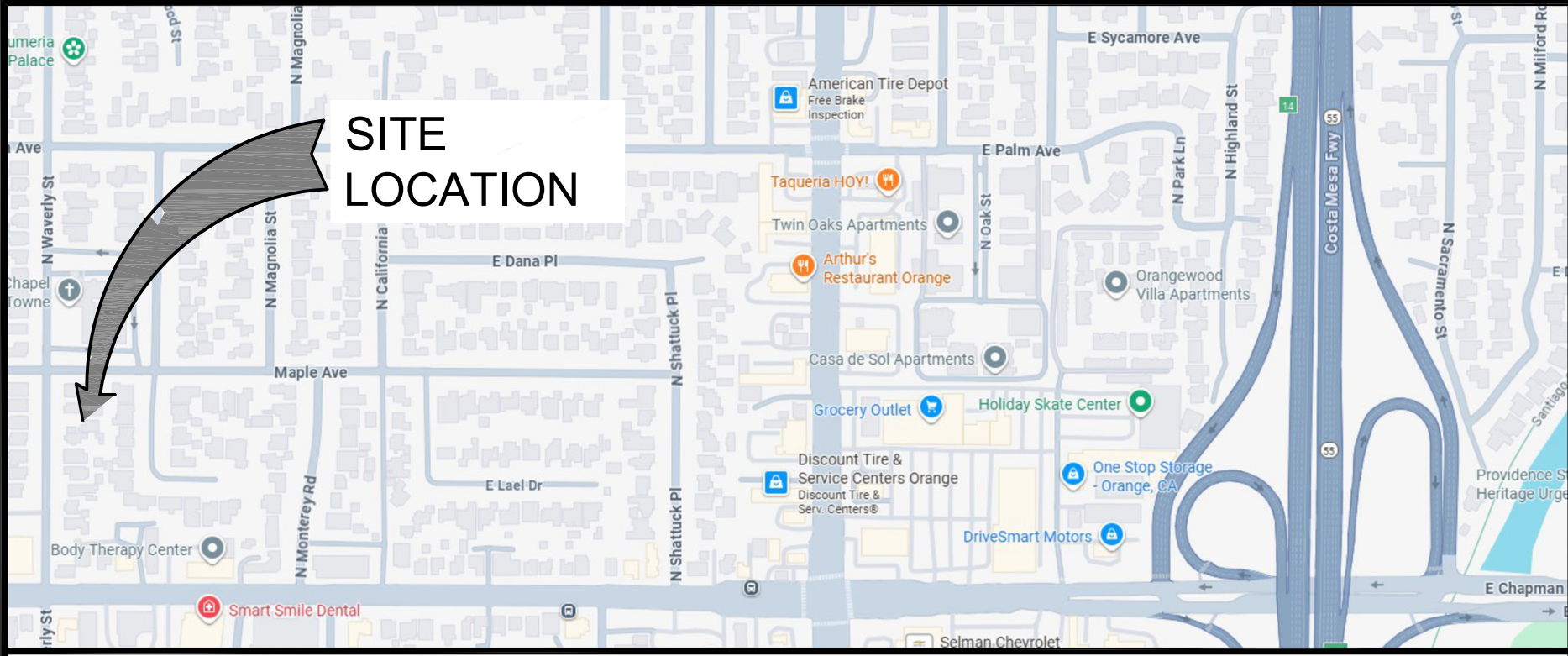


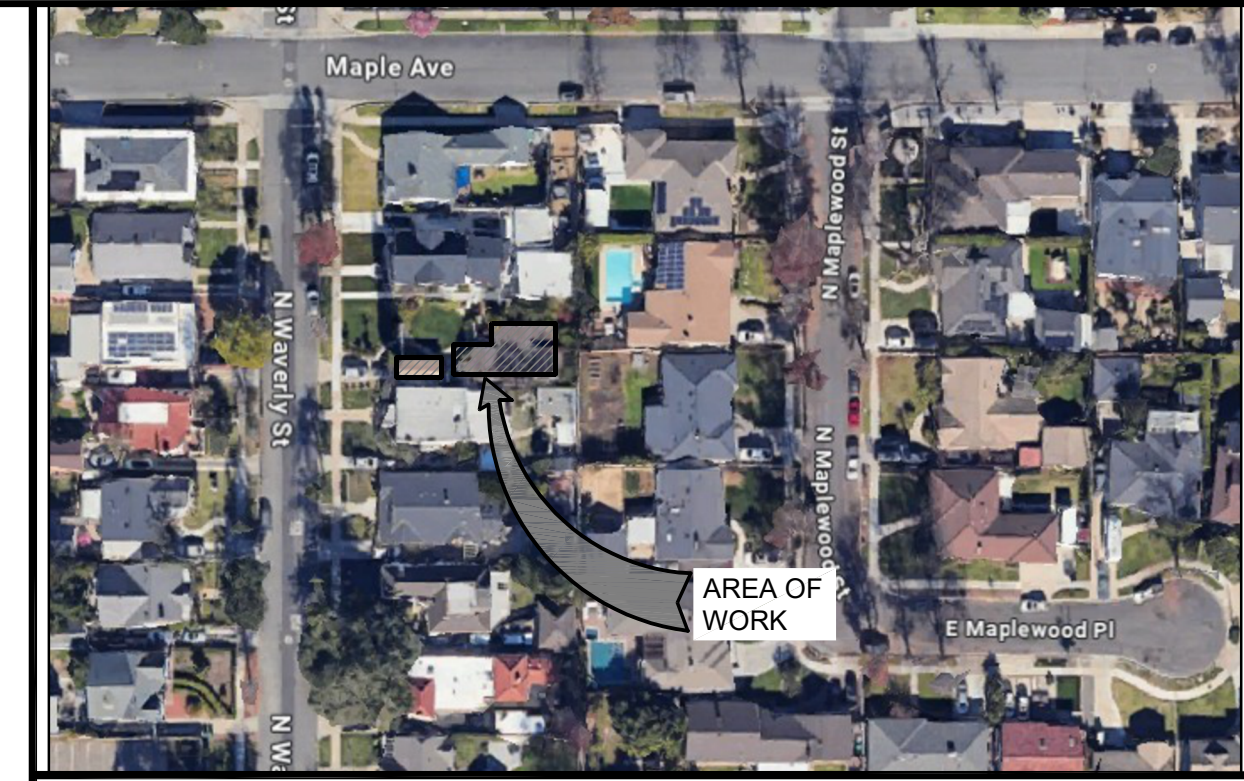
REMODEL

173 WAVERLY STREET

ORANGE, CALIFORNIA 92866



VICINITY MAP



LOCATION MAP

PROJECT INFORMATION REQUIREMENTS

PROJECT LOCATION: 173 N. WAVERLY ST., ORANGE, CA 92866
 PROJECT DESCRIPTION:
 COSMETIC UPDATES THROUGHOUT THE HOME (KITCHEN, BEDROOMS, BATHROOMS, ETC), REPAIR OF IRREGULAR CONSTRUCTION IN AREAS OF ROOF AND HOME INTERIOR. UPDATES FOR HVAC AND WINDOWS AS NEEDED. UPDATES TO LANDSCAPING, FRESH PAINT THROUGHOUT, NEW APPLIANCES, FIXTURES AND HARDWARE THROUGHOUT HOME. ADDITION OF APPROXIMATELY 180 SQUARE FEET TO THE CURRENT PRIMARY HOME LAYOUT, WHILE ENLARGING THE MASTER BEDROOM, ADDING A 3RD BEDROOM AND BATHROOM TO THE HOME.
 CURRENT LAYOUT: 2 BEDROOM, 2 BATHROOM, 1,269 SQFT LAYOUT (SOFT PER APPRAISAL MEASUREMENT)
 RESULTING LAYOUT: PRIMARY HOME AS A 3 BEDROOM, 2-1/2 BATHROOM, APPROX. 1,449 SQFT LAYOUT
 SPRINKLERS: <NO> WHERE THE EXISTING BUILDING IS EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS, ANY NEWLY CREATED LIVING, SLEEPING, EATING, COOKING, OR SANITATION AREA SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS, INCLUDING, BUT NOT LIMITED TO, CONVERTED ATTICS, CARPORTS WITH NEW HABITABLE SPACE ABOVE, AND ENCLOSED PATIO COVERS/CALIFORNIA ROOMS.
 ANY ADDITION OR MODIFICATION TO AN EXISTING FIRE SPRINKLER SYSTEM IS SUBJECT TO A SEPARATE APPROVAL AND PERMIT FROM THE ORANGE COUNTY FIRE AUTHORITY (OCFA).
 THE EXISTING FLOOR AREA RATIO (F.A.R.) IS 1.254 / 6,750 TO EQUAL .18
 THE PROPOSED FLOOR AREA RATIO (F.A.R.) IS 1.434 / 6,750 TO EQUAL .21 FAR

CITY OF ORANGE MUNICIPAL CODE (OMC)

[NOTE: COMPLETE OMC TEXT IS AVAILABLE ON THE INTERNET AT [HTTPS://ECODE360.COM/43565262#43565263](https://ecode360.com/43565262#43565263)]
 THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE ORANGE MUNICIPAL CODE PROVISIONS AND/OR PUBLISHED INFORMATION BULLETINS INCLUDING BUT NOT LIMITED TO:

§ 15.04.010 CALIFORNIA CONSTRUCTION CODES ADOPTED BY REFERENCE.

FOR THE PURPOSE OF PRESCRIBING REGULATIONS FOR ERECTING, CONSTRUCTION, ENLARGEMENT, ALTERATION, REPAIR, IMPROVING, REMOVAL, CONVERSION, DEMOLITION, OCCUPANCY, EQUIPMENT USE, HEIGHT, AND AREA OF BUILDINGS AND STRUCTURES, THE FOLLOWING CONSTRUCTION CODES SUBJECT TO THE ORANGE MUNICIPAL CODE AND MODIFICATIONS SET FORTH IN THIS CHAPTER, INCLUDING ERRATA AND SUPPLEMENTS HEREAFTER, ARE HEREBY ADOPTED: THE CALIFORNIA BUILDING CODE, 2022 EDITION, BASED ON THE 2021 INTERNATIONAL BUILDING CODE AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL, INCLUDING CHAPTER 1, DIVISION II AND APPENDICES I, J, AND P; THE CALIFORNIA RESIDENTIAL CODE, 2022 EDITION, BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE, INCLUDING APPENDICES AH AND AX; THE CALIFORNIA GREEN BUILDING STANDARDS CODE, INCLUDING APPENDICES A4, A5, A5.2, A5.3, A5.4, A5.5, AND A5.6, 2022 EDITION; THE CALIFORNIA PLUMBING CODE, 2022 EDITION, BASED ON THE 2021 UNIFORM PLUMBING CODE AS PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, INCLUDING APPENDICES A, B, D, H, I, AND J; THE CALIFORNIA MECHANICAL CODE, 2022 EDITION, BASED ON THE 2021 UNIFORM MECHANICAL CODE AS PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, INCLUDING APPENDICES B AND C; THE CALIFORNIA ELECTRICAL CODE, 2022 EDITION, BASED ON THE 2020 NATIONAL ELECTRICAL CODE AS PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION, INCLUDING ANNEXES A AND B; THE INTERNATIONAL PROPERTY MAINTENANCE CODE, 2021 EDITION, AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL; THE UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS, 1997 EDITION, AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL.

THE PROVISIONS OF THESE CONSTRUCTION CODES AS AMENDED BY THIS CHAPTER SHALL CONSTITUTE THE BUILDING REGULATIONS OF THE CITY OF ORANGE. WHERE THE CALIFORNIA CODE OF REGULATIONS AND STATE BUILDING STANDARDS CODE OF REGULATIONS DIFFER FROM ANY SECTIONS OF THE CONSTRUCTION CODES, STATE REGULATIONS SHALL PREVAIL OVER THE CONSTRUCTION CODES.

CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

PROVISIONS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARD APPLY TO THIS PROJECT. SEE SHEET <N/A> FOR COMPLETE COMPLIANCE DOCUMENTATION.

CALIFORNIA GREEN BUILDING STANDARDS CODE

PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE APPLY TO ALL RESIDENTIAL ALTERATIONS THAT INCREASE THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE. SEE SHEET <INSERT SHEET NUMBER OR N/A> FOR APPLICABLE GREEN BUILDING STANDARDS NOTES AND REQUIREMENTS.

KITCHEN REMODEL GENERAL NOTES

- THE MAXIMUM FLOW RATE STANDARD FOR NEW SINK FAUCETS SHALL BE 1.8 GPM AT 60 PSI. IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.

KITCHEN RANGE HOOD AIRFLOW RATES

- CALIFORNIA ENERGY CODE (CEC) TABLE 150.0-G: KITCHEN RANGE HOOD AIRFLOW RATES (CFM) AND ASTM E5087 CAPTURE EFFICIENCY (CE) RATINGS ACCORDING TO DWELLING UNIT FLOOR AREA AND KITCHEN RANGE FUEL TYPE.

DWELLING UNIT FLOOR AREA (ft ²)	HOOD OVER ELECTRIC RANGE	HOOD OVER NATURAL GAS RANGE
> 1500	50% CE or 110 cfm	70% CE or 180 cfm
> 1000 - 1500	50% CE or 110 cfm	80% CE or 250 cfm
750 - 1000	55% CE or 130 cfm	85% CE or 280 cfm
< 750	65% CE or 160 cfm	85% CE or 280 cfm

KITCHEN LIGHTING

- ALL NEW OR ALTERED LIGHTING SHALL COMPLY WITH CURRENT MANDATORY FEATURES PER CALIFORNIA ENERGY CODE (CEC) SECTION 150.0(B).
- ALL NEW AND ALTERED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A.
- RECESSED DOWN-LIGHT LUMINAIRES INSTALLED IN INSULATED CEILINGS SHALL BE PROVIDED WITH ZERO RECESS INSULATION CONTACT (IC) LISTED BY UNDERWRITERS LABORATORY (UL) OR EQUIVALENT AND AIR TIGHT (AC) LABEL FIXTURES.
- LED LUMINAIRES SHALL BE INSTALLED IN LED FIXTURES RATED FOR THE SPECIFIC VOLTAGE.
- LIGHTING FROM ADJACENT KITCHEN AREA SUCH US DINING AND NOOK AREAS SHALL HAVE SEPARATE CONTROLS IF NOT PART OF THE AREA OF REMODEL.

KITCHEN ELECTRICAL OUTLETS

- ALL ELECTRICAL 125V THROUGH 250V OUTLETS INSTALLED TO SERVE THE COUNTERTOP SURFACE IN A KITCHEN OR WITHIN 6 FT FROM THE TOP INSIDE EDGE OF THE SINK BOWL SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION (GFCI) PER CEC 210.8 (A)(6)(7).
- ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN KITCHENS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT, OR BY OTHER METHOD IN ACCORDANCE WITH CEC 210.12(A), (CEC 210.12(A)(1)).
- RECEPTACLE OUTLETS SHALL BE INSTALLED ON OR WITHIN 20 INCHES ABOVE COUNTERTOPS AND WORK SURFACES SUCH THAT:
 - NO POINT ALONG THE WALL LINE ADJACENT TO COUNTERTOPS AND WORK SURFACES AT LEAST 12 INCHES IN WIDTH IS MORE THAN 24 HORIZONTAL INCHES FROM A RECEPTACLE OUTLET. COUNTERTOP BEHIND A RANGE OR SINK IS EXEMPT UNLESS SUCH COUNTERTOP IS AT LEAST 12 INCHES WIDE OR 18 INCHES WIDE FOR A CORNER INSTALLATION.
 - AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF AT LEAST 24 INCHES AND A SHORT DIMENSION OF AT LEAST 12 INCHES. (CEC 210.52(C))
 - AT LEAST ONE GFCI PROTECTED RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTERTOP WITH A LONG DIMENSION OF 2 FEET OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER PER CEC SECTION 210.52(C)(2).
 - AT LEAST ONE GFCI PROTECTED RECEPTACLE OUTLET IS TO BE INSTALLED AT EACH PENINSULAR COUNTERTOP WITH A LONG DIMENSION OF 3 FEET OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER PER CEC 210.52(C)(3).
- RECEPTACLE OUTLETS SHALL BE LOCATED ON OR ABOVE, BUT NO MORE THAN 20 INCHES ABOVE THE COUNTER TOP PER CEC 210.52(C)(3)(1).
- PROVIDE A MINIMUM OF TWO 20 AMPS SMALL APPLIANCE BRANCH CIRCUITS FOR RECEPTACLES IN THE KITCHEN PER CEC 210.11(C)(1).

