



MEMORANDUM

HISTORIC PRESERVATION DESIGN STANDARDS

Date: March 6, 2026
Project: 405 E. Toluca Avenue
To: City of Orange, Department of City Planning
From: Audrey von Ahrens, Senior Architectural Historian, and Jenna Kachour, Senior Associate Architectural Historian, GPA Consulting

1. INTRODUCTION

GPA Consulting (GPA) was retained by property owners, EPIC Home Remodeling (Project Applicant), to consult on a proposed project for 405 E. Toluca Avenue (Assessor's Parcel Number [APN] 390-103-15) (property), located within the boundaries of the Old Towne Orange Historic District (Historic District) in the City of Orange (City). The property was identified as a non-contributor in the 1997 National Register of Historic Places (NRHP) nomination for the Historic District (see **Attachment D**) and has a California Historical Resource Status Code of 6Z, "found ineligible for NR, CR or local designation through survey evaluation."¹

The Project proposes to construct a 984 sq. ft. addition with 115 sq. ft. front porch to the existing 480 sq. ft., single-family residence and replace the existing 192 sq. ft. detached garage with a new 400 sq. ft., two-car detached garage (Project). Although the property is a non-contributor, all construction on site must comply with the *City of Orange Historic Preservation Design Standards* (Design Standards). Because the Project proposes additions to an existing building, the applicable Design Standards are the "Design Standards for Non-Contributing Buildings in Historic Districts," the "Standards for Historic Residential Buildings – Setting," and the "Design Standards for Historic Building Features – Mechanical Systems," which are included as **Attachment B** of this memorandum (memo).

The purpose of this memorandum (memo) is to present the proposed Project, analyze the proposed scope of work for consistency with the City's Design Standards, and present the results of our findings to inform the City's review of the proposed project. GPA's analysis, recommendations, and conclusions regarding the proposed Project are discussed below.

Audrey von Ahrens, Senior Architectural Historian, was responsible for the preparation of this memo and for completing the site visit. Jenna Kachour, Senior Associate Architectural Historian, was responsible for reviewing this report for quality assurance and quality control. Ms. von Ahrens and Ms. Kachour fulfill the qualifications for

¹ "California Historical Resource Status Codes," California Office of Historic Preservation (OHP), March 1, 2020, accessed April 2025, <https://ohp.parks.ca.gov/pages/1068/files/Resource-Status-Codes.pdf>.

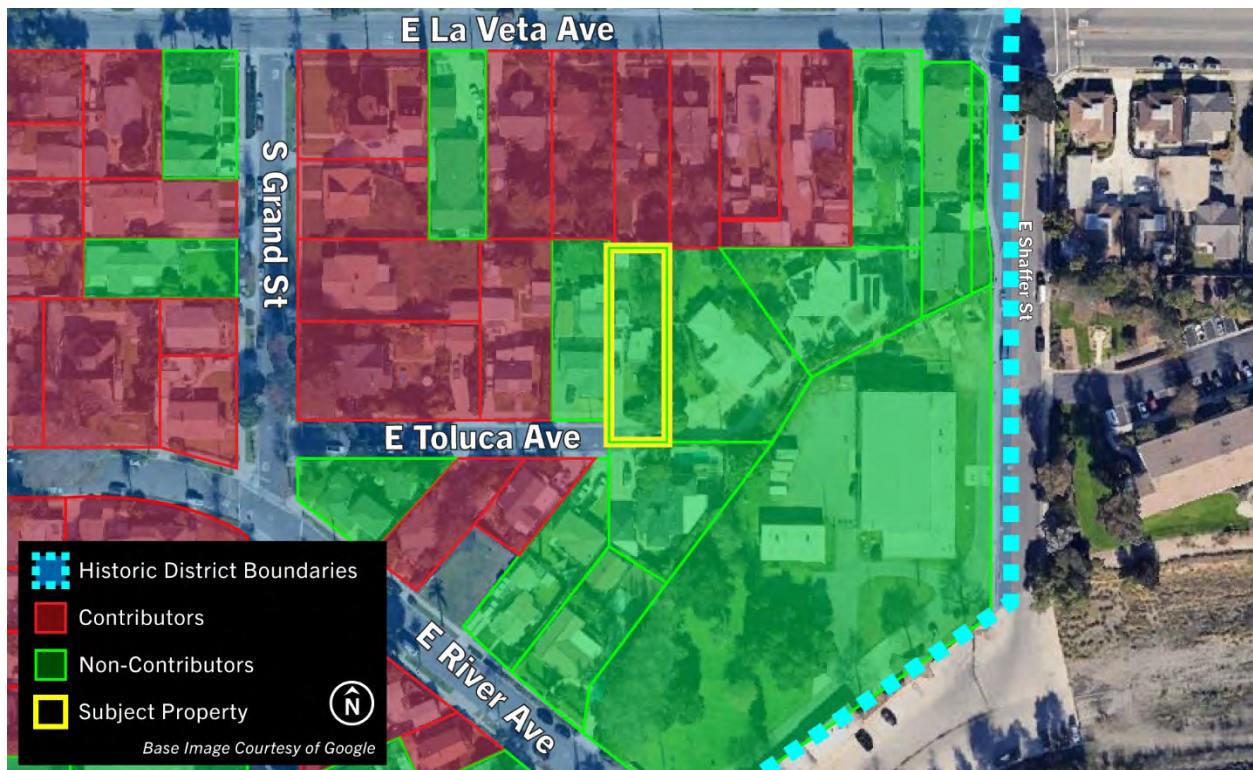
historic preservation professional as outlined in Title 36 of the Code of Federal Regulations, Part 61. Their résumés are included as **Attachment A**.

2. METHODOLOGY

To prepare this memo, GPA completed the following tasks:

- Reviewed existing information and guidance including the applicable Design Standards (see **Attachment B**), the 1997 NRHP Historic District Nomination (see **Attachment D** for excerpts of relevant sections), and the 2005 DPR 523 update form set for the subject property (see **Attachment E**).
- Conducted a site visit on July 16, 2024 to ascertain the existing conditions of the subject property and its setting. GPA took digital photographs of the existing buildings on the property and within the immediate vicinity, included in **Attachment F**.
- Consulted with the Project Applicant on the proposed plans to ensure conformance with the Design Guidelines. See **Attachment C** for a copy of the current plan set, dated November 18, 2025.

3. ENVIRONMENTAL SETTING



Location of the subject property within the Historic District.

E. Toluca Avenue is a short street that dead ends east of its intersection with S. Grand Street within the Historic District. 405 E. Toluca Avenue is located on the north side of the street at its east terminus and is surrounded by other single-family residences (see **Attachment F, Figure 1** through **Figure 5**). Of the properties fronting E. Toluca Avenue, the 1988 and 1997 surveys identified a total of three contributors and eight non-contributors. The properties immediately adjacent to 405 E. Toluca Avenue (the subject property) are all non-contributing. The three contributing parcels are: 325 E. Toluca Avenue (located one property to the west, see **Attachment F**,

Figure 2), 334 E. Toluca Avenue (located across Toluca Avenue to the southwest, see **Attachment F, Figure 3**), and 545 S. Grand Avenue (located on the northeast corner of S. Grand and E. Toluca Avenue, west of the subject property).²

Old Towne Orange Historic District

The Historic District boundaries were established by the City in 1988 under Ordinance 38-88.³ A portion of the Historic District was listed in the NRHP on July 11, 1997 and determined significant for its association with late 19th and early 20th century development of the City with an 1888 to 1940 period of significance.⁴ The 1997 NRHP nomination prepared by the Old Towne Preservation Association identified a total of 1,230 contributors and 512 non-contributors consisting of residential, commercial and industrial property types.⁵ Popular architectural styles identified within the NRHP nomination include Craftsman, Folk Victorian, and Spanish Colonial Revival as well as Tudor Revival, Queen Anne, Prairie, Mediterranean Revival, and Streamline Moderne. Character-defining features of the district included tree-lined streets with planted parkways, concrete sidewalks and walkways, rectangular lots, front porches, either wood or stucco cladding, and gable, hipped, or flat roof forms.⁶

Property Description and History

Architectural Description

405 E. Toluca Avenue comprises a narrow, rectangular-shaped parcel. It is improved with a small single-family residence near the center of the parcel with a deep front yard setback, and detached garage. The vernacular residence was constructed in 1935.⁷ It is one story in height and rectangular in plan with a flat roof and exterior walls clad in a combination of vertical wood siding and asbestos shingles. The main entrance is located on the south elevation within a projecting full-width porch with shed roof. Fenestration consists of aluminum sash and vinyl casement sash within wood-framed windows openings, and partially glazed wood doors with metal screens.

Located northwest of the residence is a detached one-car garage with flat roof, reverse board-and-batten exterior walls, and sliding wood door garage door.

Landscaping consists of a grassy lawn with mature trees and shrubs. A concrete block wall is along the east property line within the front yard and the rear yard is enclosed by a wood perimeter fence. Hardscaping is limited to the concrete driveway that extends northward from E. Toluca Avenue along the west parcel boundary.

See **Attachment F, Figure 5** through **Figure 14** for current photographs of the property.

² 334 E. Toluca Avenue is listed as a district contributor in the local Old Towne Orange Historic District and a non-contributor in the NRHP-listed Old Towne Orange Historic District.

³ A historic resources survey was completed within the 1988 Old Towne Orange Historic District boundaries in 1991 which identified 405 E. Toluca Avenue a non-contributor to the historic district.

⁴ The boundaries of the locally designated Old Towne Orange Historic District are larger than the NRHP-listed Old Towne Orange Historic District. Both districts include this portion of E. Toluca Avenue.

⁵ 405 E. Toluca Avenue is a non-contributor for both the locally designated and NRHP-listed historic districts.

⁶ Steven G. McHarris, "Old Towne Orange Historic District," National Register of Historic Places Registration Form, Old Towne Preservation Association, Orange, CA, May 29, 1997, 7-2.

⁷ The 2005 DPR 523 form identified the style of the residence as "Mediterranean Revival" and notes that a 1991 survey identified the style as "Vernacular." Based on GPA's observations made during the site visit, the residence does not display any features of the Mediterranean Revival style and none of its features fit within a specific architectural style. Therefore, it is more accurately described as a vernacular building. See Attachment E for a copy of the 2005 DPR Form.



Brief History

The one-bedroom, single-family residence at 405 E. Toluca Avenue was constructed circa 1935.⁸ In November 1935, the property was sold by Emma C., Mary M., and Julius E. Bergmann to Gilbert J. Scriven, a real estate agent, and Nellie C. Scriven, of Orange.⁹ The earliest known occupant of the residence was Gilbert's brother, Avert M. Scriven, a retired rancher and long-time resident of California who lived at the subject property only a short time before he passed away in January 1936.¹⁰ In April 1936, the Scrivens sold the property to Carl L. Allen, a citrus worker, and Vedus Allen, who constructed the existing detached garage that same year.¹¹ Carl and his wife, Frances Wilma Allen, owned and occupied the property until 1944 when it was sold to insurance agent and business owner, Frank M. Miller, and Raye R. Miller.¹² The Millers resided at the property for a short time before selling to Ada M. Earle in 1950.¹³ Ada worked as a nurse at the County hospital and owned and occupied the property until she sold it in 1959 to Sim L. Ten Eyck, a repairman, and Ramona Ten Eyck.¹⁴ Research suggests the Ten Eycks occupied the property in the early 1960s, and later renting out the property to tenants Robert C. and Donna Bruning in 1964.¹⁵ The property was sold to Patricia L. Kraemer in 1966, sold to John C. Carroll in 1972, and Linda K. Carne, in 1976.¹⁶

4. PROJECT DESCRIPTION

The scope of work proposed by the Project is listed below. Project plans, dated November 18, 2025, are included as **Attachment C**.

Demolition

- Partial demolition of existing exterior and interior walls of single-family residence, and demolition of all existing, non-original windows and doors, and non-original front porch.
- Demolition of the existing detached garage.

New Construction:

- Addition on south, east, and north elevations of existing residence for 985 sq. ft. of additional living space with new 115 sq. ft. front porch on south elevation.

Finishes and materials proposed include:

⁸ D. Gest, P. LaValley, and D. Matsumoto, "405 E Toluca Ave," California Department of Parks and Recreation (DPR) Form Set, Chattel Architecture, Orange, California, April 2005, 1; Aida M. Cuevas, "405 E Toluca Ave, Orange," via email, November 22, 2025.

⁹ Orange County Office of the Assessor Records, Deed Book 47, Page 298, April 15, 1910, quoted in Cuevas; Orange County Office of the Assessor Records, Book 787, Page 226, November 13, 1935, quoted in. Cuevas.

¹⁰ "Avert M. Scriven Services Tuesday," *The Register*, January 27, 1936, 2, Newspapers.com, accessed November 2025, <https://www.newspapers.com/image-view/74596263/>.

¹¹ Orange County Office of the Assessor Records, Book 820, Page 56, April 15, 1936, quoted in Cuevas; "Permits Issued" *The Register*, July 4, 1936, 5, Newspapers.com, accessed November 2025, <https://www.newspapers.com/image-view/88102919/>.

¹² Orange County Office of the Assessor Records, Book 1232, Page 172, January 12, 1944, quoted in Cuevas.

¹³ Orange County Office of the Assessor Records, Book 2082, Page 303, October 4, 1950, quoted in Cuevas.

¹⁴ Orange County Office of the Assessor Records, Book 4814, Page 312, July 28, 1959, quoted in Cuevas.

¹⁵ quoted in Cuevas.

¹⁶ Orange County Office of the Assessor Records, Book 7889, Page 48, March 16, 1966, quoted in Cuevas; Orange County Office of the Assessor Records, Book 10343, Page 366, August 21, 1972, quoted in Cuevas.



- Exterior walls - Horizontal Hardie Plank siding
 - Roof - Built-up roofing (flat portion) and composition shingles (porch roof)
 - Windows – Solid wood divided-light single hung and sliding sash windows
 - Doors – Solid wood paneled doors with single lights
 - Trim - Hardie Trim
- New 400 sq. ft. detached 2-car garage at rear of property, northeast of the residence.

Finishes and materials proposed include:

- Exterior walls - Horizontal Hardie Plank siding
- Roof - Built-up roofing
- Windows – None.
- Doors – Steel roll-up double door with arched windows; steel embossed with a natural wood-grain texture
- Trim - Hardie Trim

Site Improvements:

- Existing grassy lawns within front, sides, and rear yards would be retained or replaced in kind as needed.
- Existing wood perimeter fence in rear yard and concrete block wall along east property line within front yard would be retained with new wood gates (3 ft. wide and 5 ft. high) added at the southeast and northeast corners of the residence to enclose the east side yard.
- 1 existing orange tree within the front yard and 1 existing palm tree within the west side yard would be removed to accommodate access to the new 2-car garage.
- Existing concrete driveway would be retained and extended northward to abut the full width of the south elevation of the new garage building using concrete to match the existing.

5. STANDARDS FOR NON-CONTRIBUTING BUILDINGS IN HISTORIC DISTRICTS¹⁷

The Design Standards for non-contributing buildings aim to preserve the overall visual character of the Historic District. Although non-contributing buildings are not considered to be historic resources, the Design Standards state that “they have an impact on the streetscape of the historic district and alterations or additions to these properties should be in keeping with the character of the neighborhood.”¹⁸

Standard 1: Non-contributing properties shall comply with the Standards for Historic Residential Buildings – Setting or Standards for Historic Commercial Buildings – Setting.

The Project complies with Standard 1 as detailed in **Section 6** of this memo.

¹⁷ *Historic Preservation Design Standards*, (City of Orange, December 12, 2018), 49.

¹⁸ *Historic Preservation Design Standards*, 49.



Standard 2: Non-contributing properties shall comply with the Standards for Historic Building Features – Mechanical Systems.

The Project complies with Standard 2 as detailed in **Section 7** of this memo.

Standard 3: Front porches are a common feature of historic residences in Old Towne. Removing or infilling an existing front porch on a non-contributing building is generally not compatible with the Historic District.

The proposed Project complies with Standard 3. Although the existing, non-original front porch would be demolished to accommodate the proposed addition, it would be replaced with a new front porch (see **Attachment C**). The new porch has been designed to be similar to the existing and would be the full-width of the primary elevation, oriented towards the street, and visible from the public right-of-way with a shed roof covering with simple square wood posts over an at grade concrete slab. The design is consistent with those of the contributing properties located at 545 S. Grand Avenue and 325 E. Toluca Avenue. As proposed, the new porch design will be compatible with the contributing buildings in the Historic District.

Standard 4: The primary building should have a main entrance and facade oriented toward the street.

As specified in the plans (See **Attachment C, Sheet A-05**), the main entrance for the residence will be constructed on the primary (south) elevation, oriented towards E. Toluca Avenue. Therefore, the proposed Project would comply with Standard 4.

Standard 5: Windows and doors should be compatible with the building's predominant architectural style or with historic buildings in the Historic District.

Because the existing residence is vernacular in design and does not have a predominant architecture style, the proposed solid wood doors and windows with arched and divided lights were selected to be compatible with the surrounding district contributors. Similar windows and doors are found on the neighboring contributors located at 545 S. Grand Avenue and 325 E. Toluca Avenue. Therefore, the proposed Project would comply with Standard 5.

Standard 6: The use of traditional building materials found on historic buildings in the Historic District is encouraged for non-contributing buildings.

The proposed Project would involve the use of horizontal Hardie Plank cladding, which is similar in appearance to traditional building materials found on other historic buildings within the Historic District, such as wood clapboard siding or board-and-batten. Additionally, the solid wood single-hung windows with divided lights and solid wood paneled doors are visually similar to traditional fenestration in the Historic District, such as nearby contributors at 545 S. Grand Avenue and 325 E. Toluca Avenue. Therefore, the proposed Project complies with Standard 6.

Standard 6a: Exterior materials shall be compatible with the size, scale, design, texture, reflectivity, durability and color of traditional materials used in the Historic District.

For the same reasons as discussed above under Standard 6, the proposed exterior materials, including solid wood windows and doors with Hardie Trim, and Hardie Plank exterior wall cladding, are compatible with traditional materials used in the Historic District. Their overall design and appearance will be sympathetic to historic features found on contributing buildings within the district while the use of contemporary materials will not convey a false sense of history.

The Project also proposes the use of composition shingle roofing on the front porch. Nearby contributors also have composition shingles, which are a common and acceptable roofing alternative for both contributing and



non-contributing buildings due to their durability and fire safety rating and can be found on many of the buildings within the Historic District.

The color choices used on the exterior include beige, white, black, and dark gray. The proposed colors are common choices for both contributing and non-contributing buildings and compatible with the Historic District.

For all of the above reasons, the proposed Project complies with Standard 6a.

Standard 6b: Alternatives to traditional building materials may be considered if the alternative material is compatible with the building's predominant architectural style or with comparable contributing buildings in the Historic District.

Alternative building materials proposed include Hardie Plank exterior wall cladding, and Hardie Trim fascia boards, and window and door surrounds, as well as a partially-glazed steel roll-up garage door with embossed finish to simulate wood. These materials are compatible with the district as they will not create a false sense of history but will be sympathetic to contributing buildings in the Historic District. These features are commonly found on the neighboring buildings and do not detract from the Historic District.. Therefore, the proposed Project will comply with Standard 6b.

Standard 6c: Vinyl windows are inappropriate for use on non-contributing buildings.

As identified on the proposed window schedule (see **Attachment C, Sheet A-05 and A-10**) the Project will use solid wood windows and does not propose the use of vinyl windows; therefore, the Project complies with Standard 6c.

Standard 7: The use of elaborate architectural details or ornamentation that is not compatible with the building's predominant architectural style or surrounding contributing buildings should be avoided.

The existing vernacular building does not have a predominant architecture style, and the proposed ornamental details are minimal, such as simple square porch columns, solid wood paneled doors and multi-light windows, metal window and door hardware, and wood entry gates. None of these features proposed are purely ornamental and would not be considered an elaborate architectural detail. Therefore, the Project would comply with Standard 7.

Standard 8: Additions to non-contributing buildings should be compatible with the mass, scale and setbacks of the existing building and surrounding historic properties.

The residence is much smaller and further set back than other buildings on this block of E. Toluca Avenue. In its current condition, the existing 480 sq. ft. residence is set back approximately 45 feet from the line of the sidewalk, which terminates west of the property and approximately 68.6 feet from the centerline of the street. The existing floor area ratio (FAR) is 0.10 (672 sq. ft. building area [480 sq. ft. residence and 192 sq. ft. garage] / 6,720 sq. ft. lot area), which is much lower than the surrounding properties (see **Attachment C, Sheet A-03**).

The building/lot area and FAR of the contributing properties on E. Toluca Avenue are listed below (see **Attachment C, Sheet A-03** for all properties on E. Toluca Avenue):

Address	Building/Lot	FAR
545/548 S. Grand Street (corner of E. Toluca Avenue)	3,502 sq. ft./11,250 sq. ft.	= 0.31
325/327 E. Toluca Avenue	3,120 sq. ft./9,375 sq. ft.	= 0.33
334 E. Toluca Avenue	1,446 sq. ft./ 4,792 sq. ft.	= 0.30



The proposed Project would add 1,192 sq. ft. to the existing 672 sq. ft. of building area, resulting in 1,864 sq. ft. total. The new FAR would be 0.28. Although the new construction would be larger than the existing building area, the new total building area and FAR would be less than the contributing buildings on the block (see list above). The Project will also keep the existing building form at one story, while the addition will bring the front elevation to be in line with the setbacks of the other buildings on the north side of the block. Due to the very modest size and large setback of the existing building, a unique condition arises where the proposed new building will actually be more similar to the mass, scale, and setbacks of the surrounding Historic District than the current building. Therefore, the proposed Project will comply with Standard 8.

Standard 8a: Generally, an addition should be no larger than the existing width and height of the non-contributing building and should not exceed the dimensions of surrounding historic properties.

The proposed addition will be wider than the existing residence. However, the subject property is the smallest residence on this section of E. Toluca Avenue at only 480 sq. ft. Although the addition will be wider than the existing building, the addition will only be one-story in height and the total square footage will be comparable to the surrounding historic properties along E. Toluca Avenue. Additionally, due to the narrow width of the parcel and its mid-block location, the addition will not be fully visible to the public right-of-way as it extends north towards the rear of the parcel. Therefore, taking into account the unique conditions of the existing building and site, the proposed Project will comply with Standard 8a.

Standard 8b: The prevailing pattern of setbacks on the street should be retained.

Of the ten properties fronting E. Toluca Avenue, the majority have a setback from the sidewalk between 10 to 20 feet. The existing building is currently an outlier with a 45-foot setback as measured from the front porch to the sidewalk, which ends just west of the existing driveway. As proposed, the building would have a 20-foot front yard setback that would better reflect the prevailing pattern on E. Toluca Avenue. Therefore, the Project will comply with Standard 8b.

Standard 8c: Simple roof forms that reflect the form of the non-contributing building and surrounding historic buildings are appropriate.

The existing building is the only building on E. Toluca Avenue with a flat roof. Rather than alter the existing roof form to mimic the surrounding contributing properties with side gable, forward-facing gable, and hipped roof forms, the Project proposes to retain the existing flat roof, which would be reflected in the addition. Therefore, the proposed Project will comply with Standard 8c.

Standard 8d: Second story additions to a one-story structure are discouraged. If proposed, a second story addition shall not cause a loss of privacy for surrounding properties and shall be compatible with the size, mass, and scale of properties on the same street.

The Project does not propose construction of a second story addition; therefore, the Project complies with Standard 8d.

Standard 8e: Conversion of attic space to habitable area within the existing roofline is encouraged. A half story addition may be appropriate, provided that the scale, size, and roof form are compatible with the streetscape.

The Project does not propose conversion of attic space or construction of a half-story addition; therefore, the Project complies with Standard 8.



6. STANDARDS FOR HISTORIC RESIDENTIAL BUILDINGS – SETTING¹⁹

The setting and streetscapes within a historic district are vital to creating cohesion and a sense of place. Therefore, the relationship between the buildings as well as front yard and side yard setbacks, landscaping, hardscaping, fencing and lighting contribute to the overall character of the Historic District.

Standard 1. The prevailing pattern of open space in the front and side yards of contributing properties should be preserved.

The proposed Project will result in a front yard setback and side yard dimensions that are comparable to contributing properties on E. Toluca Avenue (see **Section 5, Standard 8b**). Additionally, it is worth noting that the existing residence is very modest in size and scale with deep front and side yard setbacks that are inconsistent with the character-defining features of the Historic District. As a result of the proposed Project, the subject property would be brought into conformance with the pattern of open space found across contributing properties. Therefore, the Project as proposed complies with Standard 1.

Standard 2. Historic walkways, driveways, and other hardscape features in the front yard shall be preserved.

Standard 2 is not applicable. The property is a non-contributor and does not have any historic walkways, driveways, or hardscape features.

Standard 2a. Unpainted historic walls, curbs, or planters should not be painted.

Standard 2a is not applicable. The property is a non-contributor and does not have any historic walls, curbs, or planters.

Standard 3. Repairs or expansion of paving or hardscape features should match the historic features in materials, color, texture, and finish.

The parkway that characterizes the Historic District terminates at the west side of the existing driveway. No repairs or expansion of the sidewalk are proposed. The existing concrete driveway would be retained and extended north to the south elevation of the proposed new garage building using concrete to match the existing. Therefore, the Project is consistent with Standard 3.

Standard 3a. The appropriate concrete paving material for driveways or walkways is a natural grey concrete, textured to expose the fine aggregates through an acid wash or light retardant finish.

All new concrete paving, such as the northern extension of the driveway, would be concrete with a natural grey color with exposed fine aggregates through an acid wash or light retardant finish (see **Attachment C, Sheet A-01**). Therefore, the Project as proposed is consistent with Standard 3a.

Standard 3b. Alternate paving materials in front or side yards visible from the street may be considered, if they are compatible with the building and the streetscape.

Standard 3b does not apply. No alternate paving materials are proposed.

¹⁹ Orange City Council. "Historic Preservation Design Standards". (City of Orange, December 12, 2018), page 27, April 8, 2025.



Standard 4. Parkway, front yards, and side yards should be reserved for landscape. Paving or non-porous surfaces should be minimized.

Paving will be limited to the driveway and the remainder of the parcel will be covered in landscaping. As proposed, the Project complies with Standard 4.

Standard 5. Parking areas should be located at the rear of the site and should be screened from public view by appropriate fencing or landscaping.

The detached garage and associated parking area is located toward the rear of the existing residence. Approximately ½ of the front elevation of the garage would be concealed behind the residence with proposed addition. Combined with the distance from the street to the front of the garage (approximately 124 feet), parking would be minimally visible. Additionally, there are multiple other properties on the block that have visible garages and parking spaces located at the front of their lots, including two contributors (334 and 320 E. Toluca Avenue). Overall, the proposed Project would comply with Standard 5.

Standard 6. Widening an existing driveway is generally not appropriate.

The existing driveway would be retained and only a small portion would be widened toward the rear of the parcel at the proposed new garage such that it would be minimally visible from the street. This minor widening of the existing driveway is consistent with the City's minimum width requirement of 16-feet to provide adequate space for a two-car garage. The current driveway does not meet this width requirement, making it non-compliant with the necessary standards for the proposed construction and usage. In order to meet the City's minimum driveway width requirements, strict compliance with Standard 6 is not feasible. However, the driveway has only been widened where necessary.

Standard 6a. Driveways between 9 and 12 feet are generally appropriate and provide adequate room to maneuver vehicles.

The existing driveway is 12 feet wide and will be retained. As such, the Project as proposed complies with Standard 6a.

Standard 6b. Driveways may have a center planting strip. The planting strip should be a minimum of 18 inches wide.

Standard 6b is not applicable. The existing driveway would be retained and no center planting strip is proposed.

Standard 7. Front yard fencing may be installed, provided that it matches the prevailing pattern of fencing in the streetscape.

Standard 7 is not applicable. The Project does not propose any new front yard fencing. Standards 7a through 7g are also not applicable for the same reason.

Standard 8. Rear yard opaque fencing for privacy may be appropriate, provided that the design and materials are compatible with the building and the neighborhood.

Standard 8 is not applicable. The existing wood fencing in the rear yard would be retained. The Project does not propose any new fencing, other than small gates within the east side yard that would be 3 ft. wide and 5 ft. tall and minimally visible due to their location. Nevertheless, the proposed wood gates would be compatible with the existing wood fencing and materials used throughout the Historic District.



Standard 8a. If a six foot rear or side yard fence is located next to the street, it is strongly encouraged to have a 24 inch planting strip between the sidewalk and the fence.

Standard 8a is not applicable. The property is not located on a corner parcel; no side yards are street adjacent.

Standard 9. Vinyl, chain link, and plastic fences are prohibited.

Standard 9 is not applicable. No new fencing is proposed. Existing wood fencing, which is compatible with the Historic District in terms of materials, would be retained. Proposed new gates within the east side yard would be constructed of wood, a compatible material.

Standard 10. Mature trees and hedges, including street trees, should be preserved or replaced with compatible plantings as necessary

Two existing trees would be removed as a result of the Project: an orange tree in the front yard and palm tree located within the west side yard. Removal of these trees are necessary to accommodate the required access to the new detached garage. Compatible plantings along the base of residence within the front and west side yard are proposed to replace the trees (see **Attachment C, Sheet L-100**). Therefore, the proposed Project complies with Standard 10.

Standard 11. Drought tolerant alternatives to lawns may be appropriate if the alternatives are compatible with the character of historic front yards and parkways. Front yards are generally characterized by low-growing lawns with foundation plantings at the base of the buildings or cottage gardens with a variety of plantings. Low-water alternative plant species appropriate to the climate may be used, if they are compatible with the historic character of front yards and parkways. In areas visible from the street, yards and parkways that are primarily gravel, mulch or unplanted soil are generally not compatible

The site notes on the proposed plans specify to “provide at front yard low-growing lawns with foundation plantings at the base of the building or cottage gardens with a variety of plantings” (see **Attachment C, Sheet A-01 and Sheet A-02**). All front yard will consist of landscaping that meets this description as detailed in the proposed landscape plans (see **Attachment C, Sheet L-100**). Therefore, the Project is consistent with Standard 11.

Standard 12. Artificial turf is prohibited in parkways, front yards, and side yards visible from the street.

No artificial turf is proposed. The Project complies with Standard 12.

7. STANDARDS FOR HISTORIC BUILDING FEATURES – MECHANICAL SYSTEMS²⁰

Mechanical systems allow historic buildings to house contemporary uses. The Design Standards recommend that mechanical systems be located in areas on a property that are not visible from the public right-of-way so as to not diminish the character of the Historic District..

Standard 1: Mechanical equipment shall be located in areas not visible from the street.

The proposed mechanical equipment includes one new tankless water heater, one mini split unit, a new gas meter, and a new electrical meter. As proposed, the new mechanical equipment will all be located along the east

²⁰ Orange City Council, “Historic Preservation Design Standards” (City of Orange, December 12, 2018), page 25, April 8, 2025.



elevation of the residence, oriented towards the rear and side yards (see **Attachment C, Sheet A-01**). They will not be visible from the street or public right-of-way due to the narrow parcel size and east yard setback, and will be further concealed behind a wood fence with gate. Therefore, the Project complies with Standard 1.

Standards 1a-1d are related to mechanical equipment constructed on historic buildings or added to the roof of the building. As the property is a non-contributor to a historic district and no mechanical systems are proposed to be added to the roof, Standards 1a-1d are not applicable.

Standard 2: Solar panels shall be located in areas that are least visible from the street.

Standard 2 (including Standards 2a-2g) are related to the placement and installation of solar panels. The Project does not propose solar panels; therefore Standard 2 and Standards 2a-2g are not applicable.

8. RECOMMENDATIONS AND CONCLUSIONS

After conducting a review of the plan set for the proposed work (Westcoast Drafting, November 18, 2025, see **Attachment C**), GPA concludes that the proposed work demonstrates overall compliance with the City of Orange Historic Preservation “Design Standards for Non-Contributing Buildings in Historic Districts,” the “Standards for Historic Residential Buildings – Setting,” and the “Design Standards for Historic Building Features – Mechanical Systems.” As proposed, the Project will not result in any direct impacts to the physical integrity of any contributing features of the Historic District. Additionally, because the proposed Project has been designed to be consistent with the City’s Design Standards, will be comparable in size, scale, and massing to the existing residence as well as neighboring buildings, and incorporates compatible building features and materials, the proposed Project will not result in any indirect impacts to the integrity of the Historic District as a whole.

Thank you for your consideration of this memo. Please do not hesitate to contact me with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Audrey von Ahrens', written in a cursive style.

Audrey von Ahrens
Senior Architectural Historian
audrey@gpaconsulting-us.com

Attachments

- A. Résumés
- B. City of Orange Historic Preservation Design Standards
 - Non-Contributing Buildings in Historic Districts
 - Historic Residential Buildings – Setting
 - Historic Building Features – Mechanical Systems
- C. Proposed Plan Set - Westcoast Drafting, November 18, 2025
- D. Old Towne Orange NRHP Historic District Nomination (excerpts relevant to 405 E. Toluca Avenue)
- E. 2005 DPR 523 Form
- F. Current Photographs



ATTACHMENT A: RÉSUMÉS

JENNA KACHOUR



Jenna Kachour is a Senior Associate Architectural Historian at GPA. She has 16 years of diversified planning experience in the private, public, and non-profit sectors. She has been dedicated to the field of historic preservation since 2010. Trained as a planner, Ms. Kachour's work at GPA is informed by her understanding of preservation's role within the larger context of land use and decision making. Since joining GPA in 2013, she has skillfully supervised the preparation of environmental compliance documents in accordance with the California Environmental Quality Act, National Environmental Policy Act, and Section 106 of the National Historic Preservation Act for projects throughout California. Her involvement in several large-scale transportation corridor projects has entailed the management of historical resource surveys across multiple jurisdictions. Jenna is also experienced in preparing applications for Mills Act Historic Property Contracts as well as inspecting properties with existing contracts.

Educational Background:

- Master of Planning, University of Southern California, 2007
- Graduate Certificate, Historic Preservation, University of Southern California, 2007
- B.S., Public Policy, Management and Planning, University of Southern California, 2007

Professional Experience:

- GPA Consulting, Senior Associate Preservation Planner/Architectural Historian, 2021-Present
 - Senior Preservation Planner, 2017-2021
 - Associate Preservation Planner, 2013-2016
- Pasadena Heritage, Preservation Director, 2010-2013
- Deborah Murphy Urban Design + Planning, Planner, 2009-2010
- Brown/Meshul, Inc. Land Use Consultants, Assistant Project Manager, 2006-2009

Qualifications:

- Meets the Secretary of the Interior's Professional Qualifications Standards for architectural history pursuant to the Code of Federal Regulations, 36 CFR Part 61, Appendix A.

Selected Projects:

- 2830 E. Wardlow Road, CEQA Historical Resources Evaluation Report, Long Beach Airport, 2022
- Midtown Specific Plan, CEQA Historical Resource Report, Long Beach, 2015
- 1711 Harbor Avenue, Historic American Engineering Record-Like Documentation, Long Beach, 2023
- Sixth Street Bike Boulevard Project, Section 106 Technical Studies, Long Beach, 2016
- Daisy Corridor Bike Boulevard Project, Section 106 Technical Studies, Long Beach, 2016
- Drake Park Survey Update, Long Beach, 2018-2019
- Mills Act Program Recommendations Report, Long Beach, 2014
- Mills Act Periodic Inspections, Long Beach, 2014
- 1500 W. Adams Boulevard, CEQA Historical Resources Technical Report, Los Angeles, 2022-2023
- Alondra Community Regional Park, Secretary of the Interior's Standards Compliance, Los Angeles County, 2022
- North Hollywood Southern Pacific Railroad Depot, Secretary of the Interior's Standards Compliance Memo, Los Angeles, 2021
- 325 S. Boyle Avenue, CEQA Historical Resources Technical Report, Los Angeles, 2022-2023
- 200-202 W. Ojai Avenue, Secretary of the Interior's Standards Compliance Memorandum, Ojai, 2022
- Los Angeles Union Station Five New Capital Projects, CEQA Historical Resources Technical Memorandum, Los Angeles, 2020-2021

AUDREY VON AHRENS



Audrey von Ahrens is a Senior Architectural Historian at GPA. She has been involved in the field of historic preservation since 2013. Audrey graduated from the University of Pennsylvania with a Master of Science in Historic Preservation and City Planning where she focused on preservation planning and community economic development. She has since worked in private historic preservation consulting in California. Audrey joined GPA in 2017 and her experience has included the preparation of environmental compliance documents in accordance with the California Environmental Quality Act and Section 106 of the National Historic Preservation Act; historic context statements; Secretary of the Interior's Standards analysis; large-scale historic resources surveys; and evaluations of eligibility for a wide variety of projects and property types throughout Southern California. Audrey is also experienced in coordinating with property owners and local governments in the preparation and review of Mills Act Property Contract applications and the inspection and reporting of properties applying for or with existing contracts.

