



AGENDA

Planning Commission September 08, 2021

Anna Pehoushek
Assistant Community
Development Director

Mary Binning
Sr. Assistant City Attorney

Kim Kinsler
Administrative Assistant

7:00 PM Regular Session

City Council Chamber
300 E. Chapman Ave.
Orange, CA 92866

DAVE SIMPSON
Chair

DAVID VAZQUEZ
Vice Chair

ERNEST GLASGOW
Commissioner

RICK MARTINEZ
Commissioner

JONATHAN TRAPESONIAN
Commissioner

Welcome to the Planning Commission meeting. Regular meetings of the City of Orange Planning Commission are held the first and third Monday of each month at 7:00 p.m.

Agenda Information

The agenda contains a brief general description of each item to be considered. Written materials relating to an item on the agenda that are provided to the Planning Commission after agenda packet distribution and within 72 hours before it is to consider the item will be made available for public inspection in the City Clerk's Office located at 300 E. Chapman Avenue, Orange, during normal business hours; at the Planning Commission meeting; and made available on the City's website.

Public Participation

Planning Commission meetings may be viewed on Spectrum Cable Channel 3 and AT&T U-verse Channel 99 or streamed live and on-demand on the City's website at www.cityoforange.org.

Pursuant to Government Code Section 54954.3, members of the public may address the Planning Commission on any agenda items or matters within the jurisdiction of the governing body by using any of the following methods:

1) In-person

To speak on an item on the agenda, complete a speaker card indicating your name and address, and identifying the agenda item number or subject matter you wish to address. The card should be given to City staff prior to the start of the meeting. General comments are made during the "Public Comments" section at the beginning of the meeting. Public Comments are limited to three (3) minutes per speaker unless a different time limit is announced. It is requested that you state your name for the record, then proceed to address the Commission. All speakers shall observe civility, decorum, and good behavior.

2) Written Public Comments via e-mail or eComment

Members of the public can submit their written comments electronically for the Planning Commission's consideration by emailing them to PCpubliccomment@cityoforange.org with the subject line "Public Comment Item #(insert the corresponding item number)" or "Public Comment Non-agenda Item" for general public comments. The public can also submit written comments on the City's eComment page by visiting the City's website and clicking on the eComment link for this meeting. To ensure distribution to the Planning Commission prior to consideration of the agenda, we encourage the public to submit comments by 3:00 p.m. the day of the meeting. All public comments received for this agenda will be provided to the Commissioners,

posted on the City's website, and compiled as part of the record.

3) Public Comments via recorded voicemail message

Finally, the public can record their comments by calling (714) 744-7271 no later than 4:00 p.m. the day of the meeting. Recorded messages will not be played at the meeting, but will be provided to the Planning Commission and the caller's position will be summarized in the minutes.

Please contact the City Clerk's Office at (714) 744-5500 with any questions.

ADA Requirements: In compliance with the Americans with Disabilities Act, if you need accommodations to participate in this meeting, contact the Clerk's office at (714) 744-5500. Notification at least 48 hours in advance of meeting will enable the City to make arrangements to assure accessibility to this meeting.

APPEAL PROCEDURE

Any final determination by the Planning Commission may be appealed, and such appeal must be filed within 15 calendar days after the Planning Commission action. This appeal shall be made in written form to the Community Development Department, accompanied by an initial appeal deposit of \$1,000.00.

The City Clerk, upon filing of said appeal, will set petition for public hearing before the City Council at the earliest date. All owners of property located within 300 feet of the project site will be notified by the City Clerk of said hearing. For additional information, please call (714) 744-7220.

If you challenge any City of Orange decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described on this agenda or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

1. OPENING**1.1 CALL TO ORDER****1.2 PLEDGE OF ALLEGIANCE****1.3 ROLL CALL****2. PUBLIC COMMENTS**

At this time, members of the public may address the Commission on matters not listed on the Agenda which are within the subject matter jurisdiction of the Commission, provided that NO action may be taken on off-agenda items unless authorized by law. Public Comments are limited to three (3) minutes per speaker.

3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Planning Commission and will be enacted by one motion. There will be no separate discussion of said items unless members of the Planning Commission, staff or the public request specific items removed from the Consent Calendar for separate action.

3.1. Approval of meeting minutes of the Planning Commission of the City of Orange for the August 2, 2021 Regular Meeting.**Recommended Action:**

Approve minutes as presented.

Attachments: [Staff Report](#)
 [August 02, 2021 Regular Meeting Minutes](#)

3.2. Design Review No. 5033-21, Westenhofer Residence, 367 N. Cambridge Street**Recommended Action:**

Adopt Planning Commission Resolution No. PC 20-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Design Review No. 5033-21 for demolition of a non-contributing 669 square foot accessory building and carport and construction of a new one and one-half story addition and two-car garage in the Old Towne Historic District at 367 N. Cambridge Street.

Attachments: [Staff Report](#)
 [Attachment 1 - Planning Commission Resolution No. PC 20-21 draft](#)
 [Attachment 2 - Letter of Explanation](#)
 [Attachment 3 - Vicinity Map](#)
 [Attachment 4 - Architectural Plans date stamped 7.7.2021](#)
 [Attachment 5 - Staff Report and Minutes from the August 4, 2021](#)
 [Design Review Committee Meeting](#)
 [Attachment 6 - DPR Form for 367 N. Cambridge Street](#)

4. ASSISTANT COMMUNITY DEVELOPMENT DIRECTOR REPORTS**5. COMMISSION BUSINESS****6. CONTINUED HEARINGS****7. NEW HEARINGS**

- 7.1. Public Hearing: Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21 and Administrative Adjustment No. 0281-21, Popeyes Louisiana Kitchen, 584 N. Tustin Street**

Recommended Action:

Adopt Planning Commission Resolution No. PC 21-21 entitled:

A Resolution of the Planning Commission of the City Of Orange approving Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 to redevelop a former full-service restaurant site with a new 2,344-square foot drive-through restaurant and related site improvements with a reduction of required parking, located at 584 E. Tustin Street.

Attachments:

[Staff Report](#)

[Attachment 1 Draft Planning Commission Resolution No. PC 21-21](#)

[Attachment 2 Vicinity Map](#)

[Attachment 3 Applicant Narrative](#)

[Attachment 4 Queuing Analysis and Trip Generation](#)

[Attachment 5 Noise Analysis](#)

[Attachment 6 Project Plans](#)

[Attachment 7 Sign Plans](#)

[Attachment 8 Landscape Thumbnail Imagery](#)

[Attachment 9 Colors and Materials Board](#)

[Attachment 10 DRC Staff Report July 21, 2021](#)

[Attachment 11 DRC Meeting Minutes July 21, 2021](#)

8. ADJOURNMENT

The next Regular Planning Commission Meeting will be held on Monday, September 20, 2021 at 7:00 p.m., in the Council Chamber.

I, Kim Kinsler, Administrative Assistant for the City of Orange, hereby declare, under penalty of perjury, that a full and correct copy of this agenda was posted pursuant to Government Code Section 54950 et. seq., at the following locations: Orange Civic Center kiosk and Orange City Clerk's Office at 300 E. Chapman Avenue, Police facility at 1107 North Batavia, Orange Main Public Library at 407 E. Chapman Avenue, and uploaded to the City's website www.cityoforange.org.

Date posted: September 2, 2021



Agenda Item

Planning Commission

Item #: 3.1.

9/8/2021

File #: 21-0463

TO: Chair and Members of the Planning Commission

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kim Kinsler, Administrative Assistant

1. SUBJECT

Approval of meeting minutes of the Planning Commission of the City of Orange for the August 2, 2021 Regular Meeting.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- August 2, 2021 Regular Meeting minutes.



Agenda Item

Planning Commission

Item #: 3.2.

9/8/2021

File #: 21-0463

TO: Chair and Members of the Planning Commission

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kim Kinsler, Administrative Assistant

1. SUBJECT

Approval of meeting minutes of the Planning Commission of the City of Orange for the August 2, 2021 Regular Meeting.

2. SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

3. RECOMMENDED ACTION

Approve minutes as presented.

4. ATTACHMENTS

- August 2, 2021 Regular Meeting minutes.

MINUTES - DRAFT

City of Orange

Planning Commission

August 02, 2021

1. OPENING

The Planning Commission of the City of Orange, California convened on August 2, 2021 at 7:00 p.m. in a Regular Meeting in the Council Chamber, 300 E. Chapman Avenue, Orange, California.

1.1 CALL TO ORDER

Chair Simpson called the meeting to order at 7:00 p.m.

1.2 PLEDGE OF ALLEGIANCE

Chair Simpson led the flag salute.

1.3 ROLL CALL

Present: Simpson, Vazquez, Glasgow, and Martinez

Absent: None

2. PUBLIC COMMENTS

None

3. CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine by the Planning Commission and will be enacted by one motion. There will be no separate discussion of said items unless members of the Planning Commission, staff or the public request specific items removed from the Consent Calendar for separate action.

3.1. Approval of meeting minutes of the Planning Commission of the City of Orange for the July 19, 2021 Regular Meeting.

ACTION: A motion was made by Commissioner Glasgow, seconded by Commissioner Martinez to approve the July 19, 2021 minutes as presented.

The motion carried by the following vote:

Ayes: Simpson, Vazquez, Glasgow, and Martinez

Noes: None

Absent: None

4. ASSISTANT COMMUNITY DEVELOPMENT DIRECTOR REPORTS

Robert Garcia, Senior Planner, gave an update about the Noticing and Posting Requirements (item 7.1, July 19, 2021 Planning Commission meeting).

5. COMMISSION BUSINESS

None

6. CONTINUED HEARINGS**6.1. Public Hearing: Conditional Use Permit No. 3124-20, Ramen Mura ABC Type 41 License, 130 S. Main Street Suite G**

Commissioner Glasgow asked about restaurants in the proximity of Ramen Mura that serve alcohol.

Chair Simpson opened the public hearing.

Applicant, Alex Woo spoke on behalf of the project.

Chair Simpson closed the public hearing.

Investigator Tanner McCleod from the Orange Police Department responded to questions from the Commissioners regarding crime statistics in the area.

A Motion was made by Vice-Chair Vazquez, seconded by Commissioner Glasgow, to approve PC No. 35-20 entitled:

A Resolution of the Planning Commission of the City of Orange approving Conditional Use Permit No. 3124-20 for a State of California, Department of Alcoholic Beverage Control, Type 41 License (On-Sale Beer and Wine) for a 1,223 square foot restaurant located at 130 S. Main Street, Suite G subject to the findings and conditions in the staff report.

The Motion carried by the following vote:

Ayes: Simpson, Vazquez, Glasgow, and Martinez

Noes: None

Absent: None

7. NEW HEARINGS**7.1. Public Hearing: Conditional Use Permit No. 3134-21, Orange Wine, Inc., 1095 N. Glassell Street**

Chair Simpson opened the public hearing.

Applicant Maher Alballatc spoke on behalf of the project.

Tucker Franz spoke in support of the project.

Chair Simpson closed the public hearing.

Investigator McCleod responded to questions regarding crime statistics at that location and in the neighboring area.

The Planning Commissioners had questions and comments about the following:

- The sale of distilled spirits in that location
- Neighborhood clientele
- The prior business at that location
- Existing conditions of approval
- Neighborhood outreach
- Police response calls

A motion was made by Commissioner Glasgow, seconded by Chairperson Simpson, to continue Conditional Use Permit No. 3134-21, Orange Wine, Inc., 1095 N. Glassell Street to a date uncertain in order to allow staff to obtain and analyze additional crime rates in the area.

The Motion carried by the following vote:

Ayes: Simpson, Glasgow, and Martinez

Noes: Vazquez

Absent: None

8. ADJOURNMENT

There being no further business, the meeting adjourned at 7:43 p.m.

The next Regular Planning Commission Meeting will be held on Monday, August 16, 2021 at 7:00 p.m., in the Council Chamber.



Agenda Item

Planning Commission

Item #: 3.2.

9/8/2021

File #: 21-0456

TO: Chair and Members of the Planning Commission

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kelly Ribuffo, Associate Planner - Historic Preservation

1. SUBJECT

Design Review No. 5033-21, Westenhofer Residence, 367 N. Cambridge Street

2. SUMMARY

The applicant proposes to demolish a non-contributing accessory building, construct a 1,014 square foot, one and one-half story addition to a single-family residence, and construct a new detached two-car garage and workshop. The property is a non-contributing resource to the Old Towne Historic District.

3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 20-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Design Review No. 5033-21 for demolition of a non-contributing 669 square foot accessory building and carport and construction of a new one and one-half story addition and two-car garage in the Old Towne Historic District at 367 N. Cambridge Street.

4. AUTHORIZING GUIDELINES

Orange Municipal Code (OMC) Sections 17.08.020 and 17.10.090 authorize the Planning Commission to review and take action on demolition applications for structures within a designated historic district.

5. PROJECT BACKGROUND

<i>Applicant/Owner:</i>	Erik Westenhofer
<i>Property Location</i>	367 N. Cambridge Street
<i>Existing General Plan Land Use Element Designation</i>	Low Density Residential (LDR)
<i>Existing Zoning Classification</i>	Single-Family Residential (R-1-6)
<i>Historic District</i>	Old Towne, Non-Contributing Resource
<i>Site Size</i>	7,830 square feet
<i>Circulation</i>	Driveway access to N. Cambridge Street

Existing Conditions	1,630 square foot single-family residence with a 476 square foot accessory building and 193 square foot carport
Surrounding Land Uses and Zoning	The property is surrounded on all sides by residential properties (R-1-6) that are a mix of contributing and non-contributing resources to the Old Towne Historic District.
Previous Applications/Entitlements	None

6. PROJECT DESCRIPTION

The applicant proposes to demolish a non-contributing accessory building, construct a 1,014 square foot, one and one-half story addition to a single-family residence, and construct a new detached two-car garage and workshop in conformance with the Historic Preservation Design Standards for Old Towne (Design Standards).

Detailed plans and photographs are included as Attachment 4 of this report. The proposed work meets the development standards for the R-1-6 zoning district, including setbacks, height, and parking.

7. ANALYSIS AND STATEMENT OF THE ISSUES

Overall, it is the opinion of staff that the proposed project complies with the findings for Design Review and the Design Standards. The Design Review Committee vetted issue items related to mass, scale, floor area ratio, and privacy and has recommended approval of the project as a whole (Attachment 5). Pursuant to OMC Section 17.08.020, demolition of structures within the Old Towne Historic District requires approval by the Planning Commission. Therefore, the project as a whole shall be reviewed by the Planning Commission for final determination.

Issue 1. Demolition of Accessory Building and New Detached Garage

The applicant proposes to demolish the existing accessory building and carport in order to construct a new two-car garage and workshop. The building was originally a two-car garage built concurrently with the residence in 1948. Subsequent alterations removed the garage door and added a single carport for parking. The existing building has no historic significance to the property or within the Old Towne Historic District. Therefore, staff supports the request for demolition of the structure.

Per OMC Section 17.10.090.B, the request for demolition required a concurrent application for any replacement development. Therefore, the applicant has included the demolition request as part of their Design Review application for the entire project.

OMC Section 17.34.060 requires a minimum of a 400 square foot, two-car garage for a single-family residence. The scope of the project provides no exemption from this criterion, as the existing non-conforming parking is being removed from the property. Therefore, a two-car garage is required to bring the property into conformance with current City parking standards.

The Design Standards state that new accessory structures should be subordinate in size and scale to the primary building on a lot, and that infill construction should adhere to the standards for setting within the historic district. The new garage will be located farther back on the lot than the existing building to allow for adequate access to the garage parking spaces. The proposed location is appropriate based on the site plan pattern for historic-era residences within the historic district. The design features of the building match the details of the main residence, giving the property a

cohesive design theme.

8. PUBLIC NOTICE

On August 27, 2021, the City sent a Public Meeting Notice to a total of 80 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site was posted with the notification on that same date.

9. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per the following State CEQA Guidelines:

- 15301 (Class 1 - Existing Facilities) because the project consists of additions and alterations to an existing single-family residence in an urbanized area. No public review is required.
- 15302 (Class 2 - Replacement or Reconstruction) because the project includes replacement of an existing accessory building and carport with a new detached garage of similar size and use.

10. ADVISORY BOARD ACTION

Design Review Committee:

The Design Review Committee reviewed the subject proposal at the August 4, 2021 regular meeting and recommended approval of the project with conditions. All recommended conditions have been incorporated into Attachment 1.

11. ATTACHMENTS

- Attachment 1 - Planning Commission Resolution No. PC 20-21 Draft
- Attachment 2 - Vicinity Map
- Attachment 3 - Letter of Explanation
- Attachment 4 - Architectural Plans date stamped July 7, 2021
- Attachment 5 - Staff Report and Minutes from the August 4, 2021 Design Review Committee Meeting
- Attachment 6 - DPR Form for 367 N. Cambridge Street



Agenda Item

Planning Commission

Item #: 3.1.

9/8/2021

File #: 21-0456

TO: Chair and Members of the Planning Commission

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kelly Ribuffo, Associate Planner - Historic Preservation

1. SUBJECT

Design Review No. 5033-21, Westenhofer Residence, 367 N. Cambridge Street

2. SUMMARY

The applicant proposes to demolish a non-contributing accessory building, construct a 1,014 square foot, one and one-half story addition to a single-family residence, and construct a new detached two-car garage and workshop. The property is a non-contributing resource to the Old Towne Historic District.

3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 20-21 entitled:

A Resolution of the Planning Commission of the City of Orange approving Design Review No. 5033-21 for demolition of a non-contributing 669 square foot accessory building and carport and construction of a new one and one-half story addition and two-car garage in the Old Towne Historic District at 367 N. Cambridge Street.

4. AUTHORIZING GUIDELINES

Orange Municipal Code (OMC) Sections 17.08.020 and 17.10.090 authorize the Planning Commission to review and take action on demolition applications for structures within a designated historic district.

5. PROJECT BACKGROUND

<i>Applicant/Owner:</i>	Erik Westenhofer
<i>Property Location</i>	367 N. Cambridge Street
<i>Existing General Plan Land Use Element Designation</i>	Low Density Residential (LDR)
<i>Existing Zoning Classification</i>	Single-Family Residential (R-1-6)
<i>Historic District</i>	Old Towne, Non-Contributing Resource
<i>Site Size</i>	7,830 square feet
<i>Circulation</i>	Driveway access to N. Cambridge Street

Existing Conditions	1,630 square foot single-family residence with a 476 square foot accessory building and 193 square foot carport
Surrounding Land Uses and Zoning	The property is surrounded on all sides by residential properties (R-1-6) that are a mix of contributing and non-contributing resources to the Old Towne Historic District.
Previous Applications/Entitlements	None

6. PROJECT DESCRIPTION

The applicant proposes to demolish a non-contributing accessory building, construct a 1,014 square foot, one and one-half story addition to a single-family residence, and construct a new detached two-car garage and workshop in conformance with the Historic Preservation Design Standards for Old Towne (Design Standards).

Detailed plans and photographs are included as Attachment 4 of this report. The proposed work meets the development standards for the R-1-6 zoning district, including setbacks, height, and parking.

7. ANALYSIS AND STATEMENT OF THE ISSUES

Overall, it is the opinion of staff that the proposed project complies with the findings for Design Review and the Design Standards. The Design Review Committee vetted issue items related to mass, scale, floor area ratio, and privacy and has recommended approval of the project as a whole (Attachment 5). Pursuant to OMC Section 17.08.020, demolition of structures within the Old Towne Historic District requires approval by the Planning Commission. Therefore, the project as a whole shall be reviewed by the Planning Commission for final determination.

Issue 1. Demolition of Accessory Building and New Detached Garage

The applicant proposes to demolish the existing accessory building and carport in order to construct a new two-car garage and workshop. The building was originally a two-car garage built concurrently with the residence in 1948. Subsequent alterations removed the garage door and added a single carport for parking. The existing building has no historic significance to the property or within the Old Towne Historic District. Therefore, staff supports the request for demolition of the structure.

Per OMC Section 17.10.090.B, the request for demolition required a concurrent application for any replacement development. Therefore, the applicant has included the demolition request as part of their Design Review application for the entire project.

OMC Section 17.34.060 requires a minimum of a 400 square foot, two-car garage for a single-family residence. The scope of the project provides no exemption from this criterion, as the existing non-conforming parking is being removed from the property. Therefore, a two-car garage is required to bring the property into conformance with current City parking standards.

The Design Standards state that new accessory structures should be subordinate in size and scale to the primary building on a lot, and that infill construction should adhere to the standards for setting within the historic district. The new garage will be located farther back on the lot than the existing building to allow for adequate access to the garage parking spaces. The proposed location is appropriate based on the site plan pattern for historic-era residences within the historic district. The design features of the building match the details of the main residence, giving the property a

cohesive design theme.

8. PUBLIC NOTICE

On August 27, 2021, the City sent a Public Meeting Notice to a total of 80 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site was posted with the notification on that same date.

9. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per the following State CEQA Guidelines:

- 15301 (Class 1 - Existing Facilities) because the project consists of additions and alterations to an existing single-family residence in an urbanized area. No public review is required.
- 15302 (Class 2 - Replacement or Reconstruction) because the project includes replacement of an existing accessory building and carport with a new detached garage of similar size and use.

10. ADVISORY BOARD ACTION

Design Review Committee:

The Design Review Committee reviewed the subject proposal at the August 4, 2021 regular meeting and recommended approval of the project with conditions. All recommended conditions have been incorporated into Attachment 1.

11. ATTACHMENTS

- Attachment 1 - Planning Commission Resolution No. PC 20-21 Draft
- Attachment 2 - Vicinity Map
- Attachment 3 - Letter of Explanation
- Attachment 4 - Architectural Plans date stamped July 7, 2021
- Attachment 5 - Staff Report and Minutes from the August 4, 2021 Design Review Committee Meeting
- Attachment 6 - DPR Form for 367 N. Cambridge Street

DESIGN REVIEW NO. 5033-21

RESOLUTION NO. PC 20-21

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ORANGE APPROVING DESIGN REVIEW NO. 5033-21 FOR DEMOLITION OF A NON-CONTRIBUTING 669 SQUARE FOOT ACCESSORY BUILDING AND CARPORT AND CONSTRUCTION OF A NEW ONE AND ONE-HALF STORY ADDITION AND TWO-CAR GARAGE IN THE OLD TOWNE HISTORIC DISTRICT AT 367 N. CAMBRIDGE STREET

APPLICANT: ERIK WESTENHOFER

Moved by Commissioner _____ and seconded by Commissioner _____ that the following Resolution be adopted:

WHEREAS, the Planning Commission has authority per Orange Municipal Code (OMC) Table 17.08.020, and Section 17.10.090 to take action on Design Review No. 5033-21 for demolition of a non-contributing building within a historic district, and for construction of a one and one-half story addition to a single-family residence and a new two-car garage, located at 367 N. Cambridge Street; and

WHEREAS, Design Review No. 5033-21 was filed by the applicant in accordance with the provisions of the OMC; and

WHEREAS, Design Review No. 5033-21 was processed in the time and manner prescribed by state and local law; and

WHEREAS, Design Review No. 5033-21 is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15301 (Class 1 – Existing Facilities) and 15302 (Class 2- Replacement or Reconstruction); and

WHEREAS, the Design Review Committee conducted a duly advertised public meeting on August 4, 2021, at which time interested persons had an opportunity to testify either in support of or opposition to Design Review No. 5033-21 upon property described in Exhibit A, attached hereto and incorporated herein; and

WHEREAS, the Planning Commission conducted a duly advertised public meeting on September 8, 2021, at which time interested persons had an opportunity to testify either in support of or opposition to Design Review No. 5033-21 upon property described in Exhibit A, attached hereto and incorporated herein.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission approves Design Review No. 5033-21 for demolition of a non-contributing building within a historic district, and for construction of a one and one-half story addition to a single-family residence and a new two-car garage, located at 367 N. Cambridge Street, based on the following findings:

SECTION 1 – FINDINGS

General Plan Finding:

1. *The project must be consistent with the goals and policies stated within the City's General Plan.*

The project is consistent with the goals and policies stated in the City's General Plan Land Use and Cultural Resources Elements. Expansion of an existing residential property in compliance with the Historic Preservation Design Standards for Old Towne maintains an existing housing unit within the city while also preserving the residential character of the Old Towne Historic District.

Design Review Findings:

1. *In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project.*

The project as proposed conforms to the requirements of the Historic Preservation Design Standards for Old Towne. The one and one half story addition and new garage are designed with features inspired by Craftsman building forms, a predominant architectural style within the historic district. The addition slopes away from the street, minimizing the visual mass of the building on the streetscape of N. Cambridge Street. Placement of a wood trim belt course, gable vents, and placement of windows have also been used to break up expanses of two-story wall space on the side elevations of the building. New windows and doors on all elevations have been designed to be compatible with existing fixtures and the historic inspiration of the house remodel. However, the overall appearance of the house is not designed as a Craftsman-style replica, and therefore does not create a false sense of history or suggest the house was constructed during the period of significance of the historic district.

Removal of the detached accessory building will not detract from the historic character of the historic district, as the building is a non-contributing structure built in 1948. The new detached garage and workshop is placed on the property in conformance with the customary site plan layout for residences in Old Towne. The design of the replacement building is also consistent with the features of the house and the two buildings relate as a cohesive design.

2. *The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings.*

The proposed project complies with the Historic Preservation Design Standards for Old Towne. The one and one half story addition and new garage are designed with features inspired by Craftsman building forms, a predominant architectural style within the historic district. Exterior materials and finishes include use of wood double hung windows and wood

lap siding, customary within the historic district. The design features of the new detached garage and workshop building match the details of the main residence, giving the property a cohesive design theme. However, the overall appearance of the house is not designed as a Craftsman-style replica, as characteristic Craftsman features, such as rafter tails, decorative bargeboards, and a heavy-columned front porch are not included in the design. Therefore, the project does not create a false sense of history or suggest the house was constructed during the period of significance of the historic district.

The design of the new two-car detached garage and workshop building is consistent with the features of the house, designed with the same roof pitch, siding, and window details. As such, the two buildings relate as a cohesive design theme appropriate with the surrounding Old Towne Historic District.

SECTION 2 – ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per the following State CEQA Guidelines:

- 15301 (Class 1 – Existing Facilities) because the project consists of additions and alterations to an existing single-family residence in an urbanized area. No public review is required.
- 15302 (Class 2 – Replacement or Reconstruction) because the project includes replacement of an existing accessory building and carport with a new detached garage of similar size and use.

SECTION 3– CONDITIONS OF APPROVAL

BE IT FURTHER RESOLVED that the following conditions are imposed with approval:

1. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
2. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 3 (date stamped July 7, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
3. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.

4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.
7. More detailed information regarding the design of the doors/windows/garage doors shall be provided to staff for their satisfaction and approval prior to construction.
8. The lower sash of the center window on the second story on the south elevation shall be outfitted with obscured glazing.

And the following recommendation is provided:

- Appropriately-sized trees shall be planted near the rear of the property to limit visual impacts from one property to another.

I hereby certify that the foregoing Resolution was adopted on September 8, 2021, by the Planning Commission of the City of Orange by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Dave Simpson, Planning Commission Chair

Date

EXHIBIT A
LEGAL DESCRIPTION



145 South Olive Street, Orange, CA 92866
(714) 639-3958

March 18, 2021

**Ms. Kelly Ribuffo, Associate Planner – Historic Preservation
City of Orange**

300 E. Chapman Ave
Orange, CA 92866-1508

Re: **Westenhofer Residence Second Story Addition
Letter of Justification**
367 N. Cambridge St..
Orange, CA 92866
DSEA Project No: 771

Dear Kelly,

This project involves the addition of a second story above an existing single story residence. The second story will be designed with a 1-1/2 story approach with the roof starting above the existing first story. The current residence contains 3 bedrooms and 2 bathrooms. The addition will repurpose 2 of the bedrooms on the ground floor and construct 3 bedrooms and 2 bathrooms upstairs. This will result in a residence with 4 bedrooms and 4 bathrooms. The existing rooms on the ground floor will be reconfigured to adjust to the new circulation pattern.

The modifications required to the exterior include a new steeper pitched roof with composite asphalt shingles, new wood siding to replace the existing stucco and new trim around all existing and new windows. The wood siding will have trim at all corners. The existing residence has wood fixed and double hung windows. All new windows will be wood double hung to match existing.

We request approval of the proposed project which preserves the historic features of the existing building and compliments the character of the neighborhood. Thank you very much for your review and your consideration.

Sincerely,

Douglas S. Ely, AIA
Principal, DSE architecture, inc.

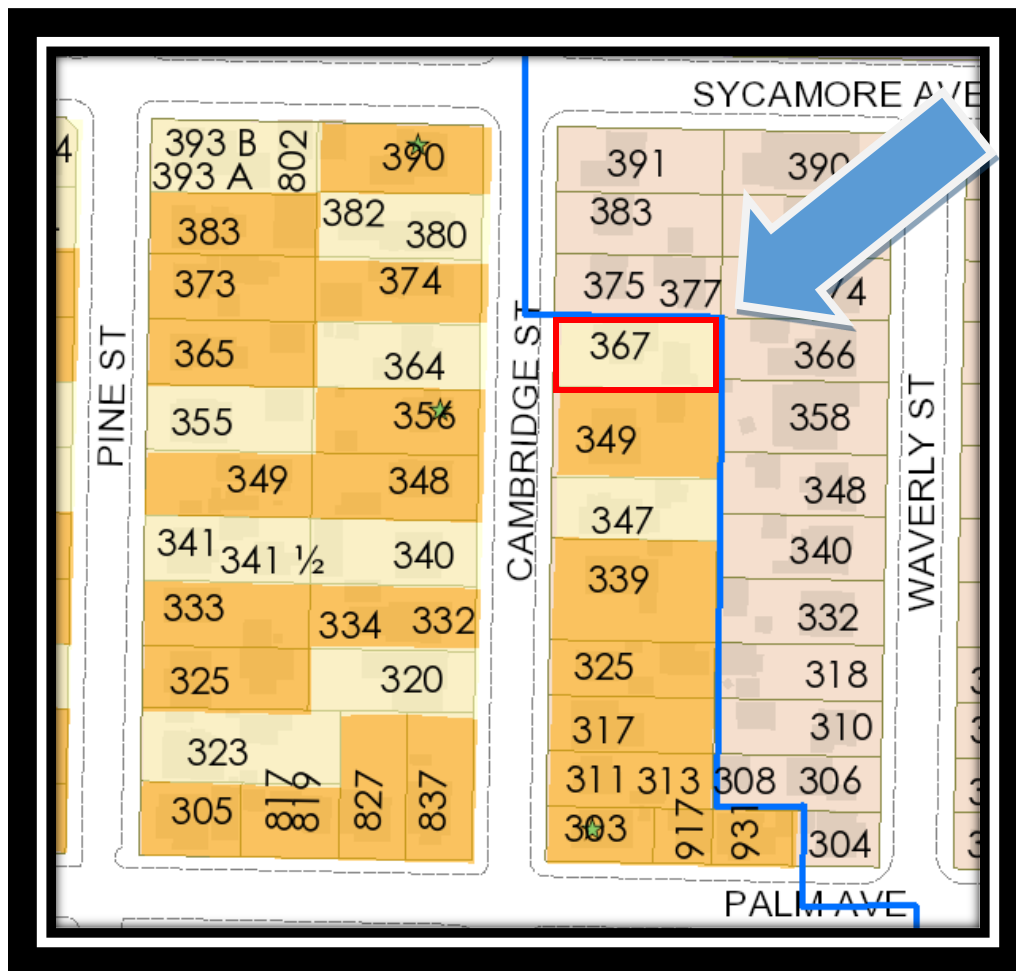
Cc: Mr. Eric Westenhofer

Vicinity Map

DRC No. 5033-21

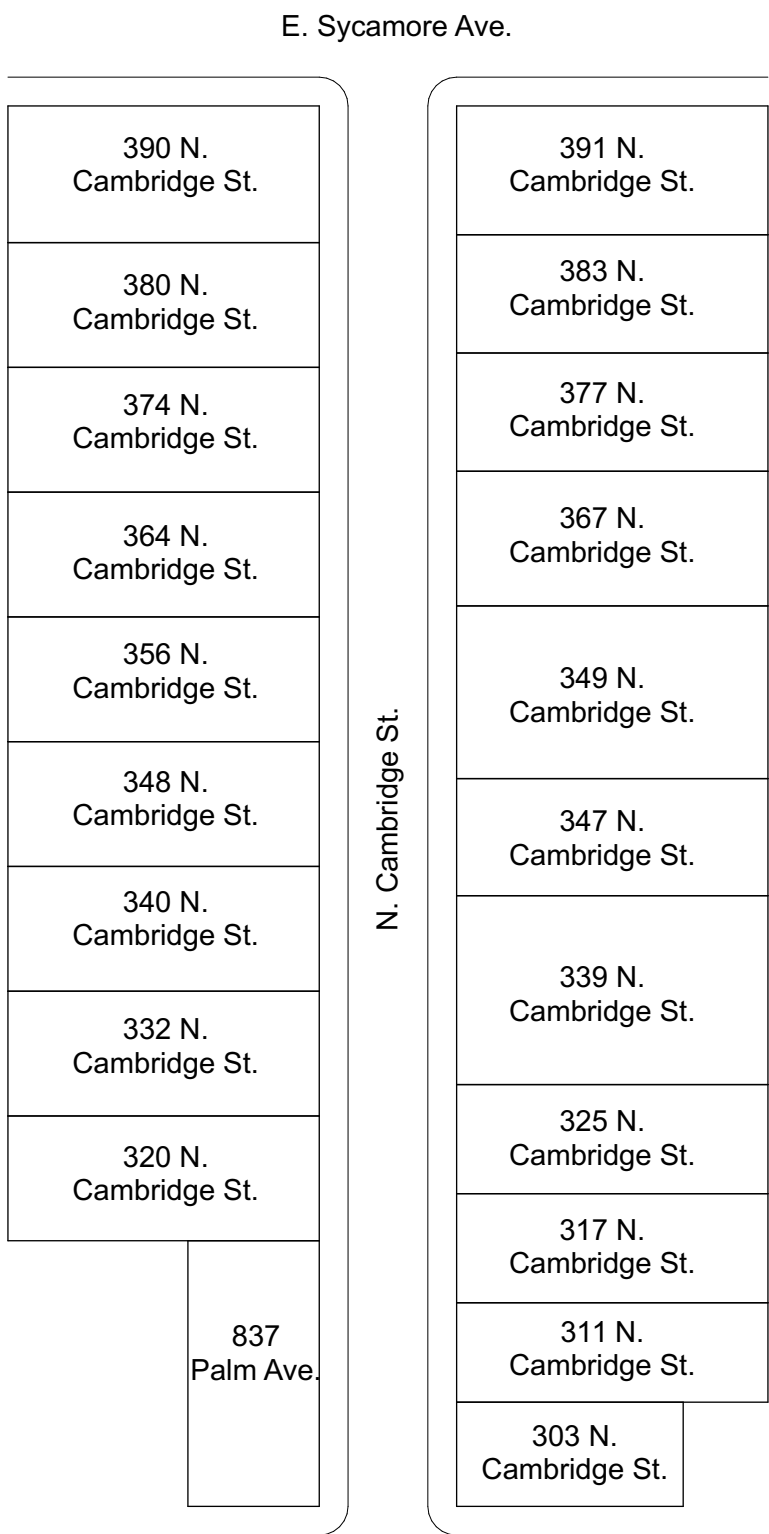
Westenhofer Residence

367 N. Cambridge Street



ORANGE = CONTRIBUTING HISTORIC RESOURCE
YELLOW = NON-CONTRIBUTING RESOURCE

CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT



Vicinity F.A.R. analysis
(Including proposed FAR for 367 N. Cambridge St.)

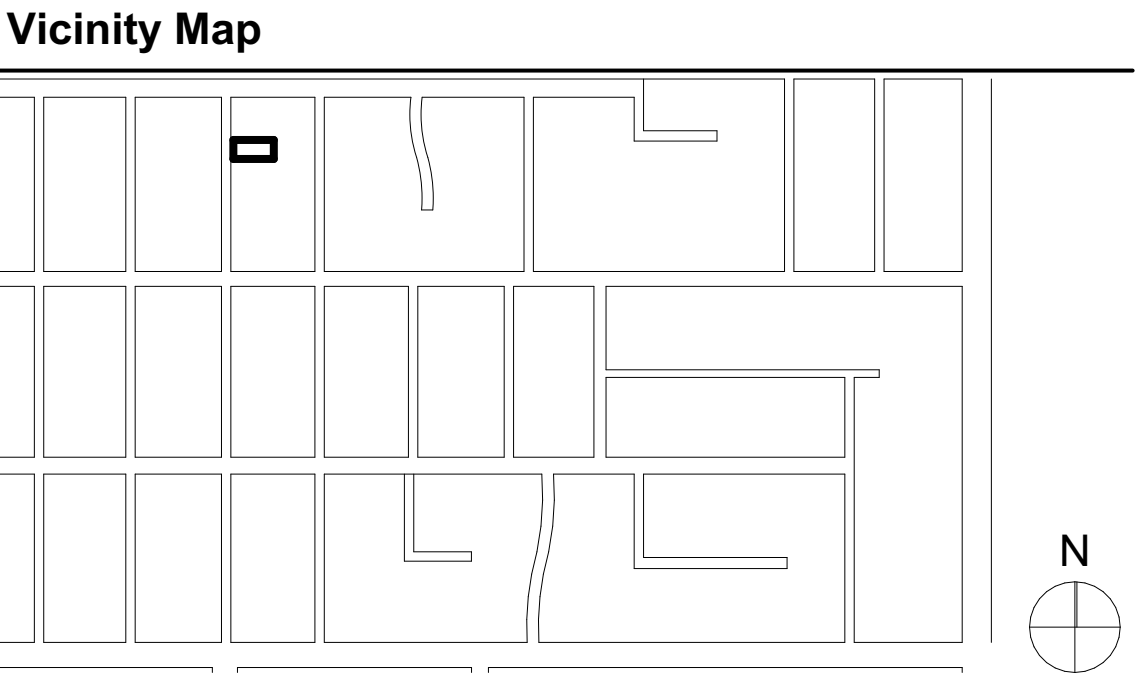
(Information gathered from assessors parcel maps, MLS websites and Google Earth)

Address	Lot Area	Building Area (Total)	FAR
303 N. Cambridge St.	3,920sf	1,040sf	.27
311 N. Cambridge St.	6,075sf	1,490sf	.25
837 Palm Ave.	6,480sf	1,300sf	.20
317 N. Cambridge St.	6,075sf	1,500sf	.25
320 N. Cambridge St.	6,970sf	3,650sf	.52
325 N. Cambridge St.	6,098sf	1,940sf	.32
332 N. Cambridge St.	7,155sf	2,260sf	.32
339 N. Cambridge St.	11,325sf	1,700sf	.15
340 N. Cambridge St.	6,970sf	2,140sf	.31
347 N. Cambridge St.	6,750sf	2,150sf	.32
348 N. Cambridge St.	7,155sf	1,440sf	.20
349 N. Cambridge St.	9,839sf	2,100sf	.21
356 N. Cambridge St.	7,155sf	1,360sf	.19
364 N. Cambridge St.	7,155sf	1,450sf	.20
367 N. Cambridge St.	7,830sf	3,375sf	.43
374 N. Cambridge St.	7,155sf	2,650sf	.37
377 N. Cambridge St.	6,774sf	1,900sf	.28
380 N. Cambridge St.	6,970sf	2,250sf	.32
383 N. Cambridge St.	6,750sf	2,150sf	.32
390 N. Cambridge St.	7,400sf	2,800sf	.38
391 N. Cambridge St.	7,128sf	1,465sf	.21

- Site Plan Keynotes**
- 1.01 Remove (E) chimney
 - 1.02 Remove portion of (E) conc. driveway shown as a dense dashed hatch
 - 1.03 Remove (E) brick paved walkway
 - 1.04 Remove (E) accessory structure and covered carport
 - 1.05 (E) tree to remain.
 - 1.06 Sketched line represents area of new construction.
 - 1.07 Outline of (E) garage of adjacent property
 - 1.08 (E) CMU wall to remain. Height varies, 6'H Max.
 - 1.09 Outline of (E) ADU at adjacent property.
 - 1.10 Location of (N) garage
 - 1.11 Dashed line represents (E) roof overhang
 - 1.12 Dashed line represents (N) roof overhang
 - 1.13 (E) conc. driveway to remain
 - 1.14 Infill landscaping to match (E)
 - 1.15 Outline of (E) residence adjacent to property.
 - 1.16 (E) driveway of adjacent property
 - 1.17 (E) conc. patio of adjacent property
 - 1.18 Closet windows have no view outside. Refer to Window Schedule for sizes.
 - 1.19 2nd Story window with view to outside.

Project Data

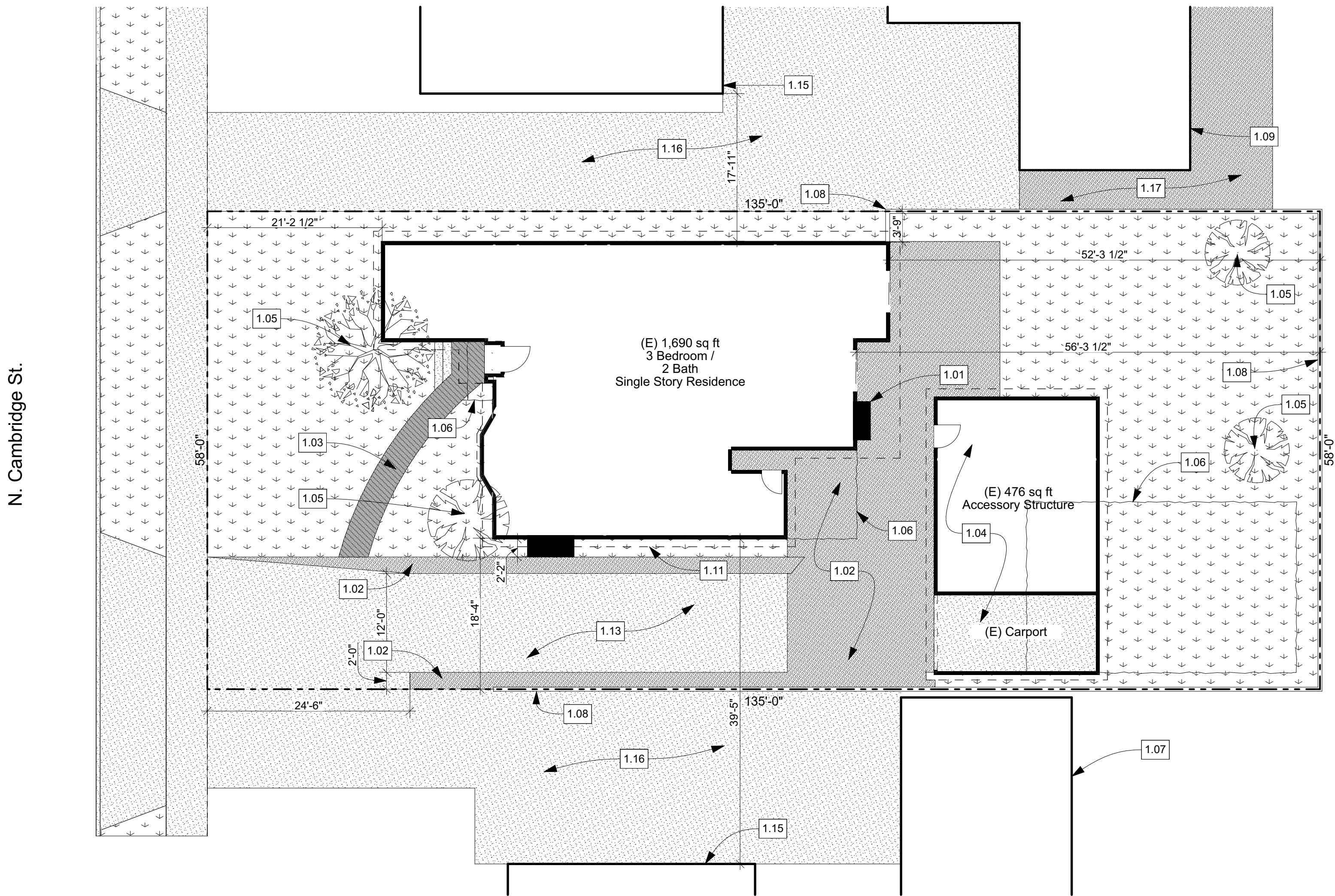
Owner:	Eric & Joyce Westenhofer 367 N. Cambridge St. Orange, CA 92866
Applicant:	DSE Architecture Inc. 145 S. Olive St. Orange, CA 92866 PH: (714) 639-3958 Attn: Doug Ely
Project Address:	367 N. Cambridge St. Orange, CA 92866
Project Description:	This project involves demolishing an existing accessory structure and carport, reconstructing a two car garage closer to the rear of the property and adding a second story on the existing residence. The second story design will be utilize a one and a half story layout with the roof plate starting from the existing plate height. The site work involves modification and extension of the concrete driveway and some other minor concrete walkway modifications. The interior work involves reconfiguring the ground floor walls and rooms, removing the existing roof, constructing a second story with 3 bedrooms and 2 baths. 2 bedrooms on the ground floor will be repurposed to a utility room and a study, open to the adjoining rooms. This creates proposed layout that include a total of 4 bedrooms and 4 baths with an open living/dining/kitchen plan.
APN#:	38612104
ZONE:	R-1-6
EXISTING LOT AREA:	7,830 sq.ft.
PROPOSED USE:	No change to existing use
OCCUPANCY GROUP:	R-3
CONSTRUCTION TYPE:	V-B (Non-Sprinklered)
EXISTING PARKING:	(1) On-Site parking space (1) Covered carport space
PROPOSED PARKING:	(2) Car Enclosed Garage
EXISTING STORIES:	(1) Story Existing
PROPOSED STORIES:	(2) Stories Proposed
EXISTING AREA:	(E) Residence 1,690 sq. ft. (E) Carport 193 sq. ft. (E) Accessory Structure 476 sq. ft. Total 2,359 sq. ft.
PROPOSED AREA:	Proposed 2-Car Garage 671 sq. ft. Proposed Addition 1,014 sq. ft. (E) Residence 1,690 sq. ft. Total 3,375 sq. ft.
EXISTING F.A.R.:	2,359 sq. ft. / 7,830 sq. ft. = .30
PROPOSED F.A.R.:	3,375 sq. ft. / 7,830 sq. ft. = .43



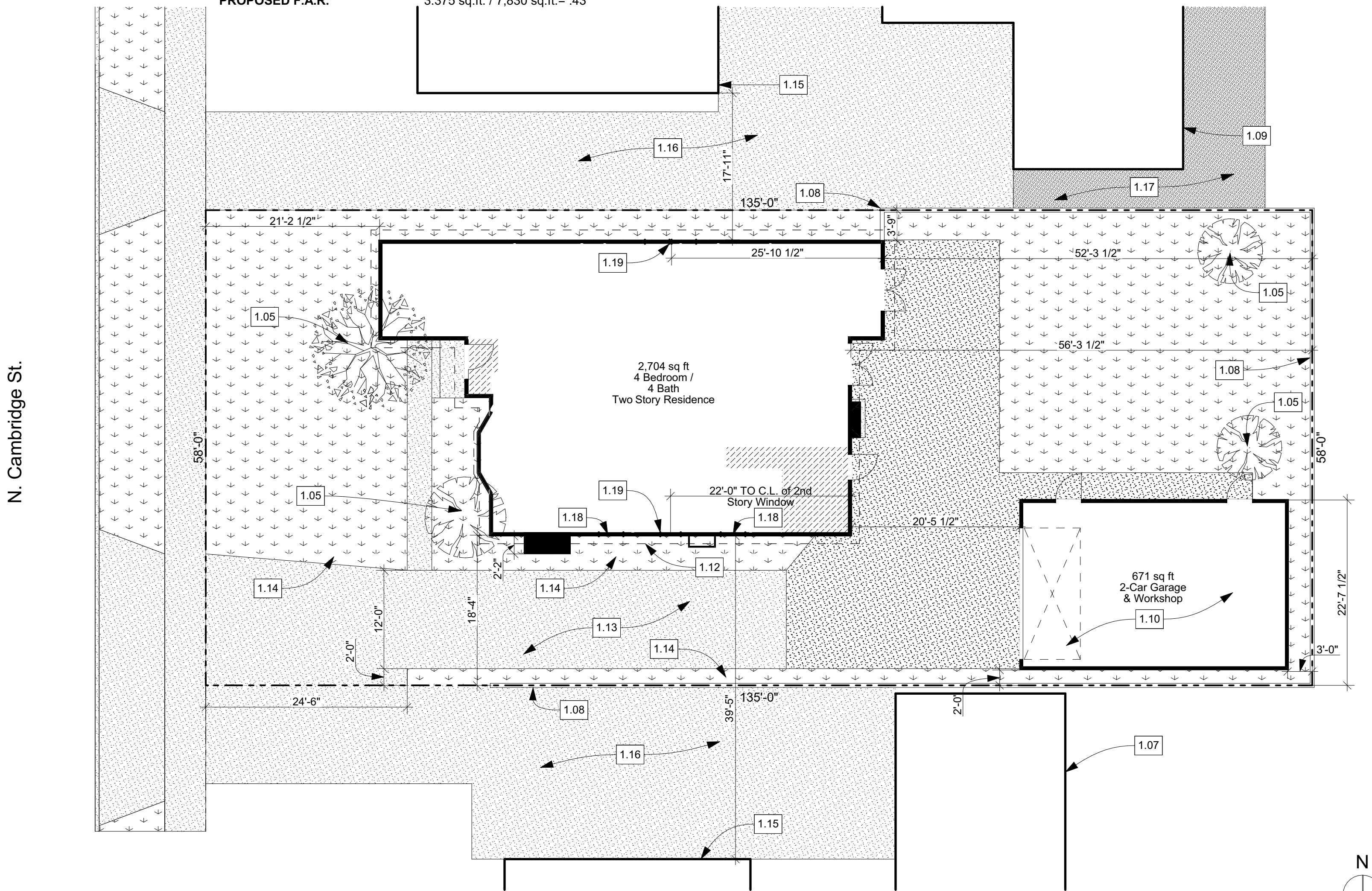
- Site Plan Legend**
- 1 Project Information, Existing & Proposed Site Plan
 - 2.0 Demolition First Floor Plan
 - 2.1 Proposed First Floor Plan
 - 2.2 Proposed Second Floor Plan / Lower Roof Plan
 - 2.3 Proposed Upper Roof Plan
 - 3 Exterior Elevations of Proposed Addition
 - 4 Exterior Details
 - 5 Existing Residence Photos
 - 6 Perspective Views of Proposed Addition

Site Plan Legend

- (E) Landscaping to remain
- (E) Conc. driveway/walkway
- (N) Conc. driveway/walkway



1 Existing Site Plan
SCALE: 1" = 10'



2 Proposed Site Plan
SCALE: 1" = 10'

Project Information, Existing & Proposed Site Plan

Westenhofer Residence

Second Story Addition

367 N. Cambridge St., Orange CA 92866

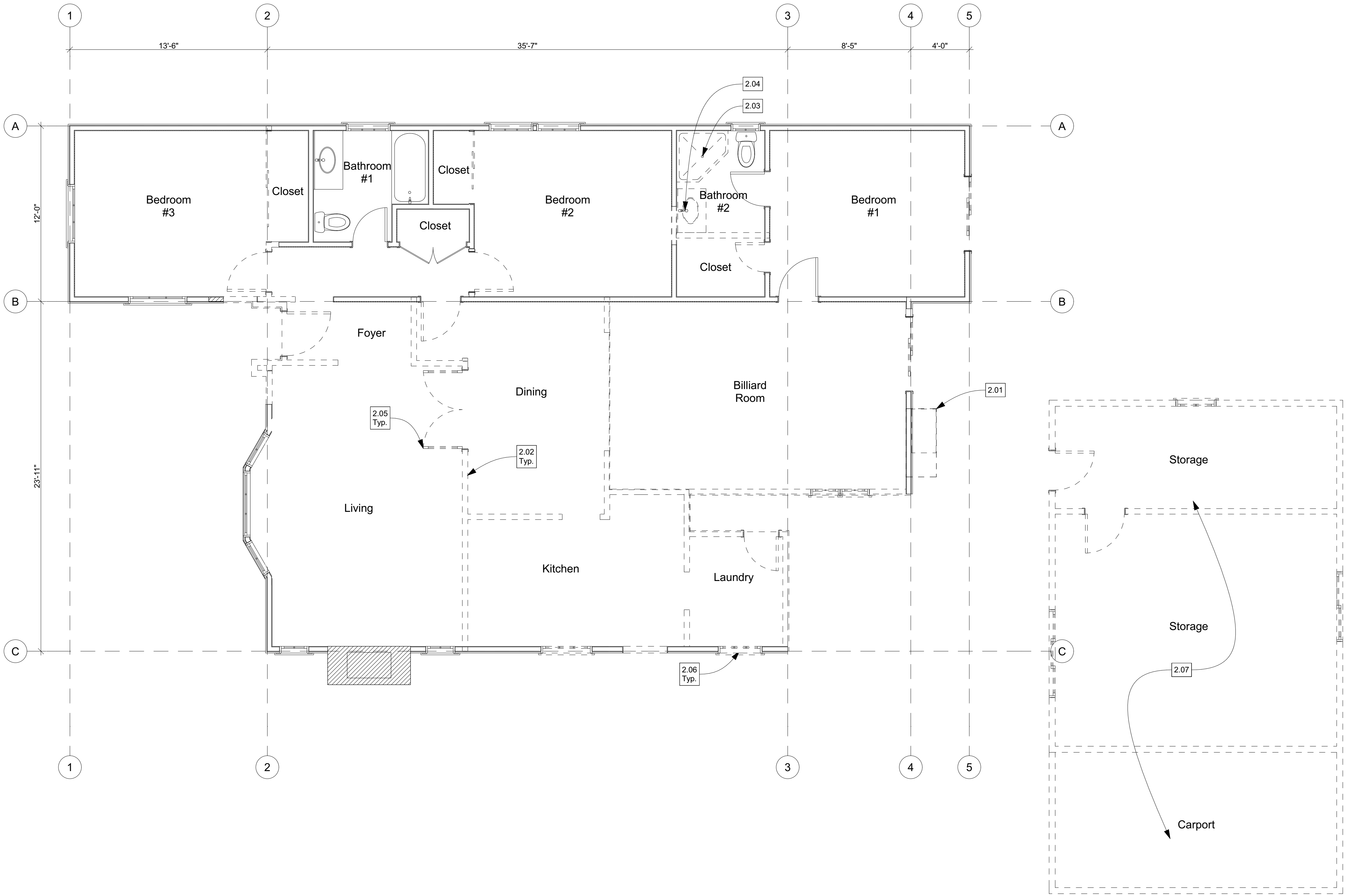
Plotted on 5/27/2021 at 10:16 AM P:\071 Westenhofer Residence\071 BIM-CAD Files\071 Arch\CAD Models\Westenhofer Residence.dwg