BATHROOM REMODEL GENERAL NOTES

- THE MAXIMUM FLOW RATE STANDARDS FOR NEW PLUMBING FIXTURES SET BY THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC 4.303) ARE AS FOLLOWS:

A. WATER CLOSETS	1.28 GALLONS PER FLUSH (SEE NOTE 2)
B. SHOWER HEADS	1.8 GPM @ 80 PSI (SEE NOTE 1)
C. LAVATORY FAUCETS	1.2 GPM @ 60 PSI

NOTES:

- WHEN SHOWER IS SERVED BY MORE THAN ONE SHOWER HEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT ONE TIME.
- THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINE AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF 72 INCHES ABOVE THE FLOOR. (CRC R307)
- ALL GLAZING LESS THAN 60 INCHES ABOVE A SHOWER OR TUB FLOOR SHALL BE SAFETY GLAZING TYPE. (CRC R308.4.5)
- ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMP BATHROOM RECEPTACLES SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.
- BATHROOM BRANCH CIRCUITS: AT LEAST ONE 120-VOLT, 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. OTHER EQUIPMENT, SUCH US LIGHTING, EXHAUST FANS) WITHIN THE SAME BATHROOM MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY (CEC 210.11(C)(3)).
- BATHROOM ELECTRICAL OUTLETS: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR BASIN COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET. IN NO CASE SHALL THE RECEPTACLE BE LOCATED MORE THAN 12 INCHES BELOW THE TOP OF THE BASIN (CEC 210.52 (D)).
- RECEPTACLES AT BATHTUBS AND SHOWER SPACES SHALL NOT BE INSTALLED WITHIN 3 FEET HORIZONTAL AND 8 FEET VERTICAL FROM THE TOP OF THE BATHTUB RIM OR THE SHOWER THRESHOLD. (CEC 406.9(C))
- PRIVATE BATHROOMS WITH A BATHTUB OR SHOWER SHALL BE PROVIDED WITH ENERGY STAR COMPLIANT EXHAUST FANS CONTROLLED BY A HUMIDITY CONTROL, AND HAVING A MINIMUM CAPACITY OF 20 CFM CONTINUOUS OR 50 CFM INTERMITTENT. (CMC TABLE 403.7, CGBC 4.506.1)
- WATER CLOSETS AND BIDETS SHALL BE INSTALLED A MINIMUM OF 15 INCHES FROM ANY WALL OR OBSTRUCTION MEASURED TO THE CENTERLINE OF THE FIXTURE, AND 30 INCHES TO A SIMILAR FIXTURE MEASURED CENTERLINE TO CENTERLINE. THE CLEAR FLOOR SPACE IN FRONT OF A WATER CLOSET, LAVATORY, OR BIDET SHALL BE NOT LESS THAN 24 INCHES. (CPC 402.5)
- FIXTURES HAVING CONCEALED SLP JOINT CONNECTIONS SHALL BE PROVIDED WITH AN ACCESS PANEL OR UTILITY SPACE NOT LESS THAN 12 INCHES IN ITS LEAST DIMENSION. (CPC 402.10)
- SHOWERS SHALL HAVE A WASTE OUTLET AND FIXTURE TAILPIECE (P-TRAP) NOT LESS THAN 2 INCHES IN DIAMETER. (CPC 408.4)
- SHOWER THRESHOLD (WHERE PROVIDED) SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 INCHES DOOR. SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS. (CPC 408.5)
- SHOWER COMPARTMENTS, REGARDLESS OF THE SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. (CPC 408.6)

- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE OF THE COMPARTMENT. (CPC 408.9)
- WHERE TWO SEPARATE HANDLES CONTROL THE HOT AND COLD WATER, THE LEFT-HANDED HANDLE SHALL CONTROL HOT WATER. (CPC 417.5)
- THE NUMBER OF WATER CLOSETS SERVED BY A 3-INCH DRAIN SHALL NOT EXCEED FIVE. (CPC TABLE 703.2)
- NEWLY INSTALLED LUMINAIRES IN A BATHROOM:
 - SHALL BE HIGH EFFICACY AND MEET THE APPLICABLE REQUIREMENTS OF CEC TABLE 150.0-A. (CEC 150.0(K)(1)A)
 - WHEN RECESSED, SHALL BE LISTED FOR ZERO CLEARANCE, LABELED TO CERTIFY AIR LEAKAGE LESS THAN 2 CFM, SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE CEILING, AND SHALL NOT CONTAIN SCREW BASE SOCKETS. (CEC 150.0(K)(1)C)
 - SHALL BE CONTROLLED SEPARATELY FROM EXHAUST FANS. (CEC 150.0(K)(2)G)
 - SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED CONTROLS ALLOWING THE LIGHTS TO BE MANUALLY TURNED ON AND OFF. (CEC 150.0(K)(2)A)
 - SHALL NOT HAVE CONTROLS THAT BYPASS A DIMMER, OCCUPANT SENSOR, OR VACANCY SENSOR. (CEC 150.0(K)(2)B)
 - SHALL HAVE AT LEAST ONE LUMINAIRE CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY. (CEC 150.0(K)(2)E.I)
 - THAT ARE OR CONTAIN LIGHT SOURCES THAT MEET REFERENCE JOINT APPENDIX JAS REQUIREMENTS FOR DIMMING, AND THAT ARE NOT CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR, SHALL HAVE DIMMING CONTROLS. (CEC 150.0(K)(2)D)

DOOR /WINDOW REPLACEMENT

REPLACEMENTS OF DOORS AND WINDOWS HAVING THE SAME DIMENSIONS OF THOSE BEING REPLACED SHALL MEET REQUIREMENTS FOR WEATHER PROOFING, SECURITY AND ENERGY EFFICIENCY.
 REPLACEMENT OF EXTERIOR DOORS AND WINDOWS SHALL BE IN COMPLIANCE WITH SECURITY REQUIREMENTS DESCRIBED IN CITY OF ORANGE MUNICIPAL CODE.
 CALIFORNIA ENERGY CODE (CEC) SECTION 150.2(b)1.B. REQUIRES DOORS/WINDOWS TO MEET U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) IN PRESCRIPTIVE STANDARDS. PER TABLE 150.1A CLIMATE ZONE 8 REQUIREMENTS ARE AS FOLLOWS:
 - MAXIMUM U-FACTOR = 0.30
 - MAXIMUM SHGC = 0.23
 - MAXIMUM TOTAL AREA = 20%
 - MAXIMUM WEST FACING AREA = 5%

SMOKE ALARM AND CARBON MONOXIDE ALARM REQUIREMENTS

WHERE ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRING BUILDING PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. (CRC R314)

FOR EXISTING BUILDINGS AND NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS CONTAINING A FUEL-FIRE APPLIANCE OR FIREPLACE, OR THAT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT. (CRC R315)

STORMWATER POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION DEVICES AND PRACTICES SHALL BE INSTALLED AND/OR INSTITUTED AS NECESSARY TO ENSURE COMPLIANCE TO THE CITY OF ORANGE MUNICIPAL CODE AND ANY EROSION CONTROL PLAN ASSOCIATED WITH THIS PROJECT. ALL SUCH DEVICES AND PRACTICES SHALL BE MAINTAINED, INSPECTED AND/OR MONITORED TO ENSURE ADEQUACY AND PROPER FUNCTION THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.

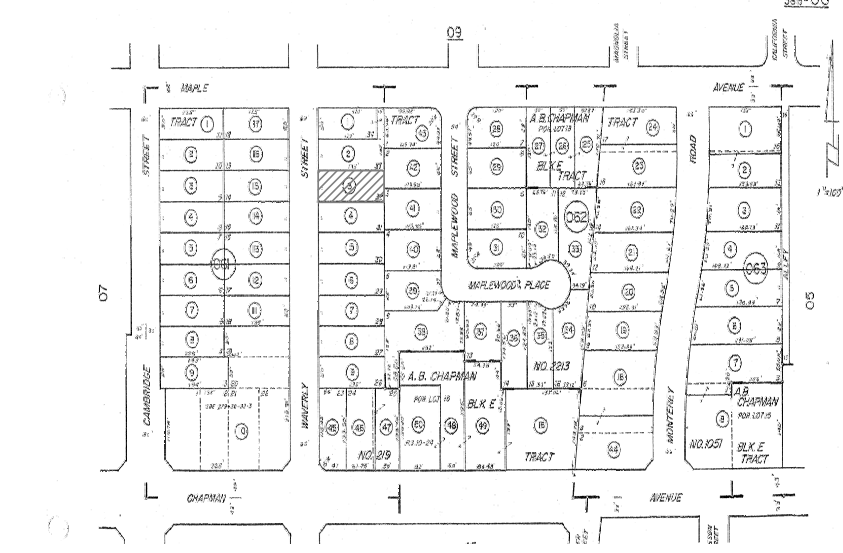
COMPLIANCE TO THE WATER QUALITY STANDARDS AND ANY EROSION AND SEDIMENT CONTROL PLAN ASSOCIATED WITH THIS PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING REQUIREMENTS:

- AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL MEASURES (BMP) SHALL BE IMPLEMENTED TO PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES.
- SEDIMENTS AND OTHER POLLUTANTS SHALL BE RETAINED ON SITE UNTIL PROPERLY DISPOSED OF, AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS SHALL BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM, NOR BE ALLOWED TO SETTLE OR INFILTRATE INTO SOIL.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTES.
- TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITS SHALL BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- STORMWATER POLLUTION PREVENTION DEVICES AND/OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS.

NATURAL GAS SYSTEM GENERAL NOTES

- ACCEPTABLE PIPE MATERIALS:
 - BLACK STEEL SCHEDULE 40 - ASME B36.10, ASTM A53, OR ASTM A106.
 - ALUMINUM ALLOY - ASTM B341. MUST BE COATED TO PROTECT AGAINST EXTERNAL CORROSION; NOT ALLOWED IN EXTERIOR LOCATIONS OR UNDERGROUND.
 - CORRUGATED STAINLESS STEEL - CSA LC-1
 - POLYETHYLENE (PE) PLASTIC - ASTM D2513. ALLOWED FOR INSTALLATION OUTDOORS, UNDERGROUND ONLY; INSTALL TRACER WIRE (THICKNESS AWG 14) TO FACILITATE LOCATING.
- METALLIC PIPE JOINTS AND FITTINGS SHALL BE THREADED, FLANGED, BRAZED, WELDED, OR PRESS-CONNECT FITTINGS. (CPC 1208.6.10.1)
- PLASTIC PIPE JOINTS AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CPC 1208.6.11)
- UNDERGROUND PIPING INSTALLATION:
 - METALLIC PIPING IS PROHIBITED FOR UNDERGROUND INSTALLATION IN THE CITY OF ORANGE.
 - MINIMUM 18 INCHES BELOW GROUND. (CPC 1210.1.1)
 - WHERE INSTALLED THROUGH THE OUTER FOUNDATION OR BASEMENT WALL, ENCASE IN A PROTECTIVE SLEEVE. THE SPACE BETWEEN THE PIPE AND THE SLEEVE, AND THE SLEEVE AND THE WALL MUST BE SEALED. (CPC 1210.1.5)
 - WHERE INSTALLED UNDERGROUND BENEATH BUILDINGS, ENCASE IN A CONDUIT DESIGNED TO WITHSTAND THE IMPOSED LOADS. (CPC 1210.1.6)
- APPLIANCES CONNECTED TO THE GAS PIPING SYSTEM SHALL HAVE AN ACCESSIBLE MANUAL SHUT-OFF VALVE EACH SERVING A SINGLE APPLIANCE AND INSTALLED WITHIN 6 FEET OF THE APPLIANCE IT SERVES. (CPC 1212.6)

MAP AND TRACK INFORMATION



LOT 32 OF TRACT NO. 219 OF "DRUMM'S ADDITION" IN THE CITY OF ORANGE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 13, PAGE 3 OF MISCELLANEOUS MAPS; RECORDS OF SAID ORANGE COUNTY, CALIFORNIA.

APN: 386-062-03

ZONING: SINGLE FAMILY RESIDENCE, 6,000 SQUARE FEET (R-1-6).

APPLICABLE STATE CODES (WITH CITY OF ORANGE AMENDMENTS)

CALIFORNIA BUILDING CODE	2022
CALIFORNIA RESIDENTIAL CODE	2022
CALIFORNIA GREEN BUILDING STANDARDS CODE	2022
CALIFORNIA MECHANICAL CODE	2022
CALIFORNIA ELECTRICAL CODE	2022
CALIFORNIA PLUMBING CODE	2022
CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS	2022

SHEET INDEX

T-1	TITLE SHEET
A-1.0	NEW AND EXISTING PLOT PLANS
A-1.1	EXISTING/DEMO PLAN - HOUSE
A-1.2	EXISTING PLANS - GARAGE
A-2.0	PROPOSED PLAN - HOUSE
A-2.1	PROPOSED ROOF PLAN - HOUSE
A-2.2	EXISTING ROOF PLAN - HOUSE
A-2.3	PROPOSED PLANS - ADU
A-3.0	EXISTING ELEVATIONS - HOUSE
A-3.1	PROPOSED ELEVATIONS - ADU
A-3.2	PROPOSED ELEVATIONS - HOUSE
A-5.0	DOOR AND WINDOW SCHEDULES
E-2.0	ELECTRICAL PROPOSED PLAN - HOUSE
E-2.1	ELECTRICAL PROPOSED PLAN - ADU