Educational Background:

- M.S., Historic Preservation, University of Pennsylvania, 2016
- Master of City Planning, University of Pennsylvania, 2016
- B.A., Architectural Studies and Urban Studies, University of Pittsburgh, 2013

Professional Experience:

- GPA Consulting, Senior Architectural Historian, 2024-Present
 - Associate Architectural Historian, 2021-2024
 - Architectural Historian II, 2017-2021
- Heritage Consulting, Inc., Intern, 2015-2016
- Tacony Community Development Corp., Intern, 2014
- Pittsburgh History & Landmarks Foundation, Intern, 2013
- University of Pittsburgh, Teaching Assistant, 2012-2013
- Pittsburgh Planning Department, Intern, 2012
- Pittsburgh Downtown Partnership, Intern, 2011

Qualifications:

- Meets the Secretary of the Interior's Professional Qualification Standards for history and architectural history pursuant to the Code of Federal Regulations, 36 CFR Part 61, Appendix A.

Professional Activities:

- Downtown Los Angeles Neighborhood Council, Planning and Land Use Committee (DLANC), 2018-2024
- DLANC, Board of Directors, Alternate, 2019-2024

Selected Projects:

- 200-202 W. Ojai Avenue, Secretary of the Interior's Standards Compliance Memorandum, Ojai, 2022
- 2830 E. Wardlow Road, CEQA Historical Resources Evaluation Report, Long Beach Airport, 2022
- 31382 Monterey Street, Secretary of the Interior's Standards Memorandum, Laguna Beach, 2022
- 325 S. Boyle Avenue, CEQA Historical Resources Technical Report, Los Angeles, 2022-2023
- 3605 Spring Street, CEQA Historical Resources Evaluation Report, Long Beach Airport, 2023
- 3917 Long Beach Boulevard, CEQA Historical Resources Evaluation Report, Long Beach, 2019
- 556 Broadway, CEQA Historical Resources Evaluation Report, Chula Vista, 2021-2022
- 7740-7770 McGroarty Street, CEQA Historical Resources Evaluation Report, Los Angeles, 2021
- Acres of Books, Historic Mitigation Measure Implementation, Long Beach, 2023
- Georgian Hotel, Secretary of the Interior's Standards Compliance Memorandum, Santa Monica, 2021
- Long Beach Armory, Historic American Building Survey Documentation, Long Beach, 2019
- Long Beach Historic District Design Guidelines, 2017-2019
- North Hollywood Southern Pacific Railroad Depot, Secretary of the Interior's Standards Compliance Memo, Los Angeles, 2021
- Villa Riviera, Secretary of the Interior's Standards Memorandum, Long Beach, 2019
- Whittier Citrus Packing House, Historic Property Treatment Plan, Whittier, 2022-2023



PHOEBE RAYBURN



Phoebe Rayburn is an Architectural Historian I at GPA. She has been involved with the field of historic preservation since 2024. Phoebe graduated from the College of Charleston with a bachelor's degree in historic preservation and community planning and a minor in art history. At GPA, she assists the architectural historian team with the preparation of environmental compliance documents in accordance with the California Environmental Quality Act (CEQA), National Environmental Policy Act (NEPA), Section 106 of the National Historic Preservation Act (NHPA), and the Secretary of the Interior's Standards (SOIS). Prior to GPA, Ms. Rayburn was a preservation intern at the Historic Charleston Foundation, where she performed historic property inspections, coordinated inspection schedules, prepared and mailed inspection reports, and performed archival research on endangered historic properties for presentation. She is proficient in a number of software programs, including AutoCAD, Adobe InDesign, SketchUp, Adobe Photoshop and Lightroom, and Microsoft Office. She uses these skills to add depth to her analyses and reports in the form of maps, illustrations, and graphics.

Educational Background:

- B.A., Historic Preservation and Community Planning, Minor in Art History, College of Charleston, 2024

Professional Experience:

- GPA Consulting, Architectural Historian I, February 2025 – Present
- Historic Charleston Foundation, Preservation Intern, January 2024 – May 2024

Selected Projects:

- Kensington Historic District, National Register of Historic Places Nomination Form, San Diego, 2025
- 8910-8924 Ardendale Avenue, CEQA Historical Resource Evaluation Report, San Gabriel, 2025
- Lodi Downtown Specific Plan Historic Resources Inventory, Lodi, 2025
- Telegraph Road over San Gabriel River Bridge, Section 106 Historic Property Survey Report, Los Angeles County, 2025
- 1323 South Pacific Street, CEQA Historical Resources Evaluation Report, Oceanside, 2025
- Henningsen-Lotus Road Multi-Use Trail, Section 106 Historic Property Survey Report, El Dorado County, 2025
- I-405 Auxiliary Lanes from I-110 to Wilmington, Section 106 Historic Property Survey Report, Los Angeles County, 2025
- Max Berg Plaza Park Fountain Rehabilitation, Section 106 Historic Property Survey Report, San Clemente, 2025
- Washington Boulevard Bridge over Rio Hondo Channel, Section 106 Historic Property Survey Report, Pico Rivera, 2025



ATTACHMENT B: CITY OF ORANGE HISTORIC PRESERVATION DESIGN STANDARDS

STANDARDS FOR NON-CONTRIBUTING BUILDINGS IN HISTORIC DISTRICTS

Standards for non-contributing buildings are intended to preserve the visual character of the historic district as a whole. Although non-contributing buildings are not considered to be historic, they have an impact on the streetscape of the historic district and alterations or additions to these properties should be in keeping with the character of the neighborhood.

1. Non-contributing properties shall comply with the Standards for Historic Residential Buildings – Setting or Standards for Historic Commercial Buildings – Setting.
2. Non-contributing properties shall comply with the Standards for Historic Building Features – Mechanical Systems.
3. Front porches are a common feature of historic residences in Old Towne. Removing or infilling an existing front porch on a non-contributing building is generally not compatible with the Historic District.
4. The primary building should have a main entrance and facade oriented toward the street.
5. Windows and doors should be compatible with the building's predominant architectural style or with historic buildings in the Historic District.
6. The use of traditional building materials found on historic buildings in the Historic District is encouraged for non-contributing buildings.
 - a. Exterior materials shall be compatible with the size, scale, design, texture, reflectivity, durability and color of traditional materials used in the Historic District.
 - b. Alternatives to traditional building materials may be considered, if the alternative material is compatible with the building's predominant architectural style or with comparable contributing buildings in the Historic District.
 - c. Vinyl windows are inappropriate for use on non-contributing buildings.



Typical non-contributing residence in Old Towne

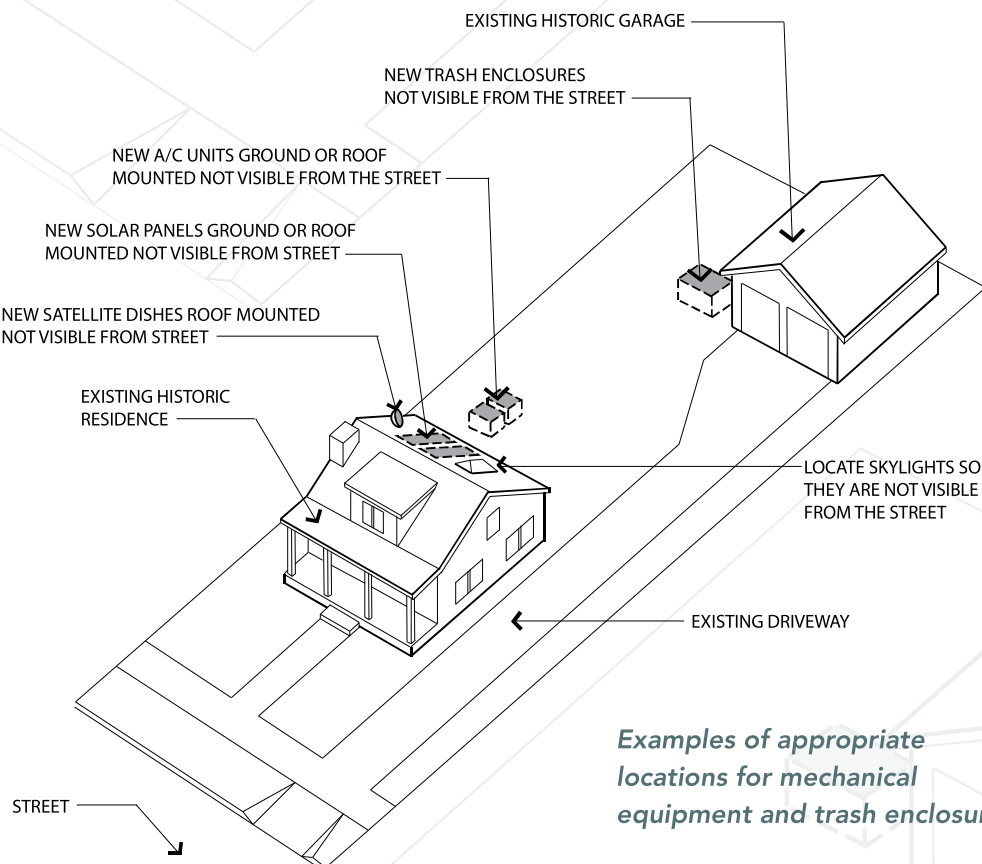
7. The use of elaborate architectural details or ornamentation that is not compatible with the building's predominant architectural style or surrounding contributing buildings should be avoided.
8. Additions to non-contributing buildings should be compatible with the mass, scale and setbacks of the existing building and surrounding historic properties.
 - a. Generally, an addition should be no larger than the existing width and height of the non-contributing building and should not exceed the dimensions of surrounding historic properties.
 - b. The prevailing pattern of setbacks on the street should be retained.
 - c. Simple roof forms that reflect the form of the non-contributing building and surrounding historic buildings are appropriate.
 - d. Second story additions to a one-story structure are discouraged. If proposed, a second story addition shall not cause a loss of privacy for surrounding properties and shall be compatible with the size, mass, and scale of properties on the same street.
 - e. Conversion of attic space to habitable area within the existing roofline is encouraged. A half story addition may be appropriate, provided that the scale, size, and roof form are compatible with the streetscape.



4. Removing non-historic features where possible is strongly encouraged.
 - a. In some cases, these later additions may be obscuring original historic materials that can be recovered.
5. If historic features are missing, replacement should be based on historic documentation. If historic photographs or physical evidence, such as remnant marks on the structure, are not available, the design of replacement details should be based on similar elements on buildings of the same architectural style in the neighborhood.
6. Adding architectural details or elaborate decorative elements that are not appropriate to the architectural style of the building or are not clearly based on evidence from the building's history should be avoided.
7. Paint colors that are appropriate to the period and style of the building are strongly encouraged.

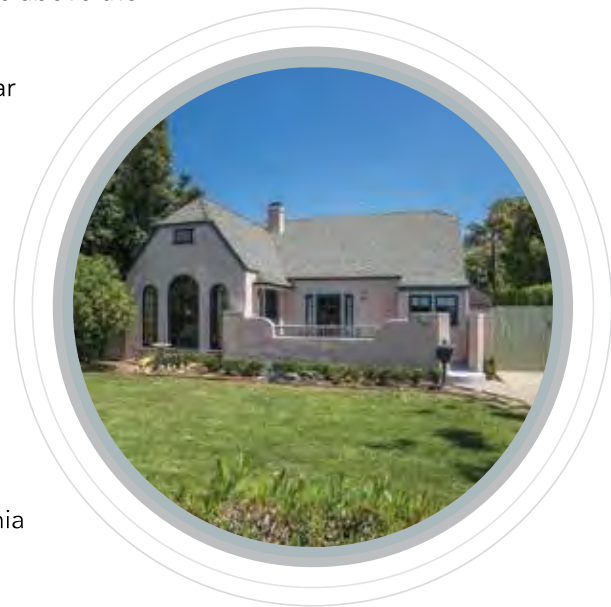
Mechanical Systems

Mechanical systems help to adapt historic buildings to contemporary uses. With careful planning, most can be located where they cannot be seen from the street and will not detract from the character of the historic district.



Examples of appropriate locations for mechanical equipment and trash enclosures

1. Mechanical equipment shall be located in areas not visible from the street.
 - a. Equipment mounted directly on a historic building should be attached using the least invasive method, without damaging historic features.
 - b. Roof-mounted equipment is only appropriate on flat roofs with existing parapet walls to fully screen the equipment.
 - c. Satellite dishes and similar equipment shall be located in areas that are least visible from the street.
 - d. Ground-mounted or building-mounted equipment shall be appropriately screened from view from the street.
2. Solar panels shall be located in areas that are least visible from the street.
 - a. Rooftops of detached garages or rear-facing roofs of primary buildings are the most appropriate locations for solar panels.
 - b. On flat roofs with parapet walls, solar panels may be installed on the full extent of the roof, provided that the panels are not visible above the parapet walls.
 - c. On sloped roofs, solar panels shall be installed on the rear 50 percent of the roof of the primary building.
 - d. On corner lots, for buildings with sloped roofs, solar panels shall be installed on the interior 25 percent of the roof of the primary building.
 - e. If the permitted locations for solar panels in Standard 2c or 2d cause the installation to be visible from the street, staff may require the proposed system to be modified to reduce its visibility. The modification shall not significantly increase the cost of the system or significantly decrease its efficiency, as defined by California Civil Code Section 714.
 - f. Solar panels shall be parallel to the roof plane, shall not extend more than 10 inches above the roof surface, and shall not overhang or alter existing rooflines.
 - g. Solar panels shall be attached to roofs using the least invasive method possible, without damaging historic features.
 - h. Solar panels shall be neatly arranged in a rectangular format with no gaps between the panels.



The back side of this roof would be an appropriate place for solar panels

STANDARDS FOR HISTORIC RESIDENTIAL BUILDINGS

These standards apply to single-family structures, multi-family structures, and structures that were originally constructed for residential use and have since been converted to other uses. The Standards for Historic Building Features also apply to all historic residential buildings.

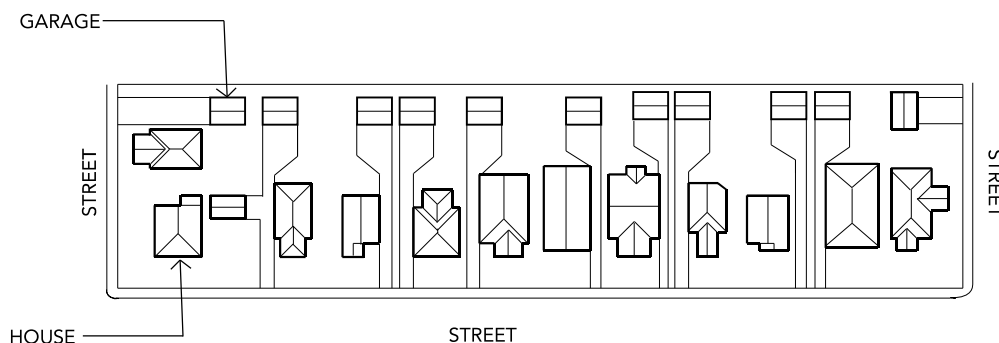
Setting

The setting, or streetscape, is a critical component of the sense of place that is important to historic districts. Front yards in historic residential neighborhoods are typically characterized by a progression from the public street to private interior spaces. Streetscapes frequently have common front and side yard setbacks shared by the majority of buildings on the block. Preservation of this streetscape pattern is essential. The streetscape includes the visual character of the street, sidewalks and walkways, buildings, landscape, and street lighting working in concert. Relationships of buildings to each other, setbacks, fencing patterns, views, driveways, walkways, lighting, and street trees all contribute to the character of historic streetscapes.

1. The prevailing pattern of open space in the front and side yards of contributing properties should be preserved.
2. Historic walkways, driveways, and other hardscape features in the front yard shall be preserved.
 - a. Unpainted historic walls, curbs, or planters should not be painted.
3. Repairs or expansion of paving or hardscape features should match the historic features in materials, color, texture, and finish.
 - a. The appropriate concrete paving material for driveways or walkways is a natural grey concrete, textured to expose the fine aggregates through an acid wash or light retardant finish.



Landscaped parkways and front yards flanking the sidewalk create a pleasant place to walk



Typical pattern of residential development in Old Towne

- b. Alternate paving materials in front or side yards visible from the street may be considered, if they are compatible with the building and the streetscape.
- 4. Parkway, front yards, and side yards should be reserved for landscape. Paving or non-porous surfaces should be minimized.
- 5. Parking areas should be located at the rear of the site and should be screened from public view by appropriate fencing or landscaping.
- 6. Widening an existing driveway is generally not appropriate.
 - a. Driveways between 9 and 12 feet are generally appropriate and provide adequate room to maneuver vehicles.
 - b. Driveways may have a center planting strip. The planting strip should be a minimum of 18 inches wide.
- 7. Front yard fencing may be installed, provided that it matches the prevailing pattern of fencing in the streetscape.
 - a. Front yard fencing should be low and transparent, using materials that are in keeping with the character of the house.
 - b. Wrought iron fences may be appropriate for Spanish Colonial Revival or Tudor Revival houses.
 - c. Wood picket fences may be appropriate for Craftsman or Folk Victorian houses.
 - d. Utilitarian wire and wood or steel post fences were frequently used during the historic districts' period of significance and are an appropriate style for new front yard fencing.
 - e. Solid masonry walls in the front yard are generally not appropriate.
 - f. The use of a traditional color palette is encouraged.
 - g. Front yard fences are strongly encouraged to have an 18-24 inch planting strip between the sidewalk and the fence.
- 8. Rear yard opaque fencing for privacy may be appropriate, provided that the design and materials are compatible with the building and the neighborhood.



Compatible fence with landscape area next to sidewalk

- a. If a six foot rear or side yard fence is located next to the street, it is strongly encouraged to have a 24 inch planting strip between the sidewalk and the fence.
- 9. Vinyl, chain link, and plastic fences are prohibited.
- 10. Mature trees and hedges, including street trees, should be preserved or replaced with compatible plantings as necessary.
- 11. Drought tolerant alternatives to lawns may be appropriate if the alternatives are compatible with the character of historic front yards and parkways. Front yards are generally characterized by low-growing lawns with foundation plantings at the base of the buildings or cottage gardens with a variety of plantings. Low-water alternative plant species appropriate to the climate may be used, if they are compatible with the historic character of front yards and parkways. In areas visible from the street, yards and parkways that are primarily gravel, mulch or unplanted soil are generally not compatible.
- 12. Artificial turf is prohibited in parkways, front yards, and side yards visible from the street.



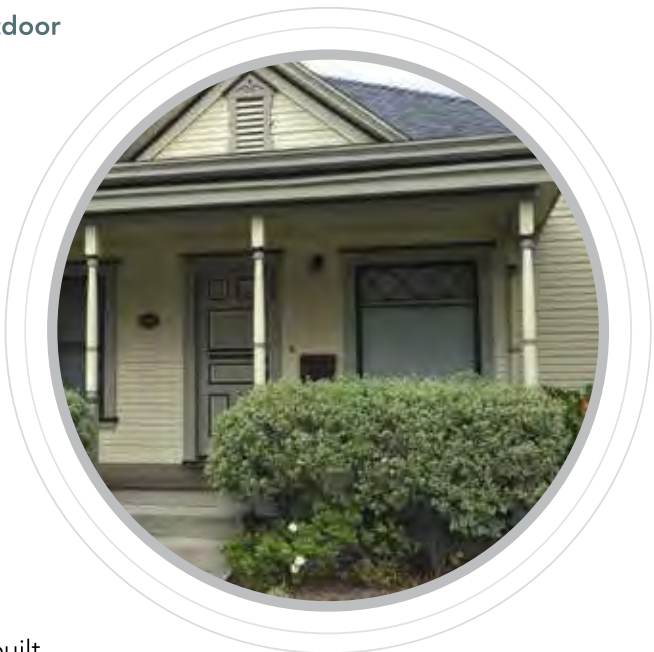
Compatible drought-tolerant landscape

Porches

In residential neighborhoods, porches function as an outdoor living space and a sheltered transition into the house.

The various components of porches, including steps, balustrades, columns, pilasters, doors, and cornices, and decorative embellishments, add to the character of historic neighborhoods and help to establish a sense of community. Porches are often a primary character-defining feature of a historic house.

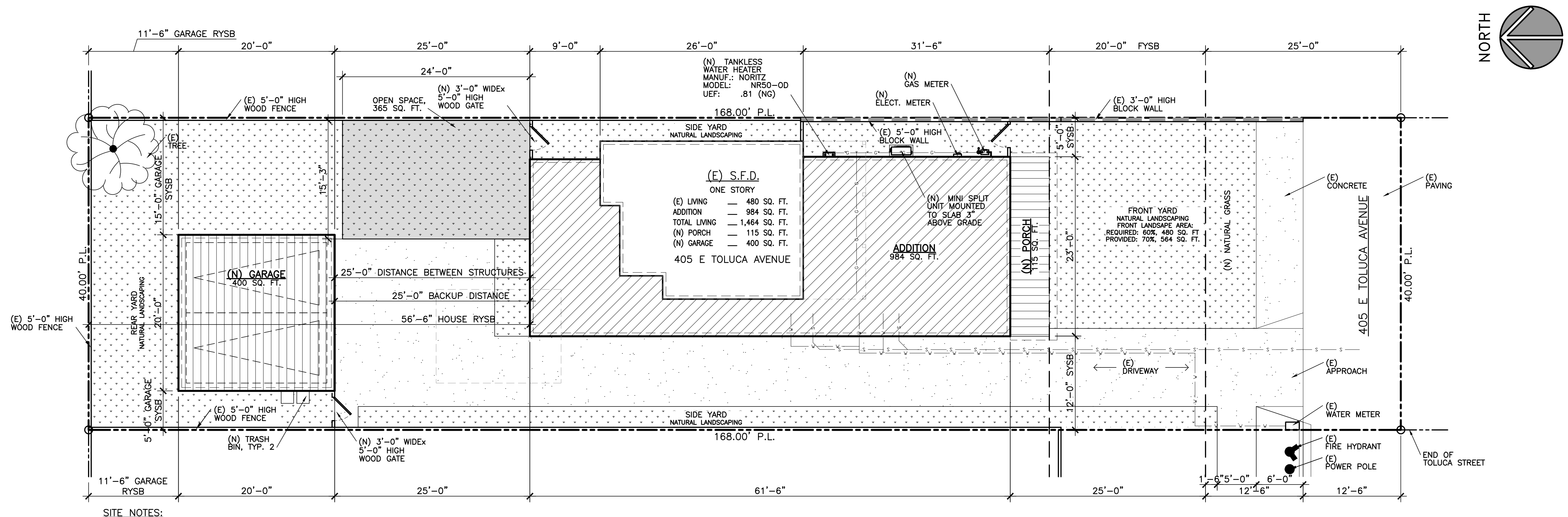
- 1. Historic porches shall be preserved.
 - a. Maintain the location, shape, details, posts, railings, balustrades, and decorative brackets of the historic porch.
 - b. Repair deteriorated decorative elements or replace missing elements to match the existing.
 - c. Alterations for accessibility should be designed and built to be minimally visible and to require minimal alterations to historic materials, while allowing equal access to the building.



Historic porch with turned wood columns



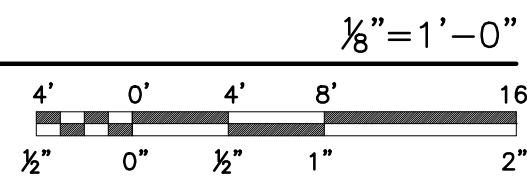
ATTACHMENT C: PLAN SET, NOVEMBER 18, 2025



SITE NOTES:

- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (R401.3); DRAINS OR SWALES SHALL BE CONSTRUCTED IF PHYSICAL BARRIERS PROHIBIT 6" OF FALL.
- ALL NEW CONCRETE PAVING TO BE NATURAL GREY CONCRETE, TEXTURED TO EXPOSE THE FINE AGGREGATES THROUGH AN ACID WASH OR LIGHT RETARDANT FINISH.
- PROVIDE AT FRONT YARD LOW-GROWING LAWNS WITH FOUNDATION PLANTINGS AT THE BASE OF THE BUILDINGS OR COTTAGE GARDENS WITH A VARIETY OF PLANTINGS.

NEW SITE PLAN



RESIDENTIAL PROJECT SUMMARY TABLES

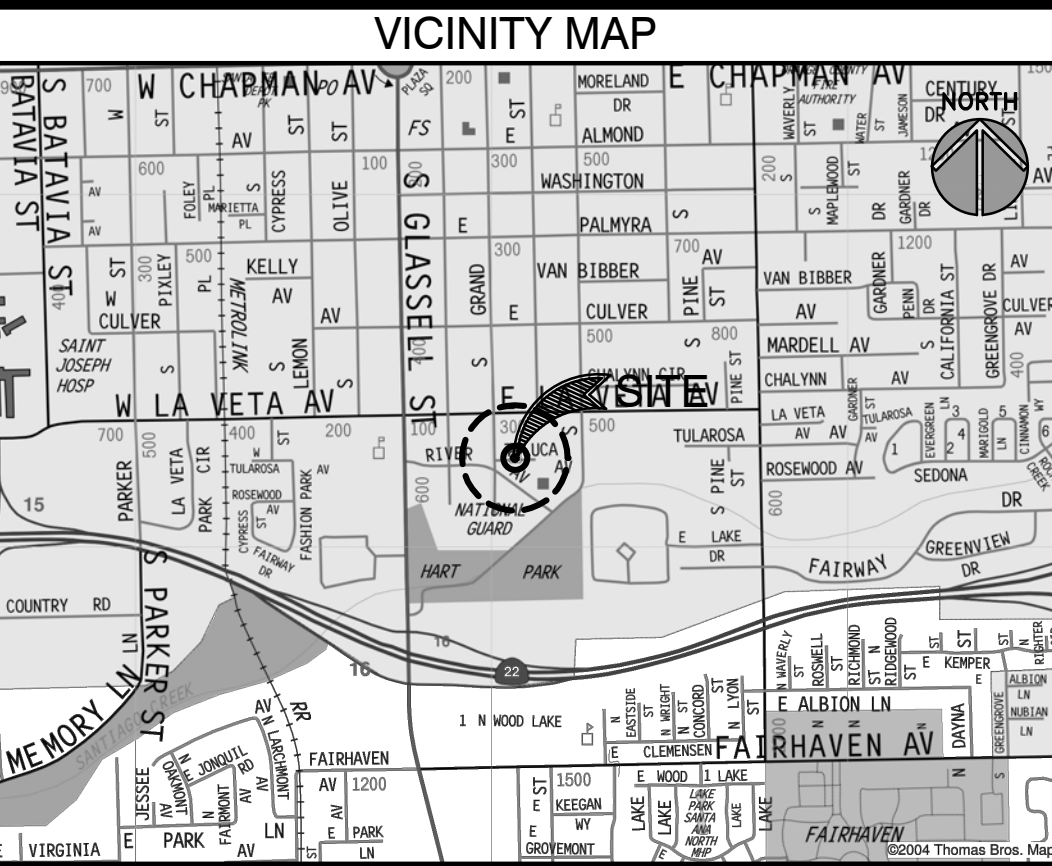
EXISTING USE	PROPOSED USE	ZONING DESIGNATION	GENERAL PLAN LAND USE DESIGNATION	OVERLAY DISTRICT
SFR / Garage	SFR / Garage	R-2	Low Medium Density Res.	None

DESCRIPTION	OMC SECTION	ZONING STANDARDS			
		REQUIRED	EXISTING	PROPOSED	CONFORMS (yes/no)
LOT AREA	17.14.070 & 17.14.080	6720	6720	6720	Yes
LOT WIDTH	17.14.070 & 17.14.080	60	40	40	No
LOT DEPTH	17.14.070 & 17.14.080		128	128	Yes
MAX. BUILDING HEIGHT (Note: use average finished grade as defined in the "Building Height" definition from OMC Section 17.04.021)	17.14.070 & 17.14.100 FOR R-3 & R-4	35	9.75	11.25	Yes
SETBACKS:	17.14.070 & 17.14.090				
Front Yard	17.14.070 & 17.14.090	20	20	20	Yes
Rear Yard	17.14.070 & 17.14.090	10	44.5	11.5	Yes
Side Yard	17.14.070 & 17.14.090	5	3	5	Yes
Side Yard	17.14.070 & 17.14.090	5	16.75	12	Yes
LOT COVERAGE	17.14.070				
FLOOR AREA RATIO (FAR) UTILIZING GROSS FLOOR AREA (INCLUDE ALL ACCESSORY STRUCTURES)	17.14.070	.70	.10	.28	Yes
Minimum Unit Size (R-3 & R-4 Zones)	17.14.130 & 17.14.140				
Required Open Space:	17.14.070 & 17.14.110				
Private	17.14.110				
Common	17.14.110				
LANDSCAPING: For landscaping standards refer to Page 26-28 of the City of Orange Landscape Standards and Specifications	16.50				
Front Yard	16.50 & 17.12.040(E)				
Rear Yard	16.50 & 17.12.040(E)				
Interior Side Yard	16.50 & 17.12.040(E)				
Street Side Yard (if applicable)	16.50 & 17.12.040(E)				

When adjacent to perpendicular parking (Multi-Family only)	16.50	5 feet			
Parking area screening from a public street with 5-gallon shrubs, 3 feet on center (Multi-Family only)	16.50				
Trash Enclosures require a 4-foot wide landscape planter on at least 2 sides (Multi-Family only)	16.50				
Trees required, "unless determined otherwise through site plan and design review" (Multi-Family only)	16.50				
Trees to be removed	16.50				
Existing trees to be preserved	16.50				
Trees to be added	16.50				
25 percent of required trees shall be 24-inch box and 75 percent shall be in 15 gallon containers (Multi-Family only)	16.50				
Shrubs shall be 5-gallon except for groundcover (Multi-Family only)	16.50				
Shrubs are encouraged at the foundation lines of all building elevations seen from the street in 4-foot minimum width planters. Shrubs shall be spaced at 3 feet on center (Multi-Family only)	16.50				
Street trees required as determined by the design review process. (Multi-Family only)	16.50				
Percent of Parking Area (Multi-Family only)	16.50				
IRRIGATED AREA TOTAL	16.50				
Irrigated area added	16.50				
Irrigated area removed	16.50				
FENCE HEIGHT	17.12.070				
Front Yard	17.12.070(B)				
Interior Side Yard(s)	17.12.070(B)				
Street Side Yard	17.12.070(B)				
Rear Yard	17.12.070(B)				
PARKING	17.14.200 & 17.34				
TRASH ENCLOSURE SIZE (Multi-Family only)	16.50				
LIGHTING	17.12.030				
Kelvins	17.12.030				
Fixture Type/Blinder	17.12.030				
Parking lot footcandles	15.52.080(J)				

SHEET INDEX

A-01	PROJECT DATA, RESIDENTIAL PROJECT SUMMARY TABLES & NEW SITE PLAN
A-02	EXISTING-DEMOLITION SITE PLAN
A-03	BLOCK FLOOR AREA RATIO PLAN, FAR ANALYSIS, PHOTO KEY & PHOTOS
A-04	EXISTING-DEMOLITION FLOOR PLAN, LEGEND-NOTES & SCHEDULES
A-05	NEW FLOOR PLAN, LEGEND-NOTES & SCHEDULES
A-06	EXISTING-DEMOLITION ROOF PLAN
A-07	NEW ROOF PLAN
A-08	EXTERIOR ELEVATIONS
A-09	COLORLED EXTERIOR ELEVATIONS
A-10	MATERIAL LIST
PG-01	PROPOSED NATURAL GAS ISOMETRIC & SUPPLY LINE SIZING CALCULATION
PS-01	PROPOSED SEWER LINE SIZING PLAN & CALCULATION
PW-01	PROPOSED WATER SUPPLY LINE SIZING PLAN AND CALCULATION
CS 000	COVER SHEET
L 100	PLANTING PLAN
L 101	DETAILS
L 200	HYDROZONE PLAN & SCHEMATIC IRRIGATION PLAN
L 201	IRRIGATION FORMS
L 202	DETAILS
L 203	DETAILS
L 300	ELEVATIONS
L 301	ELEVATIONS



SCOPE OF WORK

- ADDITION TO RESIDENCE, 984 SQ. FT. CONSISTING OF 3 BEDROOM, 2 BATH, LIVING, KITCHEN AND FAMILY.
- REMOVE EXISTING GARAGE, 192 SQ. FT., PROVIDE NEW 2 CAR GARAGE, 400 SQ. FT.
- REMOVE EXISTING PORCH, 162 SQ. FT., PROVIDE NEW PORCH, 115 SQ. FT.

PROJECT TEAM

OWNER: GARABET & SALBI BAGHDASARIAN
 CONTACT: GARABET BAGHDASARIAN
 2006 W LA PALMA AVENUE
 ANAHEIM, CA 92801
 TEL: (714) 933-0362
 EMAIL: rafbaghdasarian@gmail.com

DESIGNER: WESTCOAST DRAFTING
 CONTACT: FELIPE J. CONTRERAS
 4605 BUENA VISTA ROAD, SUITE 600-127
 BAKERSFIELD, CA 93311
 TEL: (562) 879-3756
 EMAIL: fcontreras@wcdrafting.com

GENERAL CONTRACTOR: TO BE SELECTED
STRUCTURAL ENGINEERING: TO BE SELECTED
TITLE 24: TO BE SELECTED

PROJECT DATA

BUILDING DATA	OCCUPANCY:
TYPE OF CONSTRUCTION: TYPE V - B	R-3, U
AREA CONSTRUCTION:	BUILDING HEIGHT:
ADDITION — 984 SQ. FT. (N) PORCH — 115 SQ. FT. (N) GARAGE — 400 SQ. FT.	11'-3" HOUSE 11'-3" GARAGE
AUTOMATIC FIRE SPRINKLER:	CODE APPLICATION:
NO	2022 CALIF. BUILDING CODE 2022 CALIF. MECHANICAL CODE 2022 CALIF. PLUMBING CODE 2022 CALIF. FIRE CODE 2022 CALIF. ELECTRIC CODE 2022 CALIF. GREEN BLDG. STDS. CODE 2022 CALIF. RESIDENTIAL CODE CALIF. ADMINISTRATIVE CODE CITY OF ORANGE MUNICIPAL CODE ALL CURRENT CAL-OSHA LAWS AND ALL APPLICABLE NATIONAL AND LOCAL CODES
ROOFING:	
COMPOSITION SHINGLES	

ZONING CODE DATA

ZONING:	BUILDING USE:
R-2-6	SINGLE FAMILY DWELLING GARAGE DETACHED
FLOOD ZONE:	BUILDING HEIGHT:
N.A.	PER CODE — 32'-0", TWO STORY PER PLAN — 11'-3" HOUSE, ONE STORY PER PLAN — 11'-3" GARAGE, ONE STORY
ADDRESS:	BUILDING AREAS:
405 E TOLUCA AVENUE ORANGE, CA 92866	(E) LIVING — 480 SQ. FT. ADDITION — 984 SQ. FT. TOTAL LIVING — 1,464 SQ. FT. (N) PORCH — 115 SQ. FT. (N) GARAGE — 400 SQ. FT.
LEGAL DESCRIPTION:	HISTORICAL DISTRICT:
LOT: 12 BLOCK: D,W TRACT: 175	YES
A.P.N.:	LOT SIZE AREA:
390-103-15	40.00x168.00' = 6,720.00 SQ. FT.
FRONT YARD:	FLOOR AREA RATIO:
PER CODE — 20'-0" PER PLAN — 20'-0"	PER CODE — .70, 4,704 SQ. FT. PER PLAN — .28, 1,864 SQ. FT.
SIDE YARD:	OPEN SPACE:
PER CODE — 5'-0" PER PLAN — 5'-0", 12'-0"	PER CODE — 350 SQ. FT./UNIT PER PLAN — 365 SQ. FT./UNIT
REAR YARD:	PARKING:
PER CODE — 10'-0" PER PLAN — 11'-6"	EXISTING — 1 PARKING SPACE PROPOSED — 2 PARKING SPACES
MAXIMUM LOT COVERAGE:	
PER CODE — N.A. PER PLAN — N.A.	