1

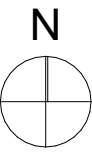
5/27/2021

Demolition Plan Keynotes

- 2.01 Remove (E) fireplace & chimney. Replace in (N) location.
- 2.02 Remove (E) wall where shown dashed
- 2.03 Remove (E) shower
- 2.04 Remove (E) sink
- 2.05 Remove (E) door where shown dashed
- 2.06 Remove (E) window where shown dashed
- 2.07 Remove entire structure
- Typ. Typical unless noted otherwise

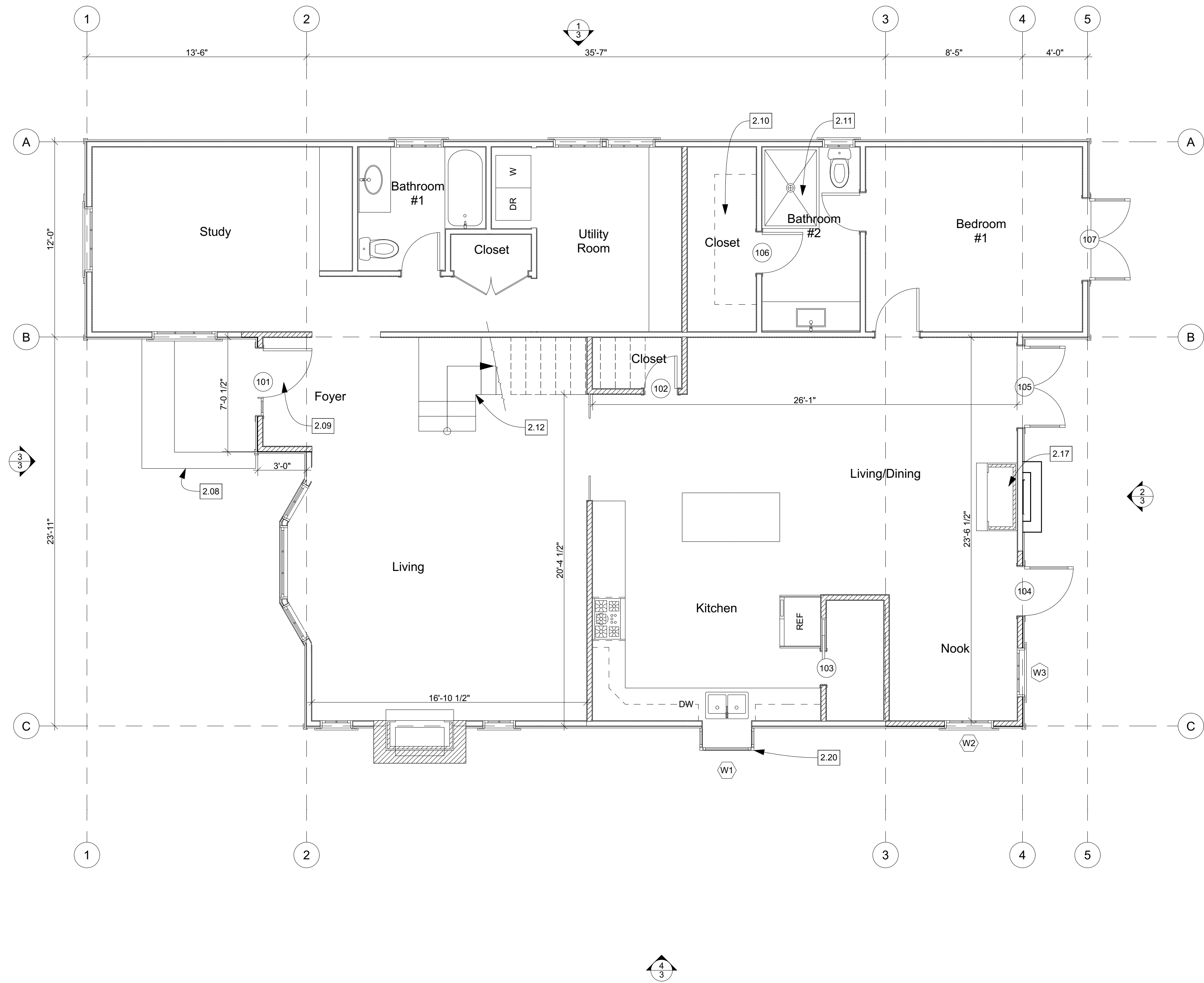


1 First Floor Demolition Plan
SCALE: 1/4" = 1'-0"



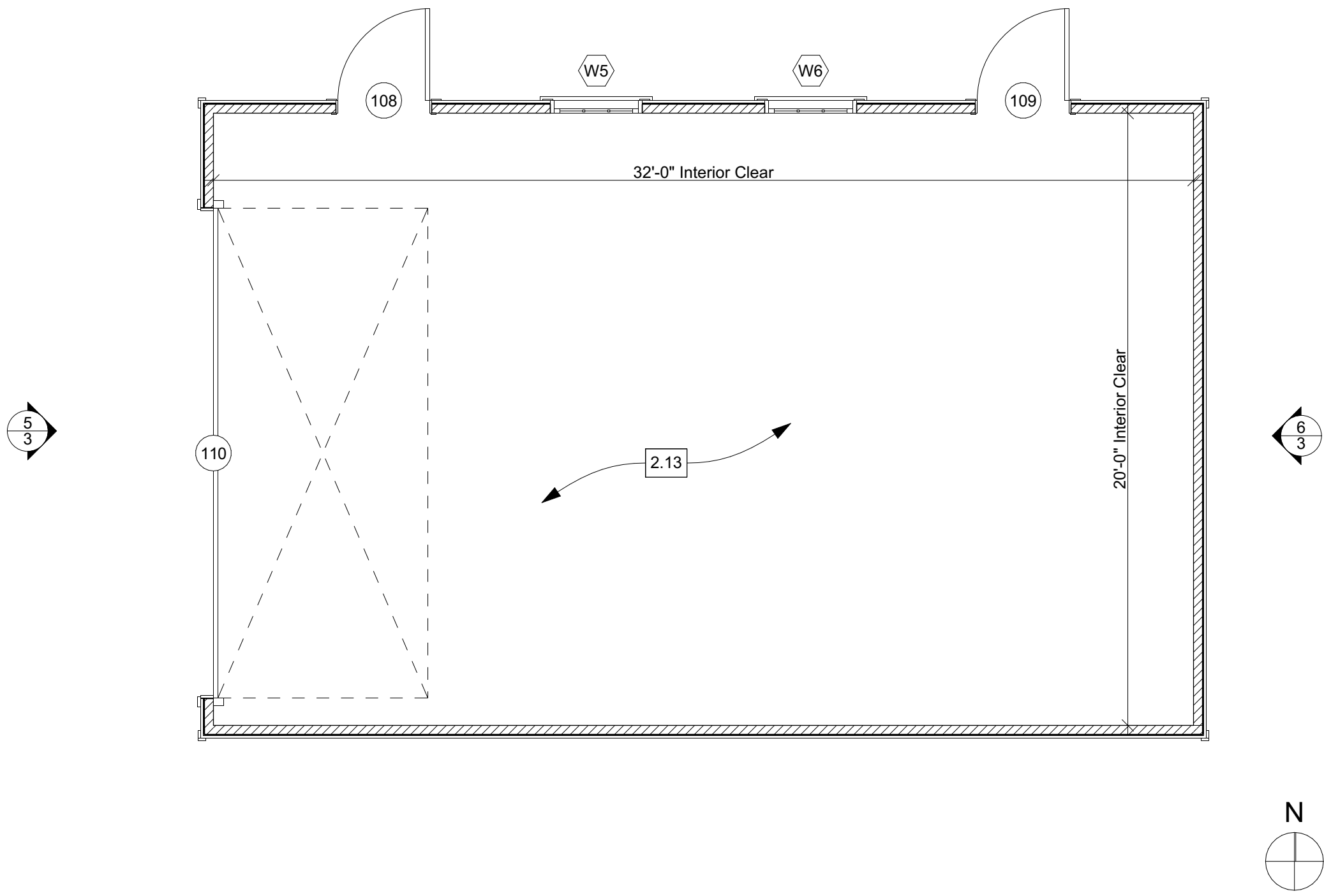
Floor Plan Keynotes

- 2.08 (N) Conc. steps/walkway
- 2.09 (N) Expanded foyer
- 2.10 (N) Expanded closet
- 2.11 (N) Reconfigured bathroom
- 2.12 (N) Staircase
- 2.13 (N) Garage and workshop
- 2.17 (N) location of replaced fireplace
- 2.20 Projecting window



DOOR SCHEDULE				
Door ID	SIZE		MATERIAL	NOTES
	Width	Height		
101	3'-0"	6'-8"	Wood	Solid Core, Multi-Panel Door w/ glass sidelite
102	2'-0"	6'-8"	Wood	
103	2'-0"	6'-8"	Wood	
104	3'-0"	6'-8"	Wood	
105	5'-0"	6'-8"	Wood	Glass divided lite w/ external wood muntin
106	2'-6"	6'-8"	Wood	
107	5'-0"	6'-8"	Wood	
108	3'-0"	6'-8"	Wood	
109	3'-0"	6'-8"	Wood	Sectional rollup door w/ glass inserts
110	16'-0"	7'-0"	Alum.	
201	2'-8"	6'-8"	Wood	
202	2'-0"	6'-8"	Wood	
203	2'-0"	6'-8"	Wood	
204	2'-8"	6'-8"	Wood	
205	2'-0"	6'-8"	Wood	
206	2'-4"	6'-8"	Wood	
207	2'-8"	6'-8"	Wood	
208	2'-8"	6'-8"	Wood	
209	2'-0"	6'-8"	Wood	

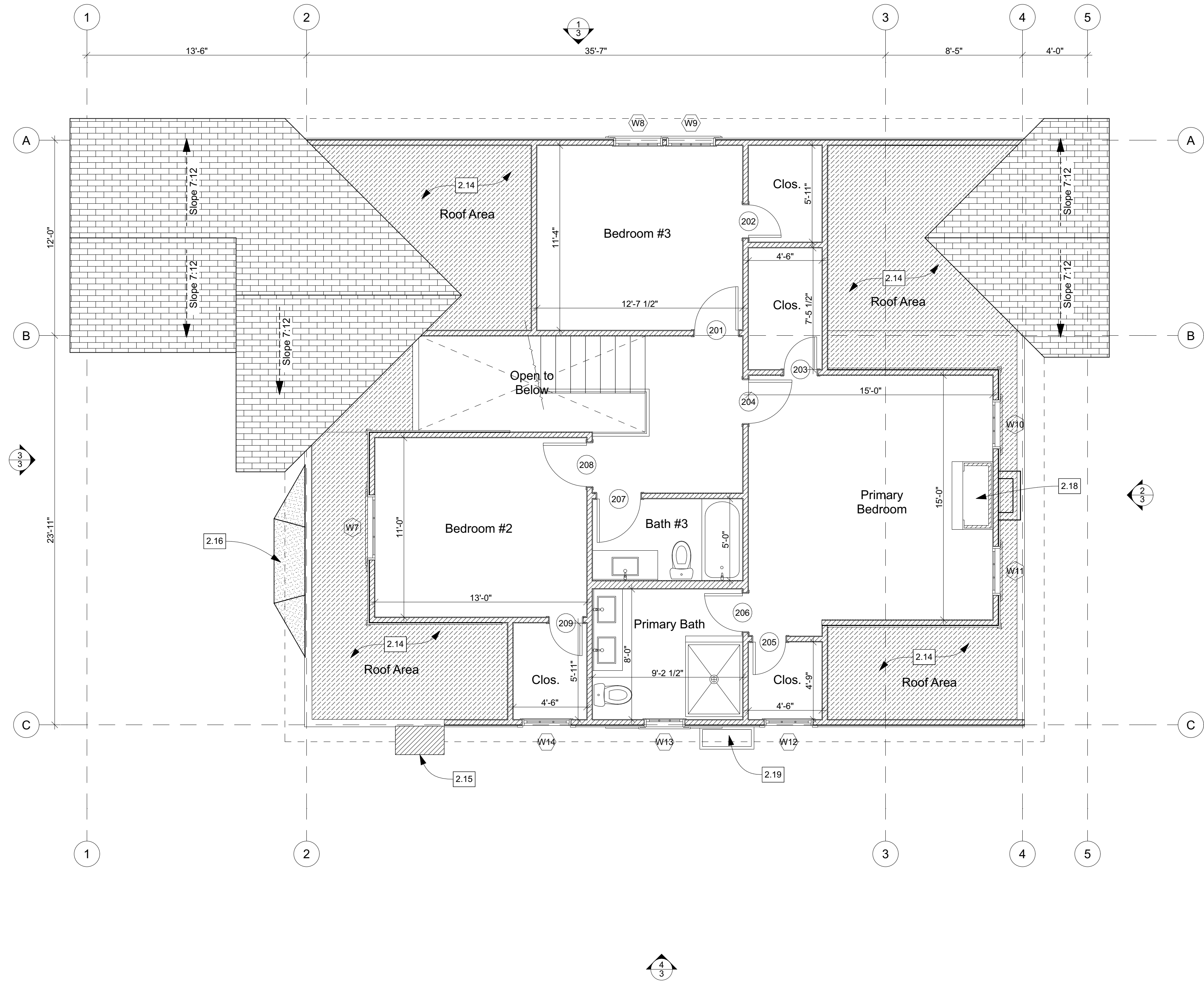
WINDOW SCHEDULE					
ID	SIZE		TYPE	MATERIAL	NOTES
	Width	Height			
W1	3'	3'			
W2	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W3	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W5	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W6	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W7	4'	4'	Double Hung	Wood	Divided lite w external wood muntin
W8	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W9	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W10	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W11	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W12	3'	1'-8"	Fixed	Wood	Divided lite w external wood muntin
W13	2'-6"	4'	Double Hung	Wood	Divided lite w external wood muntin
W14	3'	1'-8"	Fixed	Wood	Divided lite w external wood muntin



1 First Floor Plan
SCALE: 1/4" = 1'-0"

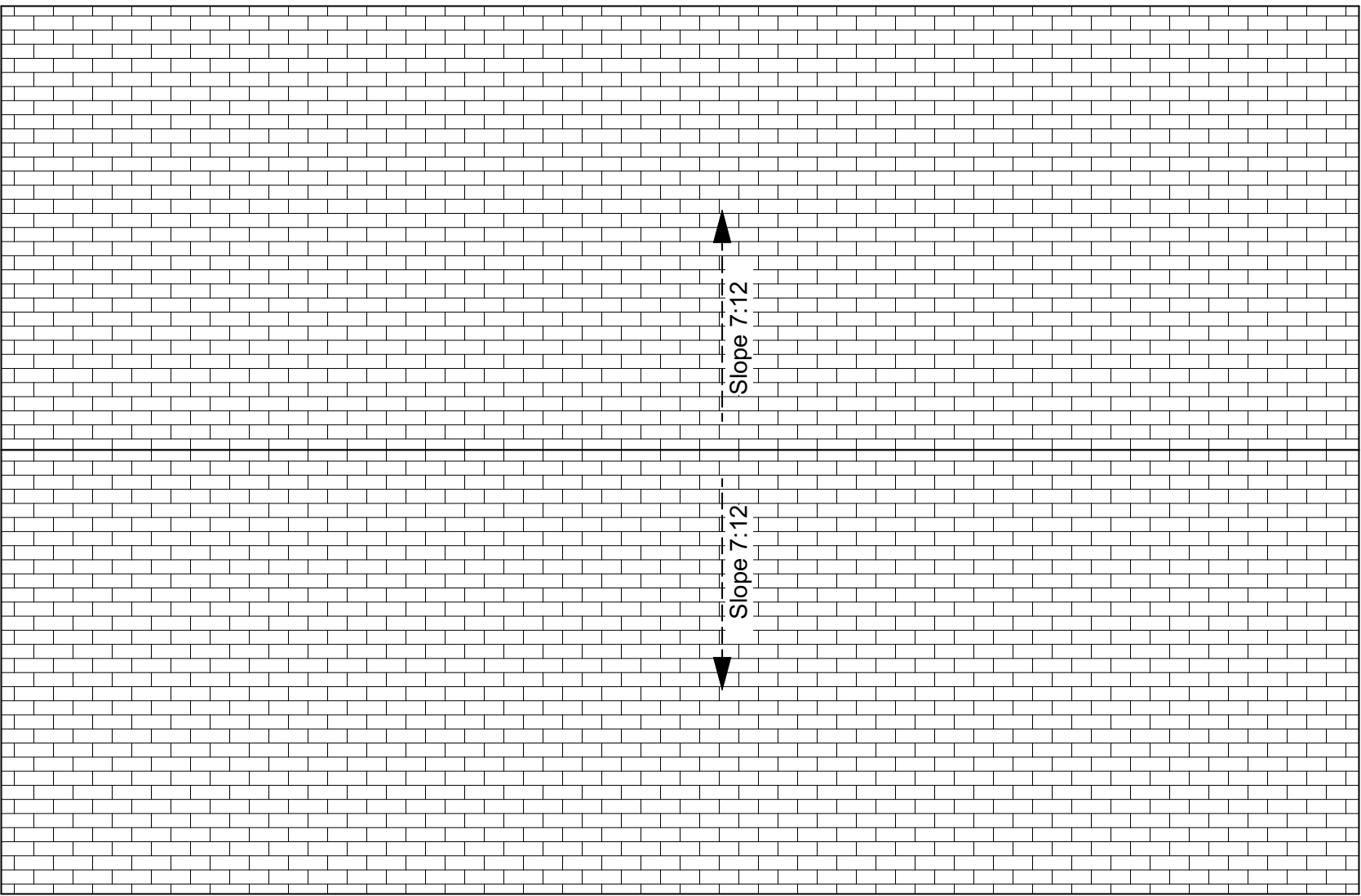
Floor Plan Keynotes

- 2.14 Hatched area represents non-habitable portion of second floor under the roof
2.15 Repair and extend (E) chimney as required
2.16 (E) low slope roof over bay window to remain
2.18 (N) fireplace
2.19 Projecting window below



DOOR SCHEDULE				
Door ID	SIZE		MATERIAL	NOTES
	Width	Height		
101	3'-0"	6'-8"	Wood	Solid Core, Multi-Panel Door w/ glass sidelite
102	2'-0"	6'-8"	Wood	
103	2'-0"	6'-8"	Wood	
104	3'-0"	6'-8"	Wood	Glass divided lite w/ external wood muntin
105	5'-0"	6'-8"	Wood	
106	2'-6"	6'-8"	Wood	
107	5'-0"	6'-8"	Wood	Glass divided lite w/ external wood muntin
108	3'-0"	6'-8"	Wood	
109	3'-0"	6'-8"	Wood	
110	16'-0"	7'-0"	Alum.	Sectional rollup door w/ glass inserts
201	2'-8"	6'-8"	Wood	
202	2'-0"	6'-8"	Wood	
203	2'-0"	6'-8"	Wood	
204	2'-8"	6'-8"	Wood	
205	2'-0"	6'-8"	Wood	
206	2'-4"	6'-8"	Wood	
207	2'-8"	6'-8"	Wood	
208	2'-8"	6'-8"	Wood	
209	2'-0"	6'-8"	Wood	

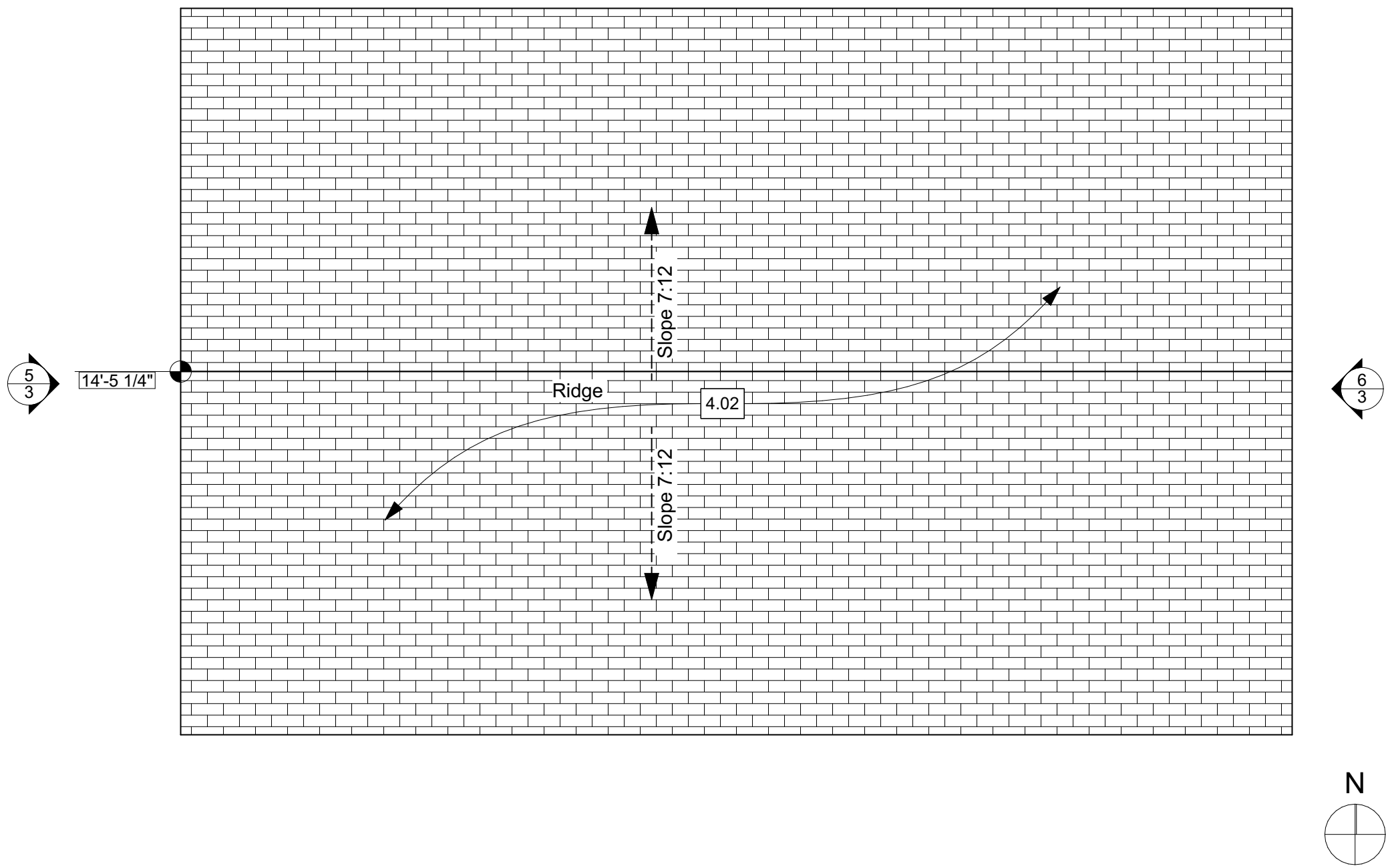
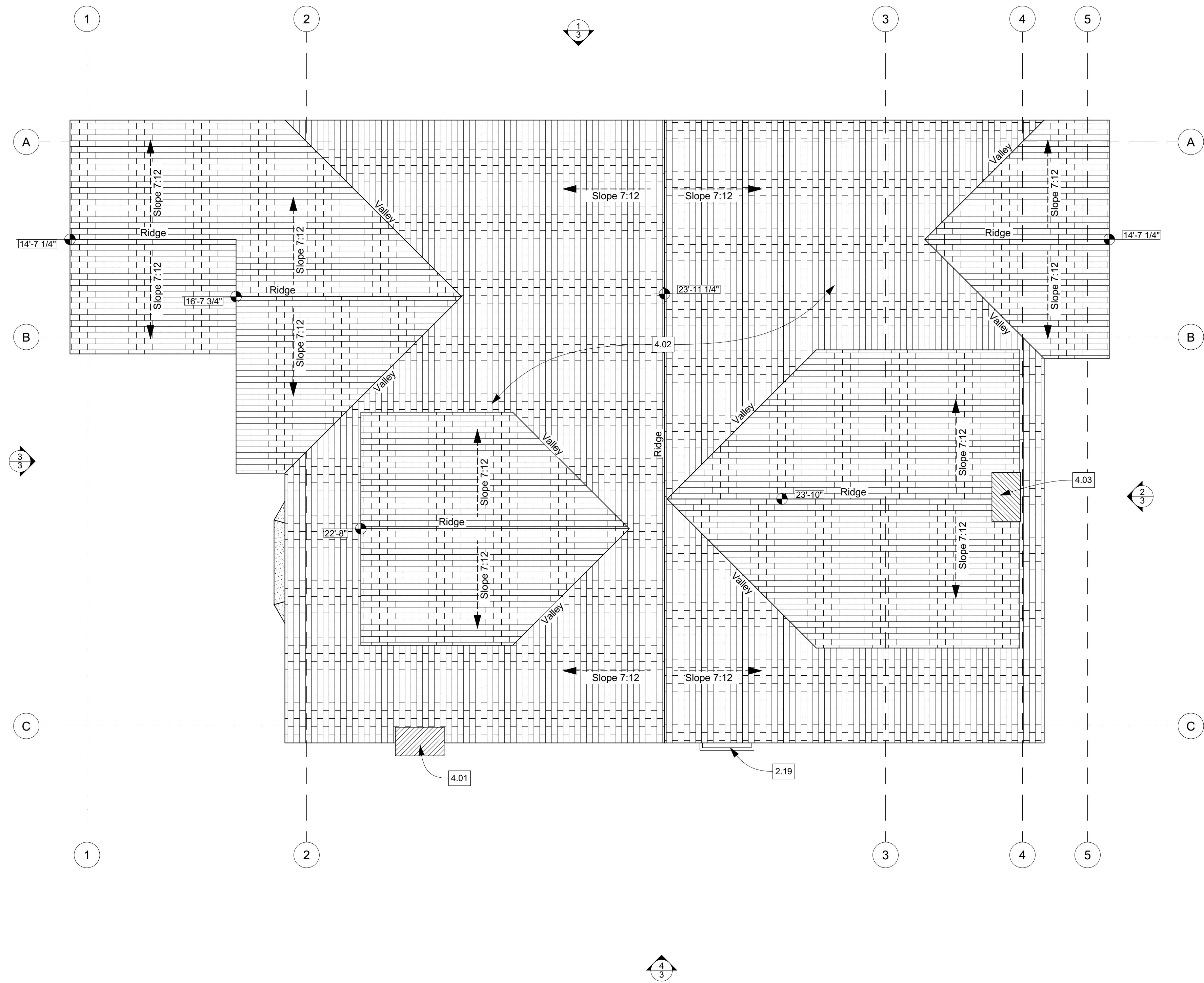
WINDOW SCHEDULE					
ID	SIZE		TYPE	MATERIAL	NOTES
	Width	Height			
W1	3'	3'			
W2	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W3	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W5	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W6	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W7	4'	4'	Double Hung	Wood	Divided lite w external wood muntin
W8	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W9	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W10	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W11	3'	4'	Double Hung	Wood	Divided lite w external wood muntin
W12	3'	1'-8"	Fixed	Wood	Divided lite w external wood muntin
W13	2'-6"	4'	Double Hung	Wood	Divided lite w external wood muntin
W14	3'	1'-8"	Fixed	Wood	Divided lite w external wood muntin



1 Second Floor Plan
SCALE: 1/4" = 1'-0"

Floor Plan Keynotes

- 2.19 Projecting window below
4.01 Repair/extend chimney as required.
4.02 Composite asphalt shingles
4.03 Install new chimney



1 Roof Plan
SCALE: 1/4" = 1'-0"

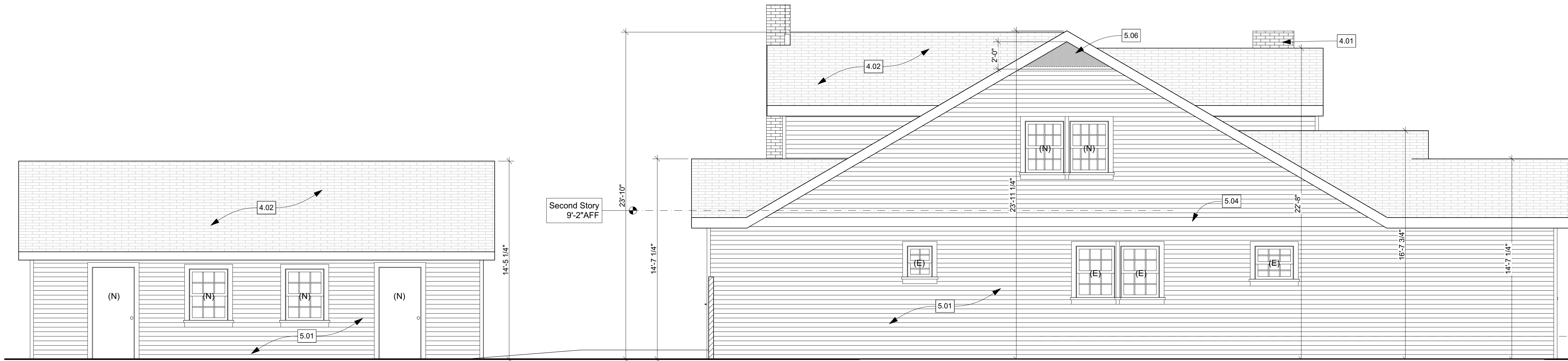
Proposed Upper Roof Plan

Westenhofer Residence

Second Story Addition

367 N. Cambridge St., Orange CA 92866

Plotted on 5/27/2021 at 10:16 AM P:\071 Westenhofer Residence\071 BIM-CAD Files\071 Arch-CAD Models\Westenhofer Residence at TA.dwg



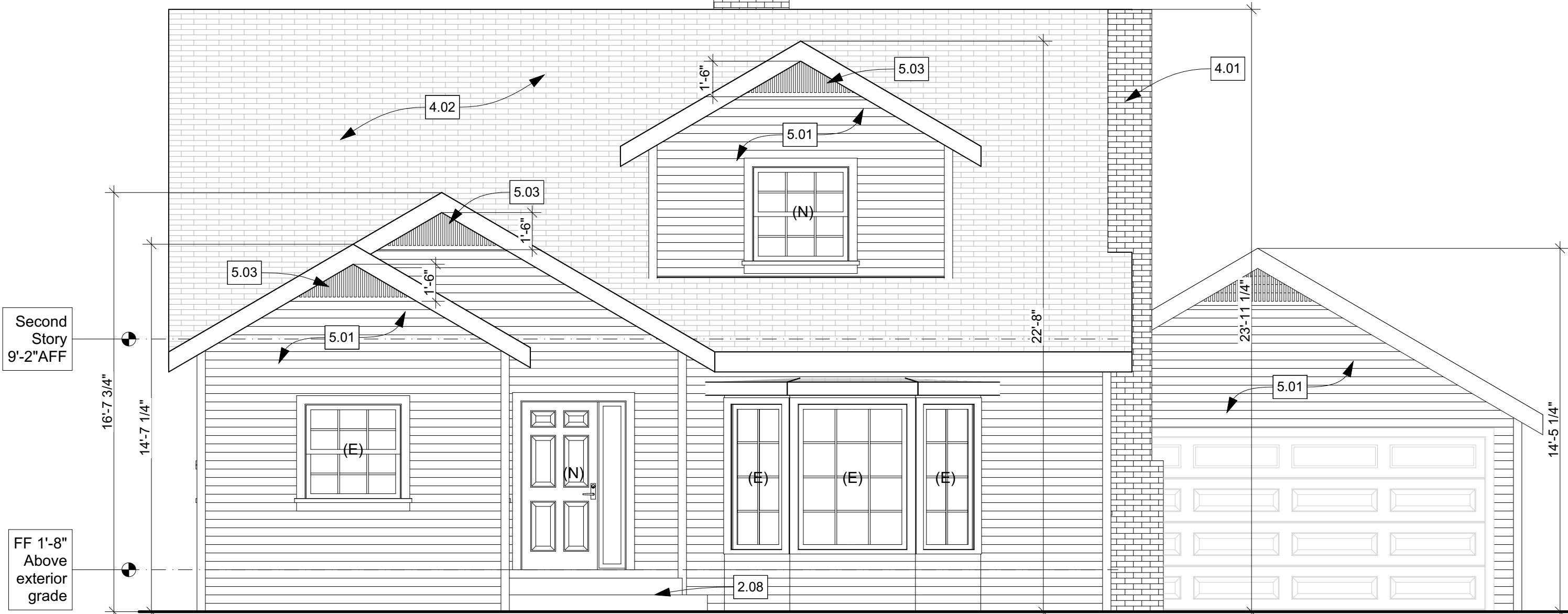
1 North Exterior Elevation (Including Garage)

Exterior Elevation Keynotes

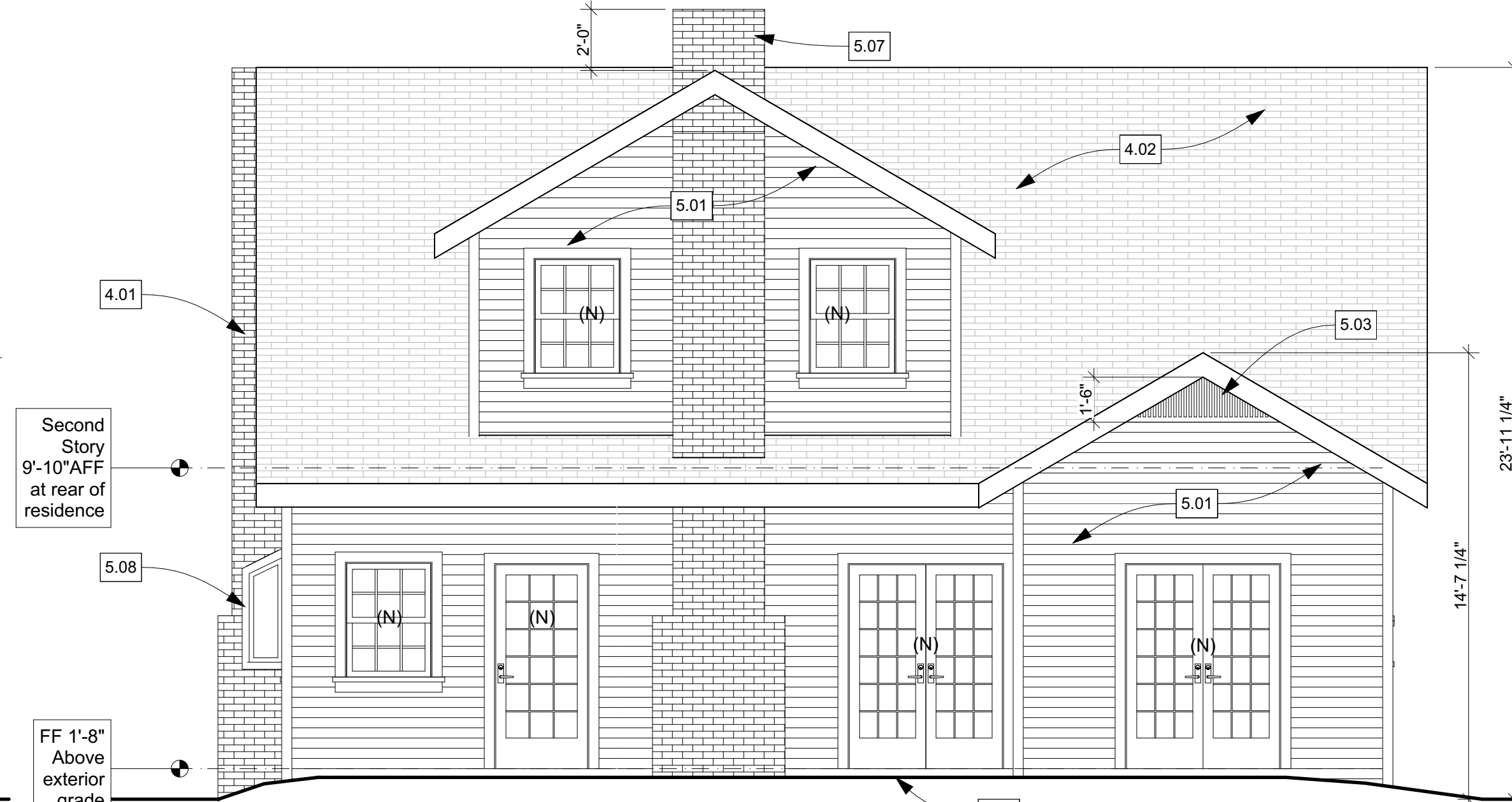
- 2.08 (N) Conc. steps/walkway
- 4.01 Repair/extend chimney as required.
- 4.02 Composite asphalt shingles
- 5.01 Install Horiz. wood siding o/ (2) layers grade D bldg. paper.
- 5.02 Natural grade is higher at the rear of the residence
- 5.03 Install craftsman style gable attic vent. 1x Vert. wood trim w/ 1" gap between trim. Paint to match roof fascia.
- 5.04 Install wood trim at top plate of first story. Paint to match roof fascia.
- 5.05 Install 4 panel roll up garage door.
- 5.06 Install faux craftsman style gable attic vent at this location due to fire protection requirements along the north wall. 1x Vert. wood trim w/ 1" gap between trim. Paint to match roof fascia.
- 5.07 Install brick chimney for (N) fireplace
- 5.08 Projecting window at kitchen

NOTE:
All Existing Windows to remain are wood double hung divided lite w/ external muntins

