# AGENDA

# Design Review Committee

## July 08, 2021

### Notice and Call of a Special Meeting 5:30 PM Regular Session

**City Council Chamber**
**300 E. Chapman Avenue**
**Orange, CA 92866**

CAROL FOX
Chair

ROBERT IMBODEN
Vice Chair

ANNE MCDERMOTT
Committee Member

TIM MCCORMACK
Committee Member

MARY ANNE SKORPANICH
Committee Member

Anna Pehoushek
Assistant Community Development Director

Mary Binning
Sr. Assistant City Attorney

Jessica Wang
Administrative Assistant

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Welcome to the Design Review Committee Meeting. Regular meetings of the City of Orange Design Review Committee are held the first and third Wednesday of each month at 5:30 p.m.

### Agenda Information

The agenda contains a brief general description of each item to be considered. Written materials relating to an item on the agenda that are provided to the Design Review Committee (DRC) after agenda packet distribution and within 72 hours before it is to consider the item will be made available for public inspection in the City Clerk's Office located at 300 E. Chapman Avenue, Orange, during normal business hours; at the DRC meeting; and made available on the City's website.

### Public Participation

Design Review Committee meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at www.cityoforange.org.

Pursuant to Government Code Section 54954.3, members of the public may address the Design Review Committee on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

**1) In-person**

To speak on an item on the agenda, complete a speaker card indicating your name and address, and identifying the agenda item number or subject matter you wish to address. The card should be given to City staff prior to the start of the meeting. General comments are received during the "Public Comments" section at the beginning of the meeting. No action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker unless a different time limit is announced. It is requested that you state your name for the record, then proceed to address the Committee. All speakers shall observe civility, decorum, and good behavior.

*(Continued on page 2)*

**2) Written Public Comments via e-mail or eComment**

Members of the public can submit their written comments electronically for the DRC's consideration by emailing them to DRCpubliccomment@cityoforange.org with the subject line "Public Comment Item # (insert the corresponding item number)" or "Public Comment Non-agenda Item" for general public comments. The public can also submit written comments on the City's eComment page. Please visit the City's website at www.cityoforange.org, click on Current City Council Agenda, then click the eComment link for this meeting. To ensure distribution to the DRC prior to consideration of the agenda, we encourage the public to submit comments by 3:00 p.m. the day of the meeting. All public comments received for this agenda will be provided to DRC Members, posted on the City's website, and compiled as part of the record.

**3) Public Comments via recorded voicemail message**

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Design Review Committee and the caller's position will be summarized in the minutes.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

ADA Requirements: In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours in advance of meeting will enable the City to make arrangements to assure accessibility to this meeting.

***REMINDER: Please silence all electronic devices while the DRC is in session.***

## APPEAL PROCEDURE

Any final determination by the Design Review Committee may be appealed, and such appeal must be filed within 15 calendar days after the action is taken. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of $1,000.00.

The Community Development Department, upon filing of said appeal, will set petition for public hearing before the City Planning Commission at the earliest possible date.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Design Review Committee at, or prior to, the public hearing.

**NOTICE IS HEREBY GIVEN, pursuant to Section 54956 of the California Government Code, that a Special Meeting of the City of Orange Design Review Committee is hereby called for the following purpose:**

## 1. OPENING

## 1.1 CALL TO ORDER

## 1.2 PLEDGE OF ALLEGIANCE

## 1.3 ROLL CALL

## 2. PUBLIC COMMENTS

Opportunity for members of the public to address the Committee on matters not listed on the agenda which are within the subject matter jurisdiction of the DRC, provided that NO action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker.

## 3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

**3.1. Approval of meeting minutes of the Design Review Committee of the City of Orange for the June 2, 2021 Regular Meeting.**

**Recommended Action:**

Approve minutes as presented.

**Attachments:** Staff Report
June 2, 2021 Regular Meeting minutes

## 4. NEW AGENDA ITEMS

**4.1. Design Review No. 5000-20, Brock Residence, 274 S. Center Street**

**A proposal for exterior modifications to a historic single-family residence, including demolishing a portion of the one-story rear section of the house and replacing it with a 359 square foot first floor addition, demolishing a second floor deck and replacing it with a 107 square foot second floor attic and stair access, constructing a 320 square foot basement, and removing one of two front doors and replacing it with a window.**

**Recommended Action:**

Final determination from the Design Review Committee.

**Attachments:**
Staff Report
Attachment 1 Vicinity Map
Attachment 2 Site Photographs
Attachment 3 Aerial Photographs
Attachment 4 Historic Resource Survey Form
Attachment 5 Letter of Justification
Attachment 6 Description of Modifications to Front Window
Attachment 7 Project Plans

**4.2. Design Review No.5021-21, Pearce Residence, 428 N. Lemon Street**

**A proposal demolish a non-contributing rear addition, construct a new 242 square foot addition, and relocate the front door of an existing single-family residence. The property is a contributing resource to the Old Towne Historic District.**

**Recommended Action:**

Final Determination by the Design Review Committee.

**Attachments:**
Staff Report
Attachment 1 - Vicinity Map
Attachment 2 - Architectural Plans date stamped 4.25.2021
Attachment 3 - Site Photographs
Attachment 4 - Excerpt from 1922_1950 Sanborn Fire Insurance Map
Attachment 5 - DPR Form for 428 N. Lemon Street

**4.3. Design Review No. 5031-21, Chapman Olive Residence, 321 N. Olive Street**

**A proposal to partially demolish a non-contributing rear addition, construct a new 38 square foot addition, and rehabilitate the front porch of an existing single-family residence. The property is a contributing resource to the Old Towne Historic District.**

**Recommended Action:**

Final Determination by the Design Review Committee.

**Attachments:**
Staff Report
Attachment 1 - Vicinity Map
Attachment 2 - Project Narrative
Attachment 3 - Architectural Plans date stamped 6.2.2021
Attachment 4 - Site Photographs
Attachment 5 - DPR Form for 321 N. Olive Street

## 5. ADJOURNMENT

The next Regular Design Review Committee meeting will be held on Wednesday, July 21, 2021 at 5:30 p.m., in the Council Chamber.

I, Jessica Wang, Administrative Assistant, of the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Orange Main Public Library at 407 E. Chapman Avenue, Police facility at 1107 North Batavia, and uploaded to the City's website www.cityoforange.org.

Date posted: July 1, 2021

# Agenda Item

## Design Review Committee

**Item #:** 3.1. 7/8/2021 **File #:** 21-0378

**TO:** **Chair and Members of the Design Review Committee**

**THRU:** **Anna Pehoushek, Assistant Community Development Director**

**FROM:** **Jessica Wang, Administrative Assistant**

## 1. SUBJECT
Approval of meeting minutes of the Design Review Committee of the City of Orange for the June 2, 2021 Regular Meeting.

## 2. SUMMARY
Submitted for your consideration and approval are the minutes of the above meeting.

## 3. RECOMMENDED ACTION
Approve minutes as presented.

## 4. ATTACHMENTS
- June 2, 2021 Regular Meeting minutes.

# Agenda Item

## Design Review Committee

**Item #:** 3.1. 7/8/2021 **File #:** 21-0378

**TO:** **Chair and Members of the Design Review Committee**

**THRU:** **Anna Pehoushek, Assistant Community Development Director**

**FROM:** **Jessica Wang, Administrative Assistant**

## 1. SUBJECT
Approval of meeting minutes of the Design Review Committee of the City of Orange for the June 2, 2021 Regular Meeting.

## 2. SUMMARY
Submitted for your consideration and approval are the minutes of the above meeting.

## 3. RECOMMENDED ACTION
Approve minutes as presented.

## 4. ATTACHMENTS
- June 2, 2021 Regular Meeting minutes.

**MINUTES - DRAFT**

# City of Orange

**Design Review Committee**

June 02, 2021

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## 1. OPENING

The Design Review Committee of the City of Orange, California convened on June 2, 2021 at 5:30 p.m. in a Regular Meeting in the Council Chamber, 300 E. Chapman Avenue, Orange, California and various teleconference locations.

## 1.1 CALL TO ORDER

Chair Fox called the meeting to order at 5:31 p.m.

## 1.2 PLEDGE OF ALLEGIANCE

Chair Fox led the flag salute.

## 1.3 ROLL CALL

**Present:** Fox, Imboden, McDermott, McCormack, and Skorpanich
**Absent:** None

## 1.4 PUBLIC COMMENTS

None.

## 2. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

**2.1. Approval of meeting minutes of the Design Review Committee of the City of Orange for the May 19, 2021 Regular Meeting.**

ACTION: A motion was made by Committee Member Skorpanich, seconded by Committee Member Imboden to approve the May 19, 2021 meeting minutes based on the following Condition:
1. Staff shall refer to the meeting recording to clarify the motion language used for Condition #1 of item 2.2.

The motion carried by the following vote:
**Ayes:** Fox, Imboden, McDermott, McCormack, and Skorpanich
**Noes:** None
**Absent:** None

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## 3. CONTINUED ITEMS

### 3.1. Administrative Design Review No. 0151-20, Reigel Residence, 1025 E. Palm Avenue (Continued from the March 3, 2021 Regular Design Review Committee Meeting)

**A proposal to construct a 1,877 square foot, two-story addition to an existing single-family residence and construct a new 1,428 square foot, two-story detached garage. The project has been referred to the Design Review Committee by the Community Development Director for final determination pursuant to Orange Municipal Code (OMC) Section 17.10.070.E.4.**

The Committee discussed the following:

- Landscape
- Lighting
- Roof materials and pitch
- Planter width
- Screening
- Belt bands on building and garage
- Window glazing
- Floor area-ratio and mass

A motion was made by Committee Member Skorpanich, seconded by Committee Member McCormack, to approve Design Review No. 0151-20, Reigel Residence, subject to the Findings and Conditions in the staff report with the additional Conditions:

1. The roof on the one-story portion of the garage shall be asphalt shingles or metal roofing to match the front porch
2. The glass will be center mounted in the window frame
3. The laundry room window shall have obscured glass
4. The trees along the west property line shall be Leylandi Cypress to match Cypress trees on the adjacent property and will match the spacing of the neighboring trees
5. There shall be a belt band to cover the seams of the vertical siding and house below the attic vent and at the next seam below that, as shown in the drawing
6. A similar belt band will be used to cover the butted up lengths of the vertical siding at the height of the shed roof on the garage

The motion carried by the following vote:

**Ayes:** Fox, Imboden, McDermott, McCormack, and Skorpanich
**Noes:** None
**Absent:** None

## 4. ADJOURNMENT

There being no further business, the meeting adjourned at 6:20 p.m.

The next Regular meeting is scheduled for Wednesday, June 16, 2021 at 5:30 p.m. in the Council Chambers and various teleconference locations.

# Agenda Item

## Design Review Committee

**Item #:** 4.1. 7/8/2021 **File #:** 21-0344

**TO:** **Chair and Members of the Design Review Committee**

**THRU:** **Anna Pehoushek, Assistant Community Development Director**

**FROM:** **Marissa Moshier, Historic Preservation Planner**

## 1. SUBJECT

Design Review No. 5000-20, Brock Residence, 274 S. Center Street

## 2. SUMMARY

Final determination from the Design Review Committee.

The applicant proposes exterior modifications to a historic single-family residence, including demolishing a portion of the one-story rear section of the house and replacing it with a 359 square foot first floor addition, demolishing a second floor deck and replacing it with a 107 square foot second floor attic and stair access, constructing a 320 square foot basement, and removing one of two front doors and replacing it with a window.

## 3. BACKGROUND INFORMATION

Applicant/Owner: Erich and Eraina Brock

Property Location: 274 S. Center Street, Old Towne Historic District

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Single-Family Residential (R-1-6)

Existing Development: 1,509 square foot historic single-family residence and 272 square foot garage

Associated Application: None

Previous DRC Project Review: None

## 4. PROJECT DESCRIPTION

The project includes the following components:

- Demolition of 229 square feet at the rear of the building and replacement with a 359 square foot one-story addition. The addition has a low-sloped roof with wood siding and wood windows.
- Demolition of the second floor deck and construction of a 107 square foot attic and stair access at the second floor. The addition is placed below the eaves of the historic roof with a gable roof that follows the slope of the second floor roof. The addition has wood siding and

wood windows.

- Construction of a 320 square foot basement under the new addition.
- Removal of one of the two front doors and replacement with a wood window.

## 5. EXISTING SITE

The site is developed with a 1,509 square foot single-family residence and 272 square foot detached garage. The house is two stories with two one-story additions at the rear. Based on information provided by the previous property owner, the applicant believes the house was divided into two units in the mid-20th century. It is currently a single-family residence and is a contributor to the Old Towne Historic District.

## 6. EXISTING AREA CONTEXT

The property is located on the west side of S. Center Street in a residential area of the Old Towne Historic District. Surrounding properties include a mix of single-family residences and duplexes and are zoned Single-Family Residential (R-1-6). The majority of the surrounding properties are contributors to the historic district.

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

Staff has reviewed and provided comments on multiple revisions to the plans since the application was submitted in January 2020. Inaccuracies in the plans may remain, but after the prolonged staff review, the plans have been deemed acceptable for the DRC's review.

Issue 1: Second Floor Stair Access and Attic

Although second floor additions in the Old Towne Historic District are unusual, in this case, the proposed addition is appropriately scaled to the historic building and will not be visible from the street. The addition uses compatible materials and will allow the existing historic roof, eaves, and brackets to remain. Removal of the second floor deck also improves privacy for neighboring properties. With these considerations, the second floor addition is consistent with the Historic Preservation Design Standards.

Issue 2: Demolition and First Floor Addition

The house has a series of one-story additions at the rear. The oldest section has a shed roof, wood siding, and brackets matching the two-story portion of the house. It was likely a service porch extension that was filled in to create habitable space over time. The next section, proposed for demolition, has a nearly flat roof, wood siding, and wood windows that appear to have been salvaged from a different building. Although aerial photographs are not very clear, this section of the building does not appear to be present in a 1938 photograph of the property (Attachment 3). It may be present in a 1947 aerial photograph. In addition, based on information provided by the previous property owner, the applicant believes this section of the house was added in the mid-20th century, when the house was divided into two units. This section is in poor condition and does not contribute to the architecture of the house or to an understanding of the period of significance of the historic district.

With this information, staff believes it is reasonable to move forward with demolition and replacement of this section of the building to allow remodeling. The applicant is proposing an addition with a similar low-sloped roof, wood siding, and wood windows. The size, placement, and materials of the addition are compatible with the historic house.

Issue 3: Removal of Second Front Door

The applicant removed trim around the existing second front door and uncovered original framing, which indicates that the door likely replaced a window matching the flanking windows that remain on the front elevation. See Attachment 6 for photographs of the original framing exposed. The second door may have been added when the house was converted into two units.

The applicant proposes to replace the door with a wood window similar to the flanking smaller windows, consistent with physical evidence from the building. The existing door to the north will remain.

## 8. ADVISORY BOARD RECOMMENDATION

Not applicable to a Design Review application.

## 9. PUBLIC NOTICE

On June 24, 2021, the City sent a notice of the Design Review Committee meeting to consider the project to a total of 84 property owners and tenants within a 300-foot radius of the project site and persons specifically requesting notice, as required by Orange Municipal Code 17.08.040 for additions to second stories within a historic district. The project site was posted with the notice on that same date.

## 10. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guideline 15531 (Class 31 - Historical Resource Rehabilitation/Restoration). The project consists of demolition of non-contributing sections of the building, construction of compatible additions, and minor exterior modifications that are consistent with evidence from the building. The proposed project is compatible with the character of the Old Towne Historic District and will not negatively impact the historic building in conformance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (*SOI Standards*) and the Historic Preservation Design Standards for Old Towne. There is no public review required for a Categorical Exemption.

## 11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.G.1).

  The proposed project is in conformance with the Historic Preservation Design Standards for Old Towne, which are the prescriptive design criteria for projects within the Old Towne Historic District. The additions are compatible with the historic building, located at the rear of the building, and will not significantly alter or obscure character-defining features. The mass and scale of the additions are appropriate for the size of the historic building and for the character of the Historic District. The modifications to the front elevation are consistent with physical evidence from the building and maintain the existing windows on the building.

- In any National Register Historic District, the proposed work complies with the Secretary of the Interior's Standards and Guidelines (SOI Guidelines) (OMC 17.10.07.G.2).

Projects found to be in conformance with the Old Towne Design Standards are generally considered to be in conformance with the SOI Standards. In conformance with Standard 2, the existing historic materials will be preserved to the greatest extent feasible and the historic character of the property will be retained. In conformance with Standards 9 and 10, the additions are appropriately differentiated from the historic building and will not destroy historic materials or features that characterize the property. The additions could be removed in the future without impairing the form or integrity of the house. The project also will not substantially alter or impair the character of the Historic District as a whole. It is in conformance with the SOI Standards.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.G.3).

  Projects located within the Old Towne Historic District must comply with the Historic Preservation Design Standards for Old Towne and SOI Standards (as applicable). As described above, the proposed work conforms with these design standards.

## 12. CONDITIONS

The approval of this project is subject to the following conditions:

1. All construction shall conform in substance and be maintained in general conformance with plans labeled as Attachment 7 Project Plans in the staff report, including modifications required by the conditions of approval, and as approved by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
4. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits may be cause for revocation of this permit.
6. If not utilized, project approval expires twenty-four months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060. The Planning entitlements expire unless Building Permits are pulled within 2 years of the original approval.

## 13. ATTACHMENTS

- Attachment 1 Vicinity Map
- Attachment 2 Site Photographs
- Attachment 3 Aerial Photographs

- Attachment 4 Historic Resource Survey Form
- Attachment 5 Letter of Justification
- Attachment 6 Description of Modifications to Front Window
- Attachment 7 Project Plans

# Agenda Item

## Design Review Committee

**Item #:** 4.1. 7/8/2021 **File #:** 21-0344

**TO:** **Chair and Members of the Design Review Committee**

**THRU:** **Anna Pehoushek, Assistant Community Development Director**

**FROM:** **Marissa Moshier, Historic Preservation Planner**

## 1. SUBJECT

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## 11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.G.1).

  The proposed project is in conformance with the Historic Preservation Design Standards for Old Towne, which are the prescriptive design criteria for projects within the Old Towne Historic District. The additions are compatible with the historic building, located at the rear of the building, and will not significantly alter or obscure character-defining features. The mass and scale of the additions are appropriate for the size of the historic building and for the character of the Historic District. The modifications to the front elevation are consistent with physical evidence from the building and maintain the existing windows on the building.

- In any National Register Historic District, the proposed work complies with the Secretary of the Interior's Standards and Guidelines (SOI Guidelines) (OMC 17.10.07.G.2).

Projects found to be in conformance with the Old Towne Design Standards are generally considered to be in conformance with the SOI Standards. In conformance with Standard 2, the existing historic materials will be preserved to the greatest extent feasible and the historic character of the property will be retained. In conformance with Standards 9 and 10, the additions are appropriately differentiated from the historic building and will not destroy historic materials or features that characterize the property. The additions could be removed in the future without impairing the form or integrity of the house. The project also will not substantially alter or impair the character of the Historic District as a whole. It is in conformance with the SOI Standards.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.G.3).

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## 12. CONDITIONS

The approval of this project is subject to the following conditions:

1. All construction shall conform in substance and be maintained in general conformance with plans labeled as Attachment 7 Project Plans in the staff report, including modifications required by the conditions of approval, and as approved by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.
3. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
4. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits may be cause for revocation of this permit.
6. If not utilized, project approval expires twenty-four months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060. The Planning entitlements expire unless Building Permits are pulled within 2 years of the original approval.

## 13. ATTACHMENTS

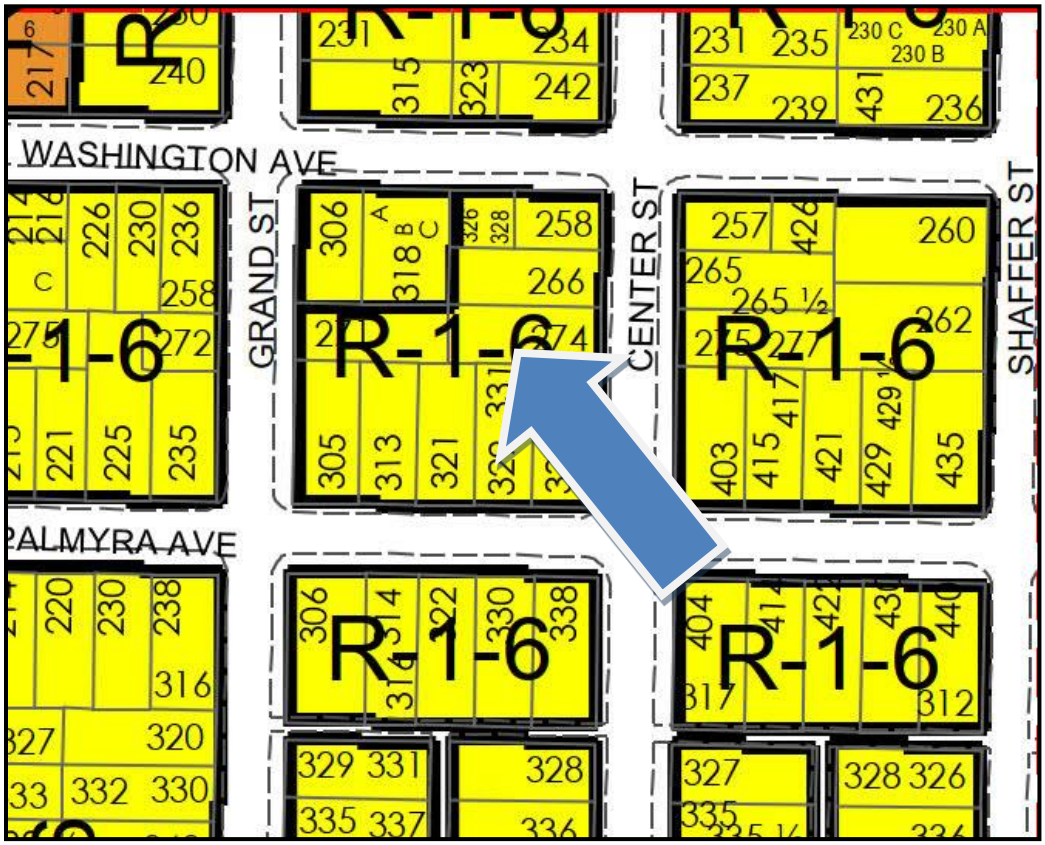
- Attachment 1 Vicinity Map
- Attachment 2 Site Photographs
- Attachment 3 Aerial Photographs

- Attachment 4 Historic Resource Survey Form
- Attachment 5 Letter of Justification
- Attachment 6 Description of Modifications to Front Window
- Attachment 7 Project Plans

# Vicinity Map

## 274 S. Center Street

## DRC No. 5000-21



**City of Orange**
**Community Development Department**

Project Street Elevation

Project East Elevation

North Elevation

North Elevation

East Elevation

South Elevation

South Elevation

266 S. Center

335 E. Palmyra

275 S. Center

264 S. Center

403 Palmyra

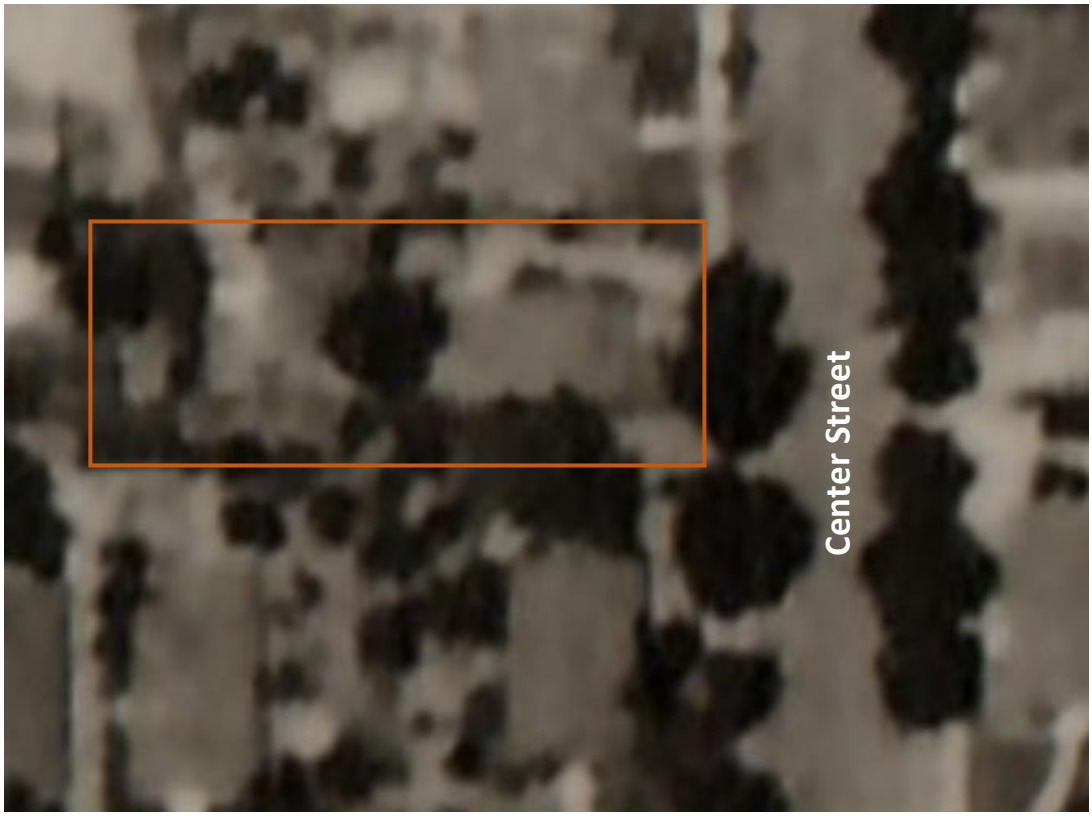



*Figure 1 1938 Aerial, County of Orange Historical Aerial Imagery, https://www.ocgis.com/ocpw/historicalimagery/index.html*

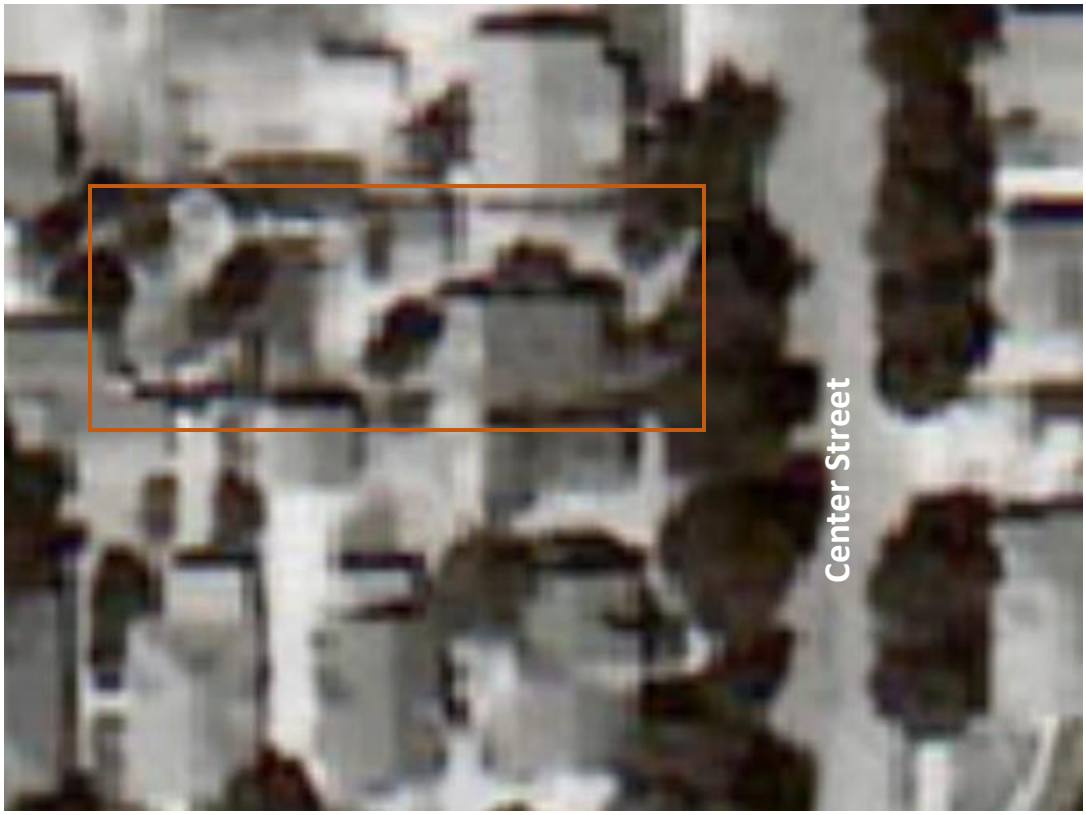



*Figure 2 1947 Aerial, County of Orange Historical Aerial Imagery, https://www.ocgis.com/ocpw/historicalimagery/index.html*

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**PRIMARY RECORD**

| | |
|---|---|
| Primary # | 30-158946 |
| HRI # | 038312 |
| Trinomial | ORA |
| NRHP Status Code | 1D |

Other Listings:
Review Code: Reviewer: Date:



*Resource Name or #: (Assigned by Recorder) CENTER_S_274__APN_390-397-08

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☑ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 274 - S CENTER ST , # City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone ' mE/ mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boudnaries. Continues on Pg.3.)

Materials: Frame - Wood siding

This is a full two-story home with single, front-facing gable roof. House is sheathed in clapboard. A small shed overhang forms a full-width porch beneath and is supported by tapered piers. Double door entry indicates duplex usage of house. Ornamental purlins grace the eaves. Lattice work is located in the uppermost portion of the front gable.

*P3b. Resource Attributes: (List attributes and codes) (HP2)--Single family property

*P4. Resources Present: ☑ Building ☐ Structure ☐ Object ☐ Site ☑ Element of District ☐ District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) 2005

*P6. Date Constructed/ Age and Source:

1915 c

☑ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D. Matsumoto

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded:

April, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005) Historic Resources Survey. AEGIS (1991) Historic Building Inventory Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments: ☐ NONE ☐ Location Map ☑ Continuation Sheet(s) ☑ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

DPR 523A (1/95) *Required Information

*Resource Name or #: (Assigned by Recorder) CENTER_S_274__APN_390-397-08

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES B4. Present Use: RES

*B5. Architectural Style: Craftsman

*B6. Construction History: (Construction date, atlerations, and date of alterations) Date of Construction: 1915 c ☑ Historic ☐ Prehistoric ☐ Both

*B7. Moved? ☑ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Early Settlement (c. 1870 - 1920) Applicable Criteria: AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: Good Condition - No apparent change to original structure.

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

***Resource Name or #:** (Assigned by Recorder) CENTER_S_274__APN_390-397-08

**Recorded by:**
D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

**Date Recorded:** April, 2005

☑ Continuation ☐ Update

**Years Surveyed:** 1982, 1991, 2005

**Listed in National Register:** 1997

**Description of Photo:** 1991

**General Plan:** LDR **# of Buildings:** 1

**Planning Zone:** R-2-6 **# of Stories:** 2

**Lot Acre:** 0.15 **# of Units:** 1

**Principal Building Sqft:** 1467

**B6. Construction History (Continued from Pg.2):**

**B13. Remarks (Continued from Pg.2):**

**P3a. Description (Continued from Pg.1):**

January 18, 2021
City of Orange Community Development Department
300 E Chapman Ave
Orange, CA 92866
Attn: Design Review Committee
Letter of Justification: 274 S. Center Street

Background
The Property was built in 1915. Over the years, several modifications were made to sub-divide the house into two residences. These modifications created an unusual floor plan that makes daily living uncomfortable and quite challenging.

Proposal:
We propose to create a more user-friendly and functional residence to meet the needs of our family while respecting the historic value and maintaining the design elements and character of the house. To achieve this, we prefer the house remain a single-family residence, the interior (steep) stairway be relocated to the rear of the house to create a larger open-concept family room, and re-organize interior features/design aspects to maximize and promote a living space that better serves our family.

The home's existing footprint will remain the same with exception to a minor single-level addition to the rear north/west corner. There will be a small addition to the rear second floor that serves to cover the new (much less steep) stairway. This addition is minimal and was carefully designed to reflect and contribute to the home's original architecture and design features.

During the de-construction and rebuilding phases, inappropriate and structurally deficient aspects will be replaced with new construction that meet current building codes and regulations. Furthermore, the front picture window will be re-established by removing an in-appropriately installed front door and replacing it with a historically matching wood window assembly.

Conclusion:
We conclude that the proposed modifications will serve in two ways:

- the changes will dramatically improve our functional and practical living space needs

- the changes are consistent with Historic District Design standards and will beautify the home and contribute to the surrounding Old Towne area

# Center Front Door Was A Window

**Rationale/Evidence:**

- **The lower window sash, along the bottom of the window assembly, was cut in the center to make room for the installation of a door frame.**
- **The lath and plaster was removed under the sash to make room form the door frame.**
- **The cuts on the lath are rough and jagged indicating they were cut subsequent to original construction.**
- **The footer plate was cut to accommodate the installation of the door frame and threshold.**

**NOTE: The door moldings were temporarily removed to expose the evidence of the modification from window to door. All moldings were reinstalled.**

GENERAL NOTES:

1. THE GENERAL BUILDING PERMIT AND PLAN CHECK SHALL BE PAID FOR AND OBTAINED BY THE GENERAL CONTRACTOR OR THE OWNER-BUILDER. ALL OTHER PERMITS SHALL BE PAID FOR AND OBTAINED BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE FOR THEIR PORTION OF THE WORK.
2. NO SUBSTITUTIONS WILL BE MADE WITHOUT THE OWNER'S PRIOR WRITTEN APPROVAL.
3. THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK. THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY.
4. THE DESIGNER(s) DOES NOT WARRANT NOT GUARANTEE, EITHER EXPRESSED OR IMPLIED, ANY PRODUCT THAT HAS BEEN MENTIONED OR IDENTIFIED BY THEIR TRADE NAME IN THESE PROJECT DOCUMENTS.
5. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED, OR REQUIRED BY ANY BUILDING AND/ OR SAFETY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN IN THE PROJECT DOCUMENTS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK. ANY DISCREPANCIES IN THE PROJECT DOCUMENTS, DISCREPANCIES BETWEEN EXISTING STRUCTURES AND PROPOSED WORK, OR DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING STRUCTURES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER(s) PRIOR TO COMMENCING WITH ANY WORK.
7. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS OF THEIR WORK AND OTHER TRADES WORK TO PROPERLY FIT TOGETHER.
8. ALL TRADES WILL, AT ALL TIMES, KEEP THE PROJECT AND THE PROJECT SITE FREE FROM THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE PROJECT REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, SURPLUS MATERIAL AND LEAVE JOB IN A BROOM CLEAN CONDITION.
9. BEFORE SUBMITTING A BID, BIDDERS SHOULD CAREFULLY EXAMINE THE PROJECT DOCUMENTS, VISIT THE SITE OF THE WORK AND FULLY INFORM THEMSELVES AS TO ALL EXISTING CONDITIONS AND LIMITATIONS. PLANS AND NOTES ARE INCLUDED FOR GENERAL INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT ALL CONDITIONS PRESENT AT THE SITE.
10. THE PROJECT DOCUMENTS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR WILL SUPERVISE AND DIRECT THE WORK AND HE WILL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
11. ALL OMISSIONS OF CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE PROJECT DOCUMENTS WILL BE BROUGHT TO THE ATTENTION OF THE DESIGNER(s) OR ENGINEER OF RECORD (IF APPLICABLE) BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
12. PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY COUNTY OF LOS ANGELES BUILDING CODE.

SITE PREPARATION:

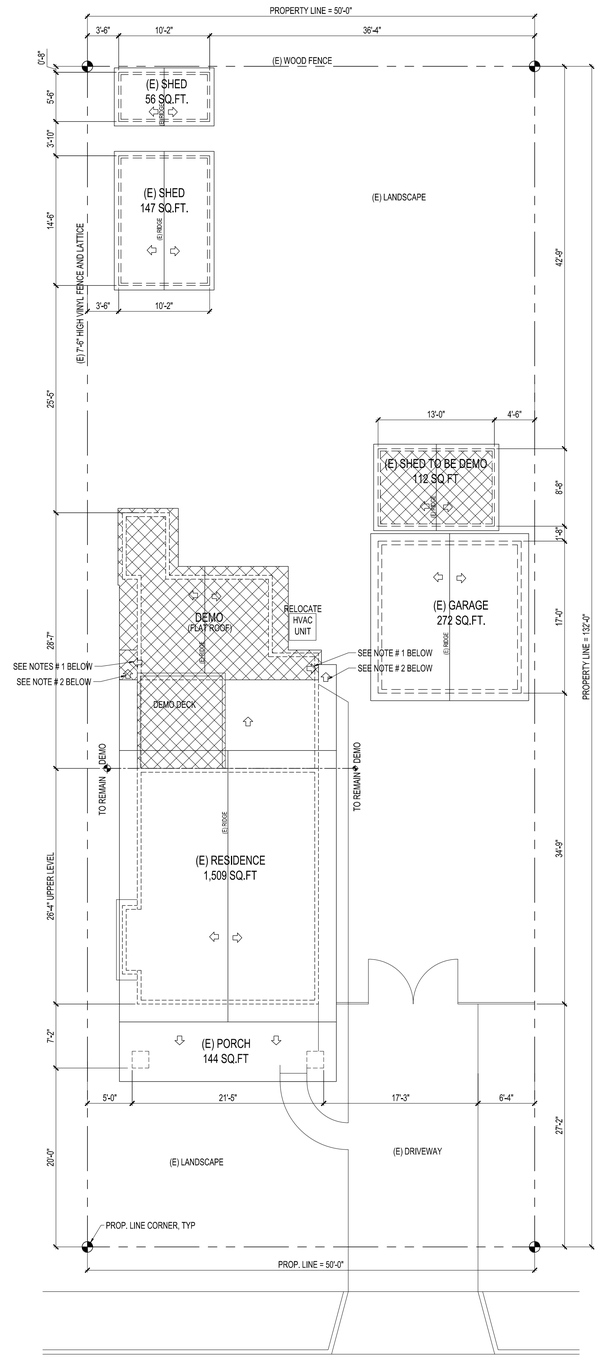
1. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN IN THE PROJECT DOCUMENT OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR WILL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF WORK FOR THIS PROJECT.
2. FINISH GRADE SHALL SLOPE A MINIMUM OF 2 PERCENT FOR A MINIMUM OF 6" WITHIN THE FIRST 10 FEET AWAY FROM NEW CONSTRUCTION.
3. ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING.
4. EXCAVATIONS OR FILLS FOR BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
5. NO FILL OR OTHER SURCHARGE LOADS SHALL BE PLACED ADJACENT TO ANY BUILDING OR STRUCTURE UNLESS SUCH BUILDING OR STRUCTURE IS CAPABLE OF WITHSTANDING THE ADDITIONAL LOADS CAUSED BY THE FILL OR SURCHARGE.
6. EXISTING FOOTINGS OR FOUNDATIONS WHICH MAY BE AFFECTED BY ANY EXCAVATION SHALL BE UNDERPINNED ADEQUATELY OR OTHERWISE PROTECTED AGAINST SETTLEMENT AND SHALL BE PROTECTED AGAINST LATERAL MOVEMENT.
7. FILLS TO BE USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING OR STRUCTURE SHALL BE PLACED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. A SOIL INVESTIGATION REPORT AND A REPORT OF SATISFACTORY PLACEMENT OF FILL, BOTH ACCEPTABLE TO THE BUILDING OFFICIAL, SHALL BE SUBMITTED (IF REQUIRED BY THE BUILDING OFFICIAL).
8. ALL DEBRIS CREATED DURING DEMOLITION SHALL BE SAFELY DISPOSED OFF-SITE AT LEGALLY OPERATING RECYCLING SITES.