WESTCOAST DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL: (562) 438-4595
 www.wcdrafting.com

HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

DESIGNER OF RECORD

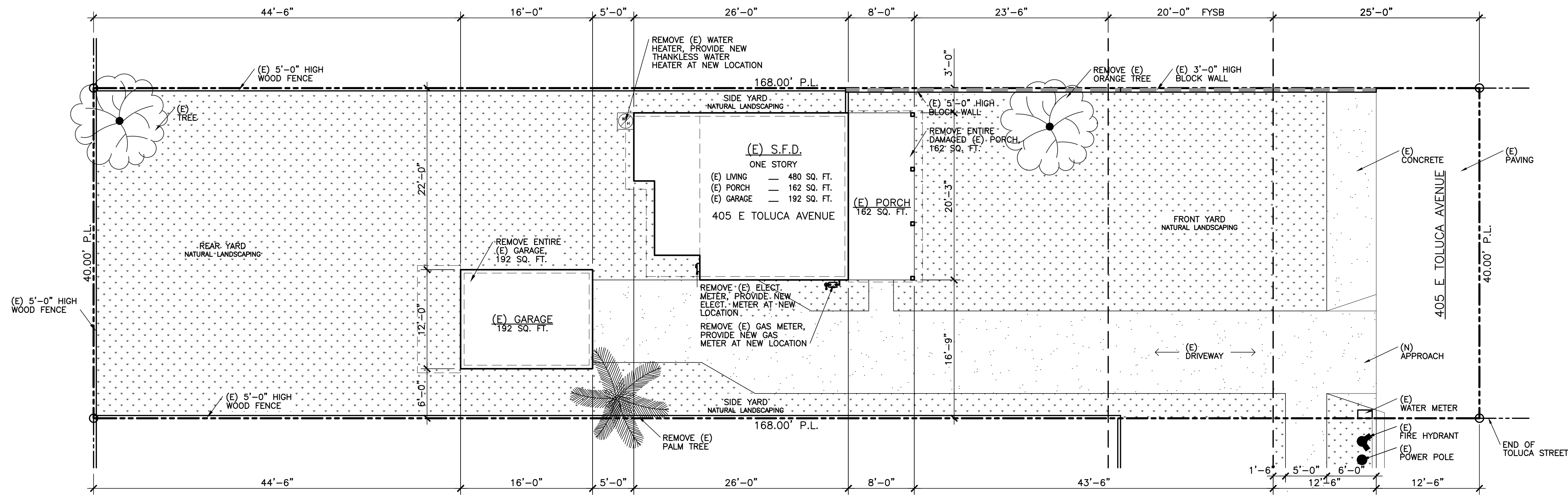
FELIPE CONTRERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings, and no part of these drawings may be changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without the prior written permission and consent of Westcoast Drafting. In the event of a copyright infringement lawsuit, the plaintiff shall be entitled to recover reasonable attorneys' fees and costs.

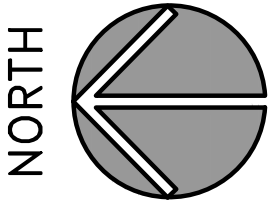
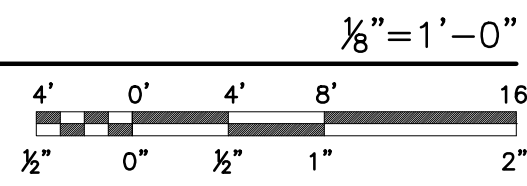
initials	
revision	
date	

job no. 3617
 date 11-18-25
 drawn F.J.C.

SHEET
A-01
 of 10



EXISTING-DEMOLITION SITE PLAN



WESTCOAST
DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL (562) 438-4595
 www.wcdrafting.com
 fcontreras@wcdrafting.com

HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

DESIGNER OF RECORD

FELIPE CONTRERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings, specifications, and any other documents, whether or not they are to be assigned to any third party, and no part of these drawings, specifications, or any other documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Westcoast Drafting. In the event of any dispute, the parties shall refer to the original drawings and specifications for the true and correct version of the drawings and specifications. No part of these drawings, specifications, or any other documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Westcoast Drafting.

title	
revision	
date	
job no.	3617
date	11-18-25
drawn	F.J.C.

job no. 3617
 date 11-18-25
 drawn F.J.C.

SHEET
A-02
 of 10



1 303 E RIVER AVE



2 310 E TOLUCA AVE



3 320 E TOLUCA AVE



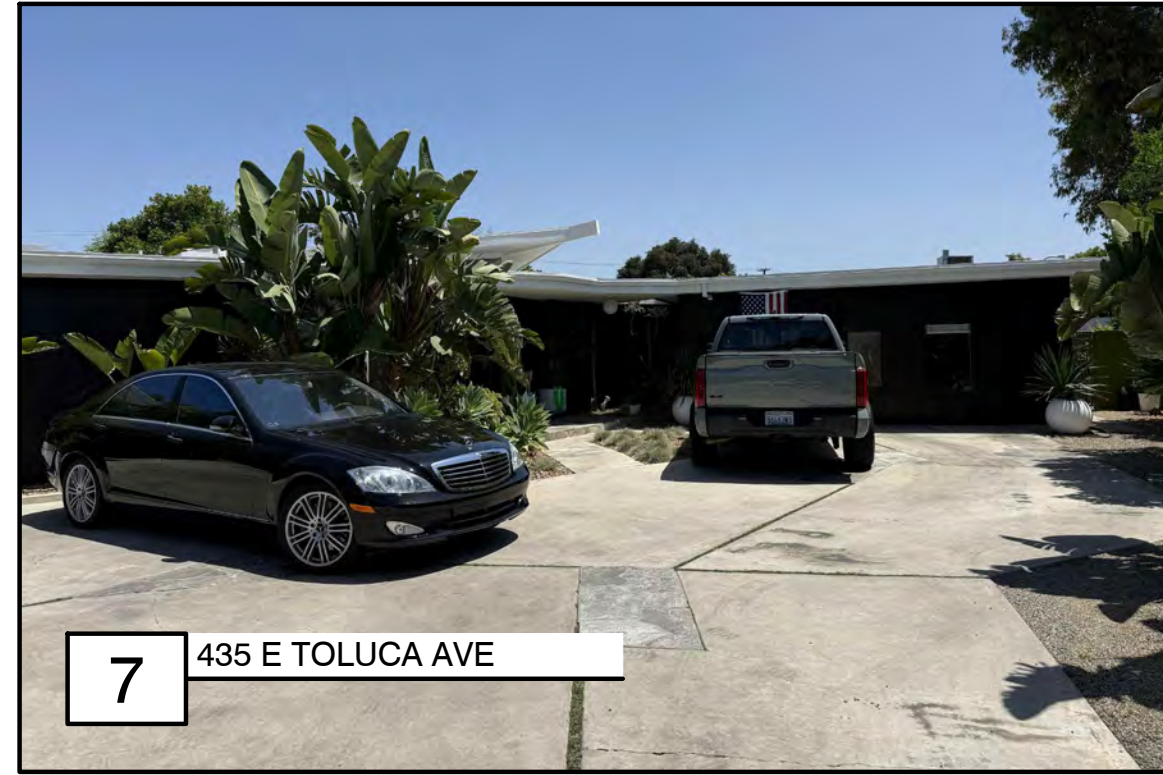
4 334 E TOLUCA AVE



5 336 E TOLUCA AVE



6 340 E TOLUCA AVE



7 435 E TOLUCA AVE



8 415 E TOLUCA AVE



9 405 E TOLUCA AVE



10 337 & 335 E TOLUCA AVE



11 325 E TOLUCA AVE



12 545 S GRAND AVE

EXISTING FAR ANALYSIS FOR E TOLUCA AVENUE

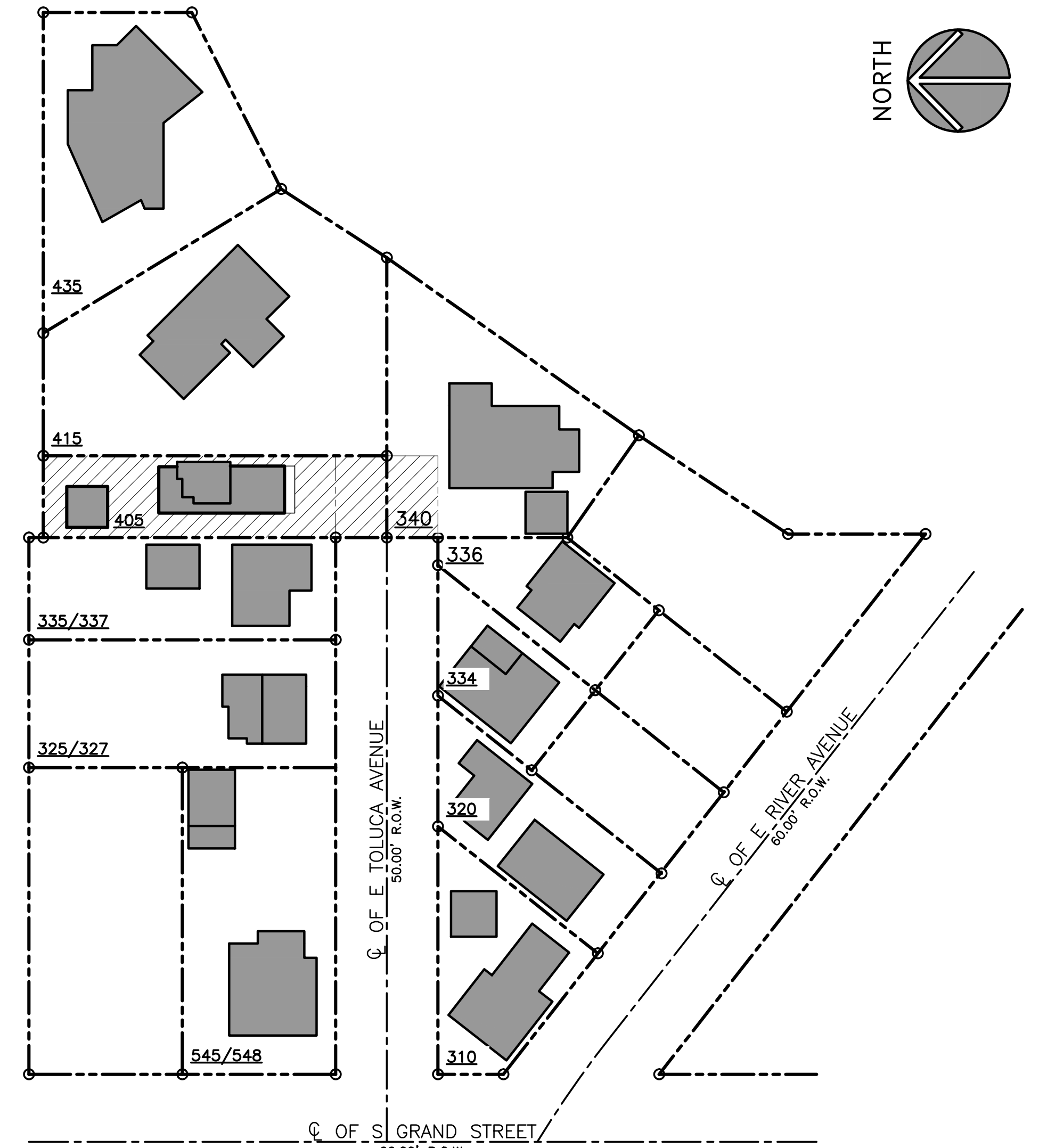
ADDRESS	AREA/LOT	FAR %
435 E TOLUCA AVENUE	2,438 SF/11,900 SF	= 0.21
415 E TOLUCA AVENUE	1,972 SF/16,117 SF	= 0.12
405 E TOLUCA AVENUE	672 SF/ 6,720 SF	= 0.10
335/337 E TOLUCA AVENUE	3,317 SF/ 7,400 SF	= 0.45
325/327 E TOLUCA AVENUE	3,120 SF/ 9,375 SF	= 0.33
545/548 S GRAND STREET	3,502 SF/11,250 SF	= 0.31
310 E TOLUCA AVENUE	1,910 SF/ 5,483 SF	= 0.34
320 E TOLUCA AVENUE	3,554 SF/ 5,988 SF	= 0.60
334 E TOLUCA AVENUE	1,446 SF/ 4,792 SF	= 0.30
336 E TOLUCA AVENUE	1,117 SF/ 3,900 SF	= 0.28
340 E TOLUCA AVENUE	2,331 SF/10,890 SF	= 0.21

TOTAL AVERAGE EXISTING FAR = 0.29

PROPOSED FAR ANALYSIS FOR E TOLUCA AVENUE

ADDRESS	AREA/LOT	FAR %
435 E TOLUCA AVENUE	2,438 SF/11,900 SF	= 0.21
415 E TOLUCA AVENUE	1,972 SF/16,117 SF	= 0.12
405 E TOLUCA AVENUE	1,864 SF/ 6,720 SF	= 0.28
335/337 E TOLUCA AVENUE	3,317 SF/ 7,400 SF	= 0.45
325/327 E TOLUCA AVENUE	3,120 SF/ 9,375 SF	= 0.33
545/548 S GRAND STREET	3,502 SF/11,250 SF	= 0.31
310 E TOLUCA AVENUE	1,910 SF/ 5,483 SF	= 0.34
320 E TOLUCA AVENUE	3,554 SF/ 5,988 SF	= 0.60
334 E TOLUCA AVENUE	1,446 SF/ 4,792 SF	= 0.30
336 E TOLUCA AVENUE	1,117 SF/ 3,900 SF	= 0.28
340 E TOLUCA AVENUE	2,331 SF/10,890 SF	= 0.21

TOTAL AVERAGE PROPOSED FAR = 0.31



BLOCK FLOOR AREA RATIO PLAN

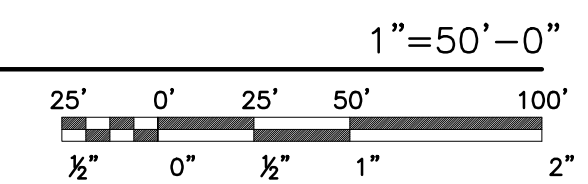


PHOTO KEY - NEIGHBORHOOD

N.T.S.

WEST COAST DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL (562) 438-4595 CELL (562) 879-3756
 www.wcdrafting.com fconteras@wcdrafting.com

HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

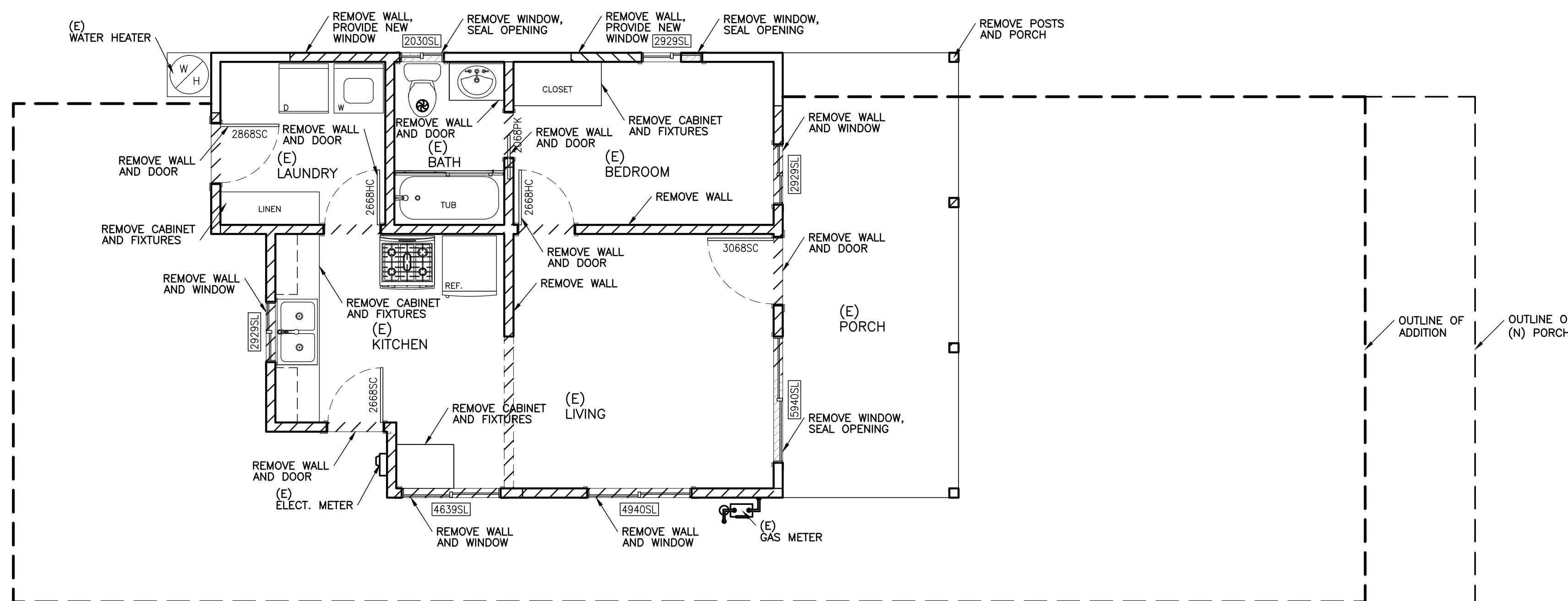
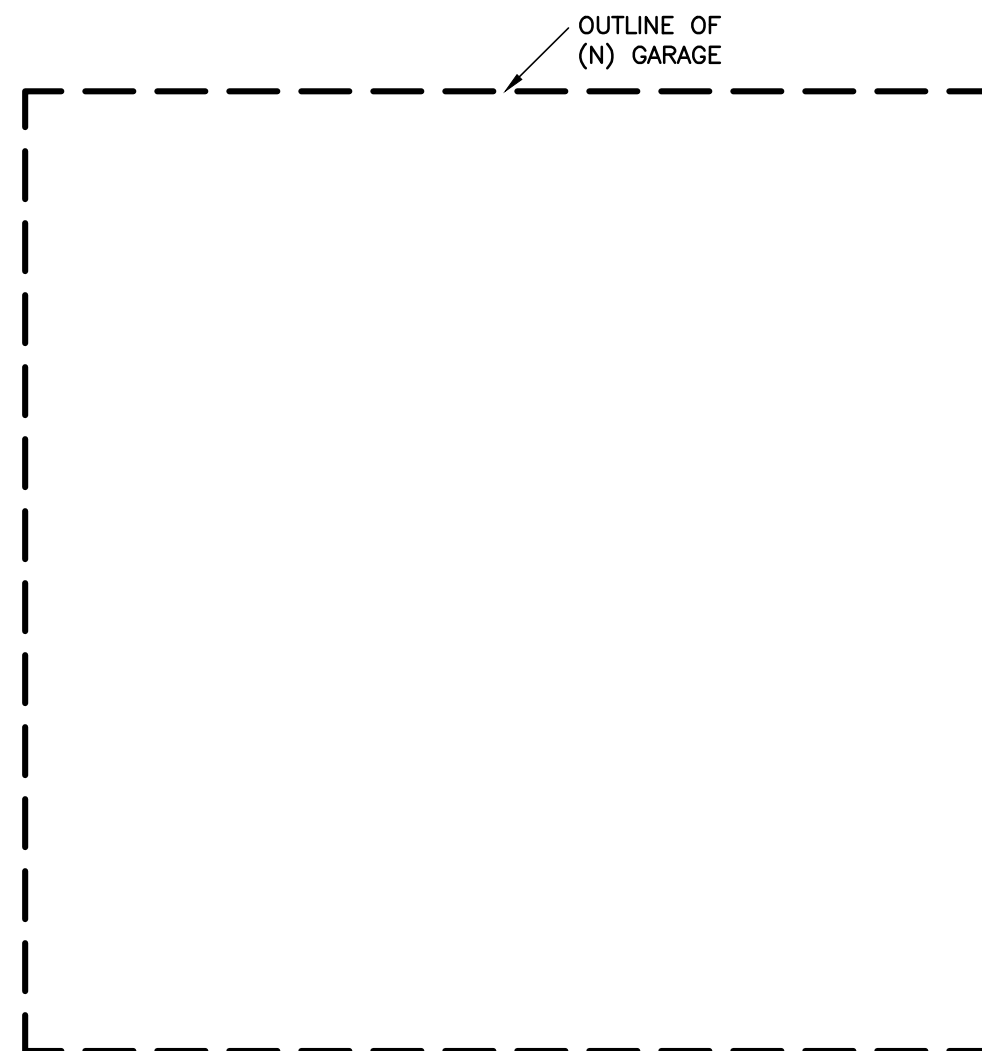
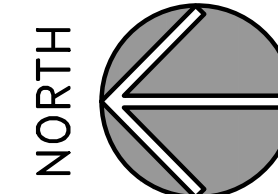
DESIGNER OF RECORD

FELIPE CONTRERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

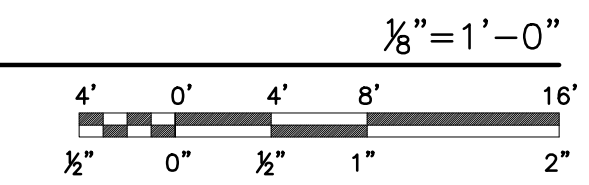
Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings. No part of these drawings may be reproduced, changed or copied in any form or manner, without the prior written permission and consent of Westcoast Drafting. In the event of a fire or other disaster which causes the loss of these drawings, the client shall be responsible for the cost of re-drafting these drawings.

initials	
revision	
date	
job no.	3617
date	11-18-25
drawn	F.J.C.

SHEET
A-03
 of 10



EXISTING - DEMOLITION FLOOR PLAN
HOUSE



WALL LEGEND	
EXISTING WALL	
EXISTING WINDOW, DOOR OR OPENING TO BE FRAMED-IN	
EXISTING TO BE REMOVED	

LEGEND & NOTES

- ⊕ BATHROOM EXHAUST FAN 50 CFM WITH HUMIDISTAT
 - ⊕ CARBON MONOXIDE (CO) ALARM
 - ⊙ S.D. SMOKE DETECTOR
1. SMOKE DETECTORS AND CARBON MONOXIDE (C.M.) ALARMS:
- A. UL 217 RATED SMOKE ALARMS:
- 1.1. IN ALTERATIONS, REPAIRS AND ADDITIONS SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL. SMOKE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. [CRC R314.3.1]
 - 1.2. SMOKE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL. [CRC R3 14.3]
 - 1.3. IN NEW BUILDINGS, SMOKE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED W/BATTERY BACK UP [CRC R3 14.4 & R314.5]
- B. UL 2034/2075 RATED CARBON MONOXIDE ALARMS:
- 1.1. IN ALTERATIONS, REPAIRS AND ADDITIONS OF EXISTING DWELLINGS EXCEEDING \$1000 CARBON MONOXIDE ALARMS ARE REQUIRED IN THE SPECIFIC PERMITTED DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES. THE CARBON MONOXIDE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. [CRC R314.3.1]
 - 1.2. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM CONTAINING A FUEL-BURNING APPLIANCE AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE.[CRC R315]
 - 1.3. IN NEW BUILDINGS, CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED W/BATTERY BACK UP [CRC R315.1.1 & R315.1.2]

(E) DOOR SCHEDULE			
SYM	SIZE	TYPE	QTY.
2068PK	2'-0" x 6'-8"	POCKET	1
2668HC	2'-6" x 6'-8"	HOLLOW CORE	2
2668SC	2'-6" x 6'-8"	SOLID CORE	1
2868SC	2'-8" x 6'-8"	SOLID CORE	1

(E) WINDOW SCHEDULE			
SYM	SIZE	TYPE	QTY.
2030SL	2'-0" x 3'-0"	SLIDER	1
2929SL	2'-9" x 2'-9"	SLIDER	3
4639SL	4'-6" x 4'-9"	SLIDER	1
4940SL	4'-9" x 4'-0"	SLIDER	1
5940SL	5'-9" x 4'-0"	SLIDER	1

WEST COAST DRAFTING
4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
TEL (562) 438-4595 CELL (562) 879-3756
www.wcdrafting.com fconteras@wcdrafting.com

HOUSE, JADU & GARAGE
OWNERS: GARABET & SALBI BAGHDASARIAN
405 E TOLUCA AVENUE
ORANGE, CA 92866

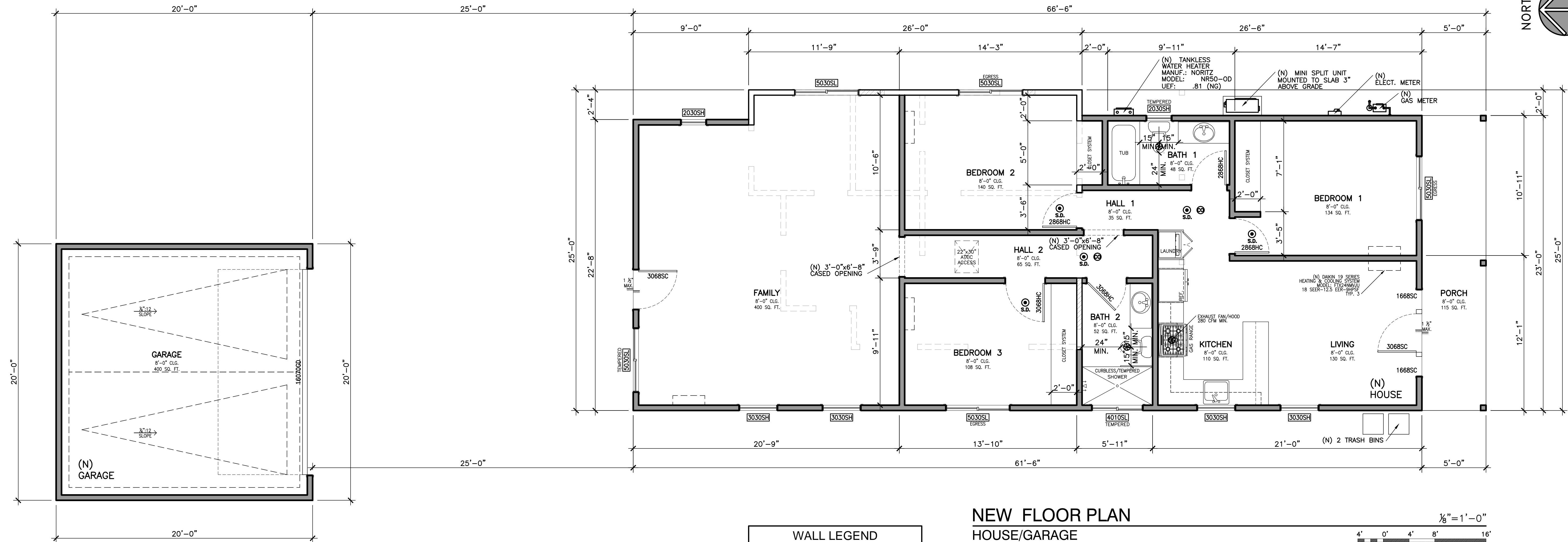
DESIGNER OF RECORD
FELIPE CONTRERAS
DATE: 11/18/25
STATE OF CALIFORNIA

Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings. No part of these drawings may be reproduced, changed or copied in any form or manner, without the prior written consent of Westcoast Drafting. In the event of a dispute, the arbitrator shall be Westcoast Drafting.

initials	
revision	
date	

job no. 3617
date 11-18-25
drawn F.J.C.

SHEET
A-04
of 10



**NEW FLOOR PLAN
HOUSE/GARAGE**

WALL LEGEND

NEW 2x4 STUD WALL	
EXISTING WALL	
EXISTING WINDOW, DOOR OR OPENING FRAMED-IN	
EXISTING WALL REMOVED	

LEGEND & NOTES

- ⊕ BATHROOM EXHAUST FAN 50 CFM WITH HUMIDISTAT
 - ⊕ CARBON MONOXIDE (CO) ALARM
 - ⊙ S.D. SMOKE DETECTOR
1. SMOKE DETECTORS AND CARBON MONOXIDE (C.M.) ALARMS:
- A. UL 217 RATED SMOKE ALARMS:
 - 1.1. IN ALTERATIONS, REPAIRS AND ADDITIONS SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL. SMOKE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. [CRC R314.3.1]
 - 1.2. SMOKE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL. [CRC R3 14.3]
 - 1.3. IN NEW BUILDINGS, SMOKE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED W/BATTERY BACK UP [CRC R3 14.4 & R314.5]
 - B. UL 2034/2075 RATED CARBON MONOXIDE ALARMS:
 - 1.1. IN ALTERATIONS, REPAIRS AND ADDITIONS OF EXISTING DWELLINGS EXCEEDING \$1000 CARBON MONOXIDE ALARMS ARE REQUIRED IN THE SPECIFIC PERMITTED DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES. THE CARBON MONOXIDE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. [CRC R314.3.1]
 - 1.2. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM CONTAINING A FUEL-BURNING APPLIANCE AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE.[CRC R315]
 - 1.3. IN NEW BUILDINGS, CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED W/BATTERY BACK UP [CRC R315.1.1 & R315.1.2]

(N) DOOR SCHEDULE

SYM	SIZE	TYPE	QTY.
HOUSE			
2868HC	2'-8" x 6'-8"	SOLID WOOD	3
3068HC	3'-0" x 6'-8"	SOLID WOOD	2
3068SC	3'-0" x 6'-8"	SOLID WOOD	2
GARAGE			
16070GD	16'-0" x 7'-0"	STEEL	1

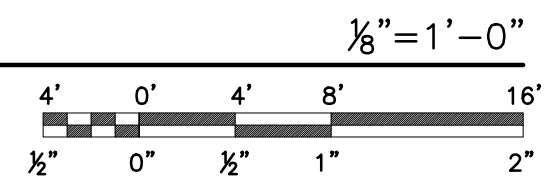
NOTES:

(N) WINDOW SCHEDULE

SYM	SIZE	TYPE	QTY.
HOUSE			
2030SH	2'-0" x 3'-0"	SINGLE HUNG SOLID WOOD	2
3030SH	3'-0" x 3'-0"	SINGLE HUNG SOLID WOOD	4
4010SL	4'-0" x 1'-0"	SLIDER SOLID WOOD	1
5030SL	5'-0" x 3'-0"	SLIDER SOLID WOOD	5
GARAGE			

NOTES:

- WINDOWS TO BE DOUBLE GLASS. U-VALUE=0.28 (NFR), SHGC-VALUE=0.21 (NFR)
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED, ETC) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES. MULTI-PANE ASSEMBLIES SHALL BE IDENTIFIED PER CRC R308.1. [CRC R308.1]



WEST COAST DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL (562) 438-4595
 www.wcdrafting.com

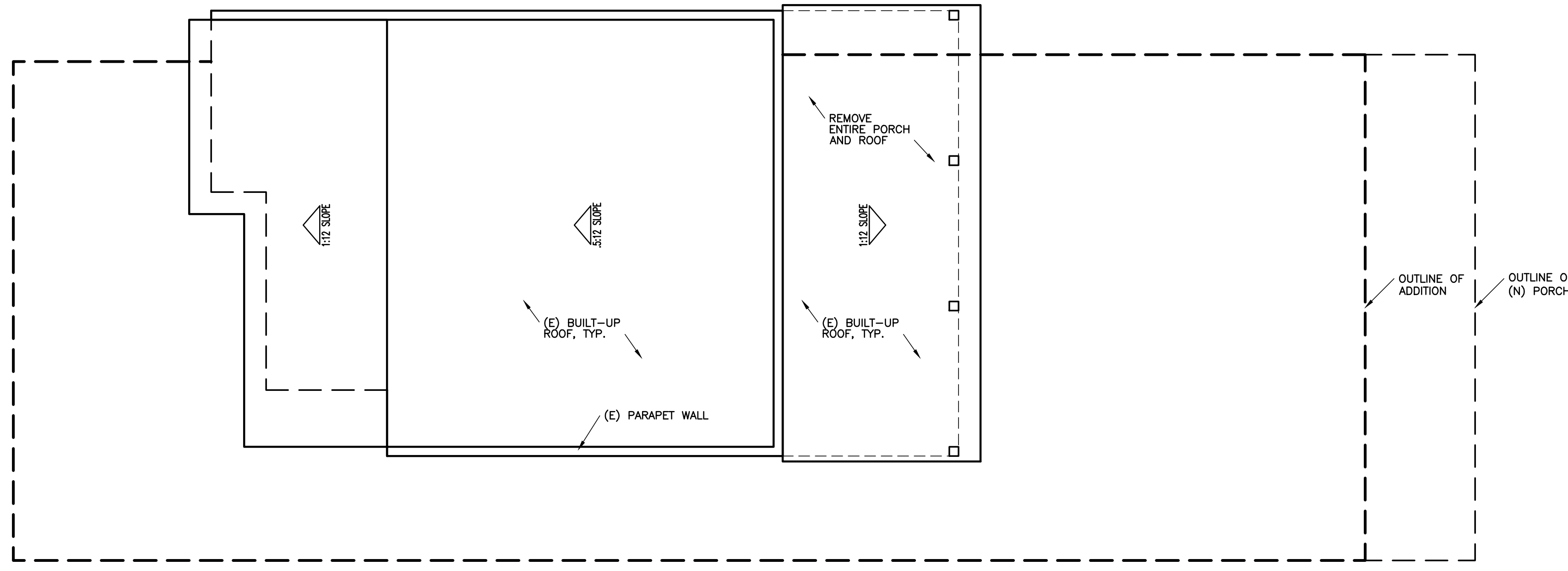
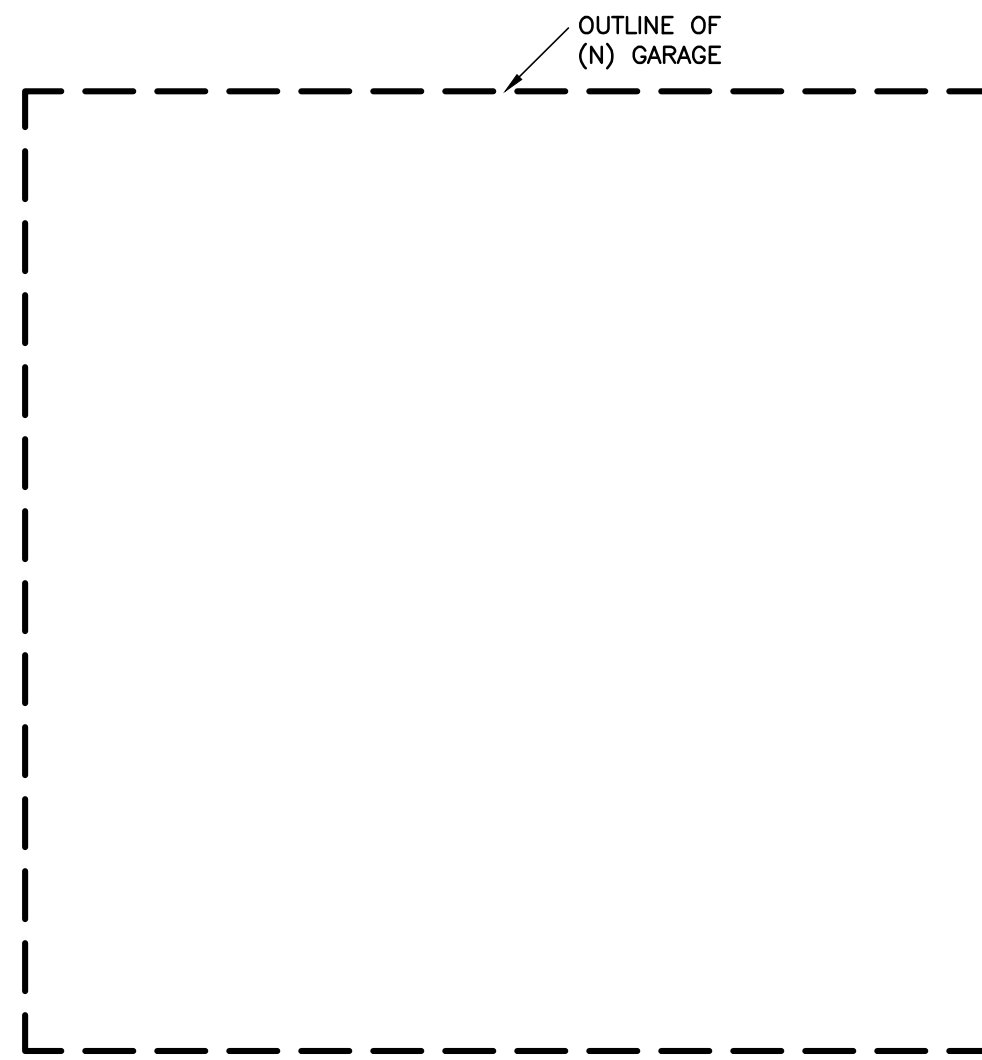
HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

DESIGNER OF RECORD
 FELIPE CONTRERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

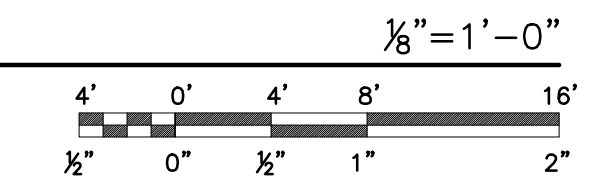
Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings. No part of these drawings may be reproduced, changed or copied in any form or manner, without the prior written consent of Westcoast Drafting. In the event of any error or omission in these drawings, the contractor shall be responsible for the same and shall not be held liable for any damages or losses resulting therefrom.

initials	
revision	
date	
job no. 3617	
date 11-18-25	
drawn F.J.C.	