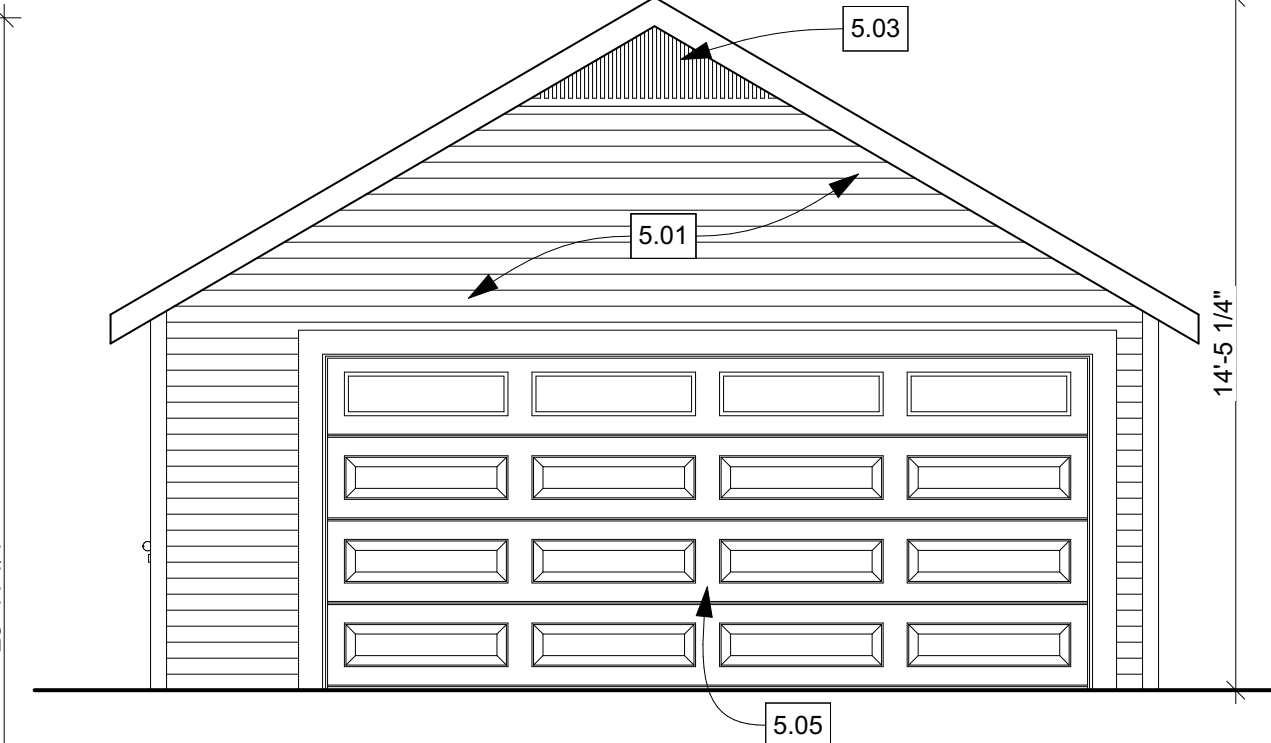
FF 1'-8" Above exterior grade



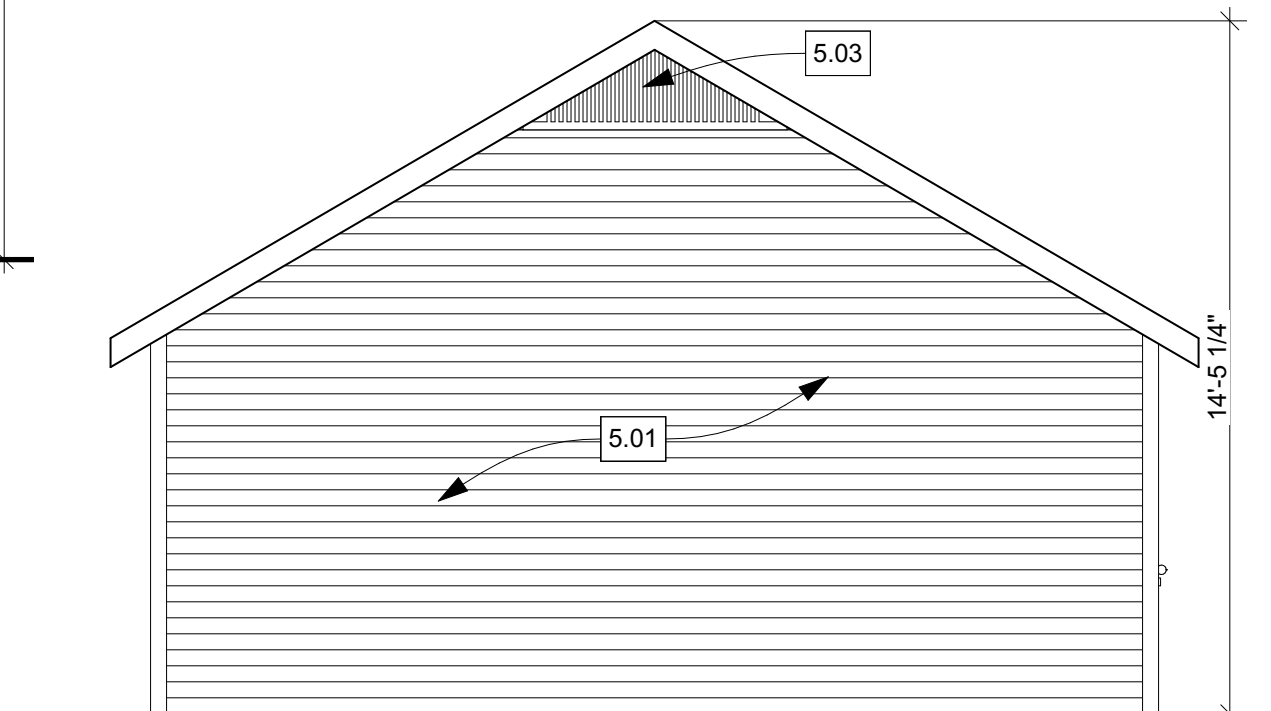
2 West Exterior Elevation



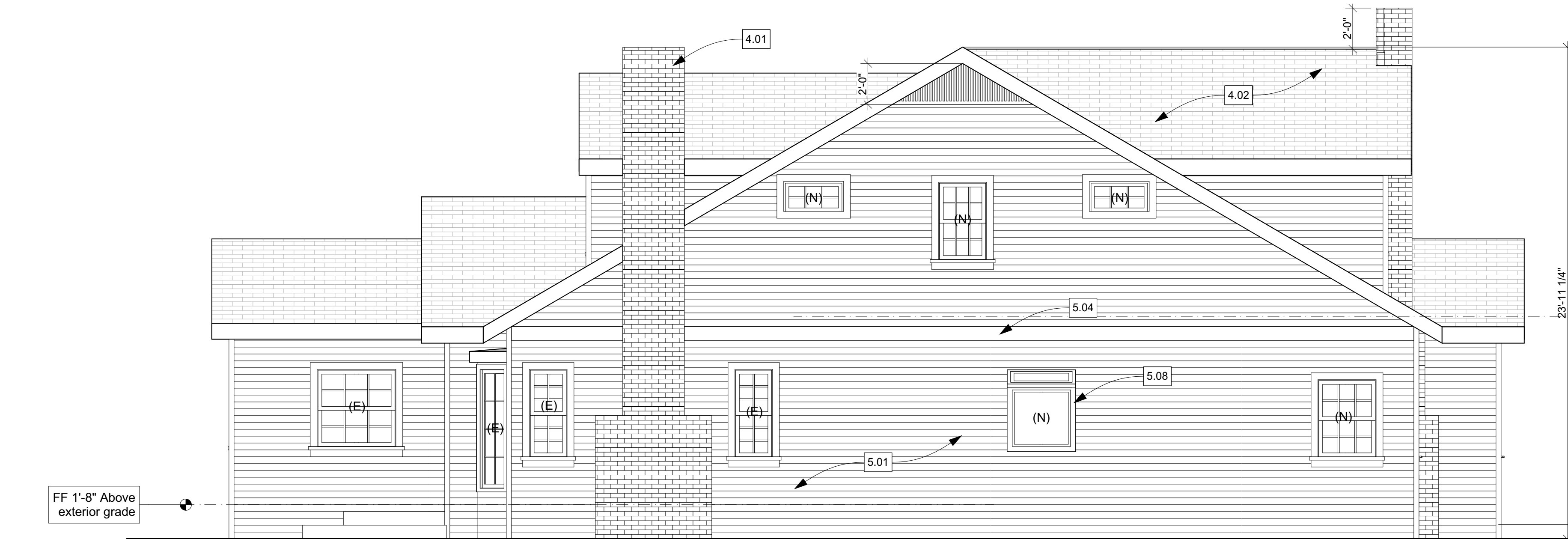
3 East Exterior Elevation



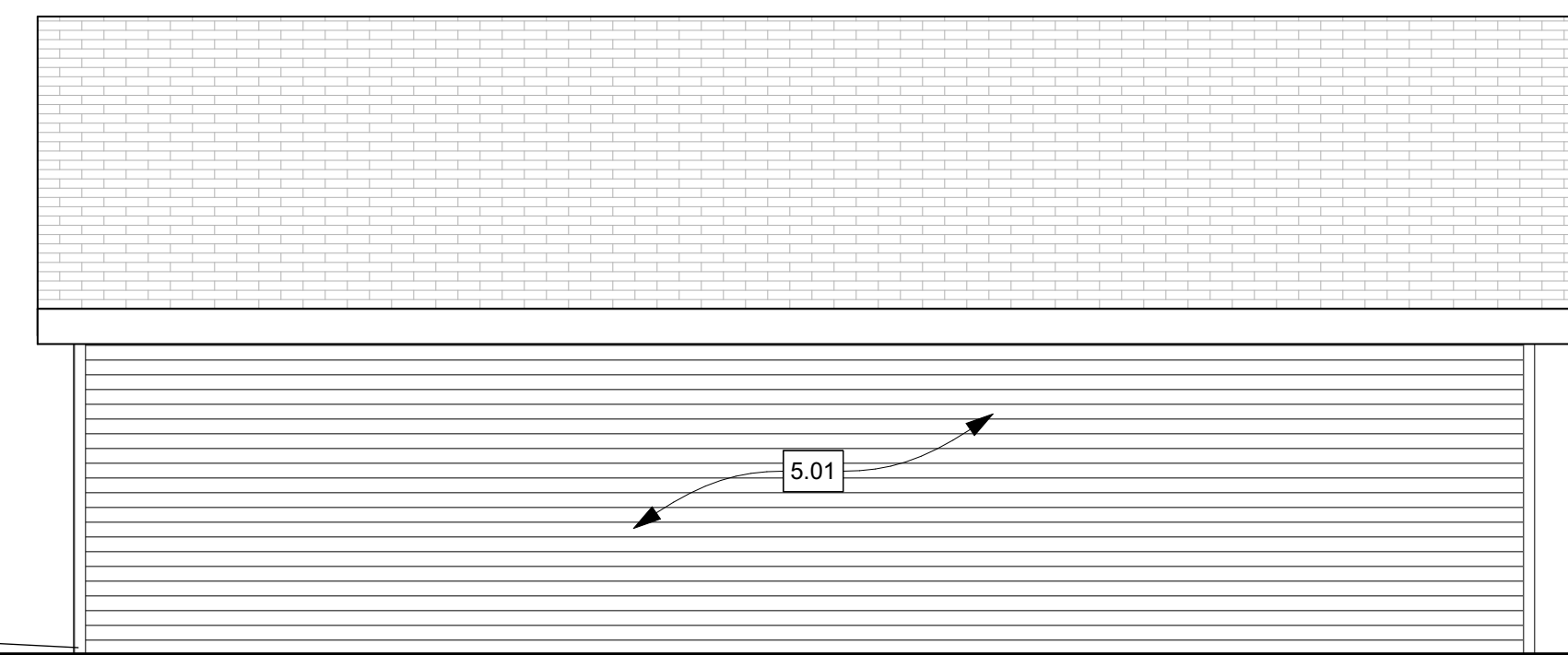
5 West Elevation of Garage



6 East Elevation of Garage



4 South Exterior Elevation (Including Garage)



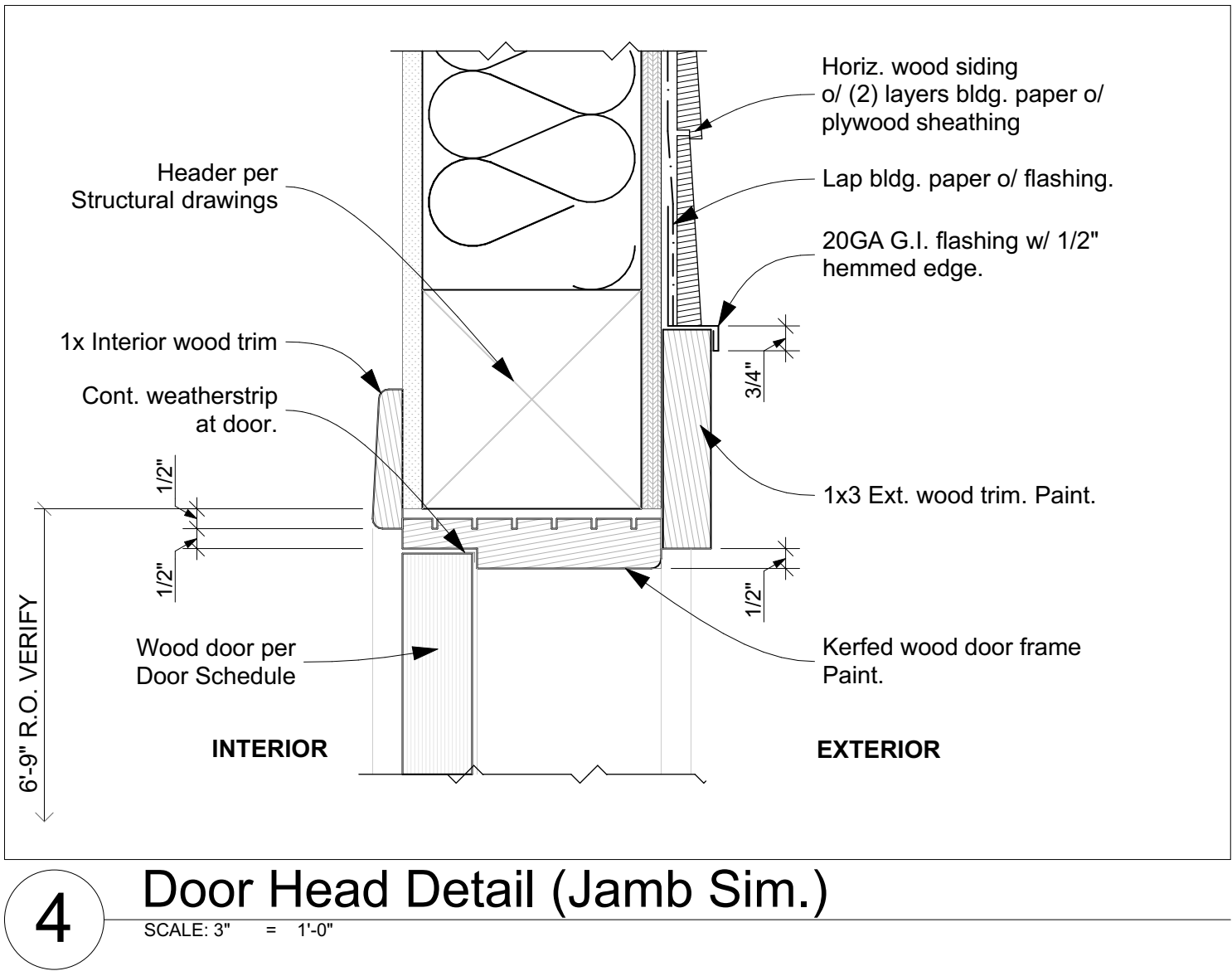
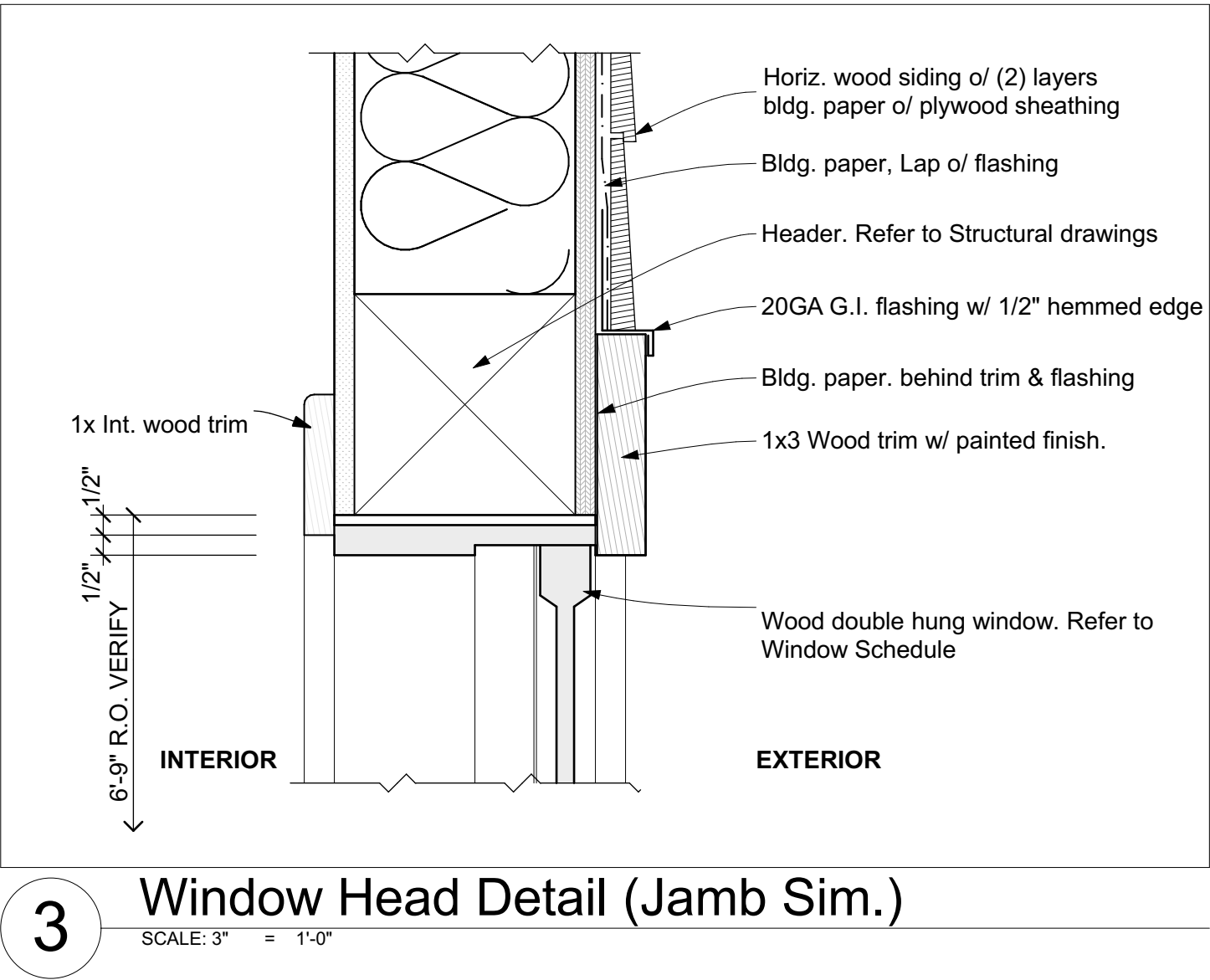
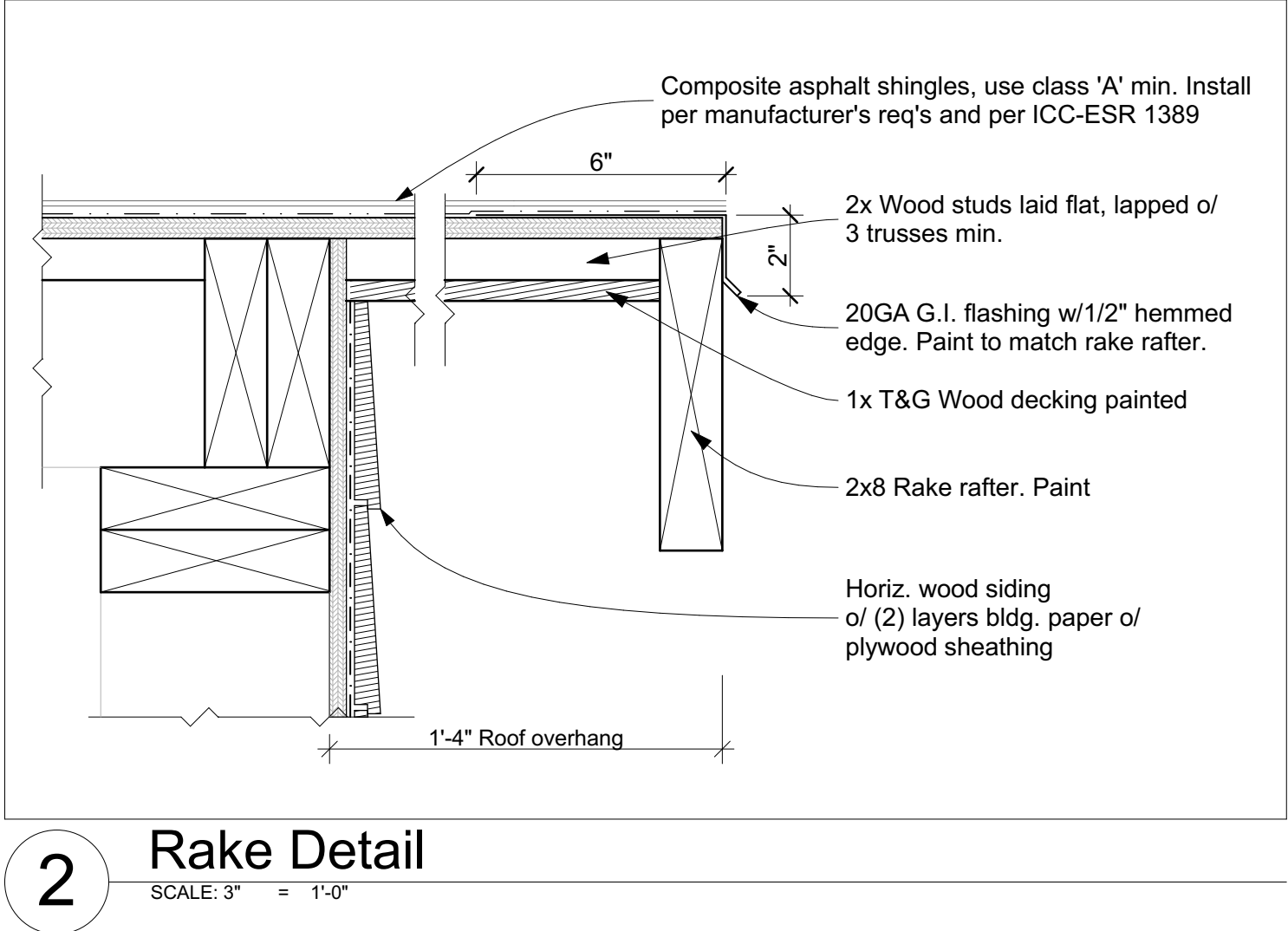
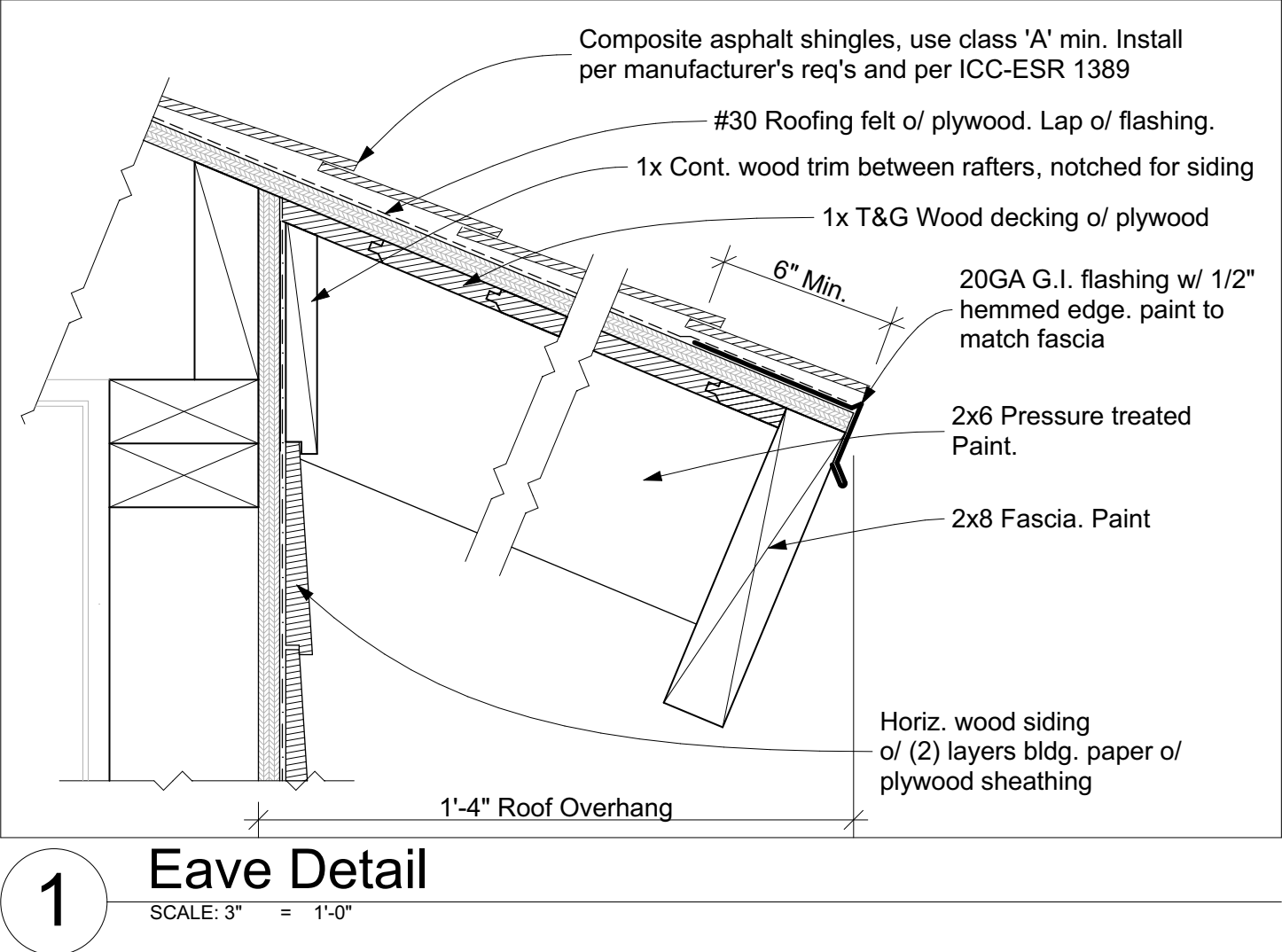
Exterior Elevations of Proposed Addition

Westenhofer Residence

Second Story Addition

367 N. Cambridge St., Orange CA 92866

Plotted on 5/27/2021 at 10:16 AM P:\071 Westenhofer Residence\071 BIM-CAD Files\071 Arch-CAD Models\Westenhofer Residence at TA.dwg





01-View From Cambridge Street Looking at Property to the North



02-View From Cambridge Street Looking at Project Existing Residence



03-View From Cambridge Street Looking at Property to the South



04-View From Cambridge Street Looking at Project Existing Residence



05-View From Cambridge Street Looking at Project Existing Residence



06-View From Cambridge Street Looking at Property to the South



Perspective View Looking At Northwest Corner of Proposed Residence



Perspective View Looking At Southwest Corner of Proposed Residence

Perspective Views of Proposed Addition

Westenhofer Residence

Second Story Addition

367 N. Cambridge St., Orange CA 92866

Plotted on 5/27/2021 at 10:16 AM Plot: Westenhofer Residence\01 BIM-CAD Files\01 Arch-CAD Models\Westenhofer Residence.plt TA.sh



Agenda Item

Design Review Committee

Item #: 4.2.

8/4/2021

File #: 21-0389

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Kelly Ribuffo, Associate Planner - Historic Preservation

1. SUBJECT

Design Review No. 5033-21, Westenhofer Residence, 367 N. Cambridge Street

2. SUMMARY

Recommendation of approval to the Planning Commission

The applicant proposes to construct a 1,014 square foot, one and one half story addition to a single-family residence, demolish an existing accessory building, and construct a new detached two-car garage and workshop. The property is a non-contributing resource to the Old Towne Historic District.

3. BACKGROUND INFORMATION

Applicant/Owner: Erik Westenhofer

Property Location: 367 N. Cambridge Street

General Plan Designation: Low Density Residential (LDR)

Zoning Classification: Single-Family Residential (R-1-6)

Existing Development: 1,630 square foot single-family residence with a 476 square foot accessory building and 193 square foot carport

Associated Application: None

Previous DRC Project Review: None

4. PROJECT DESCRIPTION

The applicant proposes to construct a one and one half story addition to a non-contributing single-family residence, demolish an existing accessory building and carport, and construct a new detached two-car garage and workshop in conformance with the Historic Preservation Design Standards for Old Towne (Design Standards). Design features of the project include:

- Craftsman-inspired building form, features, and materials.
- Remove existing hip roof and replace with a new side gable roof with cross gable dormers.

- Replace the exterior plaster siding with new horizontal wood lap siding.
- Add wood trim beltcourse to break up the two-story wall height on the side elevations.
- Install new divided light wood windows and french doors throughout the house to match existing windows on the front elevation.
- Use matching finishes to match the renovated house with the new detached garage and workshop.

Detailed plans and photographs are included as Attachment 3 of this report. The proposed work meets the development standards for the R-1-6 zoning district.

Pursuant to Orange Municipal Code Section 17.08.020, demolition of structures within the Old Towne Historic District requires approval by the Planning Commission. Therefore, the project as a whole shall be reviewed by the Planning Commission for final determination.

5. EXISTING SITE

The project property is a non-contributing resource to the National Register-listed Old Towne Historic District. The one-story residence was constructed in 1948. The house has undergone multiple additions and alterations over time, including a 524 square foot family room and bedroom addition in 1981 (Building Permit #28281). The detached accessory building, originally a garage, was constructed at the same time but altered into an enclosed building with an attached carport at a later date.

6. EXISTING AREA CONTEXT

The subject property is located on the east side of N. Cambridge Street, mid-block between E. Palm Avenue and E. Sycamore Avenue. The house is located in an area of predominantly single-family homes on the eastern edge of the Old Towne Historic District. The property is surrounded on all sides by residential properties (R-1-6) that are a mix of contributing and non-contributing resources to the Old Towne Historic District.

Three existing residences on N. Cambridge Street are more than one story:

- 320 N. Cambridge Street (two-story, non-contributing)
- 383 N. Cambridge Street (one and ½-story, outside district boundary)
- 390 N. Cambridge Street (two-story, contributing)

7. ANALYSIS AND STATEMENT OF THE ISSUES

Issue 1 Mass and Scale of Residential Addition:

The applicant proposes to construct a one and one half story addition to an existing single story residence. The addition will increase the height of the building from 16 feet 8 inches to 23 feet 11 ¾ inches. The Design Standards state that second-story additions are discouraged. Instead, additions

within existing attic spaces or half-story additions, where living space is located within the roofline of the house, are suggested as an alternative. A half-story addition may better replicate the scale, size, and roof forms compatible with the streetscape of the historic district. When any upper floor is built, the design should conform to the mass and scale of other properties on the same street, and it should not cause a loss of privacy for surrounding properties. (Standards for Non-Contributing Buildings, 8).

It is the opinion of staff that the proposed addition conforms to the requirements in the Design Standards for second level additions. The applicant has designed the placement of the addition to minimize the mass of the building as viewed from N. Cambridge Street. The new roof form is a side gable roof with cross-gable dormers, which is similar in form to large two-story Craftsman-style homes within the Old Towne Historic District. The roofline slopes away from the street and centers the bulk of the house towards the interior of the lot. The front gable dormer is set back from the front elevation of the house by over 17 feet, which is over 38 feet from the front property line. Design details such as a wood trim belt course, gable vents, and placement of windows have also been used to break up expanses of full height wall space on the side elevations of the building.

Privacy is also addressed through placement of the main living area towards the center of the lot. Windows on the upper floor of the north and south elevations overlook the driveways and rooftops of adjacent residences, which screen the rear yard areas from view. Two of the three proposed bedrooms face east and west, either towards N. Cambridge Street or towards the applicant's rear yard area, which is approximately 56 feet deep.

Issue 2 Floor Area Ratio:

The Design Standards provide the following guidance for infill construction in the historic district:

“Properties with new construction are recommended to use the average Floor Area Ratio of historic properties on the surrounding street as a model for compatible new development.” (Infill Construction, 2.b.)

The 300-block of North Cambridge Street features a number of larger single-family residences, many of which are contributing historic resources to the Old Towne Historic District with detached accessory structures. An aerial image of the block is included as Attachment 4. Staff has compiled a table with estimated FAR information for all properties on this block, included on Sheet 1 of Attachment 3. A summary of the information for historic properties is provided below.

Address	FAR
837 E. Palm Avenue	0.20
303 N. Cambridge Street	0.27
311/313 N. Cambridge Street	0.25
317 N. Cambridge Street	0.25
325 N. Cambridge Street	0.32
332/334 N. Cambridge Street	0.32
339 N. Cambridge Street	0.15
348 N. Cambridge Street	0.20
349 N. Cambridge Street	0.21

356 N. Cambridge Street	0.19
374 N. Cambridge Street	0.37
290 N. Cambridge Street	0.21
Average	0.25

With construction of the second floor and demolition and replacement of the accessory building, the FAR of the property would increase from 0.30 to 0.43. The maximum allowable FAR in the R-1-6 zone is 0.6. There is no separate maximum FAR required for the historic district. The Design Standards consider FAR as one of a number of factors that may affect compatibility of a project. Projects with a higher than average FAR may still meet the required Design review findings if the mass, scale, siting, and visibility of the project are appropriate for the historic district.

The proposed FAR of the property is higher than the maximum property FAR currently on this block. However, it is the opinion of staff that the proposed project meets the findings for conformance with the Design Standards. Mitigating factors for the increase in FAR on the property include:

- Current lack of garage parking. OMC Section 17.34.060 requires a minimum of a 400 square foot, two-car garage for a single-family residence. The scope of the project does not qualify for an exemption to this requirement. Therefore, even if the applicant were not proposing a new garage as part of the project the Planning Division would require its inclusion to bring the property into conformance with current City parking standards.
- The proposed garage will be placed farther back on the lot. This is consistent with the placement of accessory structures on other properties within the historic district and decreases the visual impact of the mass of the building from the street.
- The bulk of the living area to be added to the residence is located within a one and one half story addition to the house. Since the area of the upper floor is contained within the roofline of the house, and set back from the front elevation of the house, the visual mass of the house is less than if a full second story were proposed.

Issue 3: Demolition of Accessory Building and New Detached Garage

The applicant proposes to demolish the existing accessory building and carport in order to construct a new two-car garage and workshop. The building was originally a two-car garage built concurrently with the residence, but subsequent alterations removed the garage door and added a single carport for parking. The existing building has no historic significance to the property or within the Old Towne Historic District. Therefore, staff supports the request for demolition of the structure.

The Design Standards state that new accessory structures should be subordinate in size and scale to the primary building on a lot, and that infill construction should adhere to the standards for setting within the historic district. The new garage will be located farther back on the lot than the existing building to allow for adequate access to the garage parking spaces. The proposed location is appropriate based on the site plan pattern for historic-era residences within the historic district. The design features of the building match the details of the main residence, giving the property a

cohesive design theme.

8. ADVISORY BOARD RECOMMENDATION

None required.

9. PUBLIC NOTICE

On July 22, 2021, the City sent a Public Meeting Notice to a total of 80 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site was posted with the notification on that same date.

10. ENVIRONMENTAL REVIEW

Categorical Exemptions: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per the following State CEQA Guidelines:

- 15301 (Class 1 - Existing Facilities) because the project consists of additions and alterations to an existing single-family residence in an urbanized area. No public review is required.
- 15302 (Class 2 - Replacement or Reconstruction) because the project includes replacement of an existing accessory building and carport with a new detached garage of similar size and use.

11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Findings for DRC applications come from four sources:

- The Orange Municipal Code
- The Infill Residential Design Guidelines
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)
- The Orange Eichler Design Standards (or OEDS)

The Findings are applied as appropriate to each project. Based on the following Findings and statements in support of such Findings, staff recommends the DRC recommend approval of the project to the Planning Commission with recommended conditions.

- In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.F.1).

The project as proposed conforms to the requirements of the Historic Preservation Design Standards for Old Towne. The one and one half story addition and new garage are designed with features inspired by Craftsman building forms, a predominant architectural style within the historic district. The addition slopes away from the street, minimizing the visual mass of the building on the streetscape of N. Cambridge Street. Placement of a wood trim belt course, gable vents, and placement of windows have also been used to break up expanses of two-story wall space on the side elevations of the building. New windows and doors on all elevations have been designed to be compatible with existing fixtures and the historic inspiration of the house remodel. However, the overall appearance of the house is not

designed as a Craftsman-style replica, and therefore does not create a false sense of history or suggest the house was constructed during the period of significance of the historic district.

Removal of a non-historic detached accessory building will not detract from the historic character of the historic district. The new detached garage and workshop has also been placed on the property in conformance with the customary site plan layout for residences in Old Towne.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

The proposed project complies with the Historic Preservation Design Standards for Old Towne. The one and one half story addition and new garage are designed with features inspired by Craftsman building forms, a predominant architectural style within the historic district. Exterior materials and finishes include use of wood double hung windows and wood lap siding, customary within the historic district. The design features of the new detached garage and workshop building match the details of the main residence, giving the property a cohesive design theme. However, the overall appearance of the house is not designed as a Craftsman-style replica, as characteristic Craftsman features, such as rafter tails, decorative bargeboards, and a heavy-columned front porch are not included in the design. Therefore, the project does not create a false sense of history or suggest the house was constructed during the period of significance of the historic district.

12. CONDITIONS

The recommendation of approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with the plans included as Attachment 3 (date stamped July 7, 2021) of this report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
2. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plan, the Community Development Director may approve the changed plan without requiring a new public meeting.

3. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
4. The final approved conditions of approval shall be reprinted on the first or second page of the construction documents when submitting to the Building Division for the plan check process.
5. Construction permits shall be obtained for all future construction work, as required by the City of Orange Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires 24 months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060.

13. ATTACHMENTS

- Attachment 1 - Vicinity Map
- Attachment 2 - Letter of Explanation
- Attachment 3 - Architectural Plans date stamped July 7, 2021
- Attachment 4 - Aerial View of the 300-Block of N. Cambridge Street
- Attachment 5 - DPR Form for 367 N. Cambridge Street

4. NEW AGENDA ITEMS

4.1. Design Review No. 5039-21, Sukeena Residence, 732 E. Palm Avenue

A proposal for a 36-inch plaster wall in the front yard of a historic house in the Old Towne Historic District.

Gwen Sukeena, applicant, spoke on behalf of the project.

The following spoke in favor of the project.

- Dan Slater

The Committee discussed the following:

- Landscape buffer
- Wall materials and height
- Interpretation of and conformance with the Design Standards
- Wire fencing/transparent fence on back of walk
- Applicant's options to continue or deny the project and appeal process

A motion was made by Committee Member Skorpanich to continue Design Review No. 5039-21 Sukeena Residence to a date uncertain in order to allow the applicant to work with staff to redesign the project in order to meet all applicable design standards for the Old Towne Historic District.

The motion was withdrawn for further discussion.

A motion was made by Committee Member Skorpanich to continue Design Review No. 5039-21 Sukeena Residence to a date uncertain to allow the applicant to return to the Design Review Committee with a revised plan that provides a landscape buffer between the back of sidewalk and any new wall or fence that provides transparency.

The motion was withdrawn for further discussion.

A motion was made by Committee Member Skorpanich, seconded by Committee Member Imboden, to continue Design Review No. 5039-21 Sukeena Residence to a date uncertain to allow the applicant to return to the Design Review Committee with a revised design of the wall to bring it into compliance with the Old Towne Historic Design Standards.

The motion carried by the following vote:

Ayes: Fox, Imboden, Skorpanich, and Farfan

Noes: None

Absent: McDermott

4.2. Design Review No. 5033-21, Westenhofer Residence, 367 N. Cambridge Street

A proposal to construct a 1,014 square foot, one and one half story addition to a single-family residence, demolish an existing accessory building, and construct

a new detached two-car garage and workshop. The property is a non-contributing resource to the Old Towne Historic District.

The following spoke on behalf of the project:

- Joyce and Erik Westenhofer - Applicants
- Tom Aldrich - Project manager and designer
- Doug Ely - Project architect

The Committee discussed the following:

- Availability of Sanborn maps
- Privacy impacts to the neighbors from second story
- Cut sheet or details for windows are needed
- Setbacks
- Additional trees in the rear yard
- Removal of Ficus tree
- Height of existing house
- Garage door
- Fireplace and chimney
- Masonry detail
- Concerns on mass and scale, floor area ratio, architectural style change
- Diffused bathroom windows

A motion was made by Committee Member Imboden, seconded by Committee Member Skorpanich to recommend approval of Design Review No. 5033-21 Westenhofer Residence to the Planning Commission subject to the Conditions and Findings in the staff report with additional Conditions and Recommendations as follows:

Conditions:

1. More detailed information regarding the design of the doors/windows/garage doors shall be provided to staff for their satisfaction and approval prior to construction.
2. The lower sash of the center window on the second story on the south elevation shall be outfitted with obscured glazing.
3. In the event that the fireplace and chimney design cannot be achieved as presented, a revised design shall come back to the Design Review Committee for review and approval.

Recommendation:

1. Appropriately sized trees shall be planted near the rear of the property to limit visual impacts from one property to another.

The motion carried by the following vote:

Ayes: Fox, Imboden, Skorpanich, and Farfan
Noes: None
Absent: McDermott

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #

HRI #

Trinomial

NRHP Status Code

ORA

6Z

Other Listings:

Review Code:

Reviewer:

Date:

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

CAMBRIDGE_N_367__APN_386-121-04

P1. Other Identifier:

*P2. Location:

☐ Not for Publication

☒ Unrestricted

*a. County:

Orange

and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad:

Date:

T

R

1/4 of

1/4 of Sec

B.M.

c. Address:

367

-

N CAMBRIDGE

ST

#

City:

Orange

Zip:

92866

d. UTM:

(Give more than one for large and/or linear resources)

Zone

'

mE/

mN

e. Other Locational Data:

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials:

Frame - Stucco or plaster

*P3b. Resource Attributes:

(List attributes and codes)

*P4. Resources Present:

☒ Building

☐ Structure

☐ Object

☐ Site

☒ Element of District

☐ District

☐ Other (Isolates, etc.)



P5b. Description of Photo:

2005

(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1948

☐ Historic

☐ Prehistoric

☐ Both

*P7. Owner and Address:

*P8: Recorded by:

(Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto

Chattel Architecture

13417 Ventura Blvd.

Sherman Oaks, CA 91423

*P9. Date Recorded:

April, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation:

(Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update.

*Attachments:

☐ NONE

☐ Location Map

☒ Continuation Sheet(s)

☒ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record

☐ Photograph Record

☐ Other (List):

DPR 523A (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #

HRI #

*NRHP Status Code 6Z

Page 2 of 3

*Resource Name or #:
(Assigned by Recorder)

CAMBRIDGE_N_367__APN_386-121-04

B1. Historic Name: Unknown

B2. Common Name:

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1948 ☐ Historic ☐ Prehistoric ☐ Both

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:

*B8. Related Features:

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Postwar Development (c. 1945-1975) Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity:

Site Integrity:

Opportunities:

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #

HRI #

Trinomial

ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

CAMBRIDGE_N_367__APN_386-121-04

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: April, 2005

☒ Continuation ☐ Update

Years Surveyed: 1991, 2005

Description of Photo: 1991

Listed in National Register:

General Plan: LDR # of Buildings: 1

Planning Zone: R-1-6 # of Stories: 1

Lot Acre: 0.1805 # of Units: 1

Principal Building Sqft: 1918

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):



Agenda Item

Planning Commission

Item #: 7.1.

9/8/2021

File #: 21-0452

TO: Chair and Members of the Planning Commission

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Vidal F. Márquez, Assistant Planner

1. SUBJECT

Public Hearing: Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21 and Administrative Adjustment No. 0281-21, Popeyes Louisiana Kitchen, 584 N. Tustin Street

2. SUMMARY

The applicant proposes to demolish an existing 3,468 square foot restaurant and to construct a new 2,344 square foot drive-through restaurant with associated site improvements.

3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 21-21 entitled:

A Resolution of the Planning Commission of the City Of Orange approving Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 to redevelop a former full-service restaurant site with a new 2,344-square foot drive-through restaurant and related site improvements with a reduction of required parking, located at 584 E. Tustin Street.

4. AUTHORIZING GUIDELINES

Orange Municipal Code (OMC) Sections 17.08.020.B, 17.10.030.C, and 17.13.030 authorize the Planning Commission to review and take action on the subject applications. Table 17.08.020 - Reviewing Bodies states that when more than one type of application is filed for a single project, the application requiring the highest level of approval shall dictate the review process for the entire group of applications. Therefore, the Planning Commission is acting as the final approving body on all of the applications for the project.

5. PROJECT BACKGROUND

<i>Applicant:</i>	Petrossi & Associates, Inc.
<i>Property Owner</i>	Tustin Asset, LLC
<i>Property Location</i>	584 N. Tustin Street
<i>Existing General Plan Land Use Element Designation</i>	General Commercial (GC); Maximum 1.0 FAR

<i>Existing Zoning Classification</i>	Limited Business (C-1)
<i>Old Towne</i>	No
<i>Specific Plan/PC</i>	None
<i>Site Size</i>	20,000 square feet (.46-acre)
<i>Circulation</i>	The project site is located on the east side of North Tustin Street directly across from the intersection of North Tustin Street and Orange Grove Avenue. The existing site access is by one two-way driveway at the center of the site. The City's Master Plan of Streets and Highways classifies North Tustin Street as a Major Arterial with an ultimate right of way width of 120 feet.
<i>Existing Conditions</i>	Site developed with a vacant 3,468 sq. ft. restaurant, surface parking, pole sign, and trash enclosure. Existing site topography slopes in a southwesterly direction to the rear abutting the residential properties.
<i>Surrounding Land Uses and Zoning</i>	To the west of the project site are one-story single-family residences, zoned Single-Family Residential (R-1-7). To the north of the project site is a McDonald's restaurant, zoned Limited Business (C-1). To the east are one-story multi-tenant commercial buildings zoned Limited Business (C-1). To the south is a one-story restaurant and associated surface parking lot, zoned Limited Business (C-1).
<i>Previous Applications/Entitlements</i>	None.

6. PROJECT DESCRIPTION

The applicant proposes to demolish an existing 3,468 square foot restaurant (former Sizzler Restaurant) and construct a new 2,344 square foot drive-through Popeyes Louisiana Kitchen restaurant building, trash enclosure, surface parking lot, drive-through lane, landscaping, signage, and related site improvements. The project proposes to provide 22 parking stalls and a drive-through with queuing capacity for ten vehicles and nine overflow spaces. A parking reduction of one space is requested through an Administrative Adjustment.

The restaurant will operate between the hours of 10:00 a.m. to 11:00 p.m. Sunday to Thursday and 10:00 a.m. to 1:00 a.m. Friday and Saturday. Deliveries and maintenance services will occur prior to start of business from 7:00 a.m. to 10:00 a.m. There will be two shifts on a given day with up to 5-6 employees.

The project site was developed in the 1960s with a restaurant building, large parking lot and small front yard landscape planters with turf but no trees. The project site is relatively level with a down slope towards the rear westerly portion of the property due to existing site drainage that runs north to the south along an existing culvert into a storm drain inlet. The project site is separated by an existing eight-foot block wall along the west property line abutting single-family residences. These residences are approximately four-feet below grade of the project site elevation. The existing wall will remain in place during construction.

Architecture

The proposed single-story building will be 20 feet in height with some roofline projections at 22 feet, 8

inches along the east and south elevations. The building design utilizes a contemporary Popeyes brand architectural style with varied flat roof lines, articulated wall planes, projecting metal awnings over windows, entry doors, and drive-through windows. Exterior materials and colors also contribute to the contemporary style including vertical cedar wood panel siding, brick veneer, painted smooth textured plaster, wainscot accent trim, and decorative shutters. Detailed information about the architectural design and color scheme are provided in Attachments 6, 9, and 10.

A new freestanding 290-square foot trash enclosure will be constructed of concrete masonry block with a smooth plaster finish, flat metal roof cover, mesh screen, and metal gates. The materials and colors will coordinate with the design of the proposed building.

Landscaping

The project landscaping proposal will plant a variety of trees, shrubs and groundcover along front yard area, perimeter planters, and a central landscape island to the rear of the proposed building. The applicant is proposing to plant 19 new trees on-site and a variety of shrubs and groundcover. Detailed information about the landscape palette is provided in Attachments 6 and 10. Landscaping and trees would be distributed throughout the site. The proposed total landscaped area will be 4,630 square feet (23% of the site). Parking areas, drive aisles, and pedestrian walkways consists of standard concrete paving. Finally, street trees will be planted in the right-of-way located in compliance with Public Works standards.

Lighting

The restaurant proposes LED gooseneck wall mounted fixtures in an orange finish on south, east, and north building elevations with the light projecting in a downward direction. Two wall pack light fixtures will be installed at the rear westerly building elevation. In addition, various freestanding perimeter 20-foot high LED light standards will also be provided for site illumination. All project lighting will be installed and directed to prevent light spillage beyond the exterior boundaries of the property.

Signage

The applicant has included a sign concept that meets Code requirements and is generally compatible with the contemporary building design through the use of a similar color palette. The existing 15-foot tall, double-faced pole sign, located within a landscape planter along the property frontage will remain in place and be refaced. Building signage will include illuminated Popeyes Louisiana Kitchen brand logos on the south, east, and north elevations, as well as typical drive-through restaurant illuminated digital preview menu and menu boards, drive-through lane signage, and directional signage.

Access and Circulation

The project will remove an existing two-way entrance drive approach at the center of the site in order to accommodate a new two-way drive approach and a secondary one-way drive-through lane exit that wraps around the perimeter of the restaurant building. The project proposes to provide 22 parking stalls and a drive-through queue lane capacity of ten vehicles with an overflow of nine spaces to avoid spill out onto Tustin Street.

Development Standards

	Required	Proposed	Code Section
--	----------	----------	--------------

<i>Building Height</i>	Maximum of 32 feet-2 Stories	22 feet-8 inches	Table 17.18.120
<i>Fence height</i>	6 foot tall masonry wall when property is adjacent to any residential property	Existing	17.18.140
<i>Floor Area Ratio (FAR)</i>	Maximum 1.0	0.11	General Plan
<i>Landscaping (non-residential)</i>	Front: 10 feet minimum Interior Sides and Rear: 4 feet minimum. Parking Areas - screened with shrubs - 5 gallon minimum size Trash Enclosure: 4 feet wide landscape planter on at least two sides. 29 trees	10 feet North Side: 4 feet South Side: 4 feet 5 gallon shrubs 4 feet wide on two sides 19 trees	17.18.160.A.1.a 17.18.160.A.1.b 17.18.160.A.2 17.18.160.A.3 17.18.160.B.1.a
<i>Loading area (non-residential)</i>	Width: 10 feet Length: 40 feet	10 feet 40 feet	Table 17.34.160
<i>Lot frontage</i>	None	100 feet	17.18.100
<i>Lot depth</i>	None	200 feet	17.18.100
<i>Parking (non-residential)</i>	10 spaces/1,000 sq. ft. of gross floor area for the first 4,000 sq. ft. Total Required: 23 spaces	22 spaces	17.34.060
<i>Setback, Front</i>	10 feet minimum	13 feet	Table 17.18.130
<i>Setback, Rear</i>	0 feet	105 feet-4 inches	Table 17.18.130
<i>Setback, Side (north)</i>	0 feet	48 feet-11 inches	Table 17.18.130
<i>Setback, Side (south)</i>	0 feet	17 feet	Table 17.18.130

7. ANALYSIS AND STATEMENT OF THE ISSUES

Staff believes the proposed project has been designed in a manner that is appropriate and significantly improves the appearance of the site. The site plan and operational aspects of the project have taken the adjacent neighborhood and commercial district into consideration and minimized potential impacts related to lighting, noise, and traffic circulation. These are all of the factors that are the basis for requiring a CUP for a drive-through.

Issue 1 Circulation and Queue:

OMC Section 17.13.050.S requires that restaurants with drive-through service submit a queuing study that compares other drive-through restaurant locations based upon similar operations, addressing the anticipated traffic volumes and vehicular stacking needs of the proposed project. The

applicant has prepared and submitted a Queuing Analysis and Trip Generation report (Attachment 4) providing comparable sites of similar size and operations. The report presents an analysis of three Popeyes drive-through locations and their vehicle stacking counts during peak periods of the week. The report concludes that for the proposed operation there is sufficient queue stacking for ten vehicles with an overflow of nine vehicle spaces before any vehicles spill out onto the public street. In addition, the study provides a contingency plan for periods where longer queues could impact Tustin Street. The contingency plan includes monitoring of the queue when it reaches between 10 and 15 vehicles and making advance mobile ordering available during store hours for pick up where customers can park as directed by employees.

Staff has found the proposed queuing and contingency plan as outlined within the Queuing Analysis and Trip Generation report to be acceptable for the operation of the restaurant. In addition, staff has included conditions of approval 25 and 26 providing additional assurance that if queuing issues arise on the site or interfere with traffic flow on Tustin Street, the applicant would be required to resolve any issues in consultation with the Community Development Department. Should these issues not be resolved to the City's satisfaction, the Conditional Use Permit would return to the Planning Commission for consideration of further conditions and/or modifications to the operation of the drive-through.

Issue 2 Parking:

At the writing of this report the OMC Table 17.34.060 requires 10 parking spaces/1,000 sq. ft. of gross floor area for the first 4,000 sq. ft. for restaurant uses. The proposed building gross floor area is 2,344 sq. ft., therefore, 23 parking stalls are required for the project proposal. The proposed project is short one stall and the applicant is requesting to provide 22 stalls for the project in order to comply with required drive aisle widths, parking stall lengths, and landscape planters. The applicant requests an administrative adjustment to permit the parking reduction. Staff believes losing one stall will not create an impact to the project and surrounding properties and the findings can be made to support the administrative adjustment. The reduction of one stall will not be detrimental to the public health, safety, and general welfare of persons residing or working on the subject property or in the vicinity. Furthermore, the City is currently updating its commercial parking standards. The proposed parking for restaurants is 13 spaces/1,000 sq. ft. of restaurant gross floor area, exclusive of kitchen, storage, and restroom uses, plus appropriate stacking. Under the proposed parking code amendment, the proposal would be required to have 11 parking spaces. The ordinance for the parking code update had a first reading by the City Council on August 10, 2021. A second reading of the Ordinance is scheduled for September 14, 2021 City Council meeting. With the anticipated approval of the second reading, the new parking standard would take effect on October 14, 2021.

8. PUBLIC NOTICE

On August 26, 2021, the City sent a Public Hearing Notice to 75 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site was posted with the notification in one location on that same date.

9. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of the construction of a new, small (<10,000 square foot in urbanized area) structure zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available, and

where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption.

10. ADVISORY BOARD ACTION

Staff Review Committee:

The interdepartmental staff review committee (SMART) conducted reviews of the project on February 10, 2021, May 12, 2021, and June 30, 2021 and recommended the project proceed to the Design Review Committee (DRC) with conditions.

Design Review Committee:

The DRC conducted a review of the project on July 21, 2021 and recommended project approval to the Planning Commission with conditions by a 4-0 vote. The DRC conditions of approval are included within Planning Commission Resolution No. PC 21-21 (Attachment 1).

11. ATTACHMENTS

- Attachment 1 Draft Planning Commission Resolution No. 21-21
- Attachment 2 Vicinity Map
- Attachment 3 Applicant Project Description
- Attachment 4 Queuing Analysis, Trip Generation, and Contingency Report
- Attachment 5 Noise Analysis
- Attachment 6 Project Plans
- Attachment 7 Sign Plans
- Attachment 8 Landscape Thumbnail Imagery
- Attachment 9 Colors and Materials Board
- Attachment 10 DRC Staff Report July 21, 2021
- Attachment 11 DRC Meeting Minutes July 21, 2021



Agenda Item

Planning Commission

Item #: 7.1.

9/8/2021

File #: 21-0452

TO: Chair and Members of the Planning Commission

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Vidal F. Márquez, Assistant Planner

1. SUBJECT

Public Hearing: Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21 and Administrative Adjustment No. 0281-21, Popeyes Louisiana Kitchen, 584 N. Tustin Street

2. SUMMARY

The applicant proposes to demolish an existing 3,468 square foot restaurant and to construct a new 2,344 square foot drive-through restaurant with associated site improvements.

3. RECOMMENDED ACTION

Adopt Planning Commission Resolution No. PC 21-21 entitled:

A Resolution of the Planning Commission of the City Of Orange approving Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 to redevelop a former full-service restaurant site with a new 2,344-square foot drive-through restaurant and related site improvements with a reduction of required parking, located at 584 E. Tustin Street.

4. AUTHORIZING GUIDELINES

Orange Municipal Code (OMC) Sections 17.08.020.B, 17.10.030.C, and 17.13.030 authorize the Planning Commission to review and take action on the subject applications. Table 17.08.020 - Reviewing Bodies states that when more than one type of application is filed for a single project, the application requiring the highest level of approval shall dictate the review process for the entire group of applications. Therefore, the Planning Commission is acting as the final approving body on all of the applications for the project.

5. PROJECT BACKGROUND

<i>Applicant:</i>	Petrossi & Associates, Inc.
<i>Property Owner</i>	Tustin Asset, LLC
<i>Property Location</i>	584 N. Tustin Street
<i>Existing General Plan Land Use Element Designation</i>	General Commercial (GC); Maximum 1.0 FAR

<i>Existing Zoning Classification</i>	Limited Business (C-1)
<i>Old Towne</i>	No
<i>Specific Plan/PC</i>	None
<i>Site Size</i>	20,000 square feet (.46-acre)
<i>Circulation</i>	The project site is located on the east side of North Tustin Street directly across from the intersection of North Tustin Street and Orange Grove Avenue. The existing site access is by one two-way driveway at the center of the site. The City's Master Plan of Streets and Highways classifies North Tustin Street as a Major Arterial with an ultimate right of way width of 120 feet.
<i>Existing Conditions</i>	Site developed with a vacant 3,468 sq. ft. restaurant, surface parking, pole sign, and trash enclosure. Existing site topography slopes in a southwesterly direction to the rear abutting the residential properties.
<i>Surrounding Land Uses and Zoning</i>	To the west of the project site are one-story single-family residences, zoned Single-Family Residential (R-1-7). To the north of the project site is a McDonald's restaurant, zoned Limited Business (C-1). To the east are one-story multi-tenant commercial buildings zoned Limited Business (C-1). To the south is a one-story restaurant and associated surface parking lot, zoned Limited Business (C-1).
<i>Previous Applications/Entitlements</i>	None.

6. PROJECT DESCRIPTION

The applicant proposes to demolish an existing 3,468 square foot restaurant (former Sizzler Restaurant) and construct a new 2,344 square foot drive-through Popeyes Louisiana Kitchen restaurant building, trash enclosure, surface parking lot, drive-through lane, landscaping, signage, and related site improvements. The project proposes to provide 22 parking stalls and a drive-through with queuing capacity for ten vehicles and nine overflow spaces. A parking reduction of one space is requested through an Administrative Adjustment.

The restaurant will operate between the hours of 10:00 a.m. to 11:00 p.m. Sunday to Thursday and 10:00 a.m. to 1:00 a.m. Friday and Saturday. Deliveries and maintenance services will occur prior to start of business from 7:00 a.m. to 10:00 a.m. There will be two shifts on a given day with up to 5-6 employees.

The project site was developed in the 1960s with a restaurant building, large parking lot and small front yard landscape planters with turf but no trees. The project site is relatively level with a down slope towards the rear westerly portion of the property due to existing site drainage that runs north to the south along an existing culvert into a storm drain inlet. The project site is separated by an existing eight-foot block wall along the west property line abutting single-family residences. These residences are approximately four-feet below grade of the project site elevation. The existing wall will remain in place during construction.

Architecture

The proposed single-story building will be 20 feet in height with some roofline projections at 22 feet, 8

inches along the east and south elevations. The building design utilizes a contemporary Popeyes brand architectural style with varied flat roof lines, articulated wall planes, projecting metal awnings over windows, entry doors, and drive-through windows. Exterior materials and colors also contribute to the contemporary style including vertical cedar wood panel siding, brick veneer, painted smooth textured plaster, wainscot accent trim, and decorative shutters. Detailed information about the architectural design and color scheme are provided in Attachments 6, 9, and 10.

A new freestanding 290-square foot trash enclosure will be constructed of concrete masonry block with a smooth plaster finish, flat metal roof cover, mesh screen, and metal gates. The materials and colors will coordinate with the design of the proposed building.

Landscaping

The project landscaping proposal will plant a variety of trees, shrubs and groundcover along front yard area, perimeter planters, and a central landscape island to the rear of the proposed building. The applicant is proposing to plant 19 new trees on-site and a variety of shrubs and groundcover. Detailed information about the landscape palette is provided in Attachments 6 and 10. Landscaping and trees would be distributed throughout the site. The proposed total landscaped area will be 4,630 square feet (23% of the site). Parking areas, drive aisles, and pedestrian walkways consists of standard concrete paving. Finally, street trees will be planted in the right-of-way located in compliance with Public Works standards.

Lighting

The restaurant proposes LED gooseneck wall mounted fixtures in an orange finish on south, east, and north building elevations with the light projecting in a downward direction. Two wall pack light fixtures will be installed at the rear westerly building elevation. In addition, various freestanding perimeter 20-foot high LED light standards will also be provided for site illumination. All project lighting will be installed and directed to prevent light spillage beyond the exterior boundaries of the property.

Signage

The applicant has included a sign concept that meets Code requirements and is generally compatible with the contemporary building design through the use of a similar color palette. The existing 15-foot tall, double-faced pole sign, located within a landscape planter along the property frontage will remain in place and be refaced. Building signage will include illuminated Popeyes Louisiana Kitchen brand logos on the south, east, and north elevations, as well as typical drive-through restaurant illuminated digital preview menu and menu boards, drive-through lane signage, and directional signage.

Access and Circulation

The project will remove an existing two-way entrance drive approach at the center of the site in order to accommodate a new two-way drive approach and a secondary one-way drive-through lane exit that wraps around the perimeter of the restaurant building. The project proposes to provide 22 parking stalls and a drive-through queue lane capacity of ten vehicles with an overflow of nine spaces to avoid spill out onto Tustin Street.

Development Standards

	Required	Proposed	Code Section
--	----------	----------	--------------

<i>Building Height</i>	Maximum of 32 feet-2 Stories	22 feet-8 inches	Table 17.18.120
<i>Fence height</i>	6 foot tall masonry wall when property is adjacent to any residential property	Existing	17.18.140
<i>Floor Area Ratio (FAR)</i>	Maximum 1.0	0.11	General Plan
<i>Landscaping (non-residential)</i>	Front: 10 feet minimum Interior Sides and Rear: 4 feet minimum. Parking Areas - screened with shrubs - 5 gallon minimum size Trash Enclosure: 4 feet wide landscape planter on at least two sides. 29 trees	10 feet North Side: 4 feet South Side: 4 feet 5 gallon shrubs 4 feet wide on two sides 19 trees	17.18.160.A.1.a 17.18.160.A.1.b 17.18.160.A.2 17.18.160.A.3 17.18.160.B.1.a
<i>Loading area (non-residential)</i>	Width: 10 feet Length: 40 feet	10 feet 40 feet	Table 17.34.160
<i>Lot frontage</i>	None	100 feet	17.18.100
<i>Lot depth</i>	None	200 feet	17.18.100
<i>Parking (non-residential)</i>	10 spaces/1,000 sq. ft. of gross floor area for the first 4,000 sq. ft. Total Required: 23 spaces	22 spaces	17.34.060
<i>Setback, Front</i>	10 feet minimum	13 feet	Table 17.18.130
<i>Setback, Rear</i>	0 feet	105 feet-4 inches	Table 17.18.130
<i>Setback, Side (north)</i>	0 feet	48 feet-11 inches	Table 17.18.130
<i>Setback, Side (south)</i>	0 feet	17 feet	Table 17.18.130

7. ANALYSIS AND STATEMENT OF THE ISSUES

Staff believes the proposed project has been designed in a manner that is appropriate and significantly improves the appearance of the site. The site plan and operational aspects of the project have taken the adjacent neighborhood and commercial district into consideration and minimized potential impacts related to lighting, noise, and traffic circulation. These are all of the factors that are the basis for requiring a CUP for a drive-through.

Issue 1 Circulation and Queue:

OMC Section 17.13.050.S requires that restaurants with drive-through service submit a queuing study that compares other drive-through restaurant locations based upon similar operations, addressing the anticipated traffic volumes and vehicular stacking needs of the proposed project. The

applicant has prepared and submitted a Queuing Analysis and Trip Generation report (Attachment 4) providing comparable sites of similar size and operations. The report presents an analysis of three Popeyes drive-through locations and their vehicle stacking counts during peak periods of the week. The report concludes that for the proposed operation there is sufficient queue stacking for ten vehicles with an overflow of nine vehicle spaces before any vehicles spill out onto the public street. In addition, the study provides a contingency plan for periods where longer queues could impact Tustin Street. The contingency plan includes monitoring of the queue when it reaches between 10 and 15 vehicles and making advance mobile ordering available during store hours for pick up where customers can park as directed by employees.

Staff has found the proposed queuing and contingency plan as outlined within the Queuing Analysis and Trip Generation report to be acceptable for the operation of the restaurant. In addition, staff has included conditions of approval 25 and 26 providing additional assurance that if queuing issues arise on the site or interfere with traffic flow on Tustin Street, the applicant would be required to resolve any issues in consultation with the Community Development Department. Should these issues not be resolved to the City's satisfaction, the Conditional Use Permit would return to the Planning Commission for consideration of further conditions and/or modifications to the operation of the drive-through.