THERMAL AND MOISTURE PROTECTION TITLE 24 REQUIREMENTS:

1. TITLE 24 COMPLIANCE STATEMENT: THE PROPOSED BUILDING (NEW CONSTRUCTION ) WILL BE IN SUBSTANTIAL COMPLIANCE WITH THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS PROVIDED IT IS BUILT ACCORDING TO THE PLANS AND SPECIFICATIONS AND PROVIDED FUTURE IMPROVEMENTS ARE COMPLETED ACCORDING TO THE REQUIREMENTS INDICATED. THE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED TO INCLUDE ALL SIGNIFICANT ENERGY CONSERVATION FEATURES REQUIRED FOR COMPLIANCE WITH THE STANDARDS. (SEE T-24 ENERGY PLANS IF REQUIRED BY CITY INSPECTOR) BUILDING AREAS THAT ARE UNCONDITIONED AND/OR NOT SUBJECT TO THE STANDARDS. ARE INDICATED ON THE PLANS.
2. A "CERTIFICATE OF COMPLIANCE" SIGNED BY THE GENERAL CONTRACTOR SHALL BE GIVEN TO THE BUILDING DEPARTMENT PRIOR TO FINAL INSPECTION STATING THAT THE WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING RESIDENTIAL ENERGY.
3. OPEN EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OF UTILITIES THROUGH THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE.
4. 40 LUMENS PER WATT EFFICIENCY SHALL BE PROVIDED FOR GENERAL LIGHTING IN KITCHEN AND BATHROOMS.

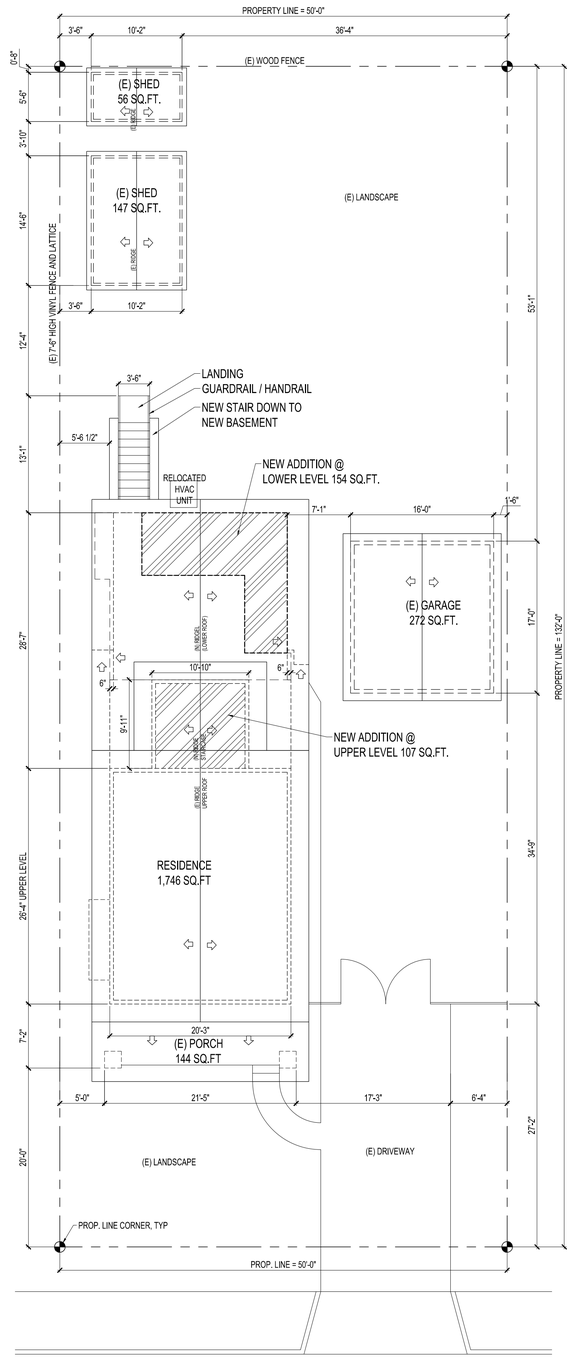
RESIDENTIAL EMERGENCY ESCAPES: (NEW CONSTRUCTION):

1. IN DWELLING UNITS EVERY SLEEPING ROOM BELOW THE FORTH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD, OR EXIT COURT. THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.
2. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET (0.53 M2). THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR.




SITE PLAN (EXISTING) 1/8"=1'-0" NORTH

NOTES:
1. DEMO ROOFING TO BUILT NEW ROOF. SAME STYLE AND ROOF SLOPE FROM RIDGE AT NEW LOCATION (CENTER OF NEW CONSTRUCTION).
2. EXISTING EAVE UNDER "UPPER ROOF" TO REMAIN. REPAIR AS NEEDED. SEE EXISTING NORTH AND SOUTH ELEVATIONS ON SHEET A-7 (EXISTING) AND A-6 (PROPOSED).




SITE PLAN (PROPOSED) 1/8"=1'-0" NORTH

SITE

VICINITY MAP
300' RADIUS
N.T.S.

| | |
|---|---|
| Property address: | |
| 274 S. Center St | |
| Orange, Ca 92866 | |
| APN: | 39039708 |
| Occupancy group | R-1/U |
| Type of Construction | V-B |
| Year built: | 1901 |
| Number of Stories: | 2 |
| Legal Description: | |
| Construction: | Framed |
| Heat Type: | Forced Air |
| Exterior wall: | Wood siding |
| Roof material: | Roof composition |
| Style: | Craftsman |
| Land Use: | SFR |
| Lot size: | 50' x 132' |
| Lot Area: | 6,600 sq.ft. |

Project to comply with the following codes:

| | |
|---|---|
| 2019 CBC | 2019 CPC |
| 2019 CRC | 2019 CEC |
| 2019 CMC | 2019 CFC |

2019 Green Building Standards Code (CGBSC)
And local building codes amendments.

Scope of the work:
Addition of New Basement w/ exterior stairs
Demo and Addition to Lower level
Relocation of staircase
Existing shed to be removed
Remodeling on Lower and Upper levels

General Specifications:

- All new to match existing: Architectural Style, details, roof treatments, eaves, building materials, textures, colors, roof pitches and window treatments.

FLOOR AREAS BY SQUARE FOOTAGE

| | EXISTING | DEMO | NEW | TOTAL |
|---|---|---|---|---|
| 1st. Floor | 976 | 229 | 359 | 1,160 |
| 2nd. Floor | 533 | - | 107 | 640 |
| TOTAL LIVABLE | 1,509 | 229 | 466 | 1,746 |
| | | | | |
| New Basement - net area | - | - | 320 | 320 |
| (E) Garage | 272 | - | - | 272 |
| (E) Shed | 56 | - | - | 56 |
| (E) Shed | 147 | - | - | 147 |
| (E) Shed to be demo | 112 | 112 | - | 0 |
| FAR = FLOOR AREA RATIO | EXISTING = 2,096 / 6,600 = 32% | | PROPOSED = 2,541 / 6,600 = 39% | |
| | | | | |
| NOT INCLUDED IN FAR | | | | |
| 1st Floor Porch | 144 | - | - | 144 |
| 2nd. Floor Deck to be demo | 105 | 105 | - | 0 |
| TOTAL | 249 | 105 | - | 144 |

NOTES:
New attic area on second floor has a top plate about 4'-10" over finished floor level. Not considered livable space.


Henry's CAD / Henry Salzer
Construction Design Drafting

Office address:
1915 E. 6th. St.
Long Beach, Ca. 90802
Cell (562) 225-6442
henrysalzer@aol.com


2-10-21
Henry Salzer
Signature: Date:


Any changes from this drawing are not responsibility of Henry's CAD. The plans, details and ideas contained in this drawings are and shall remain the property of Henry's CAD. The owner / contractor will assume all responsibility for any changes from the original drawings. No part thereof shall be copied, reproduced, disclosed or used for any purpose other than the owner work or project without the written consent of Henry's CAD.
Contractor to verify, all existing property lines, setbacks and existing conditions prior of commencement of work. Special attention to new construction setbacks.
Any discrepancies with the plans must be notified to Henry's CAD. Any discrepancies not reported may be subject to extra cost and timeframe.


Client's Information:
Eranta and Erich Brock
274 S. Center St
Orange, Ca.

Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

| Revision: | By: | Date: |
|---|---|---|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

Drawn by: H.S. Revised by: H.S.
Date: 5-26-2021 Scale: 1/8"= 1'-0"
Job Number: 2019-274

Sheet Title:
Title Sheet
Site Plans
Existing and
Proposed

Sheet ID:
T-1

2016 Green Building Code Requirements For Residential Construction:

Site Development - CGBSC 4.106.3

1. Rain water shall drain a minimum of 6" within 10 feet away from entering into the building.

Electric vehicle (EV) charging for new construction- CGBSC 4.106.4

New construction shall comply with Sections 4.106.4.1 and 4.106.4.2 to facilitate future installation and use of EV charges. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

New one-and two-family dwellings and town-houses with attached private garages. CGBSC 4.106.4.1

For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

Identification CGBSC 4.106.4.1.1

The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

Indoor Water Use - CGBSC 4.303

| Indoor water fixtures must incorporate the fixture flow rates on Section 4.303 | |
|---|---|
| FIXTURE TYPE | FLOW RATE |
| Lavatory faucets | 1.2 gpm @ 60psi (minimum 0.8 gpm at 20 psi) |
| Kitchen faucets | 1.8 gpm @ 60 psi (may temporarily exceed minimum, but not to exceed 2.2 gpm @ 60 psi) |
| Water closets (toilets) | 1.28 gallons per flush (urinals shall not exceed 0.5 gallon per flush) |
| Showerheads | 2.0 gpm @ 80 psi (per shower) |

Outdoor Water Use - CGBSC 4.304.1

New Residential development with an aggregate landscape area equal to or greater than 500 sq. ft. shall comply with a local water efficient landscape or California Department of Water Resources' Model Water Efficient Landscape Ordinance "MWELO" whichever is more stringent.

Rodent Proofing - CGBSC 4.406.1

1. Openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

Construction Waste Reduction - CGBSC 4.408 .2

1. A construction waste management plan shall be submitted at plan check and comply with the Orange County Mandatory Construction and Demolition Recycling Policy and Program.

Building Maintenance and Operation - CGBSC 4.410

1.0 At final inspection, a manual on building maintenance and operation must be provided, which includes all of the following:

1.1 Direction to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.

1.2 Operation and maintenance instructions for:

1.2.1 All equipment and appliances.

1.2.2 Roof and yard drainage including gutters and downspouts.

1.2.3 Space conditioning systems including condensers and air filters.

1.2.4 Landscape and irrigation systems.

1.2.5 Water reuse systems.

1.3 Recycle programs and locations.

1.4 Public transportation and carpool options.

1.5 Educational material on the positive impacts of maintaining indoor relative humidity between 30 and 60 percent.

1.6 Information about water conserving landscape and irrigation design.

1.7 Importance of gutters and downspouts and diverting water at least 5 ft. from buildings.

1.8 Information on routine maintenance such as caulking, painting, grading, etc.

1.9 Information about state solar energy and incentive programs.

1.10 A copy of all special inspection verifications required by the enforcing agency.

Pollution Control - CGBSC 4.504

1. All duct and related distribution component openings must be covered with tape or other approved means to prevent dust accumulation.

2. Adhesives, sealants, and caulks must be meet minimum VOC limits (see VOC Limits Handout).

3. Paints and coatings must meet minimum VOC limits (see VOC Limits Handout).

4. Aerosol Paints and coatings shall meet the Product-Weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520.

5. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

5.1. Carpet and Rug Institute's Green Label Plus Program.

5.2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350).

5.3. NSF/ANSI 140 at the Gold Level.

5.4. Scientific Certifications Systems Indoor Advantage Gold.

6. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.

7. All carpet adhesive shall meet minimum VOC limits (see VOC Limits Handout).

8. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one of the following:

8.1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.

8.2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).

8.3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.

8.4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

9. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

| FORMALDEHYDE LIMIT IN PARTS PER MILLION | |
|---|---|
| Product | Current Limit |
| Harwood plywood veneer core | 0.05 |
| Harwood plywood composite core | 0.05 |
| Particleboard | 0.09 |
| Medium Density Fiberboard | 0.11 |
| Thin Medium Density Fiberboard | 0.13 |

10. Documentation for the items listed above must be made available to your inspector upon request.

Interior Moisture Control - CGBSC 4.505

1. A capillary break shall be installed and shall consist of the following: a 4-inch thick base of ½ inch or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute ACI 302.2R-06. An equivalent slab design by a design professional is acceptable.

Moisture Content of Building Materials - CGBSC 4.505.3

1. Building materials with visible signs of water damage shall not be installed.

2. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content.

3. Moisture content shall be verified in compliance with the following:

3.1 Moisture content shall be determined with either a probe-type or contact-type moisture meter.

3.2 Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.

3.3 At least three random moisture readings shall be performed on wall and floor framing with documentation provided immediately prior to enclosure of the wall and floor framing.

4. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.

5. Wet- applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

Indoor Air Quality and Exhaust - CGBSC 4.506

1. For bathrooms containing a bathtub, shower, or tub/shower combination, a mechanical exhaust fan which exhausts directly from the bathroom must be installed.

2. Fans must be ENERGY STAR compliant and be ducted to terminate outside the building.

3. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible.

3.1 Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.

Environmental Comfort - CGBSC 4.507

1.0 Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1.1 The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J–2011(Residential Load Calculation), ASHRAE handbooks or other equivalent design software methods.

1.2 Duct systems are sized according to ANSI/ACCA 1 Manual D–2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.

1.3 Select heating and cooling equipment according to ANSI/ACCA 3 Manual S–2014 (Residential Equipment Selection) or other equivalent design software or methods.

1.4 Use of alternate design temperatures necessary to ensure the systems function are acceptable.

Orange Police Residential Requirements:

The City of Orange Municipal Code section 15.52 requires that all building within the city meet specific security standards (ord. #7-79). The following items shall be required on any new or remodeled residence(s):

Solid backing on wood door frames at lock mechanism

Strike plate-16 gauge Screws-minimum 3" in wood frame jambs

Operable windows/sliding doors shall have passed a C.M.B.S.O. forced entry test

Exterior deadbolt door locks (including door from garage to residence) shall come from current City of Orange Approved Products List

Exterior pair of doors requires 5/8 inch flush bolts at head & threshold

190º door viewer required at exterior front door(s)

Suite doors inside multi-tenant buildings shall be secured as exterior doors

Address numbers minimum 4", illuminated during all hours of darkness

Lighting for multi-family buildings: Parking-1 fc. Walkways-.25 fc.

CRIME PREVENTION BUREAU (714) 744-7327 or (714) 744-7464

ORANGE CITY GENERAL REQUIREMENTS:

GENERAL REQUIREMENTS:

1. Notes:

a. All new doors and windows must comply with Building Security Standard, Ordinance # 7-79

b. Building address shall be provided on the building in such a position as to be plainly visible and legible from the street. (501.2)

c. Provide survey stakes prior to foundation inspection to verify lot lines (If applicable).

9. A Cal-OSHA permit is required for excavations deeper than 5' and for shoring and underpinning. Contractor to provide a copy of OSHA permit.

Room dimensions (1208)

a. Ceiling heights - habitable space = 7'-6"; kitchen, halls, bathrooms = 7'-0".

b. Minimum floor area = 70 sq. ft., minimum dimension in any direction = 7-ft.; and at least one room = 120 sq. ft. minimum

Light and ventilation:

a. Required glazing = 0.08 x floor area , with openable portion = 0.04 x floor area . (1205, 1203.4.1)

b. A roofed porch over a required window shall have a 7' (2134mm) minimum ceiling height. Any room may be considered as portion of an adjoining room when one-half of the area of the common wall is open and unobstructed; provides a minimum opening = 0.10 x the interior room floor area or 25 sq. ft., whichever is greater.

c. Provide exhaust ventilation at bathrooms or similar rooms. (1203.4.2.1)

d. Yards and Courts - minimum yards = 3-ft.; (6-ft. when windows on both sides), Court shall not be less than 10-ft. (1206)

14. Provide emergency escape from sleeping rooms and basements ()

a. The escape windows shall have a minimum net clear opening of 5.7 sq. ft. (0.53m²), with 24" (610mm) minimum net clear height and 20" (508mm) minimum net clear width. Escape window shall have a finished sill height not more than 44" (1118mm) above the floor. Except: 5 sq. ft net area for the window on the ground level.

b. Bars, grilles or similar devices must not block the min. emergency escape. (1026)

15. Garages (406.1):

a. Garage area shall be limited to 1000 sq. ft. Unless provision of 406.1.2 are met. (406.1.1)

b. No opening allowed from the garage into a room used for sleeping purposes. (406.1.4)

c. 1/2" (16mm) type "x" gypsum board on the garage side of the wall (detail wall and finish to extend to the roof sheathing).

d. 5/8" (16mm) type "x" gypsum board on ceiling of garage where living areas are above. Walls can be protected with 1/2" type "x" gypsum board. (302.4 Ex. 3)

e. Self-closing and tight-fitting, 1-3/4"thick solid-core or 20-minute rated door at the separation wall between the garage and residence. (302.4 Ex. 3; Building Security Standard).

f. The garage floor surface shall be of noncombustible materials or asphalt paving materials. (406.1.3)

g. Provide minimum area, clear width, length and height - contact Planning Department for requirements.

16. Smoke detectors: (CBC 907)

a. Smoke detector(s) in the following locations - in each sleeping area, in the corridor or area giving access to each sleeping area, on each floor and in the basement, in close proximity to the top of the stairway. Where ceiling height of a room open to the hallway exceeds 24", additional smoke detector required.

b. "Smoke detectors shall sound an audible alarm in all sleeping areas of the dwelling unit in which they are located."

c. In new construction, smoke detectors shall receive their primary power from the building wiring and be equipped with a battery back-up. (907.2.10.2)

17. Doors:

a. Minimum door = 32" x 6'-8". (1008.1.1)

b. Provide a landing each side of the door - landing width to match the door width and length of 44". (1008.1.5), Dimension on the plan, threshold = 3/4" maximum. (1008.1.6)

18. Stairways: (1009)

a. Show on plans/details:

1. Provide stairway framing plan.

2. A minimum (36") clear width. (1009.1)

3. A maximum 7.75" rise {4" minimum} and 10" minimum tread. (1009.3 Ex. 4)

4. Stairway landing(s) depth (36") min., shall not exceed 48". (1009.4)

5. A minimum headroom over the stairs of 6'-8". (1009.2)

6. Handgrip portion of handrail shall not be less than 1-1/4" nor more than 2" cross-section diam. Dimension having a smooth surface with no sharp corners.

7. Handrails not less than 34" (864mm) or more than 38" (965mm) above the nosing of tread. (1012.2)

b. Provide complete notes and details for rise, run, handrails, guardrails, etc. (including all structural information and calculations).

c. Provide 1¼"(32mm) to 2"(51mm) handgrip 1½"(38mm) from wall.

d. Handrail(s) shall be continuous the full length of the stairs. Ends shall be returned or terminate in posts.

e. The intermediate railings of stair handrails must be spaced such that a 4" (102mm) sphere cannot pass through any portion of the railing. A 6" (152mm) space is allowed at the triangular space between the risers, tread and bottom rail.

f. Enclosed usable space under interior and exterior stairways shall be protected on the enclosed side as required for one-hour fire-resistive construction.

g. Provide calculations and framing plan for steel stairway.

20. Guards: (1013)

a. Specify a minimum height of 42"(1067mm) with intermediate rails spaced such that a sphere 4.375"(111mm) in diameter cannot pass through; (6"(152mm) allowed at triangular openings formed by riser, tread and bottom rail). (1013.3.exc.5)

b. Provide structural calculations and details (including base connection) - design guard to withstand a lateral force of 200 lb applied at top of rail; and for intermediate rails apply 50 lbs (1'X1' area) lateral force . (1607.7.1)

21. Weather Protection:

a. Provide notes and details for weather-resistive barriers, flashing, counter-flashing, etc. (1503)

b. Detail corrosion-resistant weep screed minimum of 4" above the earth or 2" above paved areas. (2512.1.2)

31. Energy Conservation -Title 24 energy forms & calculations:

f. Provide compliance with lighting requirements in bathrooms & kitchen (40 lumens per watt).

g. Main lighting fixtures installed in the kitchen and bathrooms shall be fluorescent or approved equal, and activated by the first switch in the room.

h. At vaulted ceiling, R-30 insulation requires 2x12-framing depth. To verify the thickness of insulation, please provide specifications for R-30 insulation.

i. When radiant barrier is required, specify it on the roof as well as gable en.

j. Provide Kitchen light worksheet WS-5R.

32. Electrical:

a. See location of electrical service main and sub-panel(s) on plot plan.

b. To verify the size of electrical panel(s), please provide load calculations.

c. Provide one wall switch-controlled lighting outlet in every habitable room, bathroom, hallway, stairway (each level), attached garage, and detached garage with electrical power; and at the exterior side of outdoor entrances or exits. (210-70-a CEC)

d. In all habitable rooms provide receptacle outlets such that no point along the floor line in any wall space is more than 6-ft. (1.83m) from an outlet. Wall space includes any space 2-ft. (610mm) or wider, fixed panels in exterior walls, fixed room dividers (ex. free-standing bar-type counters, railings, etc.). (210-52(a) CEC)

e. At kitchens and dining room (210-52-c CEC):

1. Wall counter space - provide receptacle outlets at each wall counter space 12-in. (305 mm) or wider; and installed so that no point along the wall line is more than 24-in. (305 mm) from an outlet.

2. Island and peninsular counter space - provide at least one receptacle outlet.

3. Provide two or more dedicated 20 Amp small appliance branch circuits. (210-52-b CEC)

f. Provide one receptacle outlet in bathrooms (adjacent to each basin location, and do not install face up), laundry area, hallways (of 10-ft. or more in length), basement, attached garage, and in each detached garage with electric power; at exterior of building (accessible at grade level at the front and back of the dwelling), etc. (210-52 CEC)

g. Reminder - do not install receptacle outlets face up in the working space or countertop. (210-52 CEC)

h. Provide ground-fault circuit-interrupter protection (GFCI) for all 125-volt, single-phase 15- and 20-ampere receptacles installed in bathrooms, kitchens at counter-tops, bar sinks, garages (except dedicated outlets) and outdoors within 6'-6" (1.98m) of grade. (210-8(a) CEC)

i. Provide a dedicated 20 Amp circuit to serve the required bathroom receptacle outlets. (210- 52-d CEC)

j. Provide weather protection for all receptacles installed outdoors. (410-57 CEC)

33. Mechanical:

a. Specify the BTU rating of the heating system. System shall be capable of maintaining a room temperature of 68F (20C.) at a point 3'(914mm) above the floor in all habitable rooms. (CBC 1204.1)

b. Show the mechanical equipment, ductwork being extended into the new area on the plan.

c. Show location and size of combustion air supply ducts or openings to the FAU compartment.

d. Show location of supply & return air vents as well as thermostat.

e. Attic furnaces and cooling equipment shall comply with the following (CMC):

1. Have a 30"x30" (762mm by 762mm) minimum attic access opening within 20-ft. (6096mm) of the equipment.

2. Have a continuous 24" (610mm) wide solid floor access path thereto.

3. Have a 30" (559mm) deep working platform at control side(s).

4. Have an electric outlet and a light fixture (controlled by switch at the access point) at the furnace.

34. Plumbing:

a. At water closet - provide minimum 15" each side of water closet centerline and 24" minimum in front of water closet. Show dimensions on the plans. (CPC)

b. Shower area walls shall be finished with a hard, non-absorbent surface to a height not less than 70" (1778mm) above the drain inlet. Provide shower specifications. (CPC)

c. Provide minimum shower area - 1024-sq. inches, capable of encompassing a 30" circle. (414.7 CPC) Show dimensions on the plans.

d. Provide devices to absorb high pressures resulting from the quick closing of the quick-acting valves from the washer and dishwasher, etc. (CPC)

e. Note on plans:

1. Water closets shall be an ultra low flush type with 1.6 gallons maximum per flush. (402.2 CPC)

2. Control valve for shower or tub-shower shall be of the pressure balance or thermostatic mixing valve type. (418 CPC)

f. Provide an active I.A.P.M.O. research report or approved listing for the 'Spa' tub.


Henry's CAD / Henry Salzer
Construction Design Drafting

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Long Beach, Ca. 90802
Cell (562) 225-6442
henrysalzer@aol.com


2-10-21
Henry Salzer

Signature: Date:


Any changes from this drawing are not responsibility of Henry's CAD. The plans, details and ideas contained in this drawings are and shall remain the property of Henry's CAD. The owner / contractor will assume all responsibility for any changes from the original drawings. No part thereof shall be copied, reproduced, disclosed or used for any other purpose than the specified work or project without the written consent of Henry's CAD.
Contractor to verify, all existing property lines, setbacks and existing conditions prior of commencement of work. Special attention to new construction setbacks.
Any discrepancies with the plans must be notified to Henry's CAD immediately for remedy in order to minimize additional costs and timeframe.


Client's information:
Eratina and Erich Brock
274 S. Center St
Orange, Ca.

Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

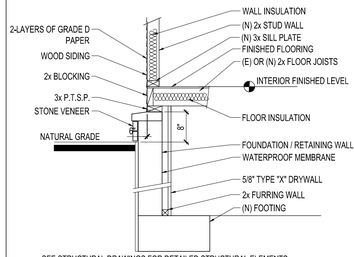
Revision: By: Date:

1
2
3
4
5

Drawn by: H.S.
Revised by: H.S.
Date: 5-26-2021
Scale: none
Job Number: 2019-274

Sheet Title:
General Notes

Sheet ID:
A-1




SEE STRUCTURAL DRAWINGS FOR DETAILED STRUCTURAL ELEMENTS.
(NOT NEEDED AT THIS PHASE) FOR HISTORICAL APPROVAL ONLY.

## SECTION X-X
## NEW BASEMENT

NOT TO SCALE

NOTES:

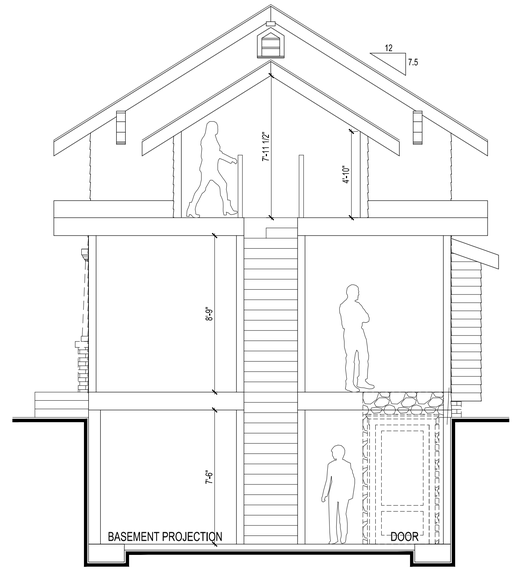
1. INSTALLATION OF NEW EXTERIOR DOORS, WINDOWS AND ARCHITECTURAL FEATURES TO BE PRE APPROVED BY THE CITY STAFF AND / OR DRC OF THE CITY OF ORANGE, CA.
2. GENERAL CONTRACTOR TO USE APPROPRIATE SHORING ON THE REMOVAL OF BEARING WALLS.
3. PROPOSED RETAINING WALL THICKNESS 8" FOR NEW BASEMENT. STRUCTURAL CALCULATIONS MAY SHOW DIFFERENT DIMENSION. STRUCTURAL DRAWINGS TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS FOR THE RETAINING WALL DIMENSIONS.
4. EXTERIOR WOOD SIDING SHALL BE SIMILAR TO EXISTING.
5. NET AREA OF NEW BASEMENT FLOOR PLAN NOT TO EXCEED 499 SQ.FT.
6. USE APPROPRIATED WATERPROOFING MEMBRANE ON BASEMENT WALLS AND FLOOR.
7. USE 2x FLAT FURRED WOOD STUD WALL ON THE CONCRETE WALLS AT BASEMENT LEVEL. USE 1-HR FIRE RESISTIVE 5/8" DRYWALL ON BASEMENT CEILING AND WALLS. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED LUMBER.
8. NO EXTERIOR OPENINGS ALLOWED FOR WINDOWS AT BASEMENT LEVEL.
9. SUMP PUMP(s) SHALL BE LOCATED ON THE LOWEST POINT OF BASEMENT LEVEL FOR PROPER DRAINAGE OF LAUNDRY AREA AND FOR RAIN WATER ON THE EXTERIOR STAIRCASE.
10. USE MINIMUM OF 4" DIAMETER DUCTWORK FOR THE DRYER ON LAUNDRY AREA. VENT TO THE EXTERIOR.
11. DOOR TO BASEMENT SHALL BE A MINIMUM 20 MINUTE FIRE RESISTIVE, SELF CLOSING AND AIRTIGHT SEALED.
12 MINIMUM 6'-8" CLEAR FOR HEADROOM ON EVERY STAIRCASE.

### DOOR SCHEDULE

| SYM | EXISTING NEW | QTY | SIZE WIDTH | SIZE HEIGHT | THICK | TYPE | MATERIAL | HOLLOW SOLID | GLASS | REMARKS |
|---|---|---|---|---|---|---|---|---|---|---|
| 1 | N | 1 | 3'-0" | 6'-8" | 1-3/8" | HINGED | WOOD | S.C. | TEMPERED | BASEMENT ENTRY |
| 2 | E | 1 | 3'-0" | 6'-8" | 1-3/8" | HINGED | WOOD | S.C. | | ENTRY DOOR TO BE REPLACED BY A WINDOW |
| 3 | E | 1 | 2'-8" | 6'-8" | 1-3/8" | HINGED | WOOD | S.C. | TEMPERED | MAIN ENTRY ACCESS |
| 4 | N | 1 | 2'-8" | 6'-8" | 1-3/8" | HINGED | WOOD | S.C. | - | 20 MIN. SELF CLOSING |
| 5 | N | 2 | 1'-6" | 6'-8" | 1" | HINGED | WOOD | S.C. | - | PANTRY |
| 6 | N | 2 | 3'-0" | 6'-8" | 1-3/8" | FRENCH | WOOD | - | TEMPERED | ENTRY DOOR |
| 7 | N | 3 | 2'-8" | 6'-8" | 1-1/4" | HINGED | WOOD | H.C. | - | BEDROOMS, BATHROOM |
| 8 | N | 1 | 2'-0" | 5'-0" | 1/4" | HINGED | GLASS | - | TEMPERED | SHOWER |
| 9 | N | 1 | 2'-0" | 6'-8" | 1-1/4" | HINGED | WOOD | H.C. | - | CLOSET |
| 10 | N | 4 | 2'-6" | 6'-8" | 1-1/4" | HINGED | WOOD | H.C. | - | CLOSET - FRENCH DOORS |
| 11 | N | 1 | 3'-0" | 6'-8" | 1-1/4" | POCKET | WOOD | H.C. | - | BATHROOM |
| 12 | N | 2 | 2'-0" | 4'-0" | 1-3/8" | HINGED | WOOD | H.C. | - | ATTIC |
| 13 | - | - | - | - | - | - | - | - | - | - |
| 14 | - | - | - | - | - | - | - | - | - | - |

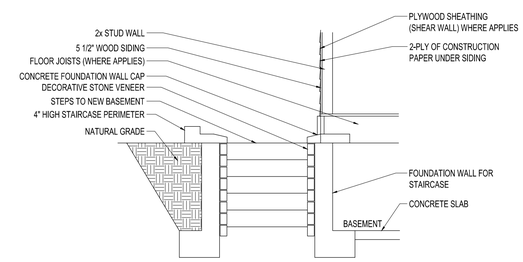
### WINDOW SCHEDULE

| SYM | EXISTING NEW | QTY | SIZE WIDTH | SIZE HEIGHT | TYPE | FRAME | GLAZING | REMARKS |
|---|---|---|---|---|---|---|---|---|
| 1 | E | 2 | 22" | 52" | DOUBLE HUNG | WOOD | - | NOTES: 1. ALL NEW WOOD ELEMENTS ON WINDOWS TO MATCH EXISTING. |
| 2 | E | 1 | 32" | 16" | FIXED | WOOD | TEMPERED | |
| 3 | E | 1 | 24" | 24" | FIXED | WOOD | - | |
| 4 | E | 2 | 22" | 27" | DOUBLE HUNG | WOOD | - | |
| 5 | - | - | - | - | - | - | - | |
| 6 | N | 4 | 52" | 52" | DOUBLE HUNG | WOOD | - | |
| 7 | N | 1 | 30" | 52" | DOUBLE HUNG | WOOD | - | |
| 8 | E | 1 | 30" | 52" | DOUBLE HUNG | WOOD | - | |
| 9 | E | 2 | 30" | 52" | DOUBLE HUNG | WOOD | - | |
| 10 | E | 3 | 22" | 52" | DOUBLE HUNG | WOOD | - | |
| 11 | E | 1 | 22" | 34" | DOUBLE HINGED | VINYL | - | |
| 12 | E | 1 | 25" | 22" | DOUBLE HUNG | WOOD | - | |
| 13 | N | 2 | 26" | 36" | CASEMENT | WOOD | - | |
| 14 | E | 1 | 36" | 30" | DOUBLE HINGED | WOOD | TEMPERED | |
| 15 | E | 1 | 36" | 30" | DOUBLE HINGED | WOOD | - | |
| 16 | N | 1 | 36" | 52" | DOUBLE HUNG | WOOD | - | |
| 17 | E | 1 | 42" | 42" | DOUBLE HINGED | WOOD | - | |
| 18 | E | 2 | 42" | 42" | DOUBLE HINGED | WOOD | - | |
| 19 | E | 1 | 18" | 24" | DOUBLE HUNG | WOOD | - | |
| 20 | E | 1 | 42" | 42" | DOUBLE HINGED | WOOD | - | |
| 21 | E | 1 | 54" | 36" | TRIPLE HINGED | WOOD | - | |
| 22 | E | 1 | 26" | 68" | DOUBLE HUNG | WOOD | - | |
| 23 | - | - | - | - | - | - | - | |



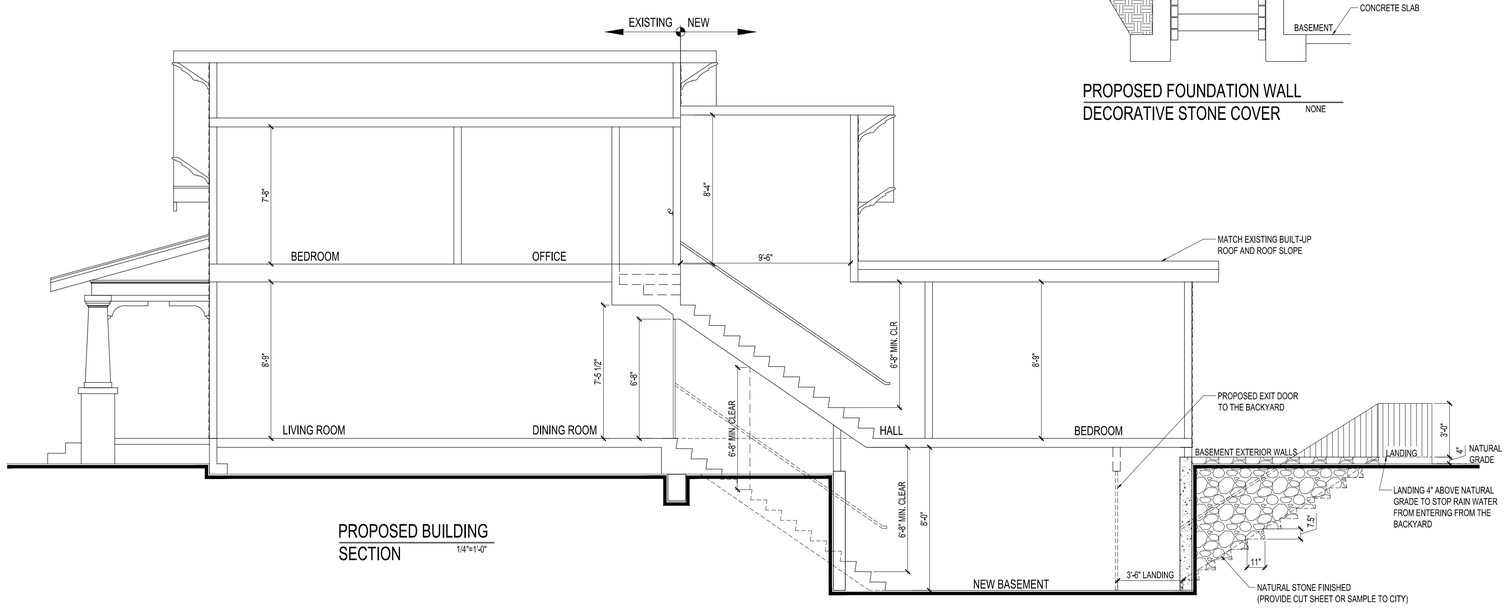

## PROPOSED BUILDING SECTION

1/4"=1'-0"



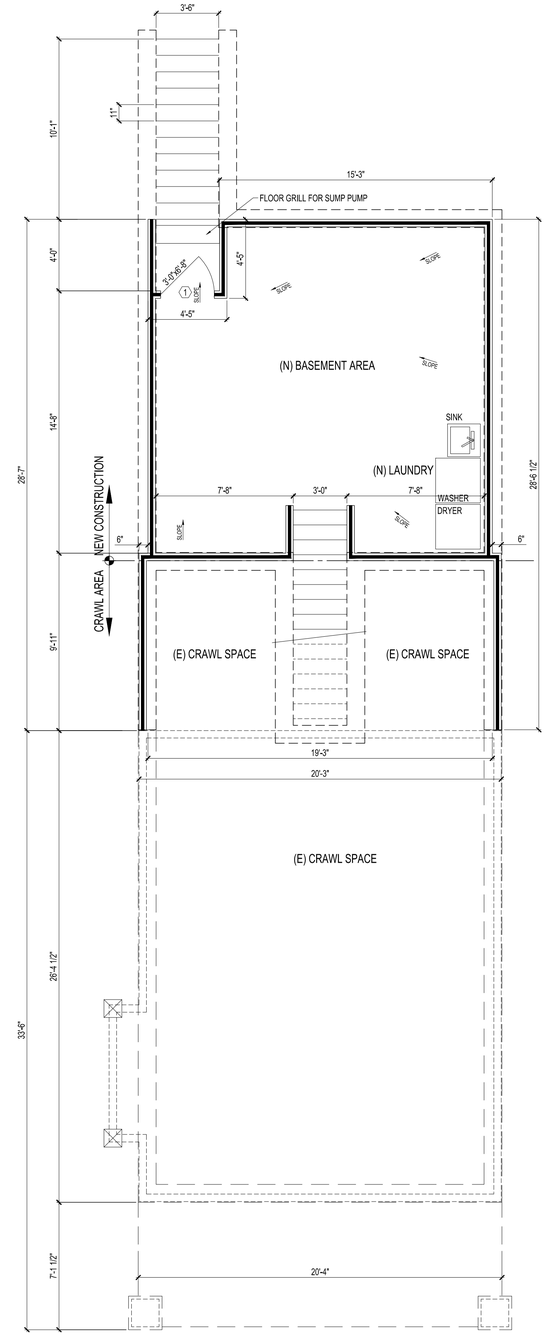

## PROPOSED FOUNDATION WALL DECORATIVE STONE COVER

NONE




## PROPOSED BUILDING SECTION

1/4"=1'-0"




## NEW BASEMENT FLOOR PLAN

1/4"=1'-0"

NORTH


Henry's CAD / Henry Salzer
Construction Design Drafting

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Long Beach, Ca. 90802
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henrysalzer@aol.com


2-10-21
Henry Salzer
Signature: Date:


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Contractor to verify, all existing property lines, setbacks and existing conditions prior of commencement of work. Special attention to new construction setbacks.
Any discrepancies with the plans must be notified to Henry's CAD. Any deviations shall be corrected at the contractor's own expense and responsibility for remedy in order to minimize additional costs and timeframe.