SHEET
A-05
 of 10



EXISTING - DEMOLITION ROOF PLAN



WEST COAST
DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL (562) 438-4595 CELL (562) 879-3756
 www.wcdrafting.com fcontreras@wcdrafting.com

HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

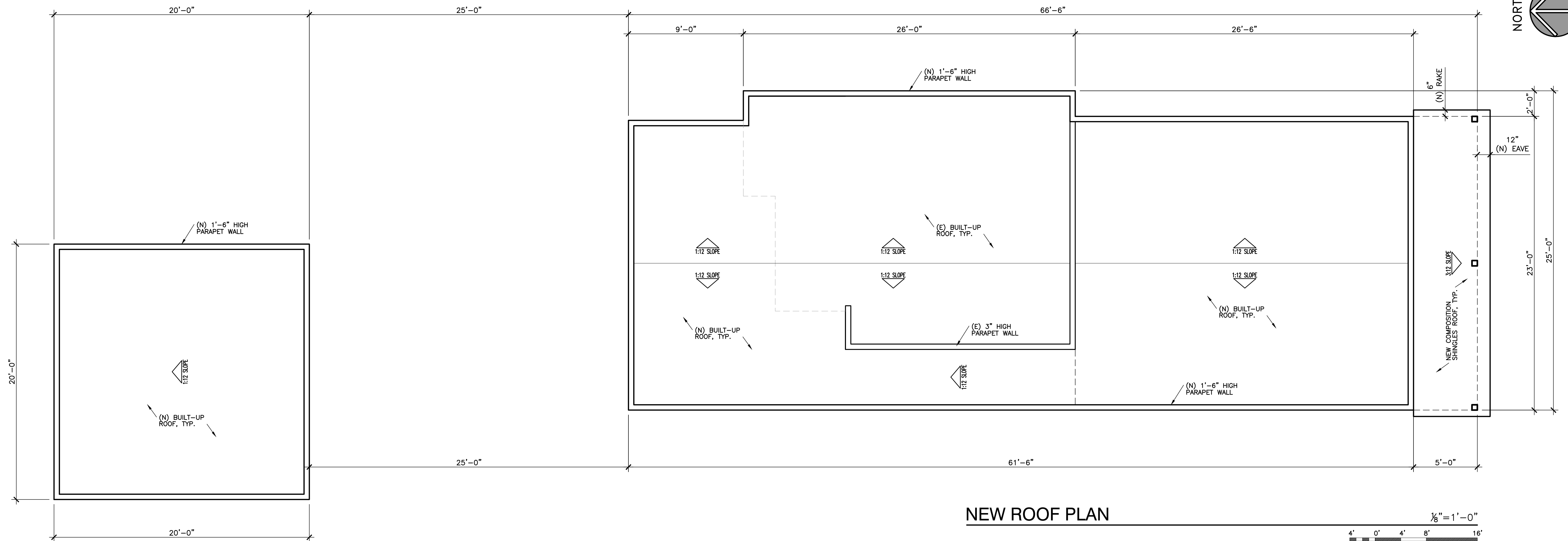
DESIGNER OF RECORD
 FELIPE CONTRERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings, specifications, and any other documents, whether they be printed, electronic, or otherwise, and any reproduction, distribution, or use of these drawings, specifications, or other documents without the prior written permission and consent of Westcoast Drafting. In the event of any dispute, the parties shall hold Westcoast Drafting harmless.

date	revision	initials

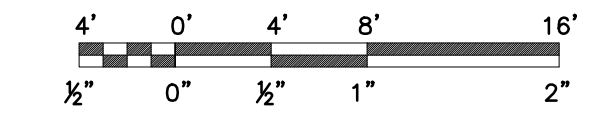
job no. 3617
 date 11-18-25
 drawn F.J.C.

SHEET
A-06
 of 10



NEW ROOF PLAN

1/8" = 1'-0"



GARAGE & ADDITION ROOFING MATERIAL:

MANUFACTURER: GAF MATERIAL CORPORATION
 TYPE: GAFGLAS #75 BASE SHEET
 APPROVAL: ICC-ES ESR 1274
 ROLL WEIGHT: 68 LBS/SQ.
 CLASS: A
 INSTALL BUILT-UP OVER 1-#30 LB FELT.
 ALTERNATE: GAF LEATH BACK
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.

PORCH ROOFING MATERIAL:

MANUFACTURER: GAF MATERIALS CORP.
 TYPE: TIMBERLINE 40 ULTRA SHINGLES
 COLOR: TO BE SELECTED
 APPROVAL: ICC ESR NUMBER: 1475
 INSTALL SHINGLES OVER 1-#30 LB FELT
 ALTERNATE: GAF LEATH BACK

CLASS "A" COMPOSITION SHINGLES OVER
 1 LAYER 30lb FELT TYP. U.L. CLASS 'A'
 FIRE RESISTANCE U.L. 790, WIND RESISTANCE
 ASTM D 3462, ASTM D3018 TYPE 1.
 INSTALLED PER MANUF. SPECS.

WEST COAST DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL (562) 438-4595 CELL (562) 879-3756
 www.wcdrafting.com fconteras@wcdrafting.com

HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

DESIGNER OF RECORD
 FELIPE CONTERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

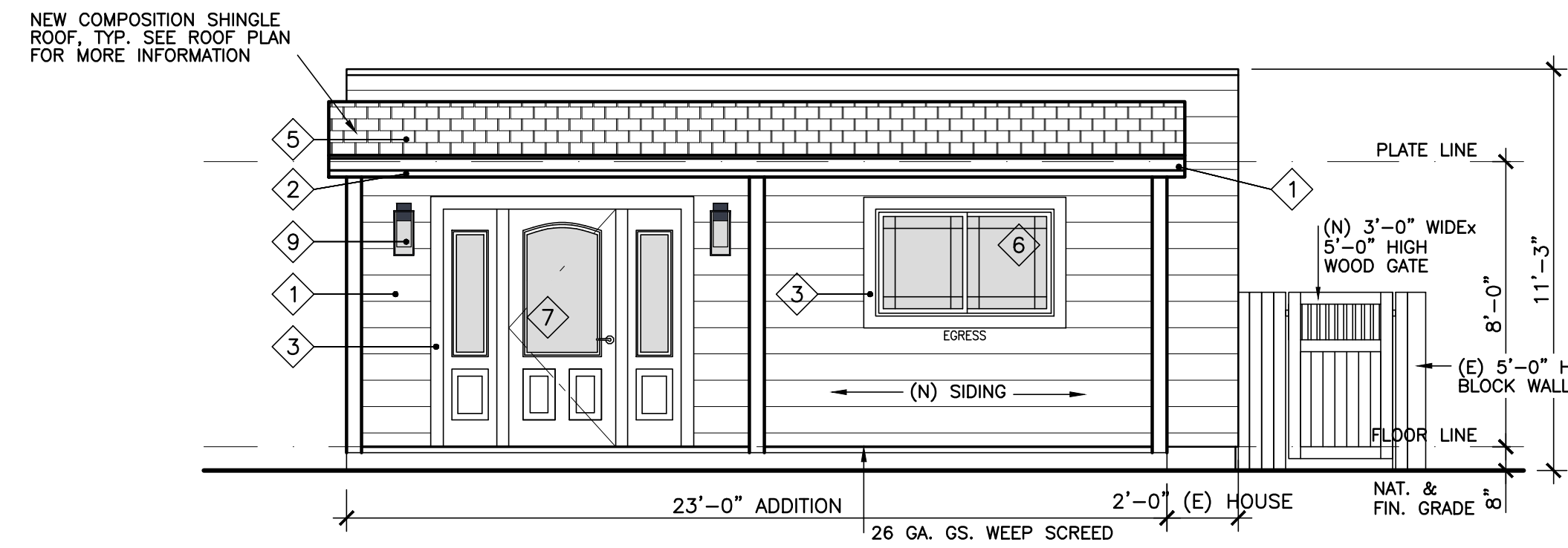
Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings. No part of these drawings may be reproduced, changed or copied in any form or manner, without the prior written permission of Westcoast Drafting. In the event of any dispute, the parties shall refer to the original drawings and specifications for the project. No part of these drawings shall be used for any other project without the prior written permission of Westcoast Drafting.

title	
revision	
date	

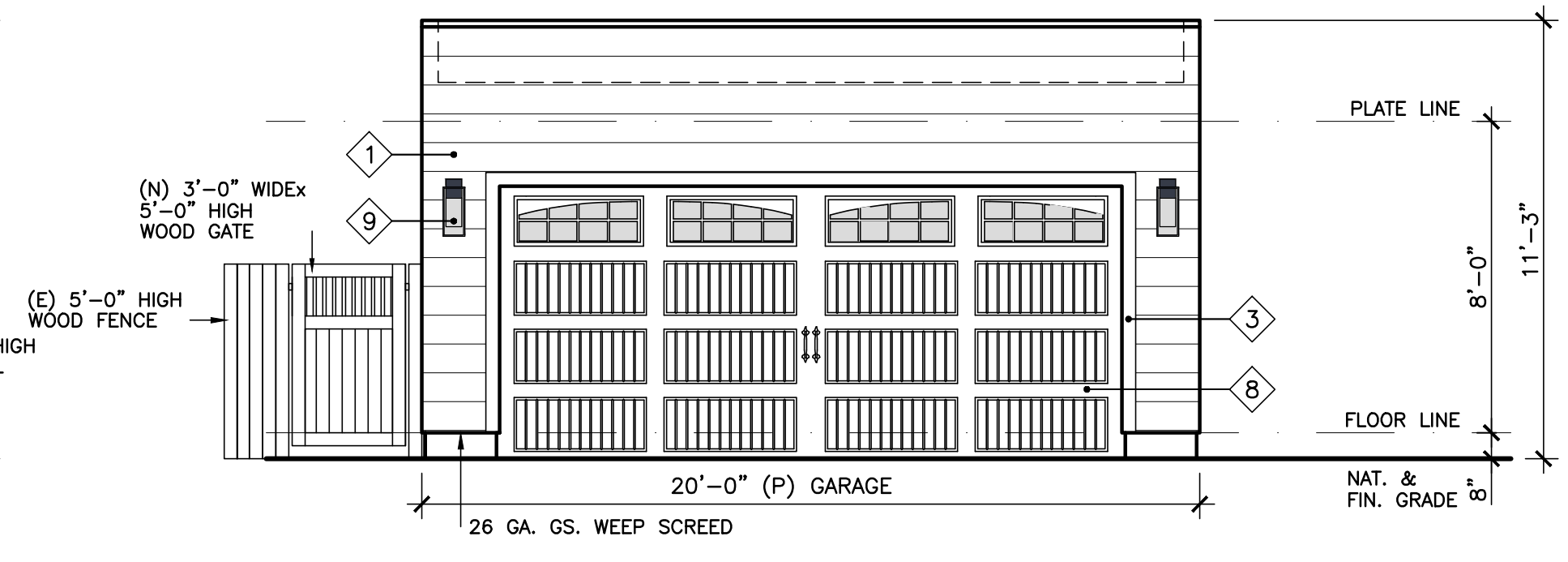
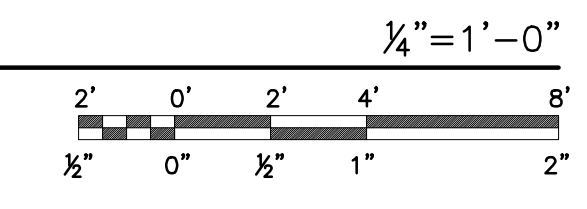
job no. 3617
 date 11-18-25
 drawn F.J.C.

COLOR AND MATERIAL SCHEDULE

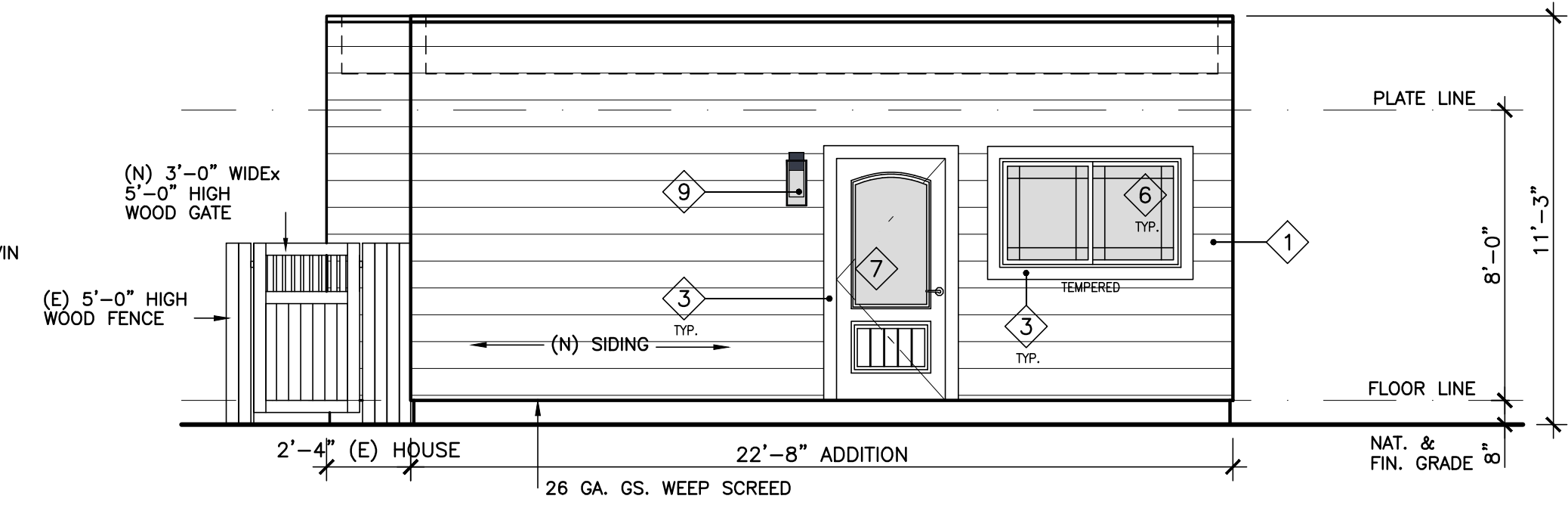
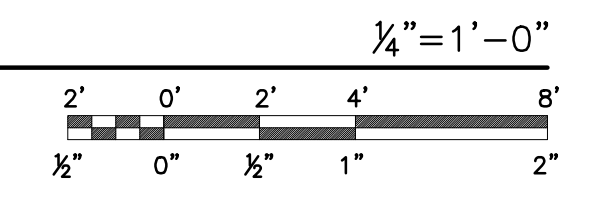
- 1 NEW SIDING:**
 MANUFACTURER: JAMES HARDIE
 TYPE: HARDIE PLANK, SMOOTH
 COLOR: BENJAMIN MOORE CSP-725
- 2 NEW FASCIA BOARD:**
 MANUFACTURER: JAMES HARDIE
 TYPE: HARDIE TRIM BOARD
 COLOR: BENJAMIN MOORE CSP-725
- 3 NEW WINDOW & DOOR TRIM:**
 MANUFACTURER: JAMES HARDIE
 TYPE: HARDIE TRIM BOARD
 COLOR: BENJAMIN MOORE BLACK HC-190
- 4 NEW GUTTER:**
 MANUFACTURER: SPECTRA METALS
 TYPE: 5" GUTTER
 COLOR: IRON GRAY
- 5 NEW PORCH SHINGLE ROOF:**
 MANUFACTURER: GAF MATERIALS CORP.
 TYPE: TIMBERLINE 40 ULTRA SHINGLES
 COLOR: CHARCOAL
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 6 NEW WINDOWS:**
 MANUFACTURER: JELD WEN
 TYPE: REFER TO WINDOW SCHEDULE, DUAL PANE
 MATERIAL: SOLID WOOD
 COLOR: WHITE
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7 NEW ENTRY DOOR:**
 MANUFACTURER: JELD WEN
 MODEL: ARCHITECTURAL COLLECTION
 MATERIAL: SOLID WOOD
 COLOR: BENJAMIN MOORE BURNT EMBER CSP-120
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 8 NEW GARAGE DOOR:**
 MANUFACTURER: WAYNE-DALTON
 STYLE: SONOMA RANCH ARCH STOCKTON IV
 MATERIAL: STEEL
 COLOR: BENJAMIN MOORE BURNT EMBER CSP-120
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 9 NEW EXTERIOR LIGHTING:**
 MANUFACTURER: VISUAL COMFORT & CO.
 STYLE: 8721101-12: LARGE ONE LIGHT OUTDOOR WALL LANTERN
 COLOR: BLACK
 ALL LED LIGHTS NOT TO HAVE COLOR TEMPERATURE OF MORE THAN 2,700 KELVIN
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.



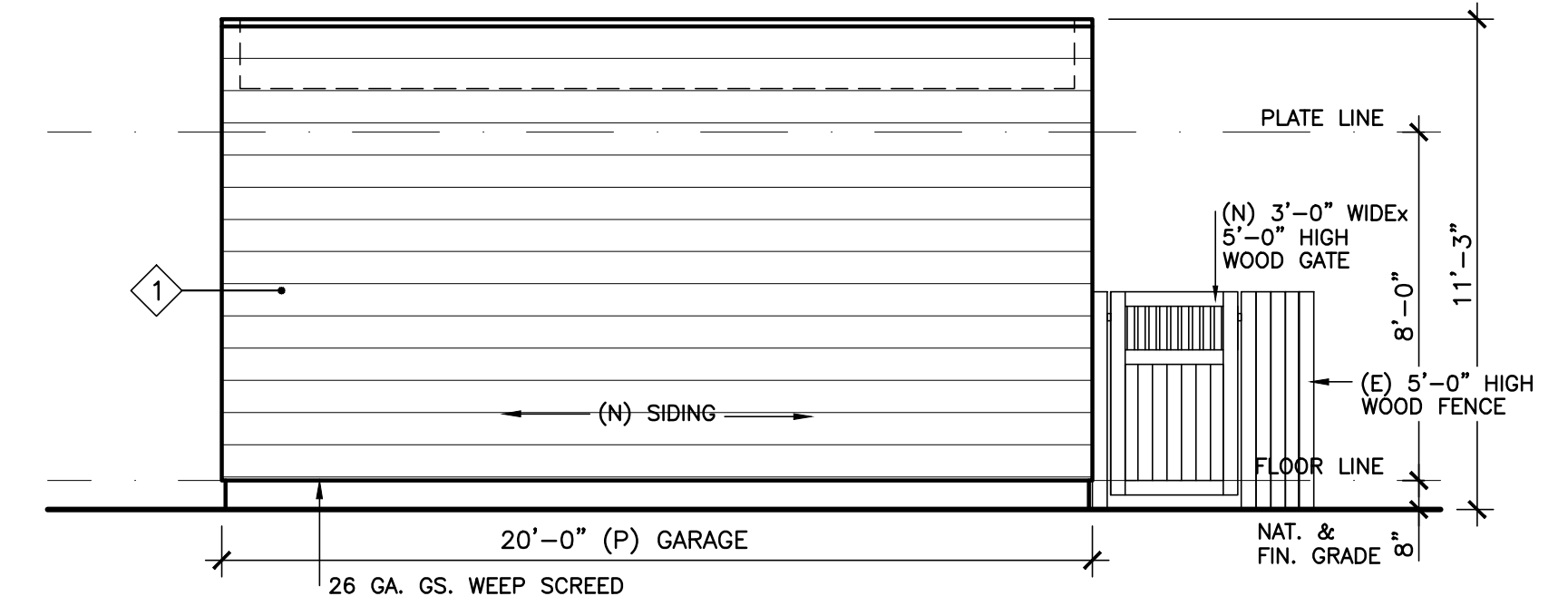
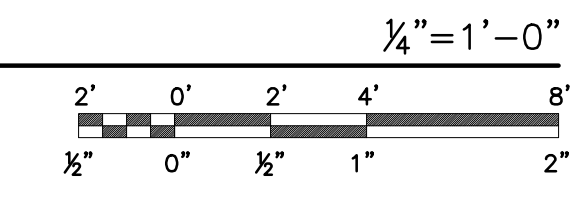
SOUTH ELEVATION HOUSE



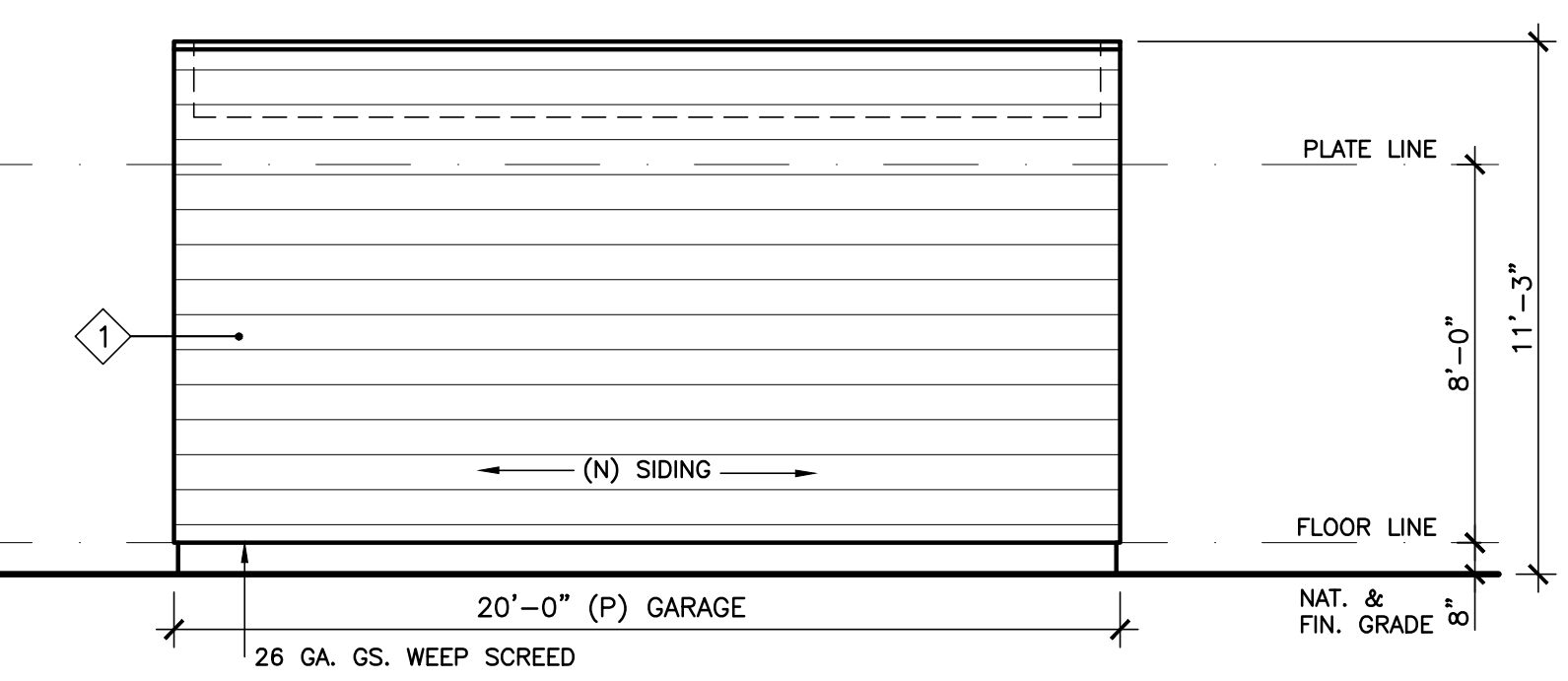
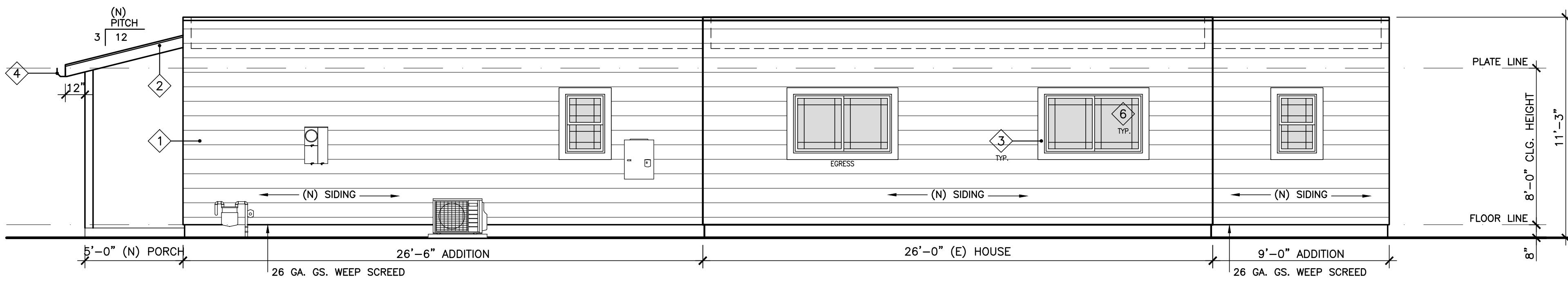
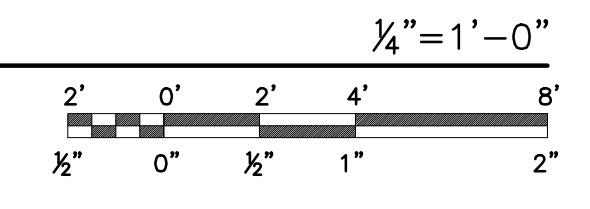
SOUTH ELEVATION GARAGE



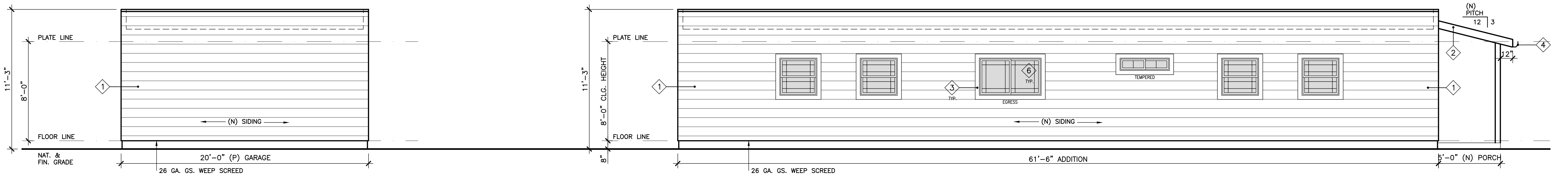
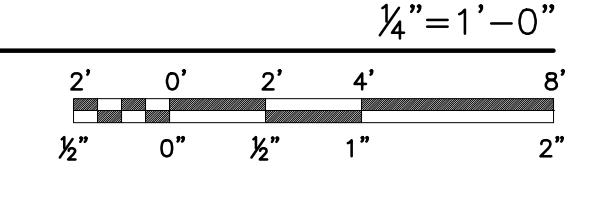
NORTH ELEVATION HOUSE



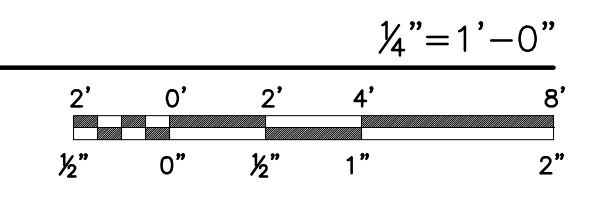
NORTH ELEVATION GARAGE



EAST ELEVATION HOUSE/GARAGE



EAST ELEVATION HOUSE/GARAGE



WEST COAST DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL (562) 438-4595
 www.wcdrafting.com
 fconteras@wcdrafting.com

HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

DESIGNER OF RECORD
 FELIPE CONTRERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

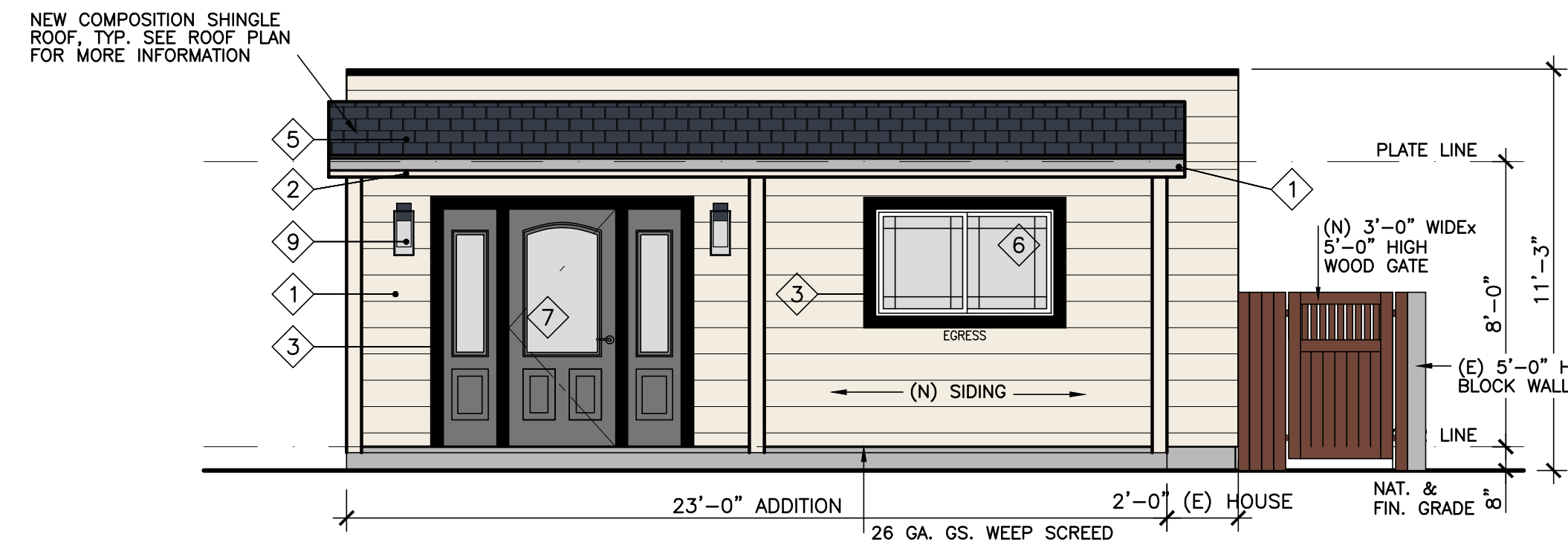
Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings. No part of these drawings may be reproduced, changed or copied in any form or manner, without the prior written permission of Westcoast Drafting. In the event of any dispute, the parties shall refer to the original drawings and the terms of the contract for the drawings shall prevail.

initials	
date	
job no.	3617
date	11-18-25
drawn	F.J.C.

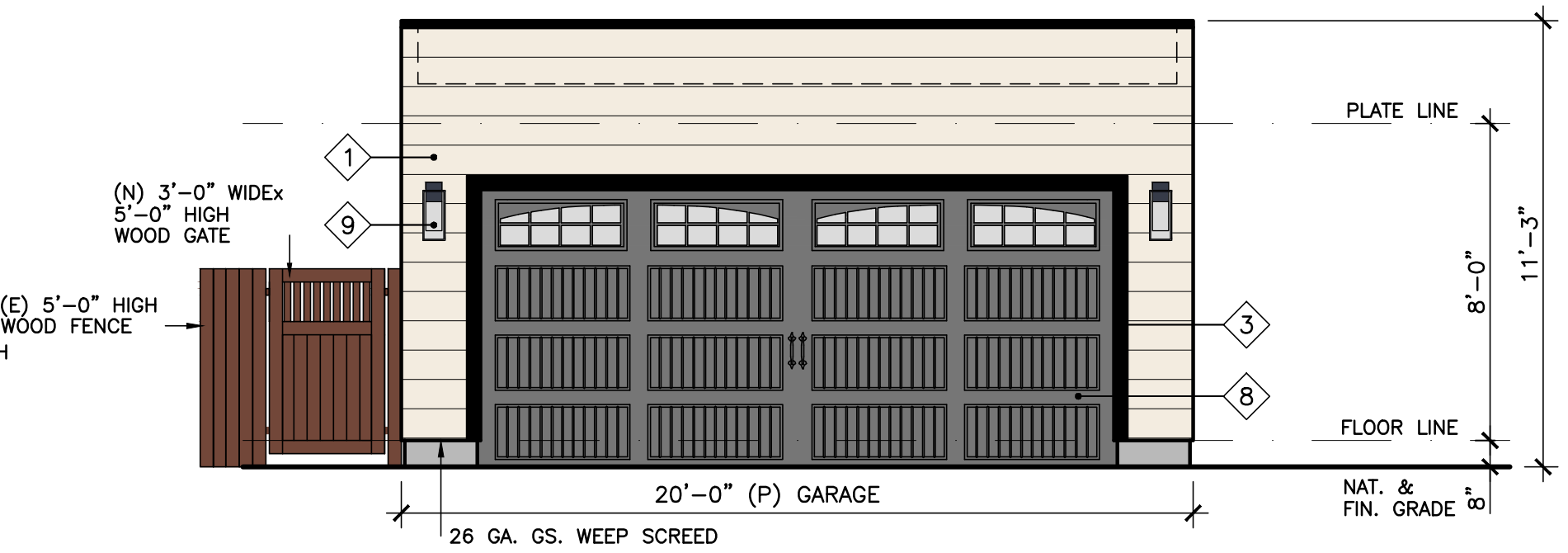
SHEET
A-08
 of 10

COLOR AND MATERIAL SCHEDULE

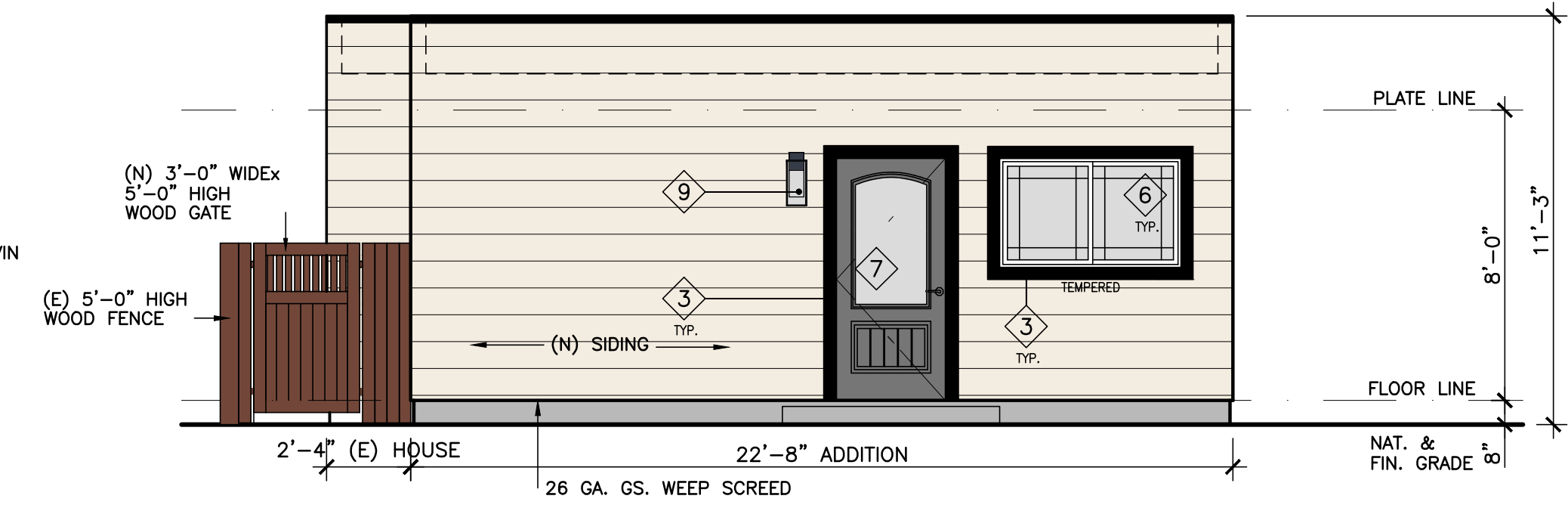
- 1 NEW SIDING:**
 MANUFACTURER: JAMES HARDIE
 TYPE: HARDIE PLANK, SMOOTH
 COLOR: BENJAMIN MOORE CSP-725
- 2 NEW FASCIA BOARD:**
 MANUFACTURER: JAMES HARDIE
 TYPE: HARDIE TRIM BOARD
 COLOR: BENJAMIN MOORE CSP-725
- 3 NEW WINDOW & DOOR TRIM:**
 MANUFACTURER: JAMES HARDIE
 TYPE: HARDIE TRIM BOARD
 COLOR: BENJAMIN MOORE BLACK HC-190
- 4 NEW GUTTER:**
 MANUFACTURER: SPECTRA METALS
 TYPE: 5" GUTTER
 COLOR: IRON GRAY
- 5 NEW PORCH SHINGLE ROOF:**
 MANUFACTURER: GAF MATERIALS CORP.
 TYPE: TIMBERLINE 40 ULTRA SHINGLES
 COLOR: CHARCOAL
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 6 NEW WINDOWS:**
 MANUFACTURER: JELD WEN
 TYPE: REFER TO WINDOW SCHEDULE, DUAL PANE
 MATERIAL: SOLID WOOD
 COLOR: WHITE
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7 NEW ENTRY DOOR:**
 MANUFACTURER: JELD WEN
 MODEL: ARCHITECTURAL COLLECTION
 MATERIAL: SOLID WOOD
 COLOR: BENJAMIN MOORE BURNT EMBER CSP-120
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 8 NEW GARAGE DOOR:**
 MANUFACTURER: WAYNE-DALTON
 STYLE: SONOMA RANCH ARCH STOCKTON IV
 MATERIAL: STEEL
 COLOR: BENJAMIN MOORE BURNT EMBER CSP-120
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 9 NEW EXTERIOR LIGHTING:**
 MANUFACTURER: VISUAL COMFORT & CO.
 STYLE: 8721101-12: LARGE ONE LIGHT OUTDOOR WALL LANTERN
 COLOR: BLACK
 ALL LED LIGHTS NOT TO HAVE COLOR TEMPERATURE OF MORE THAN 2,700 KELVIN
 INSTALL PER MANUFACTURER'S SPECIFICATIONS.