7	NO.	DATE
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5		
4		
3		
2		07/28/2025
1	AS NOTED	3/24/2026

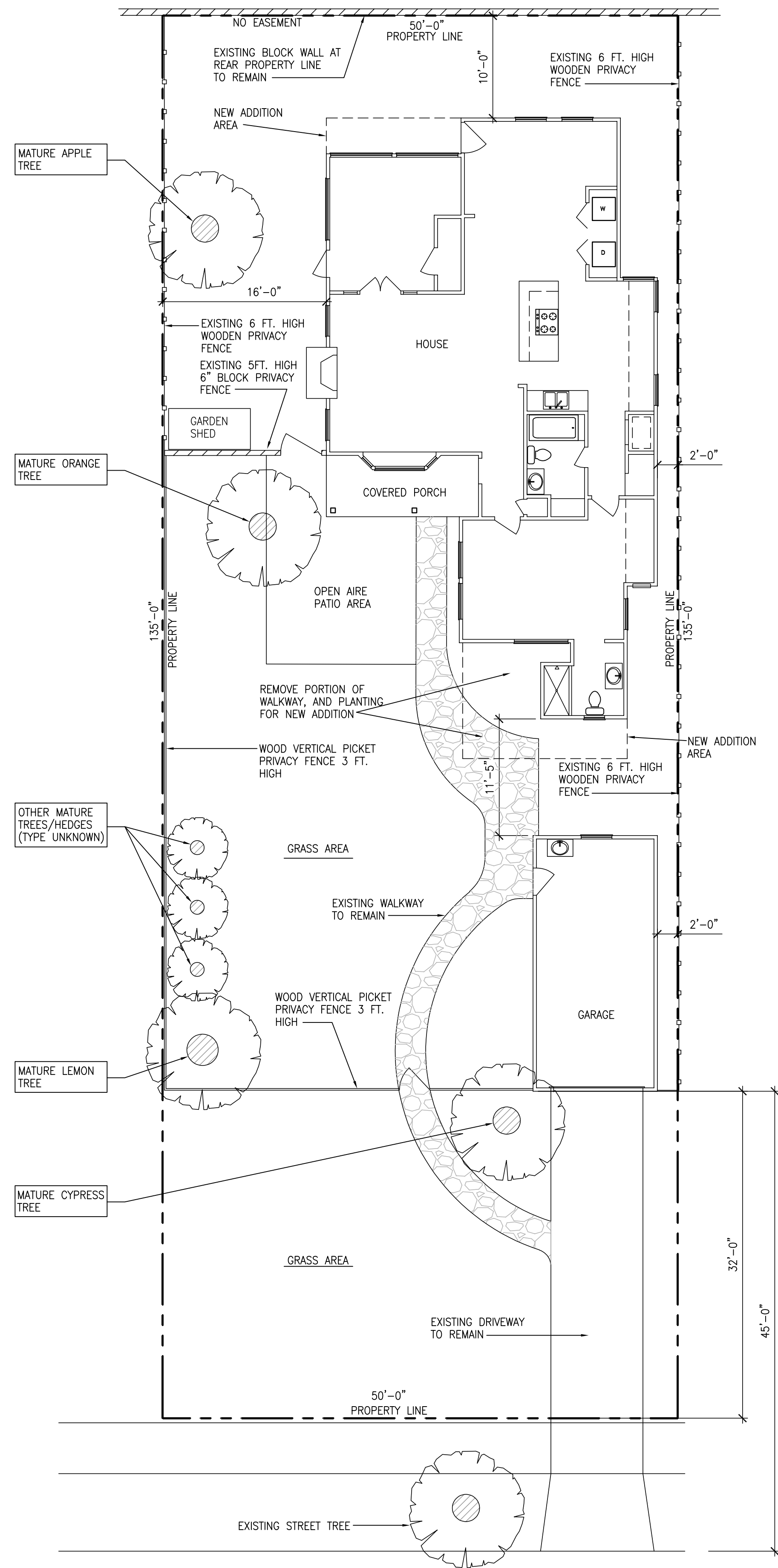
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CHECKED:	5
DATE:	4
SCALE:	3
NO.	2
DATE	1

PLANS PREPARED BY:
LLEWIS CAD SERVICES
 7320 HAWTHORN AVE.
 UNIT 224
 LOS ANGELES, CA 90046
L. Lewis

TITLE SHEET

REMODEL
 173 WAVERLY ST.
 ORANGE, CALIFORNIA 92866

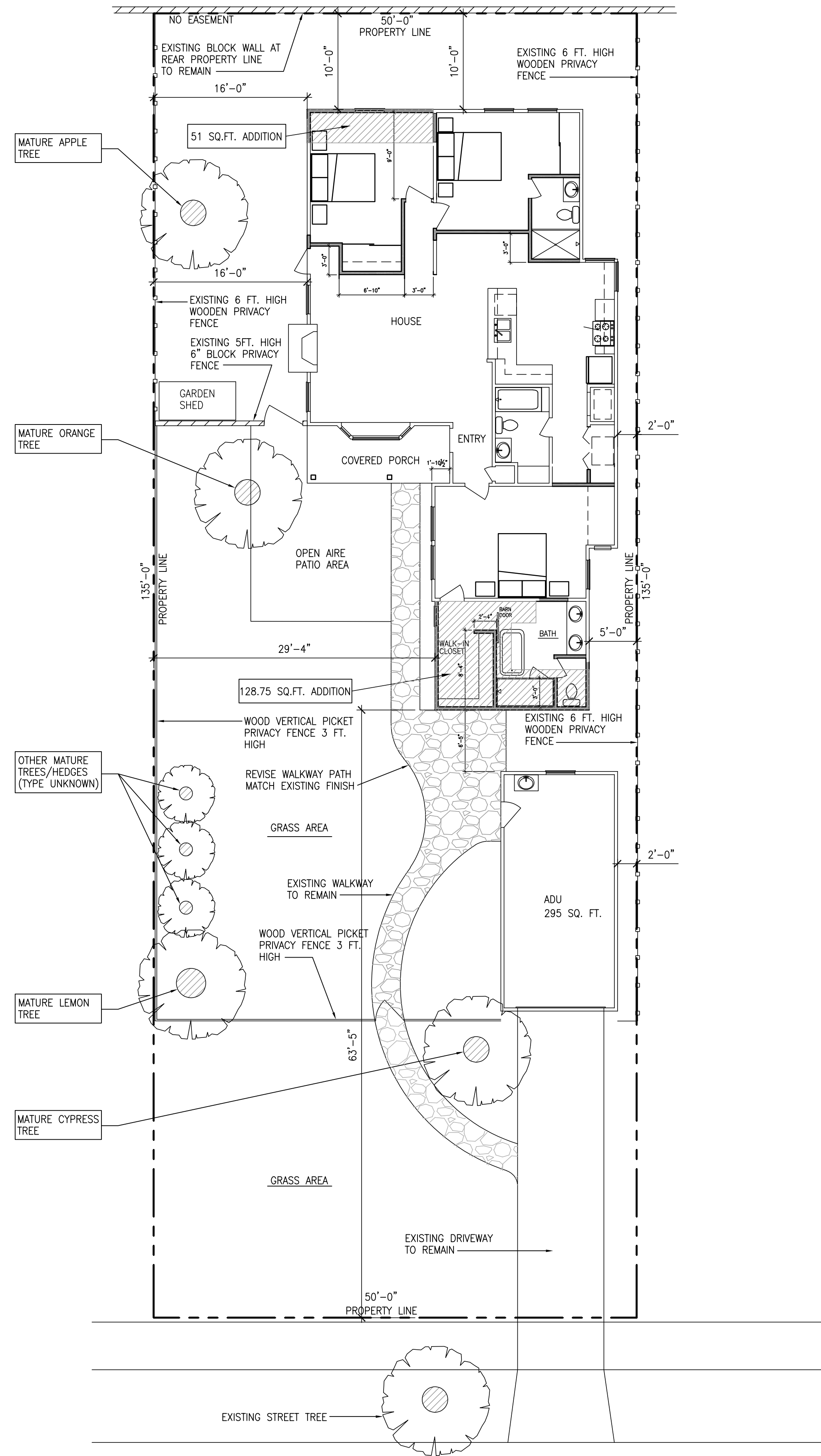
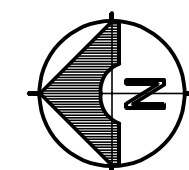
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T-1



WAVERLY STREET

EXISTING PLOT PLAN

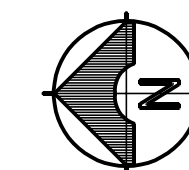
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WAVERLY STREET

PROPOSED PLOT PLAN

SCALE: 1/8"=1'-0"



COUNTY OF ORANGE
LOT 32 OF TRACK NO. 219
PARCEL BOOK 13, PAGE 3
APN: 386-062-03

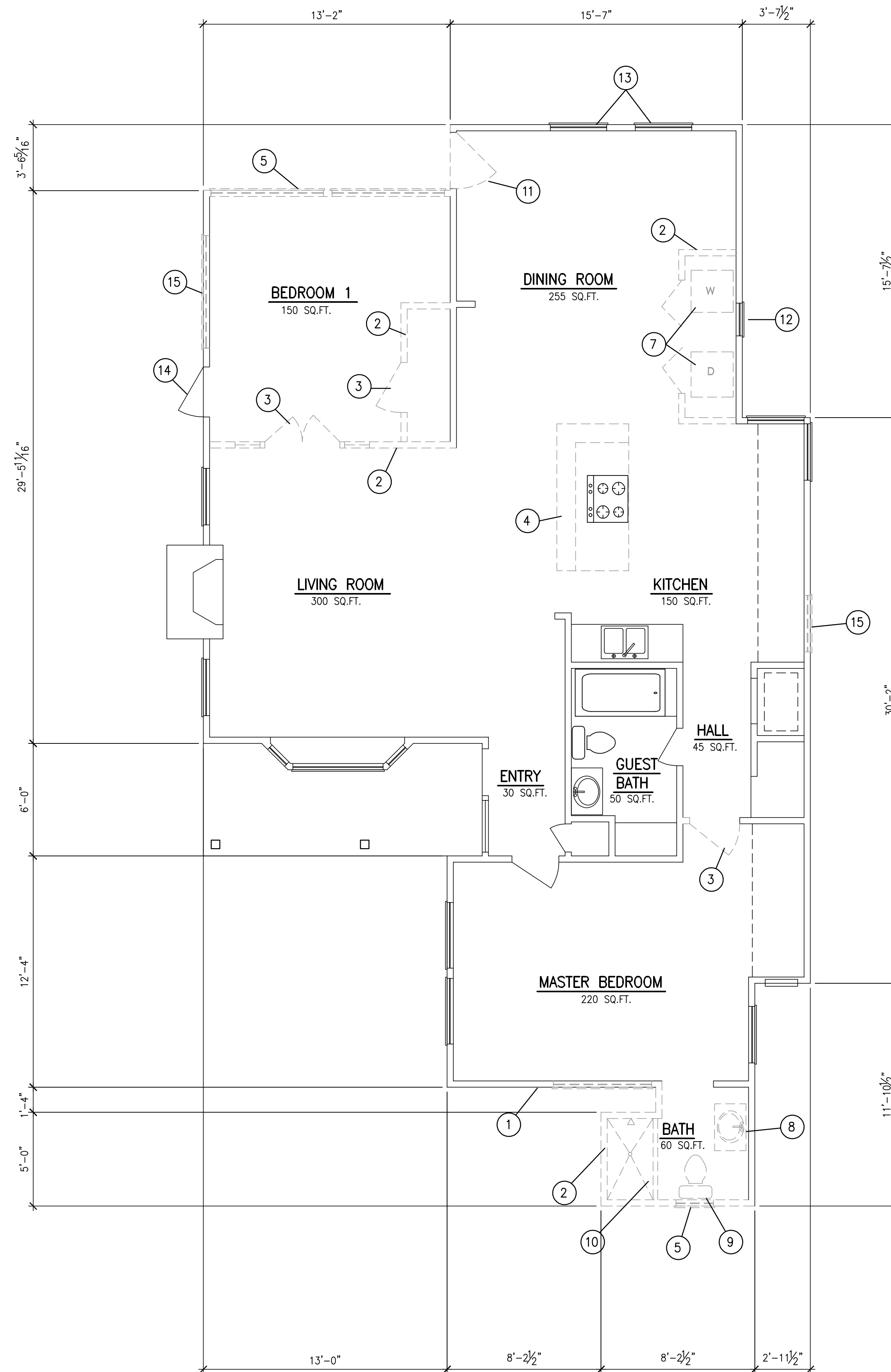
EXISTING HOUSE
2-BEDROOM, 2-BATH
TOTAL SQ. FT. = 1,254 SQ.FT.

PROPOSED HOUSE
3-BEDROOM, 3-BATH
ADDITIONAL 180 SQ.FT.
TOTAL SQUARE FEET = 1,434 SQ.FT.

ADU CONVERSION
1-BEDROOM, 1-BATH
TOTAL SQUARE FEET = 295 SQ.FT.

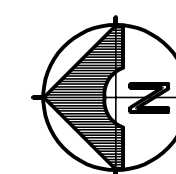
TOTAL HOUSE + ADU
4-BEDROOM, 4-BATH
TOTAL HOUSE + ADU = 1,729 SQ.FT.

DESIGNED:		DRAWN: LL		CHECKED: KT		DATE: 07/28/2025		SCALE: AS NOTED	
PLANS PREPARED BY:		LLEWIS CAD SERVICES 7320 HAWTHORN AVE. UNIT 224 LOS ANGELES, CA 90046 <i>L. Lewis</i>							
EXISTING AND PROPOSED PLOT PLANS		REMODEL 173 WAVERLY ST. ORANGE, CALIFORNIA 92866							
PLAN CHECK:		PERMIT:							
SHEET		A-1.0							
NO.		DATE		NO.		DATE		REVISIONS	
7				1		3/24/2026		Planning Department Revisions	
6				2					
5				3					
4				4					
3				5					
2				6					
1				7					



EXISTING / DEMO FLOOR PLAN - HOUSE

SCALE:
1/4" = 1'-0"



INDEX

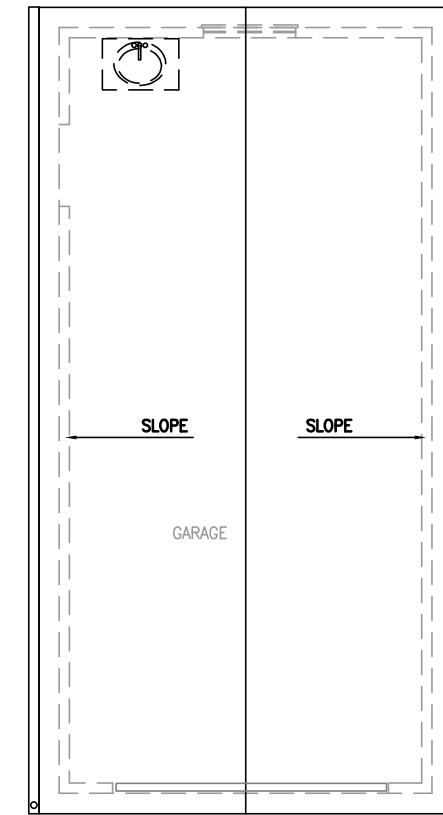
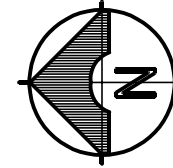
- ① IN FILL EXISTING OPENING WITH 2x STUDS @ 16"O.C. AND DRYWALL. MATCH EXISTING STUDS.
- ② REMOVE EXISTING WALL AND FRAMING
- ③ REMOVE EXISTING DOOR AND FRAME
- ④ RELOCATE EXISTING ISLAND
- ⑤ REMOVE EXISTING WINDOW AND FRAME, WALL FRAMING.
- ⑥ REMOVE EXISTING WALK-IN SHOWER AND PLUMBING
- ⑦ REMOVE EXISTING WASHER AND DRYER AND PLUMBING
- ⑧ REMOVE EXISTING SINK AND PLUMBING
- ⑨ REMOVE EXISTING TOILET AND PLUMBING
- ⑩ REMOVE EXISTING SHOWER AND PLUMBING
- ⑪ EXISTING DOOR TO BE REMOVED AND FILL IN OPENING. DOOR TO BE REPURPOSED AT NORTH SIDE EXTERIOR DOORWAY. SEE ITEM 14.
- ⑫ REPLACE EXISTING WINDOW.
- ⑬ REMOVE AND REPLACE EXISTING WINDOW.
- ⑭ DOORWAY TO MOVE 16 INCHES TO THE WEST PER SHEET A-2.0
- ⑮ REMOVE EXISTING WINDOW AND FRAME, INFILL EXISTING WINDOW 2x STUDS @ 16"O.C. AND DRYWALL, MATCH EXISTING STUDS AND NEW FINISH

NOTE:
1. REPLACE EXISTING EXTERIOR FINISH PER ELEVATIONS SHEET A3.2

DESIGNED BY:		DRAWN BY:		CHECKED BY:		DATE:		SCALE:		NO.		DATE	
LLEWIS CAD SERVICES		LL		KT		07/28/2025		AS NOTED		1		3/24/2026	
7320 HAWTHORN AVE.		UNIT 224		LOS ANGELES, CA 90046								Planning Department Revisions	
PLANS PREPARED BY:		LLEWIS CAD SERVICES		7320 HAWTHORN AVE.		UNIT 224		LOS ANGELES, CA 90046					
EXISTING / DEMO PLAN		REMODEL		173 WAVERLY ST.		ORANGE, CALIFORNIA 92866							
PLAN CHECK:		PERMIT:		SHEET		A-1.1							