Client's Information:
Eraina and Erich Brock
274 S. Center St
Orange, Ca.

Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

| Revision: | By: | Date: |
|---|---|---|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

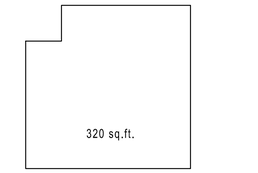
| Drawn by: | Revised by: |
|---|---|
| H.S. | H.S. |

| Date: | Scale: |
|---|---|
| 5-26-2021 | 1/4"= 1'-0" |

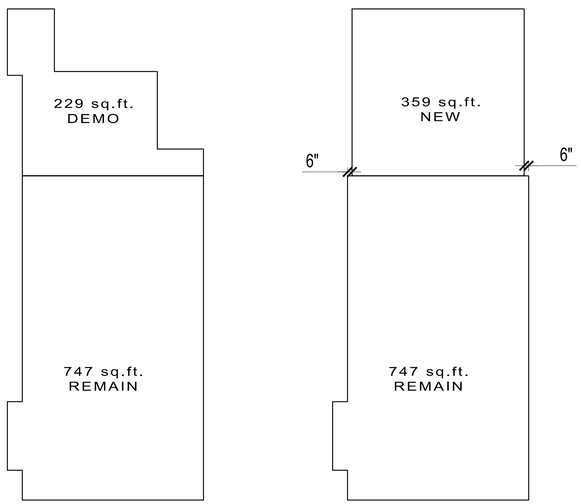
Job Number: 2019-274

Sheet Title:
Proposed Basement Floor Plan, Building Section

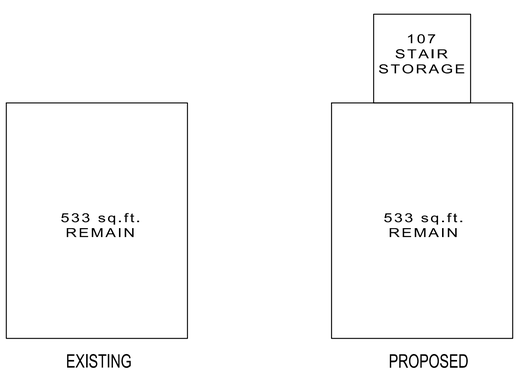
Sheet ID:
A-2




NEW BASEMENT AREA
1/8"=1'-0"
NORTH




FIRST FLOOR AREAS
1/8"=1'-0"
NORTH




SECOND FLOOR AREAS
1/8"=1'-0"
NORTH

| WALL LEGEND | |
|---|---|
| | EXISTING WALL TO BE DEMO |
| | EXISTING WALL TO REMAIN |
| | NEW 2x4 STUD WALL @16" O.C. (U.N.O.) |
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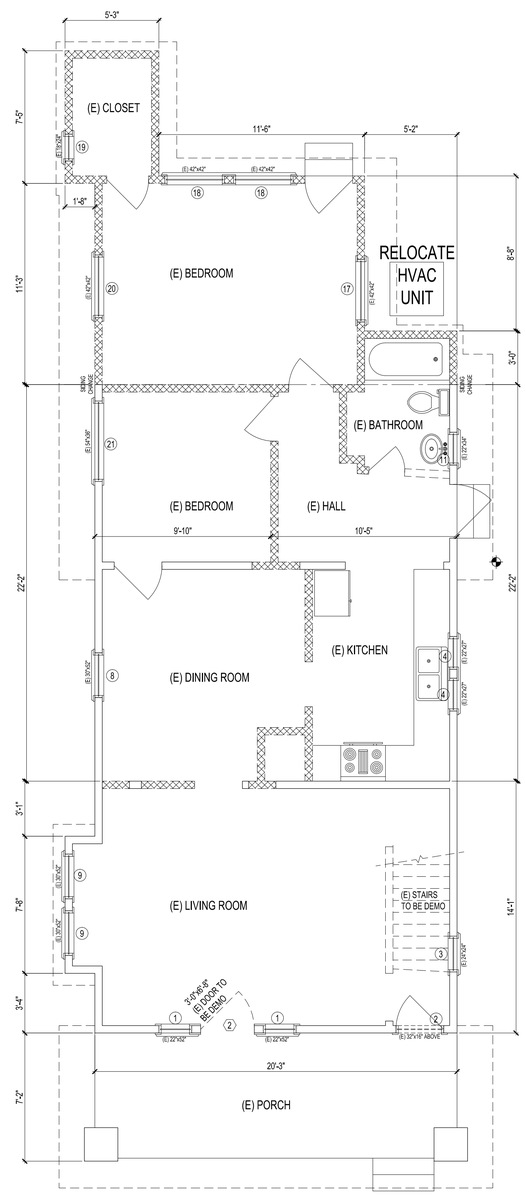
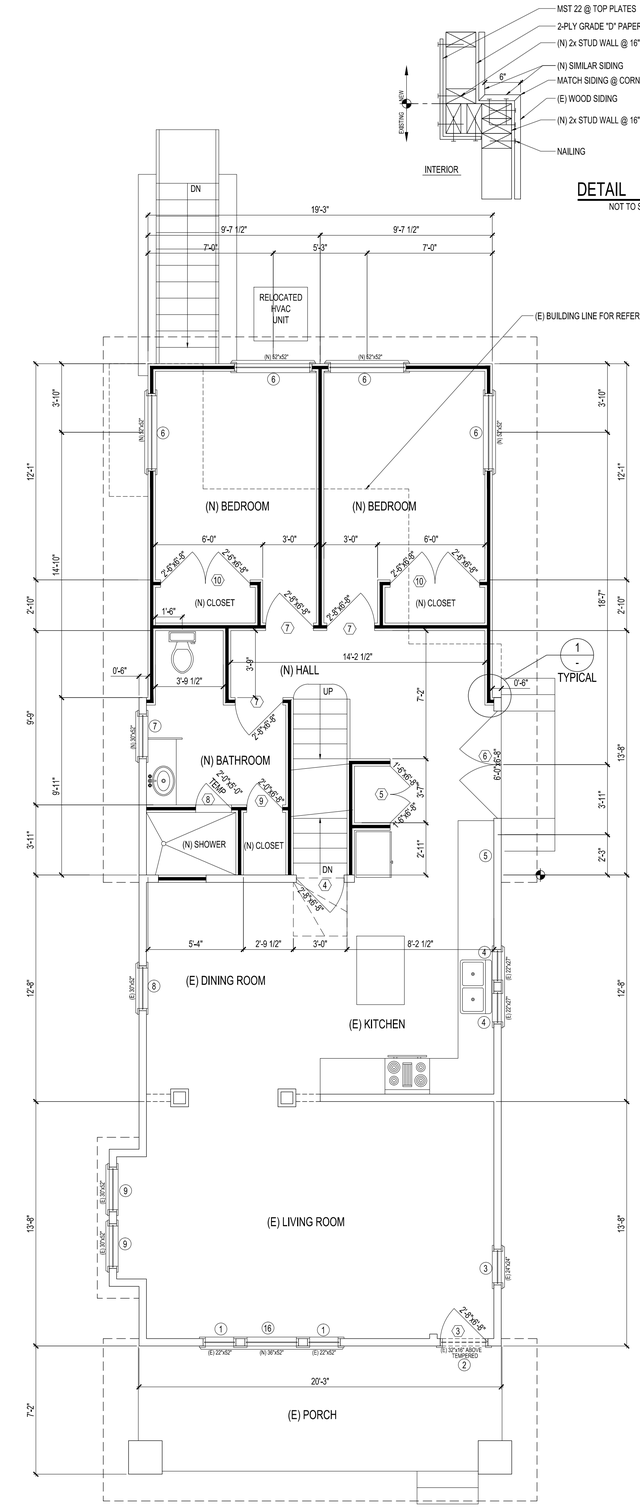



FIRST FLOOR PLAN
(EXISTING / DEMO)
1/4"=1'-0"
NORTH




FIRST FLOOR PLAN
(PROPOSED)
1/4"=1'-0"
NORTH

Henry's CAD / Henry Salzer
Construction Design Drafting

Office address:
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Long Beach, Ca. 90802
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henrysalzer@aol.com

2-10-21
Henry Salzer
Signature: Date:

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Contractor to verify, all existing property lines, setbacks and existing conditions prior of commencement of work. Special attention to new construction setbacks.
Any discrepancies with the plans must be notified to Henry's CAD immediately for remedy in order to minimize additional costs and timeframe.

Client's Information:
Eranna and Erich Brock
274 S. Center St
Orange, Ca.

Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

| Revision: | By: | Date: |
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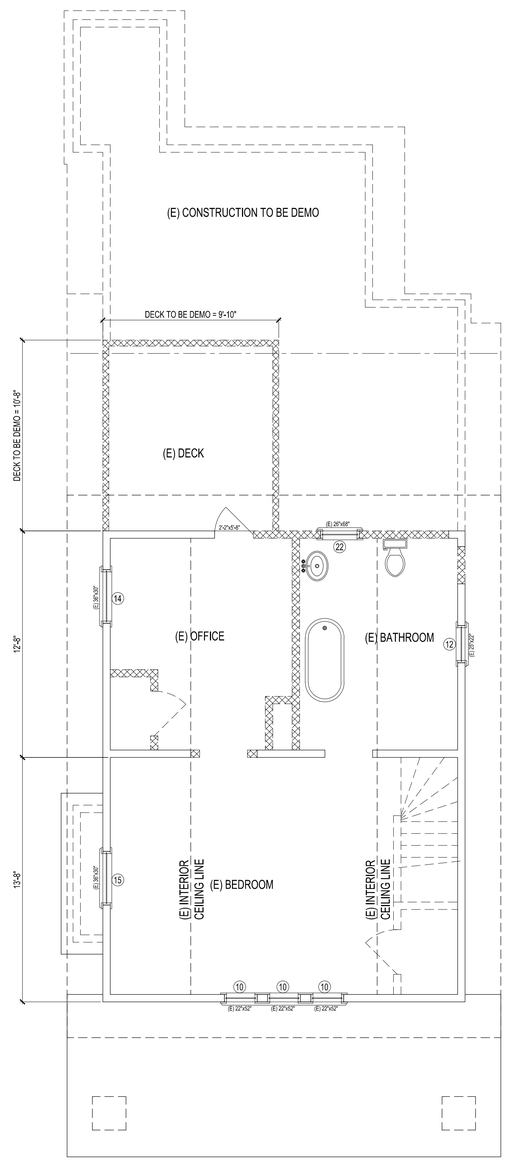
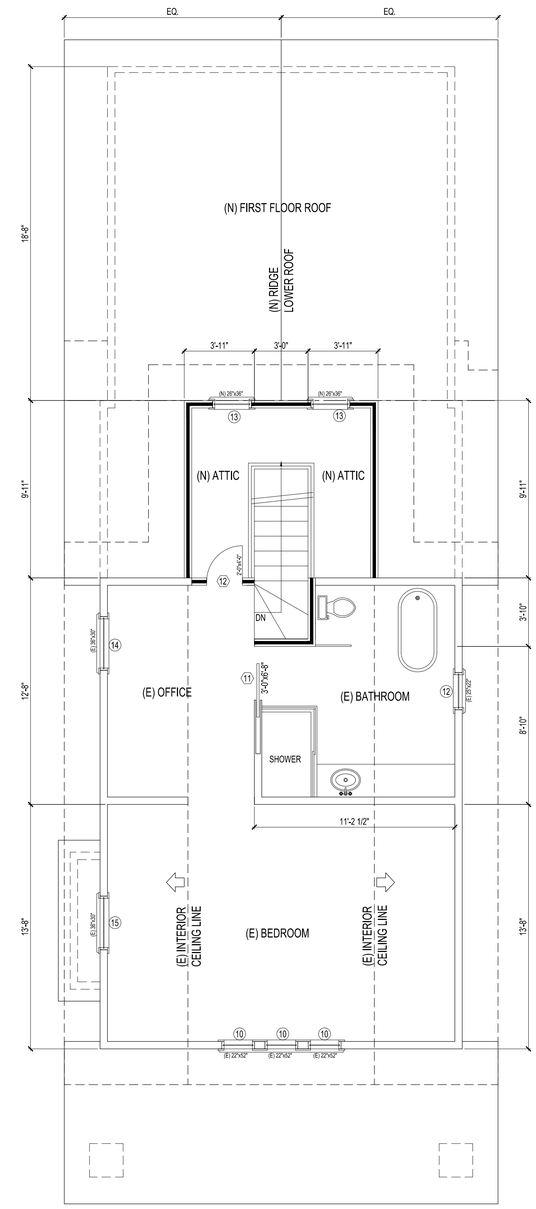
Drawn by: H.S.
Revised by: H.S.
Date: 5-26-2021
Scale: 1/4"= 1'-0"
Job Number: 2019-274

Sheet Title:
First Floor Existing and Proposed

Sheet ID:
A-3




SECOND FLOOR PLAN
(EXISTING / DEMO)
1/4"=1'-0"
NORTH




SECOND FLOOR PLAN
(PROPOSED)
1/4"=1'-0"
NORTH

Henry's CAD / Henry Salzer
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2-10-21
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Client's Information:
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274 S. Center St
Orange, Ca.

Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

| Revision: | By: | Date: |
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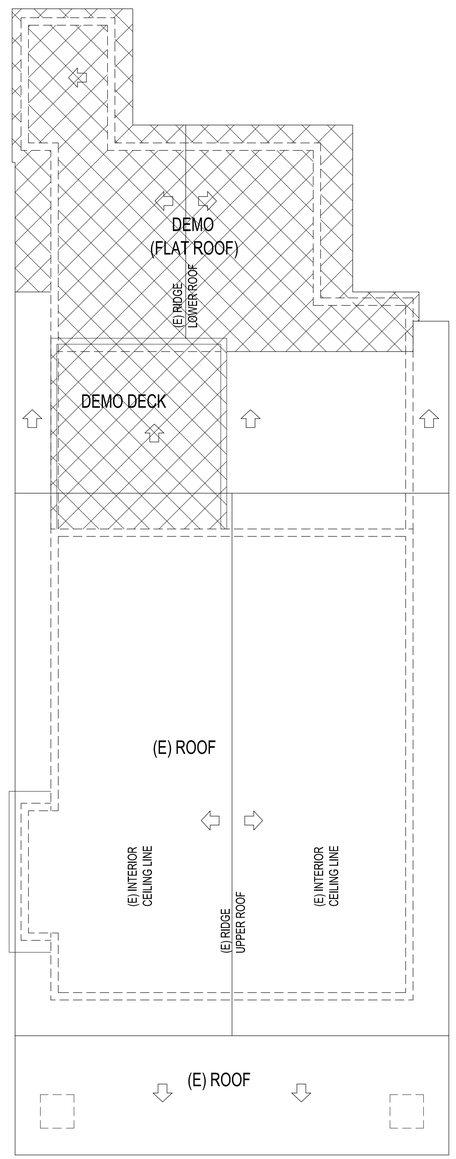
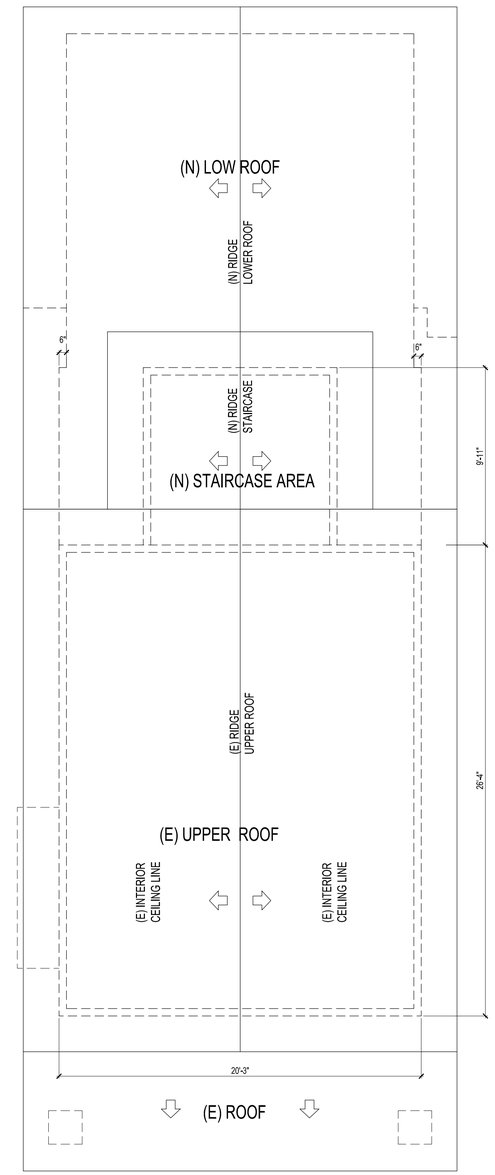
Drawn by: H.S.
Revised by: H.S.
Date: 5-26-2021
Scale: 1/4"= 1'-0"
Job Number: 2019-274

Sheet Title:
Second Floor Existing and Proposed

Sheet ID:
A-4




ROOF PLAN
(EXISTING / DEMO)
1/4"=1'-0" NORTH




ROOF PLAN
(PROPOSED)
1/4"=1'-0" NORTH

Henry's CAD / Henry Salzer
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2-10-21
Henry Salzer
Signature: Date:

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Client's Information:
Eranna and Erich Brock
274 S. Center St
Orange, Ca.

Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

| Revision: | By: | Date: |
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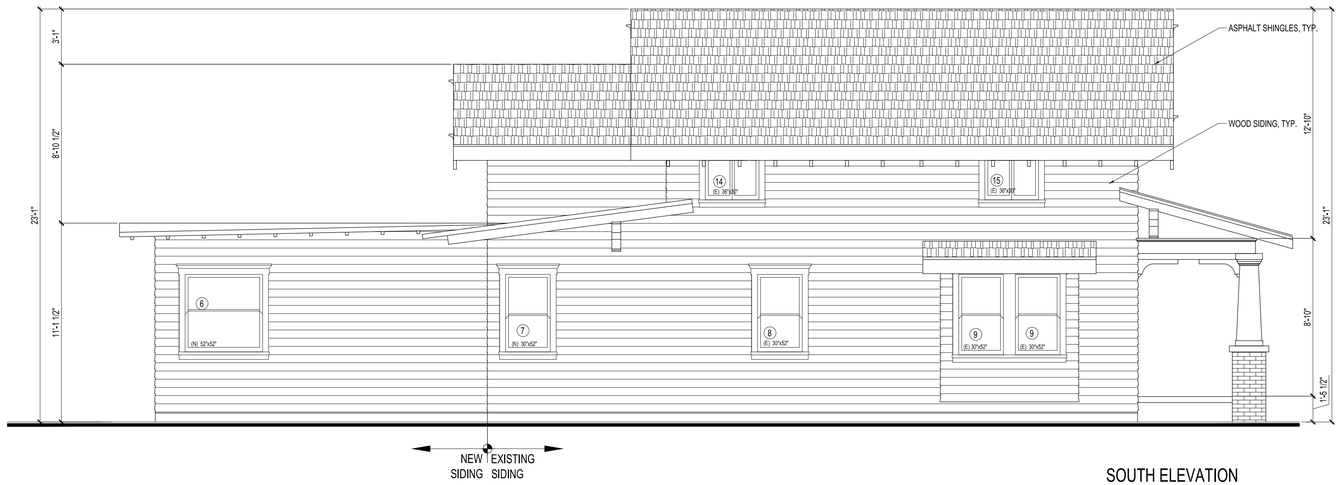
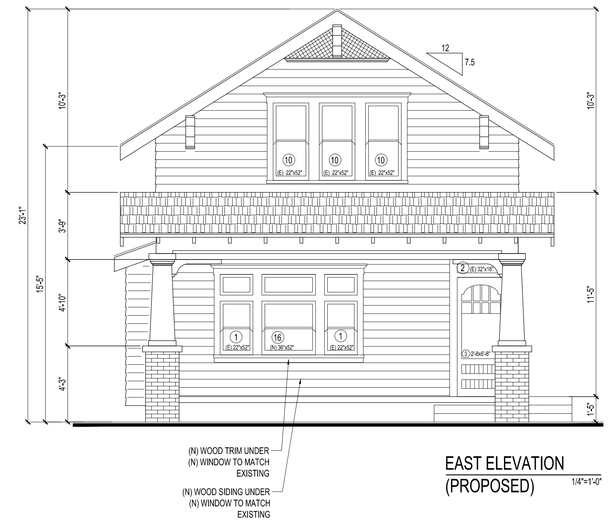
Drawn by: H.S.
Revised by: H.S.
Date: 5-26-2021
Scale: 1/4"= 1'-0"
Job Number: 2019-274

Sheet Title:
Roof Plan
Existing and
Proposed

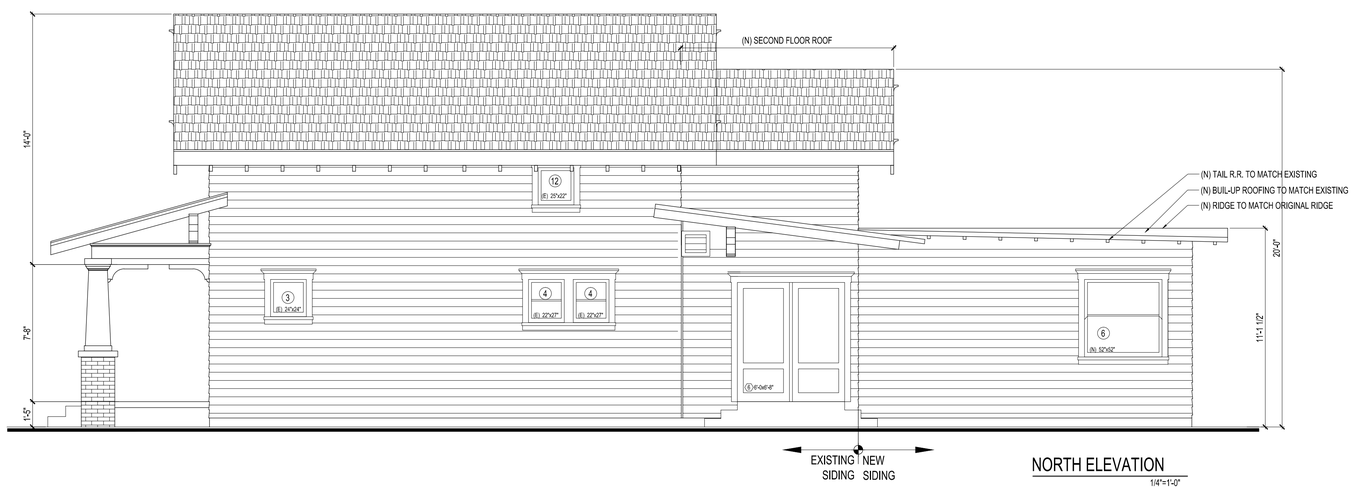
Sheet ID:
A-5



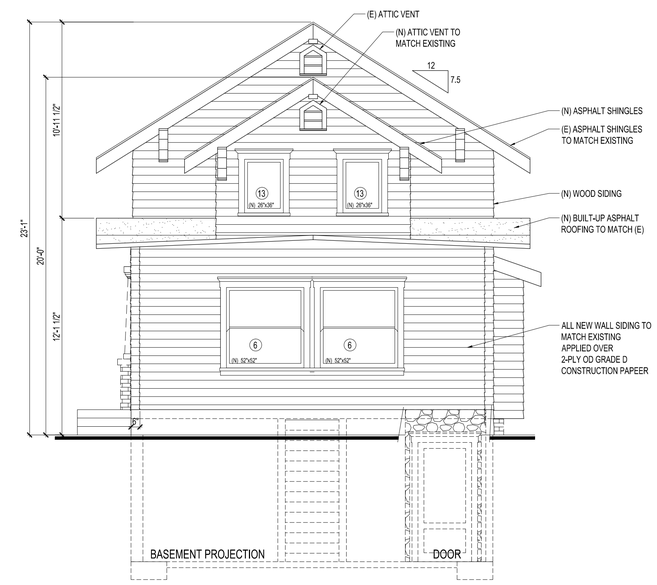

SOUTH ELEVATION
1/4"=1'-0"




EAST ELEVATION
(PROPOSED)
1/4"=1'-0"




NORTH ELEVATION
1/4"=1'-0"




WEST ELEVATION
1/4"=1'-0"

PROPOSED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Construction Design Drafting

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2-10-21
Henry Salzer
Signature: Date:


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Client's Information:
Eraina and Erich Brock
274 S. Center St
Orange, Ca.

Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

| Revision: | By: | Date: |
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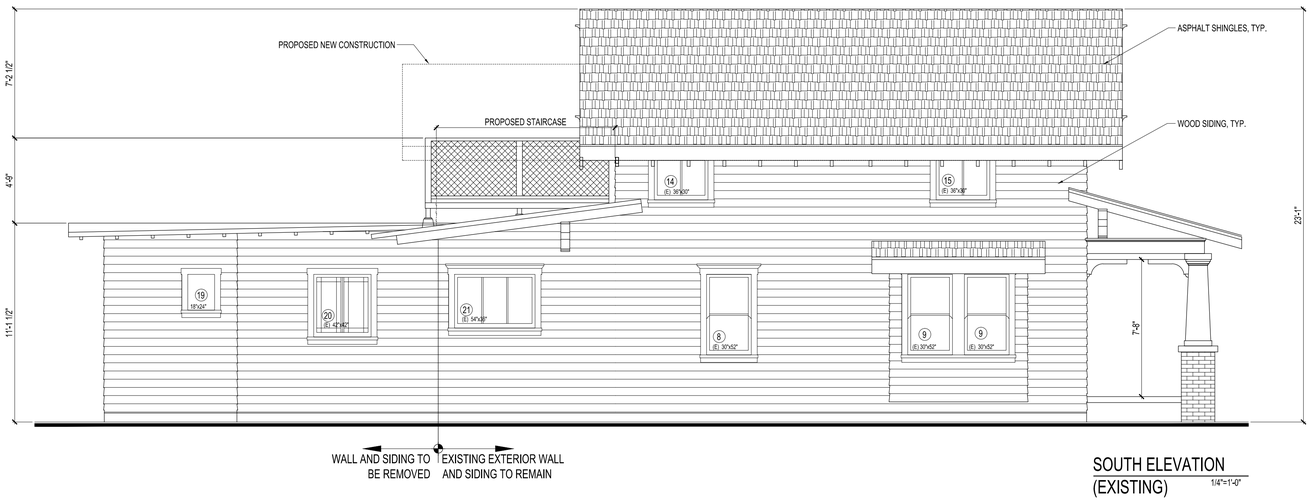
Drawn by: H.S.
Revised by: H.S.
Date: 5-26-2021
Scale: 1/4"= 1'-0"
Job Number: 2019-274

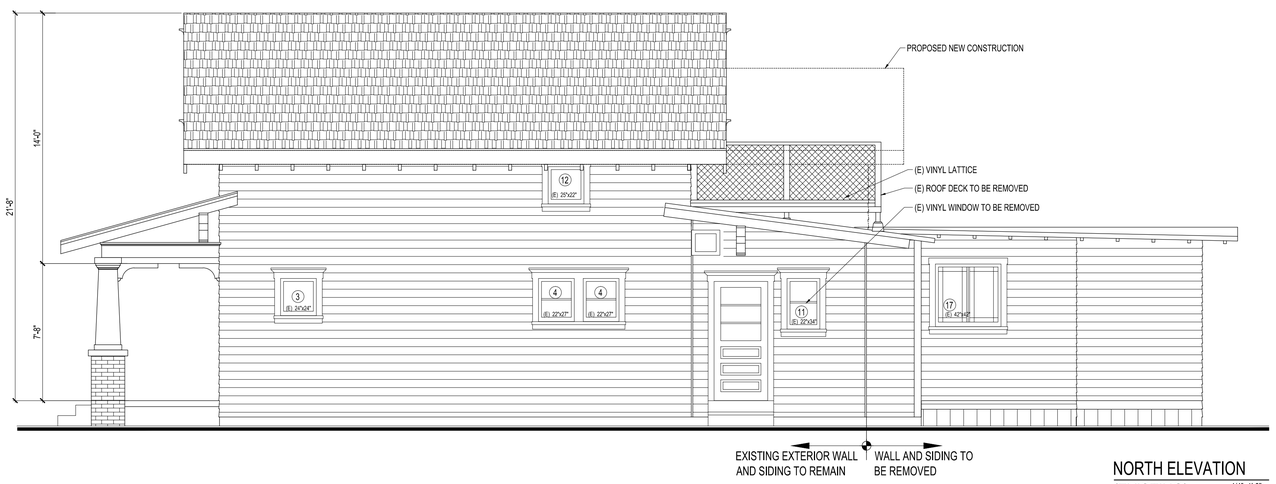
Sheet Title:
Proposed Elevations

Sheet ID:
A-6

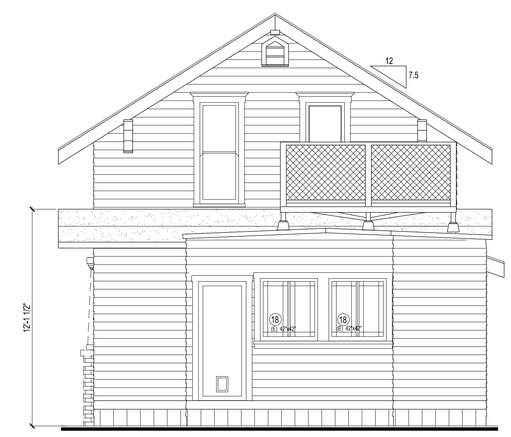



SOUTH ELEVATION
(EXISTING) 1/4"=1'-0"

EAST ELEVATION
(EXISTING) 1/4"=1'-0"




NORTH ELEVATION
(EXISTING) 1/4"=1'-0"




WEST ELEVATION
(EXISTING) 1/4"=1'-0"

EXISTING

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Construction Design Drafting

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2-10-21
Henry Salzer
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Client's Information:
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Project Name:
Residence Remodeling and Addition
274 S. Center St
Orange, Ca.

| Revision: | By: | Date: |
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Drawn by: H.S. Revised by: H.S.
Date: 5-26-2021 Scale: 1/4"= 1'-0"
Job Number: 2019-274

Sheet Title:
Elevations
Existing

Sheet ID:
A-7

STANDARDS FOR REHABILITATION:

1. A PROPERTY WILL BE USED AS IT WAS HISTORICALLY OR BEEN GIVEN A NEW USE THAT REQUIRES MINIMAL CHANGE TO ITS DISTINCTIVE MATERIALS, FEATURES, SPACES, AND SPATIAL RELATIONSHIPS.

2. THE HISTORIC CHARACTER OF A PROPERTY WILL BE RETAINED AND PRESERVED. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIP THAT CHARACTERIZE A PROPERTY WILL BE AVOIDED.

3. EACH PROPERTY WILL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE AND USE. CHANGES THAT CREATED A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OR ELEMENTS FROM OTHER HISTORIC PROPERTIES, WILL NOT BEEN UNDERTAKEN.

4. CHANGES TO A PROPERTY THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT WILL BE RETAINED AND PRESERVED.

5. DISTINCTIVE MATERIALS, FEATURES, FINISHES, AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE A PROPERTY WILL BE PRESERVED.

6. DETERIORATED HISTORIC FEATURES WILL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OR DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE.

7. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.

8. ARCHEOLOGICAL RESOURCES WILL BE PROTECTED AND PRESERVED IN PLACE. IF SUCH RESOURCES MUST BE DISTURBED, MITIGATION MEASURES WILL BE UNDERTAKEN.

9. NEW ADDITIONS, EXTERIOR ALTERATIONS, OR RELATED NEW CONSTRUCTION WILL NOT DESTROY HISTORIC MATERIALS, FEATURES, AND SPATIAL RELATIONSHIP THAT CHARACTERIZE THE PROPERTY. THE NEW WORK WILL BE DIFFERENTIATED FROM THE OLD AND WILL BE COMPATIBLE WITH THE HISTORIC MATERIALS, FEATURES, SIZE, SCALE AND PROPORTION, AND MASSING TO PROTECT THE INTEGRITY OF THE PROPERTY AND ITS ENVIRONMENT.

10. NEW ADDITIONS AND ADJACENT OR RELATED NEW CONSTRUCTION WILL BE UNDERTAKEN IN SUCH MANNER THAT, IF REMOVED IN THE FUTURE, THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY AND ITS ENVIRONMENT WILL BE UNIMPAIRED.

STANDARDS FOR HISTORICAL BUILDING FEATURES:

ROOFS:

1. THE HISTORIC ROOF SHALL BE PRESERVED AND MAINTAINED.
a. CHANGING THE SLOPE OR ORIENTATION OF HISTORIC ROOF IS INAPPROPRIATE.
b. THE DEPTH OF EAVES SHALL BE PRESERVED. NEW CONSTRUCTION TO MATCH STILE AND DIMENSION OF EXISTING EAVES.
c. PRESERVE AND MATCH NEW VENTS, CORBELS, DORMERS, FINIALS, BUILT-IN GUTTERS, COLLECTORS, DOWNSPOUTS, AND CHIMNEYS. EXISTING SHALL BE PRESERVED AND REPAIRED AS NECESSARY.

2. SPECIALTY HISTORIC ROOFING MATERIAL SHALL BE PRESERVED.
a. DETERIORATED SECTIONS OF SPECIALTY HISTORIC ROOFING MATERIALS, SUCH AS CLAY TILE, MAY BE REPLACED WITH MATERIALS THAT EXACTLY MATCH THE HISTORIC MATERIALS.

3. REPLACEMENT ROOFING MATERIALS SHOULD BE SUBSTANTIALLY SIMILAR IN SCALE, TEXTURE, AND COLOR TO MATERIALS USED HISTORICALLY.

4. NEW DORMERS SHOULD NOT BE ADDED TO ELEVATIONS THAT FACE THE STREET.

5. NEW SKYLIGHTS SHOULD NOT BE ADDED TO ELEVATIONS THAT FACE THE STREET.

6. NEW ROOF VENTS SHOULD BE LOW PROFILE AND COORDINATED WITH THE COLOR OF THE ROOFING MATERIAL.

WINDOWS AND DOORS:

1. HISTORIC WINDOWS AND DOORS SHALL BE PRESERVED AND MAINTAINED.
a. DO NOT ALTER THE LOCATION, NUMBER, SIZE, PATTERN, OR PROPORTION OF HISTORIC WINDOWS AND DOORS ON ELEVATIONS VISIBLE FROM THE STREET.
b. ENCLOSING A HISTORIC OPENING OR ADDING A NEW OPENING ON ELEVATIONS VISIBLE FROM THE STREET IS GENERALLY INAPPROPRIATE.
c. HISTORIC GRILL WORK ON WINDOWS SHOULD BE RETAINED. NEW SECURITY BARS SHALL NOT BE ADDED TO WINDOWS OR DOORS ON FRONT-FACING ELEVATIONS.
d. SIMPLE DOOR AND WINDOW SCREENS THAT ARE COMPATIBLE WITH THE ARCHITECTURAL STYLE OF THE BUILDING ARE APPROPRIATE. TYPICALLY, WOOD FRAME SCREENS WILL BE MOST COMPATIBLE WITH HOUSES IN THE HISTORIC DISTRICT. CLEAR ANODIZED ALUMINUM SCREENS ARE GENERALLY NOT APPROPRIATED.
e. AWNINGS AND SHUTTERS SHOULD ONLY BE USED WHERE THEY ARE COMPATIBLE WITH THE ARCHITECTURAL STYLE OF THE BUILDING. THEY SHOULD BE SIMILAR IN MATERIALS, DESIGN, AND OPERATION TO THOSE USED HISTORICALLY AND SHOULD MATCH THE SHAPE OF WINDOW ON WHICH THEY ARE INSTALLED.