Issue 2 Parking:

At the writing of this report the OMC Table 17.34.060 requires 10 parking spaces/1,000 sq. ft. of gross floor area for the first 4,000 sq. ft. for restaurant uses. The proposed building gross floor area is 2,344 sq. ft., therefore, 23 parking stalls are required for the project proposal. The proposed project is short one stall and the applicant is requesting to provide 22 stalls for the project in order to comply with required drive aisle widths, parking stall lengths, and landscape planters. The applicant requests an administrative adjustment to permit the parking reduction. Staff believes losing one stall will not create an impact to the project and surrounding properties and the findings can be made to support the administrative adjustment. The reduction of one stall will not be detrimental to the public health, safety, and general welfare of persons residing or working on the subject property or in the vicinity. Furthermore, the City is currently updating its commercial parking standards. The proposed parking for restaurants is 13 spaces/1,000 sq. ft. of restaurant gross floor area, exclusive of kitchen, storage, and restroom uses, plus appropriate stacking. Under the proposed parking code amendment, the proposal would be required to have 11 parking spaces. The ordinance for the parking code update had a first reading by the City Council on August 10, 2021. A second reading of the Ordinance is scheduled for September 14, 2021 City Council meeting. With the anticipated approval of the second reading, the new parking standard would take effect on October 14, 2021.

8. PUBLIC NOTICE

On August 26, 2021, the City sent a Public Hearing Notice to 75 property owners/tenants within a 300-foot radius of the project site and persons specifically requesting notice. The project site was posted with the notification in one location on that same date.

9. ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of the construction of a new, small (<10,000 square foot in urbanized area) structure zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available, and

where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption.

10. ADVISORY BOARD ACTION

Staff Review Committee:

The interdepartmental staff review committee (SMART) conducted reviews of the project on February 10, 2021, May 12, 2021, and June 30, 2021 and recommended the project proceed to the Design Review Committee (DRC) with conditions.

Design Review Committee:

The DRC conducted a review of the project on July 21, 2021 and recommended project approval to the Planning Commission with conditions by a 4-0 vote. The DRC conditions of approval are included within Planning Commission Resolution No. PC 21-21 (Attachment 1).

11. ATTACHMENTS

- Attachment 1 Draft Planning Commission Resolution No. 21-21
- Attachment 2 Vicinity Map
- Attachment 3 Applicant Project Description
- Attachment 4 Queuing Analysis, Trip Generation, and Contingency Report
- Attachment 5 Noise Analysis
- Attachment 6 Project Plans
- Attachment 7 Sign Plans
- Attachment 8 Landscape Thumbnail Imagery
- Attachment 9 Colors and Materials Board
- Attachment 10 DRC Staff Report July 21, 2021
- Attachment 11 DRC Meeting Minutes July 21, 2021

**CONDITIONAL USE PERMIT NO. 3136-21
DESIGN REVIEW NO. 5026-21
MINOR SITE PLAN REVIEW NO. 1038-21
ADMINISTRATIVE ADJUSTMENT NO. 0281-21**

RESOLUTION NO. PC 21-21

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF ORANGE APPROVING CONDITIONAL USE
PERMIT NO. 3136-21, DESIGN REVIEW NO. 5026-21,
MINOR SITE PLAN REVIEW NO. 1038-21, AND
ADMINISTRATIVE ADJUSTMENT NO. 0281-21 TO
REDEVELOP A FORMER FULL-SERVICE RESTAURANT
SITE WITH A NEW 2,344 SQUARE FOOT DRIVE-
THROUGH RESTAURANT AND RELATED SITE
IMPROVEMENTS WITH A REDUCTION OF REQUIRED
PARKING, LOCATED AT 584 N. TUSTIN STREET**

APPLICANT: PETROSSI & ASSOCIATES, INC.

Moved by Commissioner _____ and seconded by Commissioner _____ that the following resolution be adopted:

WHEREAS, the Planning Commission has authority per Orange Municipal Code (OMC) Table 17.08.020, and Sections 17.10.030.C and 17.13.030 to take action to grant or deny Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21, to redevelop an existing full-service restaurant site with a new drive-through restaurant, and related site improvements, located at 584 N. Tustin Street; and

WHEREAS, Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 were filed by Petrossi & Associates, Inc. in accordance with the provisions of the OMC; and

WHEREAS, Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 were processed in the time and manner prescribed by state and local law; and

WHEREAS, Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 were reviewed by the Design Review Committee on July 21, 2021, which recommended project approval with conditions to the Planning Commission by a 4-0 vote.

WHEREAS, Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 are categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15303 (Class 3 - New Construction or Conversion of Small Structures), because the project consists of the construction of a new, small (<10,000 square foot in urbanized area) structure zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available, and where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption; and

WHEREAS, the Planning Commission conducted one duly advertised public hearing on May 17, 2021, at which time interested persons had an opportunity to testify either in support of or opposition to Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 upon property described below:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

THE SOUTHERLY 100.00 FEET OF THE NORTHERLY 150.00 FEET OF THE WESTERLY 200.00 FEET OF THE EASTERLY 250.00 FEET OF THAT PORTION OF LOT 8 IN BLOCK E OF THE CHAPMAN TRACT, IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 102, PAGE 15 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 8, DISTANT NORTH 0° 25' 57" EAST 293.60 FEET FROM THE SOUTHEAST CORNER OF SAID LOT 8; THENCE NORTH 0° 25' 57" EAST 364.65 FEET TO THE EASTERLY PROLONGATION OF THE SOUTH LINE OF TRACT NO. 3322, AS PER MAP RECORDED IN BOOK 102, PAGE 14 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE NORTH 89° 39' 31" WEST 660.29 FEET TO THE SOUTHWEST CORNER OF SAID TRACT NO. 3322, THENCE SOUTH 0° 24' 26" WEST 364.92 FEE ALONG THE SOUTHERLY PROLONGATION OF THE WEST LINE OF SAID TRACT NO. 3322 TO A POINT DISTANT NORTH 0° 24' 26" EAST 293.60 FEET FROM THE SOUTH LINE OF SAID LOT 8; THENCE SOUTH 89° 40' 59" EAST 660.13 FEET TO THE POINT OF BEGINNING.

Assessor's Parcel Number: 386-191-07

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission approves Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 to redevelop an existing full-service restaurant site with a new 2,344 square foot drive-through restaurant, and related site improvements, based on the following findings:

SECTION 1 – FINDINGS

General Plan Finding:

1. *The project must be consistent with the goals and policies stated within the City's General Plan.*

The project is consistent with the goals and policies stated in the City's General Plan Land Use and Economic Development Elements in that the redevelopment of an existing, vacant restaurant site with a newly constructed drive-through restaurant and site improvements will increase the economic viability of the business through aesthetic enhancement and the elimination of physical deterioration. In addition, redevelopment of the site will not only support a revenue generating business, but will also allow it to be competitive with other drive-through restaurants in the area, which will in turn contribute to the economic vitality and jobs in the area.

Conditional Use Permit Findings:

1. *A Conditional Use Permit shall be granted upon sound principles of land use and in response to services required by the community (OMC 17.10.030.F.1).*

The granting of this Conditional Use Permit is based upon sound principles of land use and in response to services required by the community in that consideration has been given to whether the proposed use will detrimentally affect adjacent land uses. The subject property is presently vacant. The site is developed with a full-service restaurant building on a heavily traveled commercial corridor that offers a wide variety of retail and restaurant services to City residents and persons traveling to the area. The project site will remain a restaurant use and provide a new drive-through lane with a sufficient queuing stacking of vehicles. The drive-through ordering systems speakers include an automatic volume control feature to minimize noise. Also, placement of order speakers are 100 feet from residential buildings to the west and the speaker is oriented to the south toward adjacent commercial property. New trees and landscaping will provided a visual buffer for the residential properties to the west that has not existed under the previous use. Granting a permit in this instance is therefore based upon sound land use principles and responds to the needs of the community at-large.

2. *A Conditional Use Permit shall not be granted if it will cause deterioration of bordering land uses or create special problems for the area in which it is located (OMC 17.10.030.F.2).*

The project is not expected to detrimentally affect adjacent land uses or create special problems in the area. The site is surrounded by commercial development to the north, east and south, and is bordered by single-family residences on the west. The proposed site layout will alter existing driveway access but will not interfere with parking or drive aisles on the adjacent properties, or change fire or refuse service access on any of the bordering properties. A queuing analysis for vehicle stacking for the project has been analyzed and deemed acceptable by the City's Traffic Engineer. The applicant is providing a contingency plan for the event the queue exceeds ten vehicles, allowing for nine vehicle overflow, having employees monitor vehicle queue stacking, and directing vehicles for mobile order pick-up to park on-site, thereby preventing spill out onto Tustin Street. The Noise Study for the project analyzed the potential impacts resulting from the menu-ordering speaker associated with idling vehicles in the drive-through lane. The study concluded that the new

drive-through restaurant will operate within daytime and nighttime noise level limits of the OMC.

3. *A Conditional Use Permit must be considered in relationship to its effect on the community or neighborhood plan for the area in which it is located (OMC 17.10.030.F.3).*

The new restaurant facility will replace a vacant full-service restaurant with one that will better serve the community. The new building and associated landscaping improvements generally satisfy the development standards for the Limited Business (C-1) zone. The project brings a contemporary character to an area comprised of commercial buildings and the proposed design incorporates a one-story scale along the street frontage that takes into consideration pedestrians and adjacent commercial properties. The proposed landscaping will complement the project design and will refresh and integrate well with landscaping along the North Tustin Street corridor. Given the present condition of the site is largely devoid of landscaping the project will provide a significant improvement in the appearance of the site and its interface with surrounding properties. All right-of-way improvements including accessibility requirements have been satisfied. Therefore, the effects on the community within this area of the City have been considered and appropriately addressed and any specific requirements are included as conditions to be satisfied prior to permit issuance.

4. *A Conditional Use Permit, if granted, shall be made subject to those conditions necessary to preserve the general welfare, not the individual welfare of any particular applicant (OMC 17.10.030.F.4).*

All project conditions maintain a purpose of preserving the general welfare of the City and community. Conditions specifically serve to manage project construction impacts, provide for site maintenance, address water quality, accommodate disabled person site access, protect or improve the public right-of-way, protect or improve utilities and accommodate aesthetics. In addition, conditions have been included to prevent drive-through queuing impacts on Tustin Street, and to ensure the noise associated with the drive-through restaurant is in compliance with the City's noise regulations.

Design Review Findings:

1. *The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.070.G.3).*

The subject property is not within a specific plan area or established district with applicable design standards. The proposed drive-through restaurant improves the appearance of the site and streetscape by bringing a new building and significant amount of new landscaping to the property site. The exterior design, including colors and materials, provides an internally consistent and integrated design theme that upholds community aesthetics. The proposed design has incorporated a one-story scale along the street frontage that takes into consideration pedestrians and adjacent commercial and residential properties. The

proposed landscaping, including trees, shrubs and ground cover will complement the project design and integrate well with neighboring commercial properties along the North Tustin Street commercial corridor. Additionally, lighting and other site features have been planned to minimize potential conflicts with neighboring residences.

Minor Site Plan Review Findings:

1. *The project design is compatible with surrounding development and neighborhoods OMC 17.10.060.H.1).*

The surrounding development and neighborhood consists of commercial uses to the north east and south, and single-family residential uses to the west. The project will provide a revitalized architectural and landscaped appearance to the Tustin Street corridor, consistent with surrounding development in its massing, scale, design and function.

2. *Minor Site Plan approval shall be granted if the project conforms to City development standards and any applicable special design guidelines or specific plan requirements (OMC 17.10.060.H.2).*

The project as proposed will conform to City development standards for the C-1 zoning district except for parking; however, the applicant requested a reduction of parking of one stall which is well under the 10% reduction allowed by an administrative adjustment. There are no special design guidelines or specific plans affecting the property. Furthermore, an update to the City's commercial parking standards is nearing final adoption with an expected effective date in October 2021. Under the proposed parking code amendment, the proposal will be required to have 11 parking spaces. The proposed 22 spaces exceeds the new standard.

3. *Minor Site Plan approval shall be granted if the project provides for safe and adequate vehicular and pedestrian circulation, both on- and off-site (OMC 17.10.060.H.3).*

The project provides safe and adequate access and circulation for vehicles and pedestrians from Tustin Street. The on-site circulation has been designed to accommodate all access needs for parking spaces and for emergency vehicles. There is sufficient queue stacking for ten vehicles with an overflow of nine vehicle spaces before any vehicles would spill out onto the public street. In addition, the study provides for a contingency plan to be activated should there be periods where longer queues form that could impact traffic flow on Tustin Street. The contingency plan would include monitoring of the queue if it reaches 10-15 vehicles and advance mobile ordering for pick up where customers can park as directed by employees. Disabled parking and access has been designed to accommodate building code requirements.

4. *Minor Site Plan approval shall be granted if City services are available and adequate to serve the project (OMC 17.10.060.H.4).*

A review of the project with all City departments concludes that City services will be available and adequate to serve this site, including water, sewer, police and fire services.

5. *Minor Site Plan approval shall be granted if the project has been designed to fully mitigate or substantially minimize adverse environmental effects (OMC 17.10.060.H.5).*

No environmental effects have been identified for the project. The OMC will adequately manage construction and use regulation needs of the project.

Administrative Adjustment Findings:

1. *That the reduction in standards will not be detrimental to the public health, safety, and general welfare of persons residing or working on the subject property or in the vicinity (OMC 17.10.050.E.1).*

The granting of this reduction in standards will reduce the required parking by one stall and will not be detrimental to the public health, safety and general welfare of persons residing or working on the subject property or in the vicinity. Furthermore, the City is nearing final adoption of a parking code update with modified requirements for drive-through restaurants that would no longer warrant an Administrative Adjustment for the project.

2. *That issuance of the permit does not compromise the intent of this code (OMC 17.10.050.E.2).*

In reviewing the proposal staff finds that the request does not compromise the intent of the code related to administrative adjustments. The granting of the requested Administrative Adjustment would allow the applicant to deviate from the established code requirements for parking without having to go through a complete variance process.

SECTION 2 – ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of CEQA per State CEQA Guideline 15303 (Class 3 – New Construction or Conversion of Small Structures) because the project consists of the construction of a new, small (<10,000 square foot in urbanized area) structure zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available, and where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption.

SECTION 3– CONDITIONS OF APPROVAL

BE IT FURTHER RESOLVED that the following conditions are imposed:

General:

1. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence. The City shall promptly notify the applicant of any such claim, action, or proceedings and shall cooperate fully in the defense.
2. The applicant shall comply with all conditions of approval contained within Planning Commission Resolution No. PC 21-21 associated with Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21.
3. All construction shall conform in substance and be maintained in general conformance with plans and exhibits labeled as Attachment 6 in the staff report (date stamped received August 13, 2021), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee and Planning Commission.
4. Except as otherwise provided herein, this project is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plot plan, the Community Development Director may approve the changed plan administratively.
5. Subsequent modifications to the approved architecture and color scheme shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the Director may refer the review to the Design Review Committee.
6. Any modifications to the plans including, but not limited to, the landscaping and parking as a result of other Department requirements such as Building Codes, Water Quality, Fire, or Police shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the modifications shall be reviewed and approved by the Planning Commission.
7. Any future expansion in area or in the nature and operation of the approved use by Conditional Use Permit No. 3136-21, Design Review No. 5026-21, Minor Site Plan Review No. 1038-21, and Administrative Adjustment No. 0281-21 shall require new or amended applications.
8. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use will be cause for revocation of this permit.

9. If not utilized, project approval expires twenty-four months from the approval date. Extensions of time may be granted, if requested in writing in accordance with OMC Section 17.08.060. The planning entitlements expire unless building permits are pulled within two years of the original approval.
10. These conditions shall be reprinted on the second page of the construction documents when submitted to the Building Division for the plan check process.
11. Prior to the operation of the business, the applicant shall file for, or if applicable, amend a business license with the Business License Division. Failure to obtain the required business license will be cause for revocation of this approval.
12. Prior to building permit issuance, the applicant shall demonstrate to the satisfaction of the Community Development Director that all mechanical and air conditioning equipment shall be shielded and screened from view from adjacent streets and properties. The screening shall be integrated architecturally with the building and painted to match the walls of the building.
13. Prior to building permit issuance, all required parking spaces shall be shown on construction documents as doubled striped to City standards.
14. The project approval includes certain fees and/or other exactions. Pursuant to Government Code Section 66020, these conditions or requirements constitute written notice of the fees and/or exactions. The applicant is hereby notified that the ninety (90) day protest period commencing from the date of approval of the project has begun. If the applicant fails to file a protest regarding these conditions or requirements, the applicant is legally barred from later challenging such exactions per Government Code Section 66020.
15. Prior to issuance of building permits, the applicant shall pay all applicable development fees, including but not limited to: City sewer connection, Orange County Sanitation District Connection Fee, Transportation System Improvement Program, Fire Facility, Police Facility, Park Acquisition, Sanitation District, and School District, as required.
16. Prior to building permit issuance, the applicant shall pay any outstanding monies due to the City for Planning Division entitlement activities related to this project.
17. In conjunction with the operation of the business, the property owner shall be responsible to maintain the property to a level deemed adequate by the Community Development Director. This includes, but is not limited to, the buildings, on-site landscaping, trash areas, signage, utilities, property walls, and gates (if applicable).
18. Any graffiti shall be removed within 72 hours from the time the City of Orange Notice of Violation is received by the applicant/property owner.
19. Prior to building permit issuance, the applicant shall demonstrate that the trash enclosure and accessory structure utilize similar materials, colors, and finishes as the restaurant building, including any roofing.

20. Prior to building permit issuance, the applicant shall identify the precise location of existing walls proposed for demolition, if applicable. If the location of the existing wall slated for demolition is wholly or partially upon an adjacent property, the applicant shall secure the property owner(s) approval to demolish and replace the wall. The applicant will be responsible for any site repairs to walls damaged through demolition activity.
21. In conjunction with the operation of the business, all noise levels generated shall conform to the levels allowed by the OMC.
22. The hours of operation of the restaurant shall be Sunday – Thursday, 10:00 a.m. to 11:00 p.m. and Friday – Saturday, 10:00 a.m. to 1:00 a.m. These hours do not restrict employees from being on the premises before opening for preparations and deliveries or after closing for clean-up. Any modification to these operational hour limits shall be subject to review and approval by the Community Development Director and/or may be referred to the Planning Commission at his/her discretion.
23. In conjunction with the operation of the business, all loading and trash enclosure areas shall be maintained and kept clean and free of debris.
24. Odor scrubbers shall be installed in the venting system to address cooking odors emanating from the building.
25. The restaurant shall operate its vehicle queuing and on-site circulation in the manner as described in the drive-through Queuing Analysis. At no time shall the operator allow vehicles of customers to straddle the public right-of-way (sidewalk, driveway, street) and shall employ measures to direct customers from causing any such conflict with keeping the public right-of-way clear by ensuring a maximum queue stacking of 15 vehicles and advance mobile ordering for pick up where customers can park as directed by employees.
26. In conjunction with the operation of the business, should parking or queuing issues arise on the site or the surrounding neighborhood, the applicant shall work with the Community Development Department to resolve any issues. If such issues are not resolved to the City's satisfaction, the Conditional Use Permit shall be presented to the Planning Commission for its consideration of further conditions and modifications.
27. Vehicles exiting the one-way drive-through aisle shall be restricted to right-out only and appropriate directional signage shall be placed on-site to that result.
28. In conjunction with the operation of the business, all loading and unloading (i.e. deliveries) activities shall only occur in the designated loading zone on the subject site. These activities shall only occur during the hours of 7:00 a.m. to 10:00 a.m. when the business is closed to the public.

Design Review Committee:

29. Prior to building permit issuance, the Heavenly Bamboo on the landscape plan shall be replaced with a non-toxic species.
30. Prior to building permit issuance, the applicant shall substitute three trees with alternate tree species with a canopy of larger scale and height.

In addition to the above conditions, procedural requirements are contained herein as Attachment A to this Resolution.

I hereby certify that the foregoing Resolution was adopted on September 8, 2021 by the Planning Commission of the City of Orange by the following vote:

AYES:

NOES:

RECUSED:

ABSENT:

Dave Simpson, Planning Commission Chair

Date

ATTACHMENT A PROCEDURAL REQUIREMENTS

1. Construction permits, including building permits, including grading permits, as required by the City, shall be obtained in advance for all construction work, as required by the Community Development Department's Building Division and Public Works Grading Division. Failure to obtain the required building permits may be cause for revocation of this entitlement.
2. In conjunction with construction, all activity in connection with construction, other than grading, will be limited to the hours between 7:00 a.m. and 8:00 p.m. Monday through Saturday. No construction activity will be permitted on Sundays and Federal holidays.
3. Grading operations shall be restricted to Monday through Friday between the hours of 7:30 a.m. and 5:00 p.m., with limited grading as necessary permitted on Saturdays between the hours of 8:00 a.m. and 4:30 p.m. Mechanics may service the equipment up to two hours after each shift.
4. Plans submitted for Building Plan Check shall comply with the California Fire Code as amended by the City and as frequently amended and in effect at the time of application for building permit.
5. Prior to building permit issuance, security and design measures that employ Defensible Space concepts in accordance with the City's Building Security Guidelines shall be integrated into construction plans in coordination with the Police Department.
6. Prior to building permit issuance the final landscape plan shall be reviewed and approved by the Public Works Director when landscaping is proposed within the public right-of-way and/or the project is constructing Storm Water Quality BMPs in landscaped areas.
7. The applicant, in coordination with the contractor, shall ensure that grading and construction activities comply with the following requirements:
 - a. All construction vehicles or equipment, fixed or mobile, shall be equipped with properly operating and maintained mufflers;
 - b. All operations shall comply with City ordinances with respect to hours of construction activity to minimize noise impacts;
 - c. During construction, best efforts shall be made to locate stockpiling and/or vehicle staging areas as far as practicable from surrounding residences.

Community Services:

8. Prior to building permit issuance, the applicant shall prepare a final landscaping and irrigation plan consistent with the grading plans, site plans, and the conceptual landscaping plan as proposed for the project for the review and approval of the Director of Community Development and Community Services Director.

9. Prior to building permit issuance, the applicant shall review the approved Water Quality Management Plan (WQMP) and ensure the proposed landscape plans are consistent with the project grading plans. The plans must show any proposed storm water treatment Best Management Practices (BMP) such as bioretention planters, drywells, permeable pavers, or any other proposed surface water quality BMPs.
10. Prior to building permit issuance, final landscaping plans for the project shall be designed to comply with the City's Water Efficient Landscape Guidelines as described in Section IX of the City of Orange Landscape Standards and Specifications.
11. Prior to building permit issuance, all landscaping located within public areas shall be shown on the landscape plans and shall include the installation of root barriers acceptable to the Public Works Department on the sidewalk side of the tree, or where conditions warrant, the installation of a Deep Root box as directed by the Public Works Director.
12. Prior to building permit issuance, the final landscape plan shall include a note that a fully automated irrigation system will be provided.
13. Prior to building permit issuance, City-required irrigation and landscape inspection notes shall be placed on the final landscape plan, to the satisfaction of the Community Services Director.
14. All landscape areas shall be maintained in a neat and healthy condition. Should the plant material die, the property owner/operator shall replace it with new plant material.
15. Prior to building permit issuance, landscape plans shall include landscape area calculations needed for State landscape water use reporting.
16. Prior to issuance of certificate of occupancy, all parking lot and landscaping improvements shall be completed according to the approved plans and to the satisfaction of the Community Development Director.

Police:

17. The opening between the trash enclosure block wall and roof shall require security mesh or wrought iron barrier. The mesh or wrought iron shall coordinate with the design and color scheme of the trash enclosure. This shall be reflected on the construction drawings for Orange Police Department approval prior to building permit issuance. Chain link fencing material is not permitted. Trash enclosure doors shall be secured with a lock to prevent unauthorized entry.
18. Prior to building permit issuance, the project shall comply with the requirements of OMC Chapter 15.52 (Building Security Standards), which relates to hardware, doors, windows, lighting, etc. Approved structural drawings, if any, shall include sections of the security code that apply. Specifications, details, or security notes may be used to convey the compliance.

19. Prior to building permit issuance, a photometric study shall be reviewed and approved by the Police Department. A minimum of one foot candle shall be maintained on all surfaces of the parking lot, from dusk until the termination of business every operating day.
20. Prior to issuance of certificate of occupancy, the applicant shall schedule a light reading inspection with the Crime Prevention Bureau. The applicant shall use shielding so as to ensure that the light standards meet the requirements of OMC Section 17.12.030 for the areas beyond the property's exterior boundaries. The lighting shall be tested and confirmed to determine if the lighting meets or exceeds the exterior boundary standards. The applicant shall ensure that lighting on the site shall be directed, controlled, and screened in such a manner so as to refrain from shining directly on surrounding properties. Light spillage or pollution to surrounding residential areas shall not exceed a maintained minimum of 0.5 foot-candle.

Public Works, Subdivision:

21. Prior to permit issuance, a streetlight will be required to be installed along North Tustin Street per OMC 12.52.030.A.7, as required by City of Orange Traffic Division.
22. Prior to permit issuance, the developer shall install street trees along Tustin Street as required by City of Orange Public Works Department.
23. All work within public right-of-way and public utility easements will require encroachment permits from the affected agencies, including sidewalk and driveway constructions, utility main and lateral constructions, and public water construction work.
24. All public infrastructures, including street sections, sidewalk, driveway apron, and utilities shall comply with City of Orange Standard Plans and Specifications.
25. Utilities serving the development, such as electric, cable television, street lighting and communication shall be installed underground, completed and approved by the appropriate utility provider.
26. The applicant shall remove unused driveway approaches and restored them to full height curb and gutter, including any sidewalk restoration at the driveway apron.
27. Driveway aprons shall conform to Public Works Standard Plan 115 for commercial driveway with ADA accessibility.
28. All driveway approaches shall conform to ADA standard for wheelchair access conforming to Public Works Standard Plans 115.
29. Any cracked, uneven, or damaged public sidewalk, curb and gutter along property frontage shall be repaired.
30. Sanitary sewer system connecting from the buildings to public mainline shall be private and maintained by the property owner.

31. The applicant shall submit a grading plan in compliance with City standards for review and approval by the Public Works Director. All grading and improvements on the subject property shall be made in accordance with the Manual of Grading and Standard Plans and Specifications to the satisfaction of the Public Works Director. The applicant may be required to include Phased Erosion and Sediment Control Plans, Site Demolition Plan, and Utility Plan as parts of the grading plan.
32. Plans preparation and submittals shall be per Development Services Plan Preparation Guidelines and Checklist, and Checklist for Submittal Packages.
33. A geotechnical report shall accompany the grading plan review.
34. Any soil imported or exported shall require a Transportation Permit from Public Works Traffic Division.
35. Upon submittal of grading plan for plan check, the applicant shall submit a deposit to cover plan check and inspection services related to the grading activities.
36. The grading plan shall detail all of the locations where retaining walls will be constructed. Geometric detail of retaining walls shall be shown on the grading plan, including material type, dimensions, backfill, and subdrains. A building permit is also required for retaining walls over 4 feet in height measured from the bottom of the footing to the top of the wall prior to construction. Structural details and design calculations shall be submitted as a separate document and will be reviewed and permitted by City Building Division.
37. Any grading outside of the owner's property boundary shall require the applicant to either obtain a temporary construction easement or permission from adjacent property owners in a form suitable to the Public Works Director.
38. Trash receptacle locations and details shall be included on the Grading Plan. The trash storage area shall be constructed per Public Works Standard Plan 409.
39. All sewer and storm drain lines shall be shown on the Grading Plan. Other utility lines, such as water lines, may also be shown on Grading Plan for reference.
40. All structural BMPs for water quality purposes shall be shown on Grading Plan. Water quality features shown on the Grading Plan must match WQMP.
41. The property owner shall maintain in good condition, all on-site driveways where heavy-duty trucks would travel.
42. Prior to building foundation construction, a Certificate Letter of Line and Grade shall be submitted to Public Works Construction Inspector demonstrating that the site grading and pad elevation are completed according to the grading plan

Public Works, Water Division:

43. Prior to building permit issuance, a dedicated irrigation service with backflow prevention device will be required for irrigation purposes.
44. Prior to building permit issuance, a dedicated domestic service with backflow prevention device will be required for domestic services.
45. Prior to building permit issuance, existing service within driveway shall be abandoned per City Water Division standards.
46. Prior to building permit issuance, meter box shall be located behind curb per City Water Division standards and a minimum of 4 feet from the top of driveway.
47. Prior to building permit issuance, the applicant shall submit improvement plans to the Water Division for review and approval for any new fire hydrants, domestic water services, fire services, landscape services, and any other proposed improvements or relocations affecting the public water system facilities.
48. Prior to issuance of certificate of occupancy, the applicant shall be responsible for the installation of necessary fire hydrants and fire services as approved by the Fire Department and Water Division.
49. Prior to building permit issuance, the Water Division shall approve the type and location of landscaping and fire service (backflow prevention) device for proposed City services.
50. Prior to building permit issuance, construction documents shall show that a six-foot minimum horizontal clearance and a one-foot minimum vertical clearance is maintained between City water mains, laterals, services, meters, fire hydrants and all other utilities except sewer. The Water Division shall review and approve the construction documents.
51. Prior to building permit issuance, construction documents shall show that an eight-foot minimum clearance is provided between City water mains, laterals, services, meters, fire hydrants, signs, or trees or other substantial shrubs and plants as required by the Water Division. The Water Division shall review and approve the construction documents.
52. Prior to building permit issuance, construction documents shall show that permanent signs, awning, surface water quality management features or other structures are not built over water mains, laterals, services, meters, or fire hydrants as required by the Water Division.
53. Prior to approval of a water improvement plan, the applicant shall satisfy all water main connection, plan check, and inspections charges as determined by the Water Division.
54. Prior to issuance of a grading permit, the applicant shall construct all public and/or private improvements to the satisfaction of the Water Division. The applicant may be required to enter into an agreement with the City, and post security in a form and amount acceptable to the City Engineer and/or Water Division to ensure construction of said improvements.

55. If applicable, plans submitted during plan check shall show that the water improvement plans are consistent with the fire suppression plans and or fire master plan. The applicant's consultant preparing the water improvement plans shall coordinate its plans with the consultant preparing the fire suppression plans and/or fire master plan so that their designs concur.
56. Plans submitted during plan check shall show that the minimum separation requirements are met and that each of the various designer's plan sets match. The applicant's consultant preparing the improvement and utility plans shall coordinate its plans with the consultants preparing the landscape, architectural, surface water quality management, fire master and/or fire suppression plans so that their designs are consistent.
57. At least 14 calendar days prior to commencing construction, the applicant's civil engineer shall prepare and provide product material submittals consistent with the water improvement plans for all proposed public water system facilities to the Water Division per the City of Orange General Water Construction Notes for review and approval.
58. Prior to issuance of certificate of occupancy, the applicant shall furnish and install individual pressure regulators on new services where the incoming pressure exceeds 80 pounds per square inch.

Water Quality:

59. Prior to issuance of a grading permit the applicant shall submit a Priority Project WQMP for review and approval to the Public Works Department that:
 - a. Prioritizes the use of Low Impact Development principles as follows: preserves natural features; minimizes runoff and reduces impervious surfaces; and utilizes infiltration of runoff as the method of pollutant treatment. Infiltration BMPs to be considered include the use of permeable materials such as concrete and concrete pavers, infiltration trenches, infiltration planters, and other infiltration BMPs as applicable;
 - b. Incorporates the applicable Site Design, Routine Source, Structural Control and Low Impact BMPs as defined in the Model WQMP and Technical Guidance Document;
 - c. Maintains the hydrologic characteristics of the site by matching time of concentration, runoff, velocity, volume and hydrograph for a 2-year storm event;
 - d. Minimizes the potential increase in downstream erosion and avoids downstream impacts to physical structures, aquatic and riparian habitat;
 - e. Generally describes the long-term operation and maintenance requirements for structural and treatment control BMPs;

- f. Identifies the entity or employees that will be responsible for long-term operation, maintenance, repair and or replacement of the structural and treatment control BMPs and the training that qualifies them to operate and maintain the BMPs;
 - g. Describes the mechanism for funding the long-term operation and maintenance of all structural and treatment control BMPs;
 - h. Includes a copy of the forms to be used in conducting maintenance and inspection activities;
 - i. Meets recordkeeping requirements (forms to be kept for 5 years);
 - j. Includes a copy of the form to be submitted annually by the project owner to the Public Works Department that certifies that the project's structural and treatment BMPs are being inspected and maintained in accordance with the project's WQMP.
60. Prior to issuance of certificate of occupancy, the applicant shall demonstrate the following to the Public Works Department:
- a. That all structural and treatment control BMPs described in the Project WQMP have been constructed and installed in conformance with the approved plans and specifications;
 - b. That the applicant is prepared to implement all non-structural BMPs described in the Project WQMP;
 - c. That an adequate number of copies of the project's approved final Project WQMP are available for the future occupiers.
61. Prior to issuance of certificate of occupancy or final signoff by the Public Works Department, the applicant shall demonstrate to the satisfaction of Public Works, that the preparer of the WQMP has reviewed the BMP maintenance requirements in Section V of the WQMP with the responsible person and that a copy of the WQMP has been provided to that person. A certification letter from the WQMP preparer may be used to satisfy this condition.
62. Prior to issuance of building permits, the applicant shall review the approved WQMP and grading plan to ensure the structure's downspouts or drainage outlet locations are consistent with those documents. Copies of the building or architectural plans specifically showing the downspouts and drainage outlets shall be submitted to the Public Works Department for review.
63. The project applicant shall maintain all structural, treatment and low impact development BMPs at the frequency specified in the approved WQMP. Upon transfer of ownership or management responsibilities for the project site, the applicant shall notify the Public Works Department of the new person(s) or entity responsible for maintenance of the BMPs.

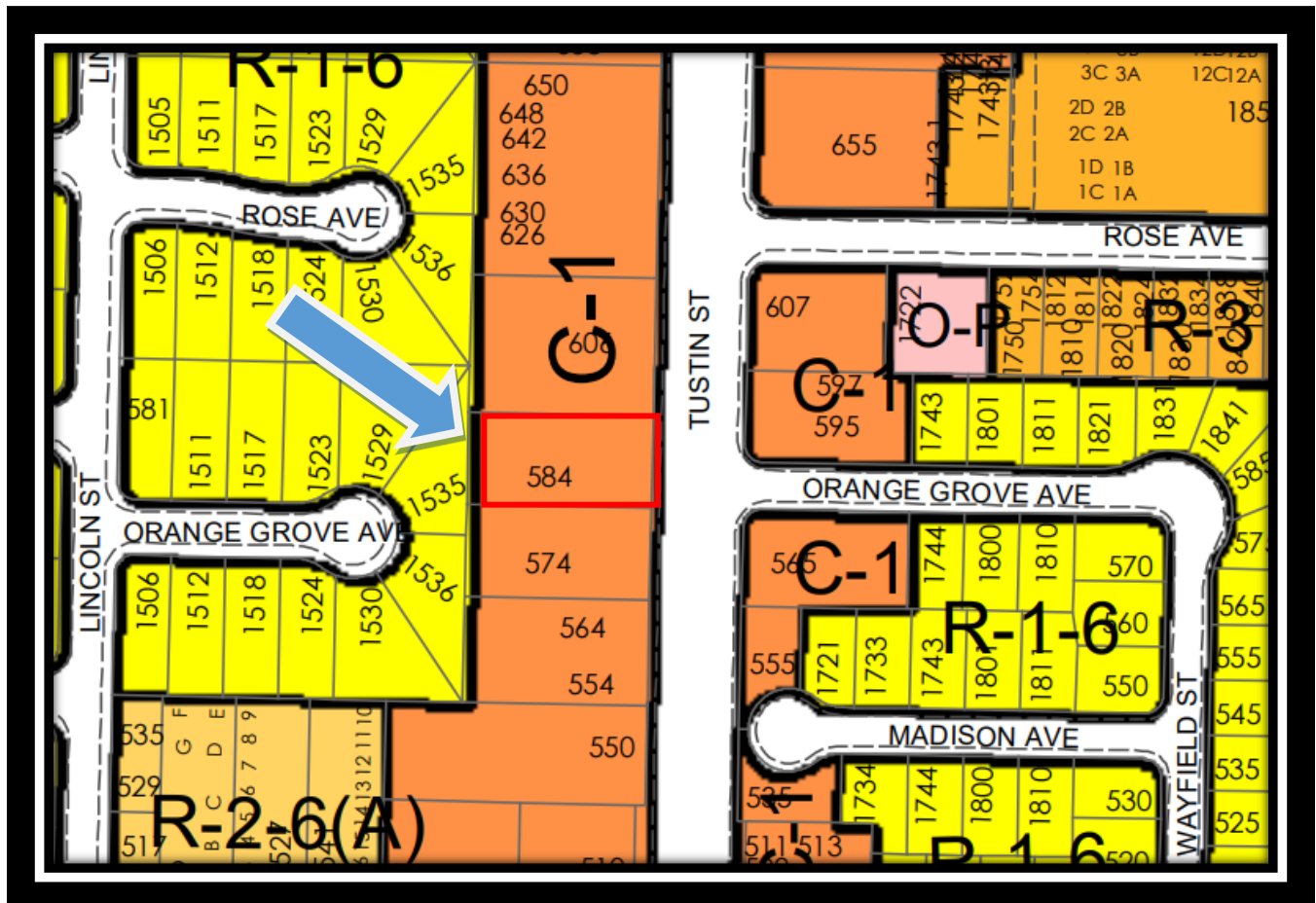
64. For those food service establishment projects installing Grease Interceptors: Prior to issuance of building permits, the applicant shall identify the location of the grease interceptor and provide evidence to the Building Official that the design meets and is consistent with the City's latest adopted building codes.

Vicinity Map

CUP No. 3126-21

Popeyes Louisiana Kitchen

584 N. Tustin Street



CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT



Project Narrative

**Project: Popeyes Louisiana Kitchen,
584 N. Tustin Avenue, Orange, CA**

Project site is on the West side of North Tustin Avenue, with 20,000 square feet (0.46 acre) of area and it is relatively flat with slop of 1.5% toward West side, Project consist of single story 2,344 square feet of building area including 826 square feet of dining area. Proposed building has Louisiana style architecture as all Popeyes thru-out the nation has, a drive-thru lane wrapping around the building will have a 10 queuing vehicles to satisfy the demand. Propose site will have an access from Tustin Avenue. Ingress and egress, required numbers of parking stalls are 11 and proposed subject are 20 stalls with 60 square feet of motorcycle area.

Subject site currently has an existing 3,380 square feet Sizzler Building to be demolished. Site is surrounded by McDonald on the North, a vacant commercial building to the South, a residential homes to the West and Tustin Avenue on the East.

The Plant palette for this project has been selected to meet the State Water Conservation requirements and provide a varied and colorful effect. Trees are distributed around the site to provide shade and seasonal color. A tall hedge along the East (rear) property line will provide screening for the residential area. Lower hedging provides screening of cars, transformer, and trash enclosure. Accent shrubs add color and interest.

The irrigation system will be low precipitation drip with separate valving for trees and smart controller for the efficient use of water.



Cal Pop Group, Inc.
26996 La Paz Rd
Aliso Viejo CA 92656

May 27, 2021

City of Orange

Re: 584 N. Tustin Orange CA

Dear: Sir or Madam.

This letter is to serve as an Explanation/Justification based on the following clarification request.

- 1) All deliveries will take place in between hours of 7:00am and 10:00am before we open
- 2) Store will open at 10:00am to 11:00pm Monday to Thursday.
- 3) Store will open at 10:00am to 1:00am on Friday and Saturday.
- 4) Store will open at 10:00am to 11:00pm on Sundays.
- 5) All Maintenance and repairs will be done between 7:00am to 10:00am before we open.
- 6) The site will be on 24-hour Security Camera System for outside and inside.
- 7) The site will also have an active Monitor Alarm System for after hours.
- 8) Each given day consists of two shifts and each shift will have a total of three employees.

Sincerely

Shawn Danesh

May 27, 2021

Shawn Danesh
c/o. Hannibal Petrossi
Calvada Development, Inc.
26996 La Paz Rd.
Aliso Viejo, CA 92656

**Re: Queuing Analysis and Trip Generation
Proposed Popeyes Louisiana Kitchen
584 N. Tustin Street, Orange**

Dear Shawn,

Per your request, we have conducted a queuing analysis and trip generation for the proposed Popeyes Louisiana Kitchen in Orange. This letter presents our methodology, finding, and recommendation.

PROJECT INFORMATION

The project site is located at 584 N. Tustin Street in the City of Orange. This project consists of demolishing an existing sit-down restaurant of 3,468 square feet and constructing a restaurant building of 2,344 square feet for Popeyes Louisiana Kitchen with a drive-through lane. Proposed site plan is shown in **Exhibit 1**. The proposed drive-through lane provides a capacity of ten (10) cars stacking with the ordering station placed at the fifth car. The proposed site can hold a maximum of nineteen (19) drive-through vehicles without affecting the public right-of-way.

QUEUING ANALYSIS

To evaluate the stacking capacity, the consultant conducted a stacking analysis of similar drive-through facilities at the following locations:

1. Popeyes Louisiana Kitchen Drive-Thru at 1911 Indian Hill Boulevard, Pomona
2. Popeyes Louisiana Kitchen Drive-Thru at 525 S. Citrus Ave, Covina
3. Popeyes Louisiana Kitchen Drive-Thru at 19102 Beach Blvd, Huntington Beach

K2 Traffic Engineering, Inc.

1442 Irvine Blvd, Suite 210, Tustin, CA 92780 T.714-832-2116 Email: kay@k2traffic.com

Pre-pandemic operational data are used in this study to reveal its normal conditions prior to the shutdown of many non-essential businesses and activities as a result of the ongoing COVID-19 pandemic. Complete data of comparable drive-through operations can be found in **Appendix A, B, and C**. Queue analysis for these comparable sites is summarized in **Table 1**.

Table 1. Queue Analysis for Comparable Site

	Queue Capacity (Vehicle)	Ordering Station (Vehicle)	Max. Hold On-Site (Vehicle)	Study Samples (Trip)	Highest Hourly Volume (Trip)	Peak Period	Longest Queue (Vehicle)
Pomona	9	5 th	18	2,070	37	1-2 p.m. Tuesday	6
Covina	6	4 th	10	2,400	41	12-1 p.m. Monday	9
Huntington Beach	5	3 rd	15	1,931	41	12-1 p.m. Monday	5

The busiest hours for Popeyes Louisiana Kitchen drive-through operations are general lunch hours between 12:00 and 2:00 p.m. With a sample of more than 1,900 drive-thru trips for each comparable site over the span of seven (7) days, the study has found the maximum queue of nine (9) vehicles. The highest hourly drive-thru volume was 41 trips between 12:00 and 1:00 pm on Monday.

TRIP GENERATION

Passenger vehicle trips were estimated using the rates and methodologies outlined in *Trip Generation, 10th Edition*, published by the Institute of Transportation Engineers (ITE). Applicable trip generation rates are shown in **Table 2**.

Table 2. Trip Generation Rate

Land Use (ITE Code)	Unit	Daily	AM Peak Hour			PM Peak Hour		
			Rate	IN	OUT	Rate	IN	OUT
Fast-Food Restaurant with Drive-Through Window (934)	1,000 Sq. Ft.	470.95	40.19	51%	49%	32.67	52%	48%
High-Turnover (Sit-Down) Restaurant (932)	1,000 Sq. Ft.	112.18	9.94	0.55	0.45	9.77	0.62	0.38

Based on ITE's *Trip Generation Handbook, Third Edition*, the study has applied pass-by reduction for the project use. The project has a NET trip generation 14 trips in the AM peak hour, 19 trips in the PM peak hour, and 536 daily trips. The projected trips associated with the project are provided in **Table 3**.

Table 3. NET Trip Generation

Land Use (ITE Code)	Unit	Quantity	AM Peak Hour			PM Peak Hour			Daily
			Total	IN	OUT	Total	IN	OUT	
Proposed Use: Fast-Food Restaurant with Drive-Through Window (934)	1,000 Sq. Ft.	2.344	94	48	46	77	40	37	1104
	Pass-by Trip Reduction	AM: 49% PM: 50% Daily: 25%	(46)	(23)	(23)	(38)	(20)	(18)	(276)
	Total		48	25	23	38	20	18	828
Existing Use Trip Credit: High-Turnover (Sit-Down) Restaurant (932)	1,000 Sq. Ft.	(3.468)	(34)	(19)	(16)	(34)	(21)	(13)	(389)
	Pass-by Trip Reduction	AM: 0% PM: 43% Daily: 25%	0	0	0	15	9	6	97
	Total		(34)	(19)	(16)	(19)	(12)	(7)	(292)
NET Trip Generation			14	6	7	19	8	11	536

DRIVE-THROUGH CONTINGENCY PLAN

In the unlikely event that drive-through queuing extends beyond ten (10) vehicles in the drive-through lane, the site is capable of accommodating nine (9) additional vehicles on site without affecting the public right-of-way. As an extra layer of protection, if the drive-through queue exceeds 15 vehicles at any time, the restaurant operator will allocate one staff to be stationed at the site entrance to redirect and turn away incoming traffic as necessary in order to prevent any queuing onto Tustin Street.

In addition, the proposed restaurant accepts mobile ordering through its website and mobile app to divert drive-through traffic and encourage ordering in advance. Mobile orders customers will be instructed to park at the designated space and their

food will be delivered directly to their vehicles. Mobile order is expected to further decrease the chances of long queues especially in the peak hour.

CONCLUSION

Based on the study of similar drive-through operations, the project has provided sufficient stacking length to accommodate ten (10) vehicles, exceeding the expected maximum queue. No overflow or interruption onto the parking area is expected. On site circulation is deemed efficient without any bottleneck.

The project does not generate more than 100 vehicle trips in the AM or PM peak hour. According to the “City of Orange Traffic Impact Analysis Guidelines for Vehicle Miles Traveled and Level of Service Assessment,” the threshold has not been met and the project is not required to provide a Traffic Impact Analysis (TIA).

Regards,

K2 Traffic Engineering, Inc.



Jende “Kay” Hsu, T.E.
California Licensed TR2285



Appendix A: Comparable Drive-Through Operation at Pomona

Table 1. Drive-Through Vehicle Volume

Popeyes Louisiana Kitchen
1911 Indian Hill Boulevard, Pomona

	1/13	1/14	1/15	1/16	1/17	1/18	1/19
	MON	TUE	WED	THU	FRI	SAT	SUN
9:00 AM	0	0	0	1	1	0	3
10:00 AM	10	15	15	15	13	11	17
11:00 AM	23	21	22	20	25	23	24
12:00 PM	22	32	23	23	30	34	27
1:00 PM	23	37	24	22	31	33	28
2:00 PM	29	22	22	26	28	31	18
3:00 PM	25	21	17	24	30	25	21
4:00 PM	29	26	27	31	22	15	20
5:00 PM	20	20	28	25	21	19	20
6:00 PM	25	21	24	26	16	18	18
7:00 PM	24	16	30	28	16	22	21
8:00 PM	23	21	22	23	18	21	22
9:00 PM	24	16	13	22	21	19	23
10:00 PM	18	17	21	24	17	21	22
11:00 PM	0	4	5	2	9	7	0
Daily Max.	29	37	30	31	31	34	28
Daily Total	295	289	293	312	298	299	284

Average Daily Volume: 296

Weekly Total: 2,070

Table 2. Maximum Queue at Drive-Through

Popeyes Louisiana Kitchen
1911 Indian Hill Boulevard, Pomona

	1/13	1/14	1/15	1/16	1/17	1/18	1/19
	MON	TUE	WED	THU	FRI	SAT	SUN
9:00 AM	0	0	0	1	1	0	3
10:00 AM	4	3	4	5	3	4	3
11:00 AM	5	5	4	4	5	5	5
12:00 PM	4	5	5	5	5	5	5
1:00 PM	5	5	5	3	6	5	4
2:00 PM	5	5	6	5	6	5	5
3:00 PM	5	5	6	5	5	5	5
4:00 PM	5	5	5	5	5	5	5
5:00 PM	4	5	5	5	5	5	5
6:00 PM	5	5	6	5	5	5	5
7:00 PM	5	5	6	5	5	5	5
8:00 PM	5	5	3	4	5	5	5
9:00 PM	5	5	5	5	5	5	5
10:00 PM	6	5	5	5	5	5	5
11:00 PM	0	4	4	2	5	5	5
Daily Max.	6	5	6	5	6	5	5

Appendix B: Comparable Drive-Through Operation at Covina

Table 1. Drive-Through Vehicle Volume

Popeyes Louisiana Kitchen
525 S. Citrus Ave, Covina

	1/6	1/7	1/8	1/9	1/10	1/11	1/12
	MON	TUE	WED	THU	FRI	SAT	SUN
10:00 AM	12	12	15	12	15	15	14
11:00 AM	30	31	27	29	27	31	21
12:00 PM	41	32	38	37	31	31	30
1:00 PM	36	27	35	39	30	35	26
2:00 PM	35	30	34	28	28	32	28
3:00 PM	28	28	35	30	28	31	28
4:00 PM	23	28	30	31	30	27	19
5:00 PM	28	32	22	26	28	19	19
6:00 PM	20	27	23	34	25	18	16
7:00 PM	22	32	29	35	28	18	12
8:00 PM	25	22	27	30	30	18	12
9:00 PM	29	30	24	34	27	27	19
10:00 PM	17	24	27	21	25	28	21
Daily Max.	41	32	38	39	31	35	30
Daily Total	346	355	366	386	352	330	265

Average Daily Volume: 343

Weekly Total: 2,400

Table 2. Maximum Queue at Drive-Through

Popeyes Louisiana Kitchen
525 S. Citrus Ave, Covina

	1/6	1/7	1/8	1/9	1/10	1/11	1/12
	MON	TUE	WED	THU	FRI	SAT	SUN
10:00 AM	3	3	2	2	4	5	4
11:00 AM	5	5	4	5	5	5	5
12:00 PM	4	5	4	5	4	6	5
1:00 PM	5	5	5	4	7	5	5
2:00 PM	7	5	5	6	9	5	5
3:00 PM	7	5	5	5	9	5	5
4:00 PM	6	5	5	5	7	6	5
5:00 PM	4	5	4	5	7	7	4
6:00 PM	5	6	5	5	6	5	4
7:00 PM	4	7	5	5	9	5	4
8:00 PM	4	6	6	5	9	5	5
9:00 PM	5	6	7	4	9	6	5
10:00 PM	4	7	7	5	9	7	5
Daily Max.	7	7	7	6	9	7	5

Appendix C: Comparable Drive-Through Operation at Huntington Beach

Table 1. Drive-Through Vehicle Volume

Popeyes Louisiana Kitchen
19102 Beach Blvd, Huntington Beach

	1/13	1/14	1/15	1/16	1/17	1/18	1/19
	MON	TUE	WED	THU	FRI	SAT	SUN
10:00 AM	6	4	15	10	7	8	9
11:00 AM	32	20	26	25	26	15	20
12:00 PM	41	37	26	38	28	29	24
1:00 PM	20	26	29	34	33	28	24
2:00 PM	22	29	23	17	28	21	24
3:00 PM	25	22	20	20	16	27	26
4:00 PM	27	23	21	22	24	22	24
5:00 PM	22	31	25	28	25	24	32
6:00 PM	26	21	28	28	29	31	29
7:00 PM	21	21	25	24	23	21	25
8:00 PM	19	19	23	23	24	23	19
9:00 PM	14	14	15	9	19	21	9
Daily Max.	41	37	29	38	33	31	32
Daily Total	275	267	276	278	282	270	265

Average Daily Volume: 273

Weekly Total: 1,913

Table 2. Maximum Queue at Drive-Through

Popeyes Louisiana Kitchen
19102 Beach Blvd, Huntington Beach

	1/20	1/21	1/22	1/23	1/24	1/25	1/26
	MON	TUE	WED	THU	FRI	SAT	SUN
10:00 AM	3	3	4	3	3	2	3
11:00 AM	4	4	3	4	4	4	4
12:00 PM	4	5	4	4	4	4	4
1:00 PM	4	4	3	4	4	4	4
2:00 PM	4	4	4	4	4	4	4
3:00 PM	4	4	4	4	3	4	4
4:00 PM	4	4	4	4	4	4	4
5:00 PM	4	4	4	4	5	4	4
6:00 PM	4	4	4	4	5	4	4
7:00 PM	4	4	4	4	3	4	5
8:00 PM	4	4	4	4	4	4	4
9:00 PM	3	4	3	3	5	4	3
Daily Max.	4	5	4	4	5	4	5



April 8, 2021

Mr. Shawn Danesh
Calvada Development & Construction, Inc.
26996 La Paz Road
Aliso Viejo CA, 92656

SUBJECT: Noise Memorandum – Popeye’s Chicken Restaurant Drive Thru Menu Board, Orange, CA

Dear Mr. Danesh;

Birdseye Planning Group (BPG) is pleased to submit this Noise Memorandum addressing sound levels from the drive-thru menu board outside the proposed Popeye’s Restaurant in the City of Orange, California. The site is located at 584 North Tustin Street. It is currently developed with a restaurant building. The building would be demolished to accommodate construction of a new Popeye’s restaurant with a drive-thru lane. The site is bordered by commercial uses to the north, east and south. Single-family residences are located to the west. The issue raised by the City of Orange staff is whether noise from the menu board speaker would violate the City of Orange Municipal Code for stationary sources (Section 8.25) and adversely affect neighboring residents.