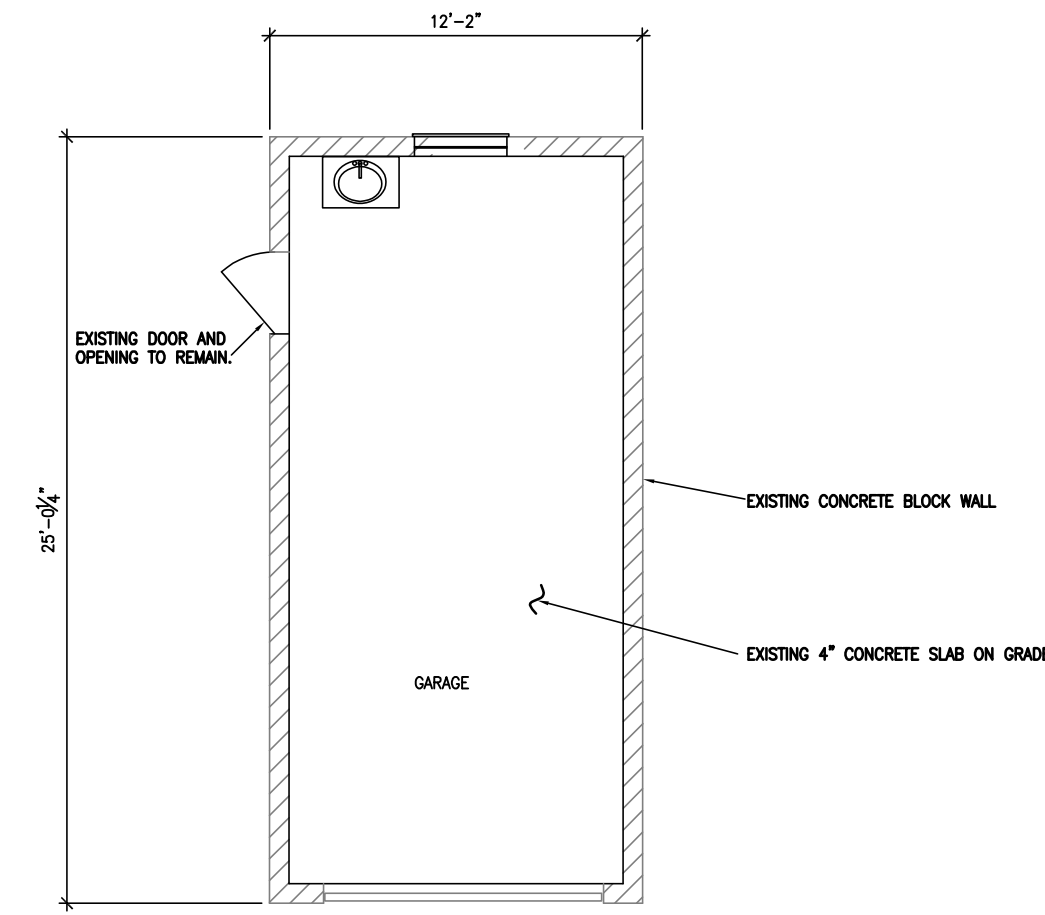
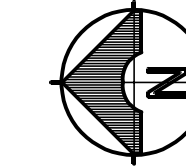
EXISTING ROOF PLAN - GARAGE

SCALE:
1/4"=1'-0"



EXISTING FLOOR PLAN - GARAGE

SCALE:
1/4"=1'-0"



EXISTING AND DEMO PLAN

REMODEL
173 WAVERLY ST.
ORANGE, CALIFORNIA 92866

PLANS PREPARED BY:
LLEWIS CAD SERVICES
7320 HAWTHORN AVE.
UNIT 224
LOS ANGELES, CA 90046

L. Lewis

DESIGNED:
DRAWN: LL
CHECKED: KT
DATE: 07/28/2025
SCALE: AS NOTED

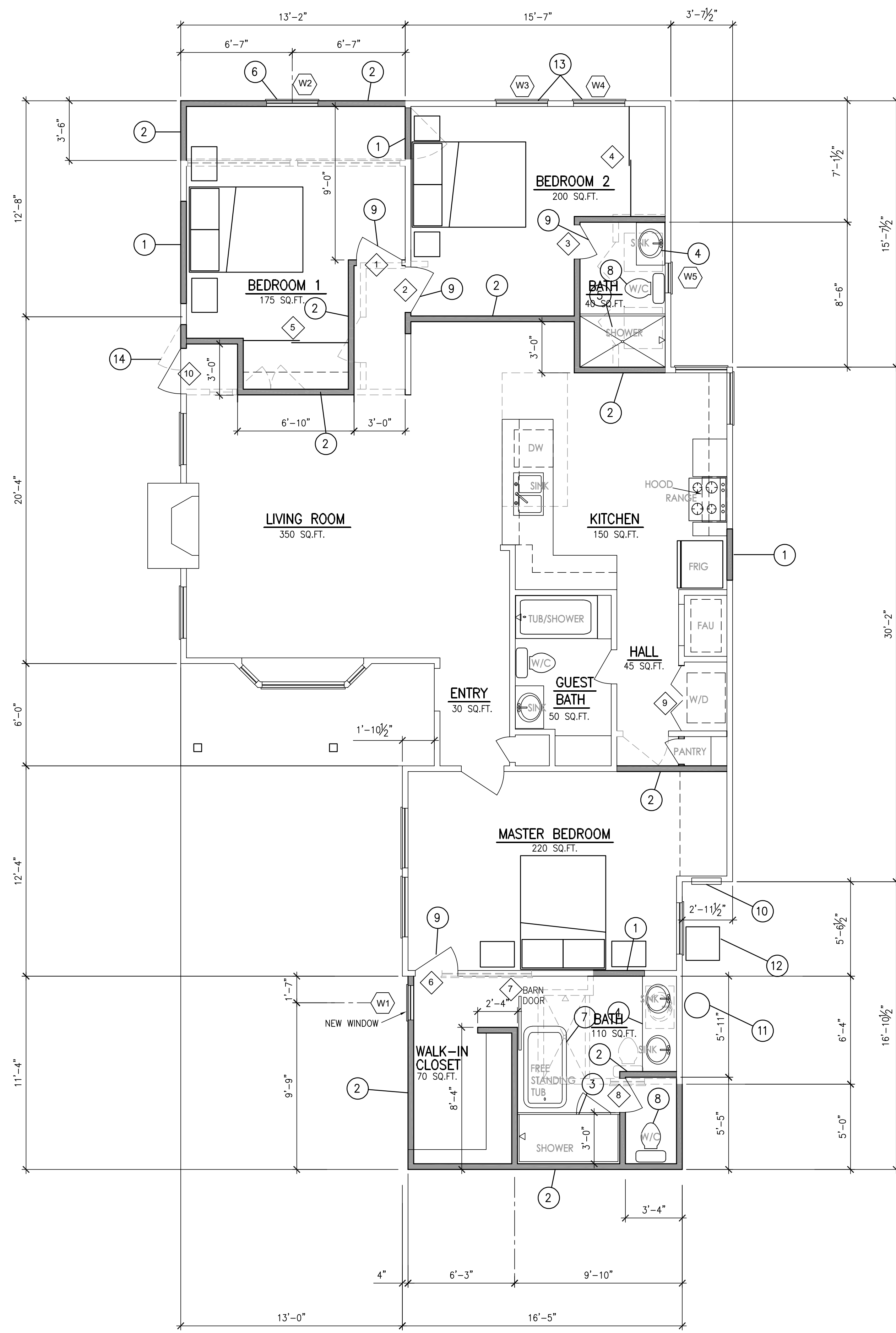
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3		
2		Planning Department Revisions
1	3/24/2026	

PLAN CHECK:

PERMIT:

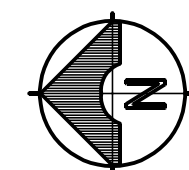
SHEET

A-1.2



PROPOSED FLOOR PLAN

SCALE:
1/4" = 1'-0"



INDEX

- ① REMOVE EXISTING DOOR AND IN FILL EXISTING OPENING WITH 2x4 STUDS @ 16"O.C. AND DRYWALL. MATCH EXISTING. RELOCATE EXISTING DOOR TO NORTH EXTERIOR SIDE OF HOME AS DOOR NUMBER 10 AS SHOWN IN INDEX ITEM 14.
- ② NEW 2x4 STUDS @ 16"O.C. WITH NEW DRYWALL AND FINISH TO MATCH EXISTING
- ③ NEW WALK-IN SHOWER
- ④ NEW SINK/VANITY 24"
- ⑤ NEW TUB/SHOWER COMBO
- ⑥ NEW WINDOW AND FRAME
- ⑦ NEW STAND ALONE TUB
- ⑧ NEW TOILET AND PLUMBING
- ⑨ NEW DOOR AND FRAME
- ⑩ ELECTRICAL PANEL
- ⑪ EXISTING WATER HEATER TO BE REPLACED IN SAME LOCATION.
- ⑫ EXISTING HVAC CONDENSER TO BE REPLACED IN SAME LOCATION.
- ⑬ EXISTING WINDOWS TO BE REPLACED. SEE WINDOW SCHEDULE.
- ⑭ EXISTING DOORWAY TO BE MOVED 16 INCHES TO THE WEST AS SHOWN. DOOR 10 USED FOR THIS OPENING IS REPURPOSED FROM THE LOCATION DENOTED BY INDEX ITEM 1.

NOTES:

- 1. ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVING PLUMBING FIXTURES.
- 2. EXISTING FIRST FLOOR SLAB IS 4" CONCRETE SLAB ON GRADE (NON-POST-TENSION)
- 3. ALL EXISTING DOORS AND WINDOWS WILL REMAIN UNLESS NOTED DEMOLISHED OR RELOCATED.
- 4. FOR DOOR AND WINDOW SCHEDULES SEE SHEET A5.0

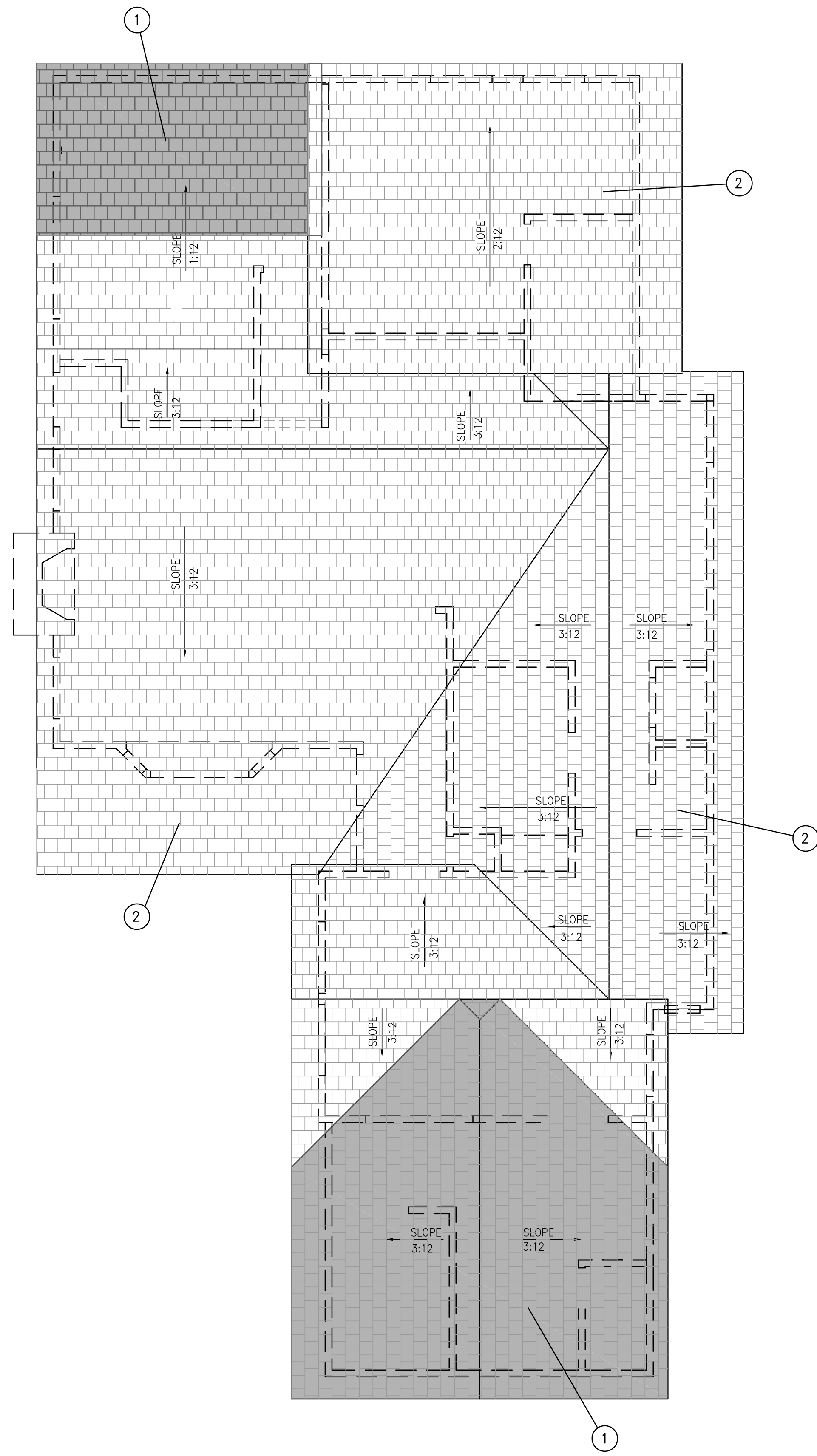
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DRAWN: LL	7	
CHECKED: KT	6	
DATE: 07/28/2025	5	
SCALE: AS NOTED	4	
	3	
	2	3/24/2026
	1	Planning Department Revisions

PLANS PREPARED BY:
LLEWIS CAD SERVICES
 7320 HAWTHORN AVE.
 UNIT 224
 LOS ANGELES, CA 90046
L. Lewis

PROPOSED FLOOR PLAN
REMODEL
 173 WAVERLY ST.
 ORANGE, CALIFORNIA 92866

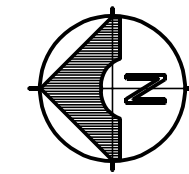
PLAN CHECK:
 PERMIT:
 SHEET

A-2.0



PROPOSED ROOF PLAN

SCALE:
1/4" = 1'-0"