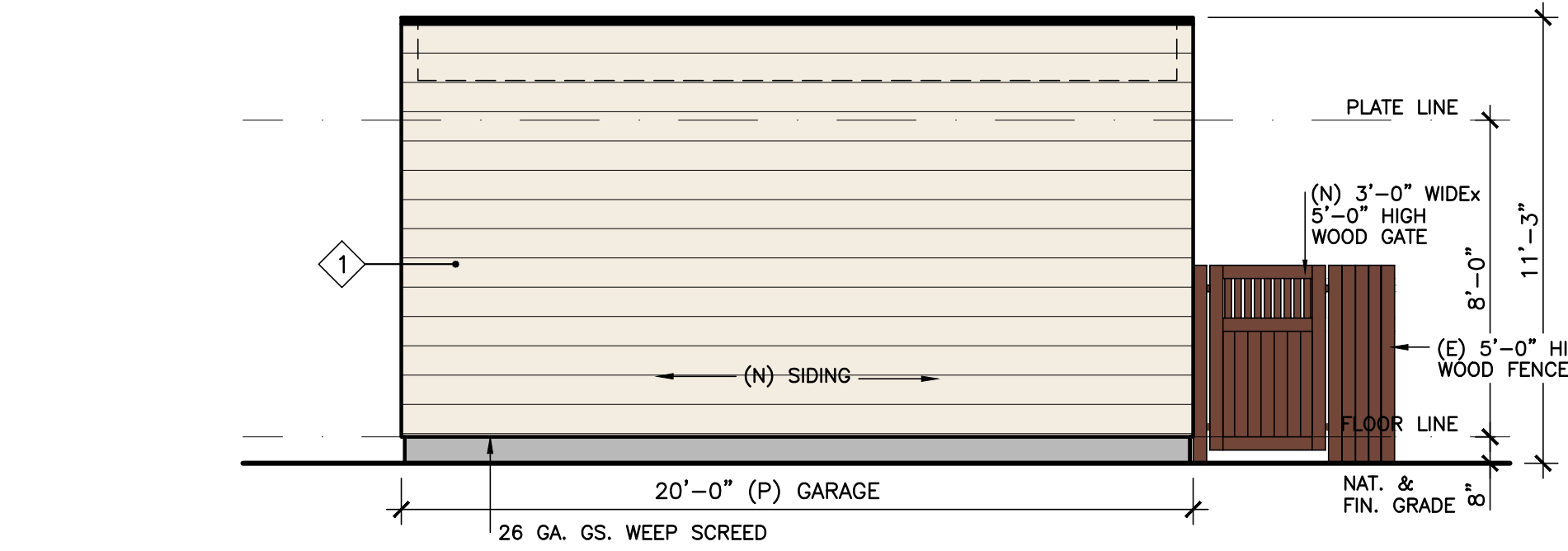
SOUTH ELEVATION HOUSE



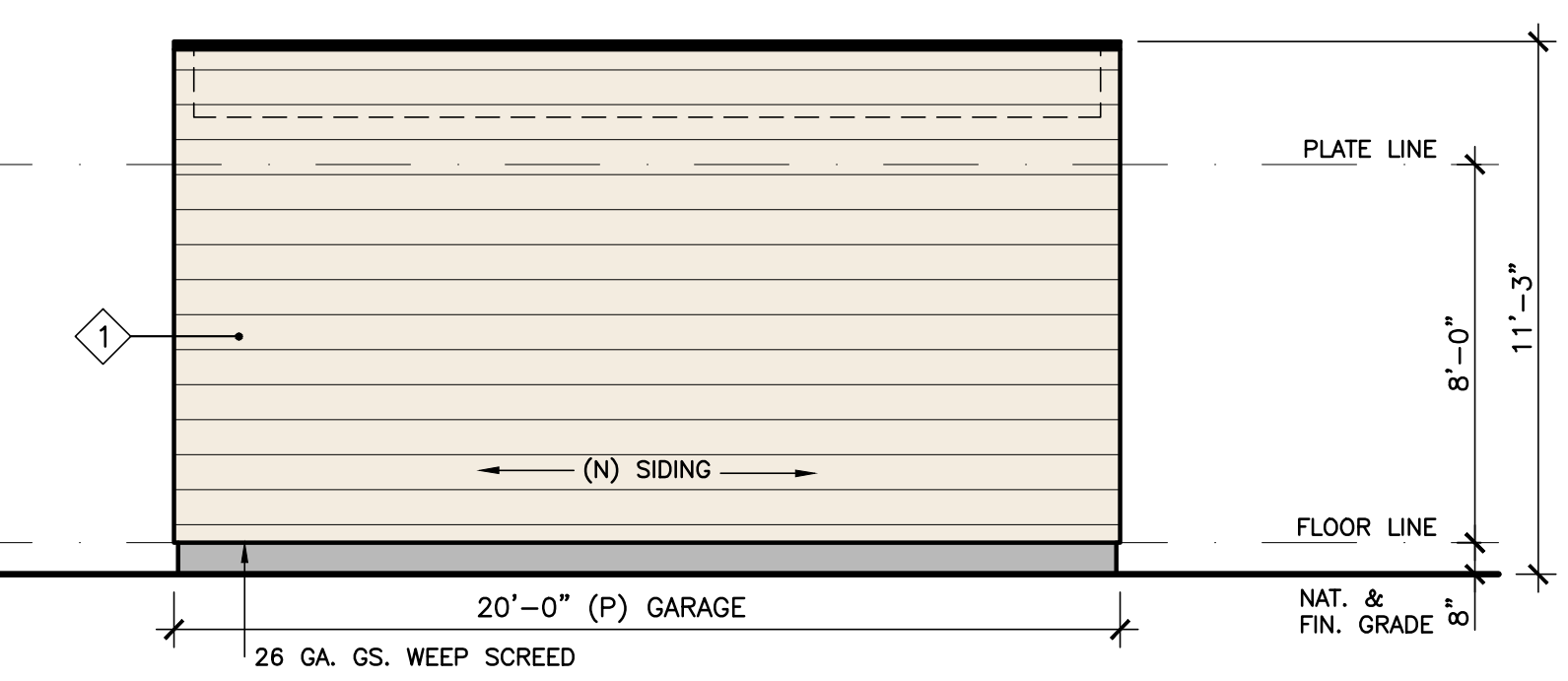
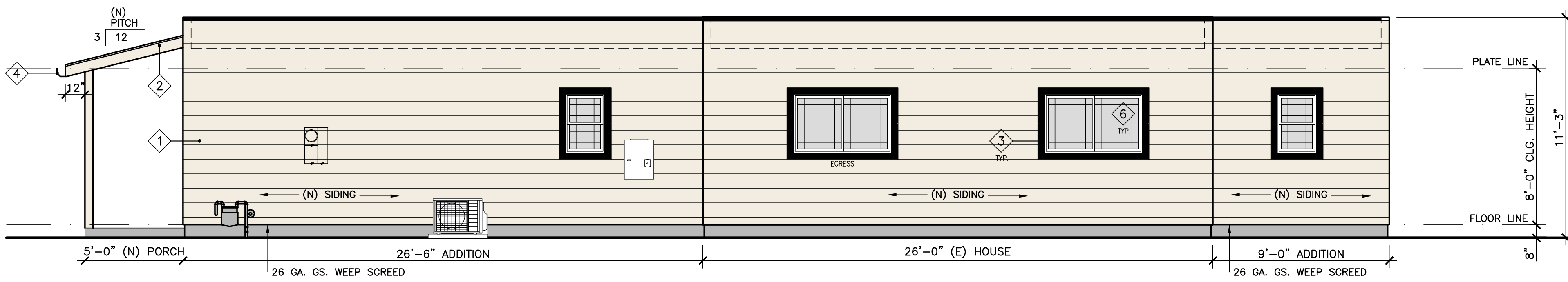
SOUTH ELEVATION GARAGE



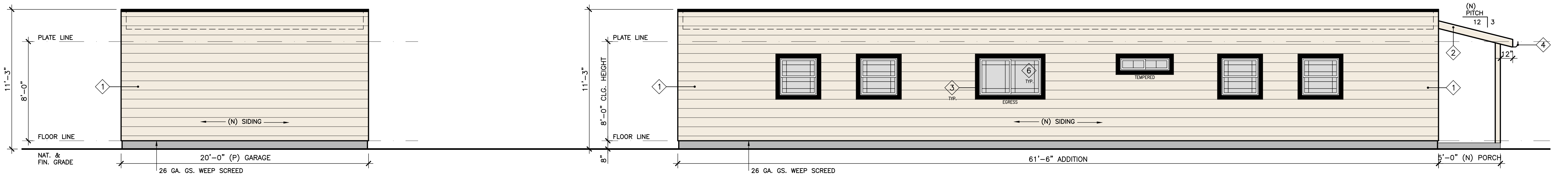
NORTH ELEVATION HOUSE



NORTH ELEVATION GARAGE



EAST ELEVATION HOUSE/GARAGE



EAST ELEVATION HOUSE/GARAGE

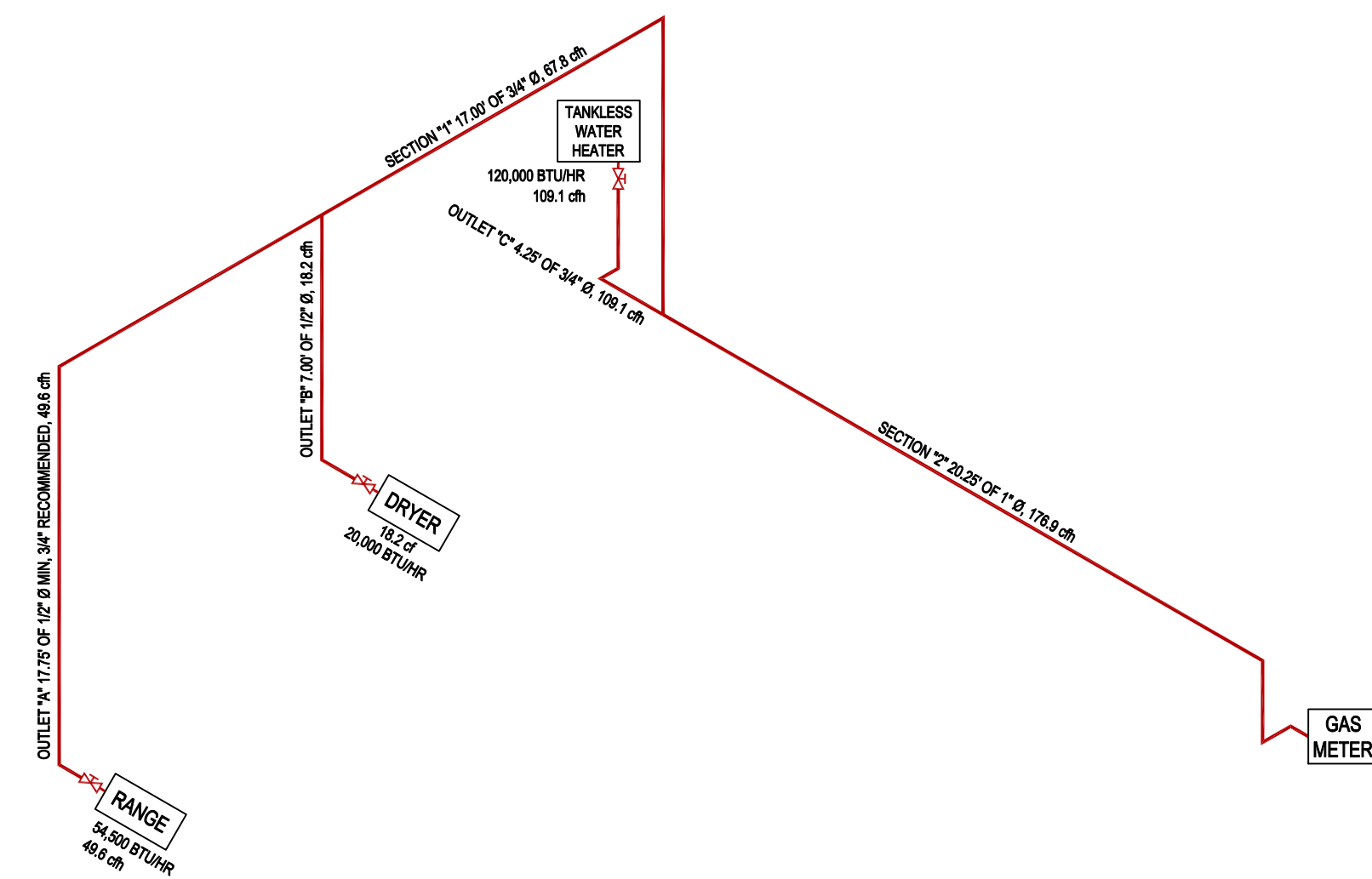
WEST COAST DRAFTING
 4605 BUENA VISTA ROAD, SUITE 600-127, BAKERSFIELD, CA 93311
 TEL (562) 438-4595
 www.wcdrafting.com

HOUSE, JADU & GARAGE
 OWNERS: GARABET & SALBI BAGHDASARIAN
 405 E TOLUCA AVENUE
 ORANGE, CA 92866

DESIGNER OF RECORD
 FELIPE CONTRERAS
 DATE: 11/18/25
 STATE OF CALIFORNIA

Westcoast Drafting expressly reserves its common law copyright and other property rights in these drawings. No part of these drawings may be reproduced, changed or copied in any form or manner, whatsoever, nor are they to be assigned to any third party without the prior written consent, in permission and consent of Westcoast Drafting. In the event of any dispute, the parties shall hold Westcoast Drafting harmless.

Job no.	3617
date	11-18-25
drawn	F.J.C.



NATURAL GAS ISOMETRIC
PER TABLE 1215.2 (1) OF 2022 CPC

LEGEND

— ASTM A254 COMPLIANT STEEL TUBING.



NOTES:

- THE SINGLE FAMILY RESIDENCE THE MAXIMUM DEVELOPED LENGTH MEASURED FROM GAS METER TO THE FARTHEST GAS OUTLETS IS 55.0 FT.
- PROVIDE TRACER WIRE AND 18" MINIMUM COVER FOR UNDERGROUND NON-METALLIC PIPE, IF USED.
- STEEL, STAINLESS STEEL, AND WROUGHT-IRON PIPE SHALL BE AT LEAST SCHEDULE 40 AND SHALL COMPLY WITH THE DIMENSIONAL STANDARDS OF ASME B36.10M AND ONE OF THE FOLLOWING:
ASTM A53
ASTM A106
ASTM A312 (NFPA 54:5.6.2.2)

405 E TOLUCA AVE NATURAL GAS CALCS

GAS RANGE	54500 BTU/hr	1100	49.55 cf
GAS DRYER	20000 BTU/hr	1100	18.18 cf
TANKLESS WATER HEATER	120000 BTU/hr	1100	109.09 cf

	MAX LENGTH	CONSUMPTION	MIN DIAMETER
OUTLET "A"	55.0	49.55 cf	3/4" DIAMETER
OUTLET "B"	55.0	18.18 cf	1/2" DIAMETER
SECTION "1"	55.0	67.73 cf	1" DIAMETER
OUTLET "C"	55.0	109.09 cf	1/2" DIAMETER
SECTION "2"	55.0	176.82 cf	1" DIAMETER

TABLE 1215.2(1)
SCHEDULE 40 METALLIC PIPE [NFPA 54: TABLE 6.2.1(b)]^{1, 2}

		PIPE SIZE (inch)														
		GAS: NATURAL														
		INLET PRESSURE: LESS THAN 2 psi														
		PRESSURE DROP: 0.5 in. w.c.														
		SPECIFIC GRAVITY: 0.60														
NOMINAL:		1/2	3/4	1	1 1/4	1 1/2	2	2 1/2	3	4	5	6	8	10	12	
ACTUAL ID:	0.622	0.824	1.049	1.380	1.610	2.067	2.469	3.068	4.026	5.047	6.065	7.981	10.020	11.938		
LENGTH (feet)		CAPACITY IN CUBIC FEET OF GAS PER HOUR														
10	172	360	678	1390	2090	4020	6400	11300	23100	41800	67600	139000	252000	399000		
20	118	247	466	957	1430	2760	4400	7780	15900	28700	46500	95500	173000	275000		
30	95	199	374	768	1150	2220	3530	6250	12700	23000	37300	76700	139000	220000		
40	81	170	320	657	985	1900	3020	5350	10900	19700	31900	65600	119000	189000		
50	72	151	284	583	873	1680	2680	4740	9660	17500	28300	58200	106000	167000		
60	65	137	257	528	791	1520	2430	4290	8760	15800	25600	52700	95700	152000		
70	60	126	237	486	728	1400	2230	3950	8050	14600	23600	48500	88100	139000		
80	56	117	220	452	677	1300	2080	3670	7490	13600	22000	45100	81900	130000		
90	52	110	207	424	635	1220	1950	3450	7030	12700	20600	42300	76900	122000		
100	50	104	195	400	600	1160	1840	3260	6640	12000	19500	40000	72600	115000		
125	44	92	173	355	532	1020	1630	2890	5890	10600	17200	35400	64300	102000		
150	40	83	157	322	482	928	1480	2610	5330	9650	15600	32100	58300	92300		
175	37	77	144	296	443	854	1360	2410	4910	8880	14400	29500	53600	84900		
200	34	71	134	275	412	794	1270	2240	4560	8260	13400	27500	49900	79000		
250	30	63	119	244	366	704	1120	1980	4050	7320	11900	24300	44200	70000		

For SI units: 1 inch = 25 mm, 1 foot = 304.8 mm, 1 cubic foot per hour = 0.0283 m³/h, 1 pound-force per square inch = 6.8947 kPa, 1 inch water column = 0.249 kPa

Notes:

- Table entries are rounded to 3 significant digits.
- NA means a flow of less than 10 ft³/h (0.283 m³/h).

PROJECT ADDRESSES:

405 E TOLUCA AVE
ORANGE, CA 92866

GENERAL CONTRACTOR:

-

PROJECT:

NEW SINGLE FAMILY
RESIDENCE & JR ADU

OWNER:

GARABET & SALBI
BAGHDASARIAN

STRUCTURAL ENGINEER:

-

REV. DESCRIPTION DATE

0 FIRST SUBMITTAL 07/06/2025

1 CORRECTIONS 11/29/2025

PHASE:

**CONSTRUCTION
DOCUMENTS**

DRAWN & CALCULATED BY:

José Eduardo González

2907 Buckingham Rd
Los Angeles CA 90016
Phone 310 384 8766
goeduardo@gmail.com

DATE:

NOVEMBER 29TH, 2025

TITLE:

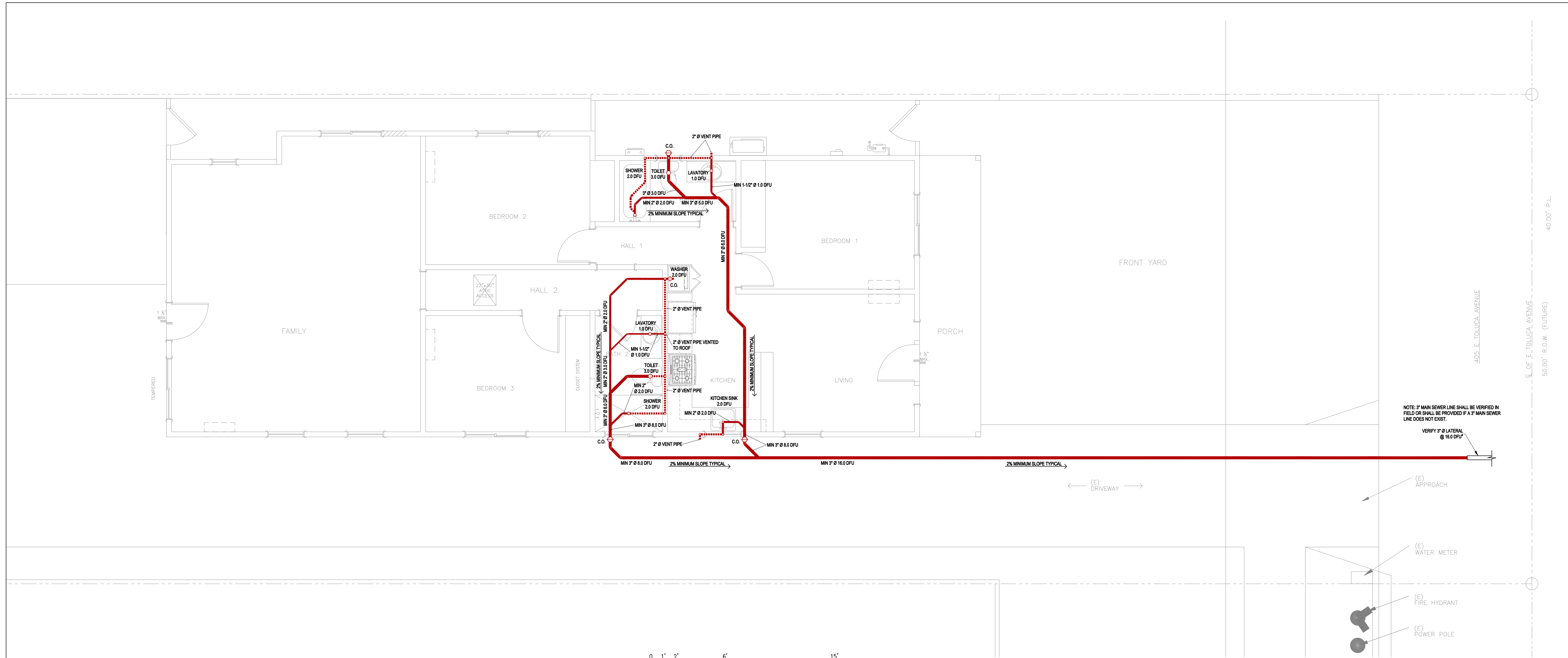
**PROPOSED NATURAL
GAS ISOMETRIC &
SUPPLY LINE SIZING
CALCULATION**

JOB NO.: 00180

SHEET NO.:

PG-01

Plot date: 11.29.2025 Drawing name: 3617-405 E Toluca Ave-041525 MOD 2.dwg



PROJECT ADDRESSES:
405 E TOLUCA AVE
ORANGE, CA 92866

GENERAL CONTRACTOR:
 -

PROJECT:
NEW SINGLE FAMILY RESIDENCE & JR ADU

OWNER:
GARABET & SALBI BAGHDASARIAN

STRUCTURAL ENGINEER:
 -

REV.	DESCRIPTION	DATE
0	FIRST SUBMITTAL	07/06/2025
1	CORRECTIONS	11/29/2025

PHASE:
CONSTRUCTION DOCUMENTS

DRAWN & CALCULATED BY:
José Eduardo González
 2907 Buckingham Rd
 Los Angeles CA 90016
 Phone 310 384 8766
 goeduardo@gmail.com

DATE:
 NOVEMBER 29TH, 2025

TITLE:
PROPOSED SEWER LINE SIZING PLAN & CALCULATION

JOB NO.: 00180

SHEET NO.:
PS-01

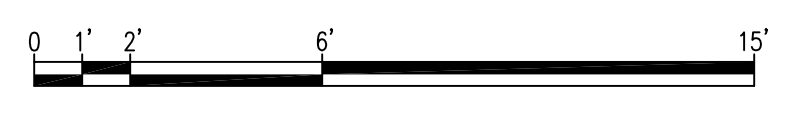
TABLE 703.2
MAXIMUM UNIT LOADING AND MAXIMUM LENGTH OF DRAINAGE AND VENT PIPING

SIZE OF PIPE (inches)	1 1/4	1 1/2	2	3	4	5	6	8	10	12
Maximum Units										
Drainage Piping ¹										
Vertical	1	2 ^{2.7}	16 ³	48 ⁴	256	600	1380	3600	5600	8400
Horizontal	1	1 ⁷	8 ³	35 ⁴	216 ⁵	428 ⁵	720 ⁵	2640 ⁵	4680 ⁵	8200 ⁵
Maximum Length										
Drainage Piping										
Vertical, (feet)	45	65	85	212	300	390	510	750	-	-
Horizontal (unlimited)										
Vent Piping										
Horizontal and Vertical ⁶										
Maximum Units	1	8 ³	24	84	256	600	1380	3600	-	-
Maximum Lengths, (feet)	45	60	120	212	300	390	510	750		

For SI units: 1 inch = 25 mm, 1 foot = 304.8 mm
Notes:
 1 Excluding trap arm.
 2 Except for sinks, urinals, and dishwashers - exceeding 1 fixture unit.
 3 Except for six-unit traps or water closets.
 4 Not to exceed five water closets or five six-unit traps.
 5 Based on 1/4 inch per foot (20.8 mm/m) slope. For 1/8 of an inch per foot (10.4 mm/m) slope, multiply horizontal fixture units by a factor of 0.8.
 6 The diameter of an individual vent shall be not less than 1 1/4 inches (32 mm) nor less than one-half the diameter of the drain to which it is connected. Fixture unit load values for drainage and vent piping shall be computed from Table 702.1 and Table 702.2. Not to exceed one-third of the total permitted length of a vent shall be permitted to be installed in a horizontal position. Where vents are increased one pipe size for their entire length, the maximum length limitations specified in this table do not apply. This table is in accordance with the requirements of Section 901.3.
 7 Up to 8 public lavatories are permitted to be installed on a 1 1/2 inch (40 mm) vertical branch or horizontal sanitary branch sloped at 1/4 inch per foot (20.8 mm/m).

FIXTURE TABLE

QUANTITY	FIXTURE	MIN TRAP SIZE	UNIT VALUES	SUBTOTAL
1	Clothes Washer	2"	2.0 DFU	2.0 DFU
2	Bathroom Lavatory	1-1/4"	1.0 DFU	2.0 DFU
2	Toilet	3"	3.0 DFU	6.0 DFU
2	Shower	2"	2.0 DFU	4.0 DFU
1	Kitchen Sink	1-1/2"	2.0 DFU	2.0 DFU
0	Dishwasher	1-1/2"	2.0 DFU	0.0 DFU
	TOTAL			16.0 DFU



LEGEND
 — ABS SCHEDULE 40 SEWER PIPE
 - - - - - ABS SCHEDULE 40 VENT PIPE
 — ABS SCHEDULE 40 CLEAN OUT

NOTES:
 1. THE TOTAL DFU'S SHALL CONFORM TO THE REQUIREMENTS OF TABLE 703.2, 2022 CPC.
 2. SEE FIXTURE TABLE FOR MINIMUM TRAP SIZING.

MAXIMUM PIPE LENGTH = 92'

PROJECT ADDRESSES:

405 E TOLUCA AVE
ORANGE, CA 92866

GENERAL CONTRACTOR:

PROJECT:
NEW SINGLE FAMILY
RESIDENCE & JR ADU

OWNER:
GARABET & SALBI
BAGHDASARIAN

STRUCTURAL ENGINEER:

REV.	DESCRIPTION	DATE
0	FIRST SUBMITTAL	07/06/2025
1	CORRECTIONS	11/29/2025

PHASE:
CONSTRUCTION DOCUMENTS

DRAWN & CALCULATED BY:
José Eduardo González
2907 Buckingham Rd
Los Angeles CA 90016
Phone 310 384 8766
goeduardo@gmail.com

DATE:
NOVEMBER 29TH, 2025

TITLE:
PROPOSED WATER SUPPLY LINE SIZING PLAN & CALCULATION

JOB NO.: 00180

SHEET NO.:

PW-01

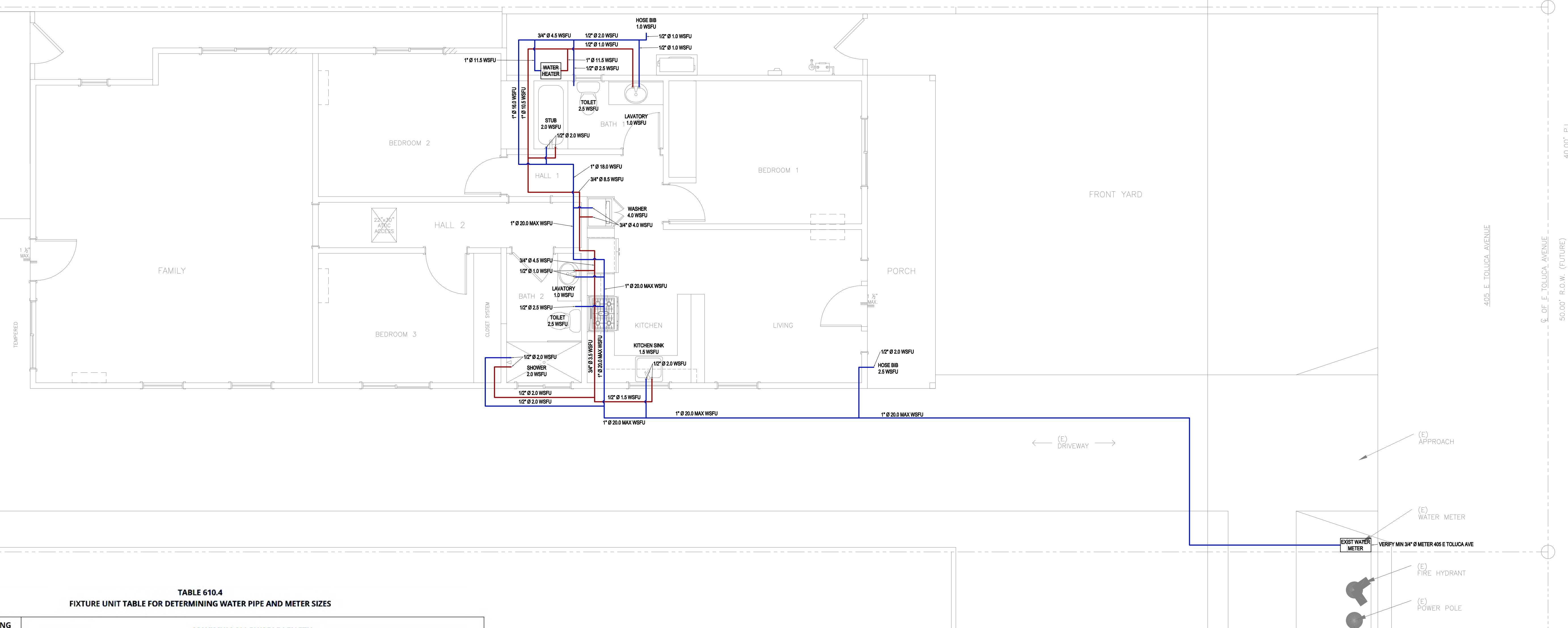


TABLE 610.4
FIXTURE UNIT TABLE FOR DETERMINING WATER PIPE AND METER SIZES

METER AND STREET SERVICE (inches)	BUILDING SUPPLY AND BRANCHES (inches)	MAXIMUM ALLOWABLE LENGTH (feet)														
		40	60	80	100	150	200	250	300	400	500	600	700	800	900	1000
PRESSURE RANGE — 46 to 60 psi ¹																
3/4	1/2 ²	7	7	6	5	4	3	2	2	1	1	1	0	0	0	0
3/4	3/4	20	20	19	17	14	11	9	8	6	5	4	4	3	3	3
3/4	1	39	39	36	33	28	23	21	19	17	14	12	10	9	8	8
1	1	39	39	39	36	30	25	23	20	18	15	12	10	9	8	8
3/4	1 1/4	39	39	39	39	39	34	32	27	25	22	19	19	19	17	16
1	1 1/4	78	78	76	67	52	44	39	36	30	27	24	20	19	17	16
1 1/2	1 1/4	78	78	78	78	66	52	44	39	33	29	24	20	19	17	16
1	1 1/2	85	85	85	85	85	85	80	67	55	49	41	37	34	32	30
1 1/2	1 1/2	151	151	151	151	128	105	90	78	62	52	42	38	35	32	30
2	1 1/2	151	151	151	151	150	117	98	84	67	55	42	38	35	32	30
1	2	85	85	85	85	85	85	85	85	85	85	85	85	85	83	80
1 1/2	2	370	370	340	318	272	240	220	198	170	150	135	123	110	102	94
2	2	370	370	370	370	368	318	280	250	205	165	142	123	110	102	94
2	2 1/2	654	640	610	580	535	500	470	440	400	365	335	315	285	267	250



HOUSE WATER PIPING CALCULATION

FIXTURE TABLE			
1	Clothes Washer	4.0 WSFU	4.0 WSFU
2	Bathroom Lavatory	1.0 WSFU	2.0 WSFU
2	Toilet 1.6 Gal Flush	2.5 WSFU	5.0 WSFU
2	Shower	2.0 WSFU	4.0 WSFU
1	Kitchen Sink	1.5 WSFU	1.5 WSFU
0	Dishwasher	1.5 WSFU	0.0 WSFU
1	Hose Bib	2.5 WSFU	2.5 WSFU
1	Hose Bib	1.0 WSFU	1.0 WSFU
TOTAL			20.0 WSFU

MAX DISTANCE	165
WORKING PSI	60
ELEVATION CHANGE	10
MAX WSFU	20.0 WSFU
REQUIRED METER	3/4"
SUPPLY LINE	1

PIPE DIAMETER	CAPACITY
1"	28.0 WSFU
3/4"	11.0 WSFU
1/2"	3.0 WSFU

LEGEND
 COLD WATER ASTM-B88 COPPER PIPE
 HOT WATER ASTM-B88 COPPER PIPE

NOTES:
THE DESIGN OF THE HOME ADDITIONS WATER SUPPLY AND DISTRIBUTION SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 6 OF 2022 CPC AND THE FOLLOWING:

- THE WATER SUPPLY AND DISTRIBUTION SYSTEM'S NEW CALCULATIONS FOR SIZING OF AVAILABLE WATER PRESSURE FOR FRICTION LOSS AND PIPE SIZING ARE SUBMITTED AND EXISTING PIPE SIZES MAY BE REPLACED TO ACCOMMODATE THE NEW COMBINED REQUIRED CAPACITIES.
- CALCULATION FOR THE SITE'S AVAILABLE WATER PRESSURE FOR FRICTION LOSS (PSI/100 FT.), PIPE SIZING CRITERIA 8 FPS MAXIMUM FOR CW, 5 FPS MAXIMUM FOR HW SHALL USE THE 20122 CPC, SECTION 610.0 WITHBLE 610.4 OR 2019 CP 20122 CPC, SECTION 610.0 WITHBLE 610.4 OR 2019 CPC, APPENDIX "A" RECOMMENDED RULES FOR SIZING THE WATER SUPPLY SYSTEM. CPC.

Plot date: 11.29.2025 Drawing name: 3617-405 E Toluca Ave-041525 MOD 2.dwg

S T U D I O B E R Z U N Z A

5000 BIRCH ST. STE. 3000
NEWPORT BEACH CA 92660

LANDSCAPE PLANS

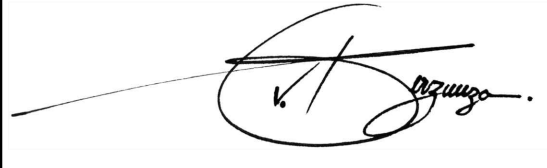


LUXURY INTEGRAL DESIGNS
RESIDENTIAL + LANDSCAPE + INTERIORS

5000 Birch St. Ste. 3000
Newport Beach, CA 92660

t: 714.795.8080
e: vladimir@studioberzuna.com

STUDIOBERZUNA.COM



VLADIMIR BERZUNZA
PRINCIPAL VISIONARY DESIGNER

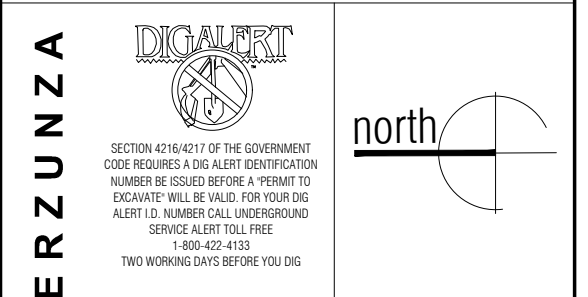
PROJECT ADDRESS:
TOLUCA RESIDENCE
405 E. TOLUCA
ORANGE, CA 92866
APN: 390-103-15
LOT: 12
BLOCK: D.W
ZONING: R-2-6
TRACT: 175

DRAW BY:
V. BERZUNZA

CHECKED BY:
V. BERZUNZA

REVISIONS:

No.	DATE	DESCRIPTION
PROJECT: 0X.00X.25		



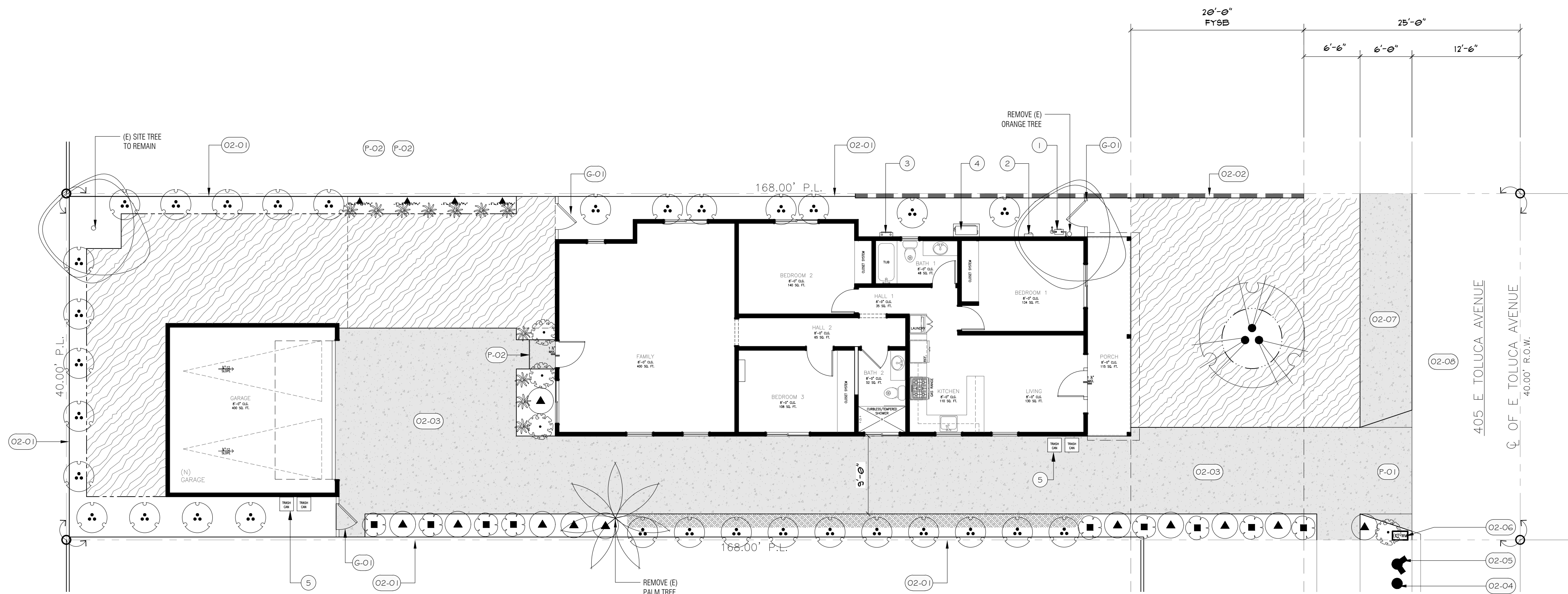
© V3 STUDIO BERZUNZA EXPRESSLY RESERVES ITS COMMON LAW
COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS
ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR
MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD
PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED PERMISSION &
CONSENT OF V3 STUDIO BERZUNZA. THESE DOCUMENTS ARE INTENDED
TO ONLY COMMUNICATE DESIGN INTENT AND SHALL NOT BE USED TO
COMMUNICATE ANY CONSTRUCTION MEANS,
METHODS, TECHNIQUE, SEQUENCE OR PROCEDURES, OR FOR SAFETY
PRECAUTION IN CONNECTION WITH THE PROJECT.