2. HISTORIC WINDOWS AND DOORS WITH SIGNS OF DAMAGE OR DETERIORATION SHALL BE REPAIRED, RATHER THAN REPLACED.
a. REPAIRS SHOULD FOLLOW THE RECOMMENDATIONS OF NPS PRESERVATION BRIEF 9 - THE REPAIRS OF HISTORIC WOODEN WINDOWS AND OTHER APPLICABLE TECHNICAL GUIDANCE FROM NPS TECHNICAL PRESERVATION SERVICES.
b. IF GLASS IN HISTORIC WINDOWS OR DOORS MUST BE REPLACED, CLEAR GLAZING IS APPROPRIATE. REFLECTIVE COATINGS OR DARK TINTS ARE NOT APPROPRIATE. LIMITED USE OF FROSTED OR OPAQUE GLASS MAY BE APPROPRIATE ON SIDE OR REAR ELEVATION, IF PRIVACY FROM ADJACENT PROPERTIES IS A CONCERN.

3. A HISTORIC WINDOW OR DOOR THAT IS BEYOND REPAIR MAY BE REPLACED IN KIND.
a. THE REPLACEMENT WINDOW OR DOOR SHOULD MATCH THE SIZE, SHAPE, ARRANGEMENT OF PANES, MATERIALS, METHOD OF CONSTRUCTION AND PROFILE OF THE HISTORIC FEATURE.
b. THE REPLACEMENT WINDOW OR DOOR WILL LIKELY NEED TO BE CUSTOM-MADE TO MATCH THE HISTORIC DESIGN AND MATERIALS.

4. RESTORING ORIGINAL WINDOWS AND DOORS THAT HAVE BEEN REMOVED OR ALTERED IS ENCOURAGED.
a. IF A WINDOW OR DOOR HAS BEEN REPLACED WITH NON-HISTORIC MATERIALS, A NEW WINDOW OR DOOR THAT IS COMPATIBLE WITH THE ARCHITECTURAL STYLE OF THE BUILDING MAY BE INSTALLED IN ITS PLACE. DESIGN OF THE REPLACEMENT SHOULD BE BASED ON HISTORIC PHOTOGRAPHIC EVIDENCE. IF NOT SUCH EVIDENCE EXIST, THE REPLACEMENT SHOULD BE BASED IN A COMBINATION OF PHYSICAL EVIDENCE (INDICATIONS IN THE STRUCTURE ITSELF) AND EVIDENCE OF SIMILAR OPENINGS OF THE BUILDING AND ON BUILDINGS OF THE SAME ARCHITECTURAL STYLE. THE NEW WINDOW OR DOOR SHOULD REFLECT THE SIZE, SHAPE, MATERIALS, AND ARRANGEMENT OF PANES OF HISTORIC FEATURES.

WINDOW REPAIR:

REPAIRS TO IMPROVE THE EFFICIENCY OF HISTORIC WINDOWS MAY INCLUDE:
1. REMOVING BUILT-UP LAYERS OF PAINT THAT CAUSE WINDOWS TO STICK.
2. DISASSEMBLING WINDOW COMPONENTS TO REPAIR, PATCH AND STABILIZE WOOD.
3. REPAIRING ORIGINAL HARDWARE, INCLUDING HINGES, AND LATCHES OR LOCKS.
4. REPLACING THE PUTTY HOLDING GLASS IN PLACE.
5. REPLACING BROKEN SASH CORDS.
6. INSTALLING NEW WEATER-STRIPPING.

ARCHITECTURAL DETAILS AND BUILDING MATERIALS:

1. HISTORICAL ARCHITECTURAL DETAILS AND BUILDING MATERIALS SHALL BE PRESERVED.
a. REGULARLY CHECK HISTORIC MATERIALS FOR CONDITIONS SUCH AS MOISTURE ACCUMULATION THAT CAN CAUSE DETERIORATION.
b. DO NOT REMOVE HISTORICAL MATERIALS THAT ARE IN GOOD CONDITION.
i. ALL MATERIALS WEATHER OVER TIME AND A SCARRED OR UNEVEN SURFACE DOES NOT MEAN THAT A PARTICULAR BUILDING ELEMENT IS TOO DETERIORATED TO BE PRESERVED.
ii. MATERIALS THAT SHOW SIGNS OF AGE ARE PART OF THE CHARACTER OF HISTORIC BUILDINGS.
c. DISTINCTIVE ARCHITECTURAL FEATURES AND EXAMPLES OF SKILLED CRAFTSMANSHIP ARE PARTICULARLY IMPORTANT TO THE CHARACTER OF A HISTORIC BUILDING AND SHOULD RECEIVE SENSITIVE TREATMENT. DISTINCTIVE FEATURES MAY INCLUDE DECORATIVE ELEMENTS, SUCH AS BRACKETS, EXPOSED RAFTER TAILS, AND COLUMNS, OR THE PATTERN OF MATERIALS USED IN CONSTRUCTION, SUCH AS DECORATIVE SHINGLES OR MASONRY. REMOVING OR COVERING THESE DETAILS IS INAPPROPRIATE.
d. DO NOT ALTER HISTORIC FINISHES. UNPAINTED HISTORIC MASONRY, CONCRETE, OR WOOD ELEMENTS SHOULD NOT BE PAINTED. SIMILARLY, WOOD ELEMENTS THAT WERE PAINTED HISTORICALLY SHOULD HAVE A PAINTED FINISH TO PROTECT THE MATERIALS FOR DETERIORATION.

2. HISTORIC MATERIALS SHALL BE REPAIRED IN PLACE TO THE GREATEST EXTEND FEASIBLE.
a. REPAIRS SHOULD MAINTAIN AS MUCH HISTORIC MATERIALS AS POSSIBLE BY PATCHING, SPLICING AND CONSOLIDATING DETERIORATED MATERIALS.
b. MATERIALS THAT CAN BE REPAIRED IN PLACE SHOULD NOT BE REMOVED OR REPLACED.
c. WHEN CLEANING OR REPAIRING HISTORIC MATERIALS, USE THE GENTLEST MEANS POSSIBLE.

3. HISTORIC MATERIALS THAT ARE TOO DETERIORATED TO BE REPAIRED SHALL BE REPLACED IN KIND.
a. REPLACEMENT IS A LAST RESORT WHEN HISTORIC MATERIALS CANNOT BE REPAIRED.
b. REPLACEMENT SHOULD BE LIMITED TO ONLY THOSE PORTIONS OF THE HISTORIC ELEMENTS THAT CANNOT BE REPAIRED. FOR EXAMPLE, COMPLETE REPLACEMENT OF A WINDOW IS NOT APPROPRIATE IF ONLY THE SILL IS DETERIORATED BEYOND REPAIRS.
c. REPLACEMENT ELEMENTS SHALL MATCH THE HISTORIC DESIGN, MATERILS, SCALE, SIZE, PROPORTION, FINISH, TEXTURE, DETAILS, PROFILE, REFLECTIVITY AND DURABILITY.
d. SYNTHETIC REPLACEMENT MATERIALS, SUCH AS VINYL SIDING OR SYNTHETIC STUCCO, ARE NOT APPROPRIATE FOR USE ON A HISTORIC BUILDING.
e. REPLACEMENT OF HISTORIC MATERIAL WITH AN ALTERNATE MATERIAL MAY BE CONSIDERED IN LIMITED CIRCUMSTANCES.
i. THE PROPOSED ALTERNATE MATERIAL WILL BE EVALUATED USING THE CRITERIA DESCRIBED IN NATIONAL PARK SERVICES PRESERVATION BRIEF 16: THE USE OF SUBSTITUTE MATERIALS ON HISTORIC BUILDING EXTERIORS.
ii. THE APPLICANT WILL PROVIDE JUSTIFICATION FOR THE USE OF AN ALTERNATE MATERIAL INCLUDING INFORMATION ON THE AVAILABILITY AND PERFORMANCE OF AN IN-KIND REPLACEMENT MATERIAL. THE APPLICANT WILL ALSO PROVIDE SAMPLES AND SPECIFICATIONS OF THE PROPOSED ALTERNATE MATERIAL, INCLUDING INFORMATION ON PERFORMANCE AND DURABILITY.
4. REMOVING NON-HISTORIC FEATURES WHERE POSSIBLE IS STRONGLY ENCOURAGED.
a. IN SOME CASES, THESE LATTER ADDITIONS MAY BE OBSCURING ORIGINAL HISTORIC MATERIALS THAT CAN BE RECOVERED.

5. IF HISTORIC FEATURES ARE MISSING, REPLACEMENT SHOULD BE BASED ON HISTORIC DOCUMENTATION. IF HISTORIC PHOTOGRAPHS OR PHYSICAL EVIDENCE, SUCH AS REMMANT MARK ON THE STRUCTURE, ARE NOT AVAILABLE, THE DESIGN OF REPLACEMENT DETAILS SHOULD BE BASED ON SIMILAR ELEMENTS ON BUILDINGS OF THE SAME ARCHITECTURAL STYLE IN THE NEIGHBORHOOD.

6. ADDING ARCHITECTURAL DETAILS OR ELABORATE DECORATIVE ELEMENTS THAT ARE NOT APPROPRIATE TO THE ARCHITECTURAL STYLE OF THE BUILDING OR ARE NOT CLEARLY BASED ON EVIDENCE FROM THE BUILDING'S HISTORY SHOULD BE AVOIDED.

7. PAINT COLORS THAT ARE APPROPRIATED TO THE PERIOD AND STYLE OF THE BUILDING ARE STRONGLY ENCOURAGED.

CLEANING HISTORIC MATERIALS

1. CONSULT WITH CITY STAFF ON CLEANING AND REPAIR TECHNIQUES PRIOR TO START THE WORK.

2. LOW-PRESSURE WATER WASHER OR GENTLE CHEMICAL TREATMENTS MAY BE APPROPRIATE.

3. IF A CHEMICAL CLEANING SOLUTION IS PROPOSED, PERFORM A TEST PATCH TO ENSURE THAT THE SOLUTION WILL NOT DAMAGE THE HISTORICAL MATERIAL.

4. ABRASIVE CLEANING METHODS, SUCH AS SANDBLASTING, CAN PERMANENTLY DAMAGE HISTORIC FINISHES, ACCELERATE DETERIORATION, AND ARE NOT APPROPRIATE.

MECHANICAL SYSTEMS:

1. MECHANICAL EQUIPMENT SHALL BE LOCATED IN AREAS NOT VISIBLE FROM THE STREET.
a. EQUIPMENT MOUNTED DIRECTLY ON A HISTORIC BUILDING SHOULD BE ATTACHED USING THE LEAST INVASIVE METHOD, WITHOUT DAMAGING HISTORIC FEATURES.
b. ROOF-MOUNTED EQUIPMENT IS ONLY APPROPRIATE ON FLAT ROOFS WITH EXISTING PARAPET WALLS TO FULLY SCREEN THE EQUIPMENT.
c. SATELLITE DISHES AND SIMILAR EQUIPMENT SHALL BE LOCATED IN AREAS THAT ARE LEAST VISIBLE FROM THE STREET.
d. GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT SHALL BE APPROPRIATELY SCREENED FROM VIEW FROM THE STREET.

2. SOLAR PANELS SHALL BE LOCATED IN AREAS THAT ARE LEAST VISIBLE FROM THE STREET.
a. ROOFTOPS OR DETACHED GARAGES OR REAR-FACING ROOFS OR PRIMARY BUILDINGS ARE THE MOST APPROPRIATE LOCATION FOR SOLAR PANEL.
b. ON FLAT ROOFS WITH PARAPET WALLS, SOLAR PANELS MAY BE INSTALLED ON THE FULL EXTENDT OF THE ROOF, PROVIDED THAT THE PANELS ARE NOT VISIBLE ABOVE THE PARAPET WALLS.
c. ON SLOPED ROOFS, SOLAR PANELS SHALL BE INSTALLED ON THE REAR 50% OF THE ROOF OF THE PRIMARY BUILDING.
d. ON CORNER LOTS, IN BUILDINGS WITH SLOPED ROOFS, SOLAR PANELS SHALL BE INSTALLED ON THE INTERIOR 25% OF THE ROOF OF THE PRIMARY BUILDINGS.
e. IF THE PERMITTED LOCATIONS FOR SOLAR PANELS IN STANDARD 2c OR 2d CAUSE THE INSTALLATION TO BE VISIBLE FROM THE STREET, STAFF MAY REQUIRE THE PROPOSED SYSTEM TO BE MODIFIED TO REDUCE ITS VISIBILITY. THE MODIFICATION SHALL NOT SIGNIFICANTLY INCREASE THE COST OF THE SYSTEM OR SIGNIFICANTLY DECREASE ITS EFFICIENCY, AS DEFINED BY CALIFORNIA CIVIL CODE SECTION 714.
f. SOLAR PANELS SHALL BE PARALLEL TO THE ROOF PLANE, SHALL NOT EXTEND MORE THAN 10 INCHES ABOVE THE ROOF SURFACE, AND SHALL NOT OVERHANG OR ALTER EXISTING ROOF LINES.
g. SOLAR PANEL SHALL BE ATTACHED TO ROOF USING THE LEAST INVASIVE METHOD POSSIBLE, WITHOUT DAMAGING HISTORIC FEATURES.
h. SOLAR PANEL SHALL BE NEATLY ARRANGED IN A RECTANGULAR FORMAT WITH NO GAPS BETWEEN THE PANELS.

SETTING

1. THE PREVAILING PATTERN OF OPEN SPACE IN THE FRONT AND SIDE YARDS OF CONTRIBUTING PROPERTIES SHOULD BE PRESERVED

2. HISTORIC WALKWAYS, DRIVEWAYS, AND OTHER HARDSCAPE FEATURES IN THE FRONT YARD SHALL BE PRESERVED A. UNPAINTED HISTORIC WALLS, CURBS, OR PLANTERS SHOULD NOT BE PAINTED

3. REPAIRS OR EXPANSION OF PAVING OR HARDSCAPE FEATURES SHOULD MATCH THE HISTORIC FEATURES IN MATERIALS, COLOR, TEXTURE, AND FINISH
a. THE APPROPRIATE CONCRETE PAVING MATERIAL FOR DRIVEWAYS OR WALKWAYS IS A NATURAL GREY CONCRETE, TEXTURED TO EXPOSE THE FINE AGGREGATES THROUGH AN ACID WASH OR LIGHT RETARDANT FINISH
b. ALTERNATE PAVING MATERIALS IN FRONT OR SIDE YARDS VISIBLE FROM THE STREET MAY BE CONSIDERED, IF THEY ARE COMPATIBLE WITH THE BUILDING AND THE STREETSCAPE

4. PARKWAYS, FRONT YARDS, AND SIDE YARDS SHOULD BE RESERVED FOR LANDSCAPE PAVING OR NON-POROUS SURFACES SHOULD BE MINIMIZED

5. PARKING AREAS SHOULD BE LOCATED AT THE REAR OF THE SITE AND SHOULD BE SCREENED FROM PUBLIC VIEW BY APPROPRIATE FENCING OR LANDSCAPING

6. WIDENING AN EXISTING DRIVEWAY IS GENERALLY NOT APPROPRIATE
a. DRIVEWAYS BETWEEN 9 AND 12 FEET ARE GENERALLY APPROPRIATE AND PROVIDE ADEQUATE ROOM TO MANEUVER VEHICLES
b. DRIVEWAYS MAY HAVE A CENTER PLANTING STRIP THE PLANTING STRIP SHOULD BE A MINIMUM OF 18 INCHES WIDE

7. FRONT YARD FENCING MAY BE INSTALLED, PROVIDED THAT IT MATCHES THE PREVAILING PATTERN OF FENCING IN THE STREETSCAPE
a. FRONT YARD FENCING SHOULD BE LOW AND TRANSPARENT, USING MATERIALS THAT ARE IN KEEPING WITH THE CHARACTER OF THE HOUSE
b. WROUGHT IRON FENCES MAY BE APPROPRIATE FOR SPANISH COLONIAL REVIVAL OR TUDOR REVIVAL HOUSES
c. WOOD PICKET FENCES MAY BE APPROPRIATE FOR CRAFTSMAN OR FOLK VICTORIAN HOUSES
d. UTILITARIAN WIRE AND WOOD OR STEEL POST FENCES WERE FREQUENTLY USED DURING THE HISTORIC DISTRICTS' PERIOD OF SIGNIFICANCE AND ARE AN APPROPRIATE STYLE FOR NEW FRONT YARD FENCING
e. SOLID MASONRY WALLS IN THE FRONT YARD ARE GENERALLY NOT APPROPRIATE
f. THE USE OF A TRADITIONAL COLOR PALETTE IS ENCOURAGED
g. FRONT YARD FENCES ARE STRONGLY ENCOURAGED TO HAVE AN 18-24 INCH PLANTING STRIP BETWEEN THE SIDEWALK AND THE FENCE

8. REAR YARD OPAQUE FENCING FOR PRIVACY MAY BE APPROPRIATE, PROVIDED THAT THE DESIGN AND MATERIALS ARE COMPATIBLE WITH THE BUILDING AND THE NEIGHBORHOOD
a. IF A SIX FOOT REAR OR SIDE YARD FENCE IS LOCATED NEXT TO THE STREET, IT IS STRONGLY ENCOURAGED TO HAVE A 24 INCH PLANTING STRIP BETWEEN THE SIDEWALK AND THE FENCE

9. VINYL, CHAIN LINK, AND PLASTIC FENCES ARE PROHIBITED

10. MATURE TREES AND HEDGES, INCLUDING STREET TREES, SHOULD BE PRESERVED OR REPLACED WITH COMPATIBLE PLANTINGS AS NECESSARY

11. DROUGHT TOLERANT ALTERNATIVES TO LAWNS MAY BE APPROPRIATE IF THE ALTERNATIVES ARE COMPATIBLE WITH THE CHARACTER OF HISTORIC FRONT YARDS AND PARKWAYS FRONT YARDS ARE GENERALLY CHARACTERIZED BY LOW-GROWING LAWNS WITH FOUNDATION PLANTINGS AT THE BASE OF THE BUILDINGS OR COTTAGE GARDENS WITH A VARIETY OF PLANTINGS LOW-WATER ALTERNATIVE PLANT SPECIES APPROPRIATE TO THE CLIMATE MAY BE USED, IF THEY ARE COMPATIBLE WITH THE HISTORIC CHARACTER OF FRONT YARDS AND PARKWAYS IN AREAS VISIBLE FROM THE STREET, YARDS AND PARKWAYS THAT ARE PRIMARILY GRAVEL, MULCH OR UNPLANTED SOIL ARE GENERALLY NOT COMPATIBLE

12. ARTIFICIAL TURF IS PROHIBITED IN PARKWAYS, FRONT YARDS, AND SIDE YARDS VISIBLE FROM THE STREET

PORCHES

1. HISTORIC PORCHES SHALL BE PRESERVED
a. MAINTAIN THE LOCATION, SHAPE, DETAILS, POSTS, RAILINGS, BALUSTRADES, AND DECORATIVE BRACKETS OF THE HISTORIC PORCH
b. REPAIR DETERIORATED DECORATIVE ELEMENTS OR REPLACE MISSING ELEMENTS TO MATCH THE EXISTING
c. ALTERATIONS FOR ACCESSIBILITY SHOULD BE DESIGNED AND BUILT TO BE MINIMALLY VISIBLE AND TO REQUIRE MINIMAL ALTERATIONS TO HISTORIC MATERIALS, WHILE ALLOWING EQUAL ACCESS TO THE BUILDING
d. HISTORIC PORCHES MAY INCLUDE REAR OR SIDE SERVICE PORCHES, WHICH ARE TYPICALLY CHARACTERIZED BY A WOOD-SIDED HALF WALL WITH A BAND OF WINDOWS ABOVE A SERVICE PORCH MIGHT LOOK LIKE AN ADDITION BECAUSE IT MAY HAVE A DIFFERENT ROOF LINE THAN THE HOUSE THESE PORCHES USUALLY STARTED AS SCREENED INDOOR-OUTDOOR SPACES EARLY IN THE BUILDING'S HISTORY AND HAVE BEEN GRADUALLY ENCLOSED OVER TIME INTACT SERVICE PORCHES ARE CHARACTER-DEFINING FEATURES AND SHOULD BE PRESERVED

2. ORIGINAL STEPS SHOULD BE PRESERVED IF THE STEPS ARE SO DETERIORATED THAT THEY MUST BE REPLACED, THEY SHOULD BE REPLACED UTILIZING COMPATIBLE MATERIALS
a. IN GENERAL, WOOD STEPS ARE APPROPRIATE FOR A WOOD PORCH AND CONCRETE STEPS ARE APPROPRIATE FOR A CONCRETE PORCH HOWEVER, OTHER COMBINATIONS DO OCCUR ON CONTRIBUTING BUILDINGS

3. ALL OR PART OF A HISTORIC PORCH OR ENTRANCE SHOULD NOT BE ENCLOSED IN AREAS VISIBLE FROM THE STREET

4. IN MANY CASES, HISTORIC PORCHES DID NOT INCLUDE A GUARDRAIL, AND ONE SHOULD NOT BE ADDED UNLESS THERE IS EVIDENCE THAT A GUARDRAIL EXISTED ON THE PORCH HISTORICALLY OR THERE IS A SAFETY ISSUE TO BE ADDRESSED

5. THE ADDITION OF A HANDRAIL FOR SAFETY AT THE FRONT STEPS MAY BE APPROPRIATE, IF THE HANDRAIL IS SIMPLE IN DESIGN AND USES MATERIALS COMPATIBLE WITH THE HISTORIC BUILDING

6. IF PORCH POSTS HAVE BEEN REPLACED WITH NON-HISTORIC OR NON-COMPATIBLE MATERIALS, REPLACING THOSE ELEMENTS TO MATCH THE HISTORIC BUILDING IN SCALE, PROPORTION AND MATERIALS IS ENCOURAGED
a. THE DESIGN OF REPLACEMENT PORCH POSTS SHOULD BE BASED ON HISTORIC PHOTOGRAPHS, PHYSICAL EVIDENCE, AND STUDY OF BUILDINGS WITH A COMPARABLE ARCHITECTURAL STYLE

7. NEW WOOD POSTS, HANDRAILS, AND GUARDRAILS SHOULD USE CONCEALED FASTENERS

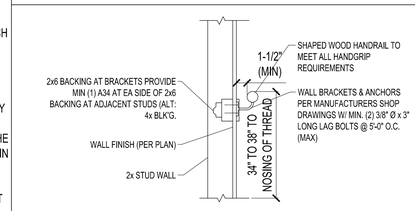
GARAGES AND ACCESSORY STRUCTURES

1. HISTORIC ACCESSORY STRUCTURES SHALL BE PRESERVED
a. CHANGES TO ACCESSORY STRUCTURES SHALL COMPLY WITH THE STANDARDS FOR HISTORIC BUILDING FEATURES.
b. A ONE STORY ADDITION TO THE SIDE OR REAR OF AN ACCESSORY STRUCTURE MAY BE AN APPROPRIATE WAY TO PROVIDE ADDITIONAL PARKING OR STORAGE AREA
c. THE ADDITION OF A NEW SECOND FLOOR OR SUBSTANTIAL MODIFICATIONS TO THE ROOFLINES OF GARAGES OR ACCESSORY STRUCTURES ARE INAPPROPRIATE
i. ADDING SMALL DORMERS TO AN EXISTING ROOF MAY BE APPROPRIATE, PROVIDED THAT THE SCALE, DESIGN AND MATERIALS OF THE DORMERS ARE COMPATIBLE WITH THE HISTORIC ACCESSORY STRUCTURE
d. HISTORIC GARAGE DOORS ARE TYPICALLY UTILITARIAN WOOD DOORS THAT SWING OPEN OR SLIDE ON A METAL TRACK IF THE ACCESSORY STRUCTURE HAS A HISTORIC GARAGE DOOR, IT SHOULD BE PRESERVED
i. A REPLACEMENT OF A NON-HISTORIC GARAGE DOOR SHOULD BE COMPATIBLE WITH THE MATERIALS AND DESIGN OF THE HISTORIC ACCESSORY STRUCTURE A ROLL-UP SECTIONAL DOOR MAY BE APPROPRIATE IF THE DESIGN AND MATERIALS ARE COMPATIBLE WITH THE HISTORIC STRUCTURE

2. IN LIMITED CASES, A HISTORIC ACCESSORY STRUCTURE MAY BE RELOCATED ON THE PROPERTY
a. IF RELOCATION OF A HISTORIC ACCESSORY STRUCTURE IS PROPOSED, THE STRUCTURE MUST REMAIN INTACT DURING THE RELOCATION A QUALIFIED STRUCTURAL ENGINEER OR HOUSE MOVER SHALL PROVIDE A PLAN FOR BRACING AND RELOCATION OF THE STRUCTURE TO ENSURE THAT IT CAN BE RELOCATED INTACT AND WITH MINIMAL LOSS OF HISTORIC MATERIAL
b. THE NEW LOCATION OF THE ACCESSORY STRUCTURE ON THE LOT SHALL MAINTAIN THE HISTORIC RELATIONSHIP BETWEEN HOUSES AND ACCESSORY STRUCTURES THAT ARE TYPICAL OF THE HISTORIC DISTRICT RELOCATION SHALL NOT SUBSTANTIALLY CHANGE THE PREVAILING DEVELOPMENT PATTERN OF HOUSES AND ACCESSORY STRUCTURES IN THE NEIGHBORHOOD IN GENERAL, ACCESSORY STRUCTURES SHOULD BE RELOCATED WITHIN REAR YARDS ONLY AND SHOULD NOT BE RELOCATED IN FRONT OF THE HOUSE
c. RELOCATION SHALL MAINTAIN THE ORIGINAL ORIENTATION OF THE STRUCTURE TO THE STREET
d. RELOCATION SHOULD RETAIN THE EXISTING DRIVEWAY TO THE GREATEST EXTENT FEASIBLE

3. THE MAJORITY OF HISTORIC ACCESSORY STRUCTURES CAN BE PRESERVED AND REHABILITATED IN LIMITED CASES, A HISTORIC ACCESSORY STRUCTURE MAY BE TOO DETERIORATED TO BE REPAIRED IF A PROPERTY OWNER BELIEVES THAT A HISTORIC ACCESSORY STRUCTURE CANNOT BE REPAIRED, THE PROPERTY OWNER MAY SUBMIT A REPORT TO THE HISTORIC PRESERVATION PLANNER REQUESTING DEMOLITION AND RECONSTRUCTION OF THE STRUCTURE
a. THE REPORT SHALL INCLUDE:
i. A DETAILED ANALYSIS OF THE CONDITION OF THE EXISTING STRUCTURE AND FEASIBILITY OF REPAIRS BY A QUALIFIED STRUCTURAL ENGINEER AND/OR HISTORIC PRESERVATION CONTRACTOR
ii. A COMPREHENSIVE PROPOSAL FOR ACCURATE RECONSTRUCTION AND REUSE OF SALVAGED HISTORIC MATERIALS FROM THE STRUCTURE
b. THE REPORT WILL BE REVIEWED BY THE HISTORIC PRESERVATION PLANNER WHO WILL MAKE A RECOMMENDATION TO THE DESIGN REVIEW COMMITTEE ON THE PROPOSED DEMOLITION AND RECONSTRUCTION
c. THE REQUEST FOR DEMOLITION OF A HISTORIC ACCESSORY STRUCTURE SHALL COMPLY WITH THE PROJECT REVIEW PROCESS OUTLINED IN THE DEMOLITION REVIEW ORDINANCE (OMC 17 10 90)
d. NO STRUCTURE MAY BE DEMOLISHED WITHOUT PRIOR APPROVAL AND A PERMIT

4. NEW GARAGES AND ACCESSORY STRUCTURES SHOULD BE SIMILAR IN SIZE, SCALE, AND DESIGN TO HISTORIC GARAGES AND ACCESSORY STRUCTURES IN THE HISTORIC DISTRICTS
a. A GARAGE ATTACHED TO A HISTORIC HOUSE IS GENERALLY INAPPROPRIATE NEW GARAGES AND ACCESSORY STRUCTURES TYPICALLY SHOULD BE LOCATED BEHIND THE REAR WALL OF THE HISTORIC HOUSE
b. NEW GARAGES OR ACCESSORY STRUCTURES SHOULD NOT COMPETE VISUALLY WITH THE HISTORIC RESIDENCE AND SHOULD BE SUBORDINATE IN HEIGHT, WIDTH, AND AREA IN COMPARISON TO THE EXISTING PRIMARY STRUCTURE
c. ACCESSORY STRUCTURES MAY REFLECT THE ARCHITECTURAL STYLE OF THE EXISTING HOUSE THROUGH SIMILAR MATERIALS, WINDOWS, ROOF PATTERNS, AND SIMPLIFIED ARCHITECTURAL DETAILS
d. BASIC RECTANGULAR FORMS, WITH SIMPLE HIP OR GABLE ROOFS, ARE APPROPRIATE FOR MOST NEW GARAGES AND ACCESSORY STRUCTURES
e. SINGLE-BAY GARAGE DOORS ARE MORE APPROPRIATE THAN DOUBLE-BAY GARAGE DOORS ON NEW STRUCTURES



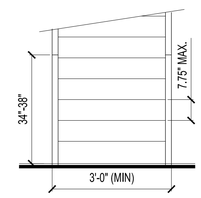

CONTINUITY REQUIREMENTS:

CONTINUOUS W/OUT INTERRUPTIONS BY NEWEL POST OF OTHER OBSTRUCTIONS.
NEWEL POSTS PERMITTED AT A STAIR LANDING
VOLUTES, TURNOUTS OR STARTING EASIN PERMITTED ON LOWEST TREAD.

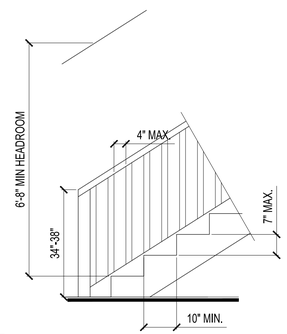
HANDGRIP REQUIREMENTS:

CIRCULAR: CROSS-SECTION SHALL HAVE OUTSIDE DIAMETER OF AT LEAST 1.25" BUT NOT GREATER THAN 2"
NON CIRCULAR: DIMENSION OF AT LEAST 4" BUT NOT GREATER THAN 6.25" W/ MAX. CROSS-SECTION OF 2.25"
EDGE RADIUS = 0.01" MIN.

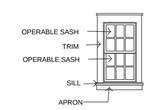
WINDER TREADS SHALL COMPLY WITH SECTION R311.7.5.2.1.



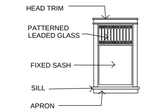

TYPICAL STAIRCASE DETAIL



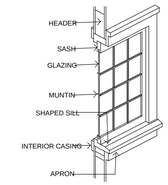

## TYPICAL EXAMPLES USED IN THE OLD TOWNE




6 x 6 DOUBLE-HUNG




PICTURE WINDOW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# Agenda Item

## Design Review Committee

**Item #:** 4.2. 7/8/2021 **File #:** 21-0366

**TO:** **Chair and Members of the Design Review Committee**

**THRU:** **Anna Pehoushek, Assistant Community Development Director**

**FROM:** **Kelly Ribuffo, Associate Planner - Historic Preservation**

## 1. SUBJECT
Design Review No.5021-21, Pearce Residence, 428 N. Lemon Street

## 2. SUMMARY
Final Determination by the Design Review Committee.

The applicant proposes to demolish a non-contributing rear addition, construct a new 242 square foot addition, and relocate the front door of an existing single-family residence. The property is a contributing resource to the Old Towne Historic District.

## 3. BACKGROUND INFORMATION
Applicant/Owner: Joe Pearce

Property Location: 428 N. Lemon Street

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Two Family Residential (R-2-6)

Existing Development: 1,038 square foot single-family residence, approximately 300 square foot detached garage, and 720 square foot detached Accessory Dwelling Unit (ADU)

Associated Application: None

Previous DRC Project Review: None

## 4. PROJECT DESCRIPTION
The applicant proposes to demolish an existing flat-roof rear addition, construct a new 242 square foot addition, and relocate the main residence entry door to the front elevation as part of an interior renovation to the house. Design features of the addition include:

- Gable roofline with shed roof dormer
- 3-foot wide vertical wood board and batten siding

- French doors into backyard from the kitchen dining area

- Rear porch stepping down to deck at grade

The new front door will have a concrete stoop stepping down into the front yard, with a new concrete walkway to the city sidewalk.

Detailed plans and photographs are included as Attachment 2 of this report. The proposed work meets the development standards for the R-2-6 zoning district. 430 N. Lemon Street, a 720 square foot ADU, has been included in the plan set for design reference only.

## 5. EXISTING SITE

The subject property is a contributing resource to the National Register-listed Old Towne Historic District. The one-story Craftsman-style home was constructed in 1911. The detached single-car garage appears to be older construction, but is not original to the property according to the 1922 and 1950 Sanborn Fire Insurance Maps (Attachment 5). The construction date of the shed roof addition to the rear of the house is unknown. A new 720 square foot ADU, 430 N. Lemon Street, is currently in Building Division plan check pending building approval (Permit #2102-158). Construction of an ADU is allowed by state law on the site due to the residential zoning.

Overall, the property retains a low to moderate degree of historic integrity. Notably, the original open front porch at the southeast corner of the house (as shown in Attachment 5) was enclosed by permit in 1953 (Building Permit #8039). As a result, the front door was relocated to the south side of the house and a large three-part window was installed on the front (east) elevation.

## 6. EXISTING AREA CONTEXT

The subject property is located mid-block on the west side of N. Lemon Street, north of the intersection with W. Sycamore Avenue. The house is located in the northwest quadrant of the Old Towne Historic District, in the historic Cypress Street Barrio neighborhood. The property is surrounded on all sides by single-family and multi-family residential properties (R-2-6), some of which are contributing resources to the Old Towne Historic District (Attachment 1).

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

Issue 1. Relocation of Front Door

The applicant proposes to relocate the entry door to the house as part of an interior renovation to the floor plan of the house. Currently, the entry is on the south side of the house, facing the driveway. It appears this change was made in 1953, when the original front porch was enclosed. The door will be moved to the front elevation of the house, accessing the new living room area.

There is an observed precedent in Old Towne that when front porches are enclosed, the new front door is generally located in the area of the new elevation where the porch once was, and not into another area of the house. Relocating the entry door as proposed will place it back on the front of the housing facing N. Lemon Street, which is the original elevation.

The enclosure of the front porch has already altered the appearance of the house from the street, it is the opinion of staff that the overall historic integrity of the house would not be substantially diminished by the relocation of the door to the proposed location. Furthermore, relocating the front door to the

proposed location would retain the existing fenestration of the house, which itself is a record of the development history of the property. Having the front door visible from the street will also enhance the safety of the entrance for residents. Therefore, it is the opinion of staff that the proposed door relocation complies with Standard #3.

Issue 2. Compatibility of Addition:
The applicant proposes to demolish an existing rear addition to the house and replace it with a new 242 square foot addition in roughly the same location.

It is the opinion of staff that the location and size of the new addition is appropriate. The addition will connect to the rear of the house in the same places the existing addition does, so no further original fabric will have to be altered to accommodate it. The addition will also not be visible from the street, maintaining the appearance of the mass of the house from N. Lemon Street.

Furthermore, the new addition is a more appropriate design in keeping with the vernacular of the house. The board and batten siding differentiates the addition from the lap siding of the original footprint, while the style of the windows, window trim, and roofline relate the addition to original features of the house.

## 8. ADVISORY BOARD RECOMMENDATION

None.

## 9. PUBLIC NOTICE

None.

## 10. ENVIRONMENTAL REVIEW

**Categorical Exemption**: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15331 (Class 31 - Historical resource Restoration/Rehabilitation) because the project consists of the removal of a non-historic addition to a historic residence, construction of a compatible rear addition, and relocation of the front door in compliance with the *Secretary of the Interior's Standards for Rehabilitation*. No public review is required.

## 11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Findings for DRC applications come from three sources:

- The Orange Municipal Code
- The Infill Residential Design Guidelines
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)

The Findings are applied as appropriate to each project. Staff recommends that the DRC approve the proposed project. Final determination on the project shall be based on the following Findings and statements in support of such Findings.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.F.1).

The project as proposed conforms to the requirements of the Historic Preservation Design Standards for Old Towne. The new rear addition will be attached to a portion of the residence previously impacted by a past addition and will not require removal of additional original material from the house. The new addition is designed with features to replicate the Craftsman features of the residence, with differentiations, such as siding style, to indicate that the addition as a whole is not original to the building. The addition is not visible from the street and will not detract from the historic rhythm of the streetscape along N. Lemon Street. Relocation of the main residence entry door from the side to the front of the house will restore access to the house from the streetside elevation, which is the original orientation of the entrance, with minimal alteration to the front elevation.

- In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines (OMC 17.10.07.F.2).

  The project as proposed complies with the Secretary of the Interior's Standards for Rehabilitation. The new rear addition utilizes historic design features of the residence, such as the gable roof pitch and wood frame windows, to relate the new addition to the historic portion of the residence. However, the addition is still differentiated as a non-historic addition through use of a different siding style. The design of the addition ensures that it will not be mistaken for an original portion of the house. The proposed relocation of the main residence entry door to the front elevation of the house restores access to the house from the streetside elevation, which is the original orientation of the entrance, with minimal alteration to the front elevation.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

  The proposed project complies with the Historic Preservation Design Standards for Old Towne. The project has been designed with features to compliment the Craftsman architectural features of the residence. The new rear addition utilizes historic design features of the residence, such as the gable roof pitch and wood frame windows, to relate the new addition to the historic portion of the residence. The relocated main residence entry door will also be of a compatible style with the residence.

## 12. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 3 (date stamped April 25, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review

Committee.

2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.

3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.

4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.

5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.

If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

## 13. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Architectural Plans date stamped April 25, 2021
- Attachment 3 - Site Photographs
- Attachment 4 - Excerpt from 1922/1950 Sanborn Fire Insurance Map
- Attachment 5 - DPR Form for 428 N. Lemon Street

# Agenda Item

## Design Review Committee

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**THRU:** **Anna Pehoushek, Assistant Community Development Director**

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General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Two Family Residential (R-2-6)

Existing Development: 1,038 square foot single-family residence, approximately 300 square foot detached garage, and 720 square foot detached Accessory Dwelling Unit (ADU)

Associated Application: None

Previous DRC Project Review: None

## 4. PROJECT DESCRIPTION
The applicant proposes to demolish an existing flat-roof rear addition, construct a new 242 square foot addition, and relocate the main residence entry door to the front elevation as part of an interior renovation to the house. Design features of the addition include:

- Gable roofline with shed roof dormer

- 3-foot wide vertical wood board and batten siding

- French doors into backyard from the kitchen dining area

- Rear porch stepping down to deck at grade

The new front door will have a concrete stoop stepping down into the front yard, with a new concrete walkway to the city sidewalk.