INDEX

- ① NEW ROOF FRAMING AND COMPO ROOF TO MATCH EXISTING
- ② EXISTING ROOF TO REMAIN

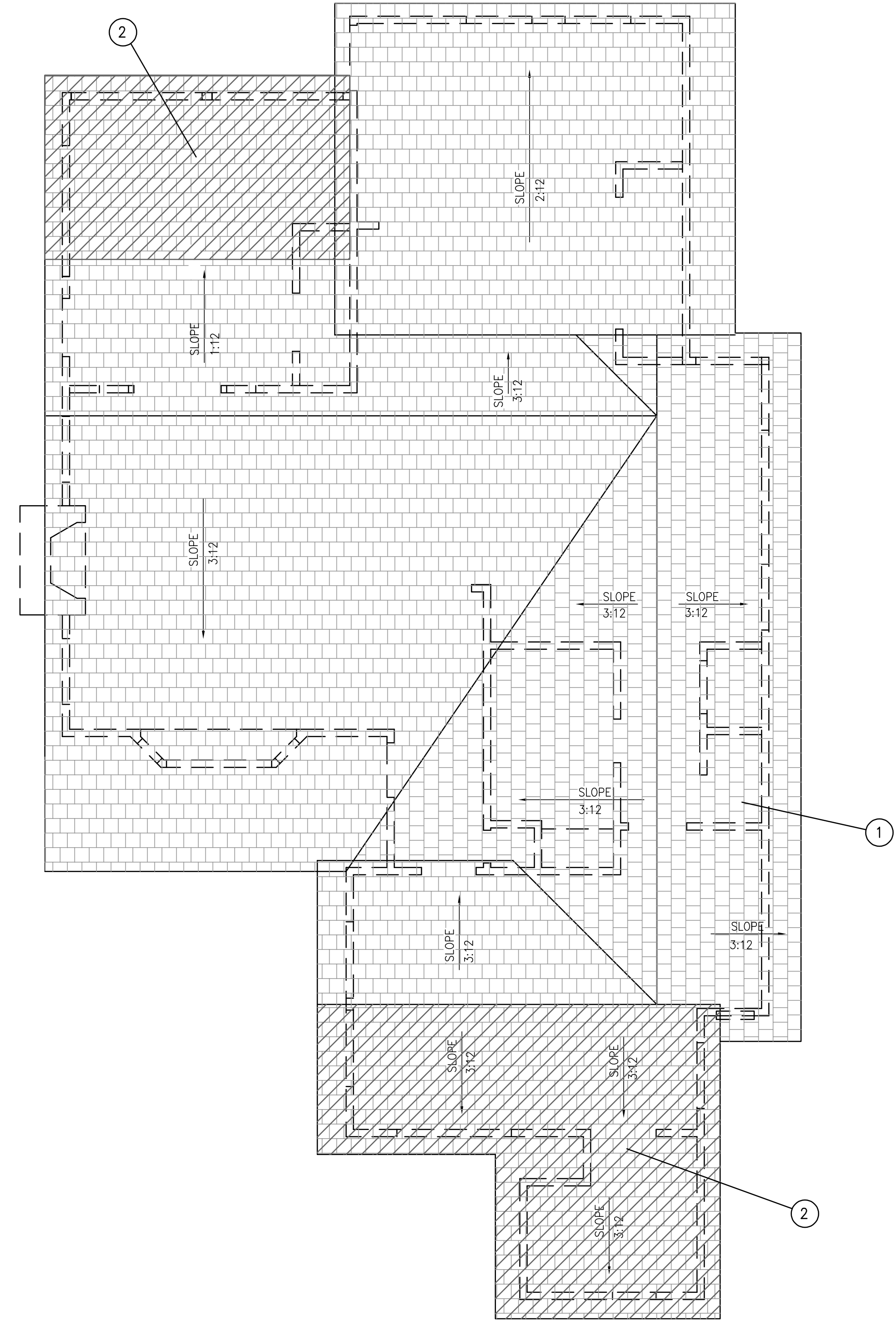
PROPOSED ROOF PLAN
REMODEL
173 WAVERLY ST.
ORANGE, CALIFORNIA 92866

PLANS PREPARED BY:
LLEWIS CAD SERVICES
7320 HAWTHORN AVE.
UNIT 224
LOS ANGELES, CA 90046
Lewis

DESIGNED:
DRAWN: LL
CHECKED: KT
DATE: 07/28/2025
SCALE: AS NOTED

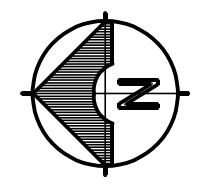
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7		
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5		
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3		
2		
1	3/24/2026	Planning Department Revisions

PLAN CHECK:
PERMIT:
SHEET
A-2.1



EXISTING ROOF PLAN

SCALE:
1/4" = 1'-0"



INDEX

- ① EXISTING COMPO ROOF
- ② THIS PORTION OF EXISTING ROOF TO BE REPLACED.

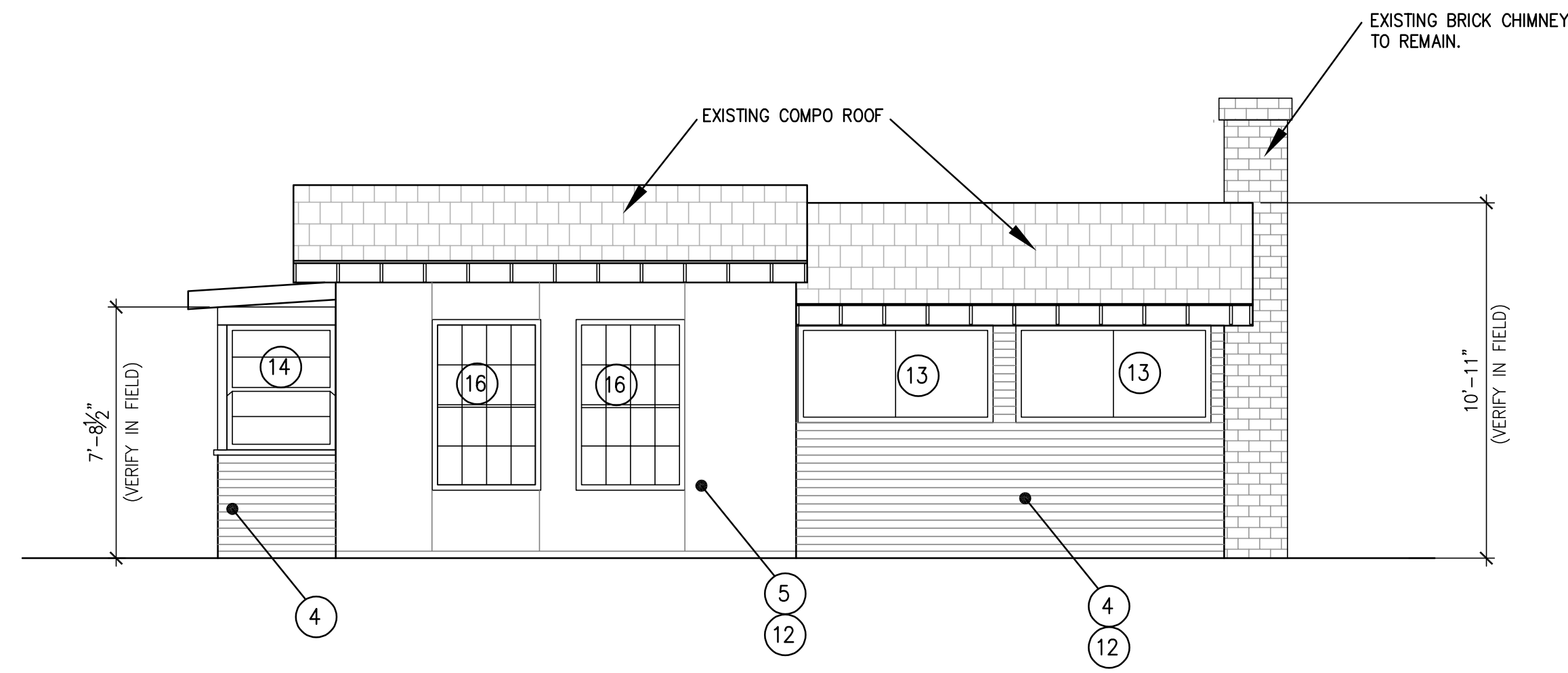
EXISTING ROOF PLAN
REMODEL
173 WAVERLY ST.
ORANGE, CALIFORNIA 92866

PLANS PREPARED BY:
LLEWIS CAD SERVICES
7320 HAWTHORN AVE.
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L. Lewis

DESIGNED:
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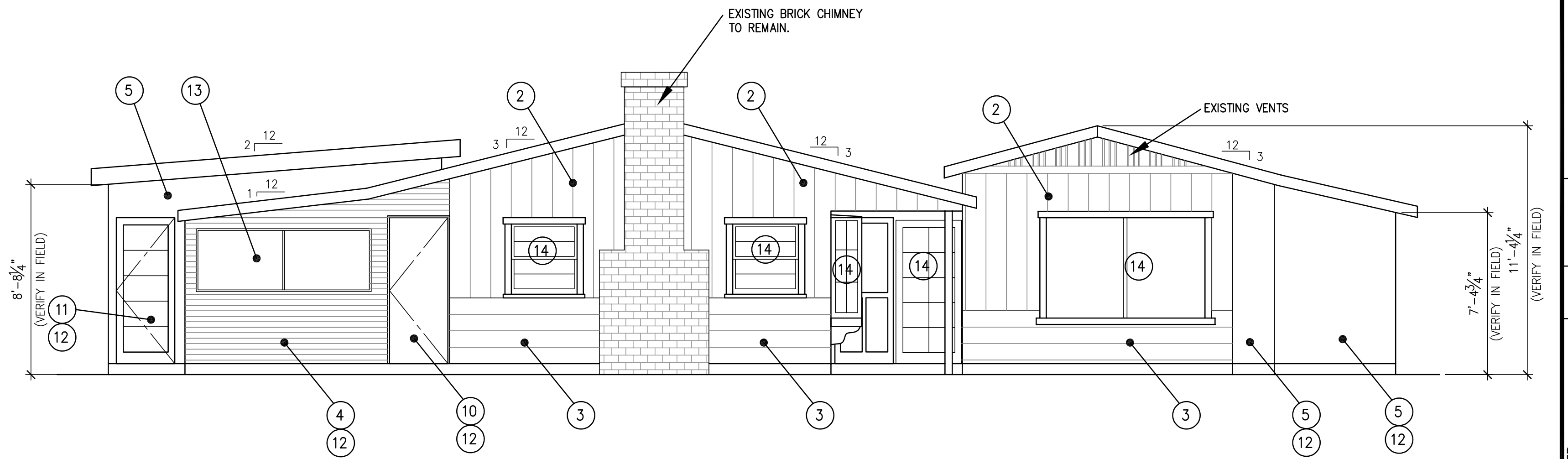
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7		
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3		
2		
1	3/24/2026	Planning Department Revisions

PLAN CHECK:
PERMIT:
SHEET
A-2.2



EXISTING EAST ELEVATION - HOUSE

SCALE:
1/4"=1'-0"

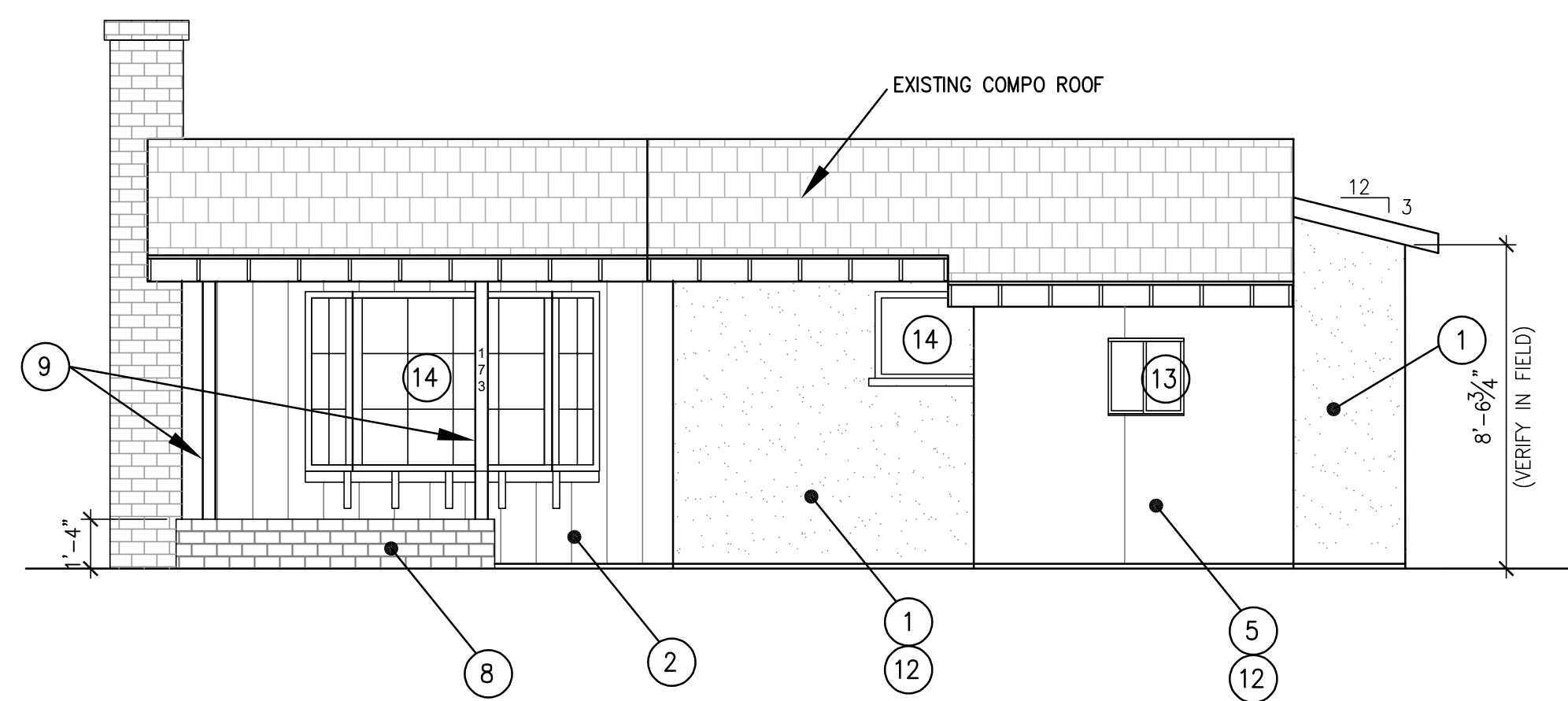


EXISTING NORTH ELEVATION - HOUSE

SCALE:
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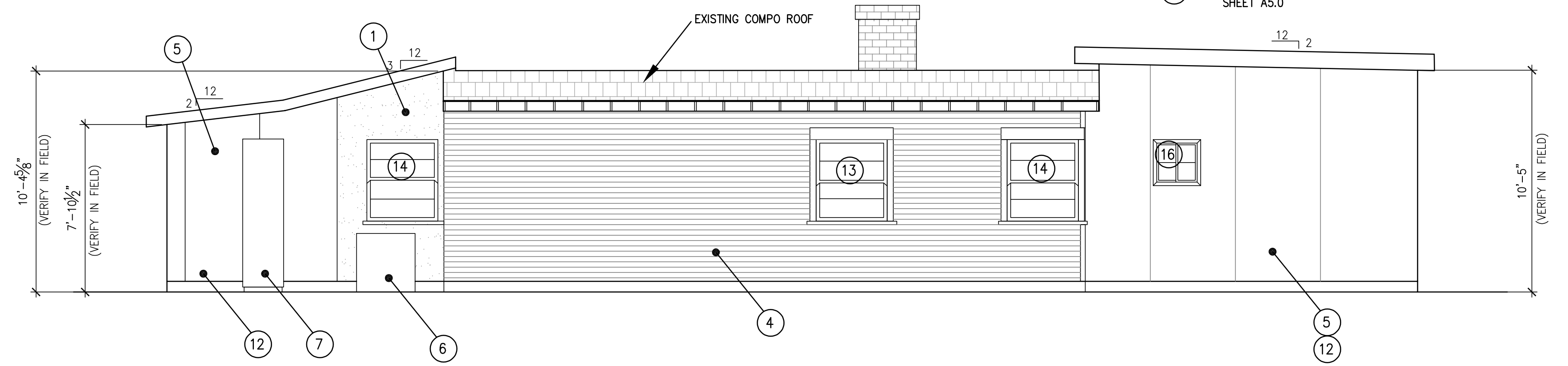
INDEX