SHEET DESCRIPTION:
COVER SHEET

CS 000

DATE: 6-24-25 REV: 11-29-25

T O L U C A R E S I D E N C E
405 E. TOLUCA
ORANGE, CA 92866
APN: 390-103-15



REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	GAS METER BY OTHERS *REF. TO ARCHS PLAN
2	ELECT. PANEL BY OTHERS *REF. TO ARCHS PLAN
3	THANKLESS WH BY OTHERS *REF. TO ARCHS PLAN
4	MINI SPLIT BY OTHERS *REF. TO ARCHS PLAN
5	TRASH BINS
02 EXISTING CONDITIONS	
02-01	(E) 5'-0" HT WOOD FENCE TO REMAIN
02-02	(E) 3' HT BLOCK WALL TO REMAIN
02-03	(E) DRIVEWAY TO REMAIN
02-04	(E) POWER POLE
02-05	(E) FIRE HYDRANT
02-06	(E) WATER METER
02-07	(E) CONC. TO REMAIN
02-08	(E) PAVING REF. TO ARCHS PLANS
GATE	
G-01	SITE GATE BY OTHERS *REF. TO ARCHS PLAN
PAVING	
P-01	PROPOSED APPROACH BY OTHERS *REF. TO ARCHS PLAN
P-02	LANDING
LANDSCAPE TABULATION:	
FRONT YARD 40% MIN. LANDSCAPE AREA	
FRONT YARD SETBACK (FYSB)	
FRONT YARD:	800 SF (1.00%)
(E) HARDSCAPE / DRIVEWAY:	210 SF
(N) LANDSCAPE:	590 SF
LANDSCAPE REQUIRED: 480 SF (60%) < PROVIDED: 590 SF (74%)	
PLANTING NOTES	
<p>TREE OVERHANG NOTE: OWNER TO MAINTAIN ALL TREES AND SHRUBS ALONG THE PROPERTY WALLS AND ENSURE THAT THE PLANT MATERIAL SHALL NOT OVERHANG MORE THAN 40% INTO ANY NEIGHBOR'S YARD.</p> <p>SHRUBS & TREES PLANTING NOTES</p> <ol style="list-style-type: none"> CONTRACTOR SHALL VERIFY ALL SHRUB QUANTITIES AND SIZES BY PLAN CHECK. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES AND SIZE AS SHOWN ON PLAN. CONTRACTOR TO COORDINATE APPROVALS. CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS. LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER SO AS TO PREVENT STANDING WATER. NO SHRUBS SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC. TREES PLANTED IN LANDSCAPE AREAS OF LESS THAN 4' IN WIDTH SHALL BE INSTALLED WITH AN APPROVED ROOT BARRIERS. LANDSCAPE DESIGNER RESERVES THE RIGHT TO REFUSE PLANTS DELIVERED TO THE SITE THAT ARE SUBSTANDARD. REPLACEMENT PLANTS ARE TO BE SUPPLIED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. PLANT CROWN TO BE 1' ABOVE ADJACENT GRADE FOR TREES AND SHRUBS. PLANTS SHALL BE HEALTHY, VIGOROUS AND TRUE TO SPECIES AND VARIETY AS SHOWN IN THE LEGEND. NO PLANT SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION OF V3 STUDIO BERZUNZA. ALL SHRUBS SHALL BE DELIVERED TO THE SITE AND INSPECTED BY THE LANDSCAPE DESIGNER. CONTRACTOR MUST CONTACT THE LANDSCAPE DESIGNER WITHIN 48 HRS OF EXPECTED DELIVERY. ALL SHRUBS SHALL BE PLACED ON THE SITE PER THE PLANS AND ADJUSTED IN THE FIELD BY THE LANDSCAPE DESIGNER PRIOR TO INSTALLATION. SOIL PREPARATION AND BACKFILL FOR ALL PLANTING AREAS SHALL BE PER NURSERY RECOMMENDATIONS AND DETAILS. FOLLOWING INSTALLATION, ALL PLANTING AREAS EXCEPT LAWNS SHALL BE COVERED WITH MINIMUM 3" OF ORGANIC MULCH UNLESS NOTED. 	



VLADIMIR BERZUNZA
PRINCIPAL VISIONARY DESIGNER

PLANT SCHEDULE

PHOTO	SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE	WATER	QTY
TREES						
		LAGERSTROEMIA INDICA 'DWARF PINK' / DWARF PINK CRAPE MYRTLE	24"BOX	10'-12" H X 5'-6" W	LOW 0.1 - 0.3	1
SHRUBS						
		ALOE X 'BLUE ELF' / BLUE ELF ALOE	1 GAL	1'-2" HxW	LOW 0.1 - 0.3	11
		BOUGAINVILLEA X 'ALABAMA SUNSET' / ALABAMA SUNSET BOUGAINVILLEA	15 GAL	8' W X 10" H	LOW 0.1 - 0.3	4
		DODONAEA VISCOSA 'PURPUREA' / PURPLE HOPSEED BUSH	10 GAL	10" H X 9" W	LOW 0.1 - 0.3	31
		LAVANDULA OFFICINALIS / ENGLISH LAVENDER	5 GAL	1'-2" H X 3'-4" W	LOW 0.1 - 0.3	11



	SALVIA GREGGII / AUTUMN SAGE	5 GAL	2' H X 2'-3" W	LOW 0.1 - 0.3	9
	WESTRINGIA FRUTICOSA / MUNDI™ COAST ROSEMARY	5 GAL	1'-2" H X 3'-4" W	LOW 0.1 - 0.3	4



PHOTO	SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE	WATER	SPACING	QTY
		CYNODON X 'TIFGREEN 328' / TIFGREEN 328 BERMUDAGRASS	SOD		LOW 0.1 - 0.3		1,542 SF
		SENECIO VITALIS 'SERPENTS' / SERPENTS BLUE CHALK FINGERS	FLAT	1" H X W	LOW 0.1 - 0.3	12" o.c.	6 FLATS

PLANTING PLAN

SCALE: 1/8" = 1'-0"

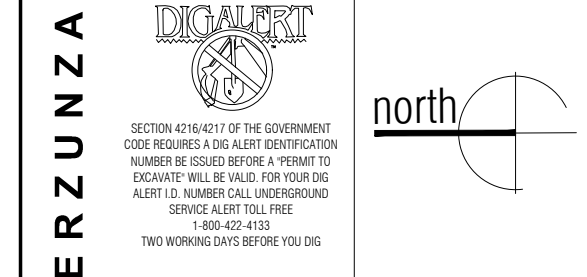
PROJECT ADDRESS:
TOLUCA RESIDENCE
405 E. TOLUCA
ORANGE, CA 92866
APN: 390-103-15
LOT: 12
BLOCK: D.W
ZONING: R-2-6
TRACT: 175

DRAW BY:
V. BERZUNZA

CHECKED BY:
V. BERZUNZA

REVISIONS:

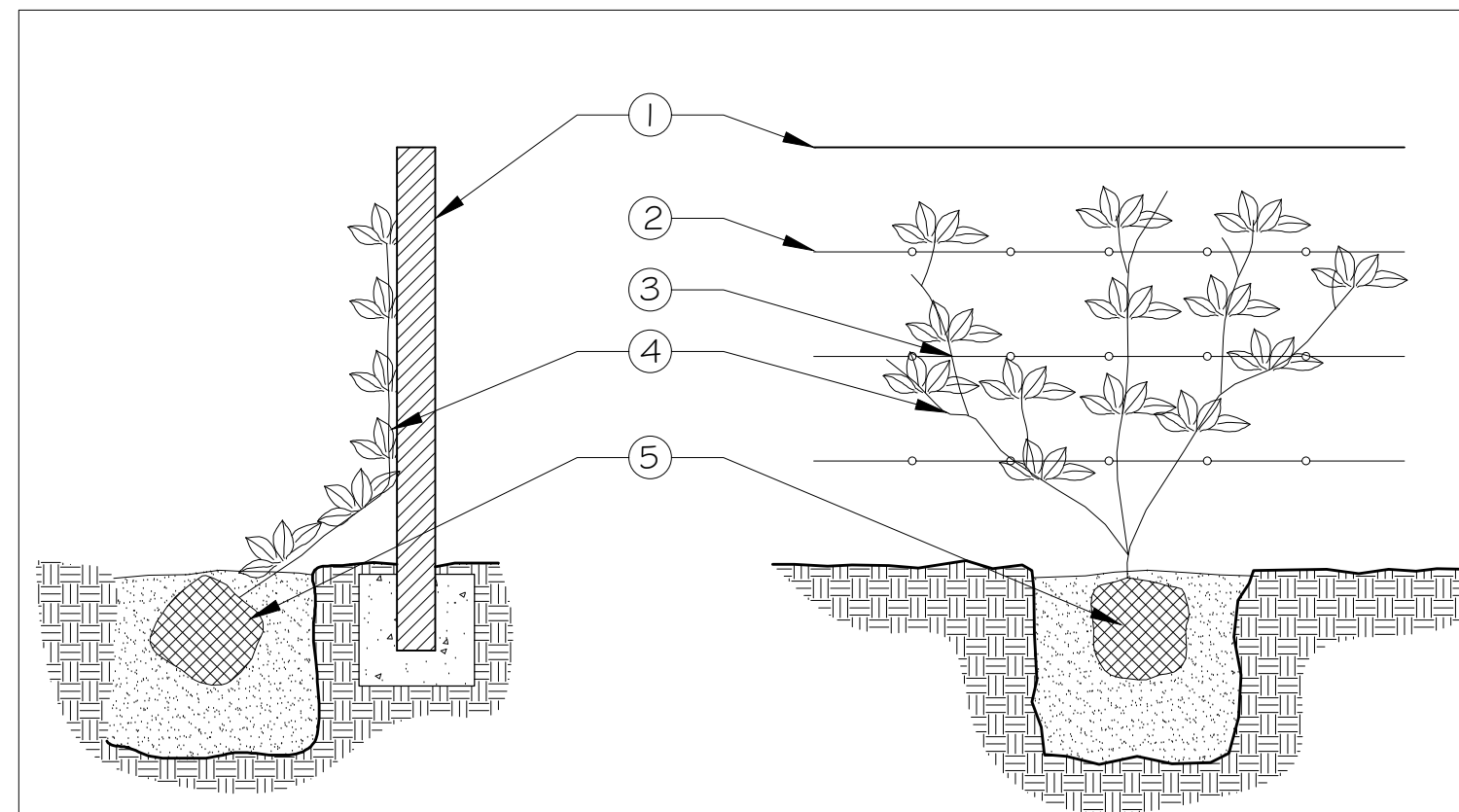
No. DATE DESCRIPTION
PROJECT: 0X.00X.25



© V3 STUDIO BERZUNZA EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS AND THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED PERMISSION & CONSENT OF V3 STUDIO BERZUNZA. THESE DOCUMENTS ARE INTENDED TO ONLY COMMUNICATE DESIGN INTENT AND SHALL NOT BE USED TO COMMUNICATE ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, OR FOR SAFETY PRECAUTION IN CONNECTION WITH THE PROJECT.

SHEET DESCRIPTION:
PLANTING / SITE PLAN

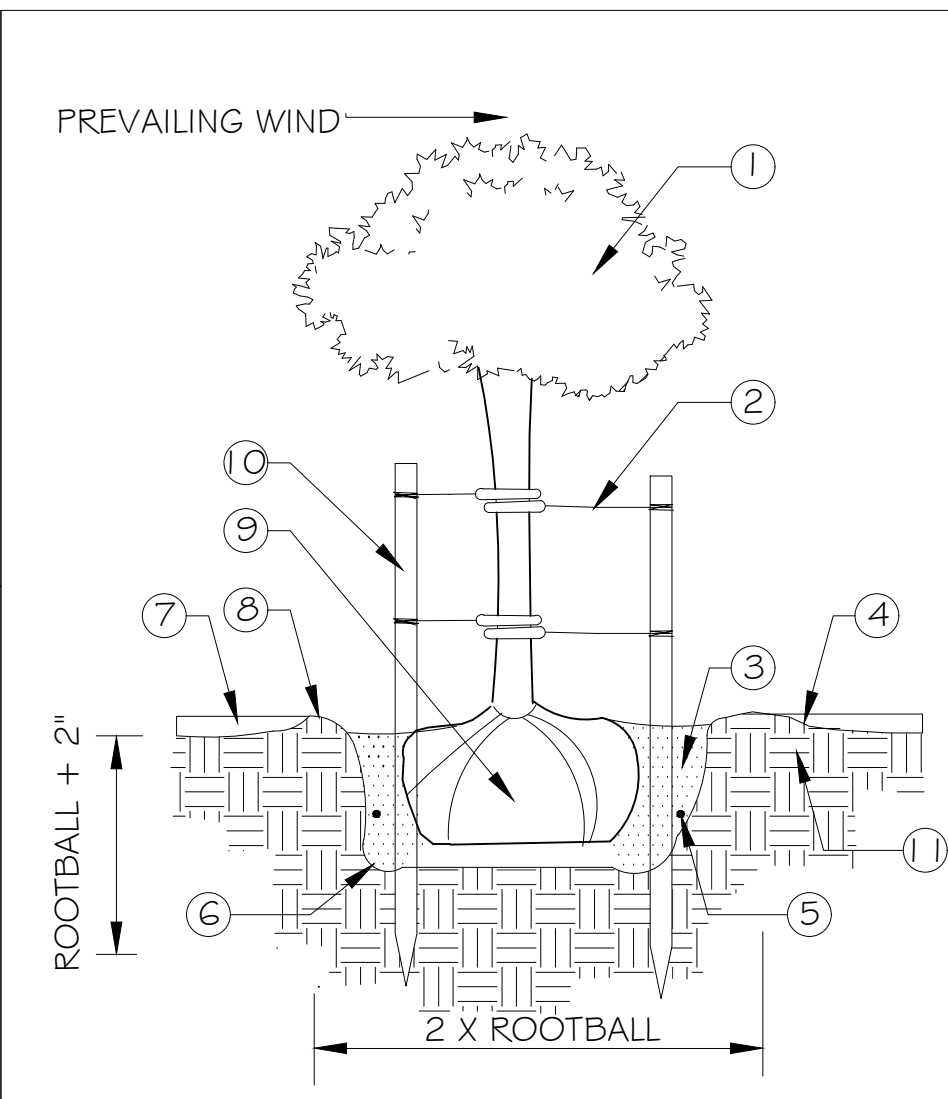
L 100
DATE: 6-24-25 REV: 11-29-25



- ① PROPERTY BLOCK WALL
- ② FOR ESPALIER MATERIAL ON WALLS: ATTACH STAINLESS STEEL WIRES TO THE WALL @ 24" O.C. SPACING W/ EYE SCREWS W/ ANCHORS REMOVE NURSERY TRELLIS OR STAKE.
- ③ ATTACH LEADER TO THE WIRE W/ TWIST TIES OR MIRACLE TIES.
- ④ FOR PLANT MATERIAL SEE PLANTING SCHEDULE
- ⑤ SEE SHRUB PLANTING DETAIL

4 TYP. VINE PLANTING DETAIL

NTS

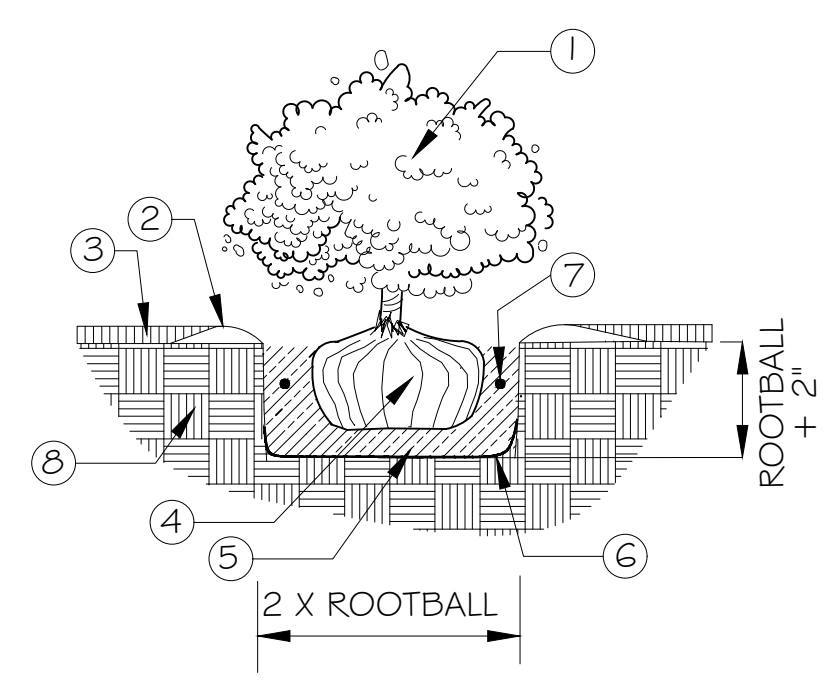


- ① TYPICAL CONTAINER TREE
- ② 36" V.I.T. TWIST-BRACE OR APPROVED EQUAL
- ③ BACKFILL MIX PER SPEC'S
- ④ FINISH GRADE
- ⑤ FERTILIZER TABS. QTY. PER SPEC'S.
- ⑥ SCARIFIED PLANTING PIT
- ⑦ 3" ORGANIC MULCH TO EDGE OF PLANT PIT PER SPEC'S.
- ⑧ DRAIN BASIN
- ⑨ ROOTBALL
- ⑩ LODGE POLES STAKE (24" BOX #36" BOX. PLACE ON THE WINDWARD SIDE FOR THE TREE.
- ⑪ NATIVE SOIL

NOTE:
1. PLACE ROOTBALL INTO COMPACTED BACKFILL MIX; WATER & SETTLE PLANT 1" HT CROWN HEIGHT TO AVOID SETTLING BELOW FINISH GRADE.
2. THIS DETAIL APPLIES TO ALL TREES UP TO 36" BOX SIZE.

1 TYP. TREE DETAIL FOR 15 GAL, 24" & 36" BOX

NTS

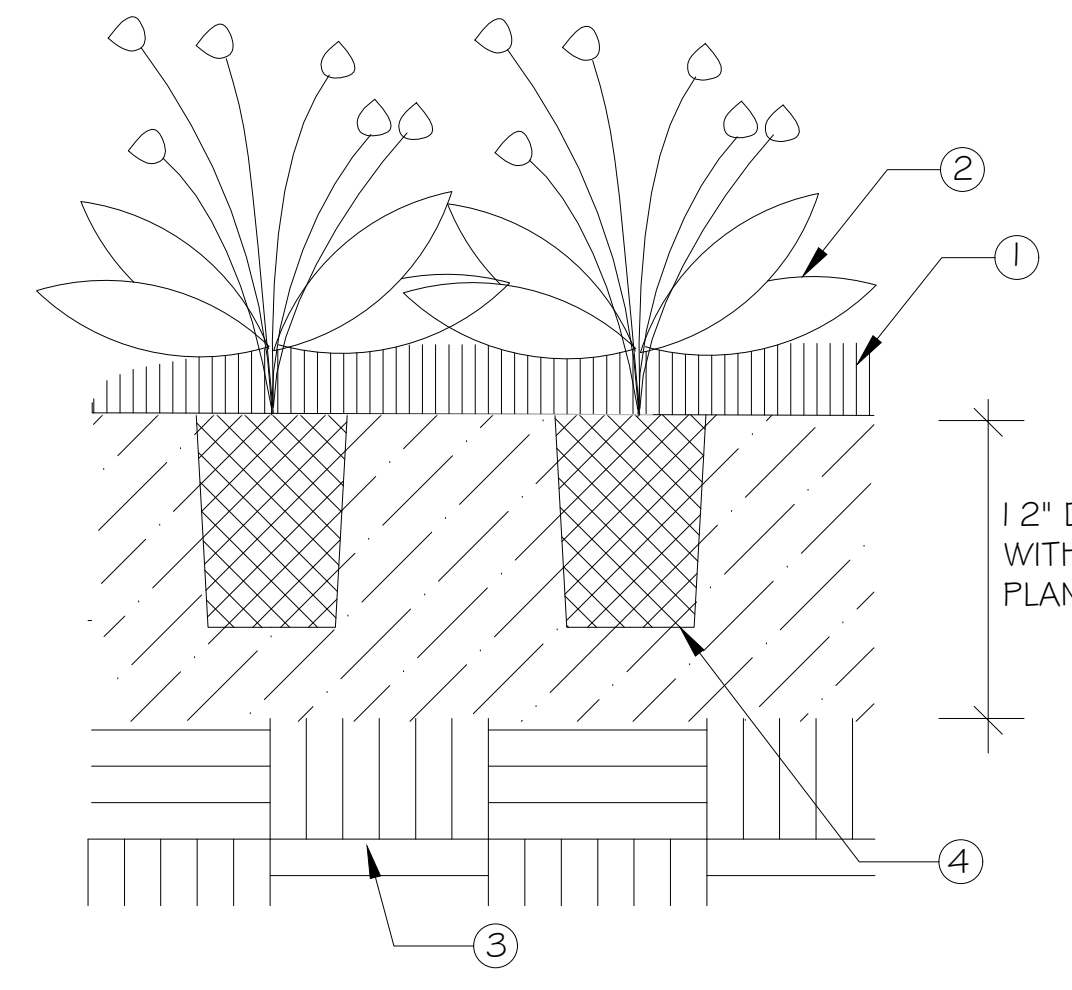


- ① TYPICAL SHRUB
- ② 4" HIGH WATER BASIN
- ③ 3" ORGANIC MULCH TO EDGE OF PLANT PIT PER SPEC'S.
- ④ ROOT BALL
- ⑤ COMPACTED BACKFILL MIX PER SPEC'S.
- ⑥ SCARIFIED PLANTING PIT
- ⑦ FERTILIZER TABS. QTY. PER. SPEC'S.
- ⑧ NATIVE SOIL

NOTE: PLACE ROOTBALL INTO COMPACTED BACKFILL MIX; WATER & SETTLE PLANT TO NORMAL CROWN HEIGHT TO AVOID SETTLING BELOW FINISH GRADE.

2 TYP. SHRUB DETAIL

NTS



- ① 3" ORGANIC MULCH PER SPEC'S.
- ② TYPICAL PERENNIAL
- ③ COMPACT SUBGRADE TO 95%
- ④ REMOVE ALL FIBER, PLASTIC OR METAL CONTAINERS.
- ⑤ NATIVE SOIL

3 TYP. PERENNIAL PLANTING DETAIL

NTS



LUXURY INTEGRAL DESIGNS
RESIDENTIAL + LANDSCAPE + INTERIORS

5000 Birch St. Ste. 3000
Newport Beach, CA 92660

t: 714.795.8080
e: vladimir@studioberzunza.com

STUDIOBERZUNZA.COM



VLADIMIR BERZUNZA
PRINCIPAL VISIONARY DESIGNER

PROJECT ADDRESS:
TOLUCA RESIDENCE
405 E. TOLUCA
ORANGE, CA 92866
APN: 390-103-15
LOT: 12
BLOCK: D.W
ZONING: R-2-6
TRACT: 175

DRAW BY:
V. BERZUNZA

CHECKED BY:
V. BERZUNZA

REVISIONS:

No.	DATE	DESCRIPTION
PROJECT: 0X.00X.25		

© V3 STUDIO BERZUNZA EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS AND THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED PERMISSION & CONSENT OF V3 STUDIO BERZUNZA. THESE DOCUMENTS ARE INTENDED TO ONLY COMMUNICATE DESIGN INTENT AND SHALL NOT BE USED TO COMMUNICATE ANY CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCE OR PROCEDURES, OR FOR SAFETY PRECAUTION IN CONNECTION WITH THE PROJECT.

SHEET DESCRIPTION:
PLANTING DETAIL

L 101

WORKSHEET INFORMATION & EQUATIONS

^a Local monthly evapotranspiration rates are listed in Appendix D.

^b The following table can be used for common plant factors:

Plant Factor	PF
Very low water use plant	0.1
Low water use plant	0.2
Medium water use plant	0.5
High water use plant	0.8
Lawn	0.8
Pool, spa, or other water feature	1.0

^c Irrigation efficiency is derived from measurements and estimates of irrigation system characteristics and management practices. The minimum average irrigation efficiency for purposes of these Guidelines is 0.71. The following irrigation efficiency may be obtained for the listed irrigation heads with an Irrigation Management Efficiency of 90%:

Irrigation Method	IE
Spray nozzles	71%
High efficiency spray nozzles	73%
Multi stream/Multi trajectory rotary (MSMT) nozzles	76%
Stream rotor nozzle	73%
Microspray	76%
Bubblers	77%
Drip emitter	81%
Subsurface drip	81%

^d Estimated Total Water Use (ETWU) is the annual gallons required

$$ETWU = (ETo) \times (0.62) \times (ETAF \times Area)$$

where, ETo = annual evapotranspiration rate in inches per year
0.62 = factor used to convert inches per year to gallons per square foot
ETAF = plant factor x irrigation efficiency

^e Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for nonresidential areas.

^f Maximum Allowed Water Allowance (MAWA) is the annual gallons allowed

$$MAWA = (ETo) \times (0.62) \times [(ETAF \times LA) + ((1-ETAF) \times SLA)]$$

where, ETo = annual evapotranspiration rate in inches per year
0.62 = factor used to convert inches per year to gallons per square foot
ETAF = plant factor x irrigation efficiency
LA = total (site wide) landscape area in square feet
SLA = total special landscape area

Appendix D: Reference Evapotranspiration Table

REFERENCE EVAPOTRANSPIRATION (ET_o) TABLE

City	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual Total (inches per year)
Irvine (North)	2.6	2.5	3.7	4.5	5.4	5.5	6.1	6.0	5.0	3.6	2.6	2.1	49.5
Irvine (South)	2.6	2.5	3.6	4.4	5.3	5.2	5.8	5.7	4.8	3.4	2.6	2.0	47.9
Laguna Beach	2.6	2.5	3.5	4.3	5.1	4.9	5.5	5.4	4.6	3.4	2.5	2.0	48.4
Orange	2.7	2.7	3.3	4.6	5.3	5.7	6.0	6.0	5.2	3.4	2.7	2.0	49.7
Santa Ana	2.6	2.6	3.4	4.5	5.2	5.3	5.7	5.7	4.9	3.4	2.6	2.0	47.8

* The values in this table were derived from California Irrigation Management Information System (CIMIS) Spatial CIMIS data by zip code. Cities with multiple zip codes present monthly averages.

Appendix C: Water Efficient Landscape Worksheet

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package.

Reference Evapotranspiration (ET_o): 49.7 Landscape Area Sector Type Residential Non-Residential

	Hydrozone #/Planting Description	Location	Plant Factor ^b (PF)	Irrigation Method ^c	Irrigation Efficiency ^c (IE)	ETAF (PF/IE)	Landscape Area (sq-ft)	ETAF x Area	Estimated Total Water Use ^d (ETWU)
Regular Landscape Area									
1	LW	FULL SUN	0.2	DRIP	0.81	0.24	303	72.72	2,239
2	LW	FULL SUN	0.2	BUBBLER	0.77	0.25	155	40.04	1,233
3	LW	FULL SUN	0.2	MSMT	0.76	0.26	1,540	397	12,227
4									
5									
6									
7									
8									
9									
10									
11									
12									

Average	Total	Total
.25	1,998	509.76
Average ETAF for Regular Landscape Areas* (circle one): <u>In Compliance</u> <input type="checkbox"/> Not In Compliance		

Special Landscape Area	ETAF	Area (sq-ft)	ETAF x Area
SLA-1			
SLA-2			
SLA-3			
SLA-4			
SLA-5			
Totals			

ETWU = (ETo) (0.62) (ETAF x LA)		
= (49.7) (0.62) (509.76)		
= (30.80) (509.76)		
= 15,700 G.P.Y.		
MAWA = (ETo) (0.62) [(ETAF x LA) + (1-ETAF x SLA)]		
= (49.7) (0.62) [(0.55 x 1,998) + (1-.55 x 0)]		
= (30.80) (1,098.90)		
= 33,846 G.P.Y.		

Appendix E: Certificate of Completion

LANDSCAPE INSTALLATION CERTIFICATE OF COMPLETION

I hereby certify that:

(1) I am a professional appropriately licensed in the State of California to provide professional landscape design services for _____ (project name, mailing address and telephone).

(2) The landscape project for the property located at _____ (provide street address or parcel number(s)) was installed by me or under my supervision.

(3) The landscaping for the identified property has been installed in substantial conformance with the approved Landscape Documentation Package and complies with the requirements of Water Efficient Landscape Section IX contained in the City of Orange Landscape Standards and Specifications (Municipal Code Sections 16.50.040) and the Guidelines for Implementation of the Water Efficient Landscape Section IX in the City of Orange Landscape Standards for the efficient use of water in the landscape.

(4) The following elements are attached hereto:

- Irrigation scheduling parameters used to set the controller;
- Landscape and irrigation maintenance schedule;
- Irrigation audit report; and
- Soil analysis report, if not submitted with Landscape Documentation Package, and documentation verifying implementation of the soil report recommendations.

(5) The site installation complies with the following:

- The required irrigation system has been installed according to approved plans and specifications and if applicable, any prior approved irrigation system alternatives.

Yes No

b. Sprinklers comply with ASABE/ICC 802-2014 Landscape Irrigation Sprinkler & Emitter Standard.

Yes No

Appendix B: Certification of Landscape Design

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

(1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.

(2) The landscape design and water use calculations for the property located at _____ (provide street address or parcel number(s)) were prepared by me or under my supervision.

(3) The landscape design and water use calculations for the identified property comply with the requirements of the City of Tustin Water Efficient Landscape Ordinance (City Code Sections 9701-9706) and the City of Tustin Guidelines for Implementation of the City of Tustin Water Efficient Landscape Ordinance.

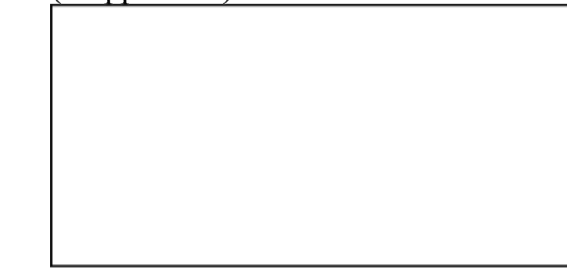
(4) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of Tustin Guidelines for Implementation of the City of Tustin Water Efficient Landscape Ordinance.

DAVID MIERTSCHIN License Number: 61 24 1 2025

Signature: [Signature] License Number: LA # 3308
5000 BIRCH ST, STE. 3000 NEWPORT BEACH CA 92660
Address

(949) 388-3369 Telephone: DAVID@STUDIOBERZUNZA.COM E-mail Address

Landscape Design Professional's Stamp (If applicable)



(6) The information I have provided in this Landscape Installation Certificate of Completion is true and correct and is hereby submitted in compliance with Section IX of City of Orange Landscape Standards and Specifications and the Guidelines for Implementation of Water Efficient Landscapes Section IX of the City of Orange Landscape Standards and Specifications.

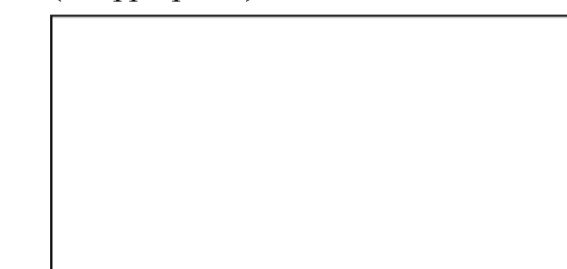
Print Name _____ Date _____

Signature _____ License Number _____

Address _____

Telephone _____ E-mail Address _____

Landscape Design Professional's Stamp (If Appropriate)



LUXURY INTEGRAL DESIGNS
RESIDENTIAL + LANDSCAPE + INTERIORS
5000 Birch St. Ste. 3000
Newport Beach, CA 92660

t: 714.795.8080
e: vladimir@studioberzunza.com

STUDIOBERZUNZA.COM

[Signature]

VLADIMIR BERZUNZA
PRINCIPAL VISIONARY DESIGNER

PROJECT ADDRESS:
TOLUCA RESIDENCE

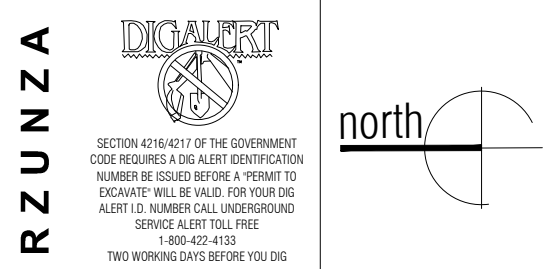
405 E. TOLUCA
ORANGE, CA 92866
APN: 390-103-15
LOT: 12
BLOCK: D.W
ZONING: R-2-6
TRACT: 175

DRAW BY:
V. BERZUNZA

CHECKED BY:
V. BERZUNZA

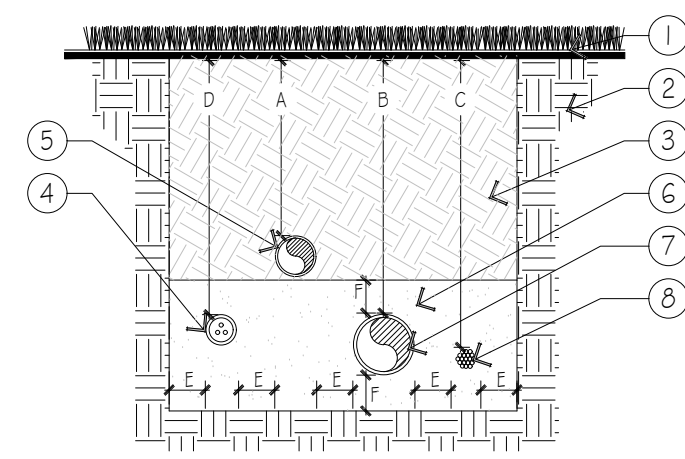
REVISIONS:

No.	DATE	DESCRIPTION
PROJECT: 0X.00X.25		



SECTION 91000 - IRRIGATION
DATE: JULY 31, 2022
BY: V. BERZUNZA
PROJECT: 0X.00X.25
SHEET: 01 OF 01

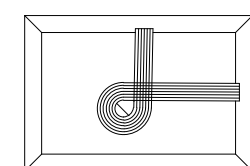
SHEET DESCRIPTION:
IRRIGATION FORMS



1. FINISH GRADE
2. UNDISTURBED SOIL
3. CLEAN COMPACTED BACKFILL
4. 120 VOLT ELECTRICAL IN SCH. 40 CONDUIT
5. LATERAL LINES, SEE SPECS.
6. CLEAN SAND BACKFILL
7. PRESSURE MAINLINE, SEE SPECS.
8. CONTROL WIRES, SEE SPECS. INSTALL AT MAINLINE DEPTH

DIMENSION	A	B	C	D	E	F
1/2" TO 1 1/2" SIZE	12"	18"	18"	30"	4"	6"
2" TO 2 2 1/2" IN SIZE	12"	24"	24"	30"	4"	6"
3" AND LARGER	18"	24"	24"	30"	4"	6"

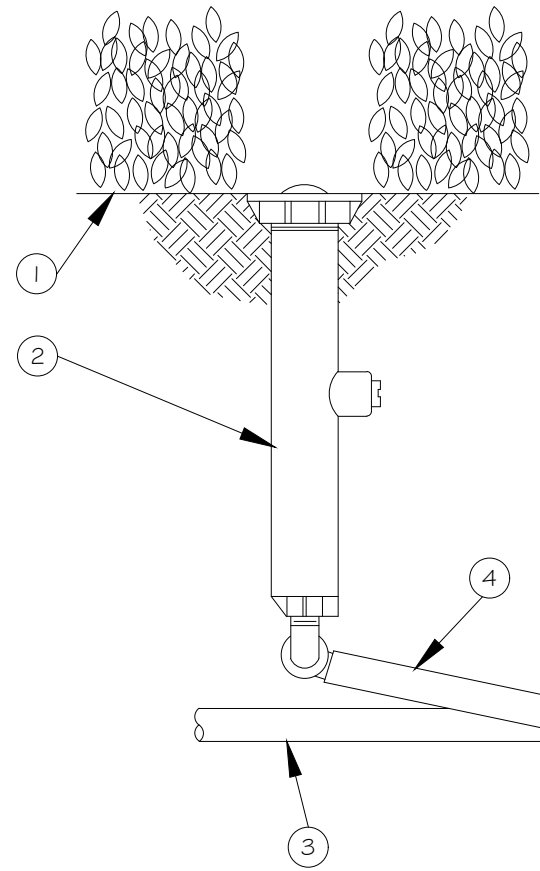
WIRE W/O CONDUIT PLAN VIEW - N.T.S.



TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 30° OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.

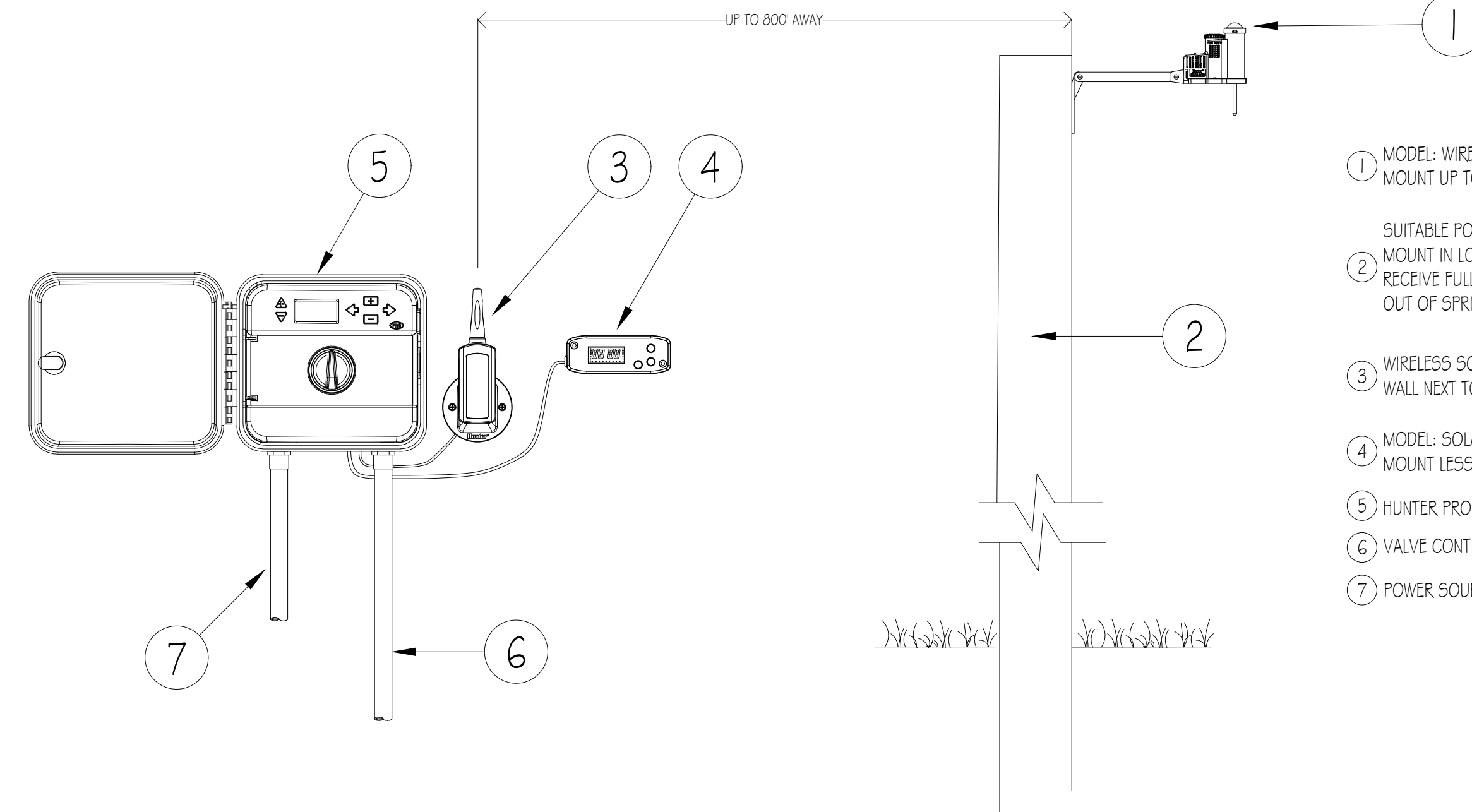
NOTE: ALL PLASTIC PIPING SHALL BE SNAKED IN TRENCH. BUNDLE WIRING AND WRAP WITH TAPE AT TEN FOOT INTERVALS. ALL MAINLINE PIPING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS.

G PIPE & WIRE TRENCHING



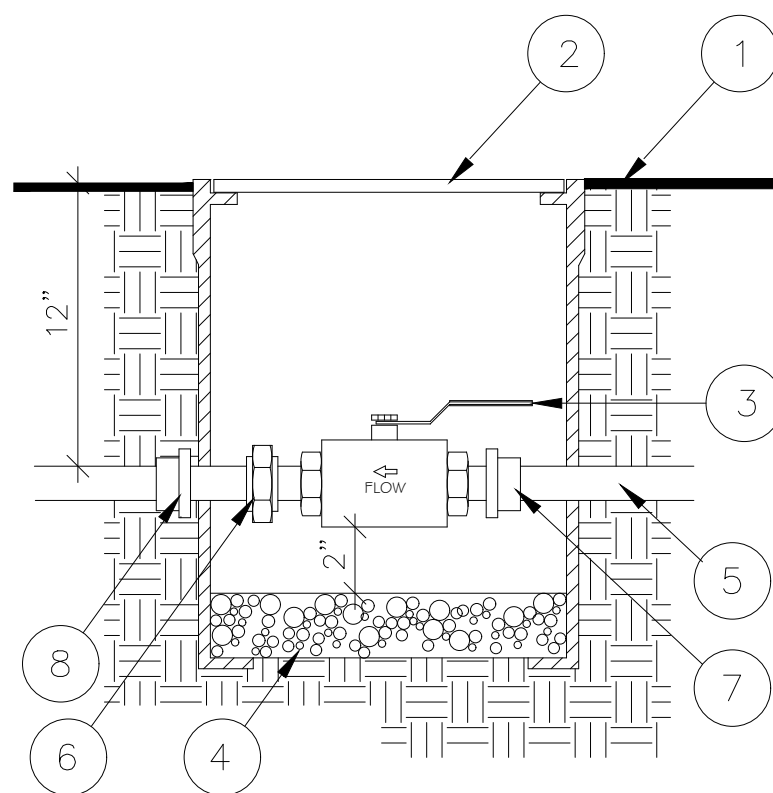
1. FINISH GRADE/TOP OF MULCH
2. POP-UP SPRAY SPRINKLER: RAIN BIRD 1806 WITH RAIN BIRD ROTARY NOZZLE
3. PVC LATERAL PIPE
4. SWING ASSEMBLY: RAIN BIRD MODEL 9A 6050
5. PVC SCH 40 TEE OR ELL

E 1806 POP-UP SPRAY SPRINKLER W/ ROTARY NOZZLE



1. MODEL: WIRELESS SOLAR SYNC SENSOR. MOUNT UP TO 800' FROM RECEIVER
- SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN, IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
3. WIRELESS SOLAR SYNC RECEIVER MOUNTED ON THE WALL NEXT TO THE CONTROLLER
4. MODEL: SOLAR SYNC MODULE. MOUNT LESS THAN 6' AWAY FROM CONTROLLER
5. HUNTER PRO-C CONTROLLER
6. VALVE CONTROL WIRE CONDUIT
7. POWER SOURCE

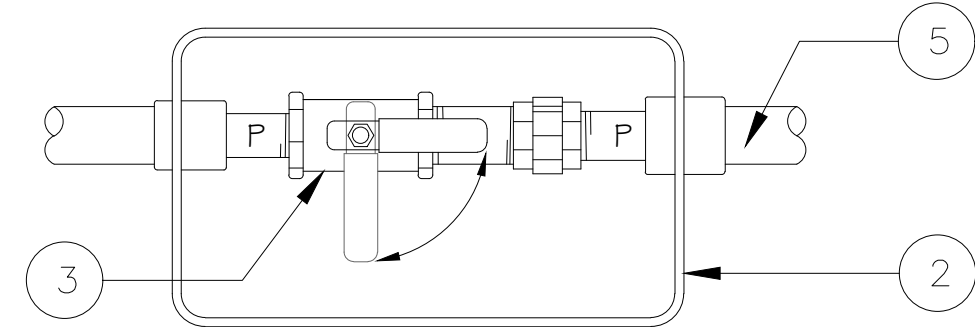
A WIRELESS SOLAR SYNC SYSTEM



LEGEND

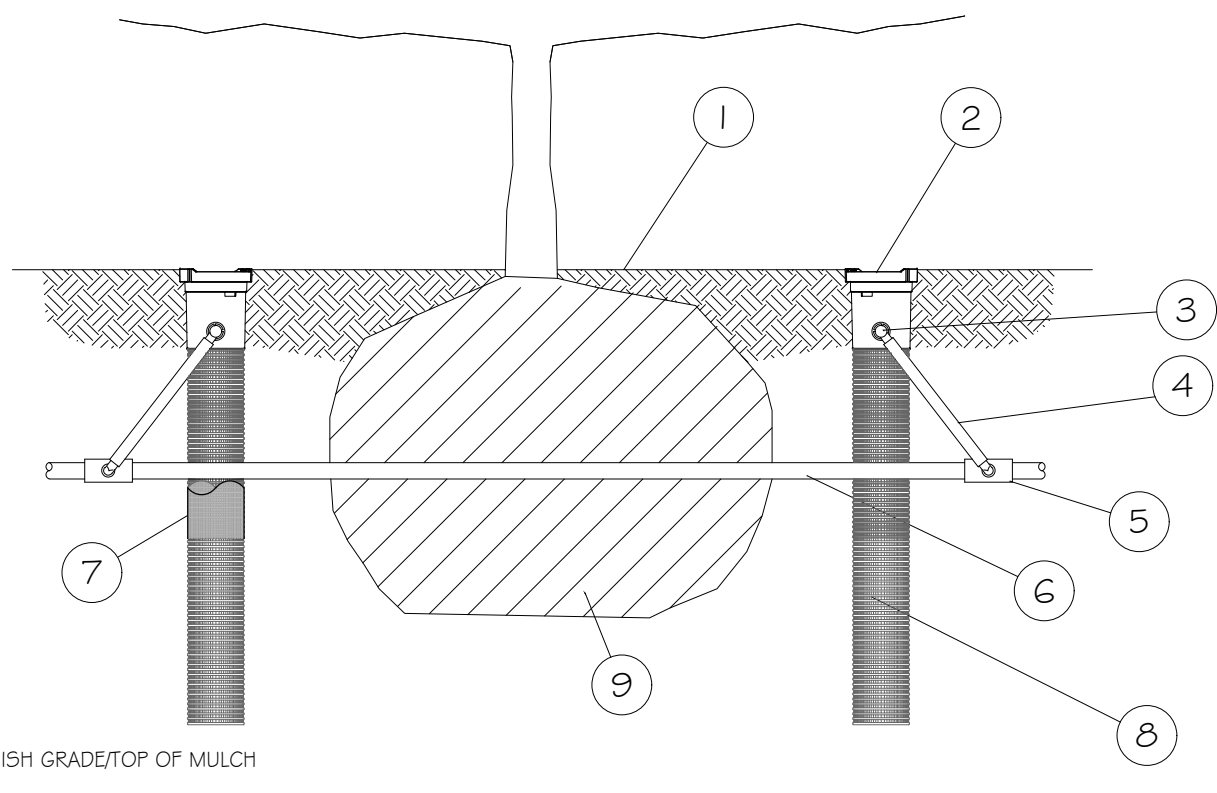
1. FINISH GRADE
2. PLASTIC VALVE BOX WITH LOCKING LID MARKED "B.V."
3. BALL VALVE - PER LEGEND
4. ONE CUBIC FT. OF 1" CRUSHED ROCK
5. PRESSURE SUPPLY LINE
6. SCH 80 PVC UNION
7. SCH 80 NIPPLE
8. SCH 80 PVC COUPLING 4 T.O.E NIPPLES

NOTE: 1. INSTALL VALVE BOX SUCH THAT THE TOP OF THE COVER IS 2" ABOVE FINISH GRADE IN GROUND COVER AREAS AND FLUSH WITH CONCRETE AND TURF AREAS



PLAN VIEW - N.T.S.

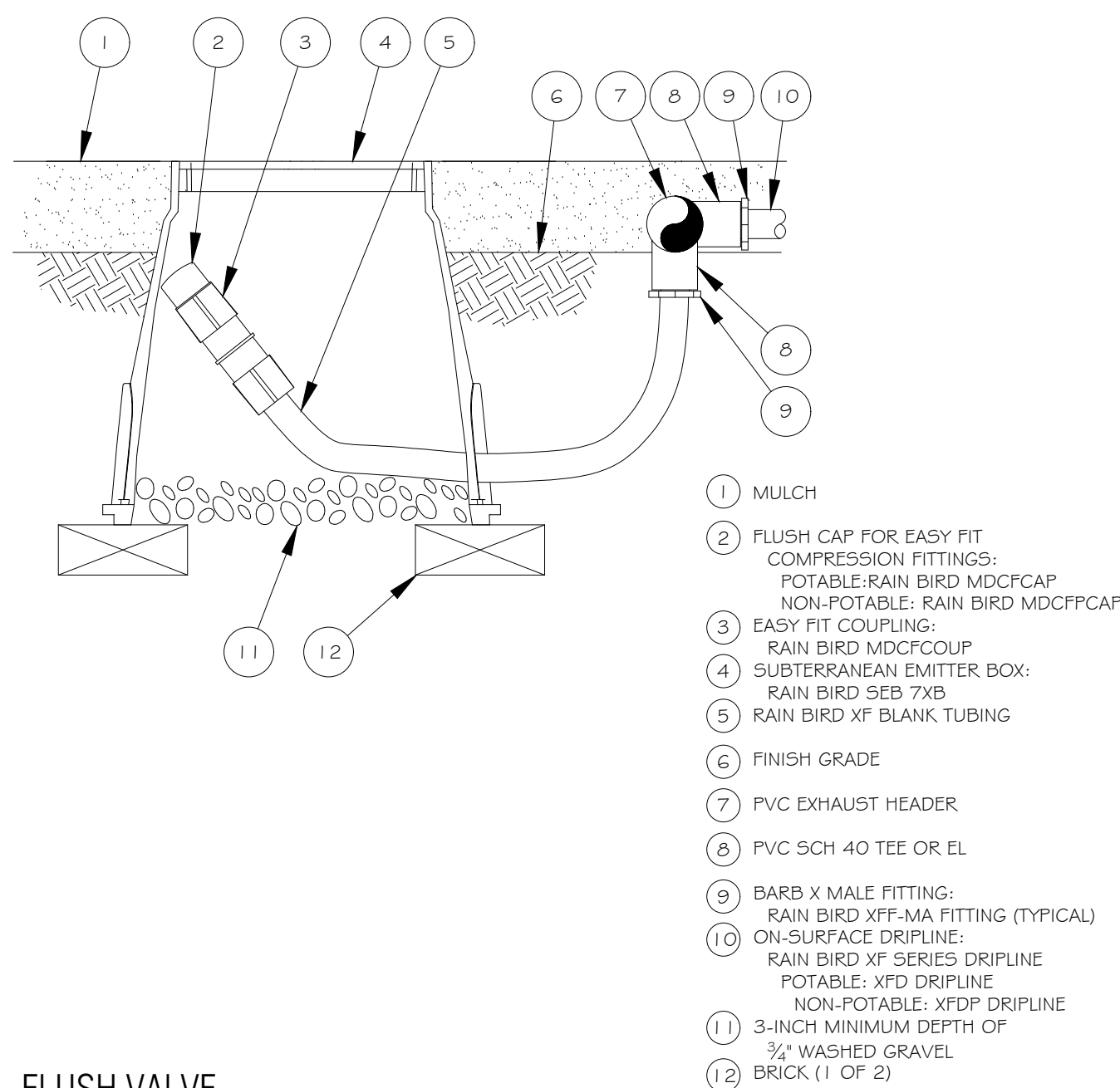
H BALL VALE - PER SCHEDULE



1. FINISH GRADE/TOP OF MULCH
2. ROOT WATERING SYSTEM: RAIN BIRD RWS-M
3. 1/2" (1.3 CM) SPIRAL BARB FITTING (INCLUDED)
4. 1/2" (1.3 CM) SWING ASSEMBLY: RAIN BIRD SA-I 25050 OR
5. 1/2" (1.3 CM) SWING PIPE: RAIN BIRD SP SERIES WITH 1/2" (1.3 CM) MALE NPT x 0.490" BARB ELBOW: RAIN BIRD SBE-050
6. PVC SCH 40 TEE OR ELL
7. PVC OR POLYETHYLENE LATERAL PIPE
8. OPTIONAL SOCK (RWS-SOCK) FOR SANDY SOILS
9. 4" (10.2 CM) WIDE X 18" (45.7 CM) LONG RIGID BASKET WEAVE CANISTER (INCLUDED)

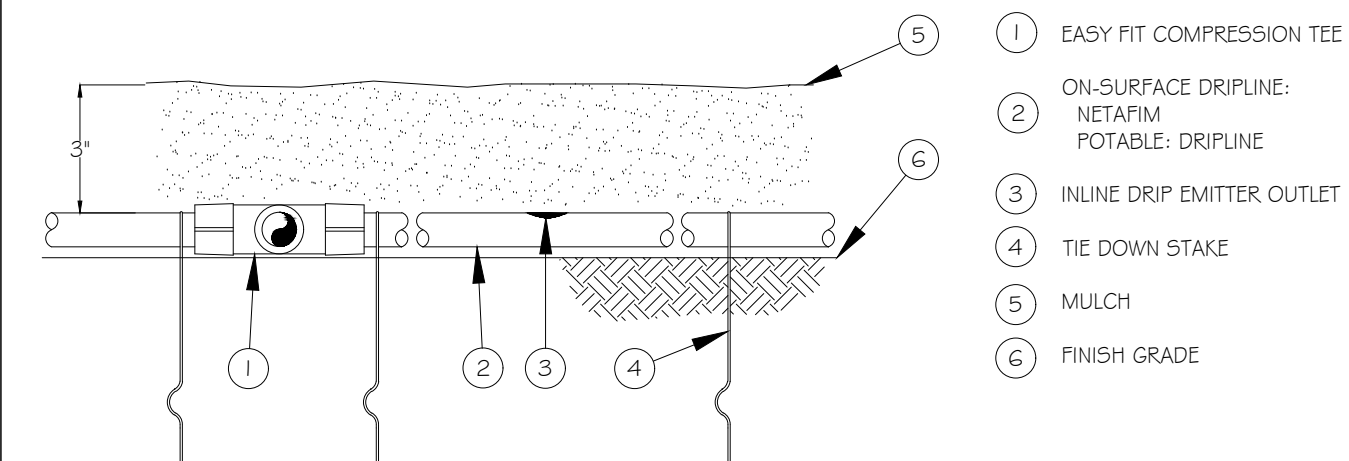
NOTES:
 1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK OR THE TOP OF MULCH
 2. INSTALL PRODUCT WITH TOP EVEN WITH FINISH GRADE
 3. RWS-M SERIES AVAILABLE IN THE FOLLOWING MODELS: RWS-M-B-C-1401: 0.25 GPM (0.95 L/M), CHECK VALVE RWS-M-B-C-1402: 0.5 GPM (1.9 L/M), CHECK VALVE RWS-M-B-1402: 0.5 GPM (1.9 L/M)
 4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.
 5. ONCE RWS-M HAS BEEN INSTALLED FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.
 6. OPTIONAL RWS-SOCK FOR USE IN SANDY SOILS.

F ROOT WATERING SYSTEM RWS-M / TREE INSTALLATION



1. MULCH
2. FLUSH GAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE: RAIN BIRD MDCFCAP NON-POTABLE: RAIN BIRD MDCPCAP
3. EASY FIT COUPLING: RAIN BIRD MDCFCAP
4. SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
5. RAIN BIRD XF BLANK TUBING
6. FINISH GRADE
7. PVC EXHAUST HEADER
8. PVC SCH 40 TEE OR ELL
9. BARB X MALE FITTING: RAIN BIRD XPT-MA FITTING (TYPICAL)
10. ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFD DRIPLINE NON-POTABLE: XFP DRIPLINE
11. 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL
12. BRICK (1 OF 2)

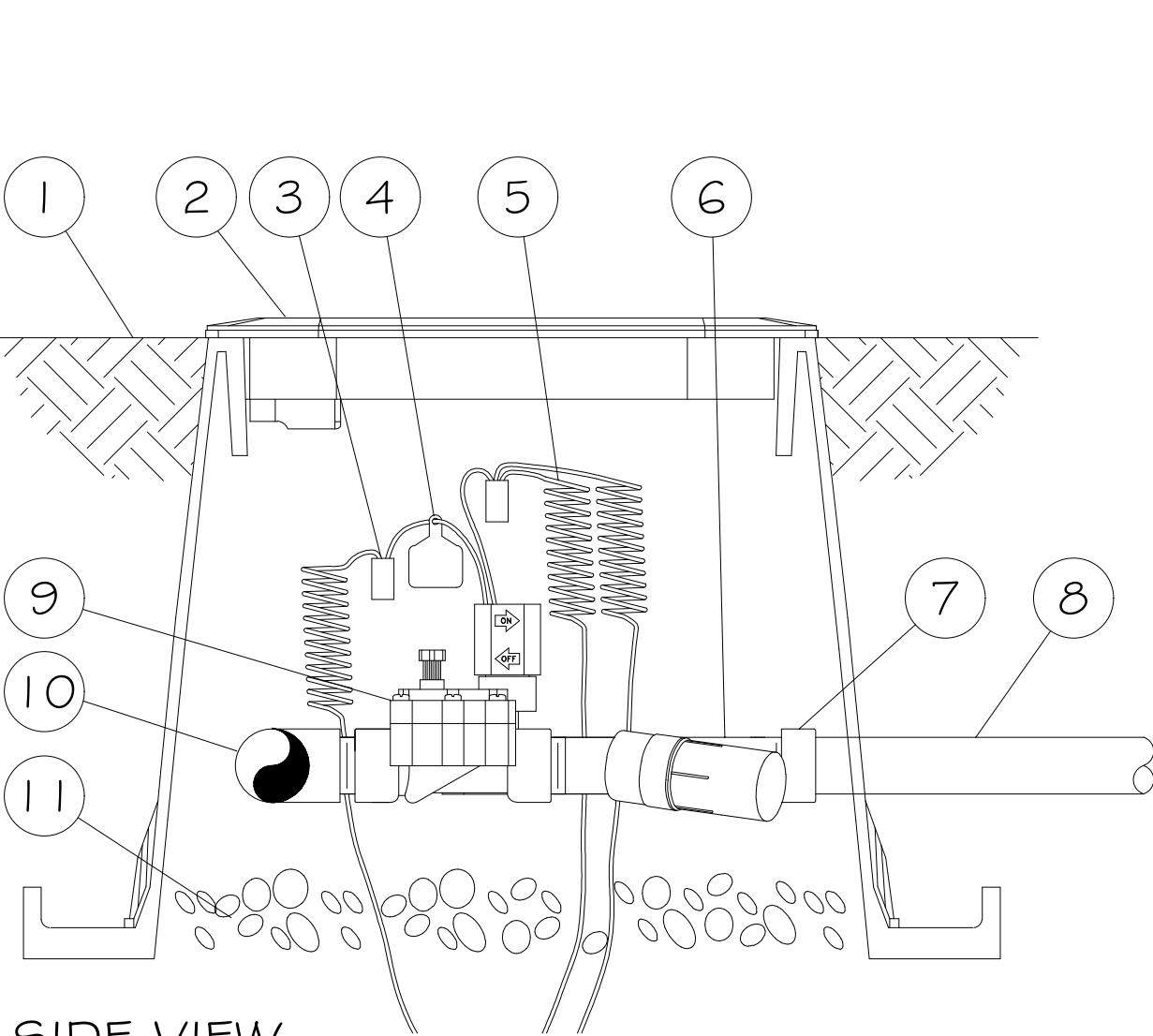
CH FLUSH VALVE



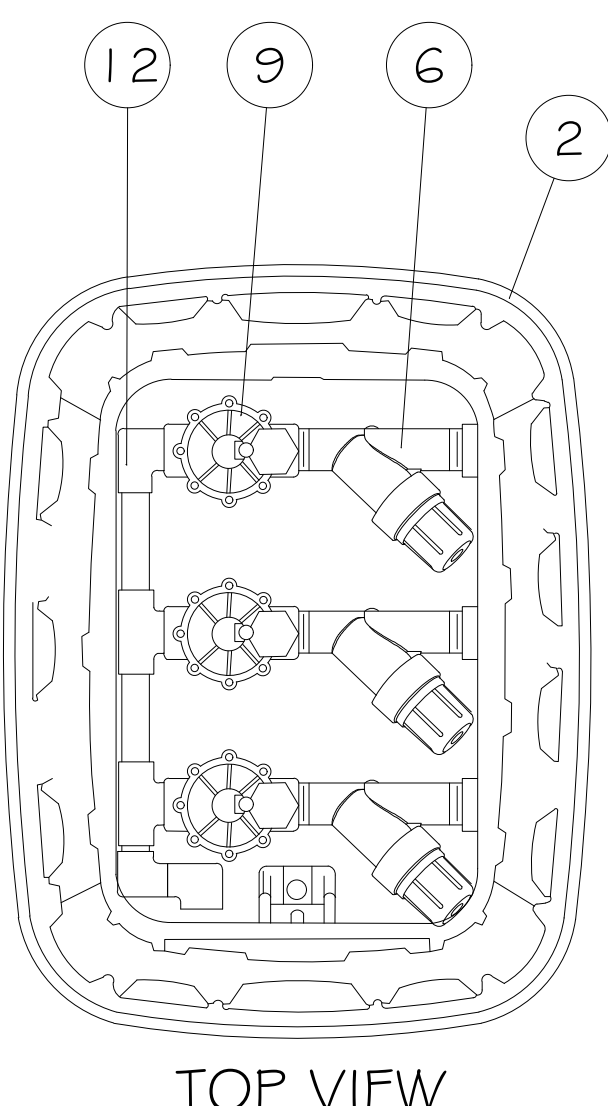
1. EASY FIT COMPRESSION TEE
2. ON-SURFACE DRIPLINE: NETAFIM POTABLE: DRIPLINE
3. INLINE DRIP EMITTER OUTLET
4. TIE DOWN STAKE
5. MULCH
6. FINISH GRADE

NOTES:
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TREES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

C SURFACE DRIPLINE @ GRADE



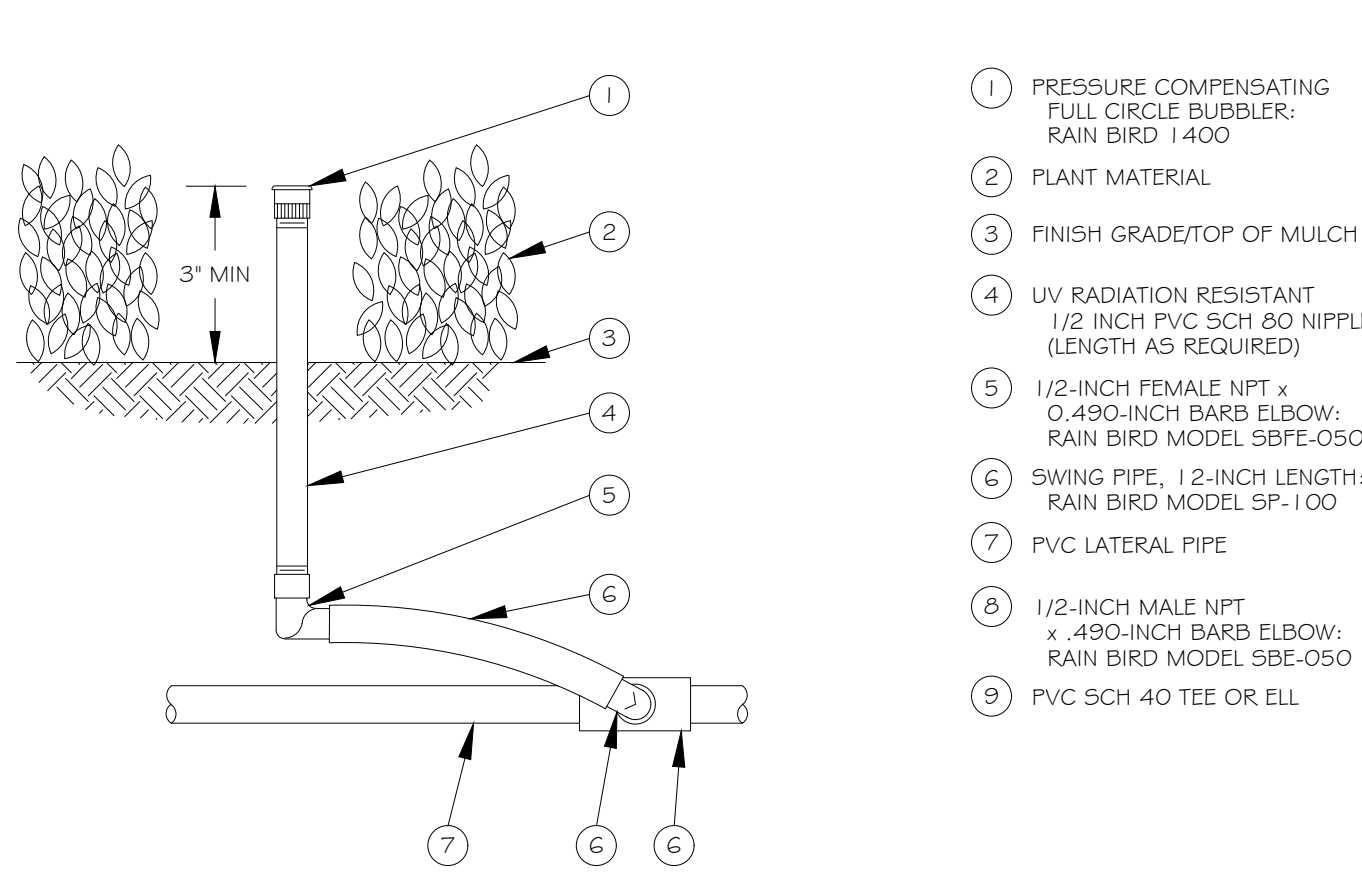
SIDE VIEW



TOP VIEW

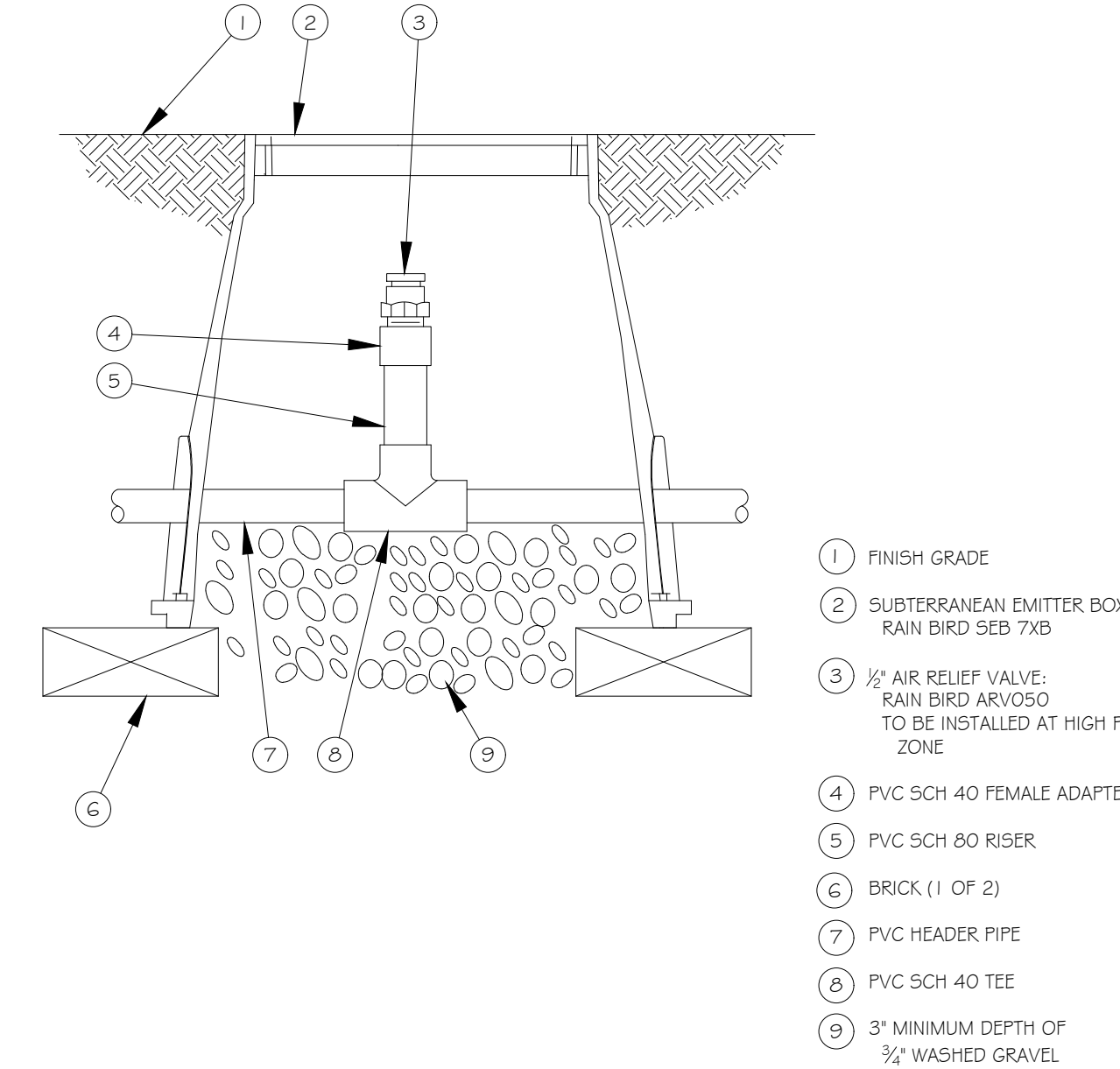
1. FINISH GRADE
2. STANDARD VALVE BOX WITH COVER: RAIN BIRD VB-5TD
3. WATERPROOF CONNECTION: RAIN BIRD DB SERIES
4. VALVE ID TAG
5. 30-INCH LINEAR LENGTH OF WIRE, COILED
6. PRESSURE REGULATING FILTER: RAIN BIRD PRF-075-RBY (INCLUDED IN XCZ-075-PRF KIT)
7. PVC SCH 40 FEMALE ADAPTOR
8. LATERAL PIPE
9. REMOTE CONTROL VALVE: RAIN BIRD LVF-075 (INCLUDED IN XCZ-075-PRF KIT)
10. PVC SCH 40 TEE OR ELL TO MANIFOLD
11. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
12. MANIFOLD PIPE AND FITTINGS

I XCZ - 3/4" PRF IN SQUARE VALVE BOX



1. PRESSURE COMPENSATING FULL CIRCLE BUBBLER: RAIN BIRD 1400
2. PLANT MATERIAL
3. FINISH GRADE/TOP OF MULCH
4. UV RADIATION RESISTANT 1/2 INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
5. 1/2-INCH FEMALE NPT x 0.490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
6. SWING PIPE, 1 1/2-INCH LENGTH: RAIN BIRD MODEL SF-100
7. PVC LATERAL PIPE
8. 1/2-INCH MALE NPT x .490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
9. PVC SCH 40 TEE OR ELL