Overview of Sound Measurement

Noise level (or volume) is generally measured in decibels (dB) using the A-weighted sound pressure level (dBA). The A-weighting scale is an adjustment to the actual sound pressure levels to be consistent with that of human hearing response, which is most sensitive to frequencies around 4,000 Hertz (about the highest note on a piano) and less sensitive to low frequencies (below 100 Hertz).

Sound pressure level (SPL) is measured on a logarithmic scale with the 0 dB level based on the lowest detectable sound pressure level that people can perceive (an audible sound that is not zero sound pressure level). Based on the logarithmic scale, a doubling of sound energy is equivalent to an increase of 3 dBA, and a sound that is 10 dBA less than the ambient sound level has no effect on ambient noise. Because of the nature of the human ear, a sound must be about 10 dBA greater than the reference sound to be judged as twice as loud. In general, a 3 dBA change in community noise levels is noticeable, while 1-2 dB changes generally are not perceived. Quiet suburban areas typically have noise levels in the range of 40-50 dBA, while arterial streets are in the 50-60+ dBA range. Normal conversational levels are in the 60-65 dBA range, and ambient noise levels greater than 65 dBA can

interrupt conversations. Noise levels typically attenuate (or drop off) at a rate of 6 dBA per doubling of distance from point sources (i.e., industrial machinery). Noise from lightly traveled roads typically attenuates at a rate of about 4.5 dBA per doubling of distance. Noise from heavily traveled roads typically attenuates at about 3 dBA per doubling of distance. Noise levels may also be reduced by intervening structures; generally, a single row of buildings between the receptor and the noise source reduces the noise level by about 5 dBA, while a solid wall or berm reduces noise levels by 5 to 10 dBA. The manner in which older homes in California were constructed (approximately 30 years old or older) generally provides a reduction of exterior-to-interior noise levels of about 20 to 25 dBA with closed windows. The exterior-to-interior reduction of newer residential units and office buildings construction to California Energy Code standards is generally 30 dBA or more (HMMH, 2006).

In addition to the actual instantaneous measurement of sound levels, the duration of sound is important since sounds that occur over a long period of time are more likely to be an annoyance or cause direct physical damage or environmental stress. One of the most frequently used noise metrics that considers both duration and sound power level is the equivalent noise level (Leq). The Leq is defined as the single steady A-weighted level that is equivalent to the same amount of energy as that contained in the actual fluctuating levels over a period of time (essentially, the average noise level). Typically, Leq is summed over a one-hour period. Lmax is the highest RMS (root mean squared) sound pressure level within the measuring period, and Lmin is the lowest RMS sound pressure level within the measuring period.

The time period in which noise occurs is also important since noise that occurs at night tends to be more disturbing than that which occurs during the day. Community noise is usually measured using Day-Night Average Level (Ldn), which is the 24-hour average noise level with a 10-dBA penalty for noise occurring during nighttime (10 p.m. to 7 a.m.) hours, or Community Noise Equivalent Level (CNEL), which is the 24-hour average noise level with a 5 dBA penalty for noise occurring from 7 p.m. to 10 p.m. and a 10 dBA penalty for noise occurring from 10 p.m. to 7 a.m.

City of Orange Noise Ordinance

Section 8.25.040 of the City of Orange Municipal Code limits exterior noise levels associated with stationary sources to an hourly average (Leq) of 55 dBA during daytime hours (7:00 pm to 10:00 pm) and 50 dBA during nighttime hours (10:00 pm to 7:00 am) at all residential properties. Maximum noise levels at residential properties cannot exceed 70 dBA during daytime hours and 65 dBA during nighttime hours.

Project Site Setting

To gather data on the sound environment at the project site, two weekday morning 15-minute noise measurements and one 5-minute spot measurement was taken on April 7, 2021 using an ANSI Type II integrating sound level meter. The 15-minute monitoring locations were located along the western site boundary, one on the north side of the existing building and the other on the south side, adjacent

to the property line and rear yard of the single-family residence(s) located west of the site. The predominant noise source was traffic operating on Tustin Street though other sources including the operation of power tools at a neighboring residence and vehicles in the McDonald's restaurant drive-thru line north of the site were audible. The temperature during monitoring was 70 degrees Fahrenheit with a slight breeze. The spot measurement was taken along the western site boundary of the McDonald's restaurant drive-thru aisle located adjacent to and north of the site. The purpose was to establish typical noise levels at the western property line associated with operation of the menu board speaker at the adjacent restaurant. As stated, traffic operations are the primary source of noise at Site 1 and 2. During monitoring at Site 1, 621 cars/light trucks, 10 medium (two-axle/6 tires) and 2 heavy (all other vehicles with more than three axles) trucks passed the site on Tustin Street. Traffic volumes were not counted during monitoring at Site 2 but are presumed to be similar given the comparison between the measured noise levels at Site 1 and Site 2. Monitoring Site 3 was screened from traffic noise by the restaurant building. Noise levels at this location were predominantly generated by idling vehicles in the drive-thru lanes.

Baseline noise levels are shown in Table 1 below. Measurement locations are shown in Figure 1. As shown, under baseline conditions, noise levels at Sites 1 and 2 exceed the 55 dBA daytime exterior standard for residential properties. Measured noise at Site 3 is below the 55 dBA daytime exterior standard.

Table 1
Measured Sound Levels

Location	Measured Leq
Site 1 – North side of project site	57.0 dBA
Site 2 – South side of project site	56.2 dBA
Site 3 – West side of McDonald's parking lot	53.3 dBA

Drive Thru Window Speakers Sound Characteristics

Speaker noise is an intermittent, variable noise source and subject to change based on volume settings. Based on field observations, speaker noise is typically screened by the vehicle at the menu board and is audible as a conversational source. Table 2 shows measured noise levels at varying distances from a menu board speaker.

As shown in Table 2, the reference SPL at 32 feet (54 dBA) is similar to the measured noise level at the same distance from the McDonald's menu speaker (i.e., 53.3 dBA). It is important to note that speakers are mounted in a variety of different enclosures. Further, the building, the adjacent car and even other cars in proximity all effect the direction and attenuation rate. Speaker noise is also intermittent rather than a constant source. These factors all make the sound more directional and the decay rate less predictable. Based on the planned orientation of the speaker board, sound would project to the south rather than west towards the western property boundary. Noise contour data

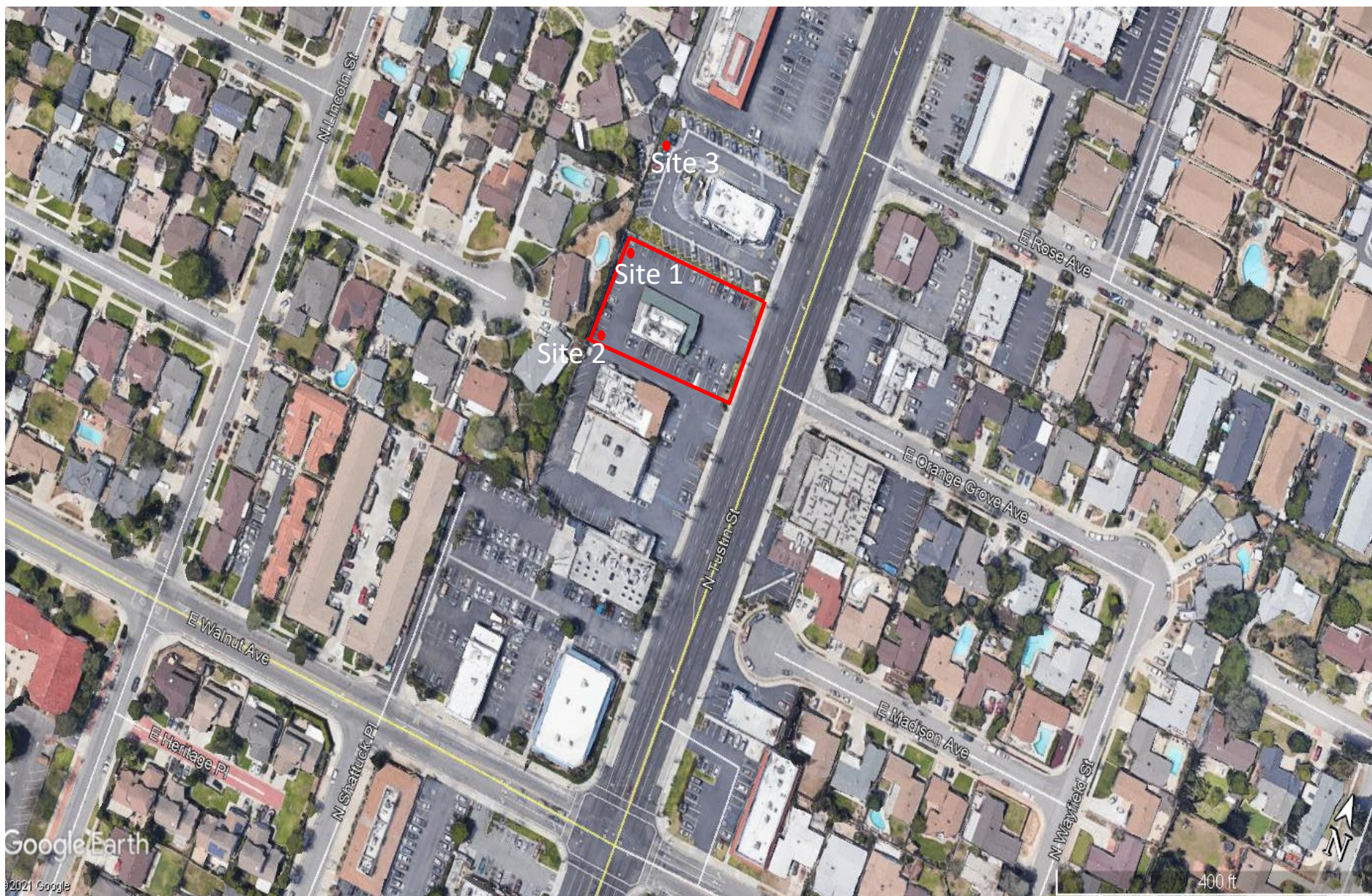


Figure 1—Measurement Locations

- Project Site

Table 2
Measured Sound Pressure Levels

Distance	Measured Sound Pressure Level
1 foot	84 dBA
2 feet	78 dBA
4 feet	72 dBA
8 feet	66 dBA
16 feet	60 dBA
32 feet	54 dBA

Source: HME, 2010

show that sound levels at 90 degrees from the speaker are approximately 30 dBA less than noise levels that project straight at 0 degrees. Provided speaker noise associated with the proposed Popeye's restaurant is similar to the reference noise level and measured noise level discussed above, the southerly projection would reduce noise projecting to the west to below background conditions at the western property line.

Concrete Masonry Wall Attenuation

The project site is separated from the neighboring residential neighborhood by an approximately 8-foot tall concrete masonry unit (CMU) wall. Residences west of the wall are located approximately 4 feet below the site elevation. Both conditions contribute to the attenuation of sound levels generated by traffic on Tustin Street as well as on-site activities. Based on measured ambient conditions on-site (57 dBA), the addition of speaker noise/idling vehicles (54 dBA assuming a worst-case direct projection) would equal a combined level of 58.4 dBA at the western property line provided the speaker noise is a constant source. The combined noise level is a conservative estimate given the fact that the speaker noise is an intermittent source and would project south rather than directly west.

The CMU wall and elevation differential would attenuate noise levels west of the wall. Assuming the speaker is located 1 meter above the ground, the wall is 2.2 meters in height and the residences are at approximately 1 meter, the combine traffic noise and on-site speaker noise would attenuate to approximately 32.4 dBA. This does not account for the variability of noise sources on the site and activities occurring on the residential properties that also contribute to ambient conditions. However, speaker noise would be within the 55 dBA daytime exterior and 50 dBA nighttime standards.

Automatic Volume Control Sound System

Automatic Volume Control (AVC) is commonly installed as part of the outdoor speaker system. These systems are used to reduce the outbound sound pressure level based (i.e., speaker volume) on ambient noise. When AVC is active, the outbound level is reduced to a level that is 15 dB above the ambient noise level at the speaker post microphone, but it never increases the level above what would be heard with AVC turned off. While site conditions indicate noise levels west of the site would meet

Mr. Shawn Danesh

April 8, 2021

Page 6

exterior day and nighttime standards at residences west of the site, the AVC feature can considerably reduce the SPL during quiet periods and may help satisfy local sound abatement requirements.

Thank you for the opportunity to assist with this project. Should you have questions or require additional information, please let me know. I can be reached at 760-712-2199 or via e-mail at ryan@birdseyeplanninggroup.com.

Regards,

A handwritten signature in blue ink, appearing to read 'R. Birdseye', is positioned above the printed name.

Ryan Birdseye
Principal

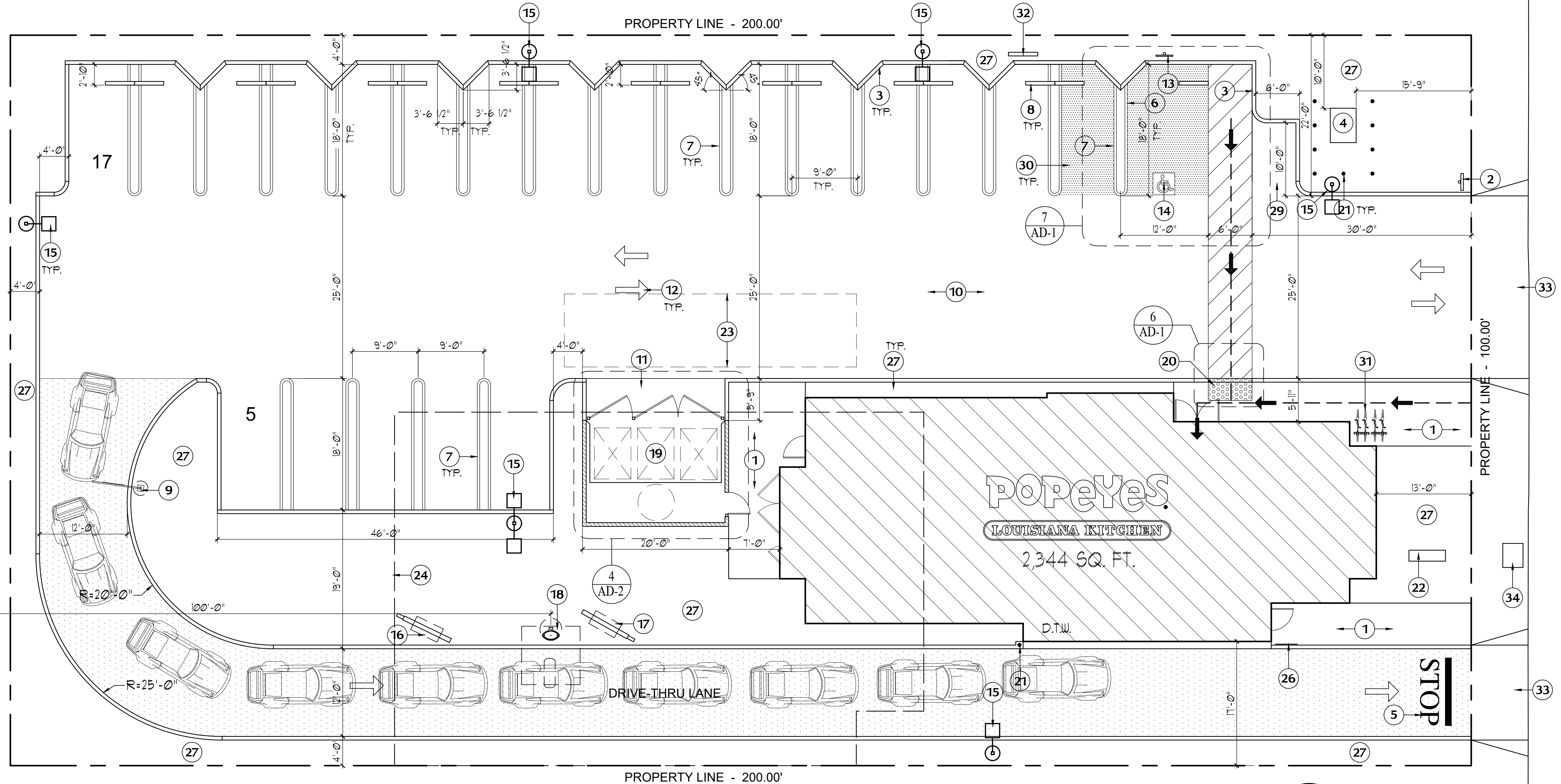
584 N. TUSTIN STREET
ORANGE, CALIFORNIA
CONDITIONAL USE PERMIT NO. 3136-21

T:\DATA\JOBS\POPEYES\ORANGE\WORKING\A 11-TITLE.dwg, 8/10/2021 1:16:34 PM, AutoCAD PDF (General Documentation).pc3

[illegible]

RESIDENTIAL ZONE

PROPERTY LINE - 100.00'



TUSTIN STREET

SITE PLAN

SCALE: 1/8" = 1'-0"



SITE PLAN KEYED NOTES :

- | | | |
|---|---|--|
| <p>① 4" CONC. WALK W/ #4 @ 18" O.C. EA. WAY PROVIDE EXP. JOINTS @ MAX. 12'-0" O.C. AND TOOL JOINTS @ MAX 4'-0" O.C.</p> <p>② ENTRANCE ACCESSIBLE PARKING SIGN</p> <p>③ CONC. CURB AT PLANTER</p> <p>④ 6'W x 8'L x 4' H TRANSFORMER</p> <p>⑤ 4" WIDE HIGHWAY WHITE PAINTED LETTERING "STOP" (2 COATS)</p> <p>⑥ 4" WIDE BLUE COLOR PAINTED</p> <p>⑦ 4" WIDE WHITE COLOR PAINTED</p> <p>⑧ CONC. WHEEL STOP</p> <p>⑨ CLEARANCE POST</p> <p>⑩ PAVING SEE CIVIL DWGS.</p> <p>⑪ 6" CONCRETE PAVING SEE CIVIL DWGS.</p> | <p>⑫ PAINTED DIRECTIONAL ARROWS HIGHWAY WHITE PAINT (2 COATS)</p> <p>⑬ ACCESSIBILITY PARKING SIGN</p> <p>⑭ INTERNATIONAL SYMBOL ACCESSIBILITY</p> <p>⑮ 20' HIGH LIGHT POLE</p> <p>⑯ POPEYES DIGITAL PREVIEW BOARD</p> <p>⑰ EXTERIOR DIGITAL MENU BOARD</p> <p>⑱ SPEAKER / ORDER BOARD</p> <p>⑲ TRASH ENCLOSURE</p> <p>⑳ TRUNCATED DOME SEE DETAIL</p> <p>㉑ 6" Ø CONC. FILL PIPE</p> <p>㉒ EXISTING SIGN POLE TO BE REFACED FOR POPEYES</p> <p>㉓ 10'-0"x40'-0" LOADING AREA</p> | <p>㉔ (E) BLDG. TO DEMO.</p> <p>㉕ DISTANCE OF MENU BOARD SPEAKER TO PROPERTY LINE ABUTTING RESIDENTIAL</p> <p>㉖ W.I. RAILING SEE DTL. IT/AD-1</p> <p>㉗ LANDSCAPE AREA SEE LANDSCAPE PLAN</p> <p>㉘ EXISTING PUBLIC FIRE HYDRANT</p> <p>㉙ 60 SF. MOTORCYCLE PARKING AREA</p> <p>㉚ HATCHED AREA OF TOTAL 2 PARKING STALLS INDICATES THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT, SEE ELECTRICAL DRAWINGS FOR RACEWAY BETWEEN SERVICE PANEL AND SUBPANEL</p> <p>㉛ BIKE RACK FOR TOTAL OF 4</p> <p>㉜ SIGN TO READ "CURBSIDE PICKUP"</p> <p>㉝ NEW DRIVEWAY SEE CIVIL DRAWINGS</p> <p>㉞ NEW TEE WELL SEE LANDSCAPE PLAN</p> |
|---|---|--|

REVISIONS: DATE :

DESIGNED BY
Petrossi
ARCHITECTS
INC.

1300 BRISTOL ST. N. SUITE 270
NEWPORT BEACH, CA 92660
TEL: (949) 833-3340
FAX: (949) 833-1145
E-MAIL: HP@PETROSSIASSOC.COM



POPEYES

PROJECT

POPEYES
LOUISIANA KITCHEN
584 N. TUSTIN STREET
ORANGE, CALIFORNIA

DRAWING:

CONCEPTUAL SITE PLAN

CHECKED BY:

DATE: 10-22-2020

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

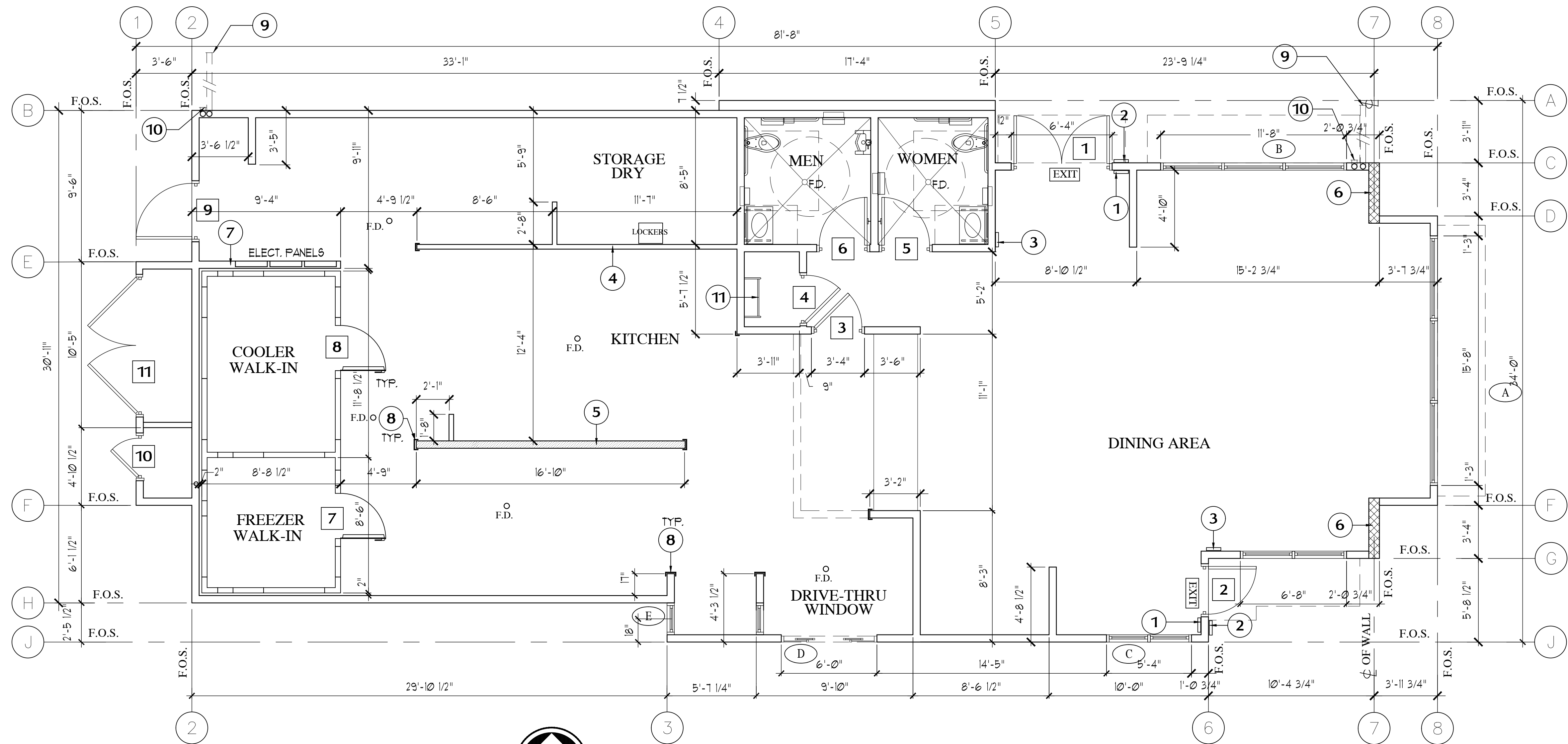
DRAWN BY

SHEET NO.:

A-1

CADFILE:

JOB NO. 421P-1020



FLOOR PLAN LAYOUT

1/4"=1'-0"

NOTES :

- 1- ALL WALLS ARE 2x6 STUDS UNO.
- 2-FOR EXTERIOR WALLS REFER TO STRUCTURAL DRAWINGS.
- 3-ALL PLUMBING AND UTILITY WALLS SHALL BE 2x6 UNO.

WALK-IN COOLER & FREEZER BY WELBILT :

- 1- FOAM PLASTIC THICKNESS : 4"
- 2-FLAME SPREAD INDEX : 20 W/ SMOKE DEVELOPED RATING :250-400
- 3-AGGREGATE FLOOR AREA : 175 SQ. FT.
- 4-METAL FACING THICKNESS : NOT LESS THAN ØØ32" ALUM.

WALL LEGEND :

- | | |
|--|--|
| | HARDY FRAME SEE STRUCT. DWGS. |
| | NEW 2x4 OR 2x6 STUD WALL |
| | METAL STUD WALL |
| | COOLER PANELS, PER COOLER MANUFACTURER |

FLOOR PLAN KEYED NOTES:

- 1 TACTILE EXIT SIGN TO READ "EXIT" MINIMUM 48" AFF. SEE DET. 16 / AD-2
- 2 INTERNATIONAL SYMBOL OF ACCESSIBILITY ENTRANCE SIGN
- 3 OCCUPANT LOAD SIGN WITH MINIMUM ONE INCH LETTERS AND NUMBERS CONTRASTING WITH THEIR BACKGROUND READING "MAXIMUM OCCUPANCY 51"
- 4 2 x 4 STUDS @ 16" O.C.
- 5 6" x 2Ø GA. MTL. STUDS @ 16" O.C.
- 6 HARDY FRAME SEE STRUCT. DWGS.
- 7 2x8 STUDS AT 24" O.C. AT ELECTRICAL PANELS
- 8 PROVIDE 2"x2"x FULL HEIGHT HIGH CORNER GUARDS ON ALL OUTSIDE CORNERS @ KITCHEN WALL, PROVIDE COMPLETE WRAP ON END WALLS.- SEE DETAIL 1 & 2-A4.
- 9 4" ROOF DRAIN DOWN FROM ROOF DAY LIGHT FACE OF CURB SEE SITE PLAN
- 10 4" OVERFLOW DOWN FROM ROOF 12" ABOVE FINISH SURFACE
- 11 LADDER TO ROOF SEE DET. 18/AD-2

GENERAL CONSTRUCTION NOTES :

GYPSUM BOARD / EXTERIOR SHEATHING NOTES:

1. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD NAILED IN ACCORDANCE WITH THE STRUCTURAL NAILING SCHEDULE. REFER TO 9/5-Ø.
2. WALLS TO RECEIVE TILE BASE SHALL HAVE 1/2" USG "DUROCK" INSTALLED TO 18" AFF. KITCHEN AND RESTROOM ONLY
3. THE REAR ENCLOSURE WALL SHALL BE 2x AND WAINSCOT TO MATCH MAIN BUILDING

INSULATION NOTES:

1. ALL EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO MATCH DEPTH OF WALL CAVITY.

KITCHEN WALL NOTES:

1. ALL KITCHEN WALLS SHALL RECEIVE 1/2" USG DUROCK INSTALLED UP TO 18" AFF. AND 1/2" MOISTURE RESISTANT PLYWOOD OR 5/8" DUROCK WALL BOARD OR 1/2" GYPSUM BOARD. REFER TO THE FLOOR PLAN FOR APPLICATIONS. PLYWOOD IS NEEDED FOR SHELVEY, 5/8" DUROCK IS NEEDED AT ALL HEAT PRODUCING EQUIPMENT AND 1/2" GYPSUM BOARD AT ALL OTHER LOCATIONS.

RESTROOM WALL NOTES:

1. ALL RESTROOM WALLS SHALL RECEIVE 1/2" USG DUROCK INSTALLED UP TO 18" AFF. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD FROM 18" TO UNDERSIDE OF TRUSSES. BLOCKING SHALL BE PROVIDED WHERE TOILET ROOM ACCESSORIES ARE BEING INSTALLED.

DINING AREA NOTES:

1. MARLITE TO ADHERE TO 1/2" PLYWOOD SUBSTRATE. PLYWOOD FROM FINISH FLOOR TO 2'-10" AFF.
2. MARLITE COVERING ON 1/2" GYPSUM BOARD.
3. INSTALL 1/2" GYPSUM WALL BOARD FROM 2'-10" TO UNDERSIDE OF TRUSSES.

BLOCKING NOTES:

1. "xxxxxxx" INDICATES BLOCKING REQUIRED IN WALL FOR PLUMBING LINES AND RESTROOM ACCESSORIES. BLOCKING SHALL BE FIRE RETARDANT WHERE REQUIRED BY CODE.
2. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR OBTAINING MANUFACTURERS' CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES KITCHEN EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.

FRAMING NOTES:

1. CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL, AND SOFFIT FRAMING. WHERE USED, METAL FRAMING TO BE 25 GA. UNLESS NOTED OTHERWISE (UNO.).
2. REFER TO FRAMING NOTES FOR WALL SECTIONS.
3. ALL INTERIOR WOOD FRAMING TO BE #2 SPRUCE, FIR OR WHITE PINE OR OF EQUAL GRADE. WHERE REQUIRED BY CODE, FRAMING SHALL BE #2 FIRE RETARDANT YELLOW PINE. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING.
4. ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESSURE TREATED.
5. ALL INTERIOR WALLS TO BE FRAMED TO UNDERSIDE OF TRUSS UNO.
6. ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/ 5/8" DIA. EXPANSION ANCHORS AT 6'-Ø" O.C. SEE STRUCTURAL DWGS. FOR SHEAR WALL ANCHORS.

REVISIONS:

DATE :

DESIGNED BY
Petrosi
AND ASSOCIATES
INC.

1300 BRISTOL ST. NORTH STE. 270
NEWPORT BEACH, CA 92660
TEL. (949) 833-3240
FAX (949) 833-1145
E-MAIL HP@PETROSSIASSOC.COM



POPEYES

PROJECT

POPEYES
LOUISIANA KITCHEN
584 N. TUSTIN STREET
ORANGE, CALIFORNIA

DRAWING:

FLOOR PLAN

CHECKED BY:

DATE: 1-28-2021

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

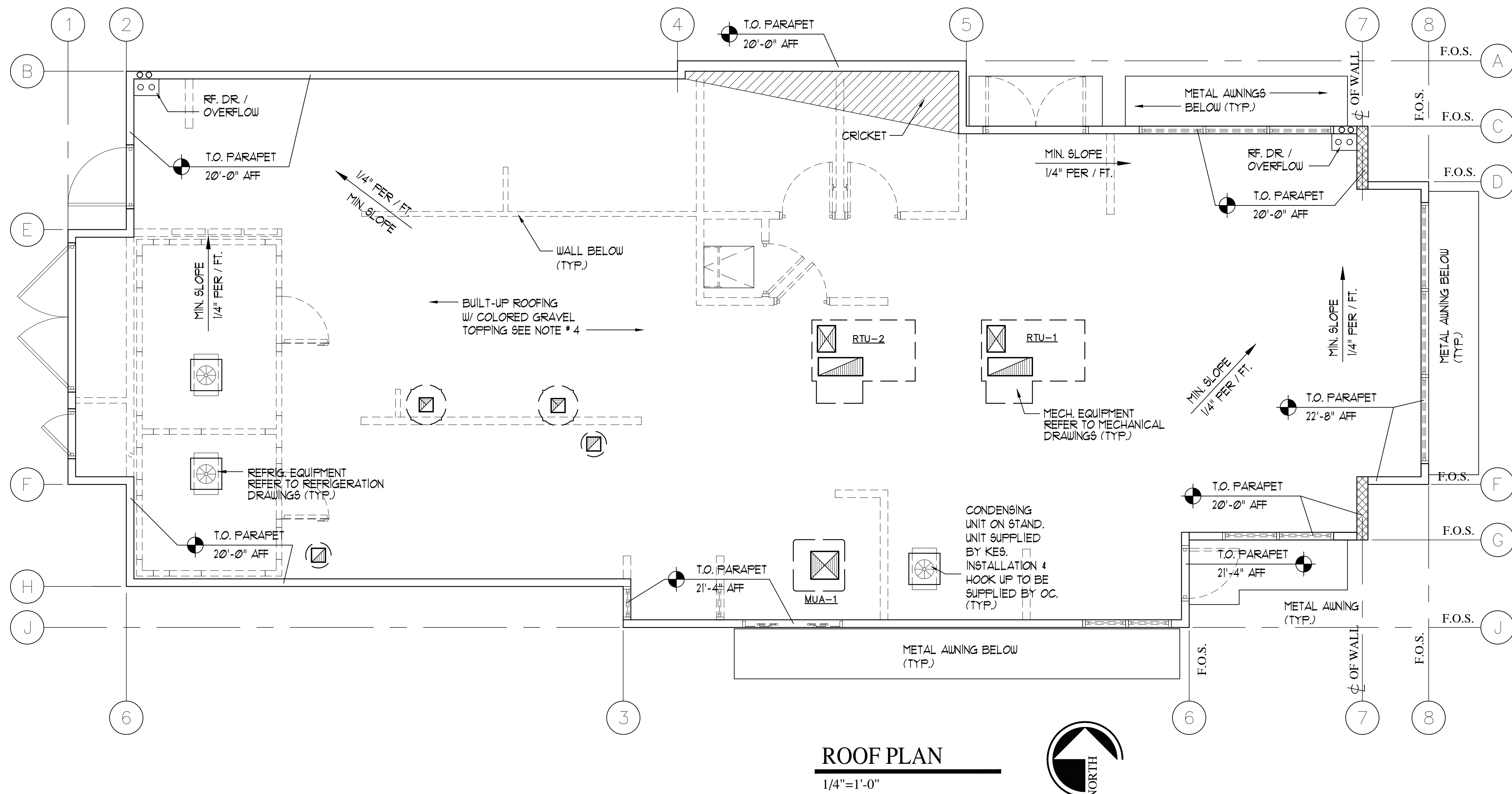
DRAWN BY

SHEET NO.:

A-2

CADFILE:

JOB NO. 421P-1020



- ROOF PLAN NOTES:**
1. VERIFY SIZES AND LOCATIONS OF ALL OPENINGS, PLATFORMS, ETC. WITH EACH RESPECTIVE CONTRACTOR.
 2. CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF ROOF AREA PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING OF ROOF.
 3. ALL A/C UNITS SHALL BE PLACED ON PLATFORMS IN AREAS PROVIDED FOR MECHANICAL EQUIPMENT (SEE ALSO NOTE #2 ABOVE)
 4. BUILT-UP ROOFING SHALL BE FIRE RETARDANT WITH "CLASS A" RATING AS MANUFACTURED BY "JOHNS MANVILLE" 4GNC-CR, MECHANICALLY FASTENED FIBER GLASS BASE SHEET WITH 2 TYPE VI ROOFING FELT FOLLOWED TITLE 24 COMPLIANT GRANULATED CAP SHEET. ESTIMATED WEIGHT OF 160 LBS. PER SQUARE FOOT. UL * TGFUR 10161
 5. ATTIC SPACES SHALL BE DIVIDED WITH DRAFTSTOPS INTO HORIZONTAL AREAS NOT EXCEEDING 3000 S. F. (100- LINEAR FEET MAX. W/ AUTO FIRE SPRINKLER)
 6. ALL ROOF MOUNTED EQUIPMENT SHALL BE PROVIDE WITH PLYWOOD CRICKETS AS REQUIRED, FOR POSITIVE DRAINAGE (TYPICAL)
 7. ROOF CRICKETS SHALL BE CONSTRUCTED FROM 2x4 FRAMING AT 16" O/C. AND COVERED WITH 3/4" PLYWOOD SHEATING. MAINTAIN MINIMUM SLOPE OF 3/8" PER FOOT.
 8. FOR ALL ROOFTOP EQUIPMENT REFER TO MACHANICAL AND REFRIGERATION DRAWINGS.
 9. FOR ALL PIPES PENETRATING THRU ROOF REFER TO DETAIL

1	2
-	-
 10. SYSTEM HAS SIZED FOR MIN. RAIN INTENSITY OF 3" PER HOUR.
 11. FOR ROOF TOP UNITS PLATFORM REFER TO STRUCTURAL DRAWINGS
 13. FOR ROOF AND OVERFLOW DRAINS SEE DETAIL

3
-

REVISIONS:	DATE :

DESIGNED BY
Petrosi
AND ASSOCIATES
INC.

100 BRISTOL ST. NORTH STE. 270
NEWPORT BEACH, CA 92660
TEL. (949) 833-3240
FAX (949) 833-1145
E-MAIL HP@PETROSSIASSOC.COM

LOUISIANA
KITCHEN

POPEYES

PROJECT

POPEYES
LOUISIANA KITCHEN

584 N. TUSTIN STREET
ORANGE, CALIFORNIA

DRAWING:

FOOF PLAN

CHECKED BY:

DATE: 1-28-2021

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY

SHEET NO.:

A-3

CADFILE:

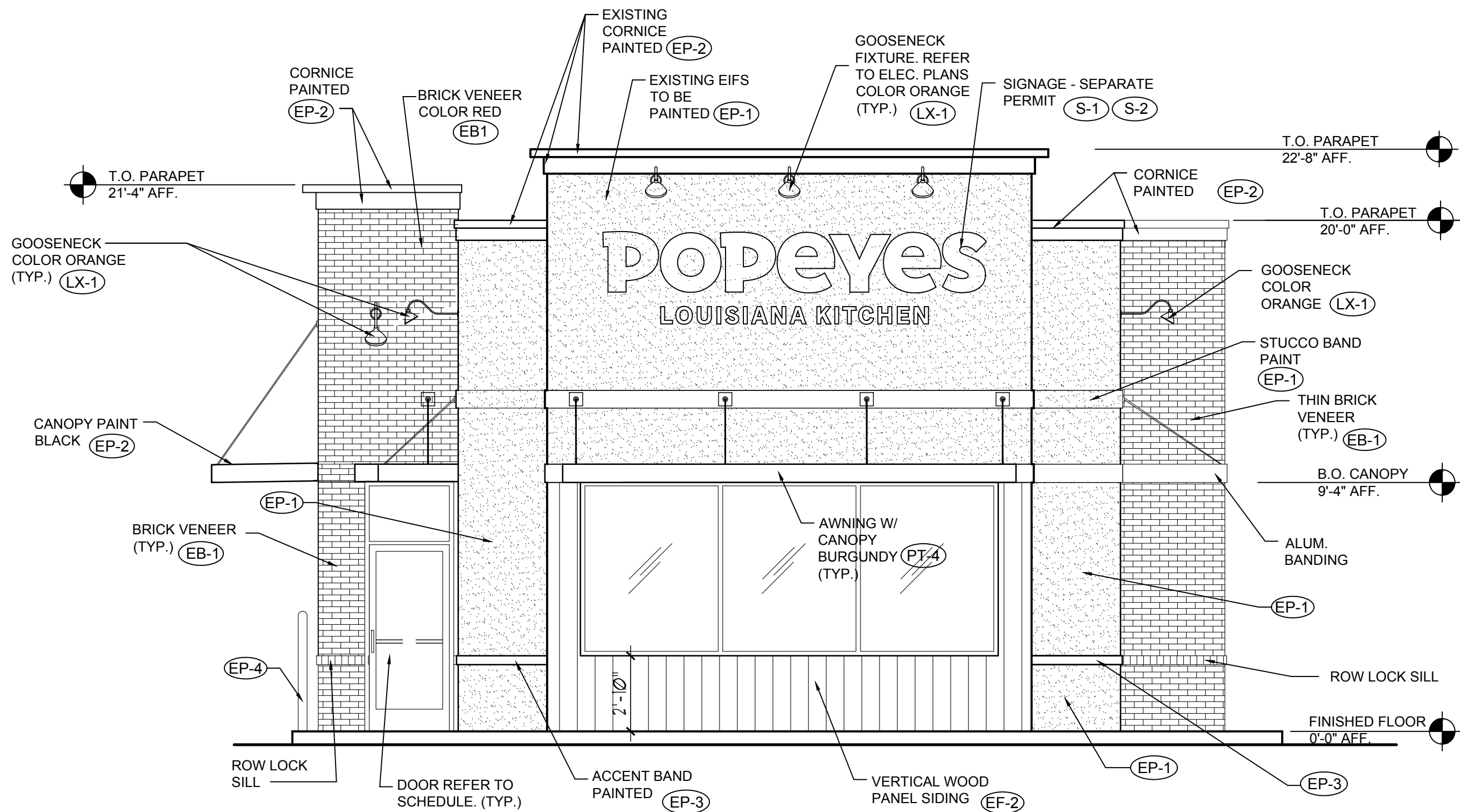
JOB NO. 421P-1020

5	4	3	2
FLASHING AT PARAPET	ROOF DRAIN WELL	VENT PIPE THRU ROOF	MULTIPLE PIPE PENETRATIONS
N.T.S.	N.T.S.	N.T.S.	N.T.S.

POPEYES LOUISIANA KITCHEN - EXTERIOR						
EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)						
05/06/20	CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT COLOR PRIMER: PAINT:	ADDITIONAL INFORMATION
	EP-1	EXTERIOR PAINT	MAIN WALL SURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	"WHITE" OC-125 Moonlight White	Contact: RODGER LIPPMAN, ARCHITECTURAL ACCOUNT phone: (800) 344-0400 Ext 5240 email: rodoer.lipcoman@benjaminmoore.com
	EP-2	EXTERIOR PAINT	PARAPET TRIM		"BLACK" 2120-20 Black Iron	
	EP-3	EXTERIOR PAINT	WAINSCOT ACCENT TRIM AND BELOW		"GRAY" HC-170 Stonington Grey	
	EP-4	EXTERIOR PAINT	BOLLARDS, PYLON POLE AND DIRECTIONAL SIGN POLES		"RED" 2086-10 Exotic Red	
	EP-5	METAL/PAINT	DRIVE THRU WINDOW CANOPY		PRIMER: Pro Industrial Pro-Cryl Primer B66-310 PAINT: Pro Industrial High Performance Acrylic B66-660 Gloss	FACTORY FINISH BLACK
	EP-7	EXTERIOR PAINT	DUMSPTER WALLS	BENJAMIN MOORE	"GRAY" HC-170 Stonington Grey	
	EP-7	EXTERIOR PAINT	DUMSPTER GATES		PRIMER: Pro Industrial Pro-Cryl Primer B66-310 PAINT: Pro Industrial High Performance Acrylic B66-600 Gloss	
	EP-8	EXTERIOR PAINT	ALL EXTERIOR WALLS		PAINT: Alicathic Acrylic Urethane Clear Gloss	
	EF-1	WOODEN SIDING PANEL	EXTERIOR WALLS	NICHHA	VINTAGE WOOD	CEDAR
	EB-1	BRICK	EXTERIOR TOWERS	DESIGN AND DIRECT SOURCE	ARCHITECTURAL URBAN SERIES	FLAGSTAFF
				Matt Stephenson (e) 770-805-9466 mstephenson@nichha.com		
				Allison Piche apiche@ccreslivematerials.com (e) 518-713-5395		

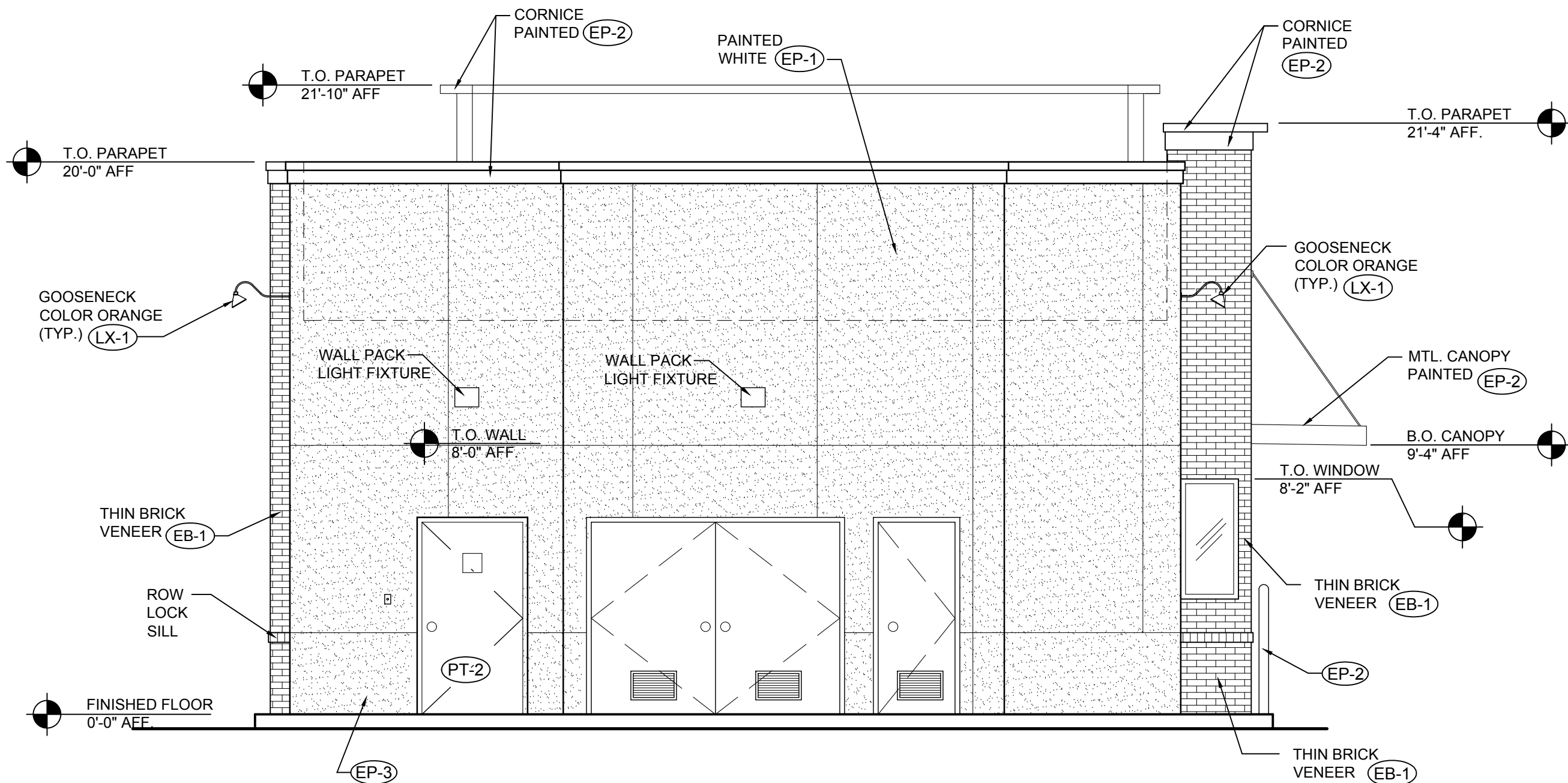
POPEYES LOUISIANA KITCHEN - LIGHTING						
INTERIOR AND EXTERIOR FIXTURE SCHEDULE (not all specs are used on every project)						
5/6/2020	TYPE	LOCATION	MANUFACTURER	EXTERIOR FIXTURES CATALOG NUMBER	COLOR TEMP	WATTAGE
	LX-1	EXTERIOR WALL	HERMETAGE	MODEL: H-HUPPDA7004R FINISH: CUSTOM COLOR ORANGE 4000 LUMENS	LED2, 3500K	38W
	LX-2	FLAT CANOPY	HERMETAGE	MODEL: E-CANOLIGHT #E-CP3,04CS 36 LED MODULES/ 4100 LUMENS	COOL WHITE 5000K	42W LED
INTERIOR FIXTURES						
TYPE	LOCATION	MANUFACTURER	CATALOG NUMBER	COLOR TEMP	WATTAGE/VOLTAGE	ADDITIONAL INFORMATION
L-1	COMMUNITY TABLE	HERMETAGE	MODEL: H-HUP2STPNSLN FINISH: 101 BRUSHED ALUMINUM (CANOPY PLATE), 91-BLACK (STEM), 97-BED (TOP OF SHADE), 101 OR 118 (ELBOW, COUPLINGS), 93-WHITE (INTERIOR SHADE)	9,12W (WARM WHITE)	9,12W	
L-2	FAMILY NOOK	HERMETAGE	MODEL: H-PP1B8H8DOP FINISH: RED (SHADE), 11-SATIN STEEL (STEM & CANOPY), OPAL (GLOBE)	1-MEDIUM BASE INC	100W	
L-3	CENTER BOOTH ELEMENT	HERMETAGE	MODEL: H-CS54GBL FINISH: DARK ORANGE, 91-BLACK & OPAL	2-MEDIUM BASE INC	2-100W	
L-4	PERIMETER WALL BOOTHS	HERMETAGE	MODEL: GALATIN, GALA, DIMENSIONS: 6.75" x .10", COLOR: TAN, WEIGHT: SLB.	LED 2700K		MOUNTING INSTRUCTIONS: FLAT CANOPY (1LT), TO HAVE RIDGE STEM.
L-5	DINING FRONT SERVICE COUNTER, AND RESTROOM CEILING	LST	MODEL: POLKABO-LED-07-30-120-PT06ADP/SGNC DIMENSIONS: 6" DIAMETER, COLOR: WHITE.	3000K	14W	
L-6	VESTIBULE PENDANT	HERMETAGE	MINIATURE GOOSENECK, SEE LX-1			
L-7	DOWNLIGHT TRELLIS	HERMETAGE	DIMENSIONS: 2" DIAMETER, COLOR: WHITE.	3000K	50W	

POPEYES LOUISIANA KITCHEN - INTERIOR						
INTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)						
05/06/20	CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION COLOR PRIMER: PAINT:	ADDITIONAL INFORMATION
	P-1	INTERIOR PAINT	BEADBOARD/BRICK WALLS & SOFFIT/CEILING	BENJAMIN MOORE	"WHITE" OC-68 Distinct Gray	Contact: RODGER LIPPMAN, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (800) 344-0400 Ext 5240
	P-2	INTERIOR PAINT	DOOR FRAME		"BLACK" 2123-20 Black Jack	
	P-3	INTERIOR PAINT	BRICK ACCENT		"ORANGE" SW 6886 Inconspire	
	P-4	INTERIOR PAINT	RESTROOM WALLS AND LED CHICKEN GRAPHIC	SHERWIN	"TEAL" OC-669 Oceanic Teal	Contact: RODGER LIPPMAN, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (800) 344-0400 Ext 5240
	BR-1	THIN BRICK	DINING ROOM ACCENT WALLS	BRICK-IT	SPECS: New York Used Brick Finish paint P-1	Allison Piche apiche@ccreslivematerials.com (e) 518-713-5395
	F-1	BEADBOARD	DINING ROOM ACCENT WALLS	NAWTUCKET BEADBOARD	SPECS: Finish paint P-1	Contact: Rebecca Nelson phone: (603) 390-1070 rebecca@rebecca.com
	TL-1	BASE TILE	WALL BASE	CREATIVE MATERIALS CORP	SPECS: Business State GROUT: MADEI	Allison Piche apiche@ccreslivematerials.com (e) 518-713-5395
	TL-2	FIELD TILE	DINING ROOM	CREATIVE MATERIALS CORP	SPECS: Business State GROUT: MADEI	
	TL-3	RESTROOM TILE	RESTROOM FLOOR & WALLS	CREATIBRIVE MATERIALS CORP	SPECS: Business State GROUT: MADEI	
	TL-4	WALL TILE	FRONT SERVICE COUNTER WALL	CREATIVE MATERIALS CORP	SPECS: Glazed Thin Brick GROUT: MADEI	
	L-1	LAMINATE	RESTROOM DOORS		SPECS: TO MATCH BEVERAGE STATION LAMINATE	
	SS-1	SOLID SURFACE	FSC COUNTERTOP	HI-MACS	SPECS: G555 Steel Concrete	** included in Scating Concepts order



EAST ELEVATION

1/4"=1'-0"



WEST ELEVATION

1/4"=1'-0"

REVISIONS: DATE :

DESIGNED BY
Petrosi
AND ASSOCIATES
INC.
1300 BRISTOL ST. NORTH STE. 270
NEWPORT BEACH, CA 92660
TEL. (949) 833-3240
FAX (949) 833-1145
E-MAIL HP@PETROSSIASSOC.COM



PROJECT

POPEYES
LOUISIANA KITCHEN
584 N. TUSTIN STREET
ORANGE, CALIFORNIA

DRAWING:

ELEVATIONS

CHECKED BY:

DATE: 1-28-2021

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

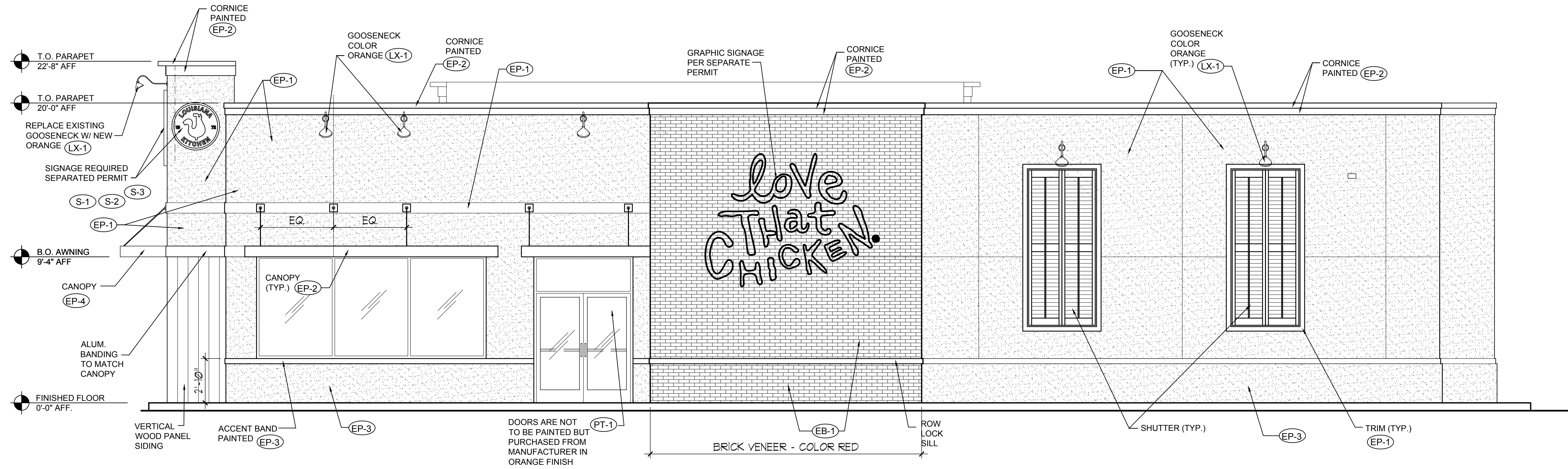
DRAWN BY

SHEET NO.:

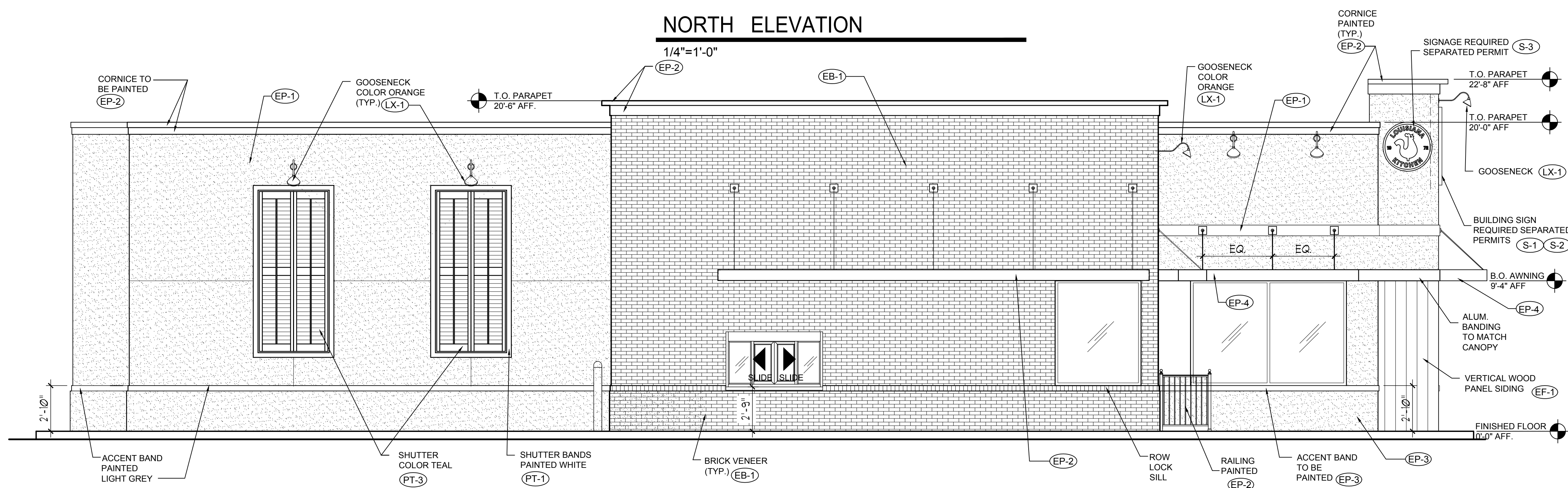
A-4

CADFILE:

JOB NO. 421P-1020



NORTH ELEVATION



SOUTH ELEVATION

POPEYES LOUISIANA KITCHEN - EXTERIOR						
EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)						
05/06/20	CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION	ADDITIONAL INFORMATION
	EP-1	EXTERIOR PAINT	MAIN WALL SURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	PRODUCT: "WHITE" PRIMER: PAINT:	Contact: RODGER LIPPMAN, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (800) 344-0400 Ext 5240 email: rodger.lippman@benjaminmoore.com
	EP-2	EXTERIOR PAINT	PARAPET TRIM		PRODUCT: "BLACK" PRIMER: PAINT:	
	EP-3	EXTERIOR PAINT	WAINSCOT ACCENT TRIM AND BELOW		PRODUCT: "GRAY" PRIMER: PAINT:	
	EP-4	EXTERIOR PAINT	BOLLARDS, Pylon POLE AND DIRECTIONAL SIGN POLES		PRODUCT: "RED" PRIMER: PAINT:	
	EP-5	METAL/PAINT	DRIVE THRU WINDOW CANOPY		PRODUCT: "FACTORY FINISH BLACK" PRIMER: PAINT:	
	EP-7	EXTERIOR PAINT	DUMPSITER WALLS	BENJAMIN MOORE	PRODUCT: "GRAY" PRIMER: PAINT:	
	EP-7	EXTERIOR PAINT	DUMPSITER GATES		PRODUCT: "FACTORY FINISH BLACK" PRIMER: PAINT:	
	EP-8	EXTERIOR PAINT	ALL EXTERIOR WALLS		PRODUCT: "ANTI-GRAFFITI PAINT" PRIMER: PAINT:	
	EP-1	WOODEN SIDING PANEL	EXTERIOR WALLS	NICHHA	PRODUCT: "CEDAR" PRIMER: PAINT:	Matt Stephenson (o) 770-905-9466 mstephenson@nichha.com

POPEYES LOUISIANA KITCHEN - LIGHTING							
INTERIOR AND EXTERIOR FIXTURE SCHEDULE (not all specs are used on every project)							
5/6/2020	TYPE	LOCATION	MANUFACTURER	EXTERIOR FIXTURES CATALOG NUMBER	COLOR TEMP	WATTAGE	ADDITIONAL INFORMATION
	LX-1	EXTERIOR WALL	HERMITAGE	MODEL: H-HLPR8A3Y044L FINISH: CUSTOM COLOR ORANGE 4000 LUMENS	LED2, 3500K	38W	
	LX-2	FLAT CANOPY	HERMITAGE	MODEL: E-CONOLIGHT #E-CP2LD4CS 36 LED MODULES/ 4100 LUMENS	COOL WHITE 5000K	42W LED	

REVISIONS: DATE :

DESIGNED BY

Petrosi

AND ASSOCIATES

INC.