- 1 EXISTING STUCCO FINISH
- 2 EXISTING FULL HEIGHT WOODEN VERTICAL SIDING 1 1/2" OFFSETS.
- 3 EXISTING 9" HORIZONTAL WOOD SIDING. BOTTOM 3 FT. OF WALL.
- 4 EXISTING 3" HORIZONTAL WOOD SIDING.
- 5 EXISTING PLYWOOD SHEATHING SIDING.
- 6 EXISTING AC CONDENSER TO REMAIN.
- 7 EXISTING WATER HEATER TO REMAIN.
- 8 EXISTING BRICK PLANTER
- 9 EXISTING PORCH POSTS.
- 10 EXISTING DOOR TO BE MOVED
- 11 EXISTING DOOR TO BE RELOCATED
- 12 AREA TO BE DEMOLISHED OR REMODELED SEE DEMO PLAN SHEET A-1.1
- 13 EXISTING WINDOW TO BE REMOVED AND INFILL WALL
- 14 EXISTING WINDOW TO REMAIN
- 15 NEW WINDOW SEE FLOOR PLAN AND WINDOW SCHEDULE
- 16 EXISTING WINDOW TO BE REPLACED. SEE WINDOW SCHEDULE SHEET A5.0



EXISTING WEST ELEVATION - HOUSE

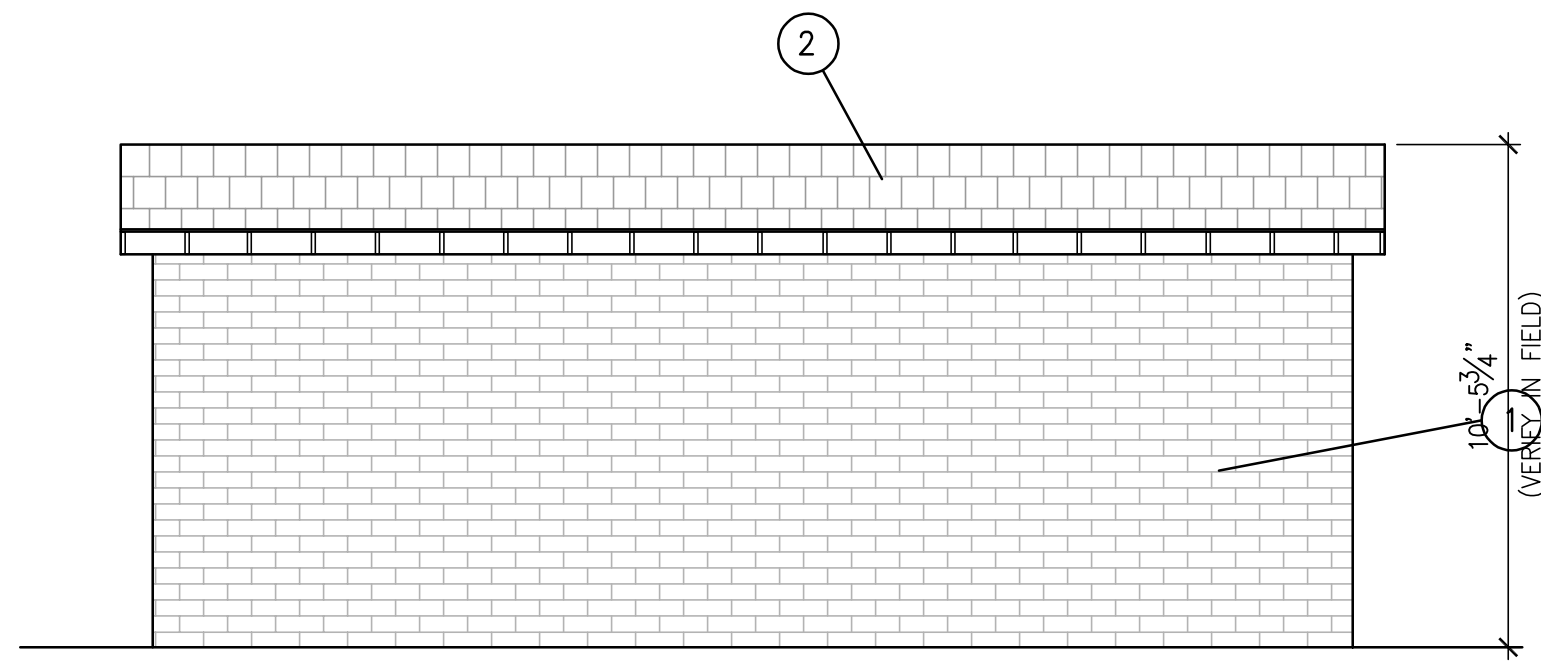
SCALE:
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EXISTING SOUTH ELEVATION - HOUSE

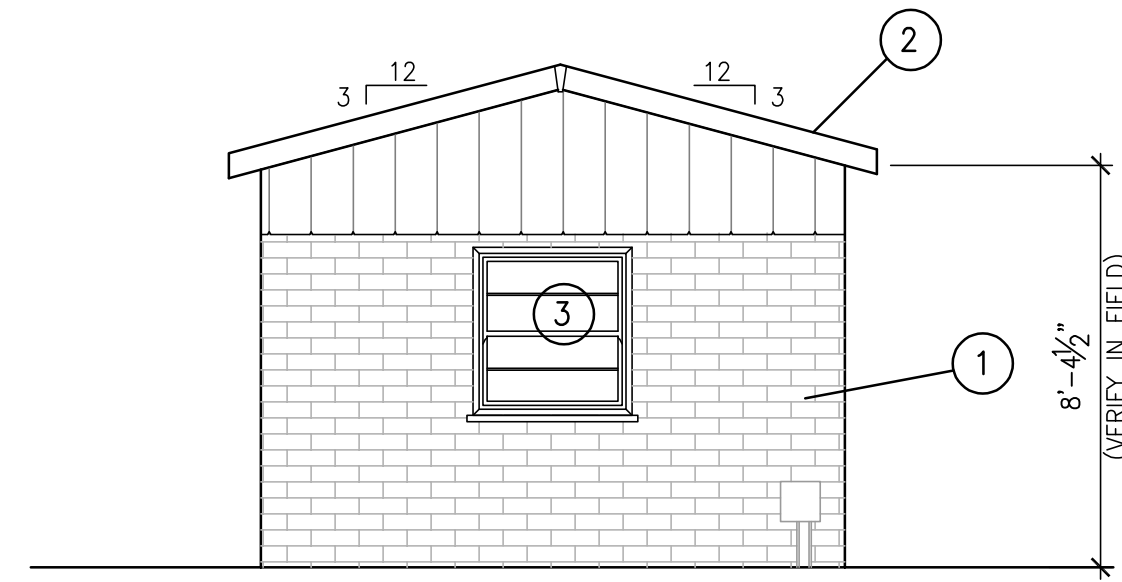
SCALE:
1/4"=1'-0"

<p>DESIGNED BY: _____</p> <p>DRAWN: LL</p> <p>CHECKED: KT</p> <p>DATE: 07/28/2025</p> <p>SCALE: AS NOTED</p>	<p>NO. DATE</p> <p>1 3/24/2026 Planning Department Revisions</p>
<p>PLANS PREPARED BY:</p> <p>LLEWIS CAD SERVICES 7320 HAWTHORN AVE. UNIT 224 LOS ANGELES, CA 90046</p> <p><i>Lewis</i></p>	
<p>EXISTING ELEVATIONS - HOUSE</p> <p>REMODEL 173 WAVERLY ST. ORANGE, CALIFORNIA 92866</p>	
<p>PLAN CHECK: _____</p> <p>PERMIT: _____</p> <p style="text-align: center;">SHEET</p> <p style="font-size: 24pt; font-weight: bold; text-align: center;">A-3.0</p>	



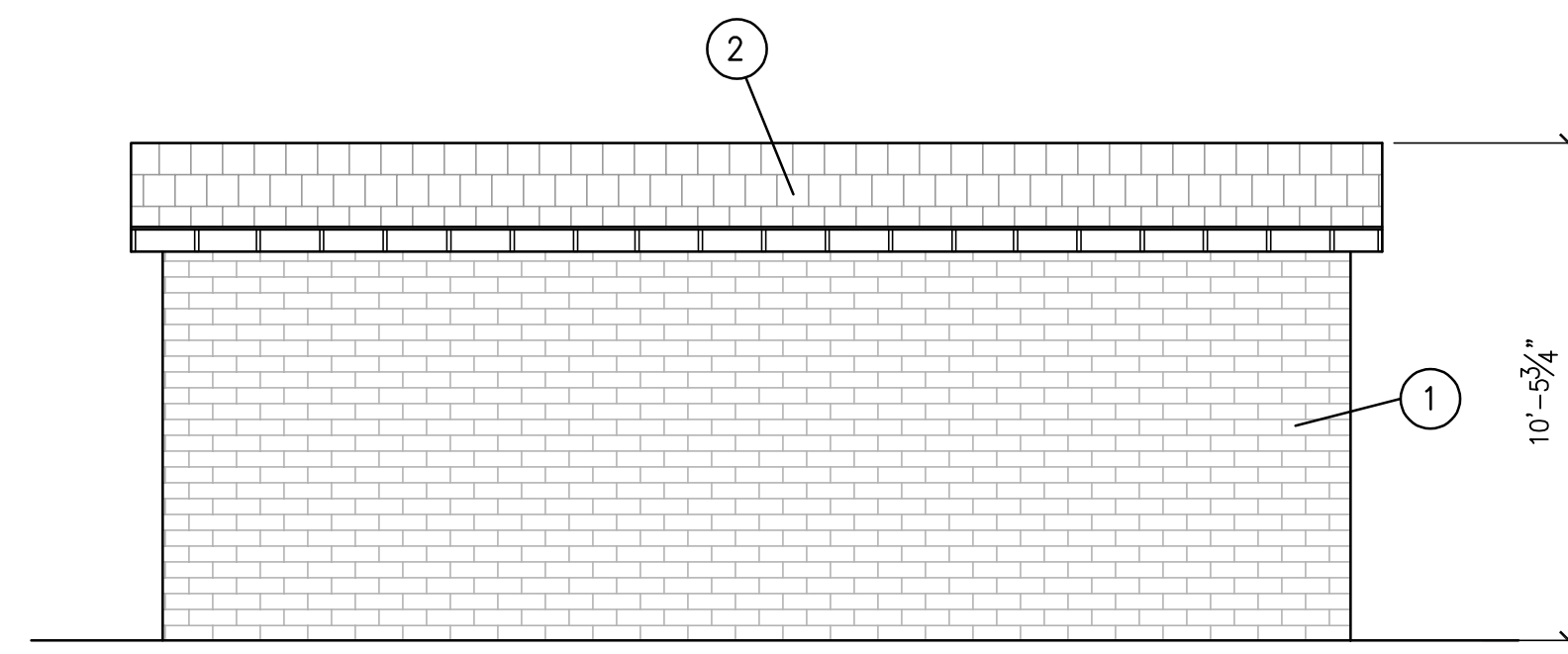
EXISTING
SOUTH ELEVATION - GARAGE

SCALE:
1/4"=1'-0"



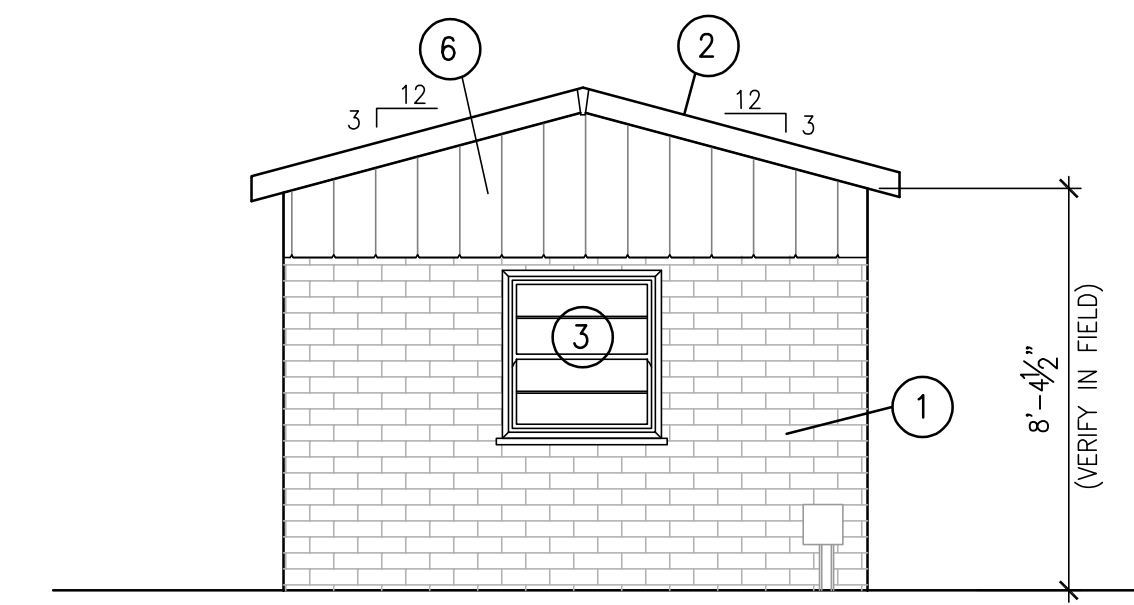
EXISTING
EAST ELEVATION - GARAGE

SCALE:
1/4"=1'-0"