D PRESSURE COMPENSATING FULL-CIRCLE BUBBLER 1400 SERIES ON RISER



1. FINISH GRADE
2. SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
3. 1/2" AIR RELIEF VALVE: RAIN BIRD ARV050 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
4. PVC SCH 40 FEMALE ADAPTER
5. PVC SCH 80 RISER
6. BRICK (1 OF 2)
7. PVC HEADER PIPE
8. PVC SCH 40 TEE
9. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

C AIR RELIEF VALVE

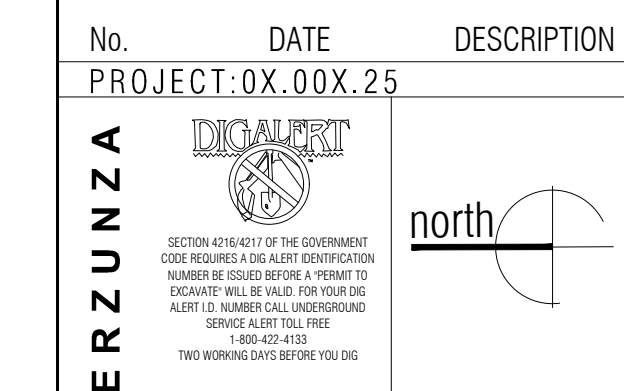
STUDIO BERZUNZA
 LUXURY INTEGRAL DESIGNS
 RESIDENTIAL + LANDSCAPE + INTERIORS
 5000 Birch St. Ste. 3000
 Newport Beach, CA 92660
 t: 714.795.8080
 e: vladimir@studioberzunza.com
 STUDIOBERZUNZA.COM
 VLADIMIR BERZUNZA
 PRINCIPAL VISIONARY DESIGNER

PROJECT ADDRESS:
TOLUCA RESIDENCE
 405 E. TOLUCA
 ORANGE, CA 92866
 APN: 390-103-15
 LOT: 12
 BLOCK: D.W
 ZONING: R-2-6
 TRACT: 175

DRAW BY:
 V. BERZUNZA
 CHECKED BY:
 V. BERZUNZA

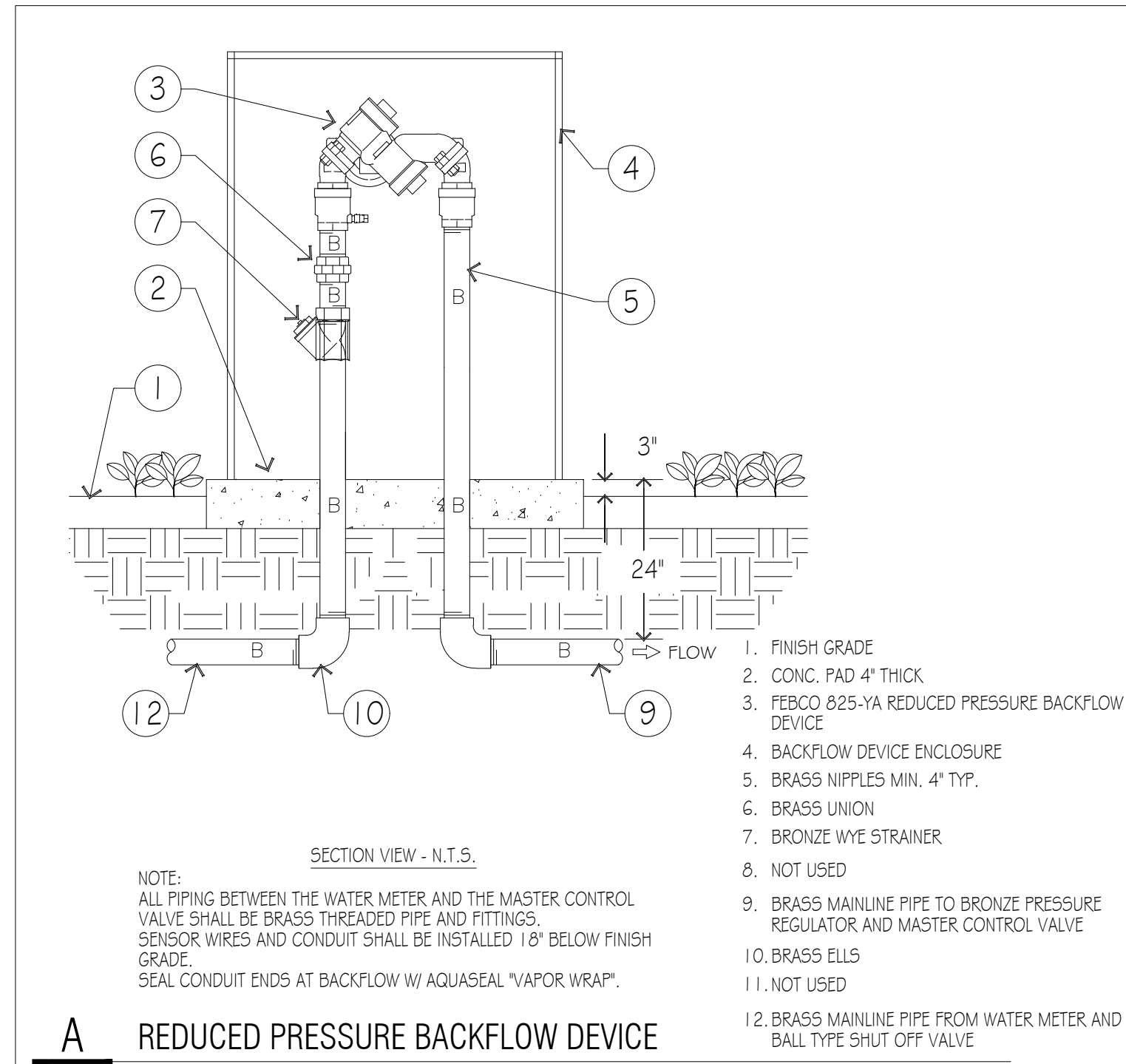
REVISIONS:

No.	DATE	DESCRIPTION
PROJECT: 0X.00X.25		

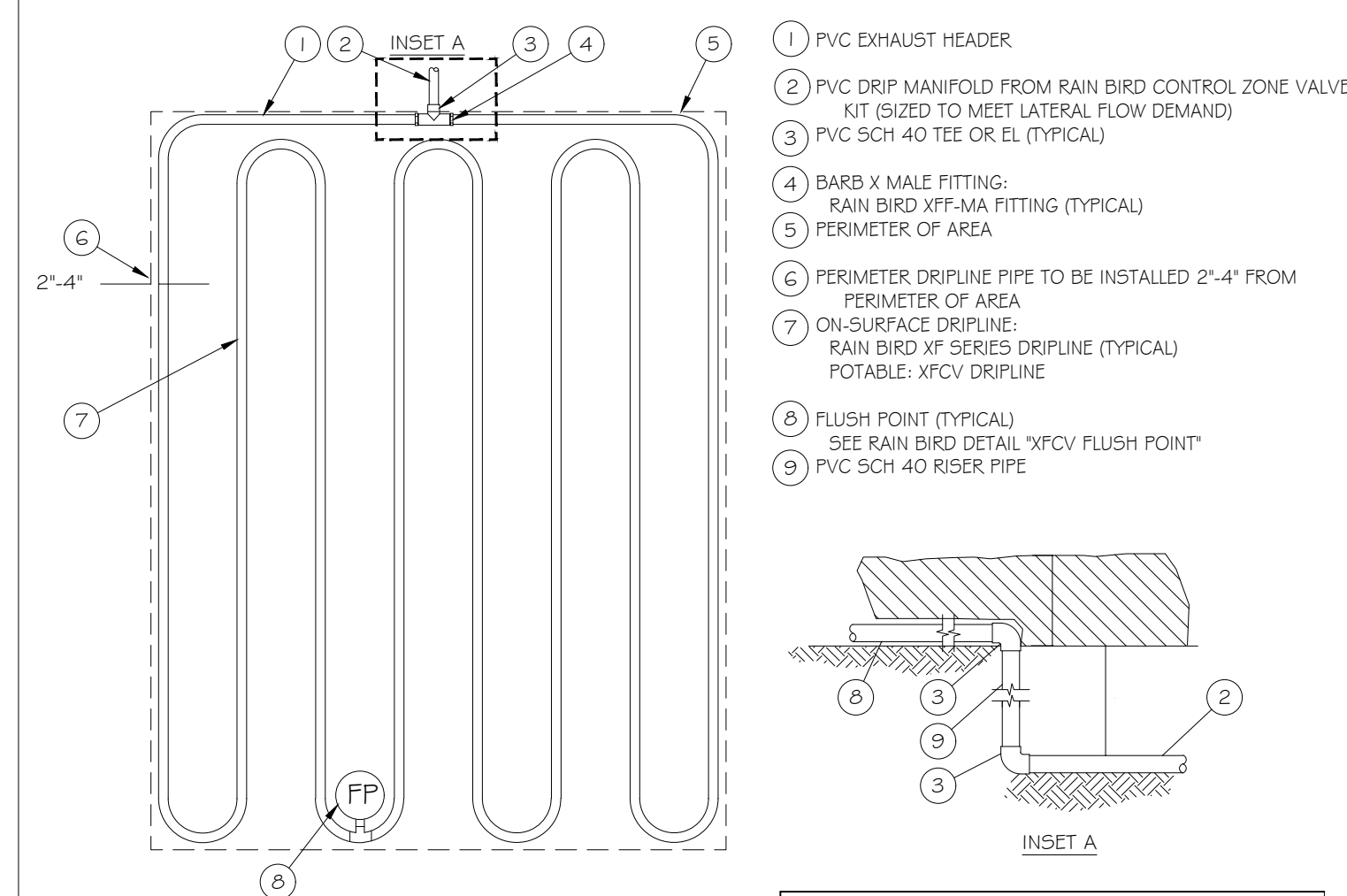


SECTION AUTHORITY OF THE GOVERNMENT
 DOES NOT REQUIRE A SEAL OR SIGNATURE
 UNLESS SPECIFICALLY REQUIRED BY THE
 ALERT (E. NUMBER CAL. UNDERGROUND
 SERVICE AUTHORITY)
 1.800.423.4213
 180 WOODLAND AVENUE, SUITE 100
 BERKELEY, CA 94704

SHEET DESCRIPTION:
 PLANTING DETAILS



A REDUCED PRESSURE BACKFLOW DEVICE



NOTES:
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
3. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

Inlet Pressure psi	XFCV Dripline Maximum Lateral Lengths (Feet)			
	12' Spacing		18' Spacing	
	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)
20	192	136	254	215
30	289	205	402	337
40	350	248	498	416
50	397	281	573	477
60	436	309	637	529

B XFCV ON-SURFACE DRIPLINE QUICK LAYOUT

PROJECT ADDRESS:
TOLUCA RESIDENCE
405 E. TOLUCA
ORANGE, CA 92866
APN: 390-103-15
LOT: 12
BLOCK: D.W
ZONING: R-2-6
TRACT: 175

DRAW BY:
V. BERZUNZA

CHECKED BY:
V. BERZUNZA

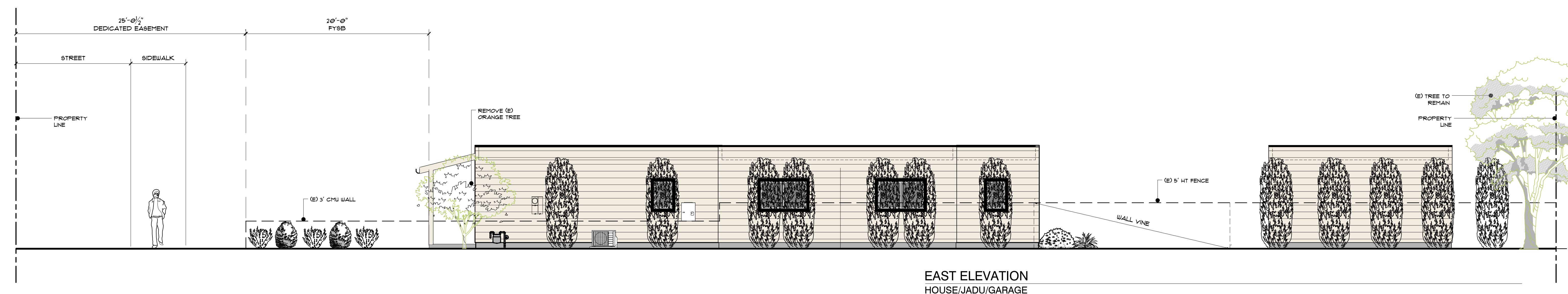
REVISIONS:

No.	DATE	DESCRIPTION
PROJECT: 0X.00X.25		

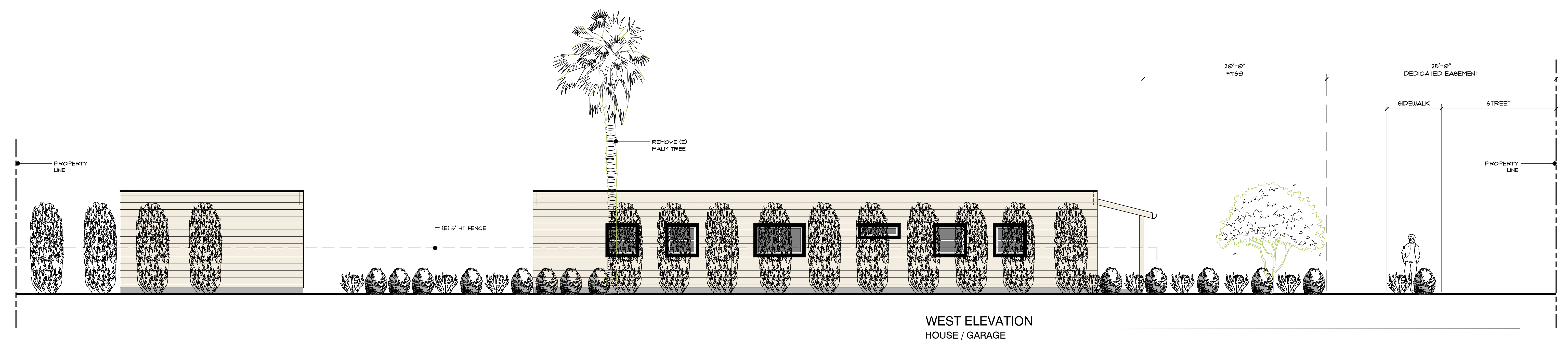
SECTION 41309 OF THE GOVERNMENT
CODE REQUIRES A SEAL IDENTIFICATION
NUMBER TO BE PLACED ON ALL PLANS
AND SPECIFICATIONS. THIS SEAL IS
VALID FOR THE STATE OF CALIFORNIA
AND IS NOT VALID FOR ANY OTHER
STATE OR COUNTRY.

© V3 STUDIO BERZUNZA EXPRESSLY RESERVES ITS COMMON LAW
COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS
ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR
MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD
PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED PERMISSION &
CONSENT OF V3 STUDIO BERZUNZA. THESE DOCUMENTS ARE INTENDED
TO ONLY COMMUNICATE DESIGN INTENT AND SHALL NOT BE USED TO
COMMUNICATE ANY CONSTRUCTION MEANS,
METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, OR FOR SAFETY
PRECAUTION IN CONNECTION WITH THE PROJECT.

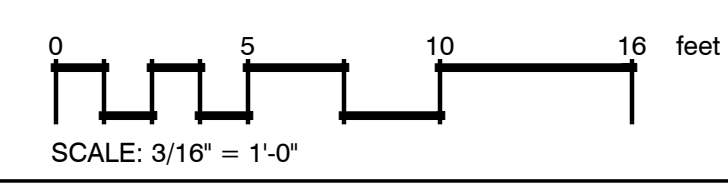
SHEET DESCRIPTION:
ELEVATIONS

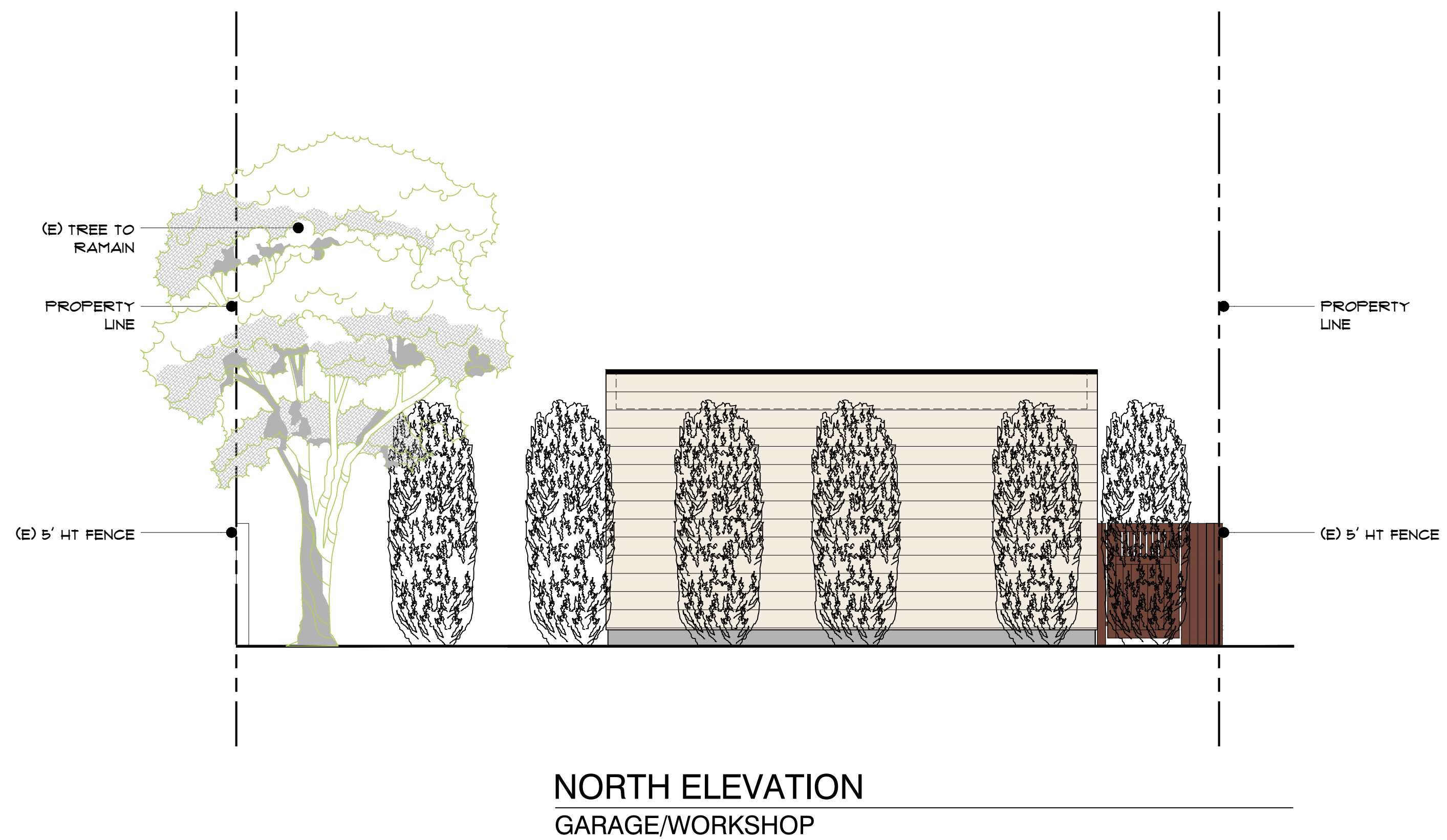
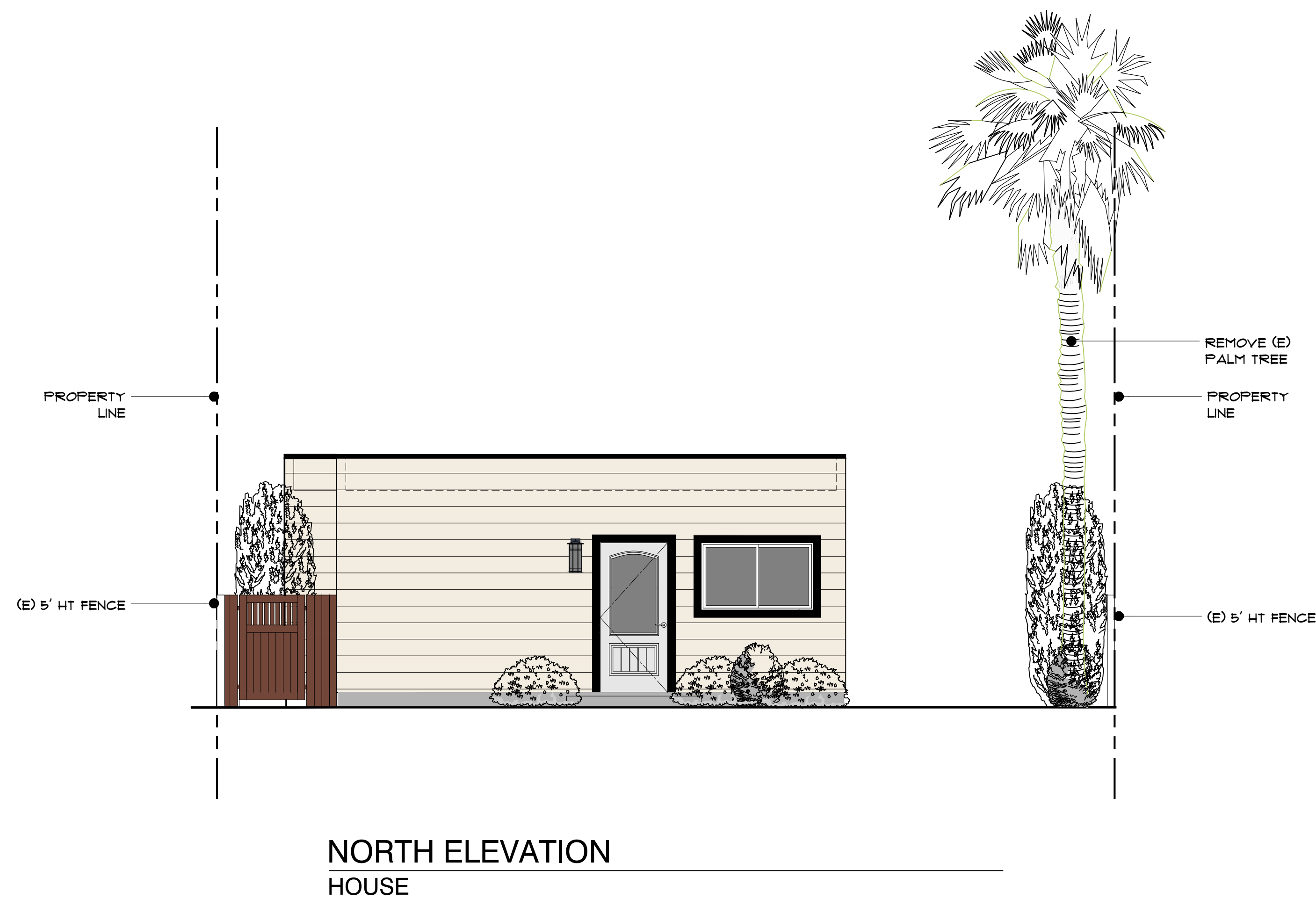
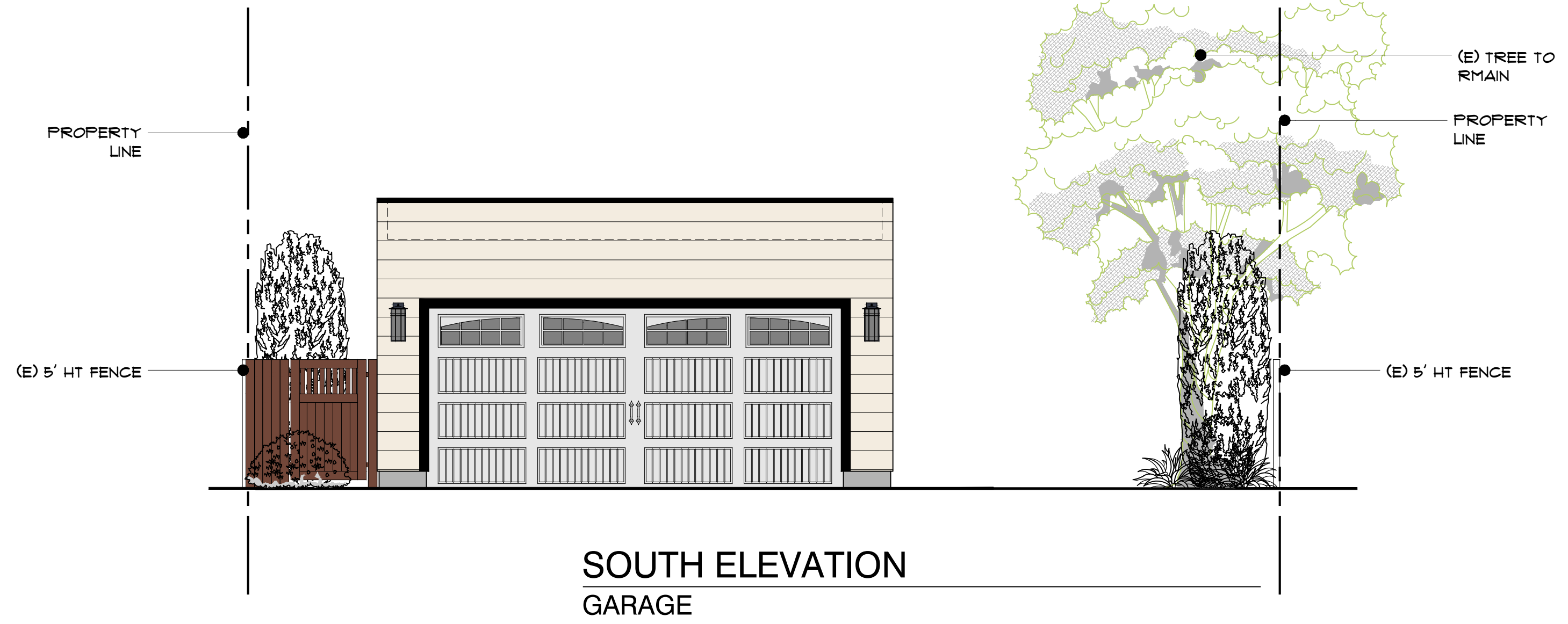
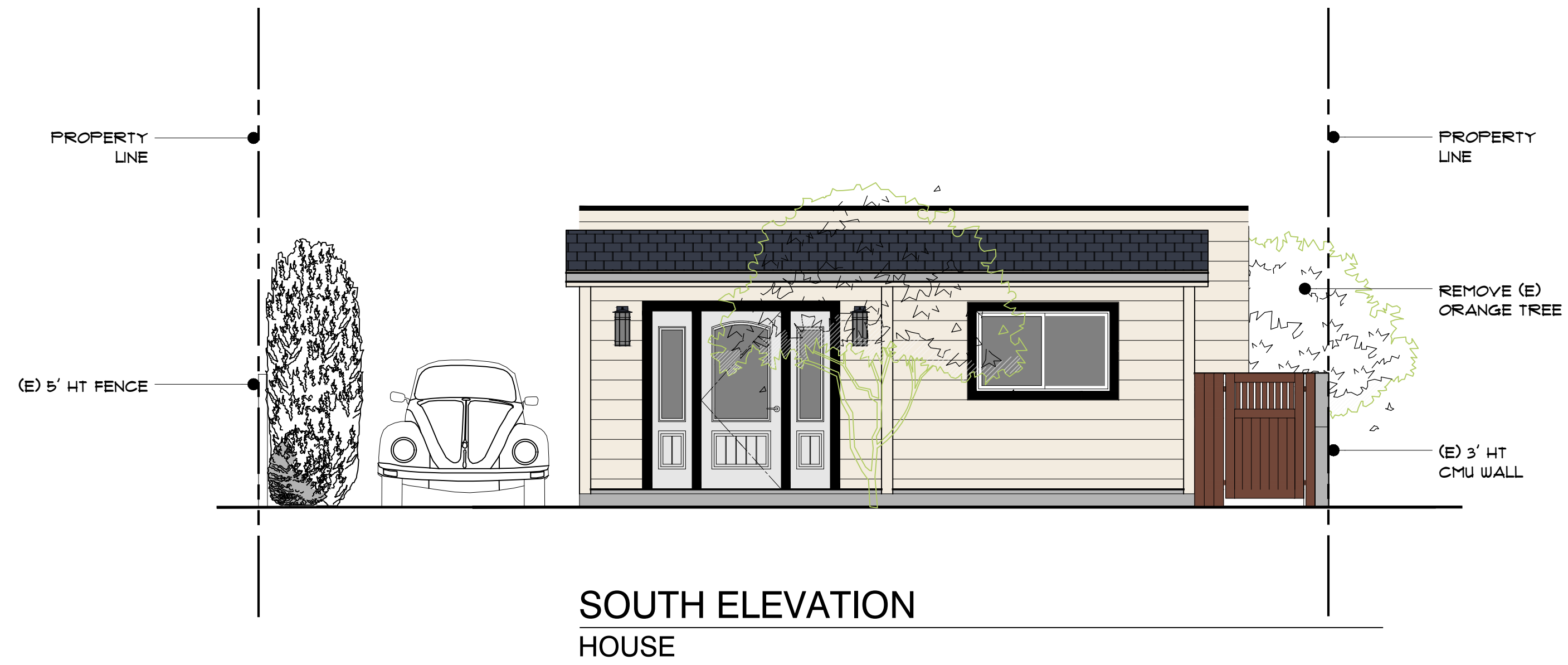


EAST ELEVATION
HOUSE/JADU/GARAGE

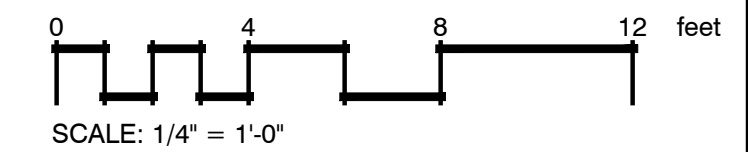


WEST ELEVATION
HOUSE / GARAGE





ELEVATIONS



STUDIO BERZUNZA
LUXURY INTEGRAL DESIGNS
RESIDENTIAL + LANDSCAPE + INTERIORS
5000 Birch St. Ste. 3000
Newport Beach, CA 92660
t: 714.795.8080
e: vladimir@studioberzunza.com
STUDIOBERZUNZA.COM

Vladimir Berzunza
VLADIMIR BERZUNZA
PRINCIPAL VISIONARY DESIGNER

PROJECT ADDRESS:
TOLUCA RESIDENCE
405 E. TOLUCA
ORANGE, CA 92866
APN: 390-103-15
LOT: 12
BLOCK: D.W
ZONING: R-2-6
TRACT: 175

DRAW BY:
V. BERZUNZA

CHECKED BY:
V. BERZUNZA

REVISIONS:

No.	DATE	DESCRIPTION
PROJECT: 0X.00X.25		

STUDIO BERZUNZA

SECTION 41500 OF THE GOVERNMENT
CODE REQUIRES A SOIL ANALYSIS
BEFORE A SOIL REPORT IS PREPARED.
ALERT IS NEEDED FOR UNDERGROUND
SERVICES WITH THIS PROJECT.
CALL 800-452-4273
THIS WORKSHOULD BE DONE BEFORE

north

© V3 STUDIO BERZUNZA EXPRESSLY RESERVES ITS COMMON LAW
COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS
ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR
MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD
PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED PERMISSION &
CONSENT OF V3 STUDIO BERZUNZA. THESE DOCUMENTS ARE INTENDED
TO ONLY COMMUNICATE DESIGN INTENT AND SHALL NOT BE USED TO
COMMUNICATE ANY CONSTRUCTION MEANS.
METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, OR FOR SAFETY
PRECAUTION IN CONNECTION WITH THE PROJECT.

SHEET DESCRIPTION:
ELEVATIONS



ATTACHMENT D: OLD TOWNE ORANGE NRHP HISTORIC DISTRICT NOMINATION

Excerpt from Old Towne Orange Historic District NRHP Nomination

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number _____ 7_ Page ____ 32

Old Towne Orange Historic District, Orange, CA

1593. **325 E. Toluca**

c1915 Craftsman

Historical Name:

AP Number: 390-103-26

This house incorporates both Craftsman and Colonial Revival bungalow features. The house is unusual for the way that it incorporates a full two-story with single, side-facing gabled roof. The main entry is articulated by a centrally located projecting gable which forms a small entry overhang. This is supported by Colonial columns. This entry porch is treated in the same manner as was done on the Colonial Revival bungalows.

1594. **334 E. Toluca**

1939

Historical Name:

AP Number: 390-103-21

Non-Contributor

1595. **335 E. Toluca**

1963

Historical Name:

AP Number: 390-103-27

Non-Contributor

1596. **340 E. Toluca**

1946

Historical Name:

AP Number: 390-103-15

Non-Contributor

1597. **405 E. Toluca**

1935

Historical Name:

AP Number: 390-103-13

Non-Contributor

1598. **435 E. Toluca**

1968

Historical Name:

AP Number: 390-103-13

Non-Contributor



ATTACHMENT E: 2005 DPR 523 FORM SET

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # 112488
Trinomial ORA
NRHP Status Code 6Z

Other Listings:
Review Code: _____

Reviewer: _____

Date: _____

Page 1 of 3

*Resource Name or #:
(Assigned by Recorder)

TOLUCA_E_405__APN_390-103-15

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted

*a. County: Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad: _____ Date: _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: 405 - E TOLUCA AVE, # _____ City: Orange Zip: 92866

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ' _____ mE/ _____ mN

e. Other Locational Data: _____

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Wood siding

*P3b. Resource Attributes:
(List attributes and codes)

*P4. Resources Present: Building Structure Object Site Element of District District Other (Isolates, etc.)



P5b. Description of Photo: 2005
(View, date, accession #)

*P6. Date Constructed/ Age and Source:

1935

Historic Prehistoric Both

*P7. Owner and Address:

*P8: Recorded by: (Name, affiliation, and address)

D. Gest, P. LaValley, D.
Matsumoto

Chattel Architecture

13417 Ventura Blvd.

Sherman Oaks, CA 91423

*P9. Date Recorded:

April, 2005

*P10. Survey Type: (Describe)

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005)
Historic Resources Survey. AEGIS (1991) Historic Building Inventory
Update.

*Attachments: NONE Location Map Continuation Sheet(s) Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

DPR 523A (1/95)

*Required Information

Page 2 of 3

*Resource Name or #: TOLUCA_E_405__APN_390-103-15
(Assigned by Recorder)

B1. Historic Name: Unknown

B2. Common Name: _____

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Mediterranean Revival

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: 1935 Historic Prehistoric Both

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: _____

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Old Towne: Interwar Development (c. 1921 - 1941) Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: _____

Site Integrity: _____

Opportunities: _____

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

Style previously noted in 1991 Survey as: Vernacular.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # 112488
Trinomial ORA

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

TOLUCA_E_405__APN_390-103-15

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: April, 2005

Continuation Update

Years Surveyed:

1991, 2005

Description of Photo: 1991

Listed in National Register:

1997

General Plan:

LMDR

of Buildings:

1

Planning Zone:

R-2-6

of Stories:

1

Lot Acre:

of Units:

1

Principal Building Sqft:

430

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):



ATTACHMENT F: CURRENT PHOTOGRAPHS



Figure 1: E. Toluca Avenue, view facing northwest from subject property. Source: GPA Consulting, July 2024.



Figure 2: E. Toluca Avenue, view facing northeast from nearby contributor, 325 E. Toluca Avenue, toward subject property. Source: GPA Consulting, July 2024.



Figure 3: E. Toluca Avenue, view facing southwest from subject property toward nearby contributor, 334 E. Toluca Avenue. Source: GPA Consulting, July 2024.



Figure 4: E. Toluca Avenue, view facing southeast from subject property. Source: GPA Consulting, July 2024.



Figure 5: Subject property from Toluca Avenue, view facing north. Source: GPA Consulting, July 2024.



Figure 6: South elevation, view facing northeast. Source: GPA Consulting, July 2024.



Figure 7: South (left) and east (right) elevations, view facing northwest. Source: GPA Consulting, July 2024.



Figure 8: East (left) and north (right) elevations, view facing southwest. Source: GPA Consulting, July 2024.



Figure 9: North elevation, view facing south. Source: GPA Consulting, July 2024.



Figure 10: North (left) and west (right) elevations, view facing southeast. Source: GPA Consulting, July 2024.



Figure 11: West elevation, view facing east. Source: GPA Consulting, July 2024.



Figure 12: South elevation of garage. West (left) and south (right) elevations of residence, view facing northeast. Source: GPA Consulting, July 2024.



Figure 13: West (left) and south (right) elevation of garage, view facing northeast. Source: GPA Consulting, July 2024.



Figure 14: North elevation of residence (left) and east (left) and north (right) elevations of garage, view facing southwest. Source: GPA Consulting, July 2024.