Detailed plans and photographs are included as Attachment 2 of this report. The proposed work meets the development standards for the R-2-6 zoning district. 430 N. Lemon Street, a 720 square foot ADU, has been included in the plan set for design reference only.

## 5. EXISTING SITE

The subject property is a contributing resource to the National Register-listed Old Towne Historic District. The one-story Craftsman-style home was constructed in 1911. The detached single-car garage appears to be older construction, but is not original to the property according to the 1922 and 1950 Sanborn Fire Insurance Maps (Attachment 5). The construction date of the shed roof addition to the rear of the house is unknown. A new 720 square foot ADU, 430 N. Lemon Street, is currently in Building Division plan check pending building approval (Permit #2102-158). Construction of an ADU is allowed by state law on the site due to the residential zoning.

Overall, the property retains a low to moderate degree of historic integrity. Notably, the original open front porch at the southeast corner of the house (as shown in Attachment 5) was enclosed by permit in 1953 (Building Permit #8039). As a result, the front door was relocated to the south side of the house and a large three-part window was installed on the front (east) elevation.

## 6. EXISTING AREA CONTEXT

The subject property is located mid-block on the west side of N. Lemon Street, north of the intersection with W. Sycamore Avenue. The house is located in the northwest quadrant of the Old Towne Historic District, in the historic Cypress Street Barrio neighborhood. The property is surrounded on all sides by single-family and multi-family residential properties (R-2-6), some of which are contributing resources to the Old Towne Historic District (Attachment 1).

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

Issue 1. Relocation of Front Door

The applicant proposes to relocate the entry door to the house as part of an interior renovation to the floor plan of the house. Currently, the entry is on the south side of the house, facing the driveway. It appears this change was made in 1953, when the original front porch was enclosed. The door will be moved to the front elevation of the house, accessing the new living room area.

There is an observed precedent in Old Towne that when front porches are enclosed, the new front door is generally located in the area of the new elevation where the porch once was, and not into another area of the house. Relocating the entry door as proposed will place it back on the front of the housing facing N. Lemon Street, which is the original elevation.

The enclosure of the front porch has already altered the appearance of the house from the street, it is the opinion of staff that the overall historic integrity of the house would not be substantially diminished by the relocation of the door to the proposed location. Furthermore, relocating the front door to the

proposed location would retain the existing fenestration of the house, which itself is a record of the development history of the property. Having the front door visible from the street will also enhance the safety of the entrance for residents. Therefore, it is the opinion of staff that the proposed door relocation complies with Standard #3.

Issue 2. Compatibility of Addition:
The applicant proposes to demolish an existing rear addition to the house and replace it with a new 242 square foot addition in roughly the same location.

It is the opinion of staff that the location and size of the new addition is appropriate. The addition will connect to the rear of the house in the same places the existing addition does, so no further original fabric will have to be altered to accommodate it. The addition will also not be visible from the street, maintaining the appearance of the mass of the house from N. Lemon Street.

Furthermore, the new addition is a more appropriate design in keeping with the vernacular of the house. The board and batten siding differentiates the addition from the lap siding of the original footprint, while the style of the windows, window trim, and roofline relate the addition to original features of the house.

## 8. ADVISORY BOARD RECOMMENDATION
None.

## 9. PUBLIC NOTICE
None.

## 10. ENVIRONMENTAL REVIEW
**Categorical Exemption**: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15331 (Class 31 - Historical resource Restoration/Rehabilitation) because the project consists of the removal of a non-historic addition to a historic residence, construction of a compatible rear addition, and relocation of the front door in compliance with the *Secretary of the Interior's Standards for Rehabilitation*. No public review is required.

## 11. STAFF RECOMMENDATION AND REQUIRED FINDINGS
Findings for DRC applications come from three sources:

- The Orange Municipal Code
- The Infill Residential Design Guidelines
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)

The Findings are applied as appropriate to each project. Staff recommends that the DRC approve the proposed project. Final determination on the project shall be based on the following Findings and statements in support of such Findings.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.F.1).

The project as proposed conforms to the requirements of the Historic Preservation Design Standards for Old Towne. The new rear addition will be attached to a portion of the residence previously impacted by a past addition and will not require removal of additional original material from the house. The new addition is designed with features to replicate the Craftsman features of the residence, with differentiations, such as siding style, to indicate that the addition as a whole is not original to the building. The addition is not visible from the street and will not detract from the historic rhythm of the streetscape along N. Lemon Street. Relocation of the main residence entry door from the side to the front of the house will restore access to the house from the streetside elevation, which is the original orientation of the entrance, with minimal alteration to the front elevation.

- In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines (OMC 17.10.07.F.2).

  The project as proposed complies with the Secretary of the Interior's Standards for Rehabilitation. The new rear addition utilizes historic design features of the residence, such as the gable roof pitch and wood frame windows, to relate the new addition to the historic portion of the residence. However, the addition is still differentiated as a non-historic addition through use of a different siding style. The design of the addition ensures that it will not be mistaken for an original portion of the house. The proposed relocation of the main residence entry door to the front elevation of the house restores access to the house from the streetside elevation, which is the original orientation of the entrance, with minimal alteration to the front elevation.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

  The proposed project complies with the Historic Preservation Design Standards for Old Towne. The project has been designed with features to compliment the Craftsman architectural features of the residence. The new rear addition utilizes historic design features of the residence, such as the gable roof pitch and wood frame windows, to relate the new addition to the historic portion of the residence. The relocated main residence entry door will also be of a compatible style with the residence.

## 12. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 3 (date stamped April 25, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review

Committee.

2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.

3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.

4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.

5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.

If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

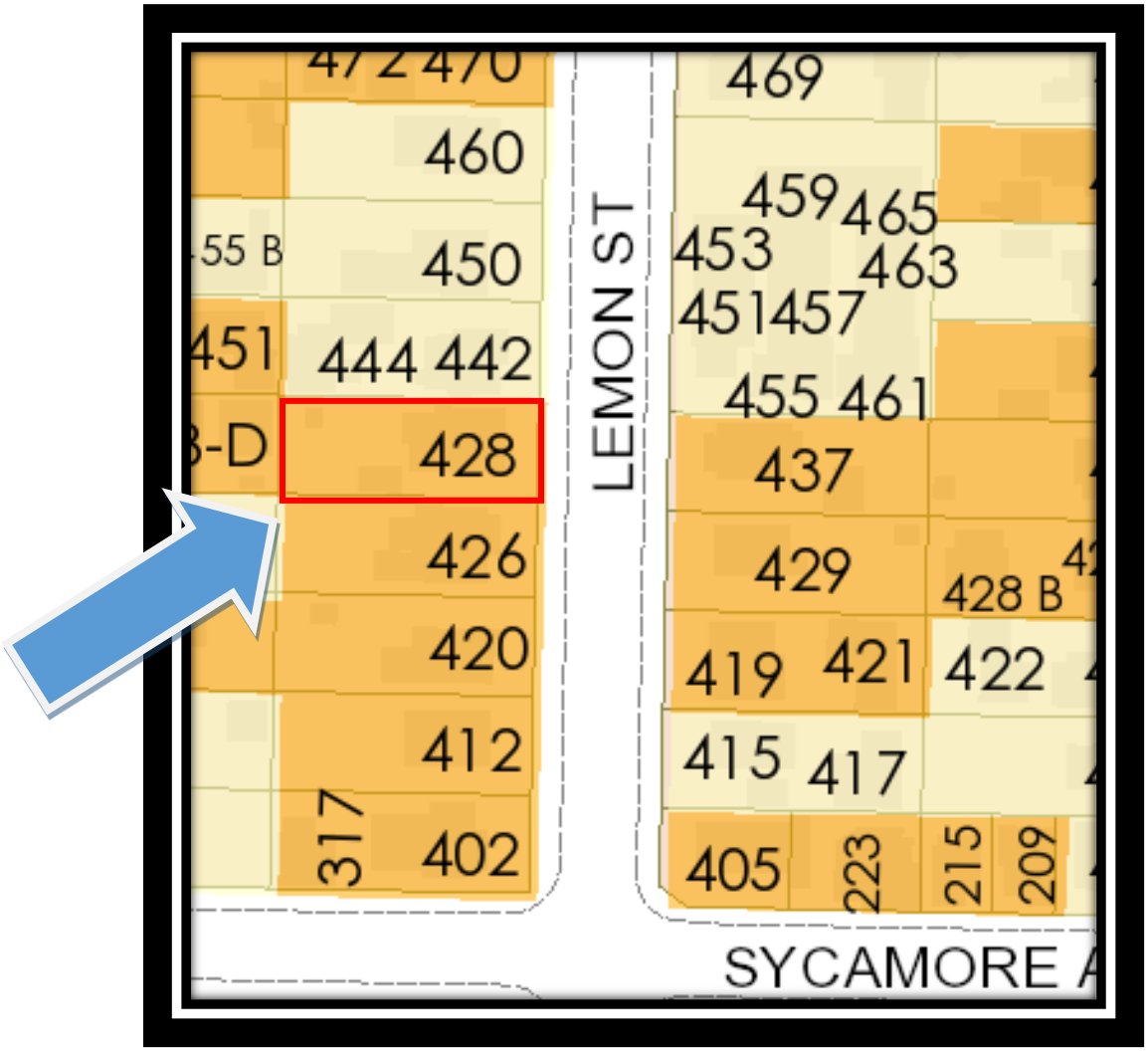
## 13. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Architectural Plans date stamped April 25, 2021
- Attachment 3 - Site Photographs
- Attachment 4 - Excerpt from 1922/1950 Sanborn Fire Insurance Map
- Attachment 5 - DPR Form for 428 N. Lemon Street

# Vicinity Map

**DRC No. 5021-21**
**Pearce Residence**

**428 N. Lemon Street**



**ORANGE** = CONTRIBUTING HISTORIC RESOURCE
**YELLOW** = NON-CONTRIBUTING RESOURCE

**City of Orange**
**Community Development Department**

## GENERAL NOTES

1. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS SHOWN.
2. ALL CONTRACTORS SHALL VISIT THE SITE AND EXAMINE ALL DRAWINGS PRIOR TO COMMENCING WORK, AND REPORT ANY DISCREPANCIES TO DESIGNER OR OWNER SO THAT THE MATTER MAY BE RESOLVED.
3. GENERAL CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF ALL LOCAL UTILITY COMPANIES AND OR DEPARTMENTS PRIOR TO BEGINNING WORK.
4. ANCHOR BOLTS: 5/8" X 12" BOLTS WITH SQUARE PLATE WASHERS EMBEDDED 9" IN FOOTING WALL AND SPACE @ 4'-0" O.C. MAX. STARTING WITHIN 12" OF SILL ENDS.
5. LUMBER IN DIRECT CONTACT WITH MASONRY OR CONCRETE WITHIN 48" OF THE GROUND SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE OR FOUNDATION GRADE REDWOOD.
6. ALL NAILING, ELECTRICAL, PLUMBING, LATH AND PLASTER SHALL CONFORM TO LOCAL CITY CODE.
7. ALL EXTERIOR WALL COVERINGS SHALL BE APPLIED OVER 15 LB. WATERPROOF GRADE D FELT. 2 LAYERS WHERE PLACED OVER PLYWOOD.
8. LAP ALL PLATE SPLICES NOT LESS THAN 4'-0".
9. CONCEALED SPACES OF WALLS, PARTITIONS AND FURRING SHALL BE FIRE STOPPED WITH 2" MATERIAL. THE FULL WIDTH OF THE STUDS AT THE FLOOR AND CEILING LEVELS, AND AT INTERVALS NOT TO EXCEED 10 FT. HORIZONTALLY.
10. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUB WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDING TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR.
11. STALL SHOWER FINISHED SPACE SHALL NOT BE LESS THAN 30" DIA. AND A FLOOR AREA OF NOT LESS THAN 1024 SQ. IN. DOOR SHALL BE TEMPERED GLASS. DOOR TO SWING OUT.
12. EACH BEDROOM MUST HAVE AT LEAST ONE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING: A NET CLEAR OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT., A MINIMUM NET CLEAR 24 IN. OPENABLE HEIGHT AND 20 IN. NET CLEAR OPENABLE DIMENSION IN WIDTH, AND A SILL HEIGHT NOT OVER 44 INCHES ABOVE THE FLOOR.
13. UNDER FLOOR AREAS SHALL BE VENTILATED WITH OPENINGS HAVING A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT OF AREA. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICAL AND SHALL PROVIDE CROSS VENTILATION. THE OPENINGS SHALL BE APPROXIMATELY EQUALLY DISTRIBUTED ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES AND SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4 INCH IN DIMENSION.
14. ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHER PROOF.
15. IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
16. ALL NEW GLAZING (FENESTRATIONS) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.
17. BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL. (CBC 1210.4)
18. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLONS: SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP. LOW BATTERY SIGNAL AND BE INTERCONNECTED. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM AND ON EACH STORY. IN EXISTING CONSTRUCTION, SMOKE DETECTORS MAY BE BATTERY OPERATED AND INSTALLED IN AREAS AS DESCRIBED ABOVE.
19. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10 (B) THROUGH 110.10 (C) SHALL BE PROVIDED TO THE OCCUPANT.
20. ALL FLASHING, COUNTERFLASHING AND COPING, WHEN OF METAL, SHALL HAVE A MINIMUM THICKNESS OF 0.019 INCH (#26 GA. GALVANIZED SHEET METAL) CORROSION-RESISTANT METAL.
21. PROVIDE TEMPERED, SAFETY GLAZING IN THE FOLLOWING LOCATIONS: WITHIN 24" OF DOORS INCLUDING WARDROBE DOORS, BATHTUB ENCLOSURES AND SHOWER DOORS, WINDOWS ADJACENT TO BATHTUBS, LESS THAN 12" ABOVE THE FLOOR, RAILINGS, AND WALLS ENCLOSING STAIRWAY LANDINGS.
22. ALL PLUMBING WALLS SHALL BE 2 X 6.
23. CONTRACTOR SHALL POST THE INSTALLATION CERTIFICATE (CF-6R) FORM AND INSULATION CERTIFICATE (IC-1) FORM IN A CONSPICUOUS LOCATION OR KEPT WITH THE PLANS AND MADE AVAILABLE TO THE INSPECTOR PRIOR TO FINAL INSPECTION SIGN-OFF.
24. CONTRACTOR SHALL PROVIDE COPIES OF THE CALIFORNIA GUIDE TO HOME COMFORT AND ENERGY SAVINGS, CF-1R, MF-1R, CF-6R, AND IC-1 FORMS TO THE BUILDING OWNER.
25. A DOOR MAY OPEN ON A LANDING THAT IS NOT MORE THAN 7 1/2 IN. LOWER THAN THE FLOOR ONLY WHEN SAID DOOR DOES NOT SWING OVER THE LANDING. OTHERWISE MAXIMUM IS 1 IN.
26. STUCCO LATH AND DRYWALL SHALL BE NAILED TO ALL STUDS AND TO TOP AND BOTTOM PLATES.
27. APPROVED METALLIC WATER LINE CONNECTORS FROM SHUTOFFS TO PLUMBING FIXTURES. RUBBER AND PLASTICS ARE NOT PERMITTED.
28. ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. FOR EACH SEPARATE SPACE, THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED. THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VENT OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANCE WIRE MESH WITH 1116" MINIMUM TO 1/4" MAXIMUM OPENINGS. A MINIMUM OF A 1-INCH AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATIONS OF THE VENTS. CRC R806.
29. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
30. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
31. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
32. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
33. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
34. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
35. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE." (R308)
36. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
37. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
38. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING, THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. P/BC 2008-014.
39. FOR EXISTING POOL ON SITE, PROVIDE ANTI ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME IS REQUIRED FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER THE ASSEMBLY BILL (AB)NO. 2977. 1.
40. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
41. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS ($1,000). (R314.6.2).
42. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS ($1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2).
43. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
44. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
45. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
46. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND:
    - A. TO A POINT CLOSER THAN 2 FEET FROM THE INTERIOR LOT LINE.
    - B. MORE THAN 4 INCHES AT THE ROOF FOR DETACHED GARAGES ACCESSORY TO A DWELLING WHEN LOCATED WITHIN 2 FEET OF A LOT LINE.
    - C. OVER THE LOT LINE FOR ACCESSORY STRUCTURES THAT ARE EXEMPT FROM PERMITS.
47. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH HORIZONTAL AND VERTICAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
48. PROVIDE 15" MIN. BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
49. PROVIDE 24" CLEAR SPACE IN FRONT OF ANY WATER CLOSET. (CALIF. PLUMB. CODE 407.6)
50. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3)
51. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9).
52. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
    - A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
    - B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
    - C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
      - 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
      - 2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
      - 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
      - 4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
    - D. GLAZING IN RAILINGS.
    - E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
    - F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
    - G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
    - H. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.
53. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
54. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. PROVIDE LA RR#. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)
55. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE. (R302.5.2)
56. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BE SECTION R302.11, ITEM 4 (R302.5.3).
57. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)
58. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH R308.6.

## CARBON MONOXIDE ALARMS REQUIREMENTS

(R315.1) CARBON MONOXIDE ALARMS:
FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE
INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE
INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

(R315.1.1) POWER SUPPLY:
FOR NEW CONSTRUCTION REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY
POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

EXCEPTIONS:
1. IN DWELLING UNITS WHERE THERE IS NO COMMERCIAL POWER SUPPLY THE CARBON MONOXIDE ALARM MAY BE SOLELY BATTERY OPERATED.
2. IN EXISTING DWELLING UNITS A CARBON MONOXIDE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED WHERE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWL SPACE.

(R315.1.2) INTERCONNECTION:
WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

EXCEPTION:
1. INTERCONNECTION IS NOT REQUIRED IN EXISTING DWELLING UNITS WHERE REPAIRS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWL SPACE, AND NO PREVIOUS METHOD FOR INTERCONNECTION EXISTED.

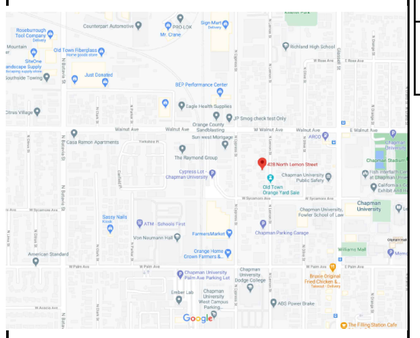
(R315.2) WHERE REQUIRED IN EXISTING DWELLINGS:
WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS ($1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE
WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.

(R315.3) ALARM REQUIREMENTS:
SINGLE- AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075. CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THIS CODE, THE CURRENT EDITION OF NFPA 720 "STANDARD FOR THE INSTALLATION OF CARBON MONOXIDE (CO) DETECTION AND WARNING EQUIPMENT" AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. OTHER CARBON MONOXIDE ALARM AND DETECTION DEVICES AS RECOGNIZED IN NFPA 720 ARE ALSO ACCEPTABLE.

CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 AND R315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

(R315.3.1) MULTIPLE-PURPOSE ALARMS:
CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SECTION R315. ALL APPLICABLE STANDARDS, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARMS.

## VICINITY MAP




| LOT COVERAGE (LOT = 6,600 S.F.) | | |
|---|---|---|
| | EXISTING | PROPOSED |
| | 1,324 S.F. | 2,313 S.F. |
| COVERAGE | 20.1% OF LOT | 35.0% OF LOT |

## OWNER

JOE PEARCE
428 N. LEMON STREET
ORANGE, CA 92866

## STRUCTURAL ENGINEER

CARL STEWART
23535 PALOMONO DR., SUITE 303
DIAMOND BAR, CA 91765
909-301-1017

## PROJECT ADDRESS

428 N. LEMON STREET
ORANGE, CA 92866

## LEGAL DESCRIPTION

ORANGE COUNTY
APN # 039-142-17
GEO H PIRIE HOME TRACT BLK A LOT 5

## GOVERNING BUILDING CODES

THE CALIFORNIA BUILDING CODE, 2019 EDITION
THE CALIFORNIA RESIDENTIAL CODE, 2019 EDITION
THE CALIFORNIA GREEN BUILDING CODE, 2019 EDITION
THE CALIFORNIA MECHANICAL CODE, 2019 EDITION
THE CALIFORNIA PLUMBING CODE 2019 EDITION
THE CALIFORNIA ELECTRICAL CODE 2019 EDITION

## PROJECT DATA

EXISTING DWELLING LIVING AREA: 1,038 SQ. FT.
EXISTING ADU AREA: 720 SQ. FT.
PROPOSED ADDITION AREA: 242 SQ. FT.
LOT AREA: 6,600 SQ. FT.

## LEGEND

= EXISTING
= EXISTING TO BE REMOVED
= PROPOSED ADDITON

## BUILDING OCCUPANCY & ZONE

GROUP R DIVISION 3, ZONE = R-1

## CONSTRUCTION TYPE

TYPE V-B

## DRAWING INDEX


ARCHITECTURAL

| | |
|---|---|
| A-1.0 | GENERAL NOTES |
| A-1.1 | EXISTING & PROPOSED SITE PLAN |
| A-2 | EXISTING DWELLING FLOOR PLAN DEMOLITION PLAN |
| A-3 | PROPOSED DWELLING FLOOR PLAN |
| A-4 | EXISTING HOUSE ELEVATIONS |
| A-5 | PROPOSED HOUSE ELEVATIONS |
| A-6 | ADU ELEVATIONS |
| A-7 | ROOFING PLAN |



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TELEPHONE: (909) 268-4462
EMAIL: CARL@STEWARTDESIGNANDENGINEERING.COM


PROJECT TITLE:

PEARCE RESIDENCE ADDITION & ADU

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

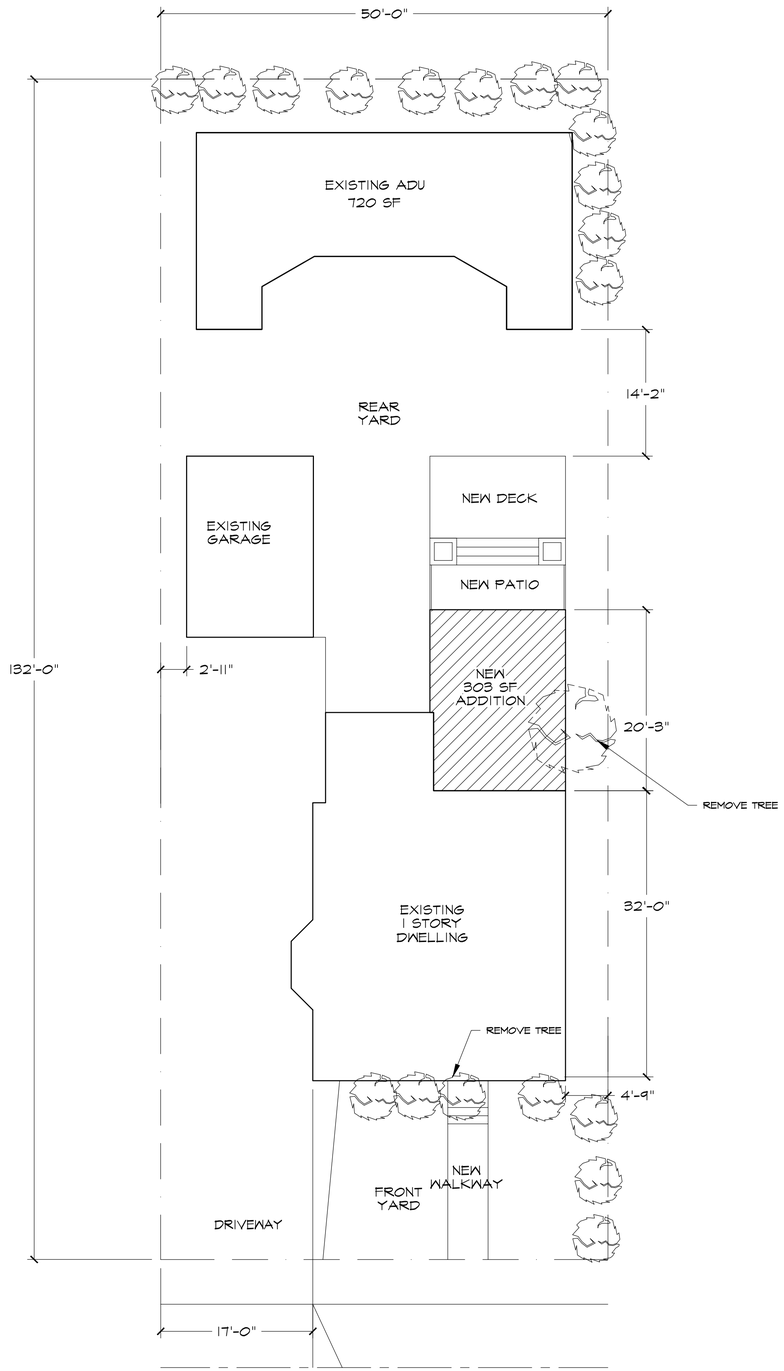
| SIGNATURES | | DATE |
|---|---|---|
| DRAWN | T. COLLIER | 11-05-18 |
| DESIGN | | |
| CHECK | | |
| APPROVED | | |
| APPROVED | | |

CAD FILE: 20-066 ARCH SCALE: NOTED

SHEET TITLE
SITE DATA

SHEET NO.
A-1.0

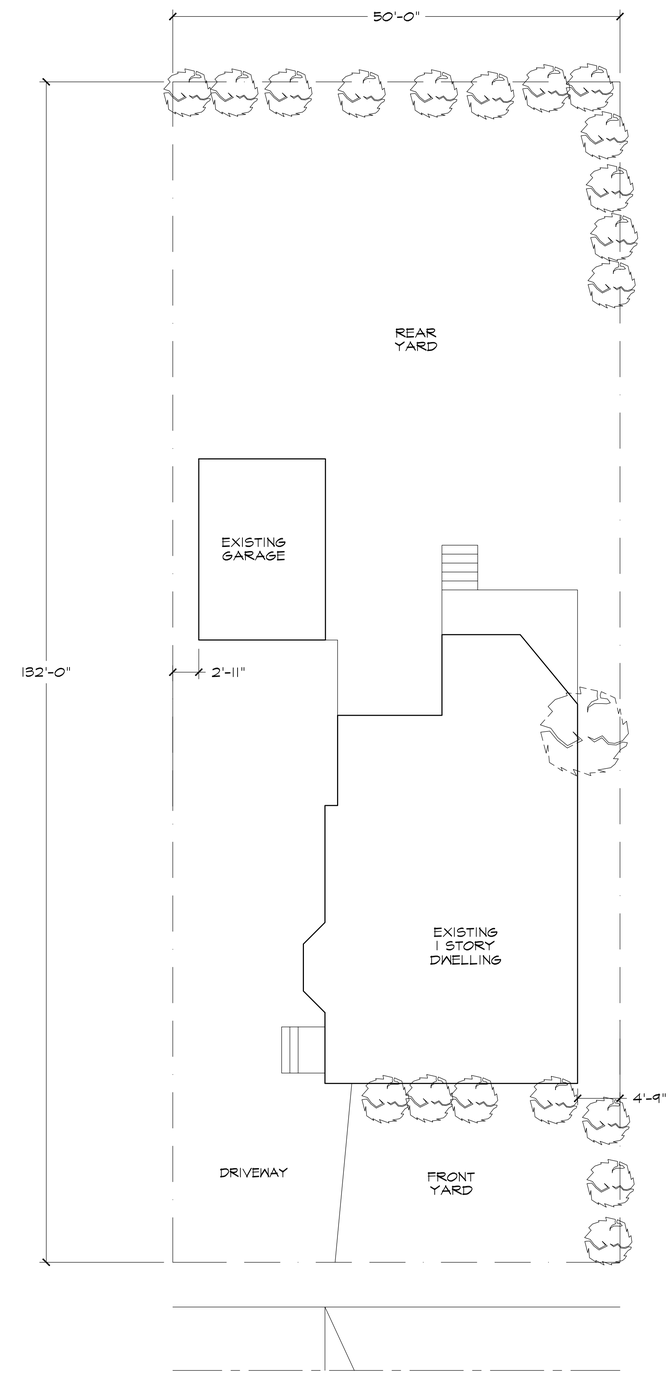
Apr 24, 2021 - 7:35am




PROPOSED SITE PLAN

SCALE: 1/8= 1'-0"

NORTH




EXISTING SITE PLAN

SCALE: 1/8= 1'-0"

NORTH

STEWART
DESIGN & ENGINEERING
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PROJECT TITLE:

PEARCE
RESIDENCE
ADDITION

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

| SIGNATURES | | DATE |
|---|---|---|
| DRAWN | T. COLLIER | 11-05-18 |
| DESIGN | | |
| CHECK | | |
| APPROVED | | |
| APPROVED | | |

CAD FILE: 20-066 ARCH

SCALE: NOTED

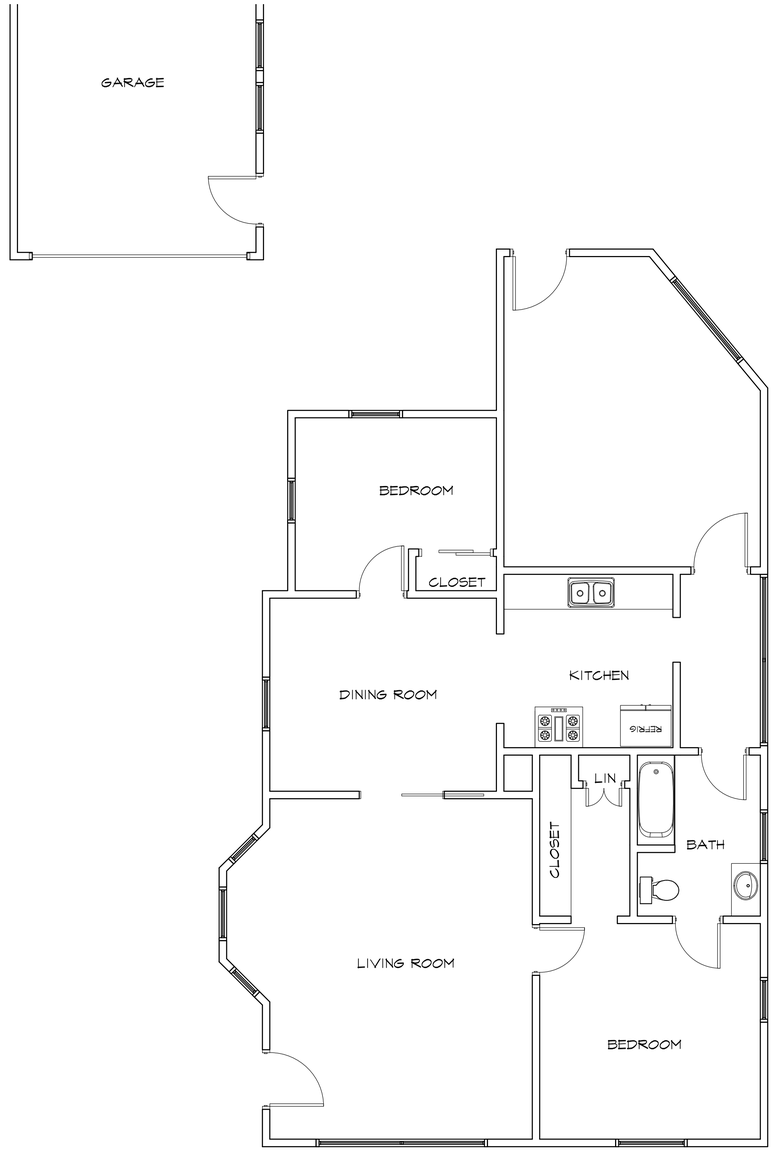
SHEET TITLE

SITE PLAN

SHEET NO.

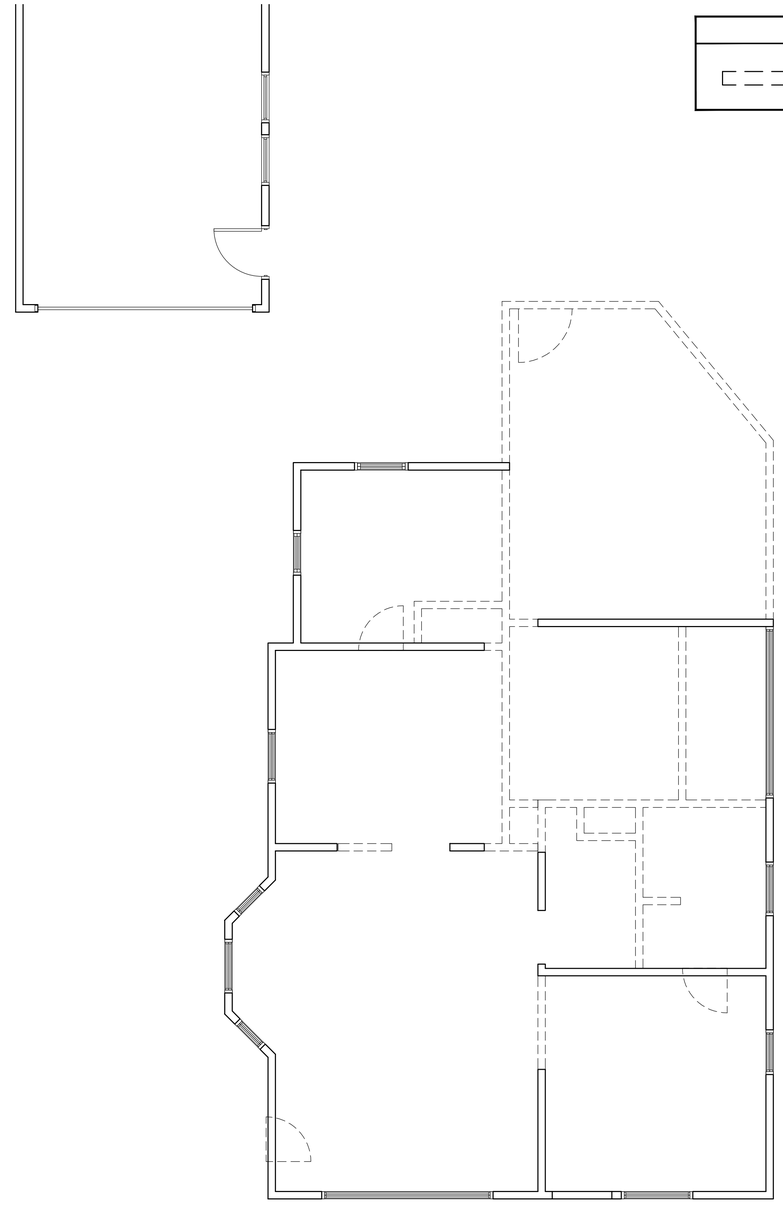
A-1.1

Apr 24, 2021 – 7:36am




EXISTING DWELLING FLOOR PLAN

SCALE: 1/4" = 1'-0"



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

**WALL LEGEND**

= EXISTING TO BE REMOVED

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PROJECT TITLE:

PEARCE
RESIDENCE
ADDITION

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

| SIGNATURES | | DATE |
|---|---|---|
| DRAWN | T. COLLIER | 11-05-18 |
| DESIGN | | |
| CHECK | | |
| APPROVED | | |
| APPROVED | | |

CAD FILE: 20-066 ARCH

SCALE: NOTED

SHEET TITLE

EXISTING
FLOOR PLAN
DEMO PLAN

SHEET NO.