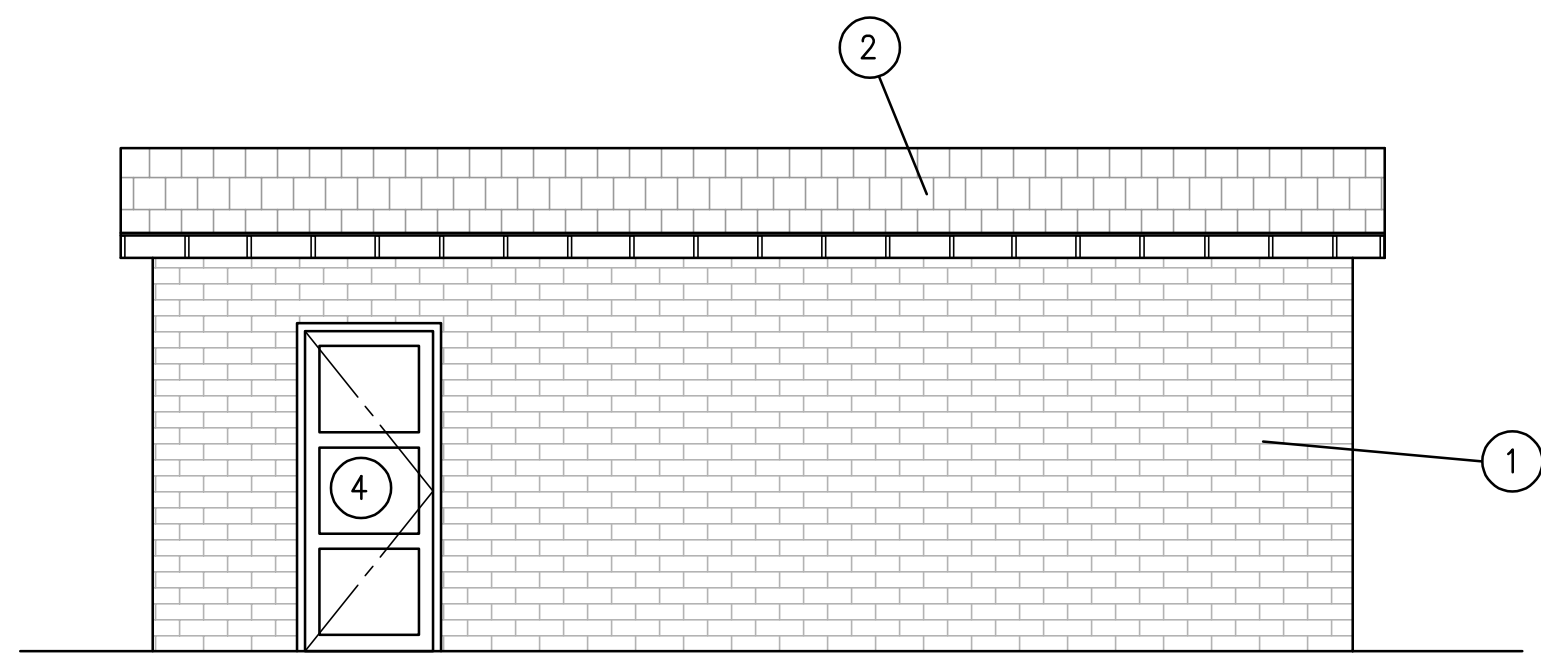
PROPOSED
SOUTH ELEVATION - ADU

SCALE:
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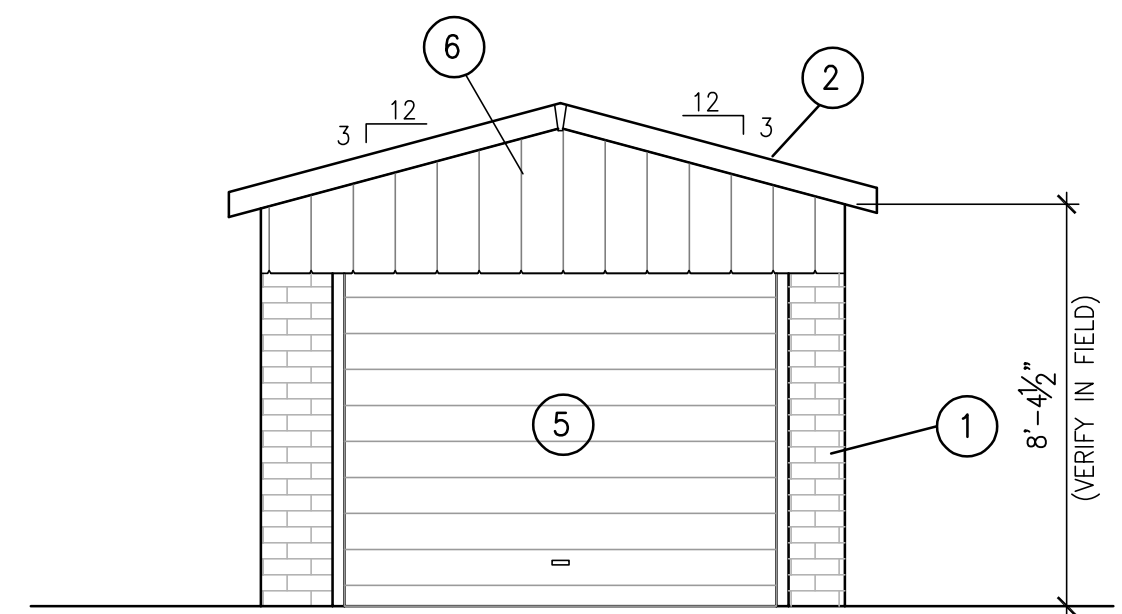
PROPOSED
EAST ELEVATION - ADU

SCALE:
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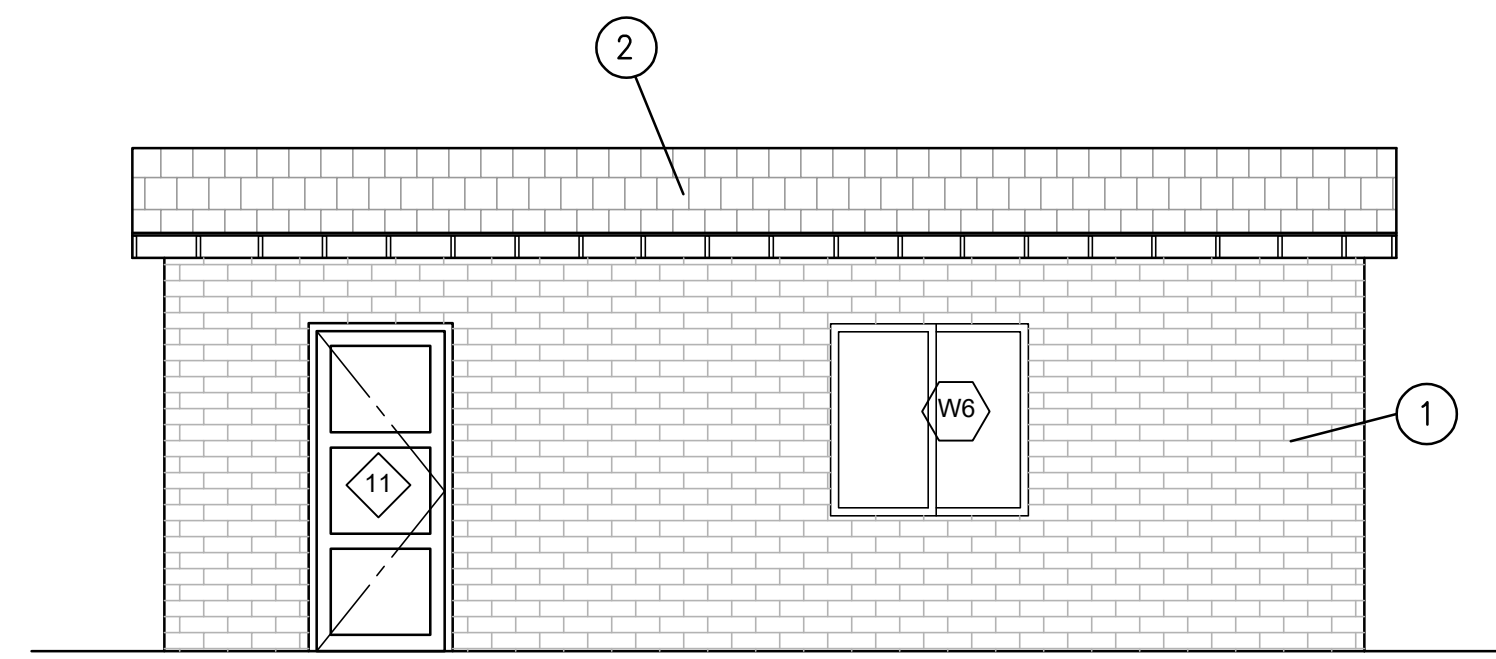
EXISTING
NORTH ELEVATION - GARAGE

SCALE:
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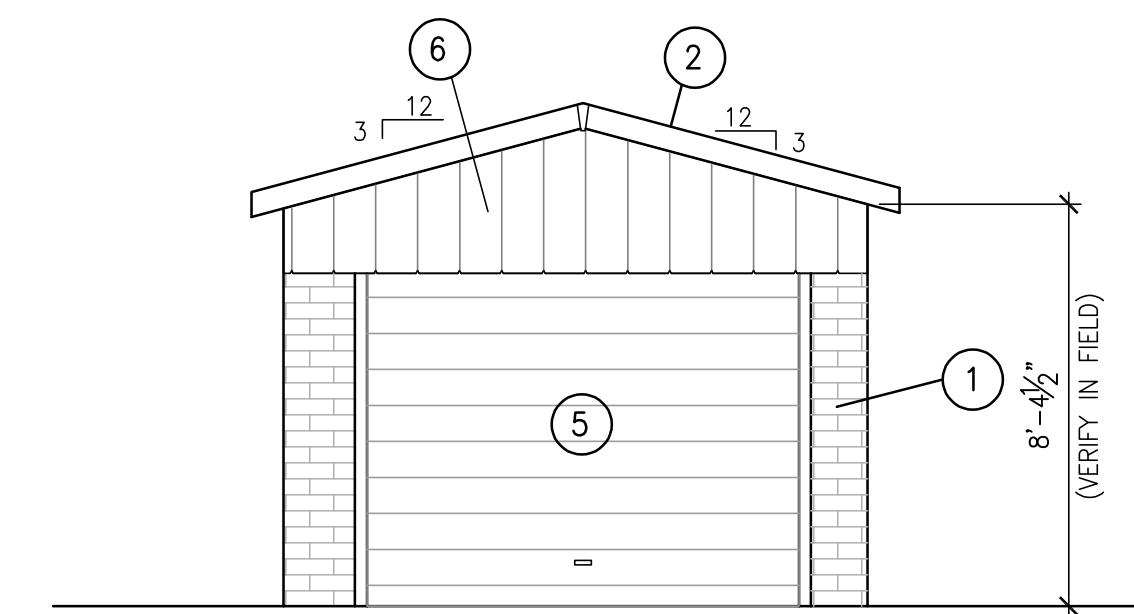
EXISTING
WEST ELEVATION - GARAGE

SCALE:
1/4"=1'-0"



PROPOSED
NORTH ELEVATION - ADU

SCALE:
1/4"=1'-0"



PROPOSED
WEST ELEVATION - ADU

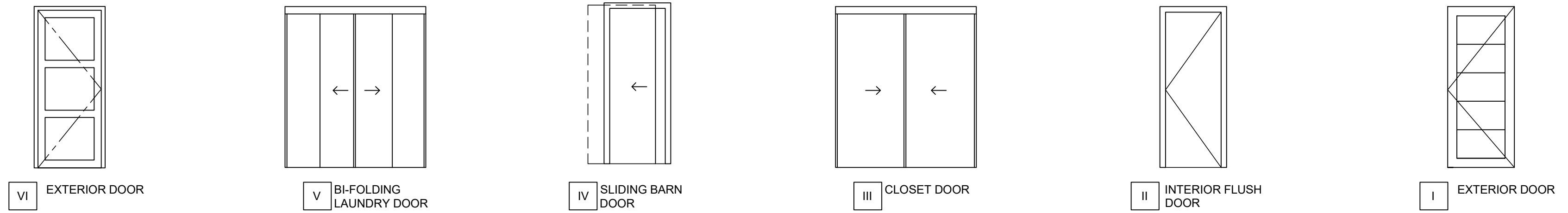
SCALE:
1/4"=1'-0"

INDEX

- ① EXISTING CONCRETE BLOCK WALL
- ② EXISTING COMPO ROOF
- ③ EXISTING WINDOW TO REMAIN
- ④ EXISTING DOOR TO REMAIN
- ⑤ REUSE EXISTING GARAGE DOOR TO AFFIX TO THE EXTERIOR AS A FACADE.
- ⑥ EXISTING FULL HEIGHT WOODEN VERTICAL SIDING
1 1/2" OFFSETS.

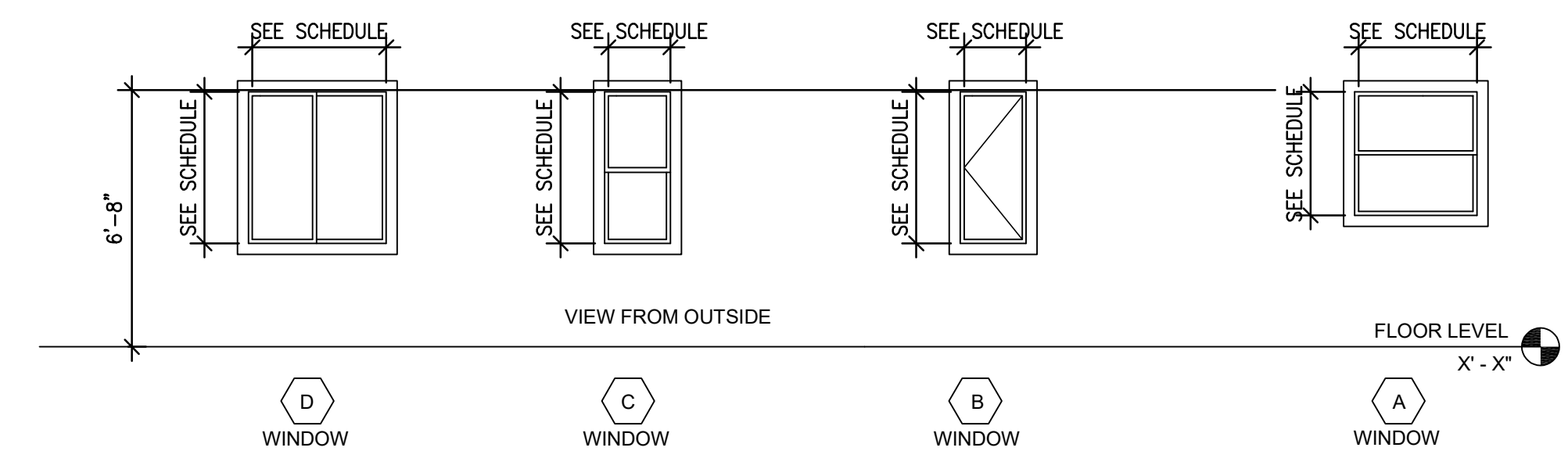
<p>PLANS PREPARED BY: LLEWIS CAD SERVICES 7320 HAWTHORN AVE. UNIT 224 LOS ANGELES, CA 90046</p> <p style="text-align: right;"><i>Lewis</i></p>	<p>EXISTING/PROPOSED ELEVATIONS - ADU</p> <p style="text-align: center;">REMODEL 173 WAVERLY ST. ORANGE, CALIFORNIA 92866</p>
<p>DESIGNED: _____</p> <p>DRAWN: LL</p> <p>CHECKED: KT</p> <p>DATE: 07/28/2025</p> <p>SCALE: AS NOTED</p>	<p>NO. _____</p> <p>DATE _____</p> <p>1 3/24/2026 Planning Department Revisions</p>
<p>PLAN CHECK: _____</p> <p>PERMIT: _____</p> <p style="text-align: center;">SHEET</p>	
<p>A-3.1</p>	

DOOR SCHEDULE										
DOOR	LOCATION	DOOR					GLAZING	TYPE	COMMENTS	
		SIZE		MATERIAL	CORE	THK				
		WIDTH	HEIGHT							
1	BEDROOM #1	2'-8"	6'-8"	1 3/8"	WD	HOL		II		
2	BEDROOM #2	2'-8"	6'-8"	1 3/8"	WD	HOL		II		
3	BATHROOM	2'-8"	6'-8"	1 3/8"	WD	HOL		II		
4	CLOSET	6'-0"	6'-8"	-	WD	HOL		III	CLOSET DOOR	
5	CLOSET	6'-0"	6'-8"	-	WD	HOL		III	CLOSET DOOR	
6	BATHROOM	2'-6"	6'-8"	1 3/8"	WD	HOL		II		
7	BATHROOM	3'-0"	6'-8"	1 3/8"	WD	HOL		IV	SLIDING BATHROOM BARN DOOR	
8	BATHROOM	2'-6"	6'-8"	1 3/8"	WD	HOL		II		
9	LAUNDRY	6'-0"	6'-8"	-	WD	HOL		V	BI-FOLDING	
10	EXT DOOR	2'-6"	6'-8"	1 3/4"	WD	SOLID		I	EXISTING EXTERIOR DOOR RELOCATED FROM EAST SIDE OF HOME. DOORWAY TO BE MOVED 16" TO WEST. SEE PLAN SHEET A-2.0.	
11	EXT DOOR ADU	2'-8"	6'-8"	1 3/4"	WD	SOLID		VI	RE-USE EXISTING EXTERIOR DOOR, CLEANED AND PAINTED	
12	BATHROOM ADU	2'-8"	6'-8"	1 3/8"	WD	HOL		II		
13	BEDROOM ADU	2'-8"	6'-8"	1 3/8"	WD	HOL		II		
14	CLOSET ADU	6'-0"	6'-8"	-	WD	HOL		III	CLOSET DOOR	



DOOR SCHEDULE SCALE: NO SCALE 1

WINDOW SCHEDULE										
WINDOW	SIZE		TYPE	MATERIAL	FINISH	GLAZING	DETAILS			COMMENTS
	WIDTH	HEIGHT					HEAD	JAMB	SILL	
W1	2'-0"	4'-0"	B	FG		DUAL				MILGARD PICTURE WINDOW-WHITE NEWLY PROPOSED WINDOW. DOES NOT REPLACE AN EXISTING WINDOW.
W2	3'-6"	5'-4"	C	FG		DUAL				MILGARD SINGLE HUNG WINDOW-WHITE - REPLACES TWO POOR CONDITION EXISTING HALF VENT, HORIZONTAL SLIDING. METAL FRAMED WINDOWS
W3	3'-6"	5'-4"	C	FG		DUAL				MILGARD SINGLE HUNG WINDOW-WHITE - REPLACES EXISTING FIXED PANE, VINYL WINDOW IN SAME OPENING. NEW WINDOW FOR EGRESS REQUIREMENT.
W4	3'-6"	5'-4"	C	FG		DUAL				MILGARD SINGLE HUNG WINDOW-WHITE - REPLACES EXISTING FIXED PANE, VINYL FRAMED WINDOW IN SAME OPENING. NEW WINDOW FOR EGRESS REQUIREMENT.
W5	2'-0"	2'-0"	A	FG		DUAL				MILGARD SINGLE HUNG WINDOW-WHITE - REPLACES POORLY FUNCTIONING EXISTING HALF VENT, HORIZONTAL SLIDING VINYL WINDOW.
W6	4'-0"	4'-0"	D	FG		DUAL				MILGARD EGRESS WINDOW-WHITE - NEWLY PROPOSED WINDOW FOR EGRESS REQUIREMENT. DOES NOT REPLACE AN EXISTING WINDOW.