100 BRISTOL ST. NORTH STE. 270
NEWPORT BEACH, CA 92660
TEL. (949) 833-3240
FAX (949) 833-1145
E-MAIL HP@PETROSSASSOC.COM

LOUISIANA

KITCHEN

POPEYES

PROJECT

POPEYES
LOUISIANA KITCHEN
584 N. TUSTIN STREET
ORANGE, CALIFORNIA

DRAWING:

ELEVATIONS

CHECKED BY:

DATE: 1-28-2021

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION




DRAWN BY


SHEET NO.:

A-5

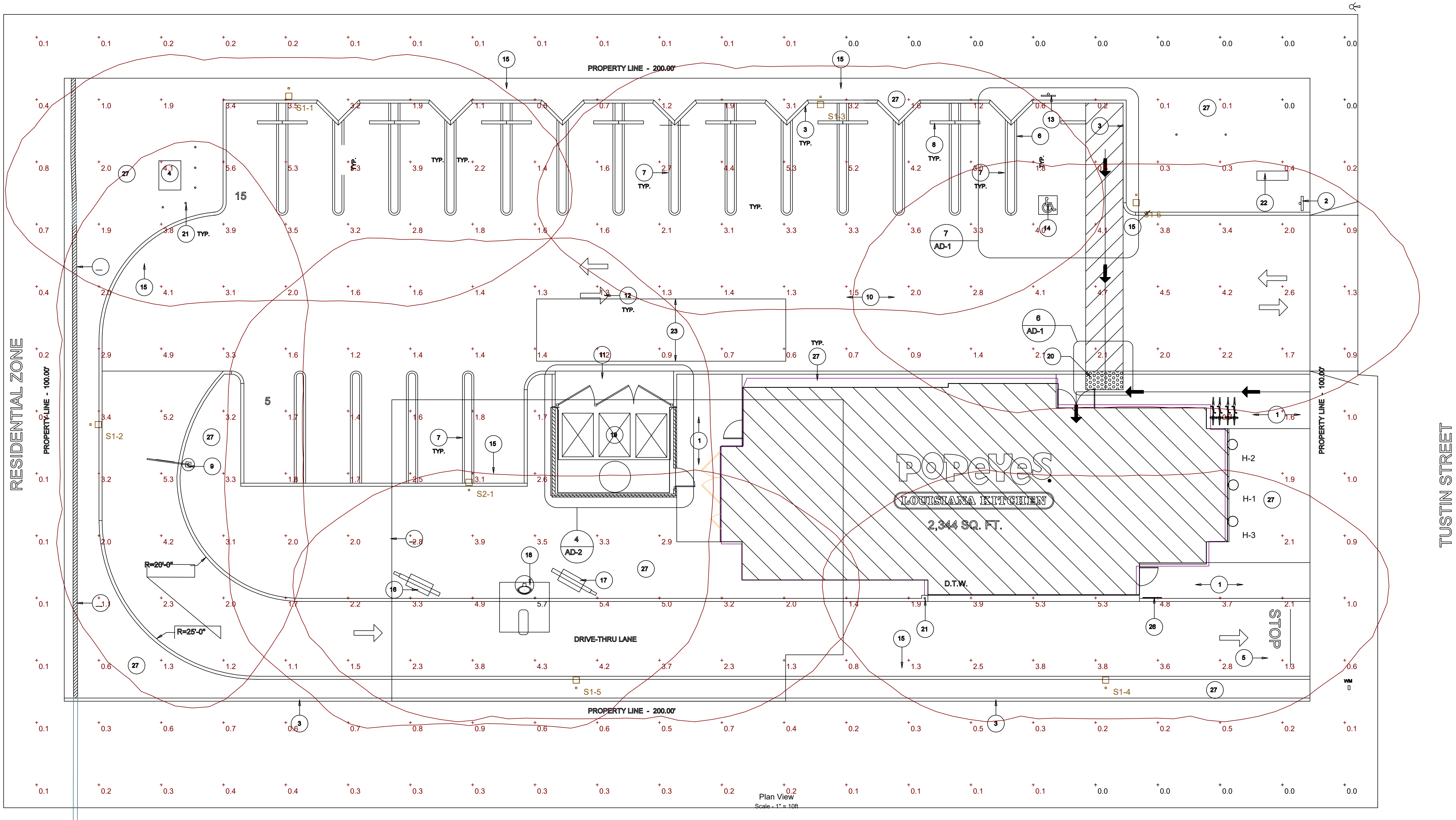
CADFILE:

JOB NO. 421P-1020

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	S1	6	Lithonia Lighting	DSX0 LED P3 40K BLC MVOLT	DSX0 LED P3 40K BLC MVOLT	LED	1	6925	1	71
	S2	1	Lithonia Lighting	DSX0 LED P3 40K T5W MVOLT	DSX0 LED P3 40K T5W MVOLT	LED	1	8712	1	71
	H	3	US Architectural Lighting	DSCRB22-LED-VPA-III-24LED-350mA-TRA	FABRICATED METAL HOUSING, VPA LED MODULE CONSISTING OF:	24 TRA TRUE AMBER-590NM LIGHT EMITTING DIODES (LEDs).	24	29	0.8	20.3

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE LIGHTING		1.8 fc	5.7 fc	0.0 fc	N/A	N/A

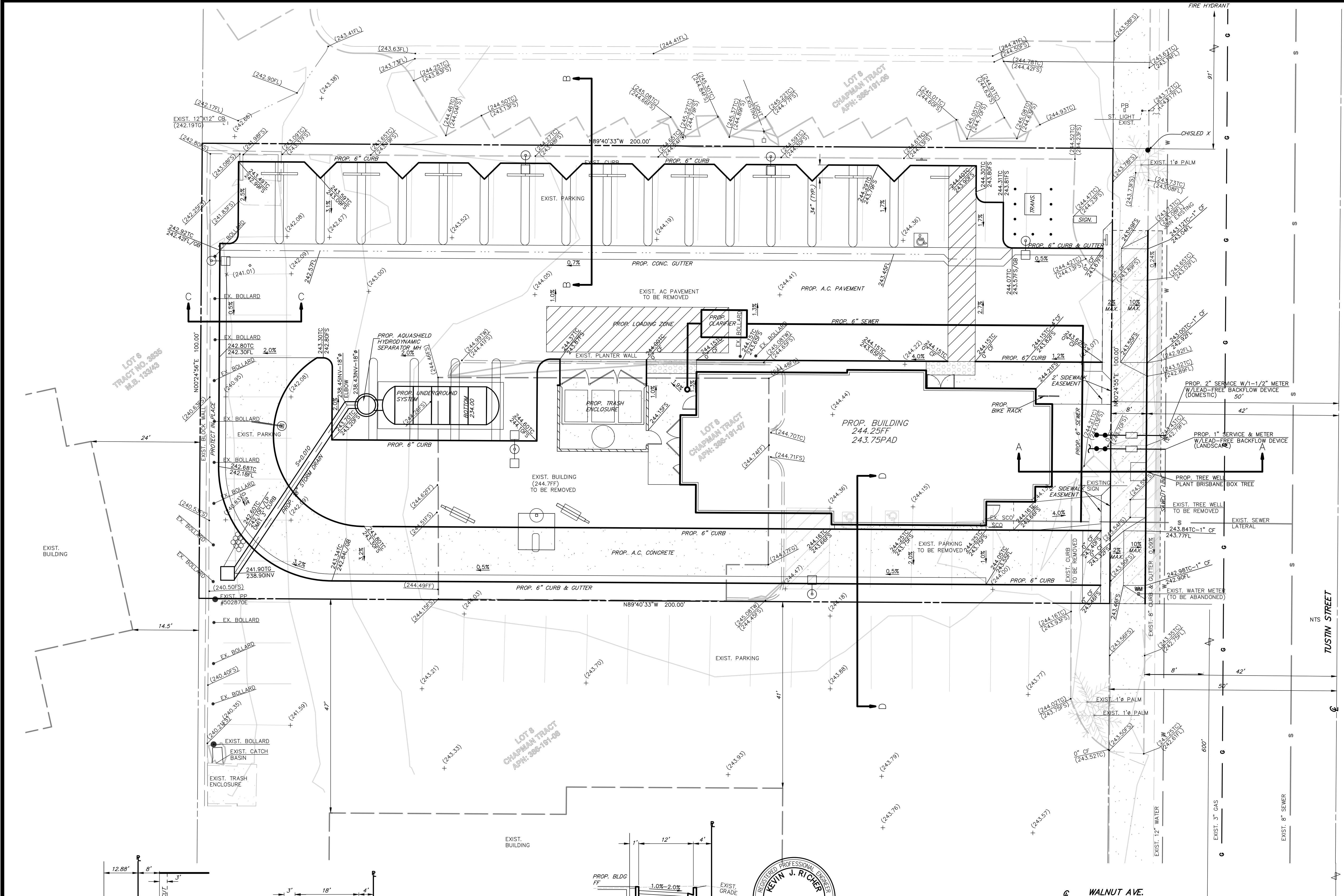
Luminaire Locations						
Location						
No.	Label	X	Y	Z	MH	Orientation
1	H	147.48	-501.57	10.00	10.00	0.00
2	H	147.33	-495.07	10.00	10.00	0.00
3	H	147.40	-507.42	10.00	10.00	0.00
1	S1	-4.16	-437.91	16.00	16.00	180.00
2	S1	-35.99	-491.88	16.00	16.00	90.00
3	S1	81.22	-439.27	16.00	16.00	180.00
4	S1	126.99	-534.15	16.00	16.00	0.00
5	S1	41.99	-534.15	16.00	16.00	0.00
6	S1	131.90	-455.00	16.00	16.00	180.00
1	S2	24.78	-502.39	16.00	16.00	0.00



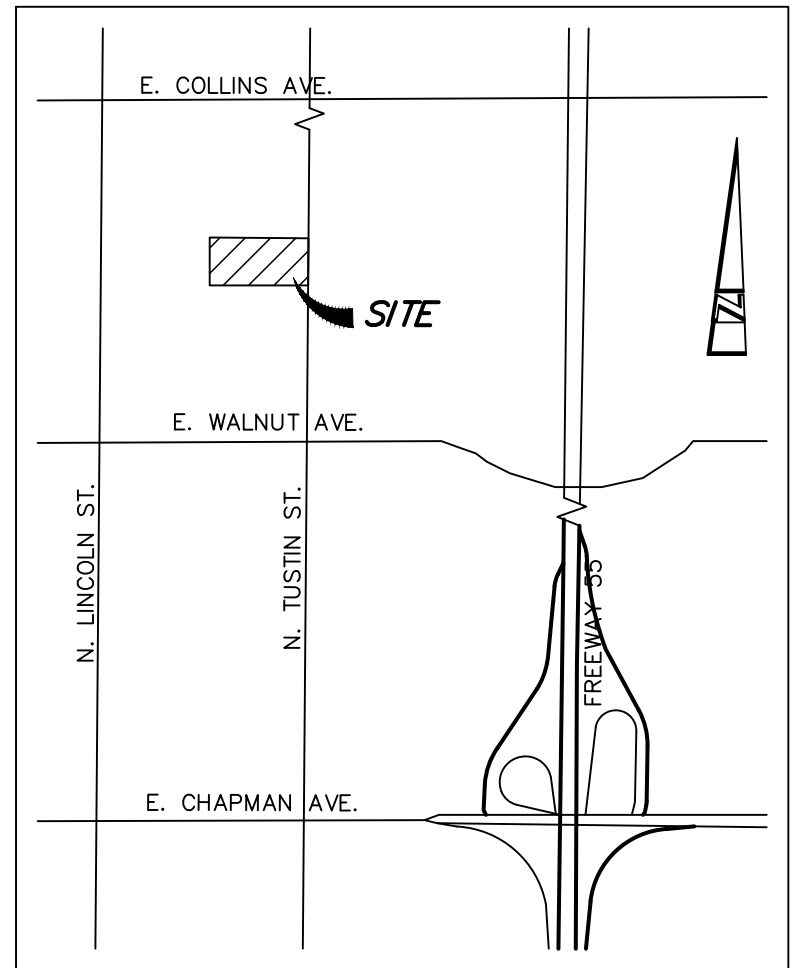
POPEYES
CITY OF ORANGE
SITE PHOTOMETRICS

Designer
STEVE DOMINGUEZ
805-701-8156
Date
6/15/2015
Scale
Not to Scale
Drawing No.

Summary



- LEGEND**
- BW BACK OF WALK
 - EG EXISTING GRADE
 - FG FINISH GRADE
 - FS FINISH SURFACE
 - TC TOP OF CURB
 - FL FLOW LINE
 - EP EDGE OF PAVEMENT
 - FF FINISH FLOOR
 - PAD PAD GRADE
 - TW TOP OF WALL
 - TF TOP OF FOOTING
 - HP HIGH POINT
 - LP LOW POINT
 - CF CURB FACE
 - TG TOP OF GRATE
 - TRW TOP OF RETAINING WALL
 - EDF EXTRA DEPTH FOOTING
 - INV INVERT OF PIPE
 - TOP OF SLOPE
 - RATE OF SLOPE
 - TOE OF SLOPE
 - EXISTING SEWER
 - EXISTING WATER
 - EXISTING FIRE HYDRANT
 - EXISTING FDC
 - EXISTING WATER VALVE
 - EXISTING GAS METER
 - EXISTING WATER METER
 - EXISTING PULL BOX
 - EXISTING ICV
 - EXISTING STREET LIGHT
 - EXISTING CONTOUR
 - FINISH CONTOURS
 - DAYLIGHT LINE
 - REMOVAL
 - EXIST. CONCRETE
 - CONCRETE
 - ASPHALT PAVING
 - OVERLAY



DIGALERT
DIAL TOLL FREE
811
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

SECTION A-A
NTS

SECTION B-B
NTS

SECTION D-D

SECTION C-C
NTS

BENCHMARK	REVISIONS:		PREPARED UNDER THE SUPERVISION OF:	
			KEVIN J. RICHER R.C.E. 43714 LIC. EXP. 3/31/23 DATE	
			APPROVED BY: DATE	

PRELIMINARY GRADING PLAN

SITE:
584 N TUSTIN ST.
ORANGE, CA 92867

PREPARED FOR:
PETROSSI & ASSOCIATES
1300 BRISTOL STREET N., SUITE 270
NEWPORT BEACH, CA 92660
(949) 833-3240

DATE:	JOB NO.
4/26/2021	6314
DRAWN BY:	SCALE
RR	1"=10'
DESIGNED BY:	SHEET 1
KJR	OF
CHECKED BY:	1 SHEETS

LAND DEVELOPMENT DESIGN COMPANY, LLC
PLANNING • CIVIL • SURVEYING
2313 E. Philadelphia St., Ste. F
Ontario, CA 91761
(909) 930-1466 • FAX (909) 930-1468

WATER EFFICIENT LANDSCAPE WORKSHEET							
ORANGE, CA							
Reference Evapotranspiration (ET ₀):				49.20			
Hydrozone #/Planting Description ^A	Plant Factor (PF)	Irrigation Method ^B	Irrigation Efficiency (IE) ^C	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^D
REGULAR LANDSCAPE AREAS							
LW	0.30	DRIP	0.81	0.37	3905.00	1446.30	44117.82
MWTR	0.40	BUBBLERS	0.80	0.50	725.00	362.50	11057.70
				TOTALS:	4630.00	1808.80	
						ETWU TOTAL	55175.52
						Maximum Allowed Water Allowance (MAWA) ^E	77678.44
ETAF CALCULATIONS							
REGULAR LANDSCAPE AREAS							
TOTAL ETAF x AREA				1808.80			
TOTAL AREA				4630.00			
AVERAGE ETAF				0.39			

^A Hydrozone # / Planting Description
MW = Moderate Water use Plants
MWTR = Moderate Water use Trees

^B Irrigation Method
B = Bubbler
D = Drip

^C Irrigation Efficiency
0.80 for bubbler
0.81 for drip

^D ETWU (Annual Gallons Required)
ET₀ x 0.62 x ETAF x Area

Where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^E MAWA (Annual Gallons Allowed)
(ET₀)(0.62)(ETAF x LA)

Where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

LANDSCAPE TABULATIONS:

Total landscape area: 4630 sq. ft. (23.15% of site)

On site Tree Tabulations:

8 Trees at 22 parking stalls
8 Trees along remaining site perimeter
1 Tree at from setback (36" box minimum)
1 Trees in center island

Number of trees total: 19 Trees

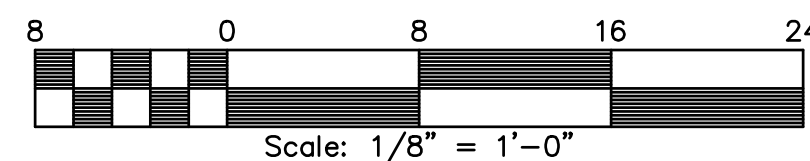
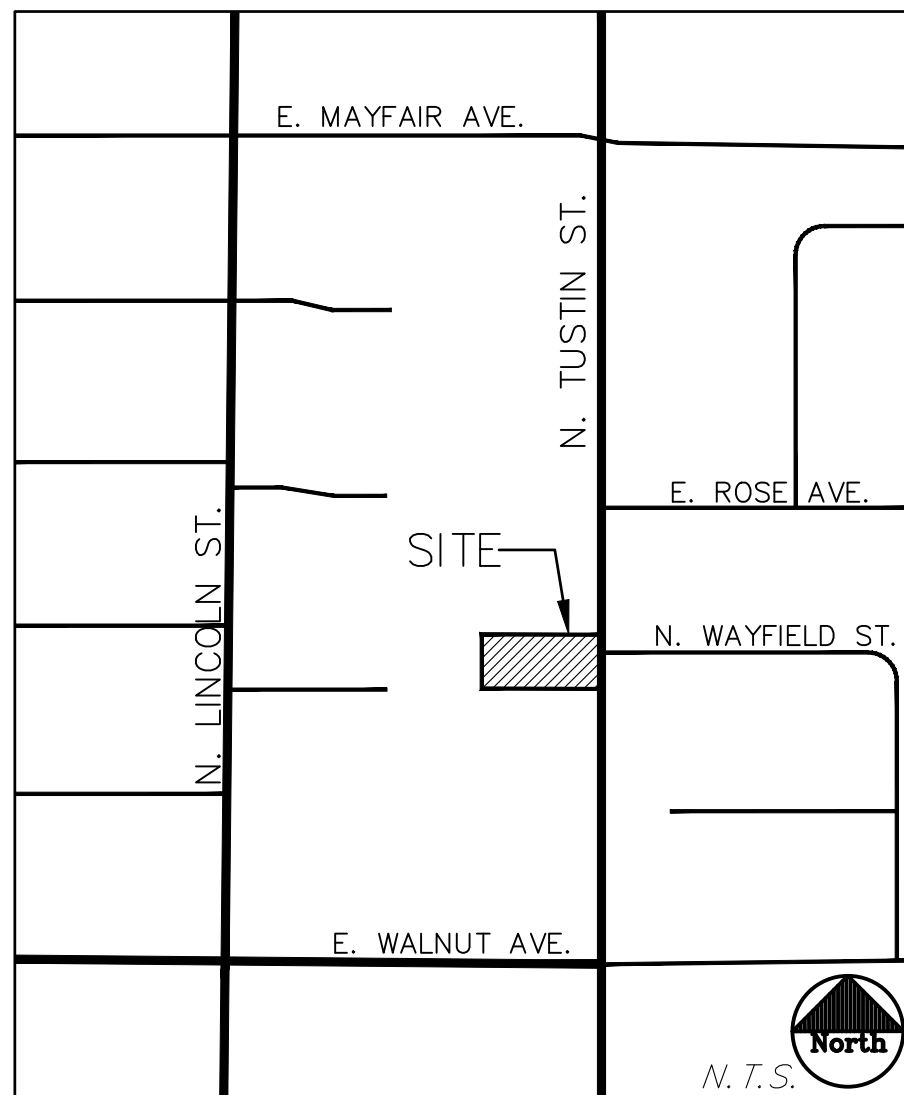
NOTES:

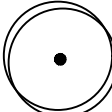



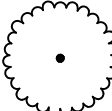

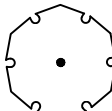
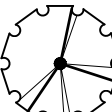

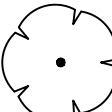
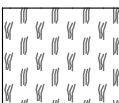

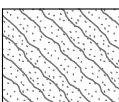
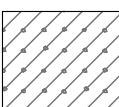



- Quantities shown on plant list are to be verified by Contractor.
- Any trees planted within five feet of curbs or paving shall be installed with a root barrier per detail.
- Trees in street-side setback areas shall be minimum 36" box size.

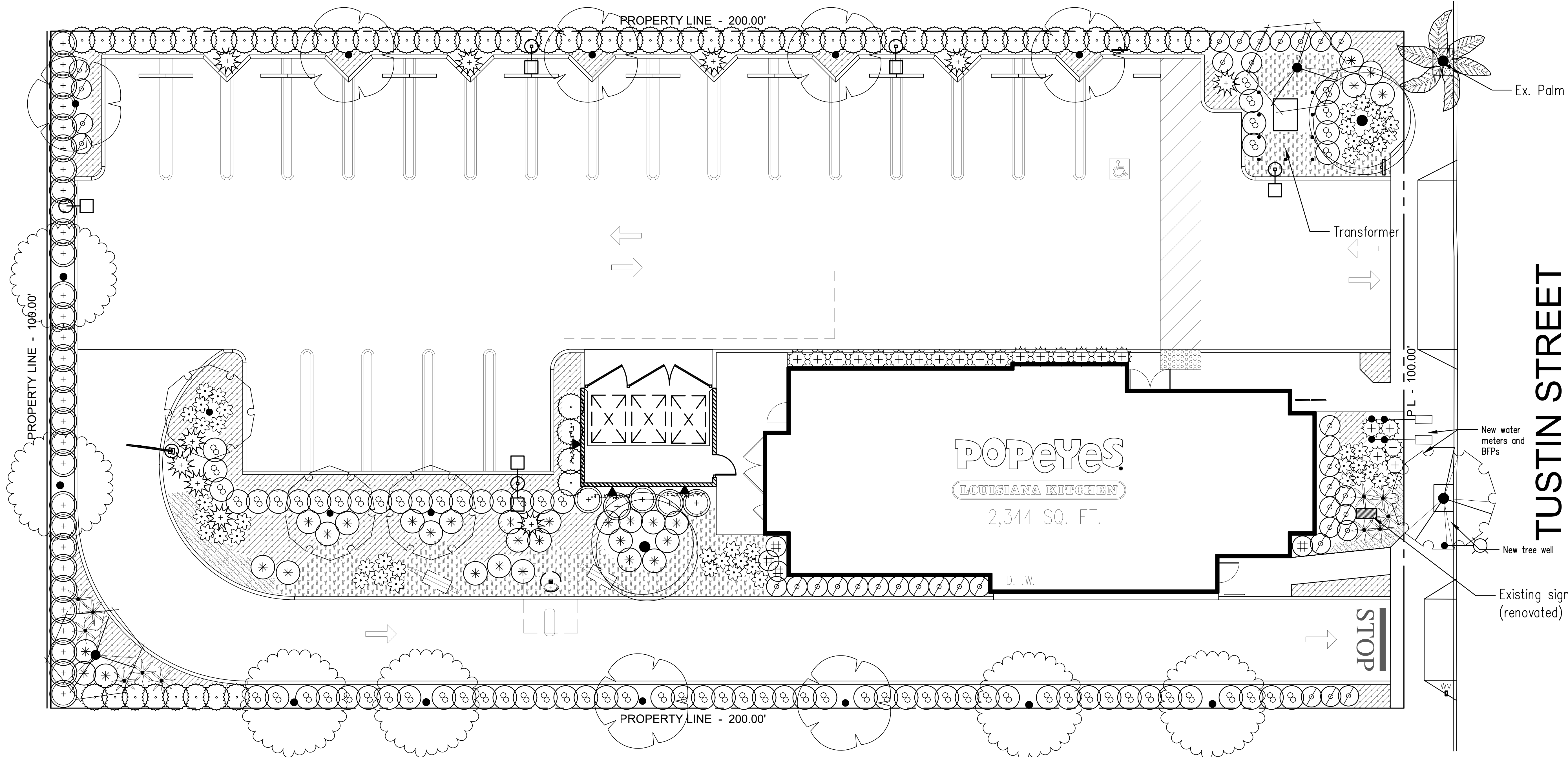
IRRIGATION NOTES:

- Automatic irrigation system to be installed that is water efficient, appropriate for the landscape hydrozones and provides 100% coverage.
- Landscape planting will meet MAWA water use requirements by using a low water efficient irrigation system and weather based smart controller.
- Landscape planting to be irrigated the following ways:
 - Trees: stream bubblers
 - All other planting areas: drip irrigation
 - Groundcover in parkway: drip irrigation
- Irrigation plans shall provide separate systems for tree stream bubblers.
- Weather based smart controller such as Hunter X-Core, or Hunter PCC will be used.

VICINITY MAP



CONCEPT PLANT LIST							
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	Arbutus x `Marina` Marina Strawberry Tree	24" Box	L		Myrtus communis `Compacta` Dwarf Myrtle	5-gal.	L
	Cercis occidentalis Western Redbud	36" Box	L		Nandina domestica Heavenly Bamboo	5-gal.	L
	Geijera parviflora Australian Willow	24" Box	L		Westringia fruticosa `Wynabbie Gem` Wynabbie Gem Coast Rosemary	5-gal.	L
	Lagerstroemia indica x fauriei `Natchez` Natchez Crape Myrtle	24" Box	M	VINES	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	Lophostemon confertus Brisbane Box	24" Box	M		Ficus repens Creeping Fig	5-gal.	M
	Prunus cerasifera `Krauter Vesuvius` Purple Leaf Plum	24" Box	M	GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
PALMS	BOTANICAL / COMMON NAME	SIZE	WUCOLS		Achillea millefolium Common Yarrow	Flats	L
	Archontophoenix cunninghamiana King Palm	Existing			Dymondia margaretae Silver Carpet Dymondia	1-gal	L
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS		Lantana montevidensis Trailing Lantana (mix white & purple)	1-gal	L
	Callistemon viminalis `CV01` TM Slim Weeping Bottlebrush	5-gal.	L				
	Callistemon viminalis `Little John` Little John Weeping Bottlebrush	5-gal.	L				
	Hemerocallis x `Butterscotch Ruffles` Butterscotch Ruffles Daylily	5-gal.	M				



REVISIONS	BY

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ROYAL OAK DESIGN AND COPYRIGHT OF ROYAL OAK DESIGN. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ROYAL OAK DESIGN. ROYAL OAK DESIGN SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCY OR OMISSIONS IN ANY DRAWINGS OR SPECIFICATIONS PREPARED BY OTHERS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF ROYAL OAK DESIGN PRIOR TO COMMENCEMENT OF THE WORK.

ROYAL OAK DESIGN
Sylvia E. Lyons, Landscape Architect #1549
2456 Hummingbird Way
La Verne, CA 91750-2371
Telephone: (909) 593-4158
Email: royaloakdesign@verizon.net

CONCEPTUAL LANDSCAPE PLAN
PROJECT: POPEYES LOUISIANA KITCHEN
ADDRESS: 584 N. TUSTIN STREET, ORANGE, CA



DRAWN
S.L. / J.S.
DATE
6/10/2021
SCALE
1/8" = 1' - 0"
JOB NO.
5402
SHEET

L-1

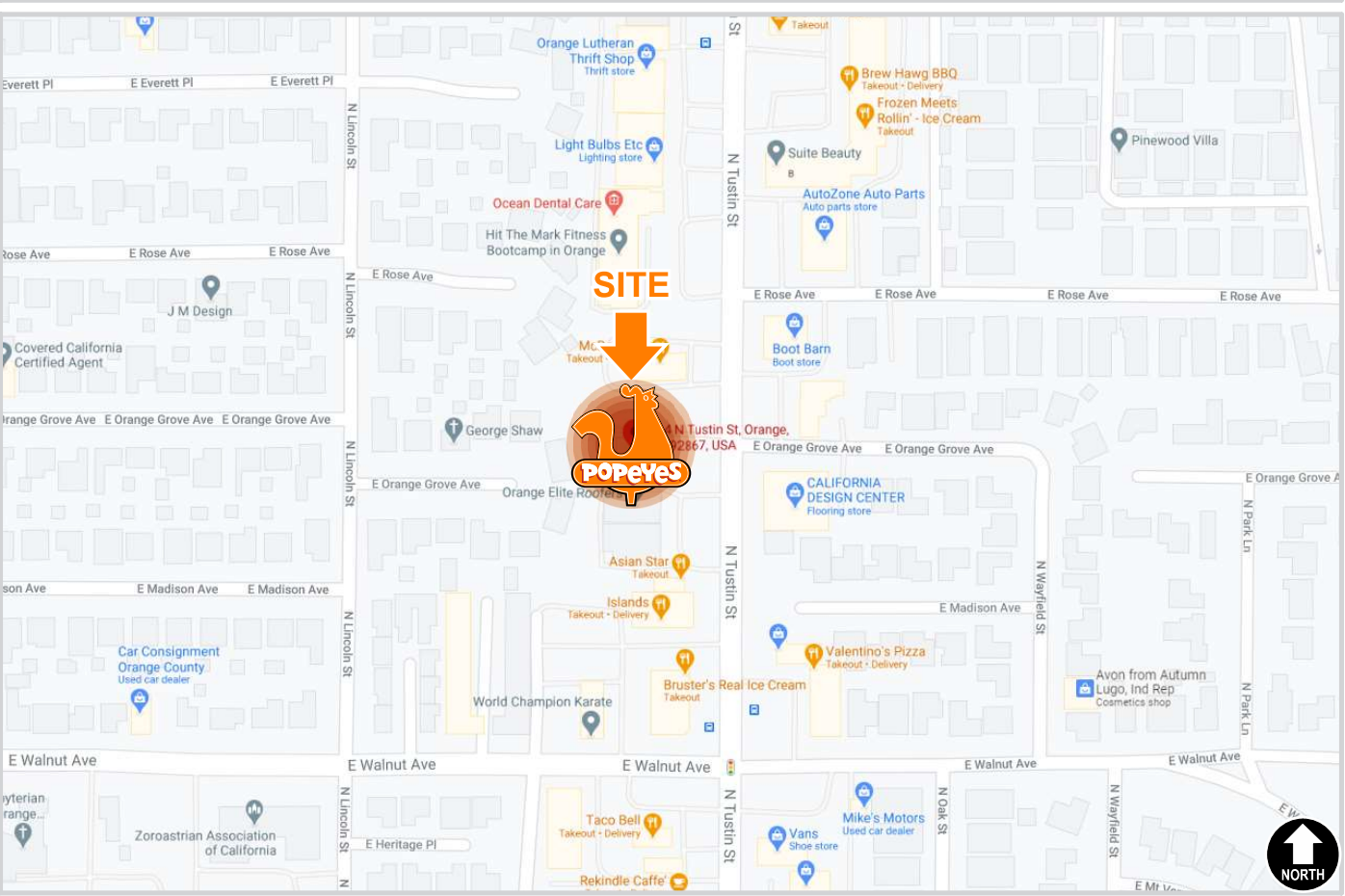




SCHEDULE

- N1 - (1) 27" ILLUMINATED CHANNEL LETTERS WITH 8" LK TAGLINE ILLUMINATED CHANNEL LETTERS ON WIREWAY
N2 - (1) 36" ILLUMINATED BUILDING SEAL
N3 - (1) 36" ILLUMINATED BUILDING SEAL
N4 - (1) NON-ILLUMINATED FCO LETTERS "LOVE THAT CHICKEN"
N5 - (1) 10'-0"x4'-0"x8" DRIVE THRU WINDOW CANOPY (PAINTED BLACK)
N6 - (1) 7'-0"x3'-0"x8" CANOPY (PAINTED BLACK)
N7 - (1) 5'-0"x3'-0"x8" CORNER CANOPY (PAINTED RED)
N8 - (1) 10'-0"x3'-0"x8" CANOPY (PAINTED RED)
N9 - (2) 17'-0"x3'-0"x8" CANOPY (PAINTED RED)
N10 - (1) 7'-0"x3'-0"x8" CANOPY (PAINTED RED)
N11 - (2) NON-ILLUMINATED 8" TALL BUILDING FASCIA BAND
N12 - (1) 3'-0" GUARDRAIL WITH PLATES
N13 - (1) CLEARANCE BAR
N14 - (1) DRIVE THRU MENU CANOPY
N15 - (1) SPEAKER BOX
N16 - (2) MONUMENT REPLACEMENT FACE
N17 - (1) 27" ILLUMINATED CHANNEL LETTERS (NO LK TAGLINE)

LEGEND



VICINITY MAP

NOT TO SCALE

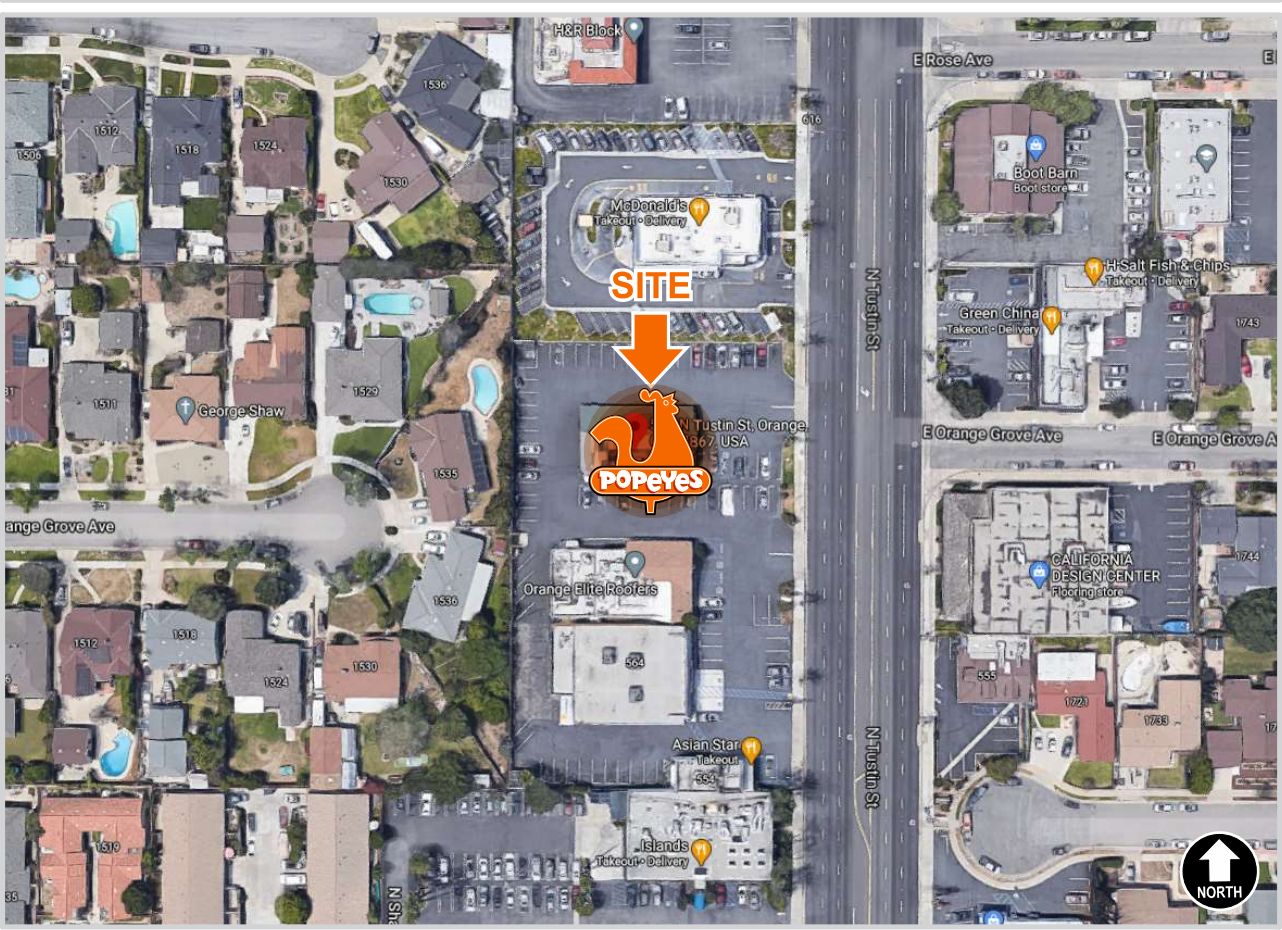


POPEYES
Cavada Development
584 N Tustin St.
Orange, CA 92867

APPROVAL		
X	Title	Date

SIGN CODE		

SQUARE FOOTAGE INFORMATION



AERIAL MAP

NOT TO SCALE



LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

1 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



LOREN
LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:
02-21-0002R2

PAGE NO.:
2 OF 21

CLIENT:
POPEYES

ADDRESS
584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:
02/03/2021

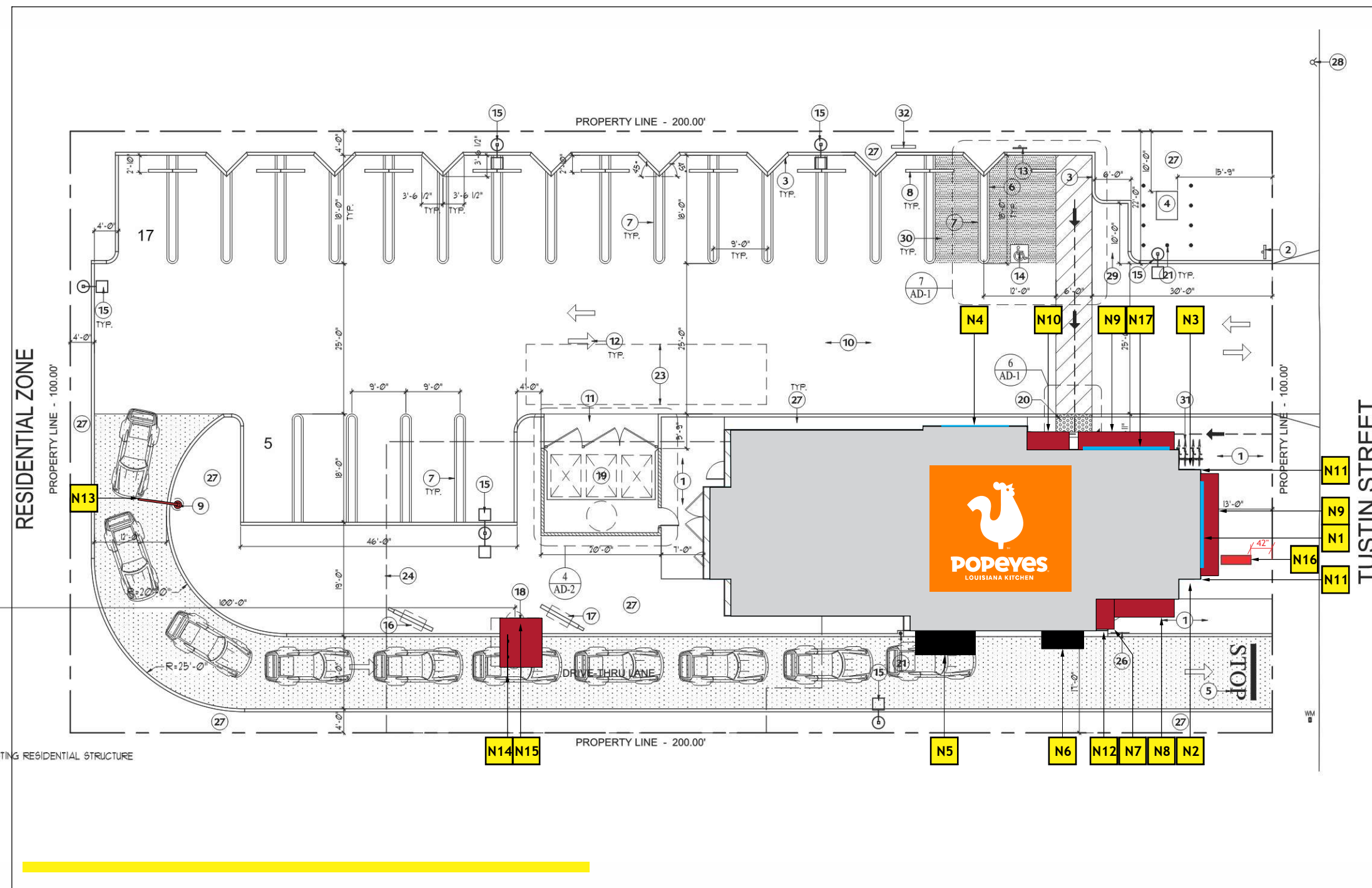
PROJECT MANAGER
Dave P.

DESIGNER:
EC

REVISION DATE:
06/02/2021

REVISION BY:
Jose Soria

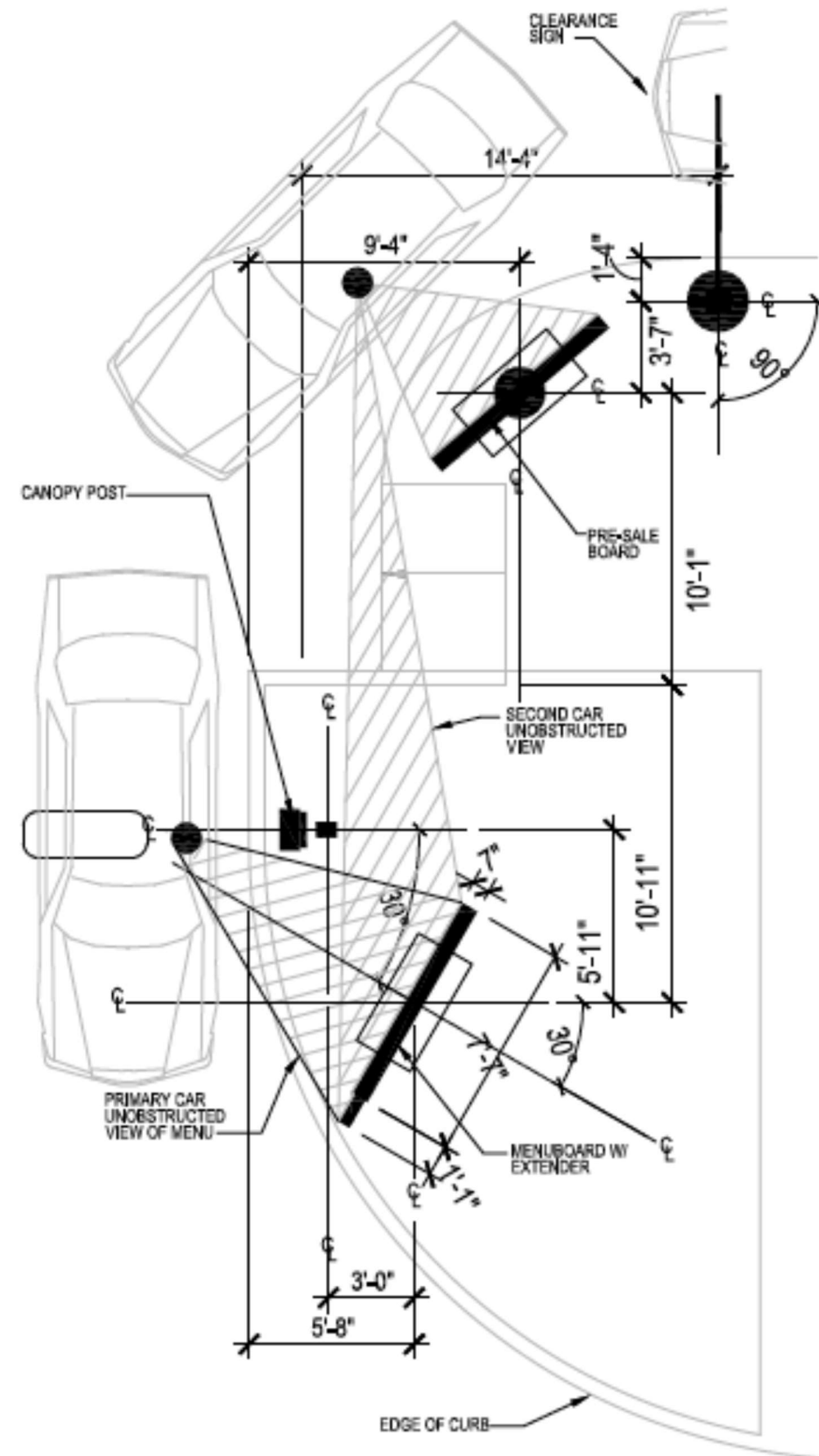
ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.