A-2

Apr 24, 2021 – 7:37am

## WALL LEGEND

= EXISTING (2 X 4)

= NEW (2 X 4)

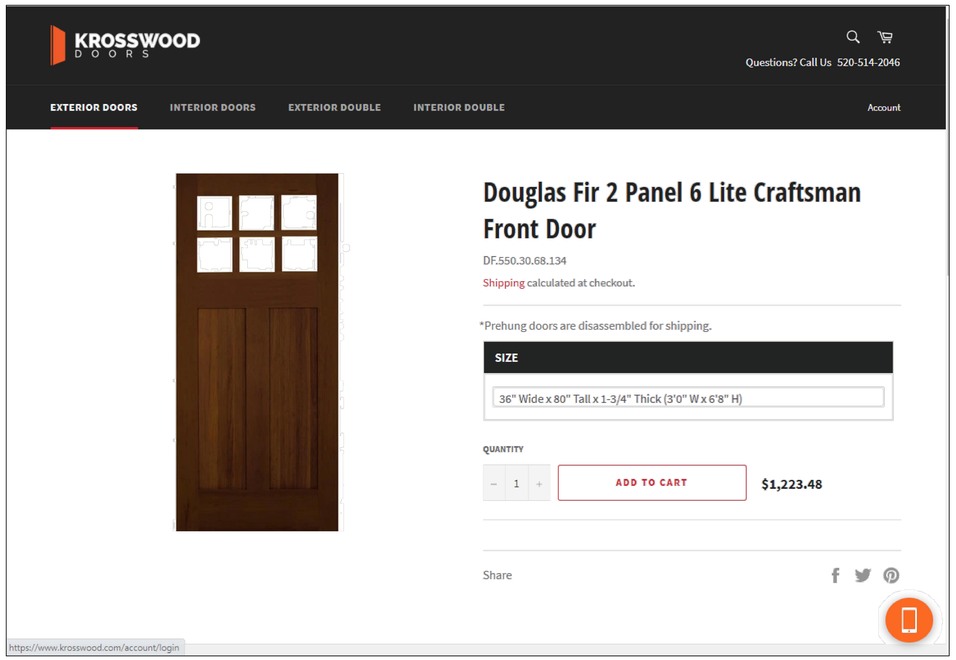
## WINDOW SCHEDULE

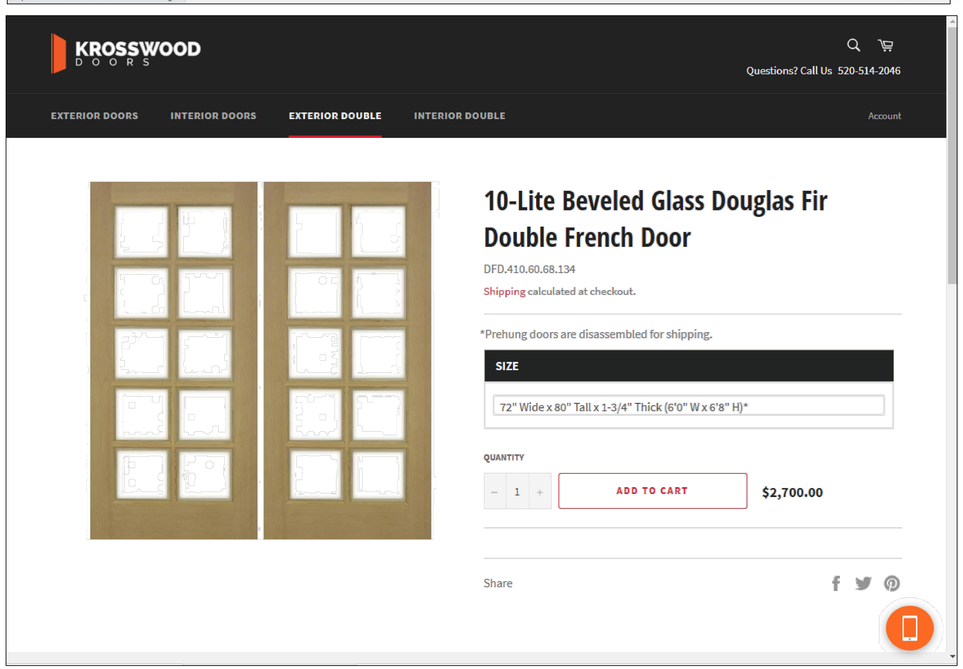
| SYM | QTY | SIZE | HEADER | TYPE | U-FACTOR | SHGC | DESCRIPTION |
|---|---|---|---|---|---|---|---|
| 1 | 2 | 3'-0" X 4'-6" | SEE STRUCTURAL | SINGLE HUNG - NATURAL WOOD TRIM | 0.32 | 0.25 | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

## DOOR SCHEDULE

| SYM | QTY | SIZE | HEADER | TYPE |
|---|---|---|---|---|
| A | 1 | 3'-0" X 6'-8" | SEE STRUCTURAL | SOLID CORE SLAB- DOUGLAR FIR NATURAL WOOD - KROSSWOOD DOORS |
| B | 4 | 2'-8" X 6'-8" | SEE STRUCTURAL | HOLLOW CORE SLAB |
| C | 2 | 6'-0" X 6'-8" | SEE STRUCTURAL | SLIDING CLOSET DOOR - HOLLOW CORE SLAB |
| D | 1 | 5'-0" X 6'-8" | SEE STRUCTURAL | SLIDING CLOSET DOOR - HOLLOW CORE SLAB |
| E | 1 | 6'-0" X 6'-8" | SEE STRUCTURAL | FRENCH DOOR - DOUBLE GLAZED - TEMPERED - NATURAL WOOD FRAMED |
| F | 2 | 2'-8" X 6'-8" | SEE STRUCTURAL | HOLLOW CORE SLAB - POCKET DOOR |
| G | 1 | 2'-0" X 6'-8" | SEE STRUCTURAL | HOLLOW CORE SLAB - POCKET DOOR |



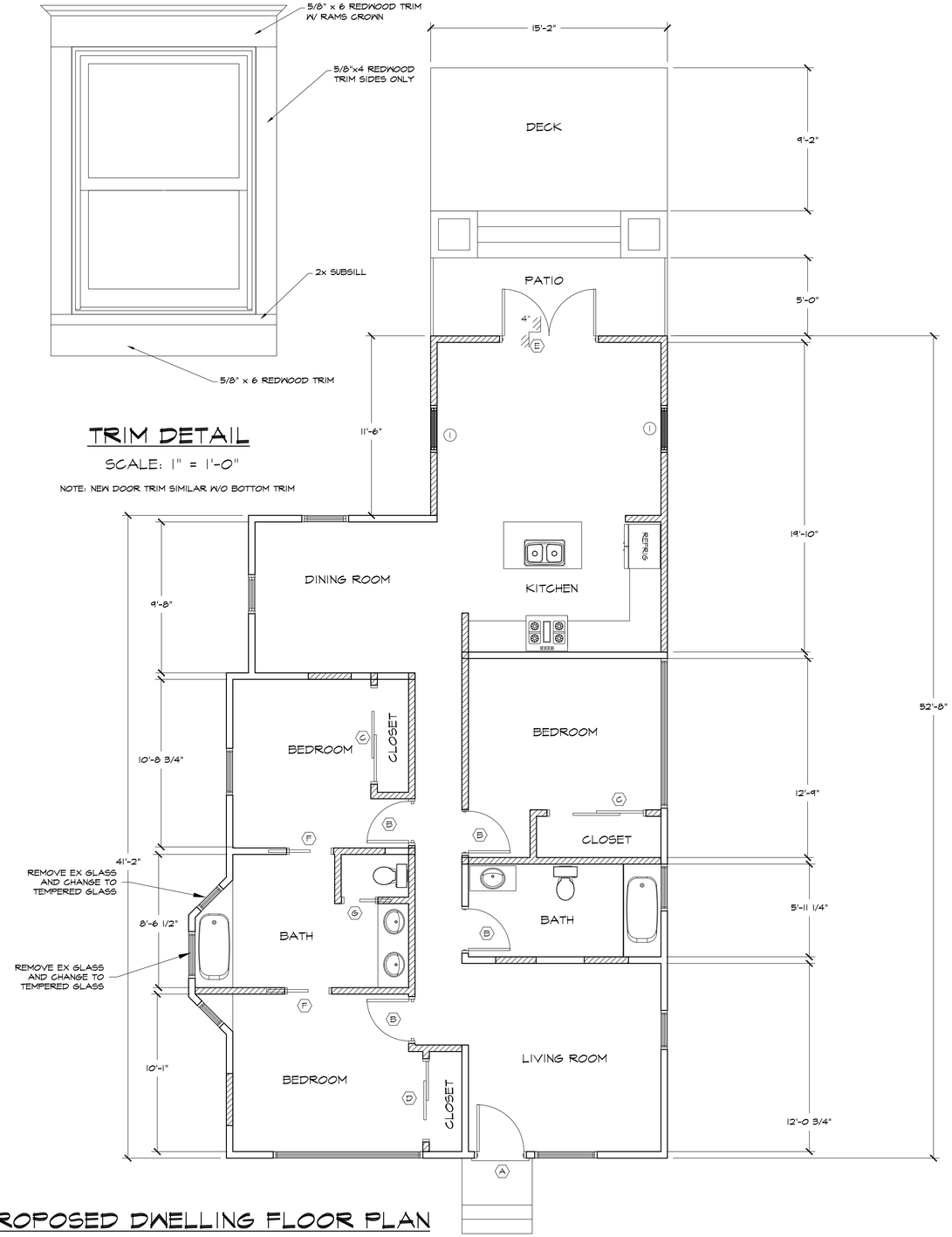




## TRIM DETAIL

SCALE: 1" = 1'-0"

NOTE: NEW DOOR TRIM SIMILAR W/O BOTTOM TRIM




## PROPOSED DWELLING FLOOR PLAN

SCALE: 1/4" = 1'-0"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PROJECT TITLE:

PEARCE RESIDENCE ADDITION

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

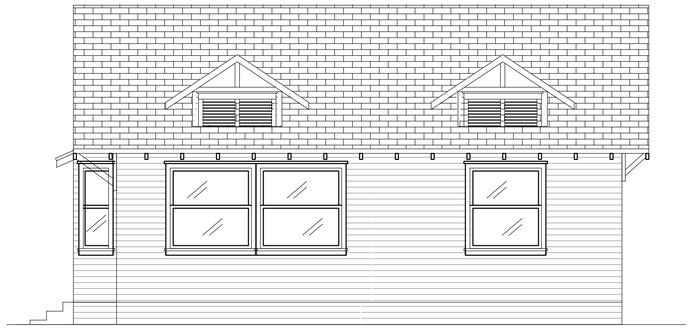
| SIGNATURES | DATE |
|---|---|
| DRAWN T. COLLIER | 11-05-18 |
| DESIGN | |
| CHECK | |
| APPROVED | |
| APPROVED | |

CAD FILE: 20-066 ARCH
SCALE: NOTED

SHEET TITLE
PROPOSED FLOOR PLAN

SHEET NO.
A-3

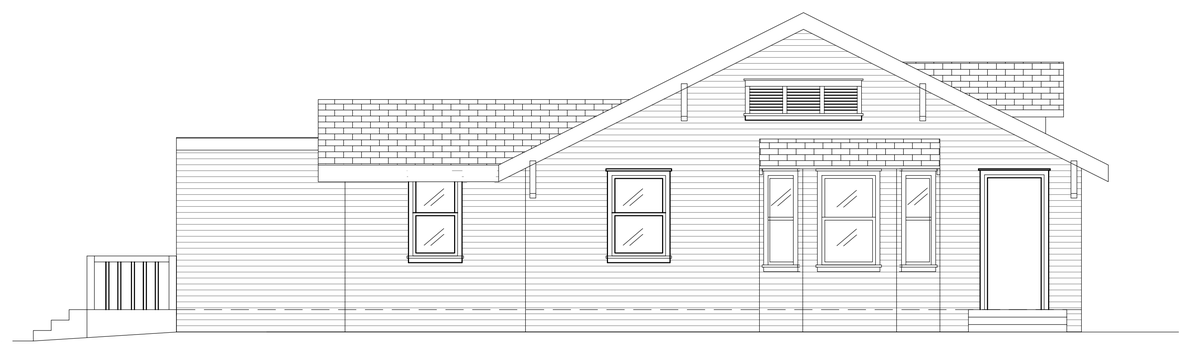
Apr 24, 2021 - 7:37am



EAST ELEVATION
SCALE: 1/4" = 1'-0"

NORTH ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"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PROJECT TITLE:

PEARCE
RESIDENCE
ADDITION & ADU

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

| SIGNATURES | | DATE |
|---|---|---|
| DRAWN | T. COLLIER | 11-05-18 |
| DESIGN | | |
| CHECK | | |
| APPROVED | | |
| APPROVED | | |

CAD FILE: 20-066 ARCH
SCALE: NOTED

SHEET TITLE

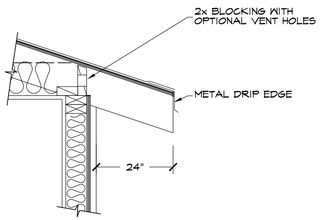
EXISTING
ELEVATION

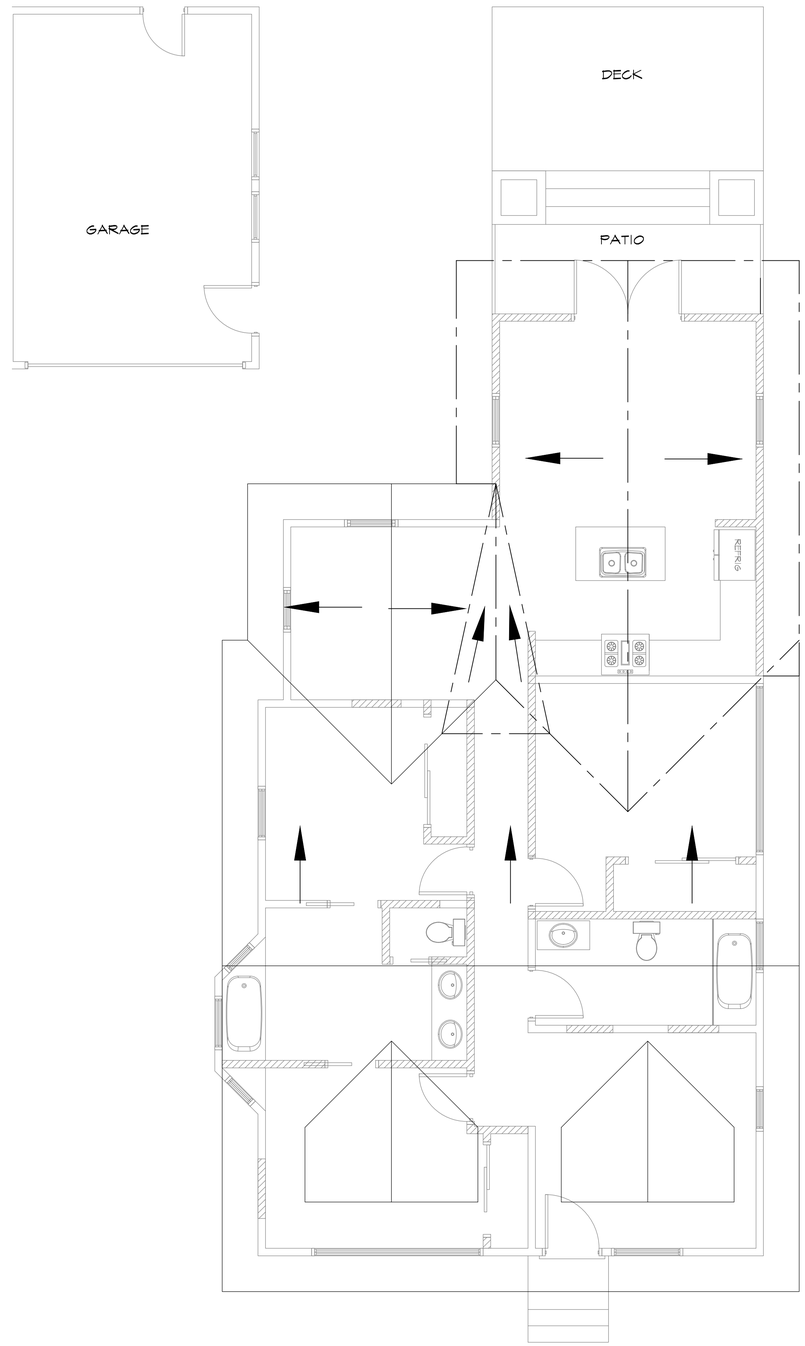
SHEET NO.

A-4

Apr 24, 2021 - 7:38am

## EAVE DETAIL




## PROPOSED ROOFING PLAN

SCALE: 1/4" = 1'-0"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STEWART DESIGN AND ENGINEERING INC.
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DIAMOND BAR, CA 91765
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PROJECT TITLE:

PEARCE
RESIDENCE
ADDITION

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

| SIGNATURES | DATE |
|---|---|
| DRAWN T. COLLIER | 11-05-18 |
| DESIGN | |
| CHECK | |
| APPROVED | |
| APPROVED | |

CAD FILE: 20-066 ARCH

SCALE: NOTED

SHEET TITLE

PROPOSED
ROOFING PLAN

SHEET NO.

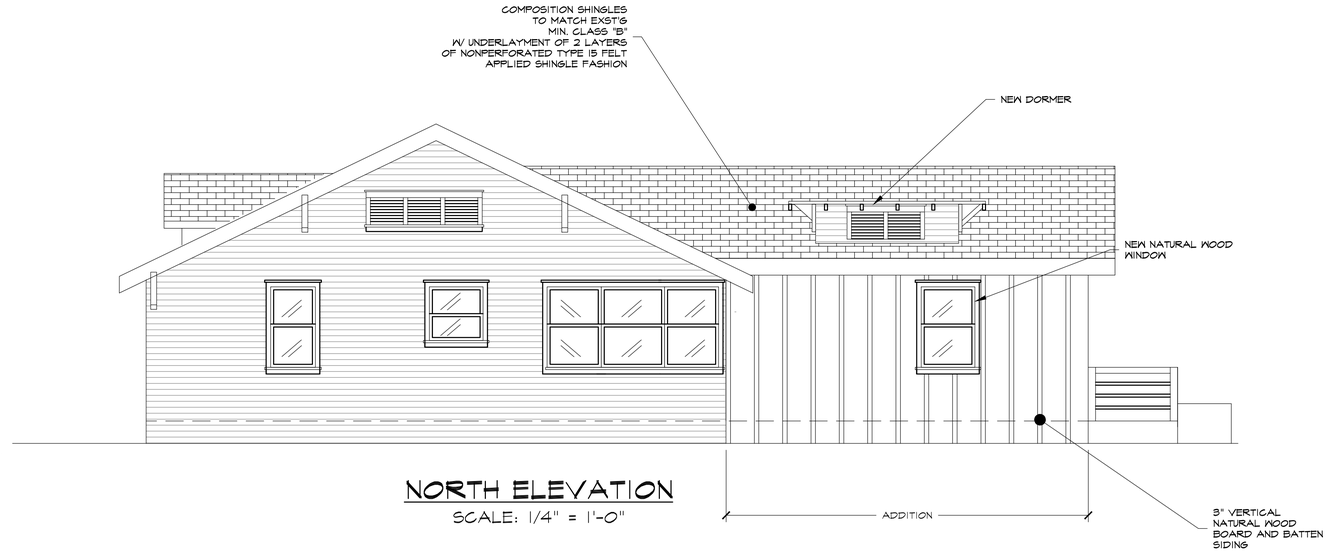
A-7

Apr 24, 2021 - 7:41am

ALL COLORS ARE REQUIRED TO MATCH THE EXISTING HOME

## EAST ELEVATION

SCALE: 1/4" = 1'-0"

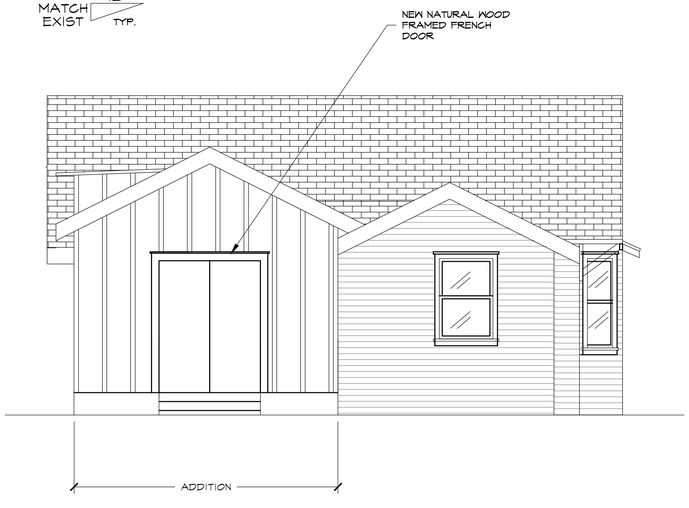



## NORTH ELEVATION

SCALE: 1/4" = 1'-0"

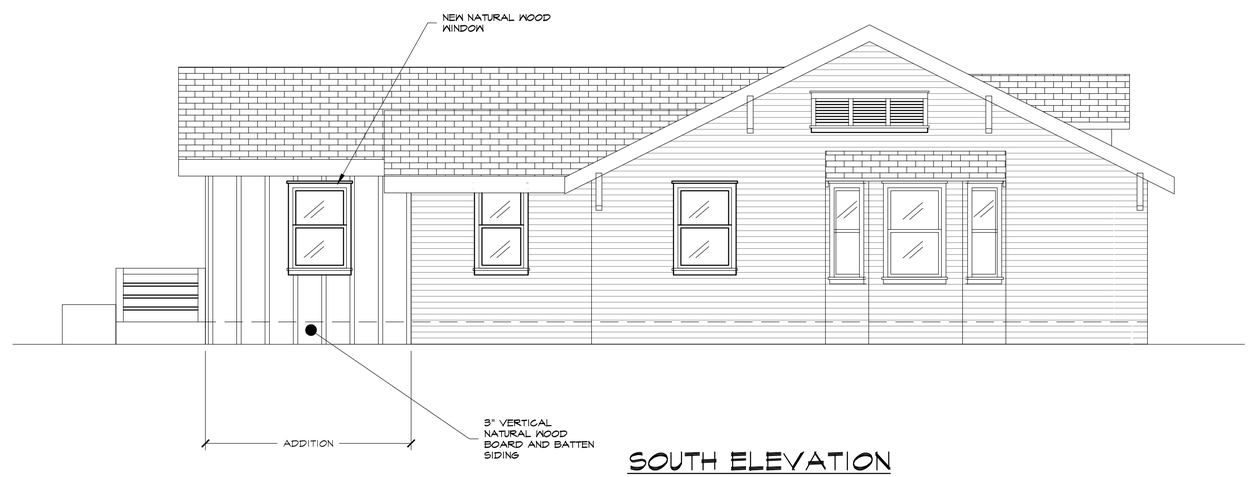
PITCH

MATCH EXIST 12 TYP.




## WEST ELEVATION

SCALE: 1/4" = 1'-0"




## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"


STEWART DESIGN & ENGINEERING

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DIAMOND BAR, CA 91765
TELEPHONE: (909) 268-4462

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PROJECT TITLE:

PEARCE
RESIDENCE
ADDITION & ADU

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

| SIGNATURES | | DATE |
|---|---|---|
| DRAWN | T. COLLIER | 11-05-18 |
| DESIGN | | |
| CHECK | | |
| APPROVED | | |
| APPROVED | | |

CAD FILE: 20-066 ARCH

SCALE: NOTED

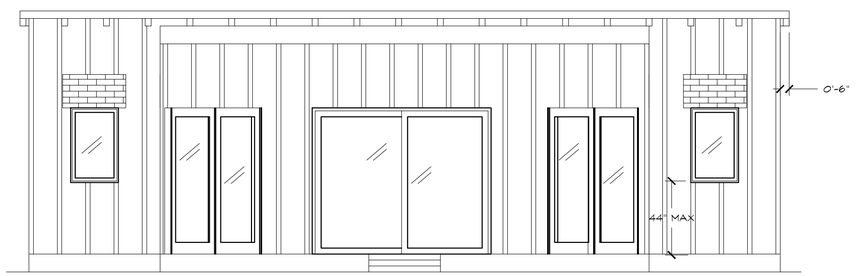
SHEET TITLE

PROPOSED
ELEVATION

SHEET NO.

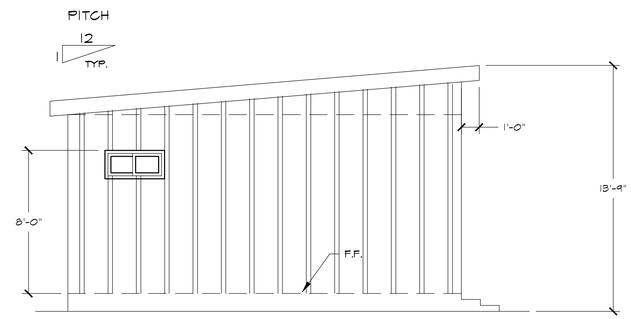
A-5

Apr 24, 2021 - 7:40am



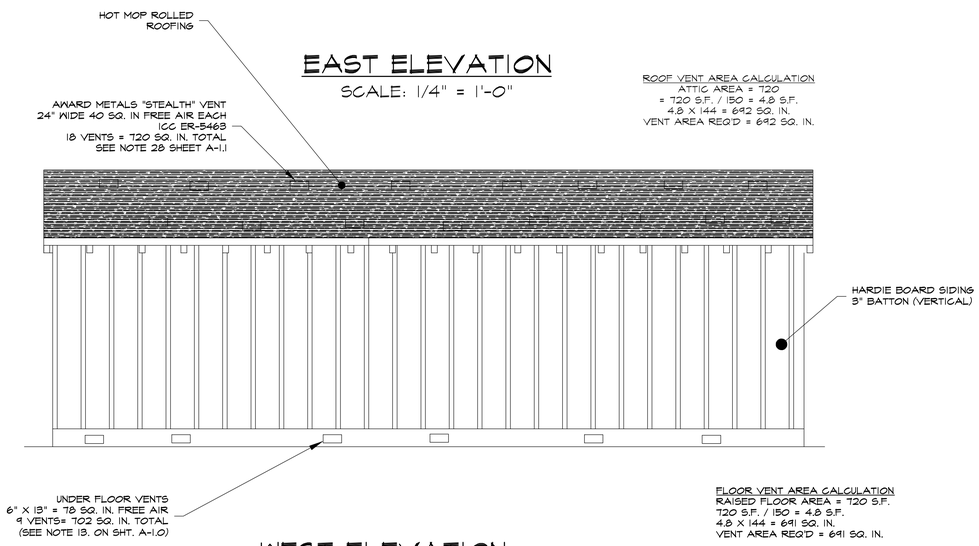

## EAST ELEVATION

SCALE: 1/4" = 1'-0"




## NORTH ELEVATION

SCALE: 1/4" = 1'-0"

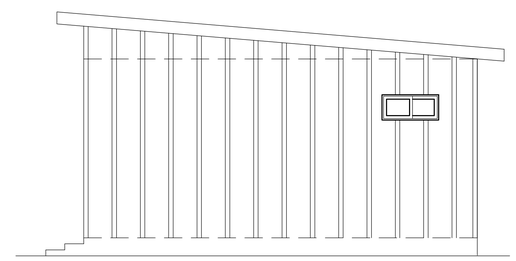



ROOF VENT AREA CALCULATION
ATTIC AREA = 720
= 720 S.F. / 150 = 4.8 S.F.
4.8 X 144 = 692 SQ. IN.
VENT AREA REQ'D = 692 SQ. IN.

FLOOR VENT AREA CALCULATION
RAISED FLOOR AREA = 720 S.F.
720 S.F. / 150 = 4.8 S.F.
4.8 X 144 = 691 SQ. IN.
VENT AREA REQ'D = 691 SQ. IN.

## WEST ELEVATION

SCALE: 1/4" = 1'-0"



## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT TITLE:

PEARCE
RESIDENCE
ADDITION & ADU

428 N. LEMON STREET
ORANGE, CA
92866

PROJECT NO. 20-066 ARCH

REVISONS

| NO. | DESCRIPTION | DATE |
|---|---|---|
| | | |

| SIGNATURES | | DATE |
|---|---|---|
| DRAWN | T. COLLIER | 11-05-18 |
| DESIGN | | |
| CHECK | | |
| APPROVED | | |
| APPROVED | | |

CAD FILE: 20-066 ARCH
SCALE: NOTED

SHEET TITLE

PROPOSED
ELEVATION
ADU

SHEET NO.

A-6

Apr 24, 2021 - 7:40am

**DRC No. 5021-21**
**Pearce Residence**

**Attachment 3 - Site Photographs**

Front (east) elevation looking west.

Detail, front (east) elevation three-part window.

South elevation looking northwest.

Detail, south elevation entry door.

Detached garage east elevation.

Rear (west) elevation looking east.

South elevation of addition looking north.

North elevation looking east.

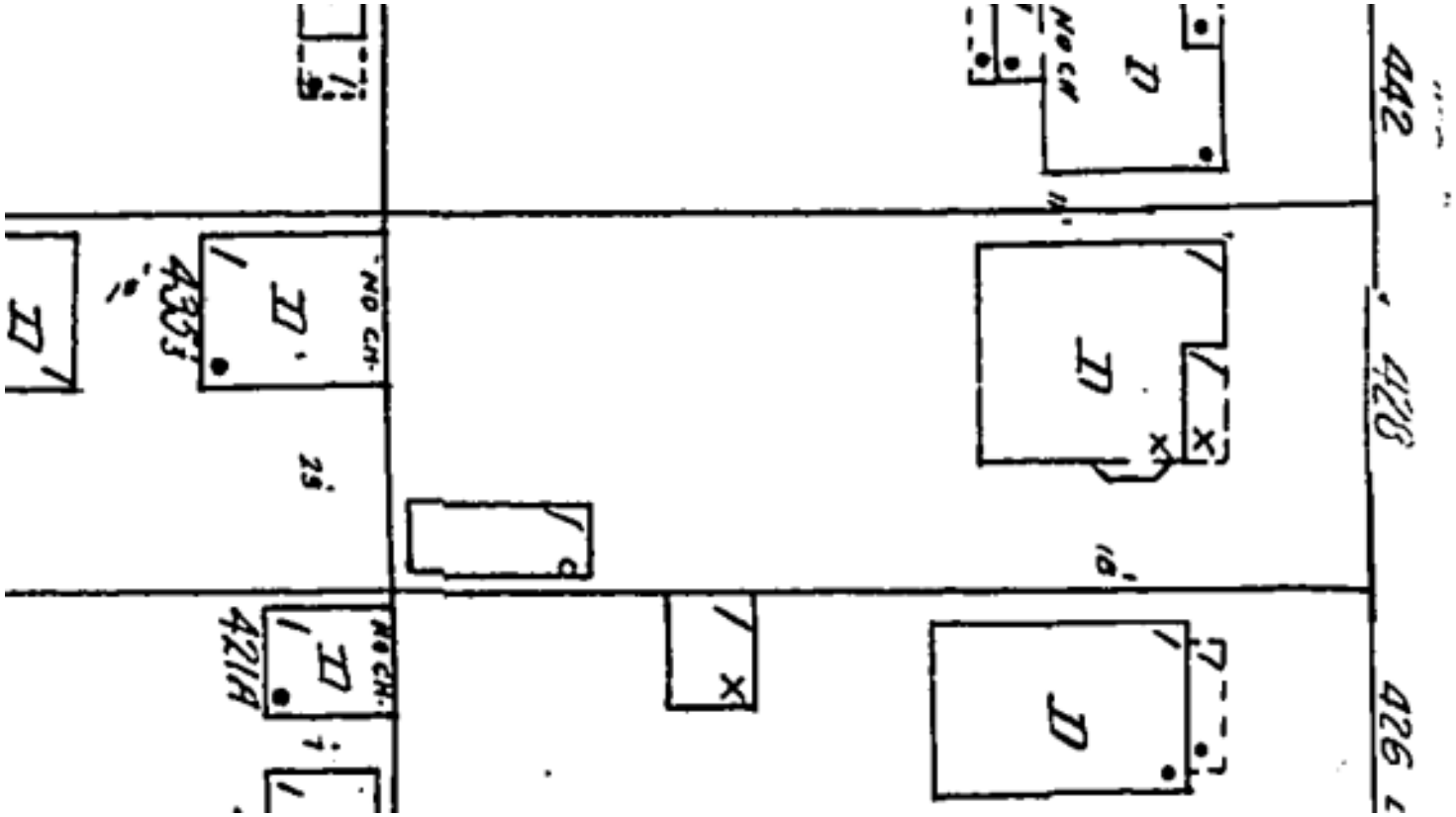
North elevation looking west.

North elevation of garage looking south.

Rear (east) elevation looking west.

Eave framing detail, front (west) elevation.

Window framing detail, south elevation.




Excerpt from Page 2 of the 1922/1950 Sanborn Fire Insurance Map of Orange, CA.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**PRIMARY RECORD**

Primary #
HRI # 111943
Trinomial ORA
NRHP Status Code 1D

Other Listings:
Review Code: Reviewer: Date:



*Resource Name or #: (Assigned by Recorder) LEMON_N_428__APN_039-142-17

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☑ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 428 - N LEMON ST , # City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone ' mE/ mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boudnaries. Continues on Pg.3.)

Materials: Frame - Stucco or plaster

A single-story house with wide-lap siding and single side-facing gable roof. An unusual appearance is derived from the two small front-facing gabled dormers.

*P3b. Resource Attributes: (List attributes and codes) (HP2)--Single family property

*P4. Resources Present: ☑ Building ☐ Structure ☐ Object ☐ Site ☑ Element of District ☐ District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) 2005

*P6. Date Constructed/ Age and Source:

1911

☑ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D. Matsumoto

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded:

March, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005) Historic Resources Survey. AEGIS (1991) Historic Building Inventory Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments: ☐ NONE ☐ Location Map ☑ Continuation Sheet(s) ☑ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

DPR 523A (1/95) *Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND OBJECT RECORD**

Primary #
HRI # 111943
*NRHP Status Code 1D



***Resource Name or #:** (Assigned by Recorder) LEMON_N_428__APN_039-142-17

**B1. Historic Name:** Unknown

**B2. Common Name:**

**B3. Original Use:** RES **B4. Present Use:** RES

***B5. Architectural Style:** Bungalow

***B6. Construction History:** (Construction date, atlerations, and date of alterations) **Date of Construction:** 1911 ☑ Historic ☐ Prehistoric ☐ Both

***B7. Moved?** ☑ No ☐ Yes ☐ Unknown **Date:** **Original Location:**

***B8. Related Features:**

***B9. Architect or Builder:** Unknown

***B10. Significance:** **Theme:** Architecture **Area:** City of Orange **Property Type:** Residence

**Period of Significance:** Old Towne: Early Settlement (c. 1870 - 1920) **Applicable Criteria:** AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

**Structural Integrity:** Good Condition - No apparent change to original structure.

**Site Integrity:**

**Opportunities:**

**B11. Additional Resource Attributes:** (List attributes and codes)

***B12. References:**

Orange Daily News.

**B13. Remarks:** (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

***B14. Evaluator:** Robert Chattel

***Date of Evaluation:** September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

***Required Information**

| State of California - The Resources Agency<br>DEPARTMENT OF PARKS AND RECREATION<br>**CONTINUATION SHEET** | Primary #<br>HRI # 111943<br>Trinomial ORA |
|---|---|



***Resource Name or #:** (Assigned by Recorder) LEMON_N_428__APN_039-142-17

**Recorded by:**
D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

**Date Recorded:** March, 2005

☑ Continuation ☐ Update

**Years Surveyed:** 1982, 1991, 2005

**Listed in National Register:** 1997

**General Plan:** LDR **# of Buildings:** 1

**Planning Zone:** R-2-6 **# of Stories:** 2

**Lot Acre:** **# of Units:** 1

**Principal Building Sqft:** 921

**Description of Photo:** 1991

**B6. Construction History (Continued from Pg.2):**

**B13. Remarks (Continued from Pg.2):**

**P3a. Description (Continued from Pg.1):**

# Agenda Item

## Design Review Committee

**Item #:** 4.3. 7/8/2021 **File #:** 21-0367

**TO:** **Chair and Members of the Design Review Committee**

**THRU:** **Anna Pehoushek, Assistant Community Development Director**

**FROM:** **Kelly Ribuffo, Associate Planner - Historic Preservation**

## 1. SUBJECT
Design Review No. 5031-21, Chapman Olive Residence, 321 N. Olive Street

## 2. SUMMARY
Final Determination by the Design Review Committee.

The applicant proposes to partially demolish a non-contributing rear addition, construct a new 38 square foot addition, and rehabilitate the front porch of an existing single-family residence. The property is a contributing resource to the Old Towne Historic District.

## 3. BACKGROUND INFORMATION
Applicant/Owner: Chapman University

Property Location: 321 N. Olive Street

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Duplex Residential (R-2-6)

Existing Development: 1,066 square foot single-family residence and 502 square foot detached garage

Associated Application: None

Previous DRC Project Review: None

## 4. PROJECT DESCRIPTION
The applicant proposes to rehabilitate a contributing single-family residence in conformance with the Historic Preservation Design Standards for Old Towne (Design Standards). In addition to overall maintenance and repair of the house, the scope of work includes the following items:

- Partial demolition of an existing non-historic rear addition, including replacement of siding and windows and reconstruction of the roofline in a gable form to match the rest of the residence.

- Addition of an additional 38 square feet onto the existing addition to extend the bedroom

footprint.

- Installation of new architecturally compatible windows and doors on the rear (east) and south elevations.

- Construction of new entry stoops and patio at the rear elevation to replace missing steps.

- Repair brick porch columns on the front elevation.

Detailed plans and photographs are included as Attachment 3 of this report. The proposed work meets the development standards for the R-2-6 zoning district.

## 5. EXISTING SITE

The project property is a contributing resource to the National Register-listed Old Towne Historic District. The one-story Craftsman Bungalow was constructed c.1915. The detached two-car garage was constructed in 1991 (Building Permit #22071). The construction date of the shed roof addition to the rear of the house is unknown, but it appears to be after 1940.

Overall, the property retains a medium to high degree of historic integrity but is currently in poor condition. Notably, the front porch columns are deteriorating, with some bricks missing from the bases, and the rear of the house has been subject to several alterations to window and door fenestration, leaving the siding patched and with exposed holes.

## 6. EXISTING AREA CONTEXT

The subject property is located on the east side of N. Olive Street, north of the intersection with W. Palm Avenue. The house is located west of the Chapman University campus core, in an area of single-family homes predominantly owned by the University as faculty and staff housing. The property is surrounded on all sides by residential properties (R-1-6 and R-2-6) that are also contributing resources to the Old Towne Historic District.

## 7. ANALYSIS AND STATEMENT OF THE ISSUES

No issue items have been identified for this project. It is the opinion of staff that the proposed work complies with the requirements for additions as set forth in the Historic Preservation Design Standards for Old Towne and the Secretary of the Interior's Standards for Rehabilitation.

The rear 38 square foot addition will be attached to a non-historic addition to the house and is designed with features to replicate the Craftsman features of the residence, with small differentiations, such as siding style, to indicate that the addition as a whole is not original to the building. The addition is not visible from the street and will not detract from the historic rhythm of the streetscape along N. Olive Street.

New windows and doors on all elevations have been designed to be compatible with existing original fixtures, with details provided on necessary repairs for original historic material.

Finally, details are provided for reconstruction of the front porch column bases, which are in poor condition, to restore them to their original appearance. The porch is a character-defining feature of all

Craftsman-style homes, and the repair work ensures the historic integrity of the house is preserved.

## 8. ADVISORY BOARD RECOMMENDATION

None.

## 9. PUBLIC NOTICE

None.

## 10. ENVIRONMENTAL REVIEW

**Categorical Exemption**: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15331 (Class 31 - Historical Resource Restoration/Rehabilitation) because the project consists of the removal of a non-historic addition to a historic residence, construction of a compatible rear addition, and rehabilitation of the front porch in compliance with the *Secretary of the Interior's Standards for Rehabilitation*. No public review is required.

## 11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Findings for DRC applications come from three sources:

- The Orange Municipal Code
- The Infill Residential Design Guidelines
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)

The Findings are applied as appropriate to each project. Based on the following Findings and statements in support of such Findings, staff recommends the DRC approve the project with recommended conditions.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.F.1).

  The project as proposed conforms to the requirements of the Historic Preservation Design Standards for Old Towne. The rear 38 square foot addition will be attached to a non-historic addition to the house and is designed with features to replicate the Craftsman features of the residence, with small differentiations, such as siding style, to indicate that the addition as a whole is not original to the building. The addition is not visible from the street and will not detract from the historic rhythm of the streetscape along N. Olive Street. New windows and doors on all elevations have been designed to be compatible with existing original fixtures, with details provided on necessary repairs for original historic material. Details are also provided for reconstruction of the front porch column bases, which are in poor condition, to restore them to their original appearance.

- In any National Register Historic District, the proposed work complies with the Secretary of the Interior's standards and guidelines (OMC 17.10.07.F.2).