WINDOW SCHEDULE SCALE: NO SCALE 2

DESIGNED BY:	LL
DRAWN:	LL
CHECKED:	KT
DATE:	07/28/2025
SCALE:	AS NOTED

PLANS PREPARED BY:
LLEWIS CAD SERVICES
 7320 HAWTHORN AVE.
 UNIT 224
 LOS ANGELES, CA 90046
L. Lewis

DOOR AND WINDOW SCHEDULES

REMODEL
 173 WAVERLY ST.
 ORANGE, CALIFORNIA 92866

NO.	DATE
7	
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1	3/24/2026

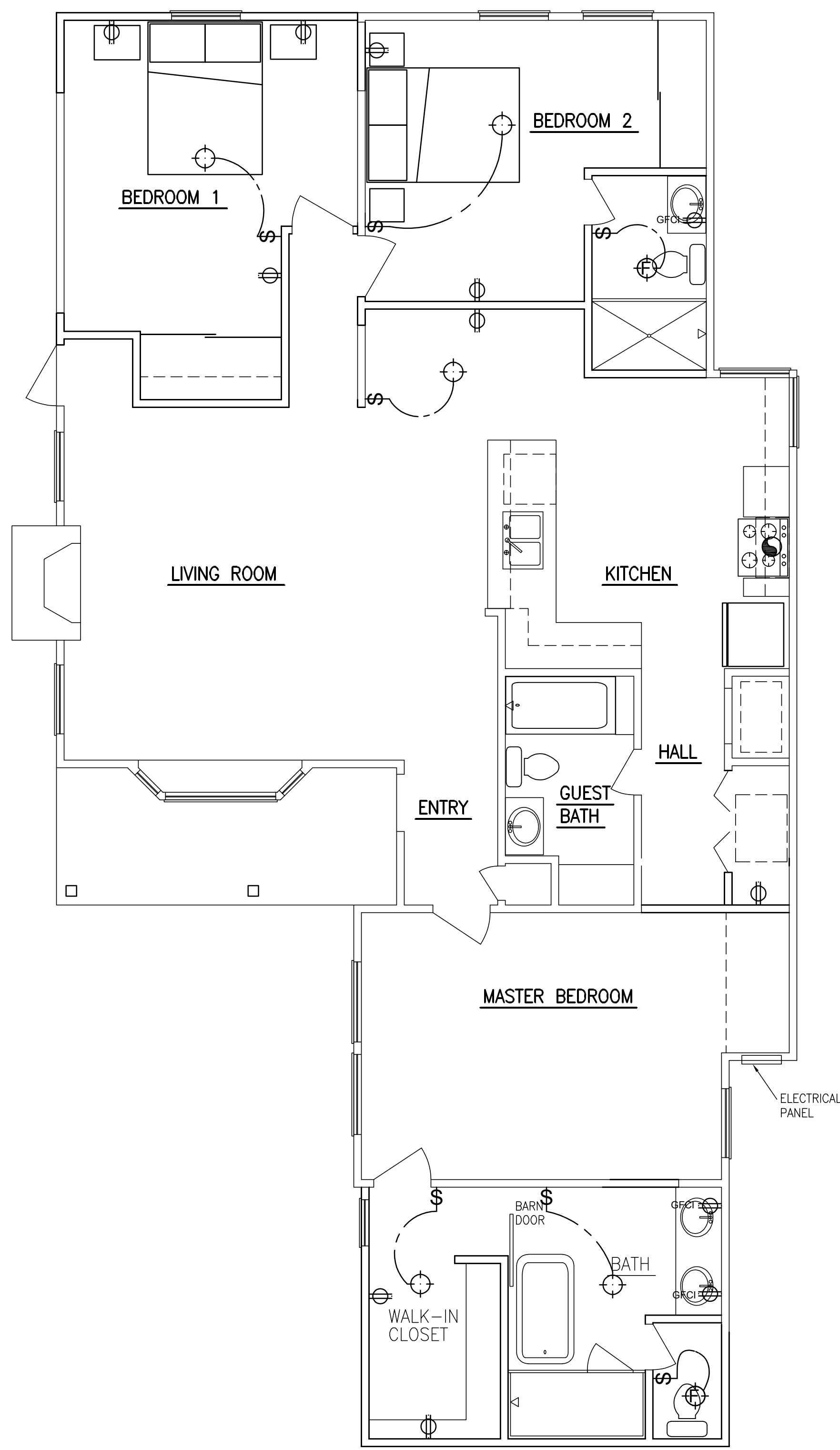
REVISIONS

PLAN CHECK:

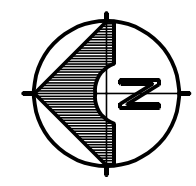
PERMIT:

SHEET

A-5.0



PROPOSED ELECTRICAL FLOOR PLAN
 SCALE: 1/4"=1'-0"

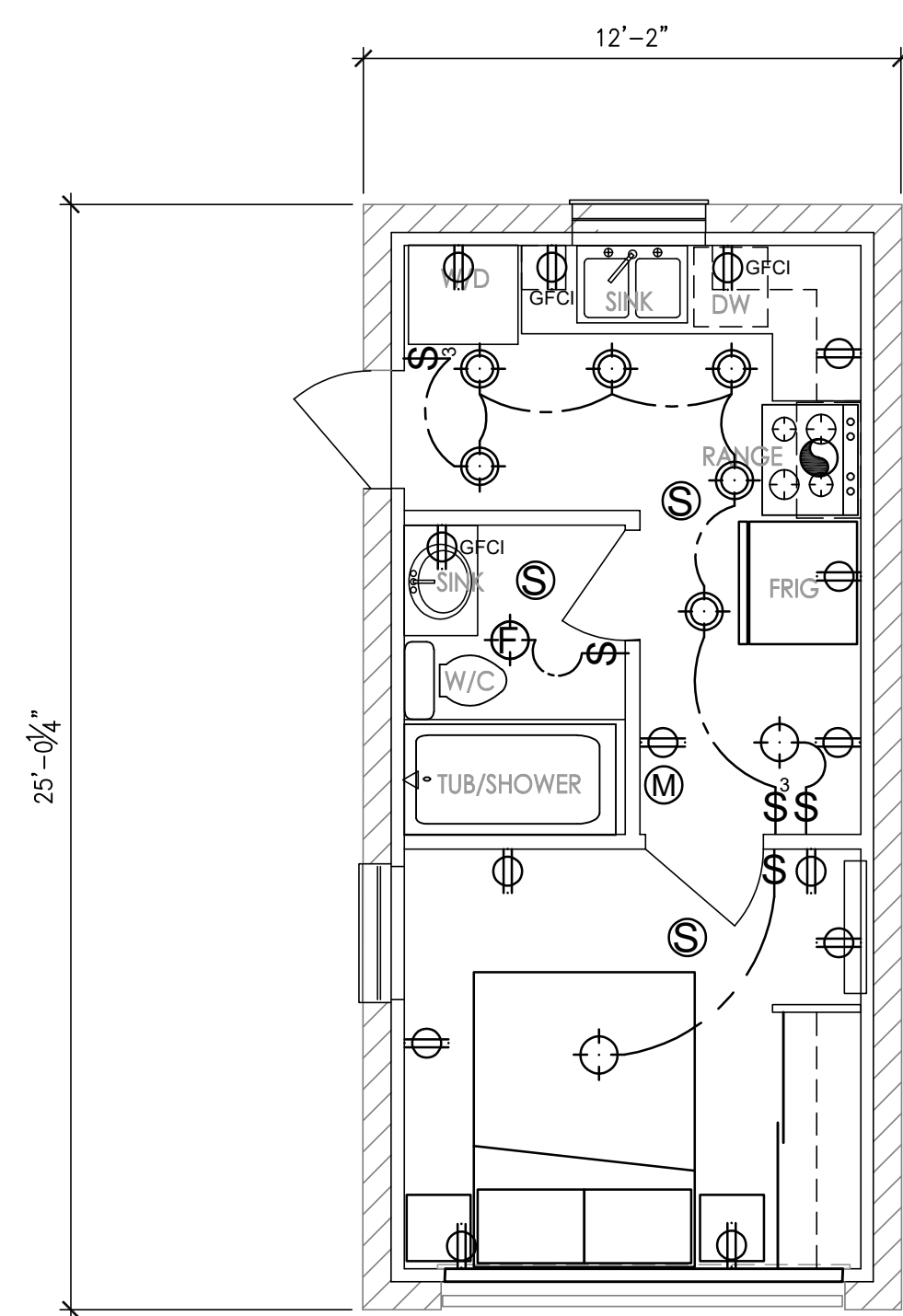
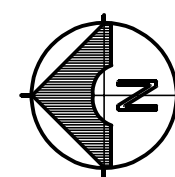


NOTE:
 -SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVE ALL OTHER ALARMS IN THE DWELLING UNIT.
 -STAIRWAYS WITHIN DWELLING UNITS AND EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL IN TREADS RUNS OF NOT LESS THAN 1 FOOT-CANDLE.
 -LIGHTING IN BATHROOMS, LAUNDRY ROOMS, & UTILITY ROOMS SHALL ALL OBTAIN LUMINAIRES THAT ARE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.
 -OTHER ROOMS SHALL OBTAIN LUMINAIRES THAT ARE HIGH EFFICACY OR ARE CONTROLLED BY AN OCCUPANT SENSOR. CLOSETS THAT ARE LESS THAN 70 SQUARE FOOT ARE EXEMPT FROM THIS REQUIREMENT.
 -HIGH EFFICACY LUMINAIRES MUST BE PIN BASED.
 -NON-HIGH EFFICACY LUMINAIRES MUST BE SWITCHED ON A SEPERATE CIRCUIT FROM HIGH EFFICACY LUMINAIRES.
 -OCCUPANCY SENSORS MUST HAVE NO MANUAL OVERRIDE, 30 MINUTE MAXIMUM TIMER AND BE MICROWAVE/ULTRASONIC OR PASSIVE INFRA-RED TYPE.
 - ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AB ARC-FAULT CIRCUIT INTERRUPTER(S). NEC 210-12. THE REQUIREMENT IS FOR THE ENTIRE CIRCUIT, NOT JUST THE OUTLETS.

SYMBOL LEGEND			
⊕	ELECTRICAL OUTLET	\$	WALL SWITCH
⊕ ^{GFCI}	GFCI ELECTRICAL OUTLET	⊕	LIGHT FIXTURE
⊕ ^D	DIMMER WALL SWITCH	⊕	WALL HUNG LIGHT FIXTURE
⊕ ³	3-WAY WALL SWITCH	⊕	COMBD FLOURESCENT LIGHT & HEATER
⊕ ^M	WIRED/BATTERY CARBON MONOXIDE DETECTOR	⊕	EXHUST FAN
⊕ ^S	RANGE HOOD AND SWITCH	⊕	WIRED/BATTERY SMOKE DETECTOR
		⊕	EXHUST FAN WITH LIGHT

DESIGNED: DRAWN: LL CHECKED: KT DATE: 07/28/2025 SCALE: AS NOTED	7	NO.	DATE
	6		
	5		
	4		
	3		
	2		
	1	3/24/2026	Planning Department Revisions
PLANS PREPARED BY: LLEWIS CAD SERVICES 7320 HAWTHORN AVE. UNIT 224 LOS ANGELES, CA 90046 			
PROPOSED ELECTRICAL FLOOR PLAN		REMODEL 173 WAVERLY ST. ORANGE, CALIFORNIA 92866	
PLAN CHECK: _____ PERMIT: _____ SHEET			
E-2.0			

PROPOSED ELECTRICAL FLOOR PLAN - ADU
 SCALE:
 1/4"=1'-0"



NOTE:
 -SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVE ALL OTHER ALARMS IN THE DWELLING UNIT.
 -STAIRWAYS WITHIN DWELLING UNITS AND EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL IN TREADS RUNS OF NOT LESS THAN 1 FOOT-CANDLE.
 -LIGHTING IN BATHROOMS, LAUNDRY ROOMS, & UTILITY ROOMS SHALL ALL OBTAIN LUMINAIRES THAT ARE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.
 -OTHER ROOMS SHALL OBTAIN LUMINAIRES THAT ARE HIGH EFFICACY OR ARE CONTROLLED BY AN OCCUPANT SENSOR.
 CLOSETS THAT ARE LESS THAN 70 SQUARE FOOT ARE EXEMPT FROM THIS REQUIREMENT.
 -HIGH EFFICACY LUMINAIRES MUST BE PIN BASED.
 -NON-HIGH EFFICACY LUMINAIRES MUST BE SWITCHED ON A SEPERATE CIRCUIT FROM HIGH EFFICACY LUMINAIRES.
 -OCCUPANCY SENSORS MUST HAVE NO MANUAL OVERRIDE, 30 MINUTE MAXIMUM TIMER AND BE MICROWAVE/ULTRASONIC OR PASSIVE INFRA-RED TYPE.
 - ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AB ARC-FAULT CIRCUIT INTERRUPTER(S). NEC 210-12. THE REQUIREMENT IS FOR THE ENTIRE CIRCUIT, NOT JUST THE OUTLETS.

SYMBOL LEGEND			
⊕	ELECTRICAL OUTLET	\$	WALL SWITCH
⊕ ^{GFCI}	GFCI ELECTRICAL OUTLET	⊕	LIGHT FIXTURE
D	DIMMER WALL SWITCH	⊕	WALL HUNG LIGHT FIXTURE
3	3-WAY WALL SWITCH	⊕	COMBO FLOURESCENT LIGHT & HEATER
M	WIRED/BATTERY CORBON MONOXIDE DETECTOR	F	EXHUST FAN
⊕	RANGE HOOD AND SWITCH	S	WIRED/BATTERY SMOKE DETECTOR

DESIGNED:		7	NO.	NO.	REVISIONS
DRAWN: LL		6	DATE		
CHECKED: KT		5			
DATE: 07/28/2025		4			
SCALE: AS NOTED		3			
PLANS PREPARED BY: LLEWIS CAD SERVICES 7320 HAWTHORN AVE. UNIT 224 LOS ANGELES, CA 90046		2			
PROPOSED ELECTRICAL FLOOR PLAN - ADU		1	3/24/2026		
REMODEL 173 WAVERLY ST. ORANGE, CALIFORNIA 92866					
PLAN CHECK:					
PERMIT:					
SHEET					
E-2.1					