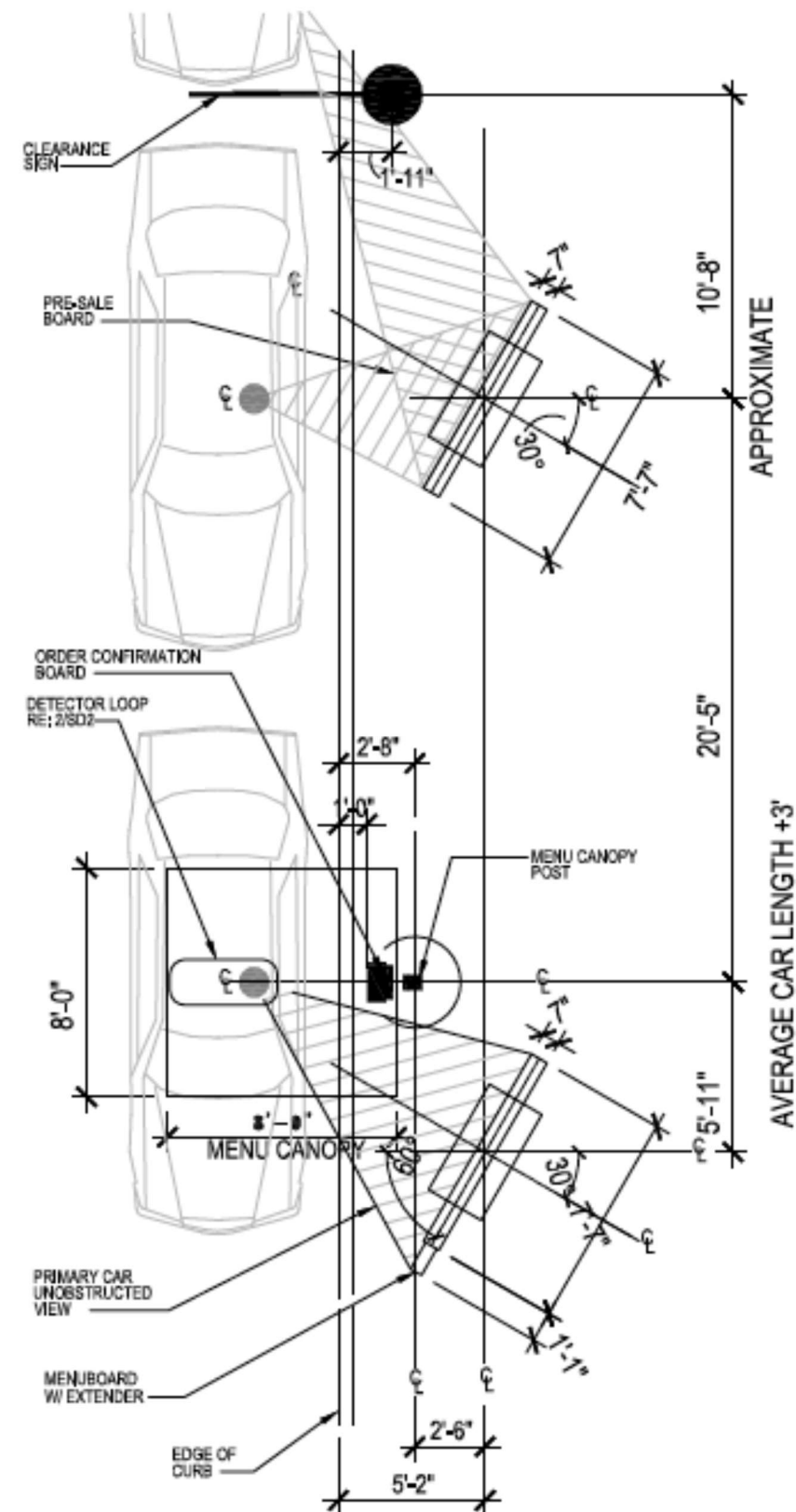
SITE PLAN



Scale: 1"=20'-0"



MENU BOARD PRE-SALE
1/8" = 1' - 0" **9**



MENU BOARD PRE-SALE ALT.
1/8" = 1' - 0" **10**

Speaker canopy menu board standard template location.



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

3 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

4 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

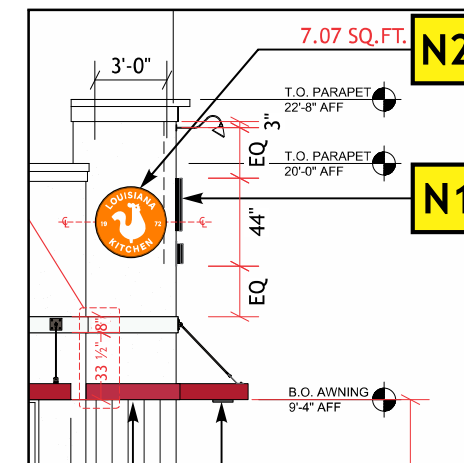
REVISION DATE:

06/02/2021

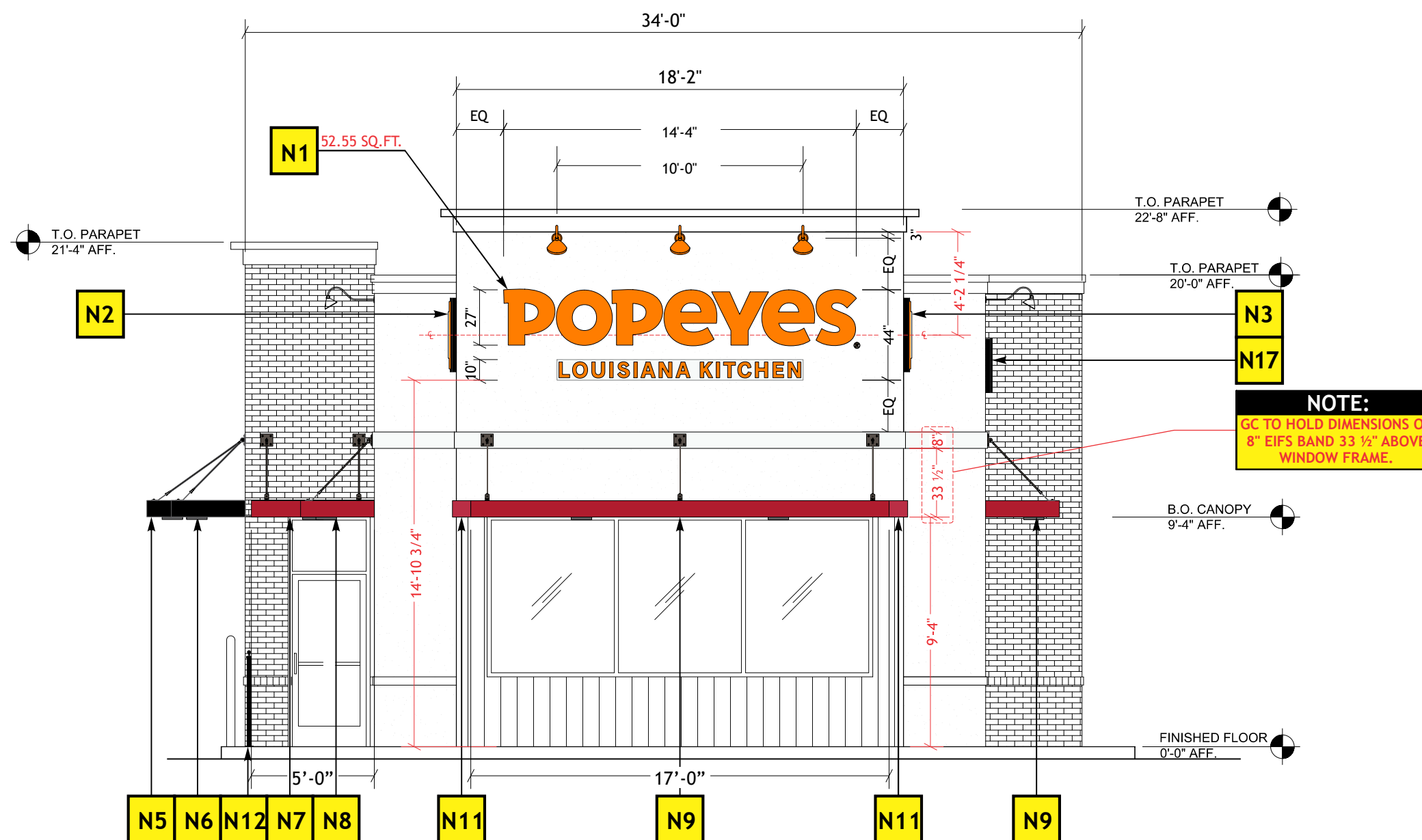
REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.



**GOOSENECK LIGHT PLACEMENT
SIDE ELEVATION VIEW**



EAST ELEVATION (STOREFRONT)

TOTAL PROPOSED: 52.55 SQ.FT.

Scale: 3/16" = 1'-0"



LOREN
LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

5 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

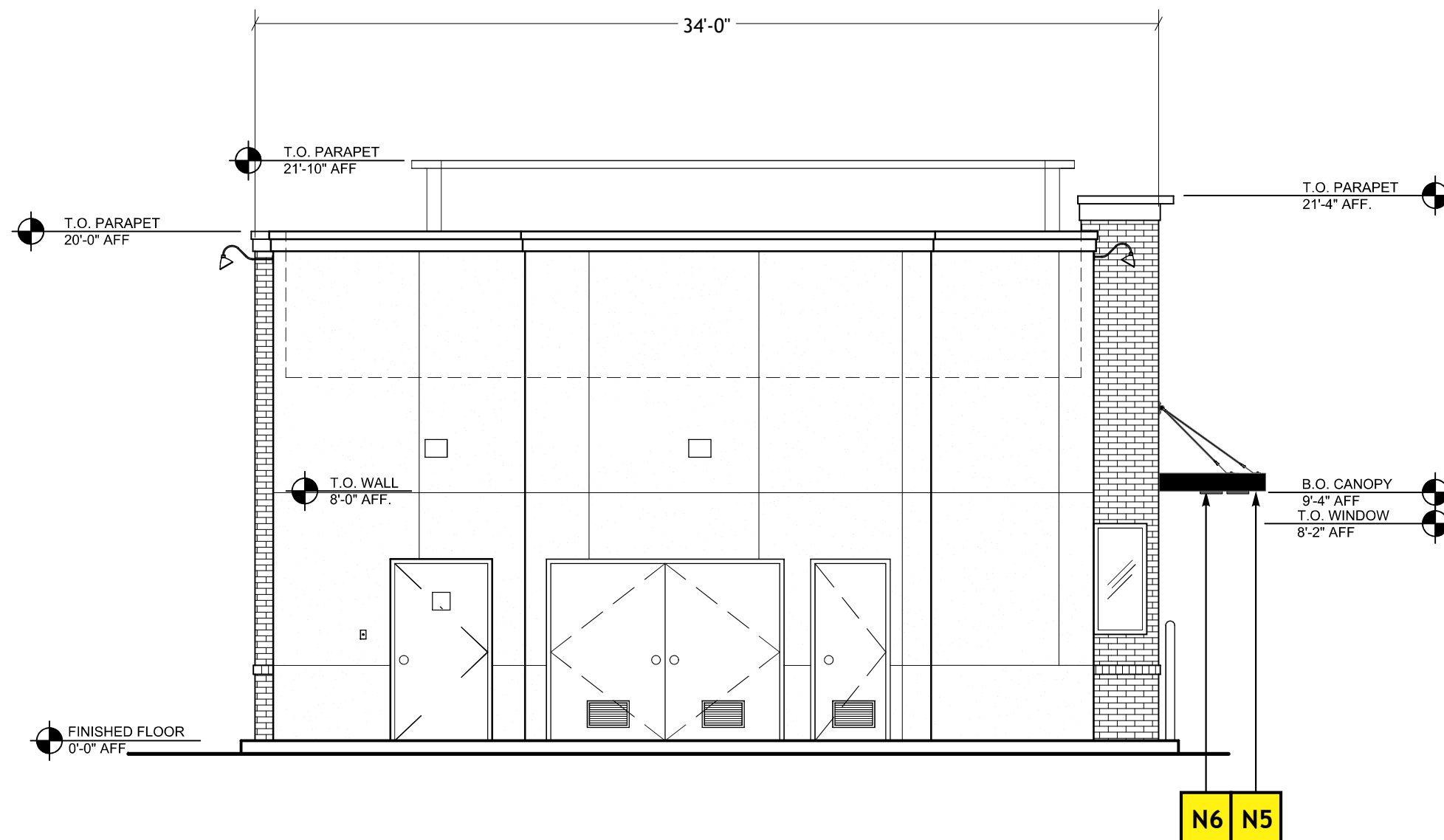
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

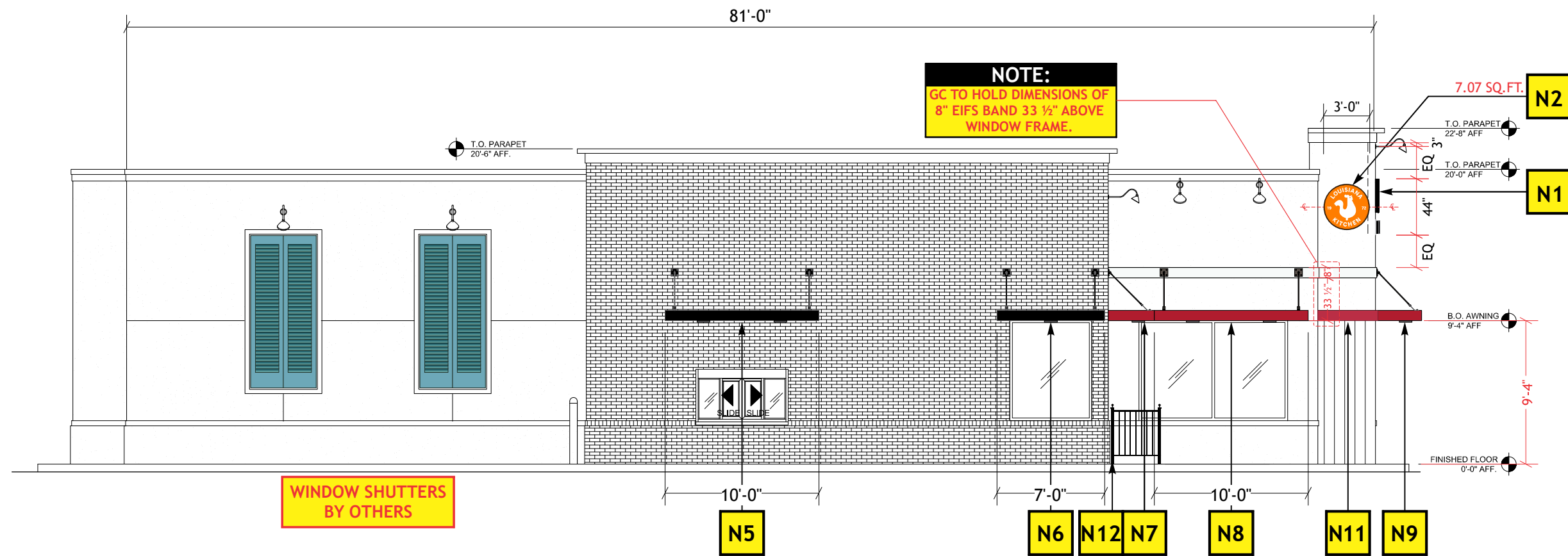
ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



WEST ELEVATION (REAR)

TOTAL PROPOSED: 32.25 SQ.FT.

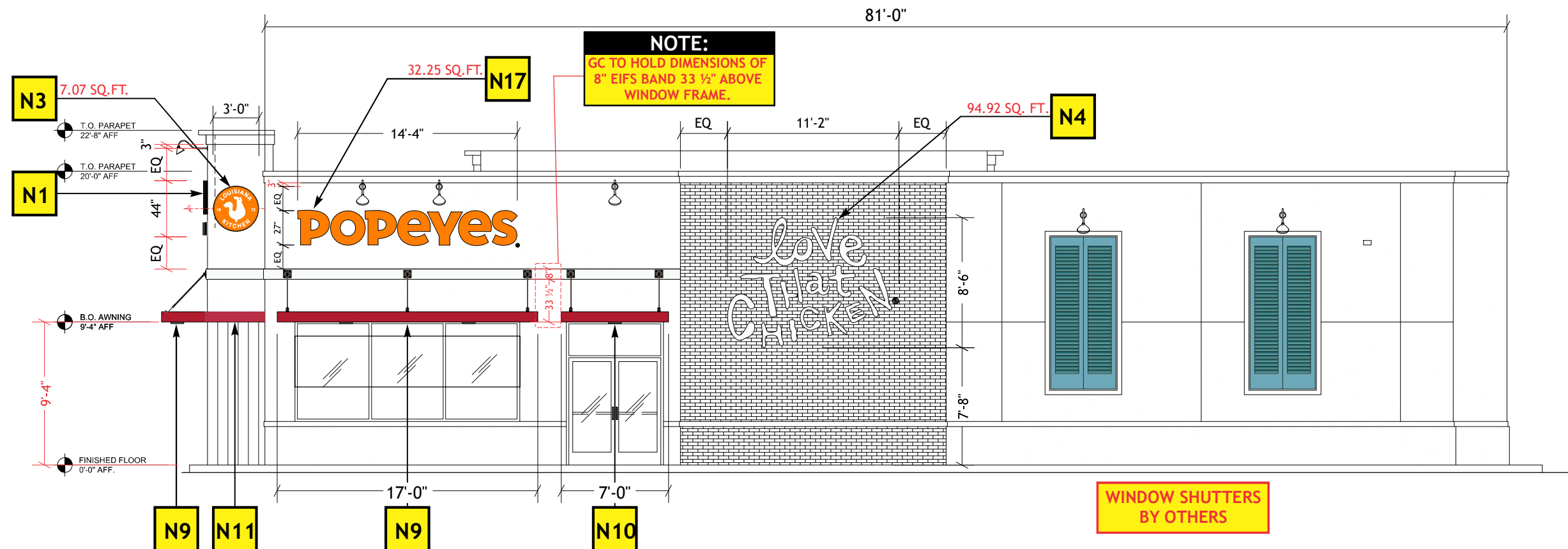
Scale: 3/16" = 1'-0"



☐ SOUTH ELEVATION (LEFT)

TOTAL PROPOSED: 7.07 SQ.FT.

Scale: 1/8" = 1'-0"



☐ NORTH ELEVATION (RIGHT)

TOTAL PROPOSED: 134.24 SQ.FT.

Scale: 1/8" = 1'-0"



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

6 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

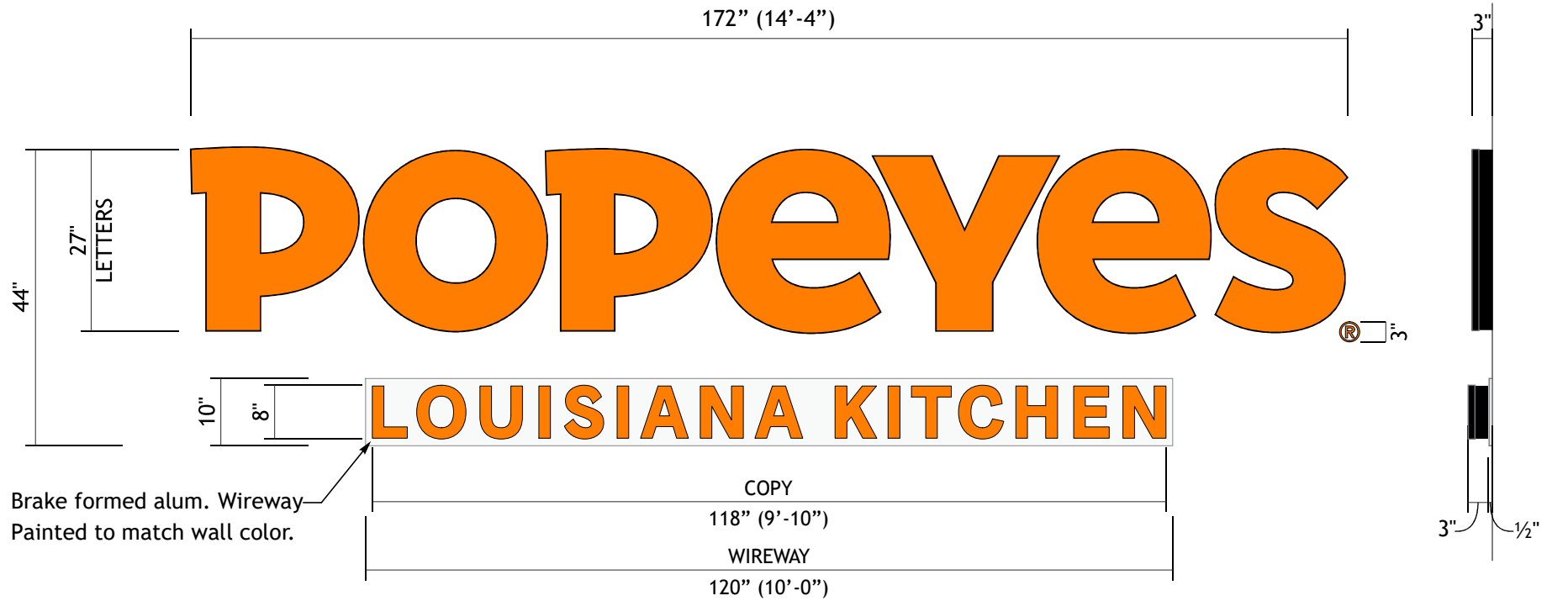
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



N1

ILLUMINATED CHANNEL LETTERS

FRONT VIEW

AREA: 52.55 SQ FT
SCALE: 1/2" = 1'-0"

SIDE VIEW
SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

LETTERS: POPEYES

FACES:..... .177" #7328 WHITE ACRYLIC FACES
w/ 1ST SURFACE VINYL
3M 3630-84 TANGERINE
RETURNS:..... .040" X 3.0 ALUMINUM BLACK COIL
BACKS:..... 1/8" WHITE ACM BACKS
TRIM CAP:..... 1" JEWELITE BLACK TRIMCAP
ILLUMINATION:.. WHITE LED'S

SPECIFICATIONS:

LETTERS: LOUISANA KITCHEN

FACES:..... .177" #7328 WHITE ACRYLIC FACES
w/ 1ST SURFACE VINYL
3M 3630-84 TANGERINE
RETURNS:..... .040" X 3.0 ALUMINUM BLACK COIL
BACKS:..... 1/8" WHITE ACM BACKS
TRIM CAP:..... 1" JEWELITE BLACK TRIMCAP
ILLUMINATION:.. WHITE LED'S
WIREWAY:..... .090" BRAKE FORMED ALUM.



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

7 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

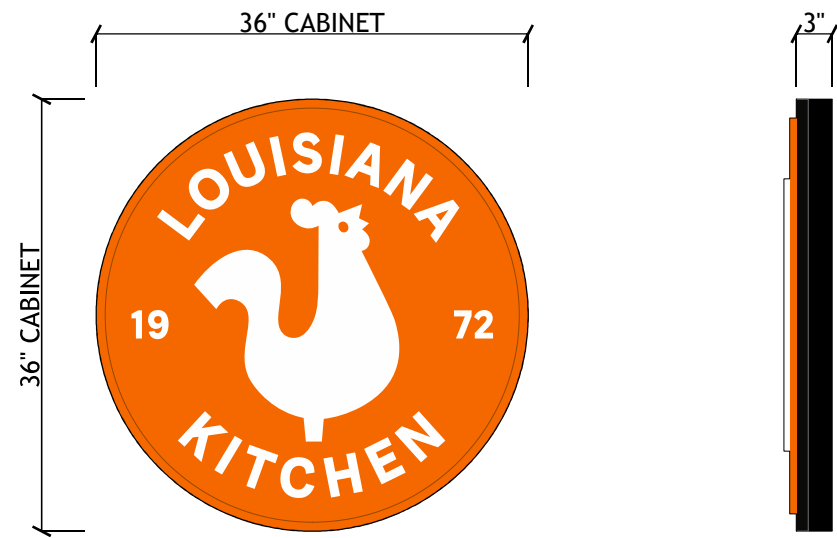
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.



QTY: 2

N2 N3

ILLUMINATED BUILDING SEAL

AREA: 7.07 SQ FT

FRONT VIEW & SIDE VIEW

SCALE: 3/4" = 1'-0"

SPECIFICATIONS:

1. RETURNS - 3" X .040" ALUMINUM PAINTED BLACK
2. FACES - .118" CLEAR IMPACTED MODIFIED ACRYLIC W/ 2ND SURFACE VINYL
3. TRIM CAP - 1" BLACK
4. BACKS - 1/8" ACM
5. LEDS- WHITE LED W/ 12V 60W POWER SUPPLY



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

8 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

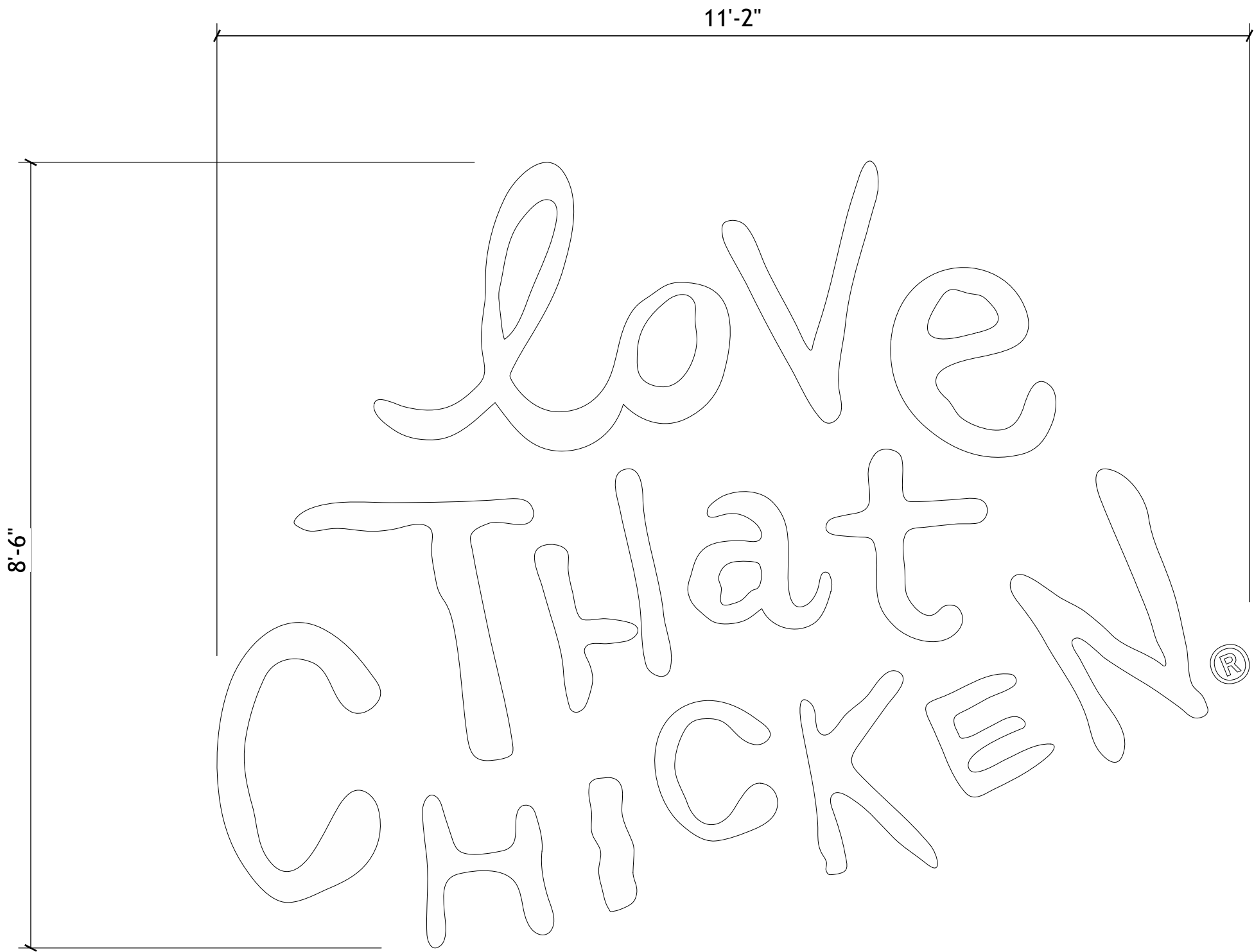
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



BRICK WALL SURFACE
LETTERS SHALL BE
MOUNTED FLUSH
WITH SURFACE

3/8" CLEAR ACRYLIC
PAINTED WHITE

MOUNTING PINS

N4

“LOVE THAT CHICKEN” NON-ILLUMINATED FCO LETTERS

AREA: 94.92 SQ FT

Scale: 3/4" = 1'-0"



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

9 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

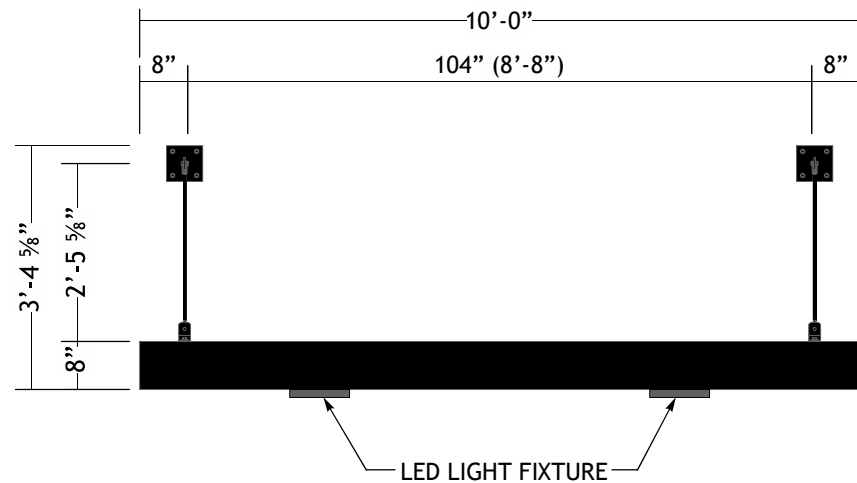
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.



N5 DT WINDOW CANOPY
FRONT VIEW
QTY: 1
SCALE: 3/8" = 1'-0"

SPECIFICATIONS:

- 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME WITH .090" BRAKE FORMED STIFFENERS
- .090" ALUMINUM TOP & BOTTOM COVERS
- PAINT - BLACK
- LIGHTING - LED LIGHT FIXTURE

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

 BLACK

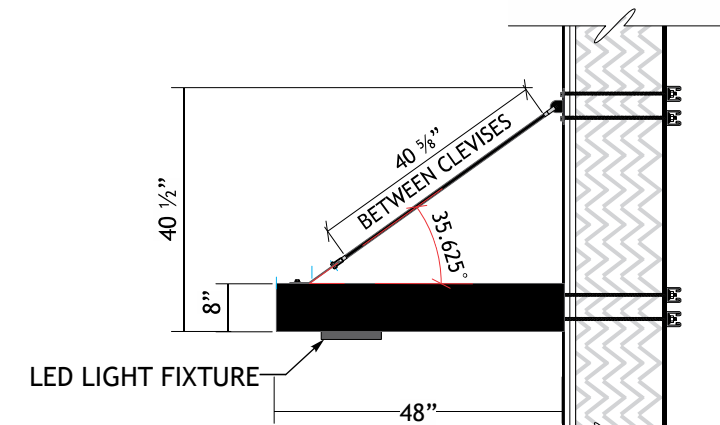


THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

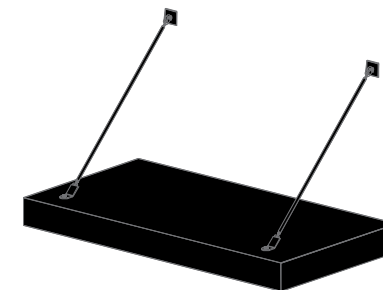
ELECTRIC SIGN SECTION

THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

(1) LEFT SIDE



2 CANOPY
END VIEW
SCALE: 3/8" = 1'-0"



3 CANOPY
ISOMETRIC VIEW
SCALE: NTS



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

10 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

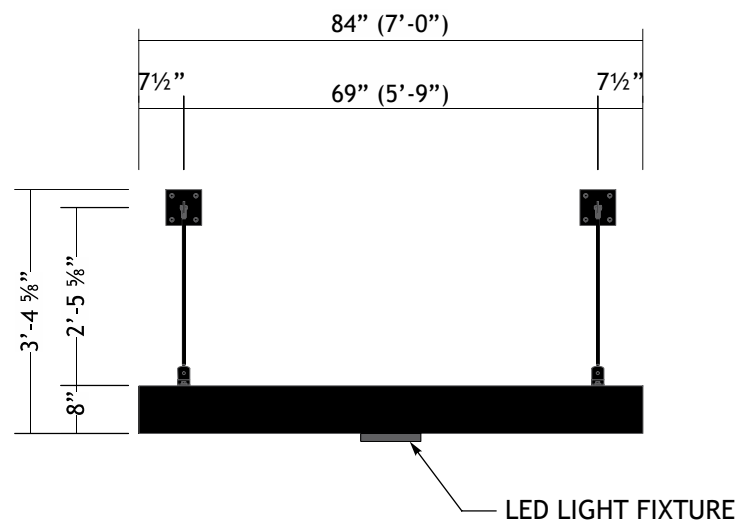
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



N6 CANOPY FRONT VIEW **QTY: 1**
SCALE: 3/8" = 1'-0"

SPECIFICATIONS:

2. 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME WITH .090" BRAKE FORMED STIFFENERS
3. .090" ALUMINUM TOP & BOTTOM COVERS
4. PAINT - BLACK
5. LIGHTING - LED LIGHT FIXTURE

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

BLACK

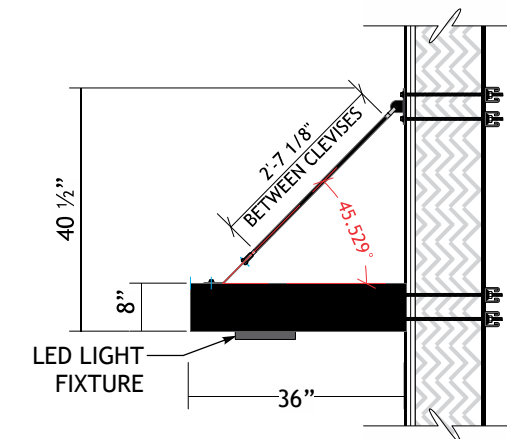


THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

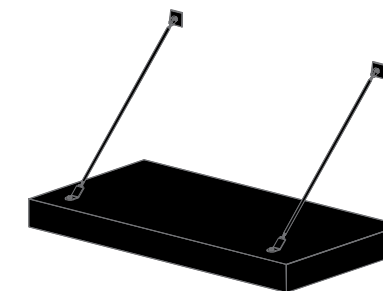
ELECTRIC SIGN SECTION

THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

(1) LEFT SIDE - WINDOW @ BRICK



2 CANOPY END VIEW
SCALE: 3/8" = 1'-0"



3 CANOPY ISOMETRIC VIEW
SCALE: NTS



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

11 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

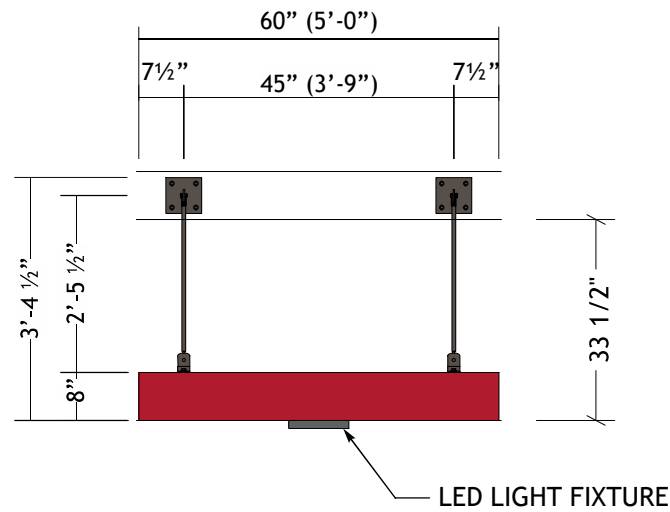
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



N7 CANOPY FRONT VIEW **QTY: 1**
SCALE: 3/8" = 1'-0"

SPECIFICATIONS:

2. 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME WITH .090" BRAKE FORMED STIFFENERS
3. .090" ALUMINUM TOP & BOTTOM COVERS
4. PAINT - PMS 187C RED
5. LIGHTING- LED LIGHT FIXTURE

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

- PMS 187C RED
- BM CC-542 WILLOW

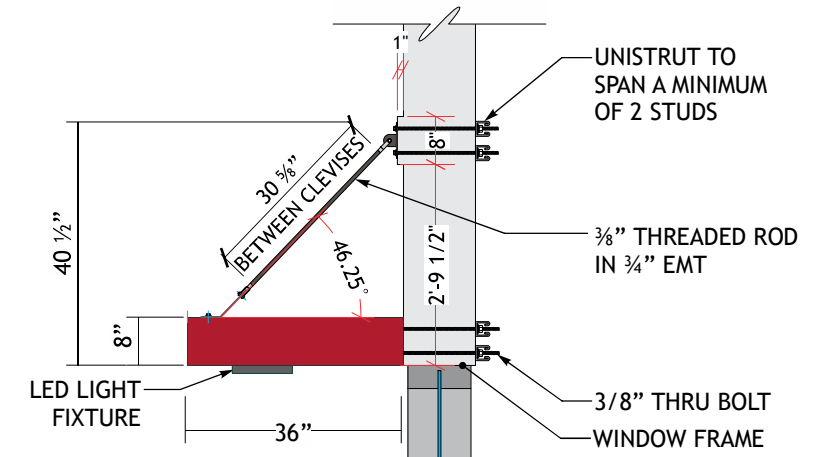


THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

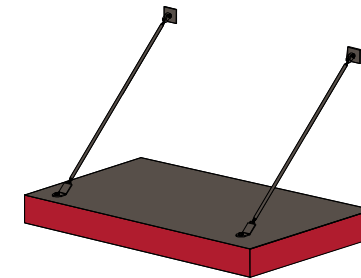
THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

ELECTRIC SIGN SECTION

(1) LEFT SIDE - CORNER



2 CANOPY END VIEW
SCALE: 3/8" = 1'-0"



3 CANOPY ISOMETRIC VIEW
SCALE: NTS



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

12 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

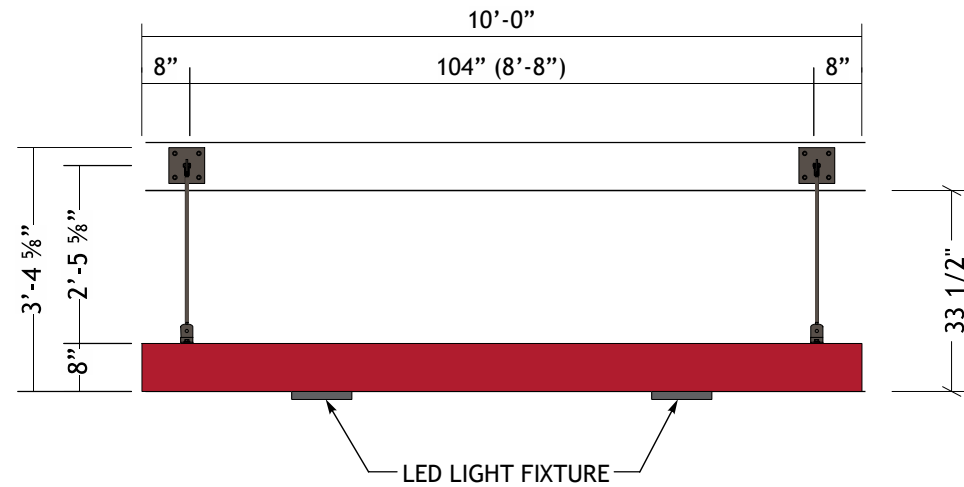
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



N8 CANOPY FRONT VIEW **QTY: 1**
SCALE: 3/8" = 1'-0"

SPECIFICATIONS:

- 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME WITH .090" BRAKE FORMED STIFFENERS
- .090" ALUMINUM TOP & BOTTOM COVERS
- PAINT - PMS 187C RED
- LIGHTING- LED LIGHT FIXTURE

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

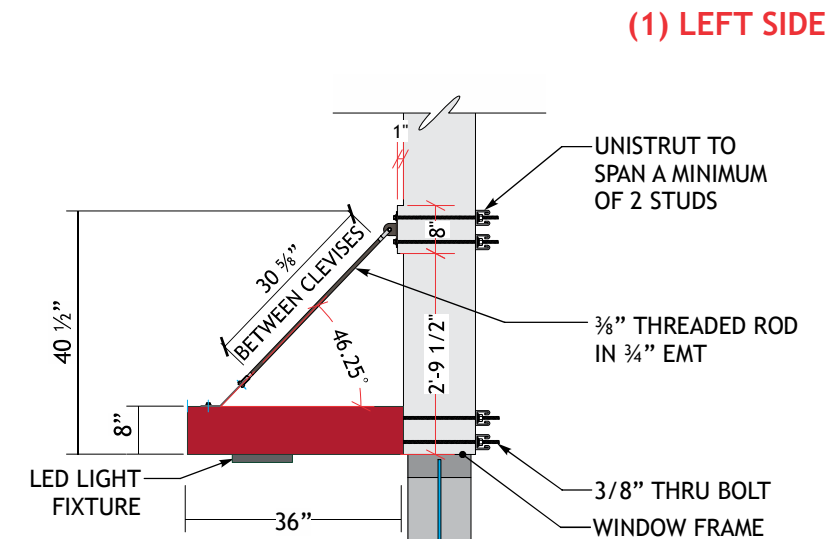
- PMS 187C RED
- BM CC-542 WILLOW



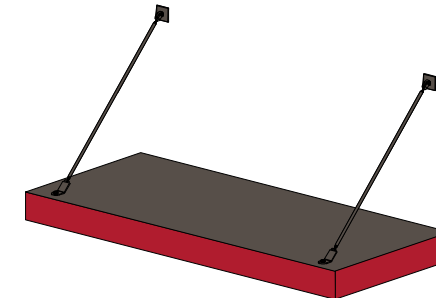
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

ELECTRIC SIGN SECTION

THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



2 CANOPY END VIEW
SCALE: 3/8" = 1'-0"



3 CANOPY ISOMETRIC VIEW
SCALE: NTS



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

13 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

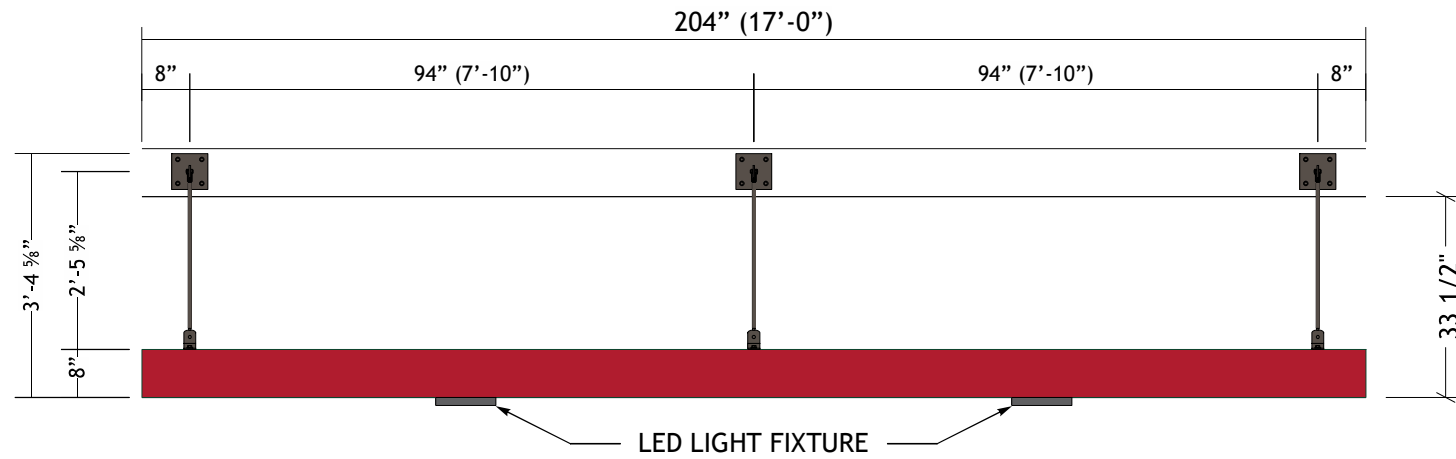
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



N9

CANOPY

FRONT VIEW

QTY: 2

SCALE: 3/8" = 1'-0"

SPECIFICATIONS:

- 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME WITH .090" BRAKE FORMED STIFFENERS
- .090" ALUMINUM TOP & BOTTOM COVERS
- PAINT - PMS 187C RED
- LIGHTING- LED LIGHT FIXTURE

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

- PMS 187C RED
- BM CC-542 WILLOW

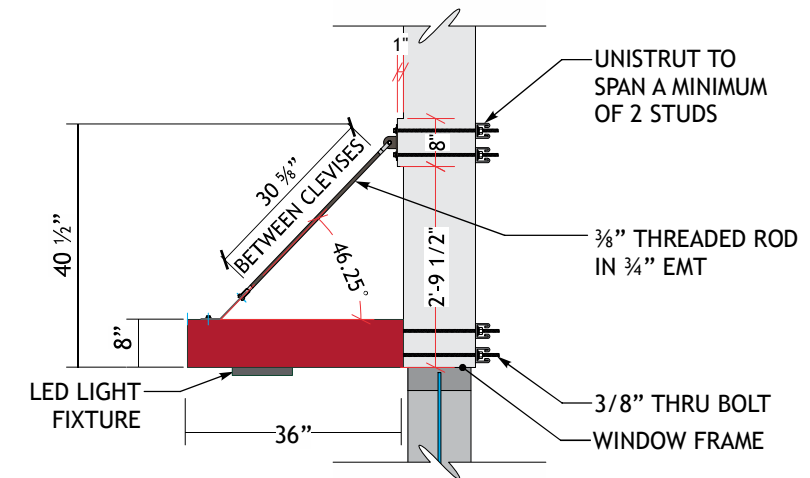


ELECTRIC SIGN SECTION

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

(1) FRONT; (1) RIGHT SIDE

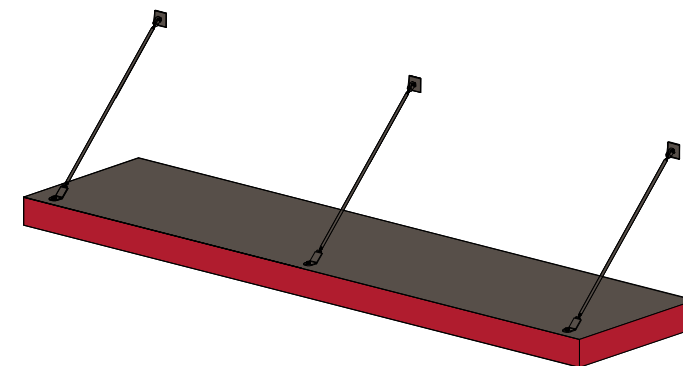


2

CANOPY

END VIEW

SCALE: 3/8" = 1'-0"



3

CANOPY

ISOMETRIC VIEW

SCALE: NTS



LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

14 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

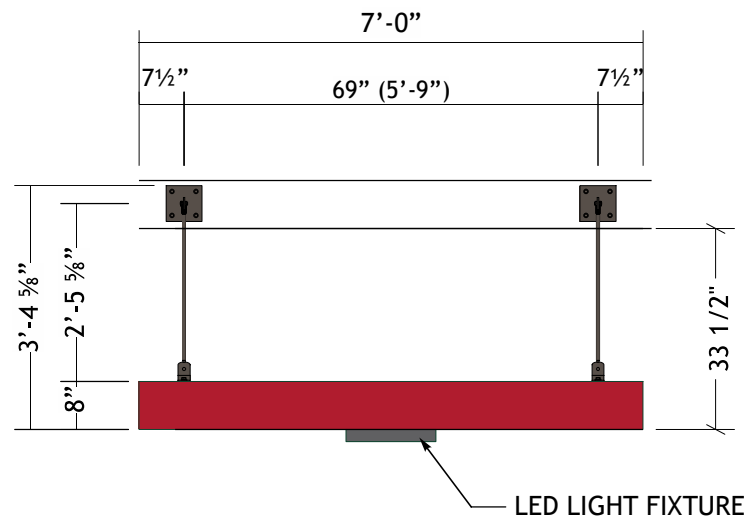
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



N10 CANOPY FRONT VIEW **QTY: 1**
SCALE: 3/8" = 1'-0"

SPECIFICATIONS:

- 2" X 8" ALUMINUM RECT. TUBE CANOPY FRAME WITH .090" BRAKE FORMED STIFFENERS
- .090" ALUMINUM TOP & BOTTOM COVERS
- PAINT - PMS 187C RED
- LIGHTING- LED LIGHT FIXTURE

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

COLOR

- PMS 187C RED
- BM CC-542 WILLOW

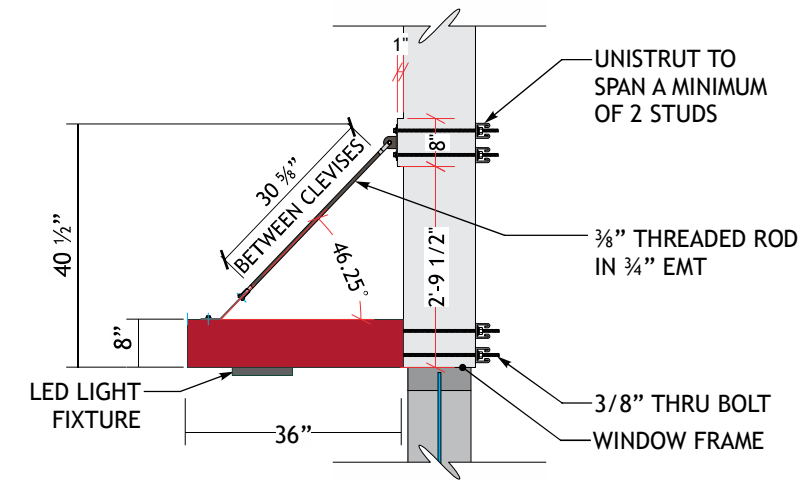


THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

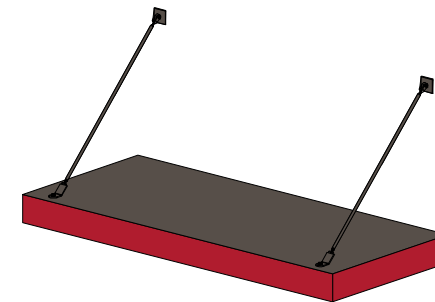
THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

ELECTRIC SIGN SECTION

(1) RIGHT SIDE



2 CANOPY END VIEW
SCALE: 3/8" = 1'-0"



3 CANOPY ISOMETRIC VIEW
SCALE: NTS



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

15 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

16 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

REVISION DATE:

06/02/2021

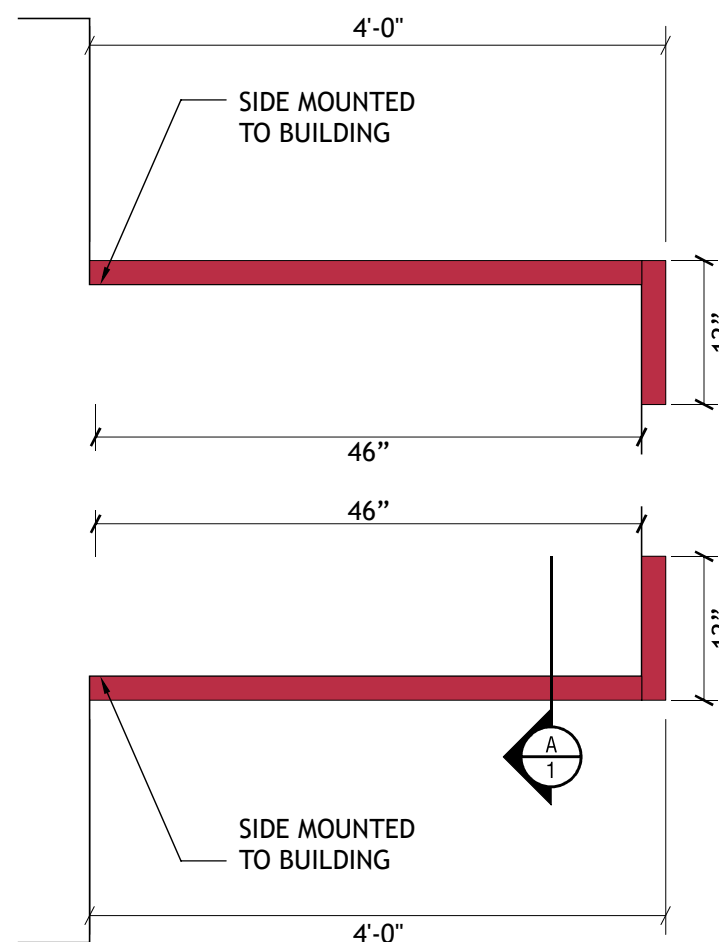
REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.