The project as proposed complies with the Secretary of the Interior's Standards for Rehabilitation. The expanded rear addition utilizes historic design features of the residence, such as the gable roof pitch and wood frame windows, to relate the new addition to the historic portion of the residence. However, the addition is still differentiated as a non-historic addition through use of a different style lap siding and simplified window trim detail. Therefore, the addition cannot be mistaken for an original feature of the building or create a false sense of historical development on the property. The proposed repair work to the front porch columns will restore the design integrity of a character-defining feature of the house. Modifications to the windows and doors on the east and south elevation retain the existing fenestration pattern while replacing inappropriate replacement fixtures with stylistically compatible new fixtures.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

The proposed project complies with the Historic Preservation Design Standards for Old Towne. The project has been designed with features to compliment the Craftsman architectural features of the residence. The expanded rear addition utilizes historic design features of the residence, such as the gable roof pitch and wood frame windows, to relate the new addition to the historic portion of the residence. Modifications to the windows and doors on the east and south elevation retain the existing fenestration pattern while replacing inappropriate replacement fixtures with stylistically compatible new fixtures.

## 12. CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 3 (date stamped June 2, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.

2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.

3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out

of its approval of this permit, save and except that caused by the City's active negligence.

4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.

5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.

6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

## 13. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Project Narrative
- Attachment 3 - Architectural Plans date stamped June 2, 2021
- Attachment 4 - Site Photographs
- Attachment 5 - DPR Form for 321 N. Olive Street

# Agenda Item

## Design Review Committee

**Item #:** 4.3. 7/8/2021 **File #:** 21-0367

**TO:** **Chair and Members of the Design Review Committee**

**THRU:** **Anna Pehoushek, Assistant Community Development Director**

**FROM:** **Kelly Ribuffo, Associate Planner - Historic Preservation**

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- Addition of an additional 38 square feet onto the existing addition to extend the bedroom

footprint.

- Installation of new architecturally compatible windows and doors on the rear (east) and south elevations.

- Construction of new entry stoops and patio at the rear elevation to replace missing steps.

- Repair brick porch columns on the front elevation.

Detailed plans and photographs are included as Attachment 3 of this report. The proposed work meets the development standards for the R-2-6 zoning district.

## 5. EXISTING SITE

The project property is a contributing resource to the National Register-listed Old Towne Historic District. The one-story Craftsman Bungalow was constructed c.1915. The detached two-car garage was constructed in 1991 (Building Permit #22071). The construction date of the shed roof addition to the rear of the house is unknown, but it appears to be after 1940.

Overall, the property retains a medium to high degree of historic integrity but is currently in poor condition. Notably, the front porch columns are deteriorating, with some bricks missing from the bases, and the rear of the house has been subject to several alterations to window and door fenestration, leaving the siding patched and with exposed holes.

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Craftsman-style homes, and the repair work ensures the historic integrity of the house is preserved.

## 8. ADVISORY BOARD RECOMMENDATION

None.

## 9. PUBLIC NOTICE

None.

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The proposed project complies with the Historic Preservation Design Standards for Old Towne. The project has been designed with features to compliment the Craftsman architectural features of the residence. The expanded rear addition utilizes historic design features of the residence, such as the gable roof pitch and wood frame windows, to relate the new addition to the historic portion of the residence. Modifications to the windows and doors on the east and south elevation retain the existing fenestration pattern while replacing inappropriate replacement fixtures with stylistically compatible new fixtures.

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## 13. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Project Narrative
- Attachment 3 - Architectural Plans date stamped June 2, 2021
- Attachment 4 - Site Photographs
- Attachment 5 - DPR Form for 321 N. Olive Street

# Vicinity Map

## DRC No. 5031-21
## Chapman Olive Residence

## 321 N. Olive Street

**ORANGE** = CONTRIBUTING HISTORIC RESOURCE
**YELLOW** = NON-CONTRIBUTING RESOURCE

**City of Orange**
**Community Development Department**

CHAPMAN UNIVERSITY
FACILITIES MANAGEMENT

*Office of Facilities Management* *One University Dr. Orange, CA 92866* *(714 997-6658 • FAX (714) 997-6500*

To: City of Orange – Planning Division

From: Facilities Management

Date: 03/03/2021

Subject: 321 N Olive – 38 Square Foot Addition

Chapman University is undertaking a renovation of a residence within the historic district of Orange located at 321 N Olive. The renovation consists of interior replacement of plaster with drywall; insulating all walls, ceilings and floors; repair of all windows; replacement of kitchen cabinets and countertops; replacement of all MEP infrastructure; restoration of all flooring; repair of exterior siding and all new landscape.

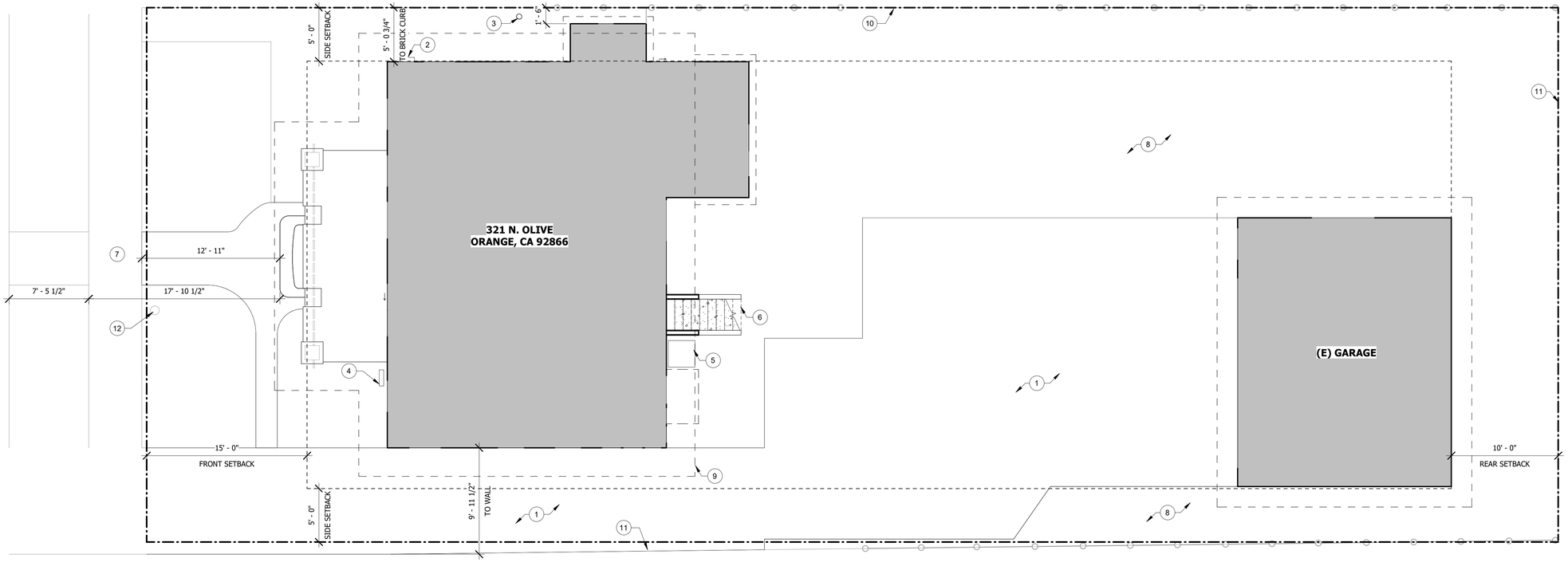
The residence at 321 N Olive was originally constructed in 1915 in the "Bungalow Craftsman" style, prevalent to the area. The "master bedroom" has an old addition that needs to be removed and reconstructed. The room is approximately 195 sf (12' x 16') and adding on the additional 38 sf will provide a more roomy and comfortable space. The end of the addition will also align with the edge of the rear patio that will be large enough for a table and chairs that seat four.

This minor addition will not in any way change the characteristic of the property or the house.

We hereby propose the DRC review and approve our proposed addition.

Sincerely,

Greg Desario
Senior Project Manager
Chapman University




1 SITE PLAN - EXISTING/DEMO
3/16" = 1'-0"

## SITE SETBACKS & MEASUREMENTS

| | |
|---|---|
| FRONT | 15' - 0" |
| REAR | 10' - 0" |
| SIDE | 5' - 0" |

## KEYNOTES - SITE PLAN

1. EXISTING CONCRETE DRIVEWAY
2. ELECTRIC PANEL
3. SEWER CLEANOUT
4. GAS MAIN
5. EXISTING HVAC. TO BE REMOVED AND REPLACED.
6. EXISTING EXTERIOR CRAWLSAPCE STAIRS.
7. SIDEWALK
8. EXISTING LANDSCAPE
9. EXISTING ROOF OVERHANG
10. EXISTING WOOD FENCE
11. EXISTING CMU WALL
12. EXISTING FREESTANDING MAILBOX TO BE REMOVED.

## SITE PLAN - LEGEND

- PROPERTY LINE
- SETBACK
- CENTER LINE
- EXISTING CONCRETE CURB
- CONCRETE BLOCK WALL (EXISTING)
- 200' — EXISTING GROUND CONTOUR (1' INTERVAL)
- EXISTING SQUARE FOOTAGE
- EXISTING FENCE

IS ARCHITECTURE
IONE R. STIEGLER, FAIA
5045 LA JOLLA BLVD. LA JOLLA, CA 92037
V: 858.456.8555 F: 858.456.8566
www.isarchitecture.com

LICENSED ARCHITECT
IONE R. STIEGLER
NO. C19425
REN 10/31/21
STATE OF CALIFORNIA

DIGITALLY SIGNED BY IONE R. STIEGLER

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CHAPMAN UNIVERSITY
321 N. OLIVE STREET
ORANGE, CA 92866

ONE UNIVERSITY DRIVE
ORANGE. CA 92866

REVISIONS

| NO. | NAME | DATE |
|---|---|---|
| | | |

IS ARCH PROJECT#
2020.15

| PROJ. MNGR. | DRAWN |
|---|---|
| JMR | SI |

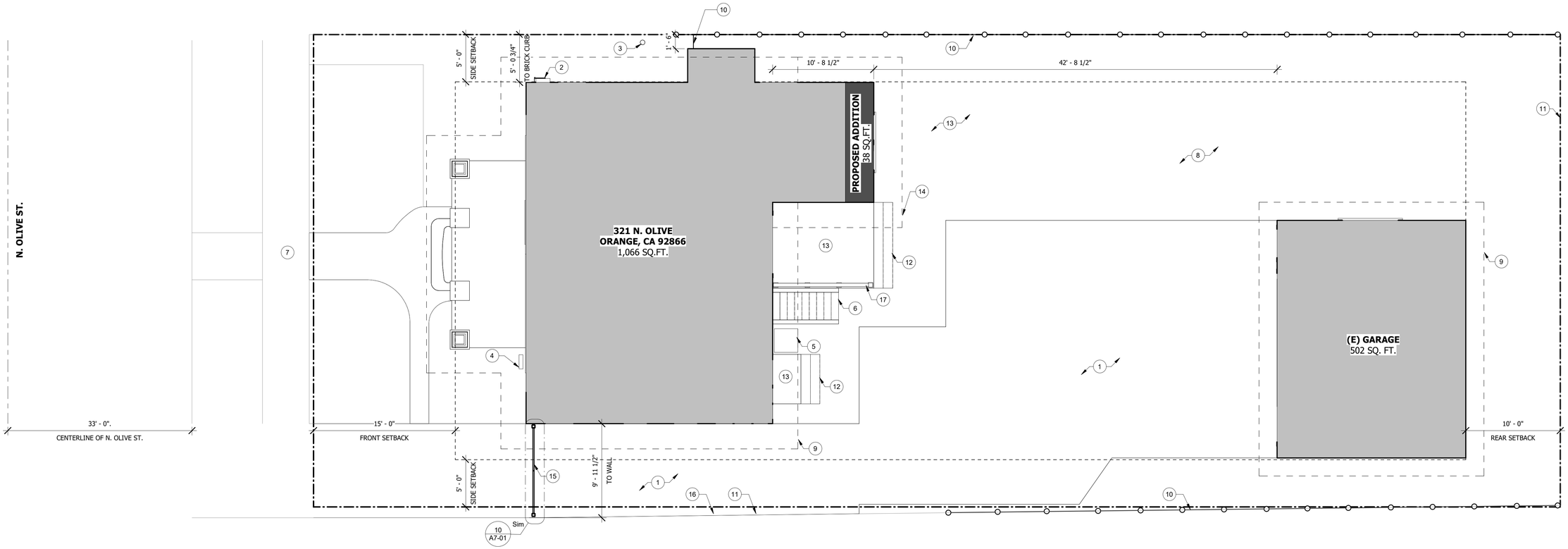
ISSUE DATE
2021-02-23

SITE PLAN - EXISTING

A1-01



BIM 360://Chapman University/321 N Olive - C2 - 2021-02-17.rvt




1 SITE PLAN
3/16" = 1'-0"

## GENERAL NOTES - SITE PLAN

1. SITE SHALL HAVE 5% DRAINAGE AROUND/AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 10 FT. ALTERNATELY, SWALES WITH SLOPE OF 2% SHALL BE LOCATED WITHIN 10 FT OF BUILDING FOUNDATION.
2. ALL NEW PATIO CONCRETE SHALL BE 4" THICK, SHALL HAVE #4 REBAR @ 16" OC AND SHALL HAVE TOP-CAST 5.
3. ALL EQUIPMENT PADS SHALL BE 4" THICK.

## KEYNOTES - SITE PLAN

1. EXISTING CONCRETE DRIVEWAY
2. ELECTRIC PANEL
3. SEWER CLEANOUT
4. GAS MAIN
5. NEW RHEEM CONDENSER. MODEL TBD. MINIMUM 14 SEER.
6. EXISTING EXTERIOR CRAWLSPACE STAIRS.
7. SIDEWALK
8. EXISTING LANDSCAPE
9. EXISTING ROOF OVERHANG
10. REPLACE EXISTING WOOD FENCE WITH DOG-EARED WOOD FENCE.
11. EXISTING CMU WALL
12. NEW EXTERIOR STAIRS
13. NEW CONCRETE PATIO, FINISH SHALL BE TOP-CAST 05
14. NEW ROOF OVERHANG
15. NEW DRIVEWAY GATE.
16. PATCH/REPAIR HOLES IN EXISTING CMU WALL.
17. NEW 3' TALL WOOD GUARDRAIL. SEE EXTERIOR ELEVATIONS.

## SITE PLAN - LEGEND

- PROPERTY LINE
- SETBACK
- CENTER LINE
- EXISTING CONCRETE CURB
- CONCRETE BLOCK WALL (EXISTING)
- 200' — EXISTING GROUND CONTOUR (1' INTERVAL)
- EXISTING SQUARE FOOTAGE
- PROPOSED ADDITION

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REVISIONS

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2020.15

| PROJ. MNGR. | DRAWN |
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ISSUE DATE
2021-02-23

SITE PLAN - PROPOSED

A1-02

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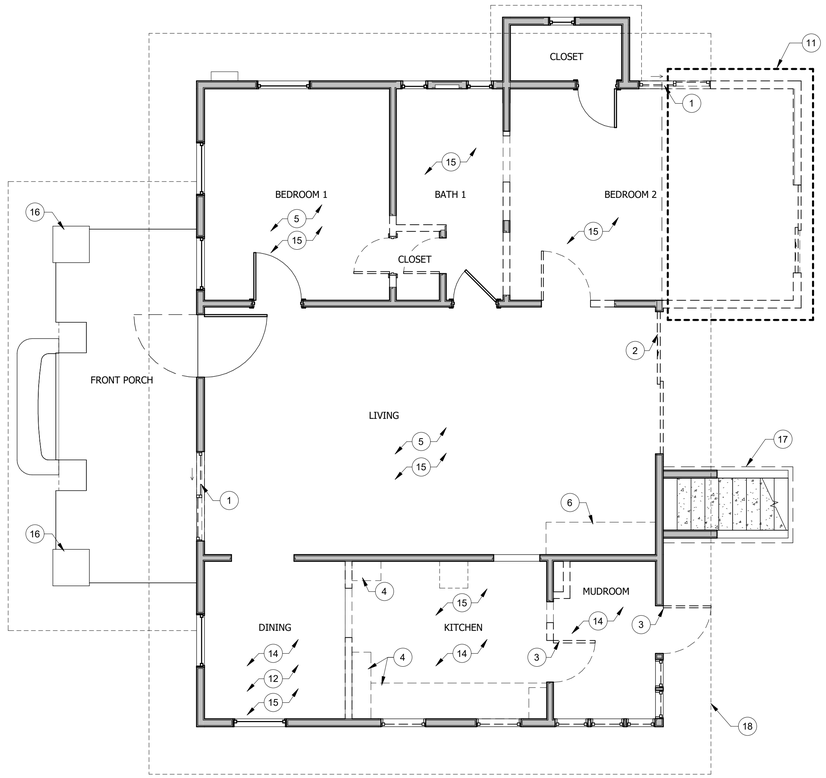
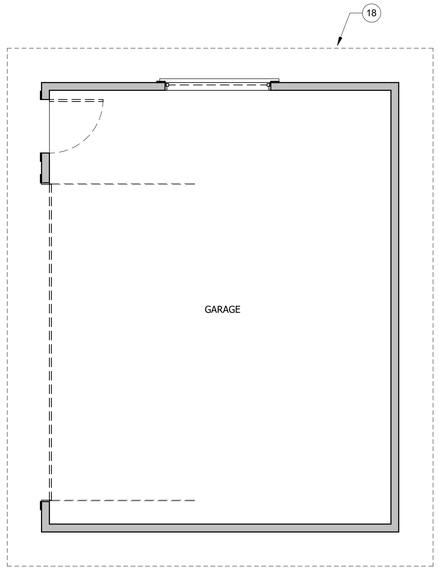
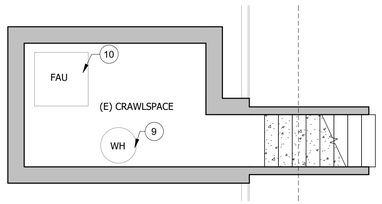



1 FLOOR PLAN - EXISTING/DEMO
1/4" = 1'-0"




2 GARAGE - EXISTING/DEMO
1/4" = 1'-0"




3 CRAWL SPACE - EXISTING
1/4" = 1'-0"

## GENERAL NOTES - DEMOLITION

1. THE CONTRACTOR SHALL PROVIDE FINISHED AND STRUCTURALLY SOUND TERMINATIONS AT DEMOLISHED AREAS. ALL ABANDONED EXISTING UTILITIES SHOULD BE PROPERLY CAPPED OFF.
2. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITY SERVICES, DIMENSIONS AND ELEVATIONS PRIOR TO STARTING DEMOLITION. SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
3. CONTRACTOR IS RESPONSIBLE TO PROTECT THE BUILDING AND BUILDING SITE DURING CONSTRUCTION TO AVOID INTRUSION BY UNAUTHORIZED PEOPLE, BIRDS, RODENTS AND PESTS.
4. CONTRACTOR TO PROVIDE PROTECTION AT ALL POTENTIAL FALLING HAZARDS DURING CONSTRUCTION PERIOD.
5. CONTRACTOR SHALL PROTECT IN PLACE ALL CONSTRUCTION THAT IS EXISTING TO REMAIN.
6. REMOVE ALL MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES AND EQUIPMENT.
7. ALL UNUSED ROOF VENTING TO BE REMOVED.
8. ROOF ANTENNA TO BE REMOVED.

## KEYNOTES - DEMOLITION

1. ALUMINUM WINDOWS SHALL BE REMOVED.
2. ALUMINUM SLIDER DOOR SHALL BE REMOVED.
3. DOOR SHALL BE REMOVED.
4. CABINETRY TO BE REMOVED.
5. PROTECT EXISTING WOOD FLOORS.
6. REMOVE EXISTING CABINETRY.
7. ROOF FRAMING SHALL BE REMOVED OVER BEDROOM.
8. BEDROOM EXTENSION SHALL BE REMOVED.
9. WATER HEATER SHALL BE REMOVED.
10. FAU SHALL BE REMOVED.
11. ROOF SHALL BE DEMOLISHED.
12. PROTECT EXISTING DISH/PLATE RAIL.
13. EXISTING ELECTRICAL PANEL TO BE REPLACED WITH NEW 200 AMP.
14. REMOVE EXISTING FLOOR MATERIAL.
15. ALL ORIGINAL INTERIOR TRIM (WINDOW/DOOR CASING, BASEBOARD, PICTURE RAIL) TO BE CATALOGUED, REMOVED AND STORED.
16. DISMANTLE PORCH COLUMNS AS NEEDED, TO INSTALL NEW FOOTING AND POST.
17. REMOVE CRAWLSPACE ACCESS DOOR.
18. REMOVE OLD ROOFING DOWN TO ROOF SHEATHING . REPAIR SHEATHING AS NEEDED, ADD RADIANT BARRIER (FOIL BACKED) PLYWOOD OVER SKIP SHEATHING & PREP SURFACE FOR NEW ASPHALT 3-TAB SHINGLE SYSTEM.

## WALL LEGEND

EXISTING CONSTRUCTION TO REMAIN

WALLS TO BE REMOVED

DOOR TO BE REMOVED

WINDOW TO BE REMOVED

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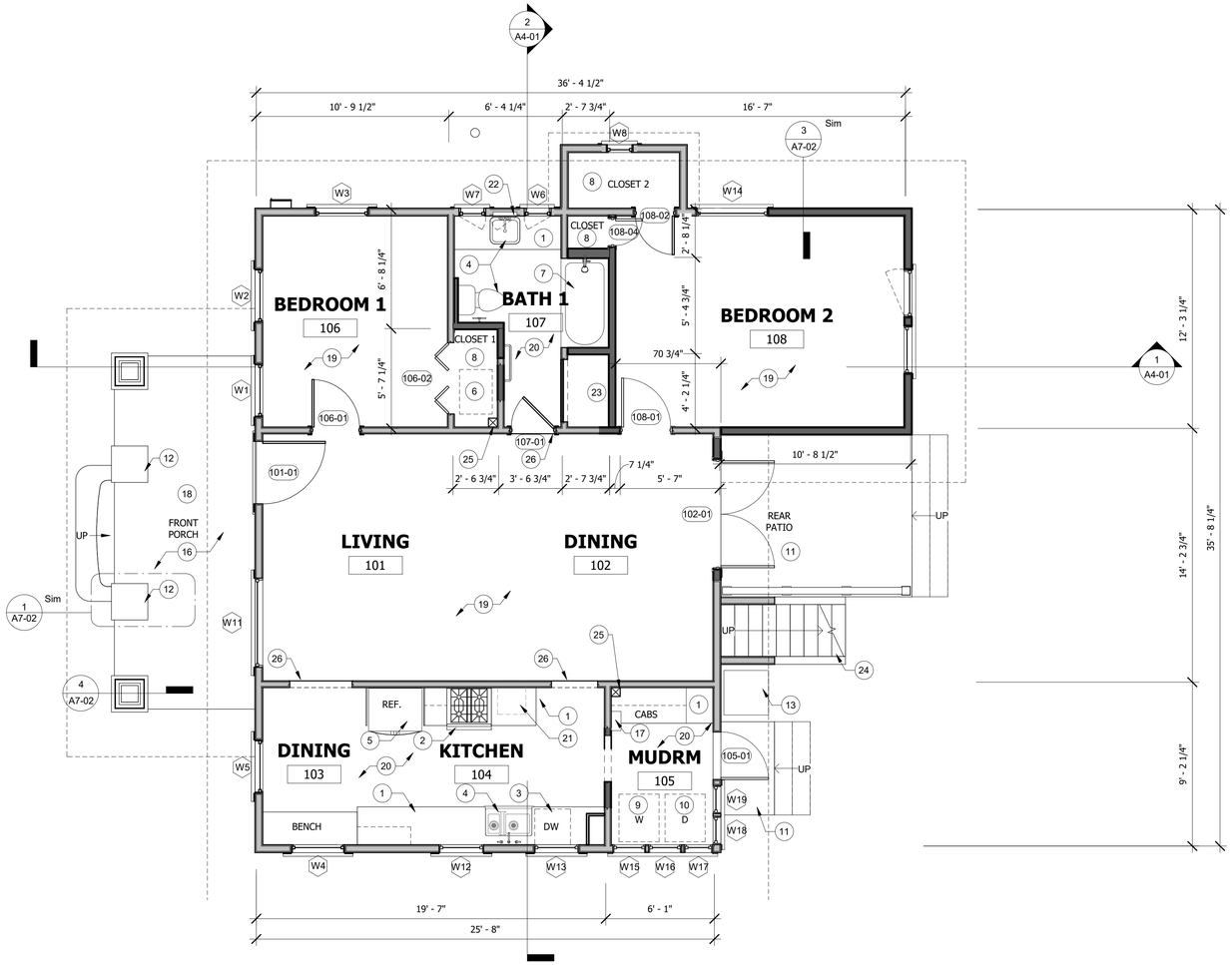
FLOOR PLAN - EXISTING / DEMO

A2-01




1 FLOOR PLAN
1/4" = 1'-0"

## GENERAL NOTES - FLOOR PLAN

1. GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILINGS, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SWIMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
2. WHERE DOORS SWING OUTWARD, THE FINISHED SURFACE OF THE EXTERIOR LANDING OR DECK SHALL BE WITHIN 1/2" OF THE DOOR THRESHOLD PER CBC 1008.1.6.
3. THERE SHALL BE A MINIMUM 36" DEEP FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS, WITH A SLOPE NOT EXCEEDING 1/4:12. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED.
4. MINIMUM CLEARANCE FROM THE CENTER LINE OF WATER CLOSET TO FACE OF ADJACENT WALL TO BE 15" MIN. AND 24" CLEAR IN FRONT OF WATER CLOSET.
5. ALL RESTROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS PROVIDE A MECHANICAL VENTILATION SYSTEM (EXHAUST FANS) CAPABLE OF PROVIDING FIVE COMPLETE AIR CHANGES PER HOUR AND DISCHARGING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 3 FEET FROM ANY EXTERIOR OPENING. VENT EXHAUST FANS TO OUTSIDE AIR WITH BACK-DRAFT DAMPER.
6. SHOWER COMPARTMENTS & BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH NON-ABSORBENT SURFACES THAT EXTEND TO A HEIGHT OF NOT LESS THAN 6'-0" ABOVE THE FLOOR. SHOWER PAN(S) SHALL BE HOT MOPPED WITH 4" BUILT-UP DAMN UNLESS NOTED OTHERWISE. TILE FINISH PER INTERIOR ELEVATIONS AT SHOWER STALL FLOOR AND WALLS TO CEILING HEIGHT UNLESS NOTED OTHERWISE. TILE DETAILING PER CERAMIC INSTITUTE STANDARDS.
7. PROVIDE MINIMUM R-22 INSULATION IN WOOD-FRAME CEILING, R-19 IN A RAFTER ROOF ALTERATION, R-13 INSULATION IN 2X4 INCH WOOD FRAMING WALL AND R-20 IN 2X6 INCH WOOD FRAMING, AND R-19 INSULATION IN RAISED WOOD FRAMED FLOOR PER CALIFORNIA'S ENERGY CODE TITLE 24, PART 6 REQUIREMENTS, UNLESS OTHERWISE NOTED.
8. PROVIDE R-13 INSULATION AT PLUMBING WALLS AND INTERIOR WALLS SURROUNDING BATHROOMS FOR SOUND ATTENUATION.
9. CHIMNEYS, FLUES, OR STOVE PIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE, OR OTHER SOLID LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH ANAPPROVED SPARK ARRESTOR.
10. ATTIC/UNDER FLOOR INSTALLATION OF MECHANICAL EQUIPMENT SHALL COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CMC.
11. HANDRAILS SHALL BE 34"-36" HIGH WITH HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING (CRC 311.7.8.1). HANDRAILS SHALL BE ON AT LEAST ONE SIDE OF EACH STAIR FLIGHT WITH FOUR OR MORE RISERS (CRC R311.7.8).
12. STAIRS SHALL HAVE MIN. 10" TREADS (RUN) AND 7.75" MAX, 4" MIN RISER. TREADS SHALL BE OF UNIFORM SIZE AND SHAPE. EXCEPT LARGEST TREAD WITHIN ANY FLIGHT NOT TO EXCEED SMALLEST BY MORE THAN 3/8" (PER CBC SEC. 1009).
13. GUARDRAIL SHALL BE 42" HIGH. OPENINGS BETWEEN PICKETS SHALL HAVE 4" MAX. CLEAR SPACING

## KEYNOTES - FLOOR PLANS

1. BUILT-IN CABINETRY, REFER TO INTERIOR ELEVATIONS AND FINISH SCHEDULE.
2. GAS RANGE.
3. DISHWASHER.
4. NEW PLUMBING FIXTURE, TYPICAL PER SPECIFICATIONS.
5. REFRIGERATOR-FREEZER. PROVIDE PURIFIED COLD WATER SUPPLY TO ICE MAKER WITH RECESSED SHUTOFF VALVE.
6. ATTIC ACCESS, MINIMUM OPENING SIZE 22" X 30"; MINIMUM HEAD CLEARANCE 30".
7. BATHTUB /SHOWER.
8. CLOSET: SHELF AND POLE.
9. CLOTHES WASHER. RECESS HOT & COLD WATER CONNECTIONS INTO WALL.
10. CLOTHES DRYER. VENT OUTSIDE AIR, PROVIDE WEATHER HOOD WITH DAMPER AT FINISH EXTERIOR WALL. USE 4" DIAMETER SMOOTH GALVANIZED METAL EXHAUST DUCT. TOTAL VERTICAL AND HORIZONTAL RUN IS LIMITED TO 14'-0" WITH A MAX. OF 2 ELBOWS.
11. NEW CONCRETE LANDING/PATIO, SLOPE 1/4" PER FOOT TO ALLOW DRAINAGE.
12. RECONSTRUCTED PORCH PILASTER. RE-USE SALVAGED BRICK ON SITE. MATCH GROUT WIDTHS TO EXISTING ADJACENT COLUMNS.
13. NEW CONDENSER.
14. NEW RHEEM GAS TANKLESS WATER HEATER.
15. NEW FAU, MULTI POSITION, SHALL BE MINIMUM 80% AFUE AND TWO STAGE.
16. REFINISH PORCH CEILING TO BE 3030 SAND FINISH, LATH AND PLASTER.
17. PORTABLE FIRE EXTINGUISHER.
18. EXISTING CONCRETE TO BE REPAIRED AS NEEDED.
19. REFINISH AND REPAIR WOOD FLOOR, REPLACE AS NEEDED WITH 3" DOUGLAS FIR, TO MATCH EXISTING.
20. FLOOR TILE. DAL MN21 2" x 2" OCTAGON SANDSTONE WITH BROWN DOT. GROUT SHALL BE SANDED #122 LINEN.
21. EXISTING BRICK FLUE TO REMAIN IN PLACE. REPAIR AND REPLACE SUPPORT SYSTEM TO KEEP FLUE AT EXISTING LOCATION.
22. EXISTING MEDICINE CABINET.
23. WOOD SHELVING.
24. NEW CRAWLSPACE DOOR.
25. CHASE FOR MECHANICAL FLUE.
26. PROVIDE WOOD THRESHOLD TRANSITION FROM WOOD FLOORING TO TILE. THRESHOLD TO MATCH WOOD FLOORING.

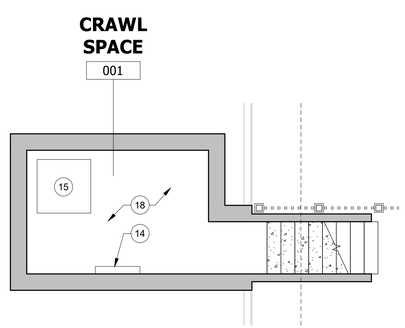
## WALL LEGEND

EXISTING CONSTRUCTION TO REMAIN

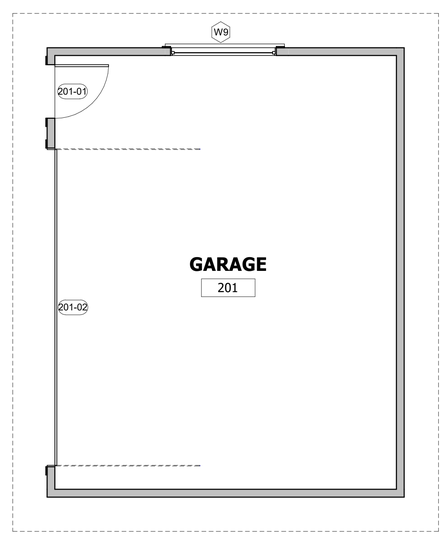
NEW WOOD FRAMED WALLS TO BE CONSTRUCTED / INFILLED: (MATCH ADJACENT EXISTING WALL THICKNESS)

NEW DOOR (PER DOOR SCHEDULE)

NEW WINDOW (PER WINDOW SCHEDULE)




3 CRAWLSPACE
1/4" = 1'-0"




2 GARAGE
1/4" = 1'-0"

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FLOOR PLAN - PROPOSED

A2-02

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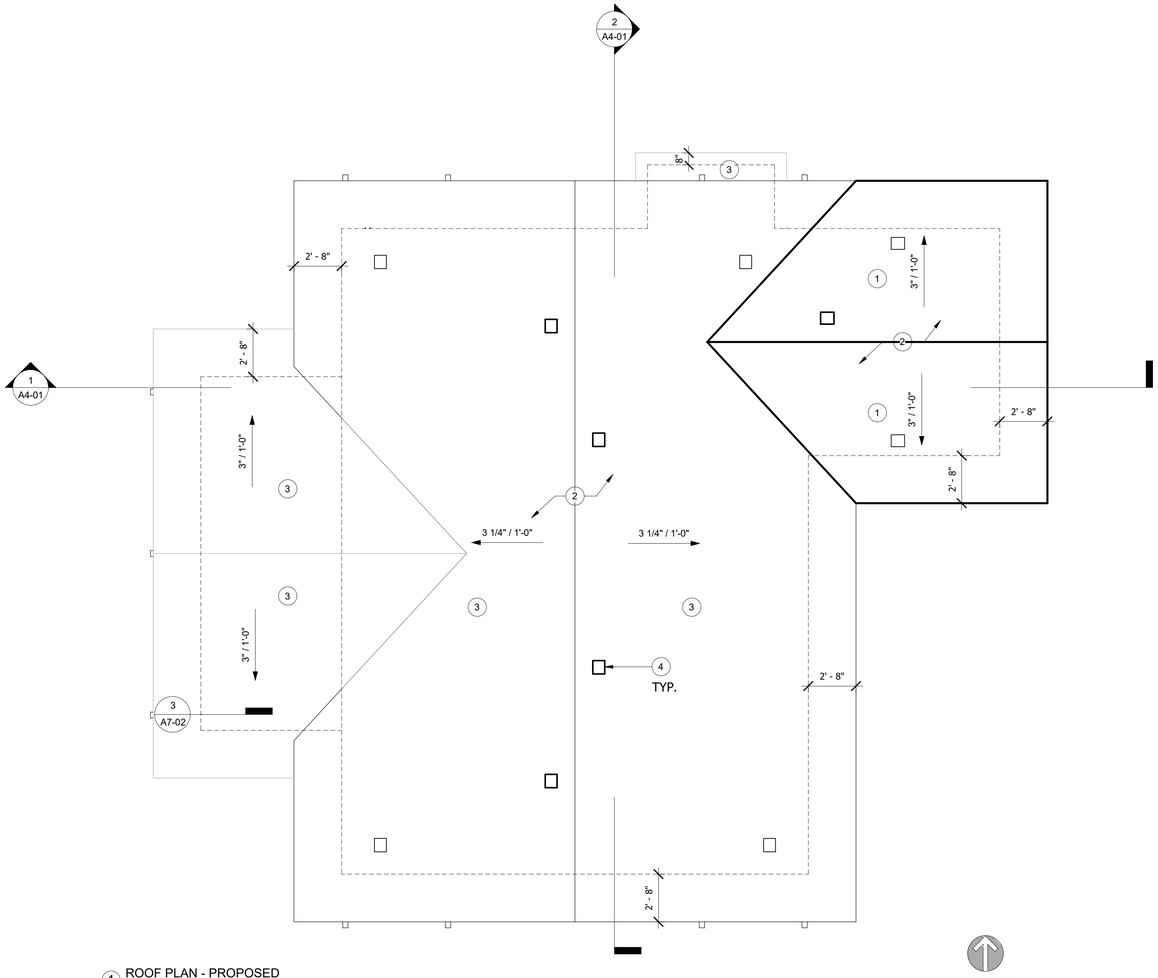
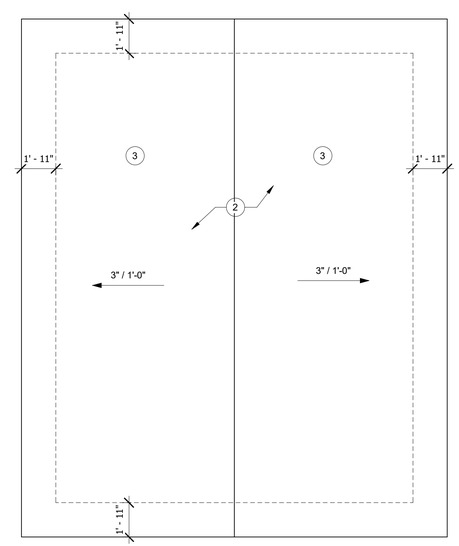



1 ROOF PLAN - PROPOSED
1/4" = 1'-0"




2 GARAGE ROOF PLAN - PROPOSED
1/4" = 1'-0"

## GENERAL NOTES - ROOF PLAN

1. NEW CLASS "A" ROOFING THROUGHOUT.
2. PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS.
3. PROVIDE FIRE STOP AT EAVE ENDS TO PREVENT ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIALS.
4. VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT SUCK VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATE IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE. COORDINATE LOCATIONS WITH ARCHITECT.
5. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.
6. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIES DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN (OR SNOW). THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING (CRC R806.2).
7. ROOF MATERIAL FASTENERS SHALL BE RATED TO SUSTAIN A MINIMUM WIND OF 80 M.P.H.
8. USE CORROSION RESISTIVE NAILS AND FASTENERS. AVOID CONTACT BETWEEN DISSIMILAR METALS.
9. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE (CRC R327.5.5).
10. VALLEY FLASHING SHALL BE NOT LESS THAN 0.19 INCH (NO. 26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 6 INCH WIDE UNDERLAYMENT CONSISTING OF ONE SHEET OF NO.72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (CRC R327.5.3).
11. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS (CRC R327.6.3).
12. ALL VENT OPENINGS (ATTIC, UNDERFLOOR, COMBUSTION AIR, ETC.) PROTECTED BY NONCOMBUSTIBLE, CORROSION RESISTANT MESH THAT MEETS THE FOLLOWING REQUIREMENTS PER CRC R327.6:
    - A. INDIVIDUAL OPENINGS SHALL NOT EXCEED 144 SQUARE INCHES.
    - B. THE DIMENSIONS OF THE OPENINGS SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/4". MATERIALS SHALL BE NONCOMBUSTIBLE AND CORROSION RESISTANT.

