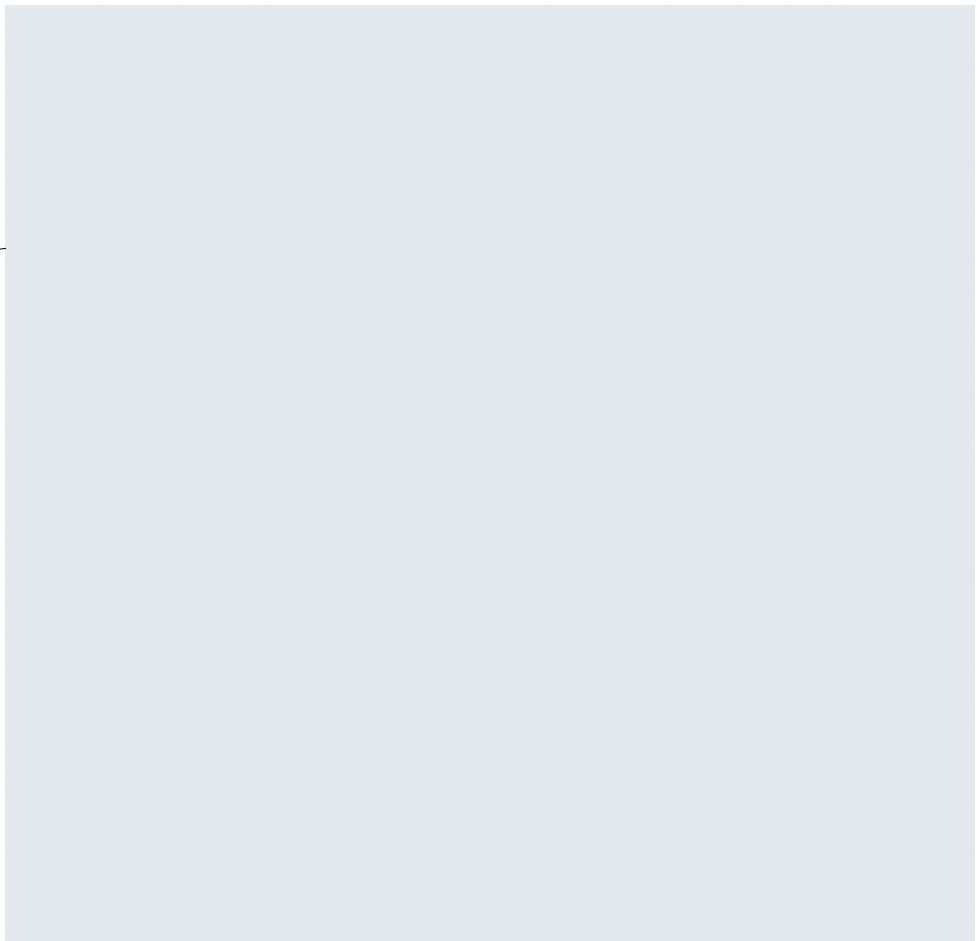
Wood Inset At Front
RESYSTA COMPOSITE WOOD SIDING



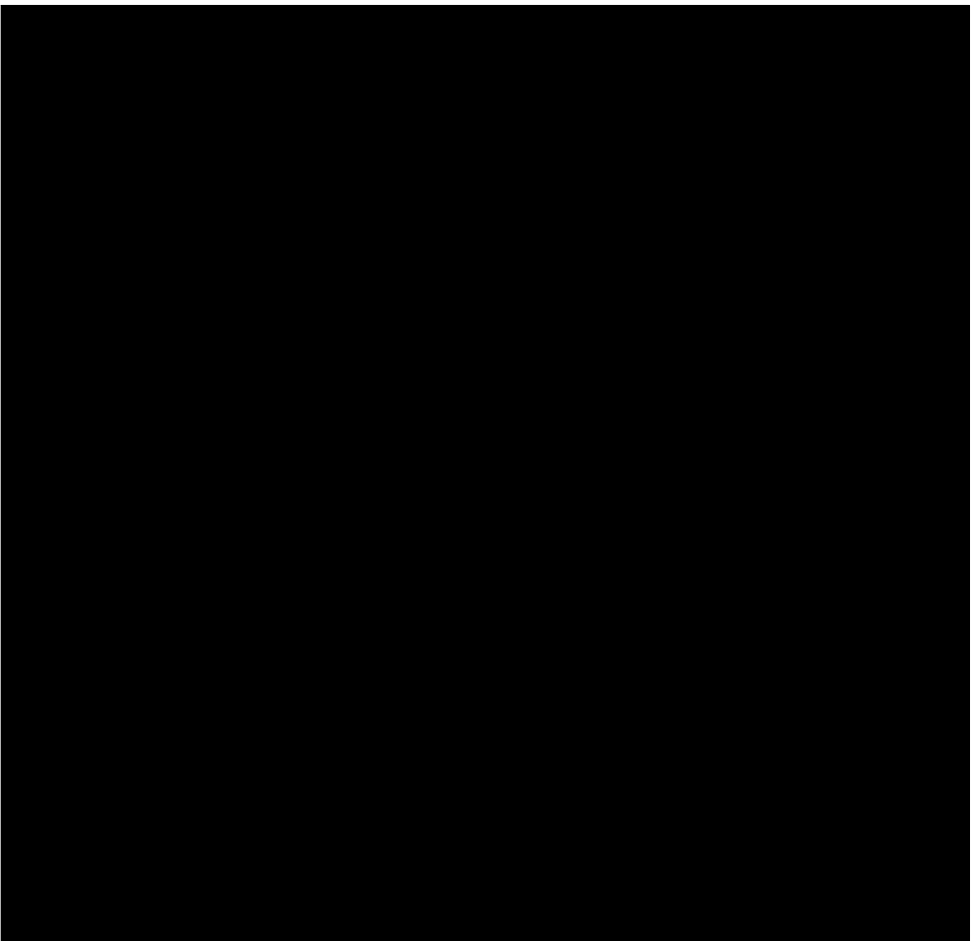
METAL CHANNEL AT SIGNAGE
1"x1/2" CHANNEL @ 4" O.C. WELED TO BLACK PAINTED STEEL
PLATE SUPPORT STRUCTURE



1 PRESENTATION NORTH ELEVATION
A6.1 NOT TO SCALE



ALUCOBOND MAGNOLIA ACM
ALUCOBOND PLUS ALUMINIUM
COMPOSITE METAL PANEL SYSTEM OVER
WEATHERPROOF MEMBRANE
ALTERNATE:
SMOOTH WHITE 3 COAT
OMEGA 432 STUCCO



STOREFRONT/COPING/PTD STEEL
KAWNEER BLACK #29 ALUMINIUM
STOREFRONT FINISH
(BRAKE METAL TO MATCH AT COPING AND
STEEL SUPPORTS)



STUCCO GREY INFILL
OMEGAFLEX 3 COAT STUCCO - 426 30/30 SAND FINISH



2 PRESENTATION SOUTH ELEVATION
A6.1 NOT TO SCALE

Color Board

East Katella Retail Center

New Retail Center

232 E. Katella Ave., Orange CA 92867

Plotted on: 4/13/2021 at 11:54 AM P:014 E:Katella Commercial/714 BIM-CAD Files/714 Arch/CAD Models/714 E-Katella DR - Comments.rvt

4/13/2021

A6.1