RIGHT ELEVATION

TOP VIEW



.063 ALUMINUM
PAINTED TO MATCH
PMS 187 RED
MATTE FINISH

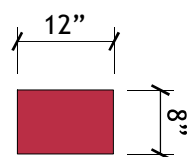
LEFT ELEVATION

TOP VIEW

Scale: 3/4"=1'-0"

NOTE
EXACT LENGTHS TO BE CUT
IN THE FIELD BY INSTALLER

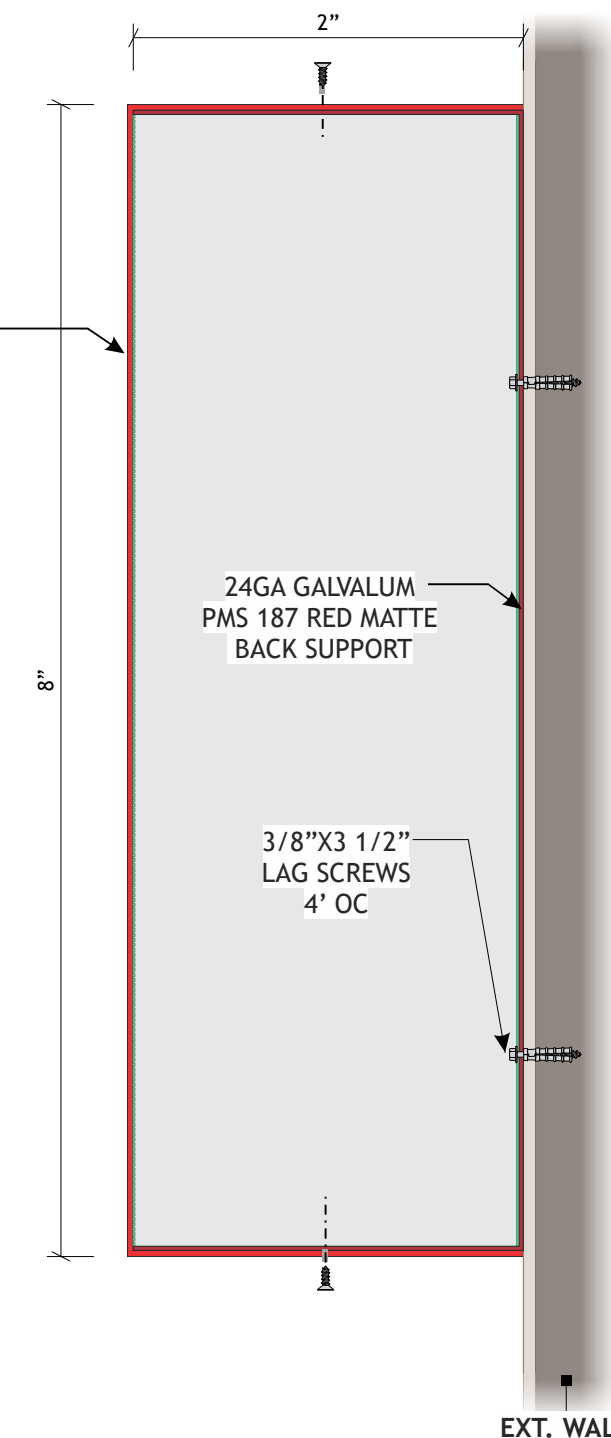
(QTY: 2)
FRONT VIEW



(QTY: 2)
FRONT VIEW



.063 ALUMINUM
PAINTED TO MATCH
PMS 187 RED
MATTE FINISH



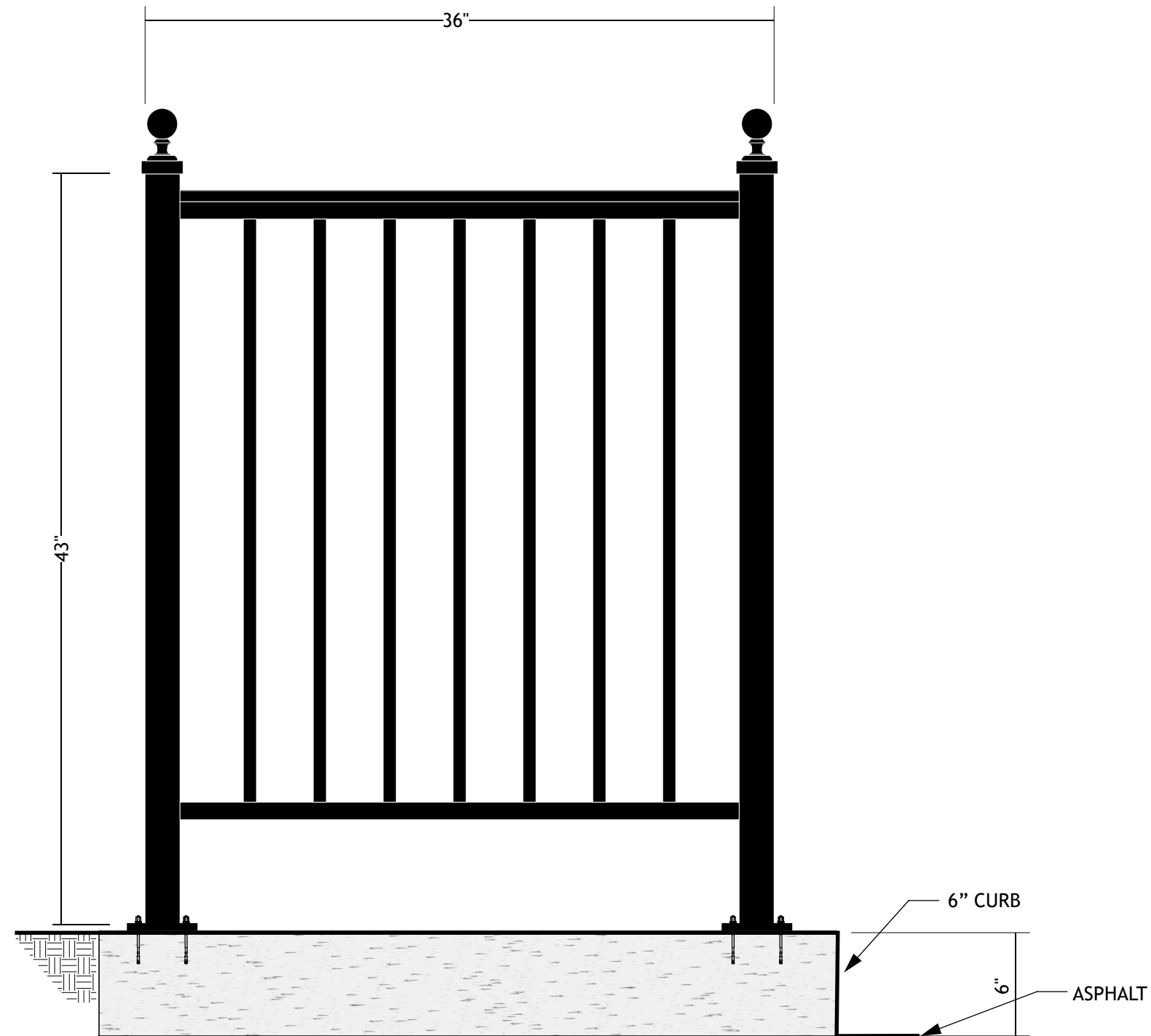
SECTION DETAIL

Scale: NTS

N11

NON-ILLUMINATED 8" TALL BUILDING FASCIA BAND (SIMPLE DESIGN)

Scale: 1/2"=1'-0"



SPECIFICATIONS:
 1. ALUMINUM SQUARE TUBE RAILINGS
 2. PAINT - BLACK

N12 GUARD RAIL WITH PLATE
 FRONT VIEW

SCALE: 1 1/2" = 1'-0"



LOREN

LOREN INDUSTRIES

12226 Coast Drive
 Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

17 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
 Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

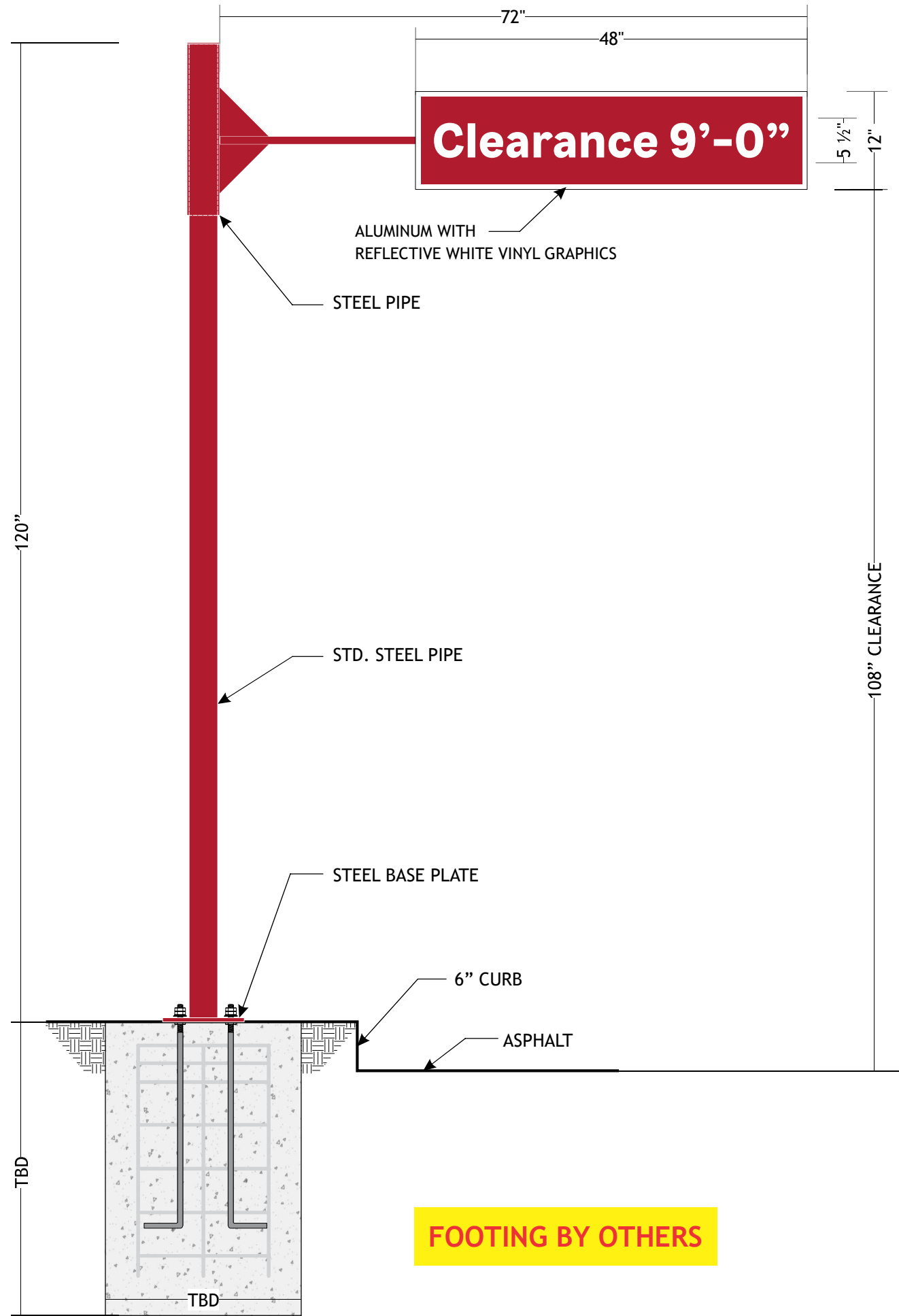
REVISION DATE:

06/02/2021

REVISION BY:

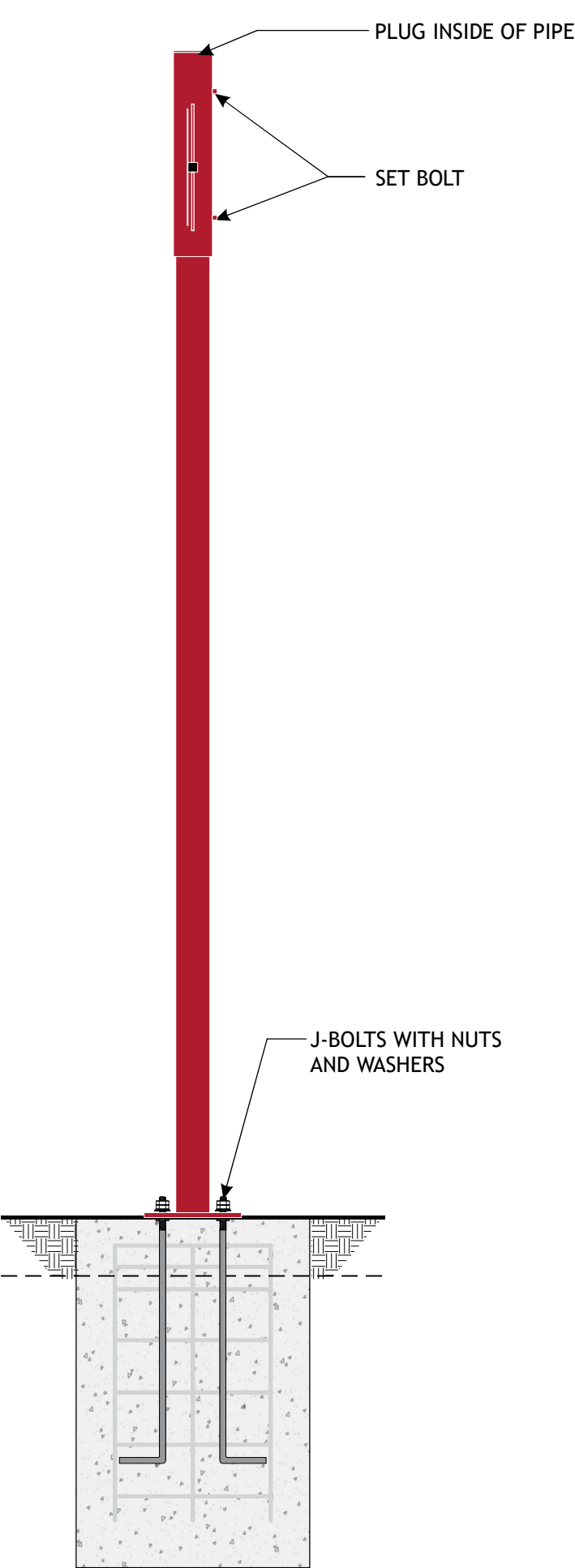
Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
 ART INDICATED ON THIS DRAWING ARE
 COPYRIGHTED AND OWNED BY LOREN
 ELECTRIC SIGN CORPORATION AND
 SHALL NOT BE REPRODUCED, USED
 BY OR DISCLOSED TO ANY PERSONS,
 FIRM OR CORPORATION FOR ANY
 PURPOSE WHATSOEVER WITHOUT
 PERMISSION OF LOREN ELECTRIC
 SIGN CORPORATION.



N13 CLEARANCE BAR
FRONT VIEW

SCALE: 3/4" = 1'-0"



CLEARANCE BAR
SIDE VIEW

SCALE: 3/4" = 1'-0"

- SPECIFICATIONS:**
- 1. ALUMINUM PANEL WITH REFLECTIVE WHITE VINYL GRAPHICS
 - 2. TUBE STEEL HORIZONTAL ARM
 - 3. PIPE SLEEVE, WITH CAP PLATE
 - 4. PIPE MAIN SUPPORT
 - 5. STEEL BASE PLATE
 - 6. STEEL J-BOLTS
 - 7. PAINT - RED
- NOTE:**
TEMPLATE OF BASE PLATE & J-BOLTS TO SHIP AHEAD OF PIPE.



DRAWING/REVISION NO.:
02-21-0002R2

PAGE NO.:
18 OF 21

CLIENT:
POPEYES

ADDRESS
584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:
02/03/2021

PROJECT MANAGER
Dave P.

DESIGNER:
EC

REVISION DATE:
06/02/2021

REVISION BY:
Jose Soria

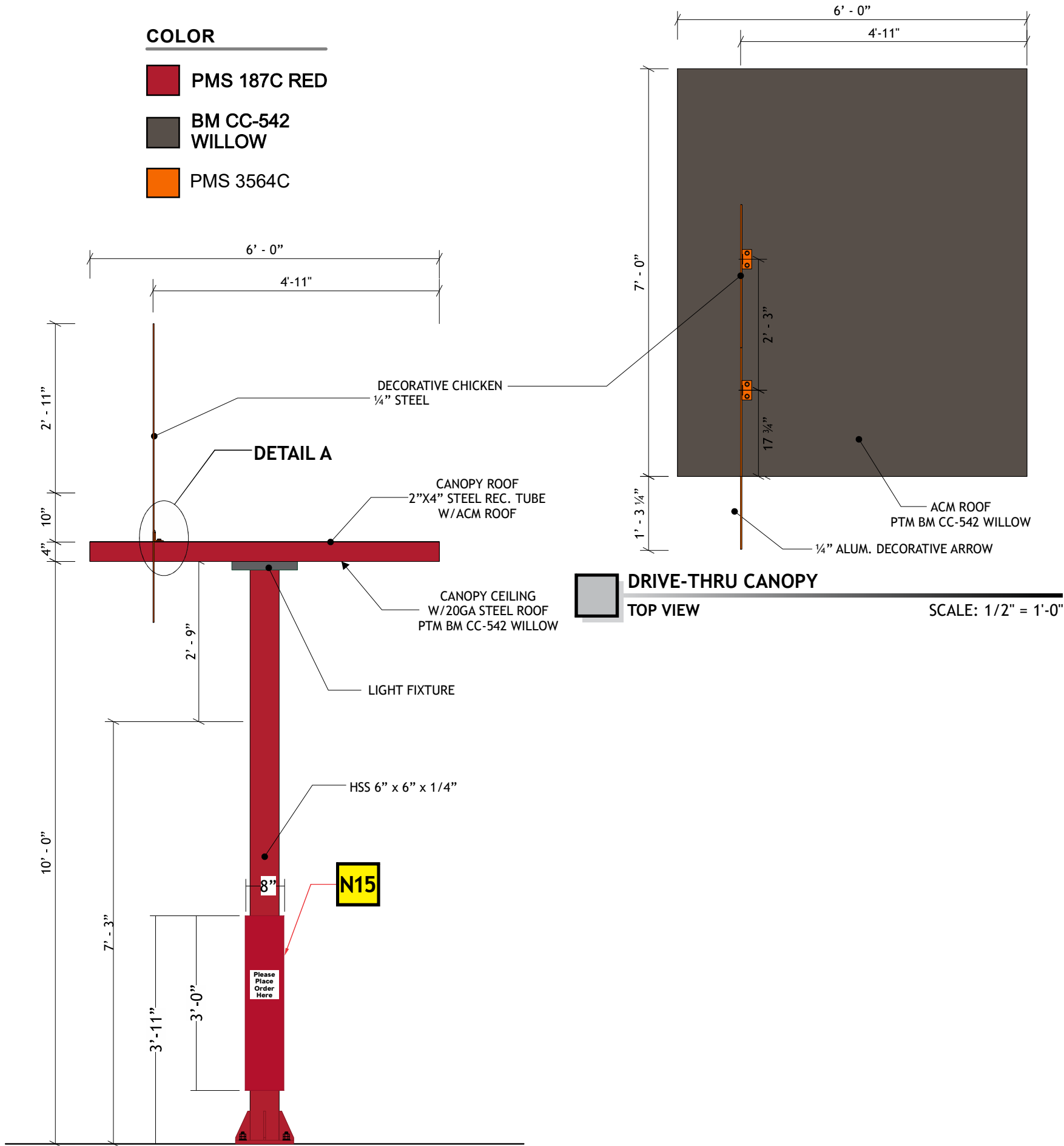
ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.

COLOR

PMS 187C RED

BM CC-542
WILLOW

PMS 3564C



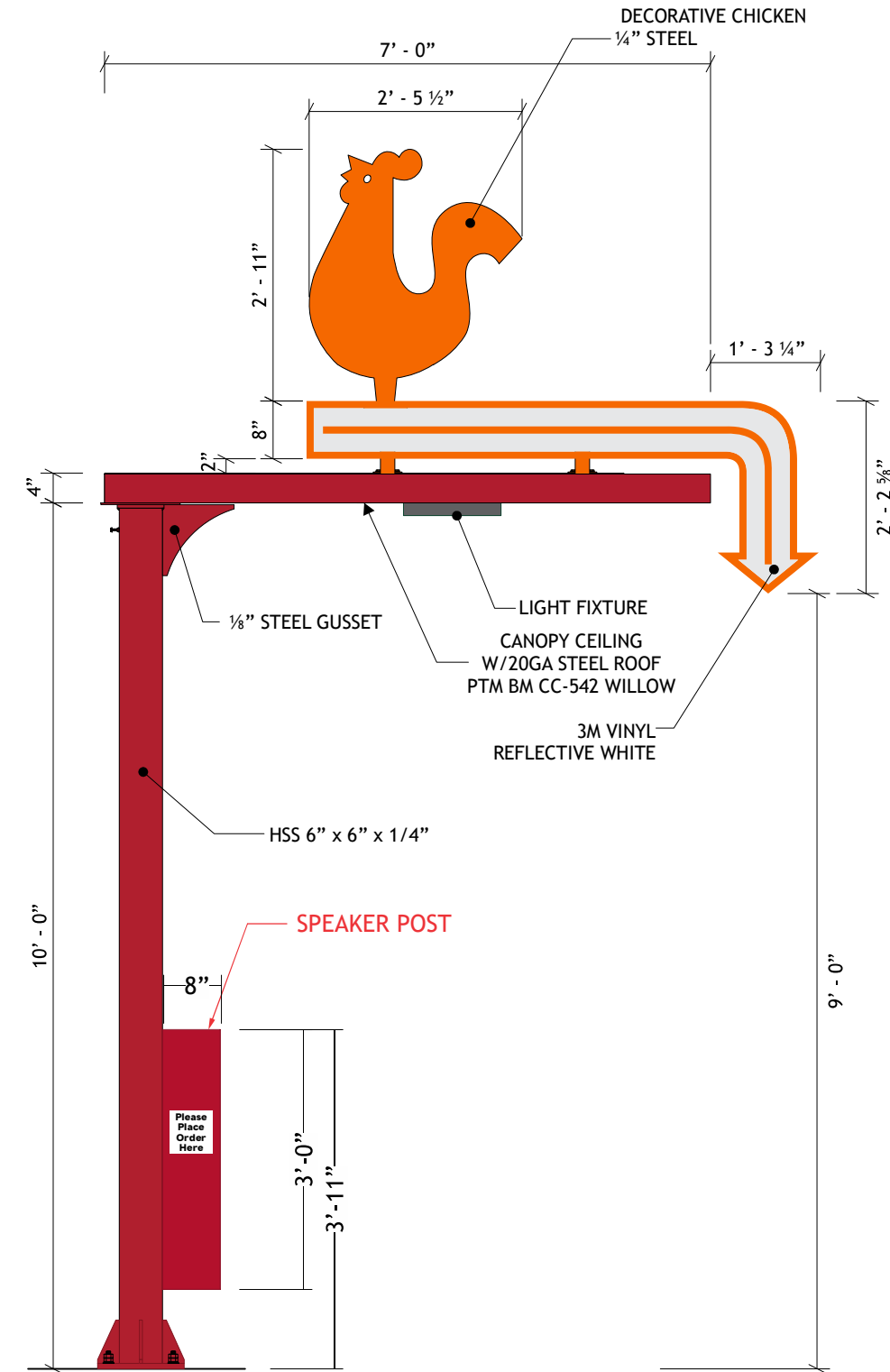
N14

DRIVE-THRU CANOPY

FRONT VIEW

SCALE: 1/2" = 1'-0"

FOOTING BY OTHERS



N14

DRIVE-THRU CANOPY

SIDE VIEW

SCALE: 1/2" = 1'-0"



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601

Tel: (562) 946-7545

Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

19 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

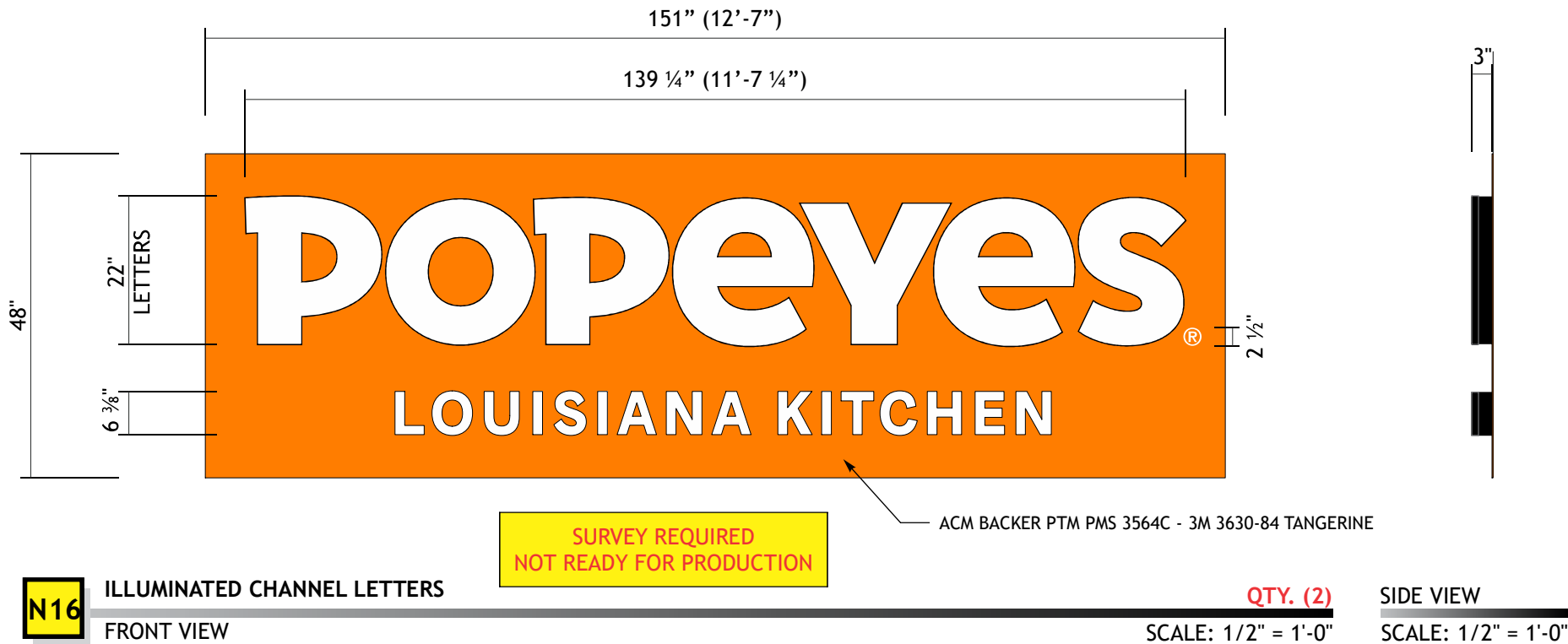
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.



SPECIFICATIONS:

LETTERS: POPEYES

FACES:..... .177" #7328 WHITE ACRYLIC FACES

RETURNS:..... .040" X 3.0 ALUMINUM BLACK COIL

BACKS:..... 1/8" WHITE ACM BACKS

TRIM CAP:..... 1" JEWELITE BLACK TRIMCAP

ILLUMINATION:.. WHITE LED'S

SPECIFICATIONS:

LETTERS: LOUISIANA KITCHEN

FACES:..... .177" #7328 WHITE ACRYLIC FACES

RETURNS:..... .040" X 3.0 ALUMINUM BLACK COIL

BACKS:..... 1/8" WHITE ACM BACKS

TRIM CAP:..... 1" JEWELITE BLACK TRIMCAP

ILLUMINATION:.. WHITE LED'S



EXISTING



AS PROPOSED

N16 MONUMENT SIGN REPLACEMENT FACES

Scale: 1/2" = 1'-0"



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-21-0002R2

PAGE NO.:

20 OF 21

CLIENT:

POPEYES

ADDRESS

584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:

02/03/2021

PROJECT MANAGER

Dave P.

DESIGNER:

EC

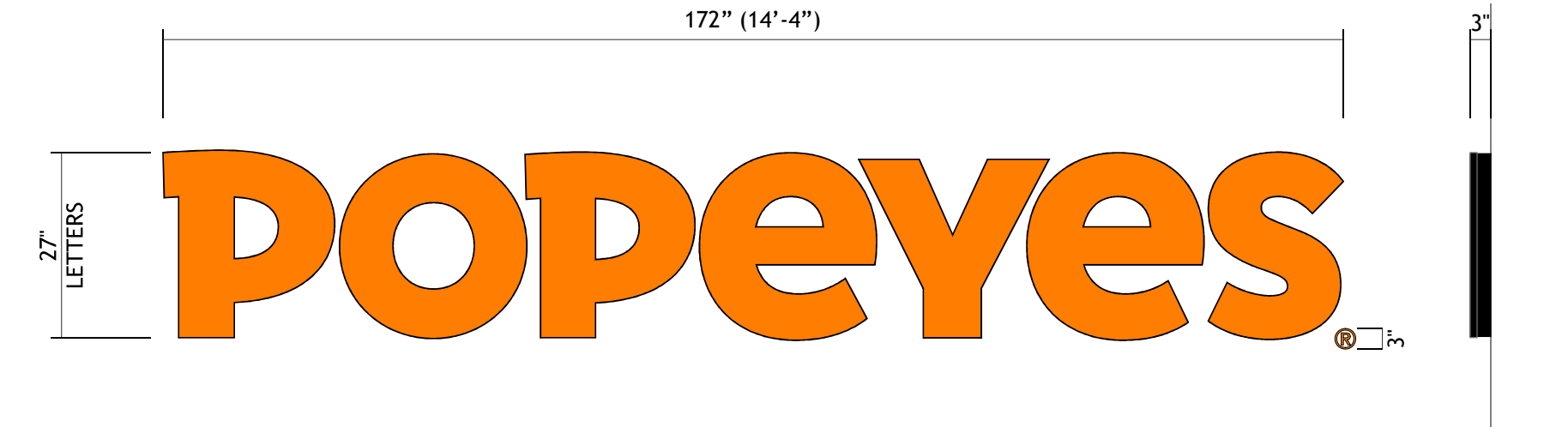
REVISION DATE:

06/02/2021

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.



N17

ILLUMINATED CHANNEL LETTERS
FRONT VIEW

AREA: 32.25 SQ FT
SCALE: 1/2" = 1'-0"

SIDE VIEW
SCALE: 1/2" = 1'-0"

SPECIFICATIONS:

LETTERS: POPEYES

FACES:..... .177" #7328 WHITE ACRYLIC FACES
w/ 1ST SURFACE VINYL
3M 3630-84 TANGERINE
RETURNS:..... .040" X 3.0 ALUMINUM BLACK COIL
BACKS:..... 1/8" WHITE ACM BACKS
TRIM CAP:..... 1" JEWELITE BLACK TRIMCAP
ILLUMINATION:.. WHITE LED'S



12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:
02-21-0002R2

PAGE NO.:
21 OF 21

CLIENT:
POPEYES

ADDRESS
584 N Tustin St.
Orange, CA 92867

Approval Signature

DATE:
02/03/2021

PROJECT MANAGER
Dave P.

DESIGNER:
EC

REVISION DATE:
06/02/2021

REVISION BY:
Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.

Popeye's Louisiana Kitchen

PLANTS BY NAME



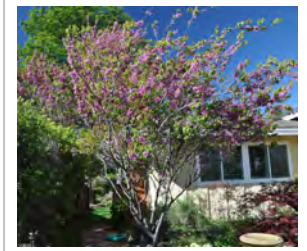
Achillea millefolium
Common Yarrow



Arbutus 'Marina'
Marina Strawberry Tree



Callistemon viminalis 'Slim'
Slim™ Bottlebrush



Cercis occidentalis
Western Redbud



Dymondia margaretae
Dymondia, Rock Ditty



Ficus pumila
Creeping Fig



Geijera parviflora
Australian Willow



Hemerocallis 'Butterscotch Ruffles'
Butterscotch Ruffles Daylily



Hesperaloe p. 'Perpa' Brakelight®
Brakelights® Red Yucca



Lagerstroemia indica 'Natchez'
Natchez Crape Myrtle



Lantana 'New Gold'
New Gold Trailing Lantana



Lantana montevidensis
Trailing Lantana



Lomandra 'Platinum Beauty'
Platinum Beauty™ Lomandra



Muhlenbergia rigens
Deer Grass



Myrtus communis 'Compacta'
Dwarf Myrtle



Nandina domestica
Nandina, Heavenly Bamboo



Prunus cerasifera 'Krauter Vesuvius'
Krauter Vesuvius Flowering Plum



Westringia 'Wynyabbie Gem'
Westringia Wynyabbie Gem

FINISH MATERIAL LEGEND :

- ① PAINTED MAIN WALL COLOR TO MATCH
"BENJAMIN MOORE" OC-125 MOONLIGHT WHITE
- ② WOOD SIDING AS SHOWN BY "NICHHA"
VINTAGE WOOD CEDAR
- ③ THIN BRICK VENEER BY " DESIGN AND DIRECT SOURCE"
ARCHITECTURAL URBAN SERIES FLAGSTAFF
- ④ PAINTED CORNICE COLOR TO MATCH "BENJAMIN
MOORE" 2120-20 BLACK IRON
- ⑤ PAINTED SHUTTER COLOR TO MATCH "BENJAMIN MOORE"
OC-669 OCEANIC TEAL
- ⑥ ANOD. ALUMINUM STOREFRONT BY "ARCADIA"
AB-1, COLOR DARK BRONZE
- ⑦ DOOR FRAME TO PAINT ORANGE COLOR

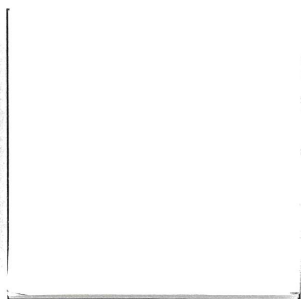
POPEYES
LOUISIANA KITCHEN

584 N. TUSTIN STREET
ORANGE, CALIFORNIA

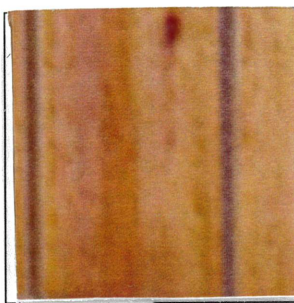
DESIGNED BY
Pelossi
AND ASSOCIATES
INC.

1300 BRISTOL ST. NORTH, SUITE 270
NEWPORT BEACH, CA 92660

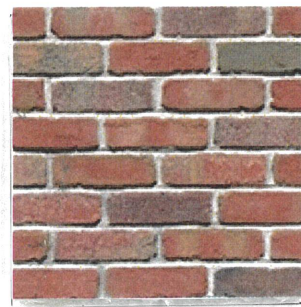
TEL. (949) 833-3240
FAX (949) 833-1145



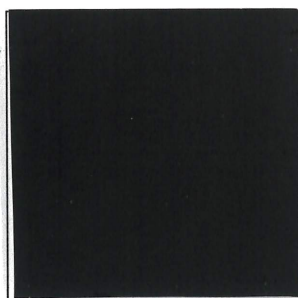
1



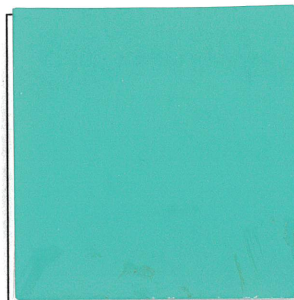
2



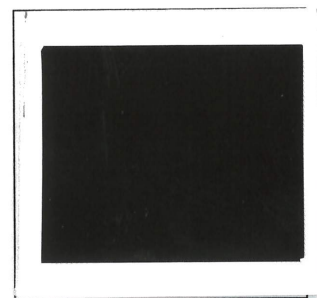
3



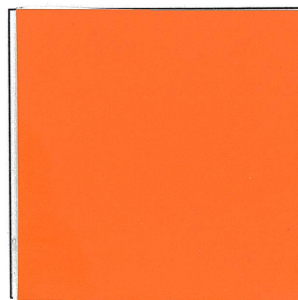
4



5



6



7

POPEYES
LOUISIANA KITCHEN

584 N. TUSTIN STREET
ORANGE, CALIFORNIA

DESIGNED BY
Petrocci
AND ASSOCIATES
INC.

1300 BRISTOL ST. NORTH, SUITE 270
NEWPORT BEACH, CA 92660

TEL. (949) 833-3240
FAX (949) 833-1145

TO: Chair and Members of the Design Review Committee

THRU: Anna Pehoushek, Assistant Community Development Director

FROM: Vidal F. Márquez, Assistant Planner

1. SUBJECT

..title

Design Review No. 5026-21, Popeyes Louisiana Kitchen, 584 N. Tustin Street

..end

2. SUMMARY

..recommendation

Recommendation to the Planning Commission

..body

The applicant proposes to demolish an existing vacant full-service restaurant and to construct a new 2,344 square foot drive-through restaurant with associated site improvements.

..end

3. BACKGROUND INFORMATION

Applicant: Petrossi & Associates, Inc.

Property Location: 584 N. Tustin Street

General Plan Designation: General Commercial (GC)

Zoning Classification: Limited Business (C-1)

Existing Development: 3,468 square foot restaurant

Associated Application: Conditional Use Permit No. 3126-21, Minor Site Plan No. 1038-21 and Administrative Adjustment No. 0281-21

Previous DRC Project Review: None

4. PROJECT DESCRIPTION

The applicant proposes to demolish an existing 3,468 square foot restaurant (former Sizzler Restaurant) and construct a new 2,344 square foot drive-through Popeyes Louisiana Kitchen restaurant building, trash enclosure, surface parking, landscaping, signage and related site improvements. The project proposes to provide 22 parking stalls and a drive-through with queuing capacity for 19 vehicles. A ten percent parking reduction is being requested through an Administrative Adjustment.

Architecture

The proposed single-story building will be 20 feet in height with some roofline projections at 22 feet, 8 inches along the east and south elevations. The building design utilizes a contemporary Popeyes brand architectural style with varied flat roof lines, articulated wall

planes, and projecting metal awnings over windows, entry doors and drive-through windows. Exterior materials and colors also contribute to the contemporary style including vertical cedar wood panel siding, brick veneer, 'Moonlight White' painted smooth textured plaster, 'Stonington Grey' wainscot accent trim, 'Black Iron' painted parapet cornice, 'Oceanic Teal' painted decorative shutters, and dark bronze aluminum storefront windows with orange main entrance doors. The overall color scheme of the building will incorporate tones of white, black, and grey with highlights of orange from proposed signage, exterior light fixtures and doors. The exterior materials and finish schedule is identified on Elevation sheet A-4 (Attachment 3) and the Color and Material board is included in Attachment 7.

A new freestanding 290 square foot trash enclosure will be constructed of concrete masonry block with a smooth plaster finish, flat metal roof cover, mesh screen and metal gates. The materials and colors will coordinate with the design of the proposed building.

Landscaping

Proposed project landscaping includes a variety of trees, shrubs and ground cover along front yard area, perimeter planters and a central landscape island behind the proposed building. A 24-inch box Marina Strawberry tree, and 36-inch box Western Redbud tree are proposed with Trailing Lantana and Common Yarrow ground cover in the front yard planter adjacent to the driveway entrance. 5-gal. Dwarf Myrtle, Butterscotch Ruffles Daylily shrubs with Silver Carpet Dymondia, and Trailing Lantana ground covers are at the front of the proposed building. A 24-inch box Purple Leaf Plum, and Australian Willow trees, Whynabbie Gem, Slim Weeping Bottlebrush, and Little John Bottlebrush shrubs with Trailing Lantana groundcover are proposed in along the north, west, and southern property line planters. The central landscape island consists of a 24-inch box Marina Strawberry tree, and three 24-inch box Natchez Crepe Myrtle trees with all varieties of proposed shrubs and groundcover. The total landscaped area proposed will be 4,630 square feet (23% of the site). Parking areas, drive aisles and pedestrian walkways consists of standard concrete paving. Finally, one new 24-inch box Brisbane Box street tree will be planted in the right-of-way located in compliance with Public Works standards.

Lighting

The restaurant proposes LED gooseneck wall mounted fixtures in a orange finish on south, east and north building elevations with the light projecting in a downward direction. Two wall pack light fixtures will be at the rear westerly building elevation. In addition, various freestanding perimeter 20 feet high LED light standards will also be provided for site illumination. All project lighting will be installed and directed to prevent light spillage beyond the exterior boundaries of the property.

Signage

The applicant has included a sign concept that meets Code requirements and is generally compatible with the contemporary building design through the use of a similar color palette. The existing 15-foot tall, double-faced pole sign, located within a landscape planter along the property frontage will remain in place, and be refaced. Building signage will include illuminated Popeyes Louisiana Kitchen brand logos on the south, east, and north elevations, as well as typical drive-through restaurant illuminated digital preview menu, and menu boards, drive-through lane signage, and directional signage. All free

standing, building signs, and directional signs will be subject to the City's standard sign regulations. Condition #7 has been included that requires final sign plans to be approved by the Community Development Director prior to issuance of building permits.

Access and Circulation

The project will remove an existing two-way entrance drive approach at the center of the site in order to accommodate a new two-way drive approach and a secondary one-way drive-through lane that wraps around the perimeter of the restaurant building. The project proposes to provide 22 parking stalls and a drive-through queue lane capacity of 19 to avoid spillout onto Tustin Street.

5. EXISTING SITE

The .46-acre project site is located on the east side of North Tustin Street directly across from the intersection of North Tustin Street and Orange Grove Avenue. The site is currently developed with a 3,468 square foot vacant restaurant, paved parking lot, existing freestanding sign, trash enclosure, and minimal landscaping concentrated along the property frontage. The site is currently accessed via a two-way driveway at the center of the site.

6. EXISTING AREA CONTEXT

The site is surrounded by single-family residences to the west and a variety of restaurant and commercial uses to the north, south and east. The properties to the north, west and south are zoned Limited Commercial (C-1); the properties to the east are zoned and Single-Family Residential (R-1-6).

7. ANALYSIS AND STATEMENT OF THE ISSUES

Issue 1 Landscaping:

The proposed project's landscaping plan provides a variety of trees, shrubs, and ground cover along front yard areas, perimeter planters, and a central landscape island behind the proposed building. Based on the City's benchmark calculation for tree quantity, 29 trees are required for the project. The initial project proposal provided the total benchmark quantity of trees however, Planning staff and the City's Senior Landscape Coordinator concluded that the number of code-required amount of trees overwhelmed the site landscaping, particularly within the proposed planters along the northern property line and the central landscape island. Tree placement in planters at the northern property line would be in competition with the existing trees in the abutting planter at the McDonald's drive-through restaurant at 606 N. Tustin Street. Staff directed the applicant to reduce the number of trees along northern property line and the central landscape island to create a more sustainable distribution throughout the project site. In response, the applicant revised the plans to include 19 trees total. The proposed landscape plan meets the minimum of 25% of trees to be 24-inch box in size, the number, and size of shrubs are provided, and the sizes of planter dimensions are met for parking areas and around the trash bin enclosure.

Overall, the project's landscaping plan provides an integrated design theme with a variety of trees, shrubs, and ground cover along front yard areas, perimeter planters, and a central landscape island. The new trees are placed in a balanced matter throughout the

project area and the overall site will be improved with new landscaping compliant with City's Water Efficient Landscape Guidelines.

8. ADVISORY BOARD RECOMMENDATION

The Streamlined Multidisciplinary Accelerated Review Team (SMART) conducted a review of the project on February 10, 2021, May 12, 2021 and on June 30, 2021 recommended that the project proceed to the Design Review Committee.

9. PUBLIC NOTICE

No Public Notice was required for Design Review Committee (DRC) review of the project.

10. ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Guidelines 15303 (Class 3 - New Construction or Conversion of Small Structures) because the project consists of the construction of a new, small (<10,000 square foot in urbanized area) structure zoned for such use, not involving the significant use of hazardous substances, where all necessary public services are available, and where the area is not environmentally sensitive. There is no environmental public review or notice required for a categorical exemption.

11. STAFF RECOMMENDATION AND REQUIRED FINDINGS

Findings for DRC applications come from four sources:

- The Orange Municipal Code (OMC)
- The Infill Residential Design Guidelines
- The Historic Preservation Design Standards for Old Towne (commonly referred to the Old Towne Design Standards or OTDS)
- Orange Eichler Design Standards

The Findings are applied as appropriate to each project. Based on the following Findings and statements in support of such Findings, staff recommends the DRC recommend approval to the Planning Commission the project with recommended conditions.

- The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.07.F.3).

The subject property is not within a specific plan area or established district with applicable design standards. The proposed drive-through restaurant improves the appearance of the site and streetscape by bringing a new building and significant amount of new landscaping to the property site. The exterior design, including colors and materials, provides an internally consistent and integrated design theme that upholds community aesthetics. The proposed design has incorporated a one-story scale along the street frontage that takes into consideration pedestrians and adjacent commercial and residential properties. The proposed landscaping, including trees, shrubs and ground covers will complement the project design and integrate well with neighboring commercial properties along the North Tustin Street commercial corridor. Additionally, lighting and

other site features have been planned to minimize potential conflicts with neighboring residences.

12. CONDITIONS

The recommendation for approval of this project is subject to the following conditions:

1. All construction shall conform in substance and be maintained in general conformance with plans and exhibits labeled as Attachment 3 in the staff report, including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee.
2. Except as otherwise provided herein, this project is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Community Development Director for approval. If the Community Development Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plot plan, the Community Development Director may approve the changed plan administratively.
3. Subsequent modifications to the approved architecture and color scheme shall be submitted for review and approval to the Community Development Director or designee. Should the modifications be considered substantial, the modifications shall be reviewed by the Design Review Committee.
4. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permits, save and except that caused by the City's active negligence. The City shall promptly notify the applicant of any such claim, action, or proceedings and shall cooperate fully in the defense.
5. The applicant shall comply with all federal, state, and local laws, including all City regulations. Violation of any of those laws in connection with the use will be cause for revocation of this permit.
6. Building permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
7. Final sign plans shall be approved by the Community Development Director prior to building permit issuance.
8. If not utilized, project approval expires twenty-four months from the approval date. Extensions of time may be granted, if requested in writing in accordance with OMC Section 17.08.060. The Planning entitlements expire unless Building Permits are pulled within two years of the original approval.
9. In conjunction with construction, all activity will be limited to the hours between 7:00 a.m. and 8:00 p.m. Monday through Saturday. No construction activity will be permitted on Sundays and Federal holidays.

10. These conditions shall be reprinted on the second page of the construction documents when submitted to the Building Division for the plan check process.
11. Any graffiti shall be removed within 72 hours from the time the City of Orange Notice of Violation is received by the applicant/property owner.
12. Any new lighting on the premise shall be installed in such a way to direct, control, and screen the lighting to prevent off site light spillage onto adjoining properties and shall not be a nuisance to any point beyond the exterior boundaries of the property.
13. Prior to issuance of Certificate of Occupancy, the applicant shall schedule a light reading inspection with the Crime Prevention Bureau. The lighting shall be tested and confirmed to determine if the lighting meets or exceeds the exterior boundary standards. The applicant shall use shielding so as to ensure that the light standards meet the requirements of OMC Section 17.12.030 for areas beyond the property's exterior boundaries; light spillage or pollution to surrounding residential areas shall not exceed a maintained minimum of 0.5 foot-candle.
14. Prior to building permit issuance, the applicant shall demonstrate to the satisfaction of the Community Development Director that all mechanical and air conditioning equipment shall be shielded and screened from view from adjacent streets and properties. The screening shall be integrated architecturally with the building and painted to match the walls of the building.
15. Prior to building permit issuance, the applicant shall obtain approval from the Planning Division for any and all signage associated with the proposed project and/or business.
16. Plans submitted for Building Plan Check shall comply with the California Fire Code as amended by the City and as frequently amended and in effect at the time of application for Building Permit.
17. Prior to building permit issuance, final landscaping plans for the project shall be designed to comply with the City's Water Efficient Landscape Guidelines as described in Section IX et al of the City of Orange Landscape Standards and Specifications.
18. Prior to building permit issuance, the applicant shall prepare a final landscaping and irrigation plan consistent with the grading plans, site plans, and the conceptual landscaping plan as proposed for the project for the review and approval of the Director of Community Development and Community Services Director.

13. ATTACHMENTS

- Attachment 1 Vicinity Map
- Attachment 2 Applicant Project Description
- Attachment 3 Project Plans
- Attachment 4 Sign Plans
- Attachment 5 Landscape Thumbnail Imagery
- Attachment 6 Building Renderings

- Attachment 7 Colors and Materials Board

APPROVED BY THE DESIGN REVIEW COMMITTEE AUGUST 4, 2021

MINUTES - FINAL

City of Orange

Design Review Committee

July 21, 2021

1. OPENING

The Design Review Committee of the City of Orange, California convened on July 21, 2021 at 5:30 p.m. in a Regular Meeting in the Council Chamber, 300 E. Chapman Avenue, Orange, California.

1.1 CALL TO ORDER

Chair Fox called the meeting to order at 5:31 p.m.

1.2 PLEDGE OF ALLEGIANCE

Committee Member McDermott led the flag salute.

1.3 ROLL CALL

Present: Fox, Imboden, McDermott, and Skorpanich

Absent: Farfan

2. PUBLIC COMMENTS

The following had non-agendized public comments:

- Tony Trabucco thanked former Committee Member Tim McCormack for his service on the Design Review Committee on behalf of the Old Towne Preservation Association.
- Megan Penn read a thank you letter to the Committee on behalf of former Committee Member Tim McCormack.

3. CONSENT CALENDAR

All matters under the Consent Calendar are considered to be routine by the Design Review Committee and will be enacted by one motion. There will be no separate discussion of said items unless members of the Design Review Committee, staff or the public request specific items removed from the Consent Calendar for separate action.

3.1. Approval of meeting minutes of the Design Review Committee of the City of Orange for the July 8, 2021 Special Meeting.

ACTION: Approved minutes as presented.

3.2. Design Review No. 5043-21, Patagonia Empanadas Bakery and Cafe, 2279 N. Tustin Street

A proposal to construct an attached 437 sq. ft. covered patio to an existing

restaurant storefront.

ACTION: Approved for Final Determination from the Design Review Committee.

Approval of the Consent Calendar

A motion was made by Committee Member Skorpanich, seconded by Committee Member McDermott, to approve the Consent Calendar.

The motion carried by the following vote:

Ayes: Fox, Imboden, McDermott, and Skorpanich

Noes: None

Absent: Farfan

4. NEW AGENDA ITEMS

4.1. Design Review No. 5022-21, Finney's Crafthouse & Kitchen, 204 W. Chapman Avenue

A proposal to rehabilitate a historic commercial building for a new restaurant including an outdoor patio in the Old Towne Historic District.

The following members of the applicant team spoke on behalf of the project:

- Brad Finefrock - property owner
- Kasey Conley - historic consultant
- Eric Behr - project architect

The Committee discussed the following:

- Plaster and texture of building exterior
- Windows/frames
- Olive Street and rear façades
- Preservation of the historic masonry
- Fence setback
- Bolts and parapet structural detail

This item was presented for preliminary review.

4.2. Design Review No. 5026-21, Popeyes Louisiana Kitchen, 584 N. Tustin Street

A proposal to demolish an existing vacant full-service restaurant and to construct a new 2,344 square foot drive-through restaurant with associated site improvements.

The following members of the applicant team spoke on behalf of the project:

- Shawn Danesh - representative for Popeyes
- Hannibal Petrossi - project architect

The Committee discussed the following:

- Street tree species and tree wells
- Mature tree size and canopy
- Color of light fixtures and doors

- Window frames
- Plant palette and proposed shrub toxicity to birds
- Parking lot shading

A motion was made by Vice Chair Imboden to approve Design Review No. 5026-21, Popeyes Louisiana Kitchen for recommendation to the Planning Commission subject to the Findings and Conditions in the staff report with the additional following Conditions:

1. The Heavenly Bamboo on the landscape plan shall be replaced with a non-toxic species.
2. The applicant shall substitute three trees with alternate tree species that have a canopy of larger scale and height. Changes shall be reviewed and approved by City staff prior to issuance of building permits.

Committee Member Skorpanich requested an additional Condition that all on-site trees shall be maintained to provide a full height canopy.

Vice Chair Imboden accepted the amendment to the motion.

A motion was made by Vice Chair Imboden, seconded by Committee Member Skorpanich, to approve Design Review No. 5026-21, Popeyes Louisiana Kitchen for recommendation to the Planning Commission subject to the Findings and Conditions in the staff report with the additional following Conditions:

1. The Heavenly Bamboo on the landscape plan shall be replaced with a non-toxic species.
2. The applicant shall substitute three trees with alternate tree species that have a canopy of larger scale and height. Changes shall be reviewed and approved by City staff prior to issuance of building permits.
3. On-site trees shall be maintained to provide a full height canopy.

The motion carried by the following vote:

Ayes: Fox, Imboden, McDermott, and Skorpanich

Noes: None

Absent: Farfan

5. ADJOURNMENT

There being no further business, the meeting adjourned at 7:33 p.m.

The next Regular meeting is scheduled for Wednesday, August 4, 2021 at 5:30 p.m. in the Council Chamber.



ANNA PEHOUSHEK
ASSISTANT COMMUNITY
DEVELOPMENT DIRECTOR
DRC STAFF LIAISON