## KEYNOTES - ROOF PLAN

1. NEW ROOF FRAMING. ADD RADIANT BARRIER (FOIL BACKED) PLYWOOD OVER SKIP SHEATHING.
2. NEW GAF ASPHALT 3-TAB ROYAL SOVEREIGN SHINGLES; COLOR: TBD. ICC ESR-1475
3. EXISTING ROOF FRAMING.
4. ATTIC VENTING. O'HAGIN TAPERED LOW-PROFILE VENT STANDARD LINE, COLOR: TBD

## FLOOR PLAN ATTIC VENTILATION

ATTIC AREA (REQ. VENTILATION): 1,104 SQ. FT.
1,104 SQ. FT. x 1/150 = 7.36 SQ. FT.
7.36 SQ. FT. x 144 SQ. IN. = 1,059.84 SQ. IN. OF VENTILATION REQUIRED

QTY: 2 GABLE VENTS = 103 SQ. IN. PER EKENA MILLWORK VENT
QTY: 1 GABLE VENT = 70 SQ. IN. PER EKENA MILLWORKS VENT
QTY: 11 VENTS = 72 SQ. IN. PER O'HAGIN ROOF VENTS

2 x (103 SQ. IN.) = 206 SQ. IN.
1 x (70 SQ. IN.) = 70 SQ. IN.
11 x (72 SQ. IN.) = 792 SQ. IN.

| | |
|---|---|
| | 206 SQ. IN. |
| | 70 SQ. IN. |
| + | 792 SQ. IN. |
| TOTAL | 1,068 SQ. IN. |

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2021-02-23

ROOF PLAN
- PROPOSED

A2-03

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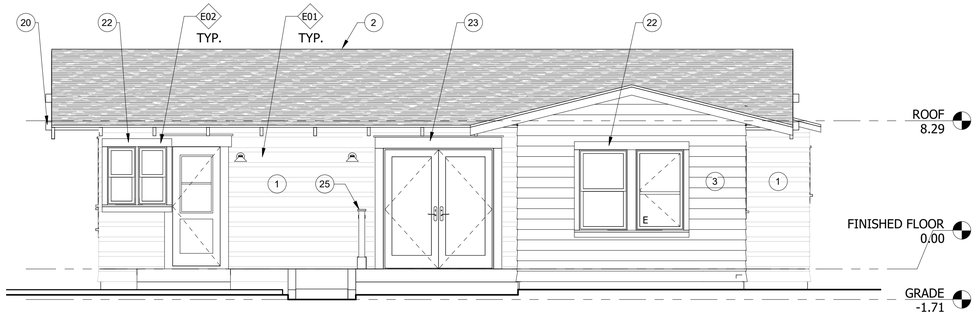
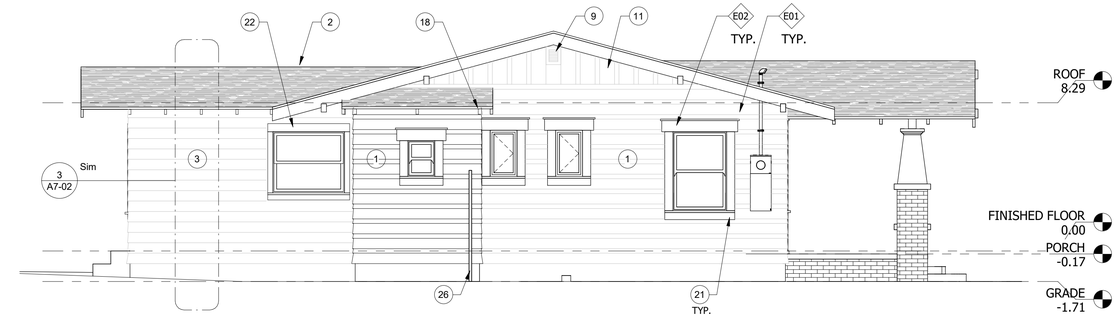
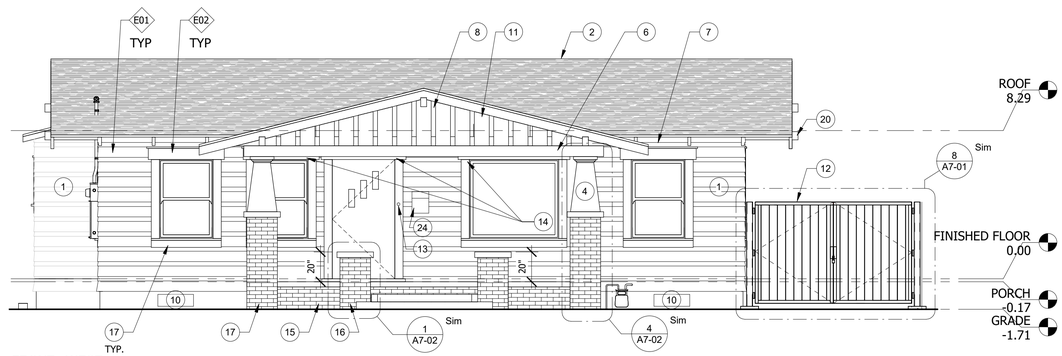


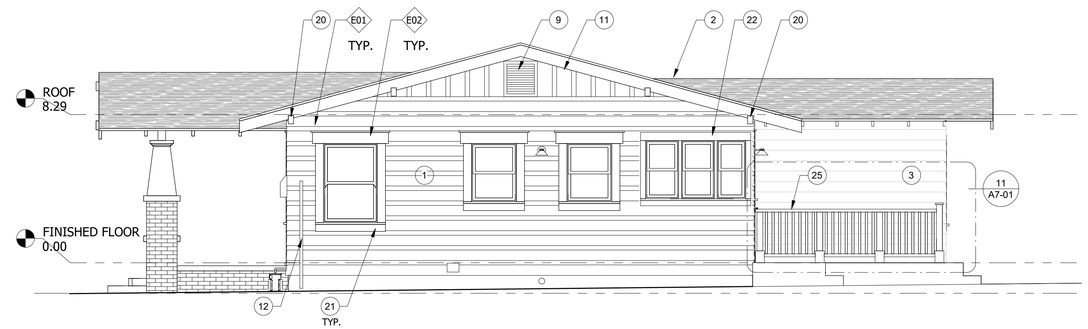

2 REAR - EAST
1/4" = 1'-0"




1 SIDE - NORTH
1/4" = 1'-0"




4 FRONT - WEST
1/4" = 1'-0"




3 SIDE - SOUTH
1/4" = 1'-0"

## LEGEND - EXTERIOR FINISHES

NOTE: REFER TO EXTERIOR FINISH SCHEDULE FOR FINISHES.

- E01 — SIDING PAINT, SHERWIN WILLIAMS: SAGE SW-2860 PRESERVATION PALETTE
- E02 — TRIM PAINT, SHERWIN WILLIAMS: ROYCROFT VELLUM SW-2833 PRESERVATION PALETTE
- E03 — SASH & DOORS, SHERWIN WILLIAMS: ROOKWOOD RED SW-2802 PRESERVATION PALETTE

## KEYNOTES - EXT. ELEVATIONS

1. SIDING TO REMAIN; REPAIR AND REPLACE MISSING/ROTTING/BROKEN PIECES AS NEEDED. REDWOOD SHALL BE USED FOR REPLACEMENT PIECES.
2. NEW GAF ASPHALT 3-TAB ROYAL SOVERIGN SHINGLES FINISH: TBD
3. NEW EXTERIOR REDWOOD SIDING; SIDING EXPOSURE TO BE 7 INCHES.
4. HOUSE NUMBERS BY OWNER. CONTRACTOR TO INSTALL.
5. REPAIR, REFINISH OR REPLACE IN-KIND WOOD MEMBERS AS NEEDED.
6. ALL MISCELLANEAOUS HARDWARE TO BE REMOVED.
7. EXTERIOR MISCELLANEOUS WIRES TO BE REMOVED.
8. EXISTING/MISSING SCREENS TO BE REPAIRED AND REPLACED.
9. REPAIR AND REPLACE ROOF VENT.
10. VENT HOLES FOR CRAWL SPACE NEED TO BE RE-BUILT, WOOD FRAME WITH WIRE MESH; SIZE TO FIT.
11. REPAIR AND REPLACE VERTICAL SIDING AT GABLE ROOF ENDS AS NEEDED.
12. NEW DRIVEWAY GATE.
13. EXISTING DOORBELL TO BE REPAIRED AS NEEDED.
14. NEW WOOD HEAD CASING TO MATCH ORIGINAL.
15. REPOINT BRICK MORTAR AT FRONT PORCH, MATCH ORIGINAL.
16. RECONSTRUCT PILASTERS USING ORIGINAL SALVAGED BRICK.
17. REBUILD COLUMN PER STRUCTURAL. REUSE ALL EXISTING MATERIALS, REPLACE NEW ONLY AS NEEDED.
18. PATCH, REPAIR WOOD MEMBERS. REPLACE IF BEYOND REPAIR. NEW WOOD TO MATCH EXISTING.
19. NEW WOOD APRON TO MATCH EXISTING, (SIZE).
20. EXISTING BEAM CUTOUT TO BE REPAIRED.
21. EXISTING WINDOW CASING APRONS TO BE REPLACED WITH NEW. NEW WOOD TO MATCH EXISTING.
22. NEW WINDOW CASING:
    - HEAD PIECE: 1" x 6"
    - TRIM: 1" x 4"
    - SILL: 2 1/2" x 1 1/4"
    - APRON: 1" x 4"
23. NEW DOOR CASING:
    - HEAD TRIM: 2 1/2" x 1"
    - HEAD PIECE: 1" x 8"
    - TRIM: 1" x 6"
24. NEW MAILBOX. PROVIDED BY OWNER (FBO).
25. NEW 3' TALL WOOD GUARDRAIL.
26. NEW DOG-EARED WOOD FENCE.

## GENERAL NOTES - EXTERIOR

1. REFER TO ROOF PLAN KEY NOTES FOR ROOF COVERING SPECIFICATIONS.
2. ALL PROTRUDING NAILS TO BE REMOVED.
3. TREAT WITH LIQUID EPOXY TO CONSOLIDATE ANY WOOD ROT.
4. GLAZING PUTY TO BE SCRAPED, REMOVED AND REPLACED.
5. ALL UNUSED ROOF VENTING TO BE REMOVED.
6. REPAIR AND REPLACE WINDOW SCREENS. FRAME SHALL BE 1X3 REDWOOD WITH ALUMINUM INSERT SCREEN; SCREEN SHALL BE BLACK; BLACK HANGER CLIPS TO BE USED FOR HARDWARE.
7. RE-GLAZE ALL EXISTING WINDOWS.
8. FENCING - NON STREET VIEW:
   - A. DOG EARED CEDAR PLANKS 1 x 6.
   - B. ROUGH SAWN HORIZONTAL REDWOOD 2" x 4" ( 3 PER PANEL).
   - C. REDWOOD 4" x 4" POSTS SET IN CONCRETE.
9. FENCING - STREET VIEW:
   - A. 1" x 6" REDWOOD TONGUE AND GROOVED.
   - B. ROUGH SAWN HORIZONTAL REDWOOD 2" x 4" ( 3 PER PANEL)
   - C. REDWOOD 4" x 4" POSTS IN CONCRETE.
   - D. TRIMMED OUT WITH A 1" x 4" ON TOP AND BOTTOM.
10. GATES:
    - A. SHALL HAVE 4" x 4" METAL POSTS.
    - B. SHALL HAVE 2" x 2" WELDED STEEL FRAME.
    - C. SHALL MATCH FENCE STYLE.

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IONE R. STIEGLER
NO. C19425
REN 10/31/21
STATE OF CALIFORNIA

DIGITALLY SIGNED BY IONE R. STIEGLER

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CHAPMAN UNIVERSITY
321 N. OLIVE STREET
ORANGE, CA 92866

ONE UNIVERSITY DRIVE
ORANGE. CA 92866

REVISIONS

| NO. | NAME | DATE |
|---|---|---|
| | | |

IS ARCH PROJECT#
2020.15

| PROJ. MNGR. | DRAWN |
|---|---|
| JMR | SI |

ISSUE DATE
2021-02-23

EXTERIOR ELEVATIONS

A3-01

BIM 360://Chapman University/321 N Olive - CD - 2021-03-17.rvt

# DOOR & WINDOWS GENERAL NOTES

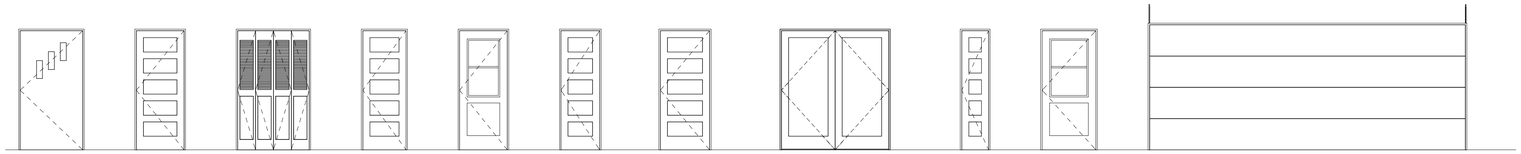
1. EXTERIOR DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER CALIFORNIA ENERGY CODE TITLE 24, PART 6, SEC. 116.
2. ALL NEW EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER STRIPPED; MANUFACTURED UNITS SHALL MEET ANSI AND TITLE 24 STANDARDS FOR AIR INFILTRATION.
3. GLAZING SHALL MEET THE MINIMUM REQUIREMENTS OF TITLE 24, CHAPTER 6. GLASS SHALL BE TEMPERED WHERE INDICATED OR REQUIRED.
4. SAFETY GLAZING PER CBC SEC. 2406 FOR: GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMINGPOOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING (CBC 2406.4.5). EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AS WELL AS THE INFORMATION SPECIFIED IN SECTION 2403.1. THE DESIGNATION SHALL BE ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED. A LABEL MEETING THE REQUIREMENTS OF THIS SECTION SHALL BE PERMITTED IN LIEU OF THE MANUFACTURER'S DESIGNATION (CBC2406.3). ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED.
5. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING FOR GRADE FLOOR EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE 5 SQUARE FEET( CBC 1030.2). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (CBC 1030.2.1). EMERGENCY SCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING OR GREATER THAN 44 INCHES MEASURED FROM THE FLOOR(CBC 1030.3).
6. COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF WINDOW AND DOOR UNITS, HARDWARE, OPERATORS, ACCESSORIES AND OTHER WINDOW COMPONENTS.
7. VERIFY ROUGH OPENING SIZE PRIOR TO INSTALLATION OF WINDOWS AND DOORS.
8. WINDOWS AND DOORS SHALL BE SIZED AS INDICATED ON THE SCHEDULE. OPENINGS SHALL BE FRAMED (ROUGH) TO ALLOW 1/4" CLEARANCE ON ALL SIDES (TOLERANCE +/- 1/16").
9. PROVIDE DEAD BOLT LOCKS AT ALL EXTERIOR DOORS. ALL DOOR AND WINDOW HARDWARE TO BE FURNISHED AND INSTALLED BY CONTRACTOR, PER SCHEDULE AND APPROVED BY ARCHITECT AND OWNER.
10. DOORS AND FRAMES: SET FRAMES PLUMB AND SQUARE. PROVIDE SOLID BLOCKING AT NOT MORE THAN 16" ON CENTERS FOR EACH JAMB FRAME. POSITION BLOCKING TO OCCUR BEHIND HINGES AND LOCK STRIKES. DOUBLE WEDGE FRAMES AND FASTEN WITH FINISHING NAILS. SET NAILS FOR PUTTY STOPPING. INSTALL DOOR HARDWARE AND DOOR INTO FRAME. ADJUST HARDWARE FOR PROPER FIT AND OPERATION.
11. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED, ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1.

# DOORS & WINDOWS PROJECT NOTES

1. NEW INTERIOR DOORS SHALL BE TM COBB DOUGLAS FIR.
2. NEW REAR DOOR SHALL BE TM COBB TYCO COMBO SQUARE PANEL ON THE BOTTOM.
3. ALL ORIGINAL DOORS TO BE CLEANED, RE-PAINTED AND RE-FINISHED TO MATCH ORIGINAL.
4. EXISTING AND OR REPLACED WINDOW SASH CORDS AND SASH JAMB SHALL NOT BE PAINTED.
5. TOP LATCH AND BOTTOM THUMB PULLS TO BE CLEANED AND RE-USED.
6. ALL WINDOW WEATHER STRIPPING TO BE REPLACED.
7. ALL EXISTING WOOD WINDOWS SHALL BE SCRAPED, STRIPED/SANDED, RE-GLAZED AND RE-PAINTED.
8. SALVAGE AND RE-USE WINDOW WEIGHTS.
9. HINGES, HANDLES AND LOCKSETS SHALL BE OIL RUBBED BRONZE FINISH.
10. THRESHOLD FRONT SHALL BE STAINED OAK AND THRESHOLD REAR SHALL BE BRONZE.
11. STAIN OR PAINT Q-LON EXTERIOR JAMBS.
12. FOR NEW AND OR REPLACED WINDOW SCREENS:
    - A. 1X3 REDWOOD FRAME WITH ALUMINUM INSERT SCREEN.
    - B. SCREEN SHALL BE BLACK IN COLOR.
    - C. BLACK HANGER CLIPS.
      - a. HOOK BASE 1 3/4" H x 1 1/4" W, THICKNESS 1/8"
13. FOR NEW AND OR REPLACED DOOR HARDWARE:
    - A. FRONT DOOR SHALL BE SCHLAGE ADDISON.
    - B. INTERIOR DOORS SHALL BE GEORGIAN ROUND.
      - a. BED AND BATH SHALL HAVE PRIVACY LOCK.
      - b. CLOSET AND HALL SHALL BE PASSAGE. CLOSET SHALL BE DUMMY KNOBS (IF THEY ARE NOT WALK-IN).

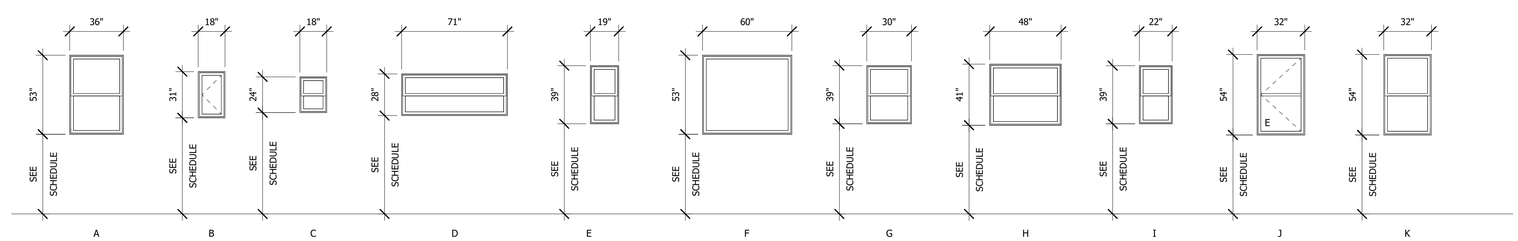
# DOOR SCHEDULE

| MARK | TYPE MARK | PHASE CREATED | WIDTH | HEIGHT | THICK NESS | FUNCTION | MANUFACTURER | MODEL | CONSTRUCTION TYPE | FINISH | GLAZING | HARDWARE | NOTES |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 101-01 | A | Existing | 3' - 6" | 6' - 8" | 1 3/8" | Exterior | | | WOOD | | | | SALVAGE. REPAIR DOOR HANDLE & SECURITY BOLT. STRIP PAINT AND WOOD STAIN FINISH. |
| 102-01 | H | New Construction | 6' - 0" | 6' - 8" | 1 3/8" | Exterior | TM COBB | | WOOD | | | NRP HINGE | |
| 105-01 | E | New Construction | 2' - 8" | 6' - 8" | 1 3/8" | Exterior | TM COBB | | WOOD | | | NRP HINGE | TM COBB TYCO COMBO SQUARE PANEL ON THE BOTTOM; |
| 106-01 | B | Existing | 2' - 8" | 6' - 8" | 1 3/8" | Interior | | | WOOD | | | | KEEP HARDWARE. |
| 106-02 | C | New Construction | 4' - 0" | 6' - 8" | 1 3/8" | Interior | TM COBB | | WOOD | | | | |
| 107-01 | D | Existing | 2' - 5" | 6' - 8" | 1 3/8" | Interior | | | WOOD | | | | HARDWARE WORKS. |
| 108-01 | G | New Construction | 2' - 9" | 6' - 8" | 1 3/8" | Interior | TM COBB | | WOOD | | | | RE-USED DOOR |
| 108-02 | F | Existing | 2' - 2" | 6' - 8" | 1 3/8" | Interior | | | WOOD | | | | RE-WORK HARDWARE. |
| 108-04 | I | New Construction | 1' - 6" | 6' - 8" | 1 3/8" | Interior | TM COBB | | WOOD | | | | |
| 201-01 | J | New Construction | 3' - 0" | 6' - 8" | 1 3/8" | Exterior | TM COBB | | WOOD | | | | |
| 201-02 | K | New Construction | 17' - 8" | 7' - 0" | 1 3/8" | Exterior | TBD | | WOOD | | | | GARAGE DOOR |




# WINDOW SCHEDULE

| MARK | TYPE MARK | ROOM NAME | WIDTH | HEIGHT | HEAD HEIGHT | OPERATION | MANUFACTURER | MODEL | CONSTRUCTION TYPE | FINISH | GLAZING | NOTES |
|---|---|---|---|---|---|---|---|---|---|---|---|---|
| W1 | A | BEDROOM 1 | 3' - 0" | 4' - 5" | 6' - 8" | DOUBLE HUNG | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | BOTH SASH PULL CORD AND WEIGHT TO BE REPLACED. WOOD TO BE CLEANED AND RE-PAINTED. |
| W2 | A | BEDROOM 1 | 3' - 0" | 4' - 5" | 6' - 8" | DOUBLE HUNG | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | BOTH SASH PULL CORD AND WEIGHT TO BE REPLACED. WOOD TO BE RE-FINSIHED. BROKEN WINDOW GLASS TO BE CLEANED AND RE-PAINTED. |
| W3 | A | BEDROOM 1 | 3' - 0" | 4' - 5" | 6' - 8" | DOUBLE HUNG | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | WOOD TO BE RE-FINISHED. |
| W4 | A | DINING | 3' - 0" | 4' - 5" | 6' - 8" | DOUBLE HUNG | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | BROKEN LOWER PANE TO BE REPLACED. SASH PULL CORDS TO BE REPLACED AND WEIGHTS MAY NEED TO BE REPLACED. |
| W5 | A | DINING | 3' - 0" | 4' - 5" | 6' - 8" | DOUBLE HUNG | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | BROKEN TOP PANE GLASS TO BE REPLACED. SASH PULL CORDS TO BE REPLACED AND WEIGHTS MAY NEED TO BE REPLACED. |
| W6 | B | BATH 1 | 1' - 6" | 2' - 7" | 6' - 9" | CASEMENT | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | WOOD TO BE CLEANED AND RE-PAINTED. |
| W7 | B | BATH 1 | 1' - 6" | 2' - 7" | 6' - 9" | CASEMENT | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | WOOD TO BE CLEANED AND RE-PAINTED. |
| W8 | C | M. CLOSET | 1' - 6" | 2' - 0" | 6' - 2" | DOUBLE HUNG | N/A | N/A | WOOD | MATCH EXISTING | SINGLE GLAZING | WOOD TO BE CLEANED AND RE-PAINTED. |
| W11 | F | LIVING | 5' - 0" | 4' - 5" | 6' - 8" | FIXED | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW, UNORIGINAL WINDOW. TO MATCH EXISTING OPENING SIZE. |
| W12 | G | KITCHEN | 2' - 6" | 3' - 3" | 6' - 8" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW TO MATCH EXISTING OPENING SIZE. |
| W13 | G | KITCHEN | 2' - 6" | 3' - 3" | 6' - 8" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW TO MATCH EXISTING OPENING SIZE. |
| W14 | H | BEDROOM 2 | 4' - 0" | 3' - 5" | 6' - 8" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW, UNORIGINAL WINDOW. TO MATCH EXISTING OPENING SIZE. |
| W15 | I | MUDRM | 1' - 10" | 3' - 3" | 6' - 10" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW TO MATCH EXISTING OPENING SIZE. |
| W16 | I | MUDRM | 1' - 10" | 3' - 3" | 6' - 10" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW TO MATCH EXISTING OPENING SIZE. |
| W17 | E | MUDRM | 1' - 7" | 3' - 3" | 6' - 10" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW TO MATCH EXISTING OPENING SIZE. |
| W18 | E | MUDRM | 1' - 7" | 3' - 3" | 6' - 10" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW TO MATCH EXISTING OPENING SIZE. |
| W19 | E | MUDRM | 1' - 7" | 3' - 3" | 6' - 10" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW TO MATCH EXISTING OPENING SIZE. |
| W9 | D | GARAGE | 5' - 11" | 2' - 4" | 6' - 7 1/2" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW, UNORIGINAL WINDOW. TO MATCH EXISTING OPENING SIZE. |
| W10 | K | BEDROOM 2 | 2' - 8" | 4' - 6" | 6' - 8" | DOUBLE HUNG | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | NEW WINDOW |
| W20 | J | BEDROOM 2 | 2' - 8" | 4' - 6" | 6' - 8" | CASEMENT | TBD | TBD | WOOD | MATCH EXISTING | SINGLE GLAZING | EGRESS WINDOW. CUSTOM CENTER MUNTIN TO MATCH APPEARANCE OF A DOUBLE HUNG WINDOW. |





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REVISIONS

| NO. | NAME | DATE |
|---|---|---|
| | Plancheck | 4/30/2021 |

IS ARCH PROJECT# 2020.15

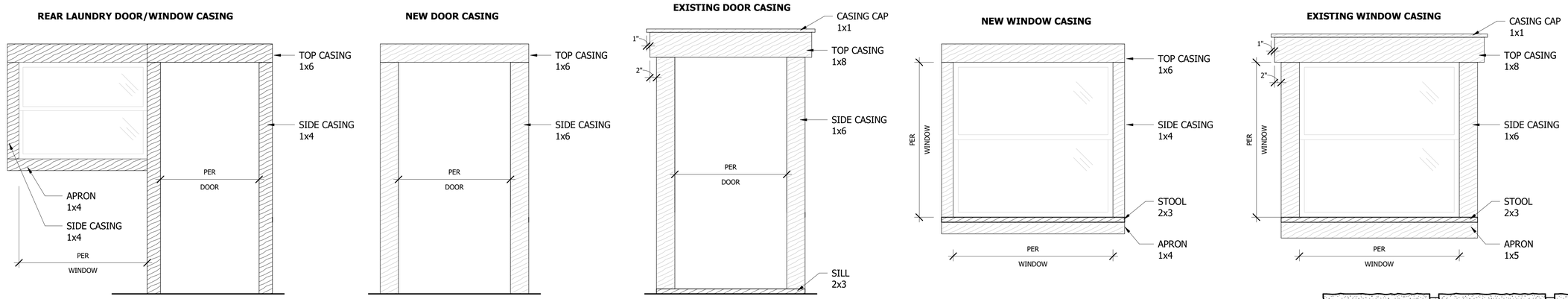
PROJ. MNGR. JMR | DRAWN SI

ISSUE DATE 2021-02-23

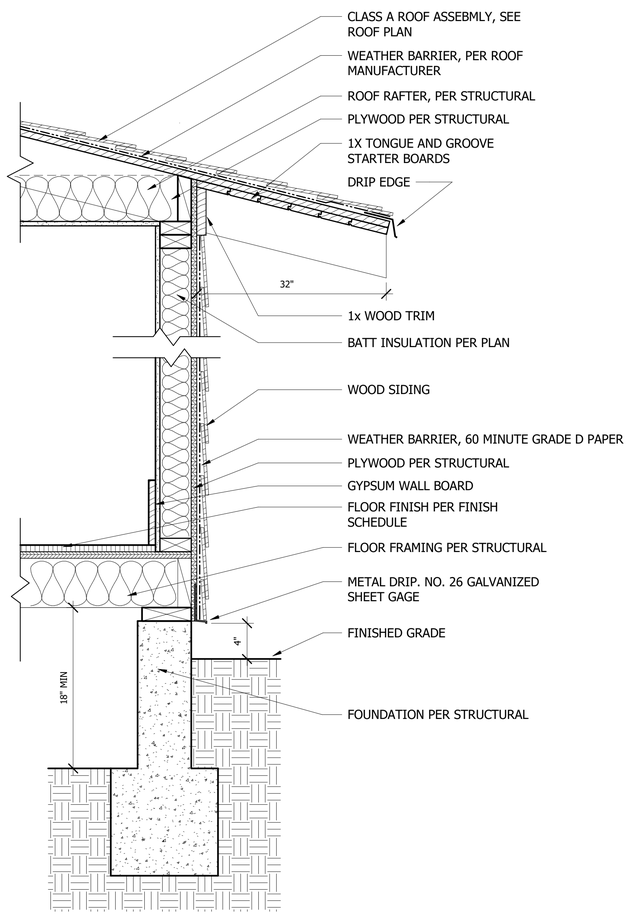
DOOR & WINDOW SCHEDULE

**A6-02**

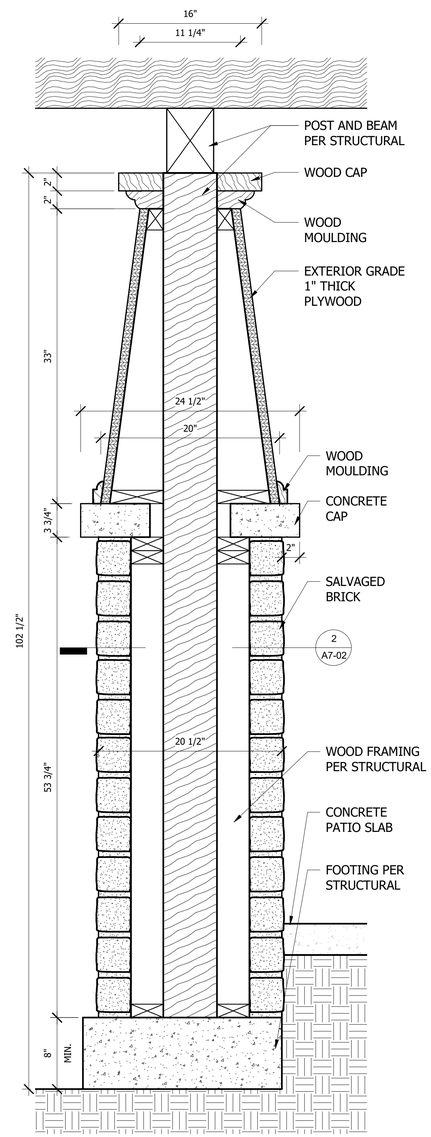

BIM 360://Chapman University/232 N Olive - CD - 2021-02-17-r4



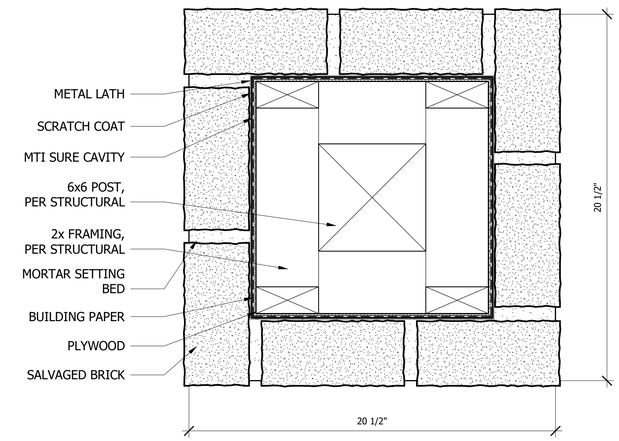

5 DOOR AND WINDOW CASINGS
3/4" = 1'-0"



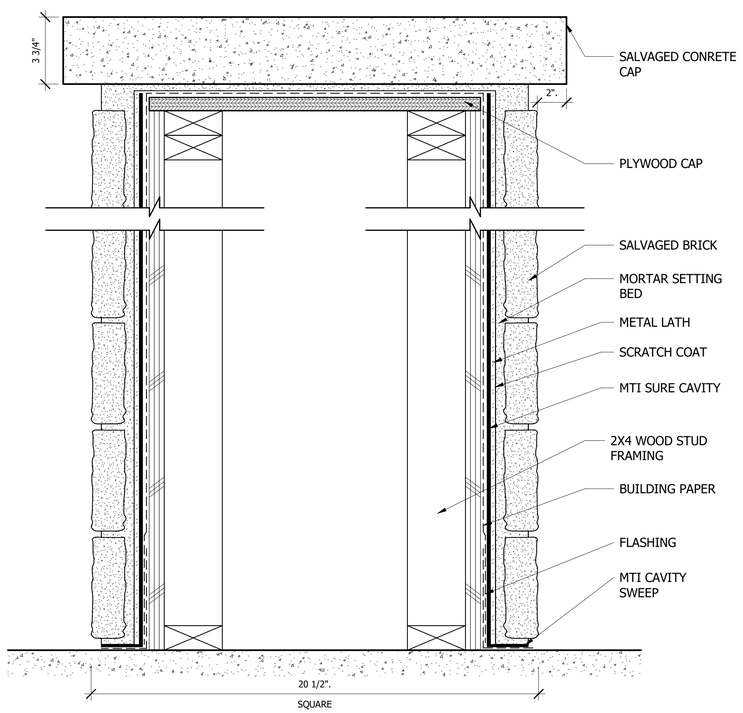

4 ROOF / 1 HR FIRE WALL SECTION
1 1/2" = 1'-0"




3 PORCH COLUMN
1 1/2" = 1'-0"




2 PORCH COLUMN PLAN DETAIL
3" = 1'-0"




1 PILASTER
3" = 1'-0"

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|---|---|
| JMR | SI |

ISSUE DATE
2021-02-23

ARCH DETAILS

A7-02

BIM 360://Chapman University/7321 N Olive - CD - 2021-02-17.rvt

Front (West) Elevation looking East.

321 N. Olive Street, West Elevation looking northeast.

Property line between 141 W. Palm Avenue and 321 N. Olive Street. Driveway belongs to Palm Avenue property.

Adjacent Properties to the West.

Adjacent properties to the South.

Front Porch looking North.

N. Olive Street looking North.

South Elevation looking East.

South Elevation looking Northeast.

Rear (East) Elevation looking northwest.

Rear (East) Elevation looking Northwest.

Rear (East) Elevation looking West.

Front Column Detail.

Front Porch detail.

Porch Column Detail.

North Elevation looking Southeast.

North Elevation looking West.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**PRIMARY RECORD**

| | |
|---|---|
| Primary # | 30-159754 |
| HRI # | 039120 |
| Trinomial | ORA |
| NRHP Status Code | 1D |

Other Listings:
Review Code: Reviewer: Date:



*Resource Name or #: (Assigned by Recorder) OLIVE_N_321__APN_039-153-04

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☑ Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; 1/4 of 1/4 of Sec ; B.M.

c. Address: 321 - N OLIVE ST , # City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone ' mE/ mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boudnaries. Continues on Pg.3.)

Materials: Frame - Asbestos siding

A single-story bungalow with shallow pitch, gable roof. Centrally located front-facing gable extends forward to form an entry porch and is supported by tapered piers.

*P3b. Resource Attributes: (List attributes and codes) (HP2)--Single family property

*P4. Resources Present: ☑ Building ☐ Structure ☐ Object ☐ Site ☑ Element of District ☐ District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) 2010

*P6. Date Constructed/ Age and Source:

1915

☑ Historic ☐ Prehistoric ☐ Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D. Matsumoto

Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

*P9. Date Recorded:

May, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005) Historic Resources Survey. AEGIS (1991) Historic Building Inventory Update. Heritage Orange County, Inc. (1982) Orange Historic Survey.

*Attachments: ☐ NONE ☐ Location Map ☑ Continuation Sheet(s) ☑ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

DPR 523A (1/95) *Required Information

| State of California - The Resources Agency | Primary # | 30-159754 |
|---|---|---|
| DEPARTMENT OF PARKS AND RECREATION | HRI # | 039120 |
| **BUILDING, STRUCTURE, AND OBJECT RECORD** | *NRHP Status Code | 1D |



***Resource Name or #:** (Assigned by Recorder) OLIVE_N_321__APN_039-153-04

**B1. Historic Name:** Unknown

**B2. Common Name:**

**B3. Original Use:** RES **B4. Present Use:** RES

***B5. Architectural Style:** Bungalow

***B6. Construction History:** (Construction date, atlerations, and date of alterations) **Date of Construction:** 1915 ☑ Historic ☐ Prehistoric ☐ Both

***B7. Moved?** ☑ No ☐ Yes ☐ Unknown **Date:** **Original Location:**

***B8. Related Features:**

***B9. Architect or Builder:** Unknown

***B10. Significance:** **Theme:** Architecture **Area:** City of Orange **Property Type:** Residence

**Period of Significance:** Old Towne: Early Settlement (c. 1870 - 1920) **Applicable Criteria:** AC

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

**Structural Integrity:** Excellent Condition - Minor and reversible or appropriate changes to original structure.

**Site Integrity:**

**Opportunities:**

**B11. Additional Resource Attributes:** (List attributes and codes)

***B12. References:**

Orange Daily News.

**B13. Remarks:** (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

***B14. Evaluator:** Robert Chattel

***Date of Evaluation:** September, 2005

(This space reserved for official comments.)

DPR 523B (1/95) ***Required Information**

***Resource Name or #:** (Assigned by Recorder) OLIVE_N_321__APN_039-153-04

**Recorded by:**
D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

**Date Recorded:** May, 2005

☑ Continuation ☐ Update

**Years Surveyed:** 1982, 1991, 2005

**Listed in National Register:** 1997

**Description of Photo:** 1991

| | | | |
|---|---|---|---|
| **General Plan:** | LDR | **# of Buildings:** | 1 |
| **Planning Zone:** | R-2-6 | **# of Stories:** | 1 |
| **Lot Acre:** | 0.1516 | **# of Units:** | 1 |
| **Principal Building Sqft:** | 909 | | |

**B6. Construction History (Continued from Pg.2):**

**B13. Remarks (Continued from Pg.2):**

**P3a. Description (Continued from Pg.1):**